# March 19, 2021

# **Honorable City Planning Commission Cincinnati, Ohio**

**SUBJECT:** A report and recommendation on a proposed Final Development Plan for Block A1 of Planned Development #86 (PD-86), the District at Clifton Heights, in CUF.

# **GENERAL INFORMATION:**

Location: 350 Straight Street

Cincinnati, Ohio 45219

Applicant/ Owner: OH-UC Holdings, II LLC

201 Main Street, Suite 1000

Lafayette, IN 47901

Request: The applicant is requesting approval on a proposed Final Development Plan for Block

A1 of the District at Clifton Heights Planned Development (PD-86) for the construction of a 143'-3" tall mixed-use building consisting of 380 student housing units, 2,272 sq. ft. of ground floor commercial/retail space, and a 169-space parking garage interior to

the structure.

# **ATTACHMENTS:**

Provided in addition to this report are:

- Exhibit A Location Map
- Exhibit B Site Survey
- Exhibit C Site Plan
- Exhibit D Engineering Plans
- Exhibit E Schematic Building Plans
- Exhibit F Landscape Plans
- Exhibit G Schedule
- Exhibit H Commitment Letter
- Exhibit I Permitted Uses
- Exhibit J CPRE210011 Letter
- Exhibit K Hillside Overlay Zoning Staff Report

## **BACKGROUND:**

On July 19, 2019, the City Planning Commission approved a zone change, including a Concept Plan and Development Program Statement for the area generally bound by Clifton Avenue to the east, Herman Street to the south, University Court to the west, and Stratford Heights student apartments to the north from Institutional-Residential (IR), Single-family (SF-2), and Residential Multi-family (RM-0.7) to Planned Development #86 (PD-86), the District at Clifton Heights in the CUF neighborhood. On August 7, 2019 City Council approved the zone change, Concept Plan, and Development Program Statement as Ordinance 299-2019.

On February 4, 2021, applicant OH-UC Holdings, LLC submitted the proposed Final Development Plan to the Department of City Planning for the Block A1 of the Planned Development. The proposed Final Development Plan is the first development within Sub-Area A located at the northeast intersection of Stratford Avenue and Straight Street, which includes 380 student residences and 2,272 sq. ft. of retail/commercial space which is consistent with the approved Concept Plan.

# **ADJACENT LAND USE AND ZONING:**

The existing zoning and land use surrounding the subject site is as follows:

North:

Zoning:

Planned Development (PD-12)

**Existing Use:** 

Parking Garage, Residential Apartments (Stratford Heights Student Apartments)

East:

Zoning:

Planned Development (PD-86)

Existing Use:

Vacant, Surface Parking Lot, Cincinnati Hillel

South:

Zoning:

Planned Development (PD-86)

Existing Use:

Vacant

West:

Zoning:

Planned Development (PD-86)

Existing Use:

Single-family residential

# **DESCRIPTION OF PROJECT:**

The Final Development Plan is for PD-86, the District at Clifton Heights. The subject site is approximately 1.16 acres and is located at the northeast corner of the intersection of Stratford Avenue and Straight Street. In the approved Concept Plan and Development Program Statement for the District at Clifton Heights, proposed Block A1 is within the area identified as Sub-Area A. The northern portion of the site is located within a Hillside Overlay District. Because of this, the proposed project has been reviewed by the Zoning Plans Examiner per the Hillside Overlay Development Guidelines (Exhibit K).

The approved Concept Plan for larger Sub-Area A, generally bound by Stratford Avenue to the west, Straight Street to the south, Clifton Avenue to the east, and Stratford Heights Student Apartments to the north, included:

Student Residences

450 units

Retail/Commercial Space

195,000 sq. ft.

Hotel

170 units

Redevelopment of Hillel Facility

The proposed Final Development Plan is for the western 1.16 acres of approved Sub-Area A, which includes 380 student residences and 2,272 sq. ft. of retail/commercial space. The remainder of Sub-Area A will require submittal of an additional Final Development Plan(s) at a future date.

# Proposed Mixed-Use Building (Hub at Cincinnati)

The proposed Final Development Plan is for the construction of a 143'-3" (14-story) mixed use building with frontage along Straight Street to the south and Stratford Avenue to the west. The structure will contain 169 parking stalls interior to the structure, 2,272 sq. ft. of retail/commercial space on the ground floor with entry from the Straight Street façade, and 380 student housing units, to be called the "Hub at Cincinnati." Below outlines the proposed building as it relates to the approved Concept Plan for Sub-Area A.

	Approved Concept Plan for Sub Area A	Proposed Block A1
Allowable Floor Area Ratio		405,457 sq. ft. (FAR 3.50)
Max. Residential Units	450 units	380 units
Max. Retail/Commercial Space	195,000	2,272 sq. ft.

Loading Space	es	3	2	
Minimum	Building	5'-0" Front	10'-0" Front	
Setbacks		0'-0" Side	0'-0" Side	
		5'-0" Rear	5'-0" Rear	
Maximum Bu	ilding Height	150'-0"	143'-3"	

The proposed structure is consistent with the approved Concept Plan with regards to number of units, floor area ratio, parking and loading spaces, minimum building setbacks, and maximum building height. Additionally, per Exhibit K and the Zoning Plans Examiner's review of the Final Development Plan as it relates to the Hillside Overlay District, the proposed building is consistent with the Concept Plan, and the setback and building heights are not expected to cause adverse effects on adjacent property owners.

# **Parking**

Parking requirements were established for the District at Clifton Heights Planned Development during Concept Plan and Development Program Statement approval. The uses and parking ratios for Block A1 are outlined below:

Land Use Category	Parking Ratio Requirement	Unit Requirement
Retail	2.50	Per 1,000 sq. ft.
Residential	1.0 per unit or 0.4 per bedroom	Per Unit or Per Bedroom

Under these requirements, the proposed 2,272 sq. ft. of retail/commercial space in Block A1 will require 6 parking spaces. The 380 units of student housing is made up of 980 bedrooms. Therefore, the student housing component of proposed Block A1 requires 392 parking spaces.

The Deacon student housing development within the Planned Development (west of Block A1) requires 412 parking spaces. The existing Stratford Garage, opposite Stratford Avenue to west of Block A1 contains 815 parking spaces, which will serve both the Deacon residents and the proposed Block A1's "Hub at Cincinnati" student housing residents. The proposed 169 parking spaces included in Block A1 are intended to serve the future Hotel and retail/commercial uses for the remainder of Sub-Area A. The table below outlines the number of spaces required for the Deacon and the proposed "Hub at Cincinnati" student residences and retail/commercial space, and where of the spaces will be provided:

Use	Location of Parking	Required Spaces	Spaces Provided
The Deacon Student Housing	Existing Stratford Garage	412	015
Proposed "Hub at Cincinnati"	Existing Stratford Garage	392	815
Proposed Block A1 Retail	Proposed Block A1 Garage	6	169*
Totals		810	984

<sup>\*</sup>Parking in Block A1 to serve retail and future hotel use in future Final Development Plan for Sub-Area A

# **DIFFERENCES BETWEEN CONCEPT PLAN AND FINAL DEVELOPMENT PLAN:**

The Final Development Plan is substantially consistent with the Concept Plan that was approved by City Council on August 7, 2019. The Concept Plan specifically assigns the subject portion of Sub Area A as the location for student residences with parking and retail below. The height, unit count, parking calculation, floor area, footprint, circulation, and landscaping are consistent with the Concept Plan.

# §1429-13 FINAL DEVELOPMENT PLAN:

Following approval of a PD District with a Concept Plan and Development Program Statement, a Final Development Plan must be submitted to the City Planning Commission (§1429-13). A Final Development

Plan must be filed for any portion of an approved Concept Plan that the petitioner wishes to develop, and this plan must conform substantially to the approved Concept Plan and Development Program Statement.

Consistent with the provisions of Section 1429-13, the following information was provided and attached to this report:

- a) Survey A survey showing the boundary of the site, topography, and existing utilities is included as Exhibit B.
- b) Site Plan The site plan (Exhibit C) shows the proposed mixed-use building with pedestrian entry for the residential, retail, and garage uses, a pedestrian plaza on Straight Street, a public parking garage with ingress/egress points on Stratford Avenue, and the location of loading docks and service yards, which are consistent with the approved Concept Plan.
- c) Engineering Plans Engineering plans, including the Survey, Demolition Plan, Site Utility Service Plan, Greater Cincinnati Water Works Branch Application Plan, and Site Drainage and Erosion Control Plan, are included as Exhibit D. These plans were reviewed by the Metropolitan Sewer District, Greater Cincinnati Water Works, and the Department of Buildings and Inspections during the Coordinated Site Review process.
- d) Open Space The District at Clifton Heights is intended to be a minimum setback mixed-use development, with open space being provided in the form of pedestrian plazas on private properties that are oriented towards the street network and streetscape improvements along the existing public rights-of-way. The provided Landscape Plan (Exhibit F) indicates 7,515 sq. ft. of planted area which includes street trees and plantings around the perimeter of the building, and a 1,640 sq. ft. plaza area located along Straight Street outside of the public right-of-way.
- Schematic Building Plans The schematic building plans, included as Exhibit E, are consistent with the Concept Plan in size, location, and height. The structure is proposed to be constructed with a mix of materials including brick, concrete, scored face CMU, metal panel (corrugated and perforated), and glass. The proposed building is 14 stories in height, measuring 143'-3" (measured from the intersection of Stratford Avenue and Straight Street to the roof of the highest habitable level per the approved Concept Plan). The structure remains at the same height measured from the intersection of Stratford Avenue and Straight Street and runs parallel with Stratford Avenue. Because the elevation decreases south to north on Stratford Avenue, the north elevation, measured from foundation grade to the roof of highest habitable level, measures 178'-9". Because of this, the three lower levels of parking at the north elevation of the structure are above grade, and the three lower levels of parking at the south elevation (Straight Street) are below grade. Where the parking levels are above grade, the elevations include use of brick, scored face CMU, and metal panel materials consistent with the entire elevation. These portions of façade also include building recesses to imitate the fenestration of the upper floors. Vehicular access to the parking levels are located on Stratford Avenue approximately 68' north of Straight Street. The 14story student residential units are proposed to be built above the parking levels on the main north-south spine of the building. There is an additional east-west spine on the east façade of the structure that is 12stories in height, with a rooftop deck amenity area that is accessed via the 13<sup>th</sup> floor.

The south elevation (along Straight Street) includes a first-floor storefront that will be used for the 2,272 sq. ft. retail/commercial space, a pedestrian entry for the residential units and a pedestrian entry for the public garage elevator lobby.

f) Landscape Plans – A landscape plan and plant palette was submitted as Exhibit F. The provided landscape plan indicates 7,515 sq. ft. of planted area which includes street trees along Stratford Avenue and Straight Street, plantings around the perimeter of the building, and a 1,640 sq. ft. plaza area located along Straight Street outside of the public right-of-way.

g) Phased Schedule – The proposed Final Development Plan is proposed to be constructed in a single phase. Exhibit G identifies the following milestones in the anticipated construction schedule:

<i>2021</i>	
June	Construction begins
September	Foundation Construction Complete
December	Podium Construction Complete
2022	
August	Structure Complete
	Pool Deck Framing Complete/Ready for Pool Installation
2023	
March	Enclosure Complete
July	Substantial Completion
	Building Turnover

- h) Ownership The property is currently owned by OH-UC, Holdings II, LLC. Upon completion of the structure, the student residence portion of the structure will be owned by Core Spaces, and the parking structure will continue to be owned by OH-UC Holdings II, LLC. This will require the creation of air lots, which will require review and approval by the City Planning Commission at a later date through the Major Subdivision process.
- i) Statement of Uses The principal use of the proposed structure is a mix of student housing and retail/commercial space. The applicant has provided a Statement of Uses with the proposed Final Development Plan submittal for Block A1 (Exhibit I). The uses outlined in Exhibit I are consistent with the Use Table for Sub Area A that was part of the approved Concept Plan and Development Program Statement for the District at Clifton Heights Planned Development.
- j) Future Ownership and Control Upon completion of the structure, the student residences portion of the structure will be owned by Core Spaces, and the parking structure will be owned by OH-UC Holdings II, LLC. This separate ownership structure will require the creation of air lots, which will require review and approval by the City Planning Commission at a later date through the Major Subdivision process.
- k) Restrictive Covenants There are no restrictive covenants for the property.
- l) Other Information

Noise Levels

Noise levels during the construction and use of the proposed Final Development Plan is pursuant to Cincinnati Municipal Code Chapter 909 and based on the requirements for the adjacent zoning district for the receiving property. Because the adjacent properties to the south are within PD-86, the District at Clifton Heights, and the Concept Plan includes the activation of Straight Street as a "great street" with retail/commercial uses on the ground floor, the noise levels for the retail/commercial space of Block A1 are proposed to be based on commercial district criteria. However, the receiving properties to the west and north are residential uses, and therefore the noise levels for the student residential use is proposed to be based on residential districts criteria. The following permanent noise levels shall apply to the proposed Final Development Plan for Block A1:

Retail/Commercial Use on Straight Street:

	Table 1   Sund	lay through Wednesday	
Times	7 a.m. to 7 p.m.	7 p.m. to 2 a.m.	2 a.m. to 7 a.m.
Day	Sunday through	Sunday through	Sunday through
	Wednesday	Wednesday	Thursday
Noise Level	70 dB	65 dB	65 dB

Table 2   Thursday				
Times	7 a.m. to 7 p.m.	7 p.m. to Midnight	Midnight to 7 a.m.	
Day	Thursday	Thursday	Friday	
Noise Level	70 dB	75 dB	65 dB	

	Table 3   Frie	day through Saturday	
Times	7 a.m. to 7 p.m.	7 p.m. to 2 a.m.	2 a.m. to 7 a.m.
Day	Friday through Saturday	Friday through Saturday	Saturday through
			Sunday
Noise Level	75 dB	75 dB	70 dB

# Student Residential Use:

	Table 1   Sund	lay through Wednesday	
Times	7 a.m. to 7 p.m.	7 p.m. to 2 a.m.	2 a.m. to 7 a.m.
Day	Sunday through	Sunday through	Sunday through
	Wednesday	Wednesday	Thursday
Noise Level	60 dB	55 dB	55 dB

Table 2   Thursday			
Times	7 a.m. to 7 p.m.	7 p.m. to Midnight	Midnight to 7 a.m.
Day	Thursday	Thursday	Friday
Noise Level	60 dB	55 dB	55 dB

	Table 3   Frie	day through Saturday	
Times	7 a.m. to 7 p.m.	7 p.m. to 2 a.m.	2 a.m. to 7 a.m.
Day	Friday through Saturday	Friday through Saturday	Saturday through Sunday
Noise Level	65 dB	60 dB	60 dB

# Signage

For the purposes of the Final Development Plan for Block A1, the sign regulations established by Chapter 1427 of the Cincinnati Zoning Code for the Commercial Neighborhood – Pedestrian (CN-P) and the Commercial Community – Pedestrian (CC-P) shall govern. Any signage that deviates from the requirements established by Chapter 1427 of the Cincinnati Zoning Code for the CN-P and CC-P district will need to be submitted to, and reviewed by the Department of City Planning for final approval.

# PLANNING COMMISSION APPROVAL OF FINAL DEVELOPMENT PLAN:

The City Planning Commission may approve a Final Development Plan for a development in a PD District (§ 1429-15) on consideration of the following:

- (a) Consistency. The Final Development Plan is consistent with the purpose of the Planned Development District Regulations; specifically:
  - It allows for a more efficient and economically feasible development of property.
  - It ensures an orderly and thorough planning and review, which has produced quality design and development.
  - It provides for more creative development through flexibility in the design.
- (b) Adequate Streets. The existing public streets are adequate to serve the proposed mixed-use development. No new streets are being proposed. The applicant is working with the Department of Transportation and Engineering regarding the overall public street network and improvements necessary during each phase of the overall District at Clifton Heights Planned Development, in addition to any dedication that may be necessary.
- (c) Adequate Infrastructure. The petitioner has coordinated with Greater Cincinnati Water Works, the Metropolitan Sewer District, Duke Energy, and the Department of Transportation and Engineering to ensure that the proposed infrastructure and utilities are adequate to serve the site and properly interconnect with existing public facilities. The engineering plans are included as Exhibit D.
- (d) **Covenant.** The Department of City Planning must require covenants by the owner of the property that all streets, common areas, common utilities and other common facilities remain in common ownership by all owners of any interest in the land or buildings in the Planned Development other than a leasehold interest of less than five years. The applicant will need to provide any necessary covenants in accordance with §1429-15 in connection with submission of building permits.
- (e) Release of Covenants. The City Manager, on receipt of a recommendation from the Director of City Planning, may recommend the covenant be terminated in the following instances: the particular use requiring a covenant is no longer necessary and the building permits have been terminated, or the condition or conditions requiring such covenant are no longer applicable.
- (f) Compatibility. The proposed uses are compatible with the surrounding residential land uses and future proposed mixed uses of the overall District at Clifton Heights Planned Development. Additionally, the design of the structure is intended to match the building materials of the surrounding neighborhoods and the buildings on the adjacent University of Cincinnati main campus. The location of the pedestrian plaza and pedestrian entrances to the structure on Straight Street will help to activate the right-of-way. Additionally, by locating the vehicular entry points to the parking garage on Stratford Avenue, vehicular traffic and stacking will be directed away from Straight Street, which is consistent with the vision of this corridor in the approved Concept Plan and Development Program Statement for the overall Planned Development.
- (g) Sufficiency of Legal Documents. Proposed easements and other provisions meet development standards. A Declaration of Easement and a Water Service Covenant is required to be fully executed and recorded with Hamilton County Recorder's Office prior to Greater Cincinnati Water Works approval of water service branches for the proposed Final Development Plan. The applicant intends to create air lots for Block A1, which will include these easements. The creation of air lots is considered a Major Subdivision and will require review and approval by the City Planning Commission. This will ensure that all easements are properly illustrated and recorded.

(h) Sufficiency of Provisions for Maintenance of Common Areas. The proposed project includes approximately 7,515 sq. ft. of planted area which includes street trees and plantings around the perimeter of the building, and a 1,640 sq. ft. plaza area located along Straight Street outside of the public right-of-way which will be maintained by the owner. The Cincinnati Park Board (Urban Forestry) has indicated that new street trees will require the applicant to obtain a Public Tree Work Permit (PTWP) prior to planting.

# **PUBLIC COMMENT AND NOTIFICATION:**

The Department of City Planning held a virtual public staff conference on February 22, 2021. Notice of the Public Staff Conference was sent to all property owners within 400' of the boundary of PD-86, as well as the CUF Neighborhood Association, the Clifton Heights Community Urban Redevelopment Corporation (CHCURC), the Clifton Heights Business Association, and the Corryville Community Council. In total, there were 27 people in attendance, including 11 members of the applicant team, seven community members, and eight members of various City Departments (including the Department of Transportation and Engineering, Department of Community and Economic Development, and the Department of City Planning). During the meeting questions related to construction timeline, location of parking on- and off-site, parking calculations, availability of parking for the public, questions related to whether the existing surface parking lot to the east of the subject property will remain, and construction management for the proposal were discussed based on community members' questions. Overall, there were no major concerns related to the proposal. It was stated that the applicant has remained engaged with the neighborhood since the approval of the Zone Change, Concept Plan, and Development Program Statement.

On March 2, 2021, notice of the City Planning Commission meeting was sent to all property owners within 400' of the boundary of PD-86, the CUF Neighborhood Association, CHCURC, the Clifton Heights Business Association, the Corryville Community Council, and all those in attendance at the Public Staff Conference. Todate, the Department of City Planning has not received any letters or correspondence regarding the proposed Final Development Plan for Block A1.

A web page was also created on the Department of City Planning's website with information regarding the proposed Final Development Plan, upcoming meetings, and contact information related to the proposal.

# **COORDINATED SITE REVIEW:**

The proposed Final Development Plan for Block A1 was submitted to the City's Coordinated Site Review at a Technical Design Review level. The Coordinated Site Review Advisory Team met on January 26, 2021. A meeting was held with the applicant to review departmental feedback on January 29, 2021. The applicant also received a letter outlining the feedback as seen in Exhibit J. There were no immediate concerns about the proposal. There are requirements that the applicant will need to address to obtain permits as this project progresses, including coordination with Greater Cincinnati Water Works regarding air lots on the property for water service branches and easements, the Fire Department regarding hydrant locations for all parts of the structure, the Parks Department (Urban Forestry) regarding street tree planting, and the Department of Transportation and Engineering regarding finalization of detailed designs for the public right-of-way. The applicant is actively working with these departments and will continue to do so as the development progresses.

# **ANALYSIS:**

The staff of the Department of City Planning supports the proposed Final Development Plan for Block A1 of PD-86, the District at Clifton Heights. The proposed mixed-use building is consistent with the approved Concept Plan and Development Program Statement for Sub-Area A of the overall District at Clifton Heights mixed-use development proposal. One of the major concerns that was discussed during the Zone Change, Concept Plan, and Development Program Statement process was parking. The proposed development includes a 169-space

parking garage interior to the structure that will serve the next phase of development within Sub-Area A, and the proposed 380 unit student residential use will require 392 parking spaces, which are already provided within the existing Stratford Garage (located immediately adjacent to the west, opposite of Stratford Avenue). The proposed building height is compliant with the maximum building height allowable for Sub-Area A of the Planned Development based on the measurement definition established by the Concept Plan and Development Program Statement. The proposed building footprint is also consistent with the approved development standards of the Planned Development.

The northern portion of the subject property is located within a Hillside Overlay District. The proposed structure exceeds the Maximum Building Envelope (MBE) and the limit on cumulative excavation and fill, therefore the applicant requested review and relief from the Cincinnati Zoning Code related to these items. The proposed development is unique in that it is zoned Planned Development, which establishes the maximum building height and minimum setbacks per the approved Concept Plan and Development Program Statement. Based on Zoning staff's analysis, the following findings were identified regarding relief from hillside review (outlined in Exhibit K):

- 1. The proposed building is located within a Planned Development District. The Hillside Overlay regulations are the only Zoning regulations that apply to this site.
- 2. The proposed building appears to be consistent with the approved Concept Plan
- 3. The proposed setbacks and height are not expected to cause adverse effects on adjacent property owners.

Based on these findings, the Department of City Planning supports the Department of Buildings and Inspections – Zoning Division's recommendation as follows:

- 1. Section 1433-19 (a) Approve Hillside Review to allow a proposed building exceeding the allowable Maximum Building Envelope.
- 2. Section 1421-19 (g) Approve Hillside Review to allow approximately 46 ft. of cumulative excavation and fill, exceeding the 8 ft. limit.

Further, the character of the surrounding area was also considered during the design of the proposed 14-story mixed-use building. The applicant is proposing the use of a mix of materials that complement the adjacent CUF and Corryville neighborhoods and pull from the materials and style of structures located on the adjacent University of Cincinnati's main campus.

# **CONSISTENCY WITH PLANS:**

Plan Cincinnati (2012)

The proposed Final Development Plan is consistent with the Compete Initiative Area of *Plan Cincinnati* (2012), particularly within the Goal to "Cultivate our position as the most vibrant and economically healthy part of our region (page 114), specifically "Focus development on the existing centers of activity by developing compact walkable mixed-use districts and better connect them to residential areas" (page 116). The proposed mixed-use development introduces a compact walkable district in the CUF neighborhood adjacent to the University of Cincinnati where there is activity amongst residents, students, and employees in the neighborhood.

The Final Development Plan is also consistent with the Live Initiative Area, particularly within the Goal to "Provide a full spectrum of housing options, and improve housing quality and affordability" (page 164), specifically "Offer housing options of varied sizes and types for residents at all stages of life" (page 169). The proposed mixed-use structure allows for additional units for University of Cincinnati students.

University Impact Area Solutions Study (2016)

The proposed Final Development Plan is consistent with portions of the *University Impact Area Solutions Study*, approved by the City Planning Commission on September 30, 2016 and by the Cincinnati City Council on October 19, 2016 as Resolution No. 47-2016. A Zoning and New Development Working Group was created specifically to focus on issues related to zoning and new development. Goal #1 established by this Working Group was to "establish where growth and density should be located in the areas near the University of Cincinnati" (page 46 – 50). The Working Group Proposed Map (page 50) identifies the subject site as a "Future Development Opportunity." The proposed mixed-use development is within one of the identified "Future Development Opportunity" areas. Additionally, the petitioner has worked with the community throughout the Zone Change, Concept Plan, and Development Program Statement process to determine appropriate building heights, uses and design. This engagement continued through the Final Development process for proposed Block A1.

# **FINDINGS:**

It is the opinion of staff of the Department of City Planning that the Final Development Plan is in compliance with §1429-15 "Planning Commission Approval of Final Development Plan" as outlined on pages 6-7 of this report. Further, the proposal substantially conforms with the previously approved Concept Plan.

# **CONCLUSIONS:**

The staff of the Department of City Planning supports the proposed Final Development Plan for Block A1 of PD-86, the District at Clifton Heights for the following reasons:

- 1. The Final Development Plan is consistent with the approved Concept Plan, Development Program Statement.
- 2. The Department of Building and Inspections Zoning Division recommends approval of the Hillside Review for the proposed structure.
- 3. The development has taken into consideration the existing character of the surrounding neighborhoods and the University of Cincinnati, and the development will not negatively impact this character.
- 4. The Final Development Plan is consistent with goals in *Plan Cincinnati* (2012) and the *University Impact Area Solutions Study* (2016).

# **RECOMMENDATION:**

The staff of the Department of City Planning recommends that the City Planning Commission take the following actions:

- 1. **APPROVE** the Final Development Plan for Block A1 of Planned Development #86 (PD-86), the District at Clifton Heights, in CUF, as specified on pages 6-7 of this report and;
- 2. ADOPT the Department of City Planning Findings as detailed on page 9 of this report.

Respectfully submitted:

Andy Juengling, AICP, Senior City Planner

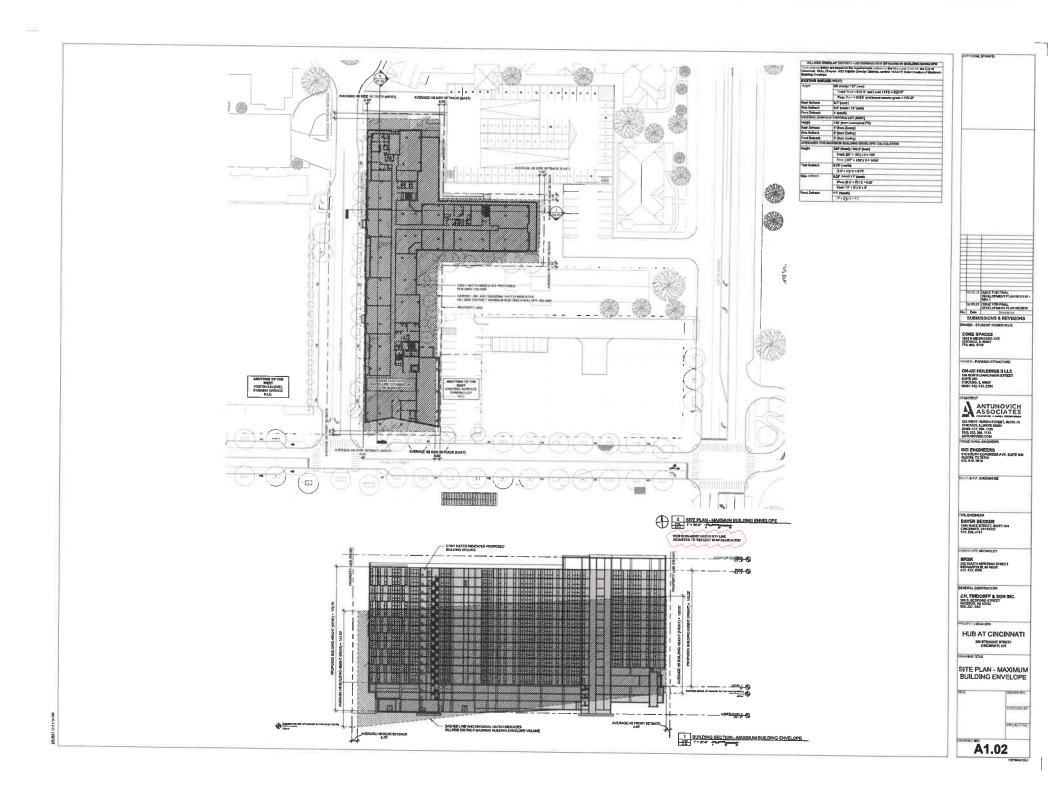
Department of City Planning

Approved: (atherine Kenyh-Jus

Katherine Keough-Jurs, AICP, Director

Department of City Planning

Proposed Final Development Plan for The District at Clifton Heights in CUF DIGBYAV PR **ACADEMIA WY** MCMICKENCIR JOSELINAL MOUNTAIN AL RM-0.7 CLIFTON AV STAIR AL O STRAIFORD AV Block A1 FORTUNE AV The Deacon IR Tri-Delta SF-2 House PD BACKSTAGE DR STRAIGHT ST The District at **Clifton Heights** AVINE ST STRY AV IRVIEW AV CLIFTON AV CORBETT DR **RMX** CALHOUN ST Legend **Proposed Final Development Plan Property Location** Streetscape Improvements





STAMPS

#### SITE GENERAL NOTES

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#### SITE DEMOLITION NOTES

- THE TOPOGRAPHIC AND UTLITY INFORMATION SHOWN IS BASED ON A SURVEY PREPARED BY BAYER SECKER, DATED DECEMBER 2020. THE CONTRACTOR SHALL OBTAIN A COMPLETE COPY OF THE POIAL BASE MAP PRIOR TO BEGINNING

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#### MAINTENANCE OF TRAFFIC NOTES

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#### SITE UTILITY PLAN NOTES

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#### SITE GRADING PLAN NOTES

- THE GRADING PLAN IS TO BE USED FOR GRADING PURPOSES ONLY.

  ALL DRIBEROIS AND PROPOSED REMATIONS ARE TO THE EDGE OF PAYMENT URLESS OTHERMOSE INTER. ALL

  ALL DRIBEROIS AND PROPOSED REMATIONS ARE TO THE EDGE OF PAYMENT UNITED STATES. SO THE PLAN IS TO THE PROPOSED AND PLAN PREPARED OF MISS FOR PIPM, BLEVATIONS
  PRICES TO COMMITTE WITH ONLY THE PROPOSED AND CONTINUED AND PROPOSED OF THE PLAN PROPOSED AND PROPO

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#### SMU STANDARD PLAN NOTES

- SMU STANDARD PLAN NOTES

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### MSD SANITARY SEWER NOTES

#### EFFECTIVE I OCTOBER 2004

- INFECTION OF CONTRICTION WITHIN THE CITY OF CRICIARYS BANAL COURT VIRTIN THE LATE EXTENSION THE WHILE AND RESILLATIONS CONTRICTION CONTRICTION. AND RESILLATION OF THE WHILE AND RESILLATION OF THE WHILL AND RESILLATION OF THE WHILD OF THE WHILL AND RESILLATION OF THE WHILL AND

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#### SITE EROSION CONTROL NOTES

- THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO DEMOLITION AND CONSTRUCTION, CONTRACTOR SHALL BE RESPONSIBLE FOR RAPLEMENTING AND MAINTAINING EROSION CONTROL MEASURES PER THE ONLY OF THE PRIOR OF TH
- BELOGRIFLETOR BALL ENDIAL ENDIAL OCCUPATION, MANAGEMENT OF THE MANAGEME

- ESOURCE AS A SUBSECTION OF CONSIGNATION DOTTOK THE COMPLEX PRODUCT STREET EMPIRISHMON ANY EX-ENDATION TO ANY TREMODARY PROBLEM. MAIL AND RESERVE AND CONTINUE OF THE ARMS. THE PROPERTY OF THE PROBLEM AND CONTINUE OF THE PROBLE

- RESOVED.

  A TEMPORARY CONSTRUCTION ENTRANCE SMALL BE INSTALLED AT EACH POINT OF INGRESS AND EGRESS TO THE SITE DURING CONSTRUCTON, SEE DETAIL 4C401.

  ALL DETURED ARES DATES SEEDED. SEE SEEDED. SEE DETAIL 1C401.

#### SITE PERMITS NOTES

CONTRACTOR SHALL BE RESPONSIBLE FOR DOTAFFICA ALL CITY OF CHICARATH PERMITS FOR PROPOSED SITE WORD ROLLIGARS, BUT NOT LAMITED TO COMEN BEARS A PRICATION, HIGH TAY PERMIT, PLUASSON PERMIT, DOTA RIGHT-OWNLY PERMIT (FOR UTILITY CONNECTIONS, STREETENING, PLUAS PLEAR, AND PANNEOT HETALLYTON), DOTE AMPRICADE PERMIT, DOTE REVOLUCIAL STREET PERMIT IF A PPLICARY.

DEVELOPMENT PLAY REVI SUBMISSIONS & REVISIONS THE R . STUDDY BE TROBLES CORE SPACES 1943 H MILWAIREE AVE CHICAGO E 40947 773 808 8740 FIRE PARKING STRUCTURE OH-UC HOLDINGS II LLC SUITE 200 CHICAGO, E. 80807 MAIN; \$12, 616, 2794 ANTUNOVICH ASSOCIATES 224 WEST MURON STREET, SLATE 7E CHICAGO, BLING'S GOB4 MAR: 312, 208, 1128 FAX: 312, 288, 7123 ANTUNOVICIA COM "UCTURAL ENGINEER DC! ENGINEERS 515 SOUTH CONCRESS AVE. SLITTE 800 AUSTIN, TX 78704 612, 819, 8519 BAYER BECKER 1904 RACE STREET, 23/11E 204 CINCSHATE CH 45/202 513, 834, 6149 AH DSCAPE ARCHITECT MKSK 200 SOUTH MERIDIAN STREET NOIAMAPOLIS, IN 46225 317, 423 MEN. J.H. FINDORFF & SON INC. 300 6. BEDFORD STREET MADISON, WI 63765 OJECT LOCATION RAWING TITLE SITE NOTES

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HUB AT CINCINNATI

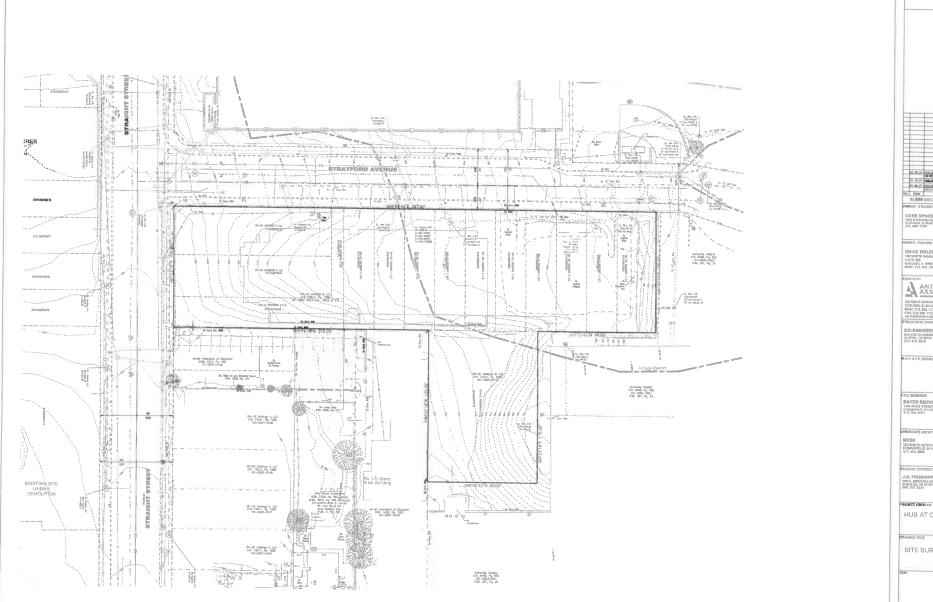
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**Exhibit** 

C1.00







OH-LIC HOLDINGS II LLC 158 NORTH SANGARON STREET SUITE 200 CHICAGO, R. 60607 MAIN: 312, 616, 2794

ANTUNOVICH

DCI ENGINEERS 515 SQUTH CONGRESS AVE, SUITE 600 AUSTIN, TX 760 M 512 415, 5019

M.E.P. B.F.P. ENGINEERS

EMIL BAGNEER
BAYER BECKER
1494 RACE STREET, SUITE 204
CHICKNATE CH 45202
513, 834, 6151

MANDRICAPE ARCHITEC MKSK 200 SOUTH MERIDUM STREET HDANAPOLIS, N 46225 317, 423, 9809

MENERAL DURING ACTOR J.H. FINDORFF & SON INC. 300 S. REDFORD STREET MADISON, WESTES 608, 257, 5334

HUB AT CINCINNATI

SITE SURVEY

C2.00



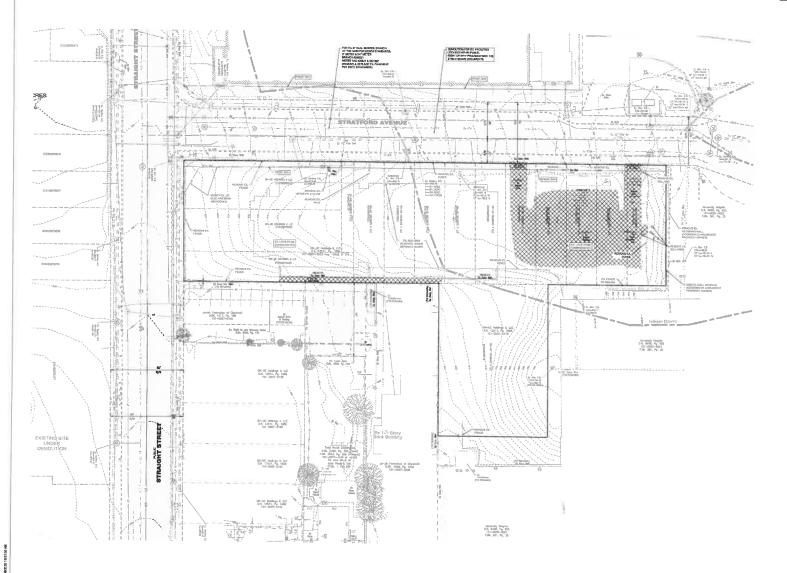


LEGEND





SEE STREET SCAPE PLANS FOR WORK WITHIN PUBLIC RIGHT-OF-WAY



DEVELOPMENT PLAN REVIEW SSUE FOR PRICING DESIGN IV.

CORE SPACES 1643 H M.E.WALKEE AVE CHICAGO, B. 60647 773, 969, 5740

WINER - PARKING STRUCTURE OH-UC HOLDINGS II LLC 158 NORTH SANGAMON STREET 8011E 200 CHICAGO, IL 08007 MAN: 312 018, 2784

ANTUNOVICH ASSOCIATES

TRUCTURALENGINEE DCI ENGINEERS 515 SOUTH CONGRESS AVE, SUITE BOD AUSTIN, TX 78704 512 BIS 5618

W.E.P. 4 F.P. ENGINEERS

TVIL ENGINEER
BAYER BECKER
1408 RACE STREET, SUITE 204
CINCENNATI, OH 46202
613, 834, 8151

MKSK 200 SOUTH MERIDIAN STREET NICANAPOLIS, N 46226 317, 423, 9800

ENERAL CONTRACTOR J.H. FINDORFF & SON INC. 300 S. BEOFORD STREET MADISCH, WI 63703 608 297, 8321

HILLECT LOCATION

HUB AT CINCINNATI

SITE DEMOLITION PLAN

C2.01



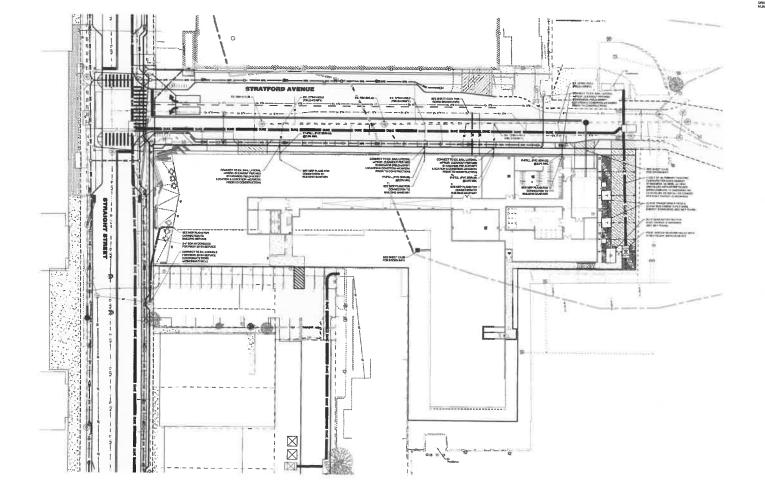


LEGEND

SEE STREETSCAPE PLANS FOR WORK WITHIN PUBLIC BIGHT-OF-MAY

### MSD SEWER NOTES

- TO CONTROL TO CONTROL TO CONTROL CONTR



DEVELOPMENT PLAN REAL

HIT FOR PRICING

DESIGN OF THE TELEPHONE

DATE:

DATE: - CLIDENT RESIDENCES

CORE SPACES 19K3 N BE, WAUKEE AVE CHICAGO, B, 60647 773, 961, 6740

OH-UC HOLDINGS II LLC 8UITE 200 CHICAGO, IL 80607 MARI: 512. 615, 2794

ANTUNOVICH ASSOCIATES

DCI ENGINEERS 510 SOUTH CONGRESS AVE, SUITE 600 AUSTIM, TX 78704 512, 619, 6619

NTLENGMEER BAYER BECKER 1404 RAGE STREET, SUITE 204 CNCRNATI ON 45202 513, 534, 615?

MKSK 200 SOUTH MERIDIAN STREET NOWN APOLIS, IN 48225 517, 423, 9000

J.H. FINDORFF & BON (NC. 3005. BEFDING STREET MADISON, WI 65703 608, 257, 6321

- DIECT LOCATION

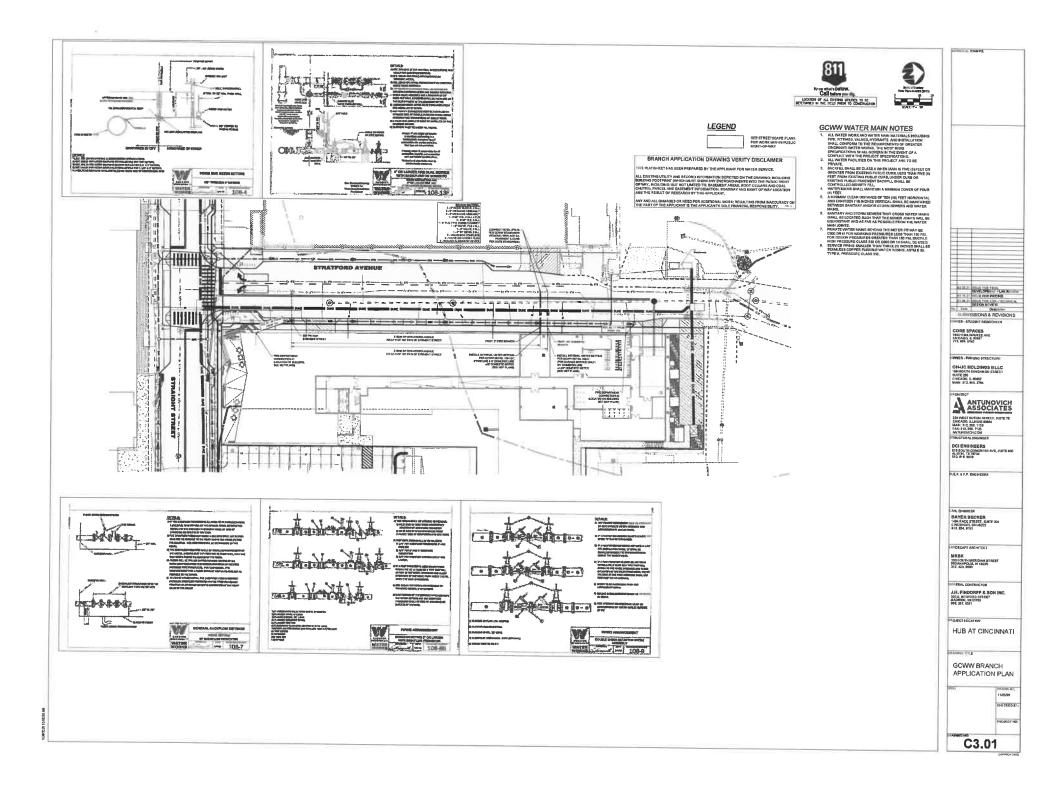
HUB AT CINCINNATI

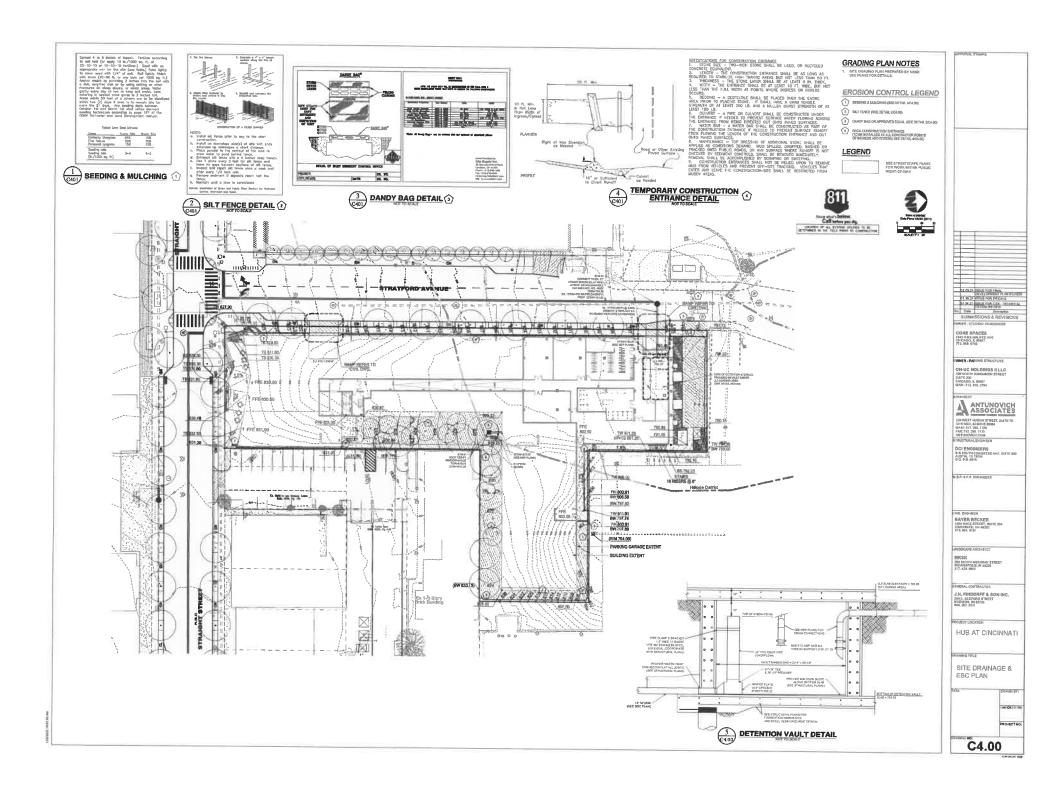
SITE UTILITY

SERVICE PLAN

CHI CKE TY:

C3.00





02.03.2021



		ISSUE FOR C&R - TECHNICAL DESIGN REVIEW	ISSUE FOR FINAL DEVELOPMENT PLANREYER
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OCM			
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C2.00	SHIE SURVEY	1	
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C3.01	SITE UTILITY IN THE E PLAN	- 0	
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	SCAPE		
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# **HUB AT CINCINNATI**

350 STRAIGHT STREET CINCINNATI, OHIO

ISSUE FOR FINAL DEVELOPMENT PLAN REVIEW **FEBRUARY 3, 2021** 

OWNER - STUDENT RESIDENCES **CORE SPACES** 

OWNER - PARKING STRUCTURE **OH-UC HOLDINGS II LLC** 

ARCHITECT ANTUNOVICH ASSOCIATES

224 WEST HURON STREET, STE 7E CHICAGO, ILLINOIS 60654 MAIN: 312, 266, 1128 FAX: 312, 266, 7123 ANTUNOVICH,COM

GENERAL CONTRACTOR

J.H. FINDORFF & SON INC.

515 SOUTH CONGRESS AVE, SUITE 600 AUSTIN, TX 78704 MAIN: 512, 619, 6619

STRUCTURAL ENGINEER

**DCI ENGINEERS** 

CIVIL ENGINEER

**BAYER BECKER** 

MKSK

LANDSCAPE ARCHITECT

INTERIOR DESIGNER

1643 N MILWAUKEE AVE CHICAGO, IL 60647 MAIN: 773, 969, 5740

159 NORTH SANGAMON STREET SUITE 200 CHICAGO, IL 60807 MAIN: 312. 615, 2794

300 S. BEDFORD STREET MADISON, WI 53703 MAIN: 608. 257, 5321

1404 RACE STREET, SUITE 204 CINCINNATI, OH 45202 MAIN: 513, 834, 6151

200 SOUTH MERIDIAN STREET INDIANAPOLIS, IN 46225 MAIN: 317. 423. 9600

Commenced Strategies and substance of central by the Managed Code for the One of Code

FAG is calculated below on defined by the Manipal Code for the City of Centered, Cities, seeken 16(1)-11-77. These was refor meant to push floor ereo of a building defined by their building of the code of the City of Centered, Cities, seeken 16(1)-11-77. These was refor meant to push floor ereo of a building defined by their building of the code of the Cities and the City of the City of

LEVEL	FLOOR	OVERALL				REMOVENI	AL - APARTI	MENT				RET	AL	PARKING	VLOADING	Total GSP WITHOUT	Total GBF WITH	
	HENOHT	HEIGHT	COMMON	RECREATION	AMERITY AREA	MECHANICAL	RŝF	Public Terrace	Private Terrace / Balcony	пермосма	UNITS	PIXTAL HSP	RETAIL COMMON	AREA	8PACR3	AND TERRACES	AND	FAR area
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- 11	2.2	2.50	3,800		-		28.546		550	75	29			-		33,196	37,126	10.54
10	9-9"	9.77	3,600	-		100	26,640	-	558	75	29			-	- m.	20,496	51,146	36.34 36.34 36.34
9	879"	9.5	3,500	-		- 275	20,546	-	554			-	- 2-	-	-	30,896	31,148	39.34
8	31-9"	18.77	2.899	-					\$50	76	28	-	-		-	30,596	31,146	39.54
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- 1	8-5.	0,5	1697	1000		Br	26,118		550	78	29	-	- 10		-	30,168	36,716	29.012
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				UN	TM	ATRI	K OP	TION	ILIB AT CE	édn	esda	y, F	ebru	ary 3	202	1			
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	100	42	13		57	25	29	7%		37K	100	96	244	218	- 60	100	-		-

					PLANN	ED DEVELOPME	ENT BULK RI	EGULATIONS A	NO DATA TAI	LE-UPDATED	2221						
						SUB AREA											
			A			В				D					,	TO	PAL.
		APPROVED		ACT	JAL .												
	A1	A2	POPALA POP 2/3/21	A1	AZ	APPROVED	ACTUAL	APPROVED	ACTUAL	APPROVED	ACTUAL	APPROVED	ACTUM	APPROVED	AETUAL	APPROVED	ACTUAL,
NET SITE AREA	50.950 al	65,044 sf	115,994 ut	\$0,950 st	65,044 of	40,615 ef	40.618 at	49,556 at	49u555 ef	47,235 st	(etimin)	12.097 of	12,007 st	137,839 sl	121.825 er	403,438 sř	40.426.6
FAR SITE AREA	50.950 sd	65,044 of	115,994 of	50,950 of	68,044 at	40,515 sf	40,618 ±1	49.656 of	49,655 el	47,235 of	47,295 st	12,097 ef	12,007 ef	137,639 el	137,839 of	403,430 ef	-
ALOWABLE FLOOR AREA RATIO:	3.50	2.00	5.50	3.50	TBD	1.50	TBD	8,00	TBD	5.00	TBO	1,60	1,60	6.95	5.95	5.08	TRD
CALCULATE FAR	405,437 af	232,510 wf	637,987 ef	405,457 st	180	142,183 st	TBD	397,240 sl	TBD	236,175 e7	TBD	18,148 of	18.14E ef	820,000 wi	820,000 s7	2,261,891 al	TED
MAX. RESIDENTIAL UNITS	380 Units	70 Units	450 Units	380 Units	TBD	100 Units	TBD	300 Units	TBD	200 LIVIS	TBD	30 Bedrooms	30 Bedrooms	351 Units	351 Uelte	8,404 Units & 30 Bedrooms	TBD
AX, RETAIL / COMMERCIAL SPACE	2,272 ef	192,728 of	195,000 td	2,272 st	твр	100,000 sf	110	30,000 et	1901	0 ef	Vince .	0 =	100	4,000 wf	4,000 sf	329,000 ef	TBO
LOADING BERTHS	2 Bertis	1 Bertha	3 Bertha	2 Berths	TBD	1 Berba	THE	1 Berthe	TBD	O Berlin	190	O Bertim	0 Bartin	O Beetro	O Berthe	5 Bertin	Peo
NINAMA AN BUILDING SETEMOKS	6'-0" FRONT 6'-0" SIDE 5'-0" REAR	5'-0" FRONT 0'-0" SIDE 6'-0" REAR	6'-0" FRONT 0'-0" SIDE 6'-0" REAR	10"-0" FRONT 0-0" SIDE 5'-0" REAR	Tép	5'-0" FRONT 0'-0" SIDE 6'-0" REAR	TBO	5'-0" FRONT 0'-0" BIDE 5'-0" REAR	TBD	6°-0" FRONT 10°-0" SIDE; 11-0" HEAR	TBD	10-IF FROM 10-IF FROM 1-IF REAR	TO A! PROMIT HOW THESE SHIP REAR	0'-0" FRONT 0'-0" SIDE 0'-0" REAR	0'-0" FRONT 0'-0" SIDE 0'-0" REAR	3	323
MAXIMUM BUILDING HEIGHT	150r-0°	150v0*	150-0"	143'-3"	TBD	100'-0"	TEE	276'-0"	TBD	106'-0"	TBO	49-0	45'-0"	160'-0"	16040*		

	PLANNED DEVELOPMENT ZONII SUB AREA A	NO SUMMARY
	APPROVED	PROVIDED (BLOCK A1)
NET SITE AREA		115,094 SF
FAR SITE AREA		115,994 SF
ALLOWABLE FLOOR AREA RATIO	FAR 5,5 = 637,867 BF (TOTAL)	405,467 SF (FAR 3,50)
MAX RESIDENTIAL URING	450 LPeTS	380 UNITS
MAX RETAIL / COMMISSICIAL SPACE	195,000 SF (TOTAL)	2.272.3F
PAUSUNG SPACES  ISING: GREATER OF  ER BEDROOM	STUDENT HOURING: 880 SEDRIQUIS  X 0.4 × 392 CARS  RETAIL: 2.5 X (2.272 / 1,000) = 6 CARS	NEW STUDENT HOUSING: 592 CARS THE DEACON: 412 CARS TOTAL RESIGN IN STRATFORD GARAGE: 804 CARS (81 PROVIDED) HOTEL RETAL: 169 CARS
LOADING BERTHI	3	2
MINIMAUN BUILDING SETBACKS	8'-0" FRONT 6'-0" SIDE 8'-0" REAR	10"-0" PRONT 0"-0" BIDE 6-0" REAR
MAXIMUM GUILDING HEIGHT	190'-0"	165.2

<sup>&</sup>quot;HIGHT AS MEASURED FROM THE CORNER OF STRATFORD AVE, AND STRAIGHT ST."

DVAL TAMPS

SSESSI SELE FOR FRAL

SOUTH CHARGE FLAN REVIEW

GRAST ISSUE # 11\*\*

GRAST ISSUE # 10\*\*

GRAST ISSUE # 10\*\*

GRAST ISSUE # 10\*\*

JULY ISSUE FOR CITY ILLY REVIEW

JULY ISSUE FOR CITY ILLY REVIEW

JULY ISSUE FOR CITY ILLY REVIEW

SUBMISSIONS & REVIEWONS

DWART - BIUDERT RESIDENCES

GORE SPACES 1943 N MELYAUNCE AVE CHICAGO, L 50847 773, 859, 5740

- PARKING STRUCTURE CH-UC HOLDINGS II LL,C 150 NORTH SANGAMON STREET SUITE 200 CHCAGO, L 60007 MAIN: 31Z 81S, 2784

ANTUNOVICH
ASSOCIATES
ANSWERTS - AURINI PER CONTROL
ASSOCIATES
CONCRETE STREET, SUITE 75
CHÉCOO, BLECOS ROMÉ
FAUSTI, 200, 1121
ANTUNOMICO M
THURSTONICO M
THURSTONICO M
THURSTONICO M

DCI ENGINEERS 515 SOUTH CONGRESS AVE, SUITE 600 AUSTIN, TX 78704 612, 616, 6619

M.E.P. & F.P. ENGINEERS

TVIL ENGREER
BAYER BECKER
1004 FUCE STREET, SUITE 204
CHICANATI, OH 46242
513, 634, 6151

AND IT ARE ARCHITECT

SINCSIK 200 GOUTH MERIDIAN STREET BODANAPOLIS, IN 45225 317, 423, 9600

J.H. FINDORFF & BON INC. 200 B. BEDFORD STREET MADISON, WI STYOS 606, 267, 5321

HUB AT CINCINNATI 350 STRAKHIT STREET CINCINNATI, DH

DATA TABLES

CH+C+HD H KONECT NO

G0.01

# ABBREVIATIONS METAL ACCESS FLOOR PIBL ACCESS PANEL ACOUSTICAL CERMINITEE AREA CRAIN AMERICANS WITH DISABILITIES ACT ACTING MACHINE MATERIAL MAYRITH MAYRITH MEGHANISH MEGHANISH MANHALIM METAL MEMBRANE WATERPI ABOVE FRESH FLOOR ARCHANDLING UNIT BOTTOM OF BOARD BUILDING HEIGHT MEASURING POINT MC MC MC MC MC NORTH NORTE CRITERIA NOT IN CONTRACY NORTHAL NOT TO SCALE CATCH BASIN DORMER GUARRIS CAST IRON CONTROL JOINT CENTER LINE CELING ON CENTER OUTSIDE DIAMETER OVERFLOW DRAIN OVERHEAD OPENING OPPOSITE OPPORTE PREDATE COMPRETE PREPAGE COMPRETE PREPAGE COMPRETE PREPAGE COMPRETE PRATECULARY PROTECULARY PROTE PCC PCMU PCP PERP PL PLAM PLAS PLSB PLYWD PM PRCP PRCP PSI PSI PTD DEMOLITION DEPARTMENT DETAIL DENIGING POUNTAIN DIAMETER DIAGONAL DIAMENSION DEAD LOAD DAMP PROOF(ING) QUARRYTILE RISER / RADIUS EAST EACH EXPOSED CONSTRUCTION EXTERIOR INSURATION FAVELY SYSTEM RADIUS REBLIENT BASE REFLECTED COLING PLAN ROOF DRAIN RECORVING REFRIDGISTATOR, REFERENCE REQUIREMENT! REQD/ REQD REQUIRED REVISION, REVISIED RESILIENT FLOORING ROOM ROOM ROUCH DPENING EXPANDED POLYETHELENE DIENE MONOMER SOUTH SOUND ATTENUATION BATT (BLANGET) SANITARY SAN SC SCHED BITCT SF SHIT SIM SQ SS STC SANITARY SOLID CORE SCHEDULE BECTION SOUNCE FOOTHEET SHEET S STANDARD STEEL STORAGE STRUCTURAL SUSPENDED SYMMETHICAL TITELD TOP OF TO BE DETERMINED TELEPHONE TELEPHONE TEMPORARY TERRAZZO THUE MORTH TUBE STEEL TELEVISION TYPICAL GALV GALV GL UL. LINDERWRITERS LABORATORIES VARIES VERTICAL VESTIBULE VERIFY IN FIELD WEST. WIDTH, WIDE WITH WOOD SLOCKING WATER CLUSET WOOD SLOCKING WATER HEATER WORK POAT WELDED WITH FAST WELDE WITH FAST WELDE WELDE WITH FAST WELDE WELD WITH FAST WELDE WITH FAST WELD WITH FAST WELDE WITH FAST WELD WELD WITH FAST WELD WELD WITH FAST WELD WITH FAST WELD WITH FAST WELD WITH FAST WELD W ENSIDE DIAMETER INCLUDE(D) / (INO) INSULATION / INSULATE INTERIOR J.C. JANITOR GLOBET JONET

#### GENERAL NOTES

- JUNEAUCTION
  CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERY'S IN THE FIELD ALL
  CONDITIONS AFFECTIVE THEIR WORK, ANY CONDITIONS POUND THAT ALTER OR
  OTHERWISE CHANGE THE REQUIREMENTS FOR THE WORK SHALL SE REPORTED
  THE ARCHITETT MAREMATER!
- THE ARCHITECT PARRICATELY.

  If IS THE CHIPTHOCTURE RESPONSIBILITY TO DETERMINE ALLOWARLE
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  CHIPTHOCTURE RESPONSIBILITY
  CHIPTHOCTURE
  CHIPTHOCTURE BIPLEMENTING JOS SITE SAFETY AND CONSTRUCTION PROCEDURES ARE THE SOLE REPONSEURTY OF THE CONTRACTOR.

  ALL WORK OF THE PROJECT SHALL BE PERFORMED CAREFULLY AND SKALFRALFED BY WORKING ASSET IN THEIR TRIDES.
- NOW THE ADDRESS TO THEIR TRADES.

  ORDER SHALL BE INVENT TO ANOID DESTRIBATIONS OF ADMINISTRATION FROM THE PROPERTY OF THE TOTAL THE PROPERTY OF THE TOTAL THE PROPERTY OF THE TOTAL THE TOTAL THE PROPERTY OF THE TOTAL THE TOTAL
- ALL INSECTION TO MAKE A CONTROL IS RESPONSIBLE FOR THE THORROUGH COORDINATION OF ALL TRADES. NO CLASSIFICA ADDITIONAL WORK WILL BE ACCEPTED FOR WORK RELATED TO BLICH COORDINATION.
- FILLATED TO BIOHOCOGROBATION AND ALL CONTRIDENT DOCUMENTS. AND ALL CONTRIDENTS DOBUGUESTES AND ALL CONTRIDENTS DOBUGUESTES AND THE CONTRIBUTE TO COLUMENTS. AND THE CONTRIBUTE THE CONTRIBUTE AND THE CONTRIBUTE OF THE CONTRIBUTE AND THE CONTRIBUTE OF A MATERIA CONTRIBUTE AND THE CONTRIBUTE AND THE CONTRIBUTE OF A CONT
- ALL CONTRACTORS SMALL CHECK AND VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AT THE SITE PRIOR TO CONAVENCIA. HIT OF WORK AND HOTHY THE ARCHITECT IN WITHING OF ANY DISCREPANCIES IN PLANS AND SPECIFICATIONS.
- MENTAL DE LA MONTRO CA PAR CONCRIPTANCIS DE 19 AN ANT DE LA CONCRIPTANCIS DE 19 AN ANT DE LA CONCRIPTANCIS DE 19 ANT DE 19 ANT DE LA CONCRIPTANCIS DE 19 ANT DE 19 ANT
- ALL DIRECTIONS, NOTES AND DETAILS SHOWING A PORTION OF A DIRLYMING SHALL APPLY TYPICALLY TO ALL OFFICETE HAND AND/OR SHALLA CONDITIONS, DO NOT SCALE DRAWNINGS A VITIETY ALL ISTED DIMENSIONS IN FIELD AS REQUIRED FOR THE SCORE OF THE WORKS.
- THE SOUTH OF THE WHOME.

  THE FOLLOWING HE WHOME.

  THE FOLLOWING HE WHOME.

  THE FOLLOWING HE WHOME HE WAS A PROPERTY OF THE WAS AND THE WAS A PROPERTY OF THE WAS A PROPERTY
- 13 N. BULLDINGS OF THYES IA, N.E., IC. AND II CONSTRUCTION, PARTITION FRAMING BYALL BE OF EITHER OR BOTH OF THE FOLLOWING MATERIALS: (1) NONCOMBUSTRIC MATERIALS: (2) PRISERS TRANNIT TREATED WOOD WITH AN ASSEMBLES OF ONE-HOUR MATERIAL RATHRO,
- ARRAMENTAL DE L'AMMENTAL MANAGEMENT ANNÉ A CODERFICIENT DE FOCO E MUNICIPAL. L'ACCE MEMPACES MAIST HANÉ A CODERFICIENT DE FOCO DE MONTAL DE L'ACCE PAR L'ACCE PAR L'ACCEPTE DE L'ACCEPTE
- O'CHARD: NO PORPHAND GROWTH THAN OF ALL MOVED.
   O'CHARD: NO PORPHAND GROWTH THAN OF ALL MOVED.
   O'CHARD: NO PORPHAND GROWTH THAN ON A MARKET CONTROL OF THE ALL MOVED.
   O'CHARD: NO PORPHAND GROWTH THAN ON A MARKET CONTROL OCCITIENTS OF A MARKET MOVED.
   O'CHARD: NO PORPHAND GROWTH THAN ON THE OFFICE OF THE OWNER OWNER
- 17 PROVIDE FIRE-RETARBANT TREATED PLYMODD BACKLIRBOANDS AROUND THE MISSIGE OF ALL BLOTTICAL AND TELEPHONE ROOMS.

  18 NON-CAMPITED WALKED SUFFACES OF THE MEANS OF EDITESS SHALL HAVE A SUFFACES INTO SE SECURITY ATMACHED, (1905.4)

#### SIGNAGE NOTES

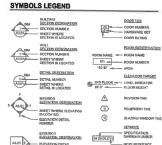
- ALL SIGNAGE, EXCEPT CODE REQUIRED EXIT SIGNAGE, IS NOT IN CONTRACT PROJUMID IS TO BE PROVIDED BY OWNER OR TEMANT UNDER SEPARATE.
- ALL CODE REQUIRED SIGNAGE IS TO BE INSTALLED PRIOR TO BUILDING
   OCCURANCY
- SIGMAGE SUPPLER IS TO SE RESPONSIBLE FOR CODE COMPLIANCE OF SIGMAGE AND TO SE RESPONSIBLE FOR ALL CODE REQUIRED SIGMAGE, WHETHER LISTED BELOW OR NOT. INCOMP EXIT SYMMET. 4. PROVIDE OCCUPANT LOAD SIGN IN EACH ASSESSELY SPACE.
- 5. CODE REQUIRED SIGNAGE INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:
- A. ACCESSBILITY SIGNAGE PER OBC:

  I. REDURED ACCESSBILE BLENEYTS SHALL BILLIONATIFED BY THE INTERNATIONAL SYMBOL OF ACCESSBILITY AS RECURED BY OBC \$111.1.
- DERECTIONAL BIGNAGE POICATING THE ROUTE TO THE NEAREST LIKE ACCESSES E EXEMENT BRACL SE PROVIDED AT THE POLLOWING LOCATIONS AND SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSES ITY:
- NOW THAT PROVIDE DIRECTION TO ON INFORMATION ABOUT PRIMARIEST STEEDS SPACES OF THE SITE AND FACILITIES SHALL CONTAIN VISUAL CHARACTERS COMPLYING WITH AUSI A117.1.
- BRINAGE REJICATING SPECIAL ACCESSIBLITY PROVISIONS SHALL BE PROVIDED AS FOLLOWS, BIOHAGE TO BE DESCRIBED AND MOUNTED PER THE PROVISIONS OF ECCURISH ALT LANDA SECTION AND THE PROFINGENESS OF ECONOMISM STATEMENT, BEFORE NAME

  A TEACH DOOR TOAN DEET STAMPAN, SIGNAGE BEHAL BE
  PROFINED IN ACCORDANCE WITH COD RECTION 165A, SIGNAGE
  PROFINED IN ACCORDANCE WITH COD RECTION 165A, SIGNAGE
  WITH 78 BOTH BEREIGHEN'S

  ESTAMBLE RECHANICAL ELICTRICAL, AND FIRE PROTECTION DRAWINGS FOR OTHER
  RECHANGE COURTEDIATES.

NOTE: THE PROTECTION SYSTEM SMALL BE DEBININGD. EVANNESSES, AND NOTALED BY LIFE PROTECTION SYSTEM SMALL BE DEBININGD. EVANNESSES AND EVALUATIONS BY THE FIRE PROTECTION CONTRICTION. THE SMAN SHALL BE REMIRITATED TO THE CITY OF CHARACTER, AND CHARACTER, THE CHARACTER SMALL BY CHARACTER SMALL BY THE PROTECTION OF THE CONTRICTION SMALL BY SMALL BY



BLEVATION DETAIL NOTE SEQUENCE NUMBER SHEET SPECIFIC KEY SHEET WHERE ELEVATION IS LOCATED CELLING SYMBOL -(4) --- социянивые 17-0" AFF ACT-2--- FINSH FNSHED HEIGHT PARTITION TAG PARTITION TYPE
TAG SIDE DE SYM

- TAG SIDE OF SYMBOL DRAWING TITLE MARKER 1 VIEW NAME DETAIL NUMBER DETAIL SHEET

#### MATERIALS LEGEND

CONCRETE EARTH (UNEXCAVATED) (EXCAVATED) CMU CLAY MASONEY EXECUTION CONSTRUCTION CREAT, SAND.

CREAT, STONE

GRAVEL METAL (LARGE SCALE) PLYHOOD

NETAL (BANLL BCALE) EZERGENEET CERAMIC FLO MISULATION, PRIESTOPPING (RIGID)

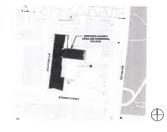
WOOD, ROUGH BLOCKING

FINISH WOOD

GLASS

APPLIED FREIPROCFING

### VICINITY MAP

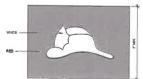


TYPICAL SIGNAGE

NOTES: NOTES ARE TYPICAL. APPLYING TO ALL SIGNS UNLESS OTHERWISE HOTED



STAR OF LIFE THE STAR OF LIFE SYMBOL SHALL BE NOT LESS TRAN 3 INCHES IN HEIGHT AND BHALL BE PLACED INSIDE ON BOTH \$ DESIGN THE HOSTWAY DOOR FRAME.



FIRE SERVICE ACCESS ELEVATOR SYMBOL "FIRE HAT" THE FIRE SERVICE ACCESS ELEVATOR SYMBOL SHALL BE NOT LESS THAN 3 MUNES BY HISIOHT. THE VIGIT CALL CENTER LIFE OF THE FIRE SERVICE ACCESS ELEVATOR SYMBOL SHALL BE CONTINEED ON THE HISIOHTAY LOOK FRAME, EACH SYMBOL BHALL BE NOT LESS THAN 75 MONES, AND NOT MORE THAN AN INCHES AND MOT THE PRINSHED FLOOR AT THE THEISTHAND.



ELEVATOR CORRIDOR CALL STATION PICTOGRAPH







SHIR TYPE A - ADDRESS NUMBERS REFER TO SULDING ELEVATIONS FOR CORRECT ADDRESS NUMBER.

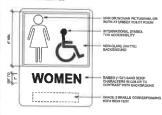
8CALE: 12" = 1"- 0"

SCALE. 3" + 1" + 0"

NOTES; NOTES ARE TYPICAL, APPLYING TO ALL BIGHT UNLESS OTHERWISE NOTED

TOILET ROOM SIGNAGE

TYPICAL SIGNAGE



TYPICAL EXIT STAIR SIONAGE

PRODUCT FIGURE RETRIEVATION BIGHT AT SACH FLOOR LANGERS BY DIFF DELICIOURES BROWN THROUGH THE THROUGH TO YOU AND DOT THAN OF BUT DELICIOURES BY OF AND DESCRIPTION OF BUT TURNING TO YOU AND DOT THAN OF BUT DELICIOURES BY ON THE PRODUCT OF BUT TURNING TO THE SECOND THROUGH THE PRODUCT FLOOR OF A DOUTFRACTHON OF BOTH OR OTHERS. COUNTRY BUT DISCUSSED BY DISCUSSED BY LANGEST A POSITION THAT SECOND THROUGH THE DISCUSSED BY DISCUSSED BY DOUTFRACTHON OF BUT DISCUSSED BY DISCUSSED BY THE PRODUCT OF BUT DISCU

INSIDE STAIRWELL 1" - 0" MIN.



COLOR STAIR 1 STARRWELL COLOR AND NUMBER IDENTIFIER 1" TEXT FLOOR 3" FLOOR NUMBER WITH .5" STROKE WIDTH 8-BRALLE FLOOR NUMBER

OUTSIDE STAIRWELL



EMERGENCY EXIT SYMBOL STARROL TO BE MOUNTED ON DOOR, CENTERED HORIZONTALLY, WITH THE TOP OF SYMBOL NOT HIGHER THAN 18 INCHES ABOVE THE FRIENDS IT OOR



SUBMISSIONS & REVISIONS WER - STUDENT RESIDENCE CORE SPACES 1643 N MM. WALKEE AVE CHCAGO, E 80647 DESIGN - PARKING STRUCTURE OH-UC HOLDINGS II LLC ISPNORTH SANCAMON STREET ANTUNOVICH ASSOCIATES 224 WEST HARRON STREET, SUITE 7E CHICAGO, BLINGIS GOSSI MARS 512, 266, 1125 FAUC 512, 269, 1123 ANTUNOVICE COM HUE TURNS, ENGINEER DCI ENGINEERS 515 SOUTH CONCRESS AVE, SUITE 600 AUSTIV, TX 78704 512, 616, 6619 MAP & E.P. ENCRETOR CTUB INTROPPER BAYER BECKER 1401 RACE STREET, SUITE 204 CNC98NAT, OH 46202 AND SCAPE ARPLITERY 200 BOUTH MERIDIAN STREET INDIANAPOLIS, IN 48223 317, 423, 9809 STREET, CONTRACTOR J.H. FINDORFF & SON INC. 300 B. BEDFORD STREET MADISON, WI 63703 600, 267, 5321 HUB AT CINCINNATI GENERAL INFORMATION & NOTES

ATTENDED STAMPS:

G0.02

Chapter 10 - Moura		L	_				Chapter 8 - G	onoral Scholing Holyhia are	d Ameri	_	_		
Section No.	Topic Alb./Title	Requirement	erkelferreds				Section No. 508 Minut Un	Fee: Mt./Title 500.1 General	Requirement	Related to	marks	■ Urdinated with	
1003 General Mean o 1004 Compani Load	- 1003.2 Coding Height	The means of ogress shall have a colling height of not less than 7-6"	Exception 87 had our	BA 805 E 1			and Dosspand	A DAYLOUND	Earls posters of a building shall be inclived-only classified in accordance with Section 102. Where a building consists more than one company group, the building or period thems and constructed the application provisions of Section 508.2, 506.3 or 508.4, or a constructor of house section.	No.	A Freeza	<ul> <li>Understed with</li> </ul>	CH sprinklers
		Matrimum Floor Area Allowances Per Consparé Assembly ethous basis (Sancina) Concertes	thousand Load A				71						
		Assembly willhout found posits, University of the	to the state of th	P(0)				508.2 Accessory	Accessory occupansies are those occupancies that are another to the main ecopancy of the building or portion thereof. Accessory occupandes shall comply with the provisions of Sections 506.2.1 through 506.2.4.	al			
		Barres e							Bections 505.2.1 through 508.2.4.	1			
		Manual Ma	- 00 gross				11.	608.3	Buildings or portions of buildings that comply with the provisions of this section shall be considered as horsepostated extendentials.	_			
	1	Name of the latest of the late	-					1 3.3 Geography		-			
		Surrenger o	200 press				11	3.3 Septration	No separation is received between nonsepected occurrates. Chapter NO, Group LR-1 develop units and sleeping units shall be separated from other and industric units and from other occurrence on the project entering of industric units and from other occurrance on the requirements of Section 425.	i ire	manation (se	-	
		Accessory strongs areas, mechanical agapment to	6. 100 gross						of stationing units and from other accupancies configurate to them in accordance the requirements of Section 420.	1/2 hour	porelition map-	Arefor,	TARREST DOM: NO
	1004 3 Present of Conven	Perlang Garan					S00 manual	500 Incidental Uses	Incidental Accessory Communities	_			
	Load 1005.3.1 Startume	Perlung General  Consey room or space that is shall have the occupant load. The spore or space  possed in a conspiration place, need the reals out or still access doorney from the room of.							Females main (> 400,000 Blaft equipment) Befor room (= 35 pai and 10 HF equipment)	This per man	****		
1006 Means of Egress. String	1005.J.1 Startways	0.3 Index per socuperá.	former \$1;0.2 led	has per occu	apard if equipp	ed with submissio	-11		Bolor room (* 15 pai and 10 HP equipment)	The ter day	hibben		
	Title 12 Other Egresa	0.2 indies per courpars	France #1:0.15 m	ner occ	remark Factor	and the second	-		Learney rooms over 100 BF made their coloring rooms ever 100 SF	three ser	retire .		
	100s.7.1 Doors	Doors (either 1.4) opened; shall not testure the registed with by more than 7 mores, Door any bookton and reduce the required with by more then one-half.	manus system			-		508.4 Separeton & Projection	The indicional uses in Table 500 shall be separated from the remainder of the building or	All Indicate	PRINTS.	_	_
1006 Number of Edin	1000 t France III - Faces	any position in all red recture the required solution by more these one-half.	entrychal deeling	n or sleep	ping units of (s	roup R-2	7	509.4.1 Separation	equipped with an automatic sprintists episters.  In the Tails I the boardies a the-resolution-critical separation, the stockertal uses what be separated from the resolution of the building thy a time benine constitution is accordance a section FOT, or a horizontal assembly constructed in accordance with Section FTT, or beginning to the section FOT.		_		
	Trans Lighter Transition	occupied load or sometime path of egreen trend ristance encoreds the value based in Table	Extendion: In Cooker F	5-2, one man	era of arresa.	a narmone serve	71		recentified from the remainder of the building by a fine herrier constructed in accombings a section 707, or a horizontal assembly constructed in accordance with Section 711, or built				
		any journal maintenant procedured with by more than only half. If the first that one is a total delay on the first that provided out to a total delay conceptual has do resurrent path of agrees that fiducious excepts for which placed in Table 1000.2.1. There exists out of the first that the provided from my appear with our concepts for the procedure of the concepts of the second out of the provided for concepts for the procedure for the concepts for the conce	Emaption: In Circup R and from individual di- mines the detailing un system and the const	eding undo desires a la	With a man bo	supert load of 20		509.4   Proheston	When Table (60 permits an advance) we see that it accordance to exceed 171.0 be based in the control of the con	lel As Indicar	ed		
			system and the color	run path of e	oftener panel q	loss not accessed to	*		resisting the pessegue of errorsDeers shall be self- as automatic closing spon detection	of			
	Teble 1006.9,1 Bpscos	(man	8 19 100. Fran ON 199 Sh. 129	Carrenge #1	e o specific	red D-siterce I-Si w Sprintjer 75 160	11		shall not be undercut in excess of the cleanable permitted in accordance with NFPA 80. Walls surrounding the incidental use shall not have at terminal executions.				
	Doarway		8 49 100°	ALCO MA	78	75	41		with stroke dampers in assortance with Section 2 (0,8				
			8 45 100°	-	PS:	100	Dogter 8 - Ty	ere of Construction					
	Tubbs (600 6 ( Leaves		20 100		75'	100	Section No	of Construction Fort No /Title	Requirement Pre-Presidence Reong Proporations — Guidang Elements	Actority	contract of		
	Table 1008.3.1 Majorum Mutaber of Edits or Access to Exis per Store	Ex. Wory and otouped roof shall have the minimum number.  [000,3.1. The required number of each from any story or occupied and shall be maintained and the antideher or occident.	Clan Load per Site	9 6	Min Humber of	Exits from Binny	1 100	14004		REGULA	EDWEL TO	W HISCHIES	MECHICE FOR TH
	D Los per sury	must europe du aus ent carcus. Se cu Anneid ABA'	\$24-1300	-	_	,	-11		Building Plantail	Type I-A	Type H	Comprise.	Man.
			Show then 1,000	0		4	-11		Promery			-	entages
1007 Extranc Ext Acosta Decrany Certificanites	1007,1, Tyro exits or ext eccess doorways	investing and acres decreased and acres statement of his collar control of the collar collar acres and acres acres and acres and acres acres acres acres and acres a	Expeption, Where a bit submette spridder av	ulkane b equ	Upped Brough	hous with an nos shall be not	11.		where supporting a roof easy.	E	z.		
		What's two curb, exit access doorways, sail scores stabulage or here is a combination through an expected from any cortion of the suit access, they shall be between a distance age equal to not less than one-ball of the lamps of the lamps of the lamps of the interpolation and the between these plants of the lamps of	Exception, Where a be submistic sprivitor by leas then enactive of observation of the gree.	the length of	the maximum	cveral diagonal			Bearing water Siderior	3	2	Per Sec constru	scion 450.2.1.1 Type Sciint, for tide have
reco promotes laborate d'Egress	Vita ) Farmen	Clase width a 48 mobile pres	Commercial section				- 1		Coaring	_	-	building	e fee-resistance par ag elements in Type I
я едген		raft-go within an entarged floor-level leading or shall be accessed from an area of refuge	Exception of the party of the p	cuphoot wit	automate ap	with let system			where supporting a roof andy.	3'	Z	be red	Son shall be permitted deced to the minimus
			Country Proughout	building	Of all plants	in Orac ** *			Horbering walk and partitions, exterior Notibearing walks and partitions, interior	San	Tree ex	instead judding	minence patings for p p elements in Type H
ISID Doors, Galus. #10	1010.1.1 Size of Doors	Mrs. Clear WORD of draw = 32° Glass width arm malesches v a 44°	O N			- www.	11		coreitation and secondary members	0	. 0	Table 60 Soors	21, Columns support shell not be reduced
ferreties		Min. clear width of door = 32°, Slass wild): — any swinging is all = 45°, Min. helpit of door operangs = 80°	spenings that are not ;	est maximum part of the re	edig turnality of an entity styring to	egress in Group			construction and secondary members	2	2	Childre Un	ection 453.2.1,1 Type Scribts, for Hdg halph he fare resistance pair gri elements in Type is story shall be permits closed to the relations partitions pathings for to gratements in Type Is \$11, Columns support in shall not be realized And effect electrics as provided.
			Exception: Door open shall have a minimum	ings req"d to	he accessible	In Type B units			Fee protection and sebandary members  Fee protection of structural members shall not be recid, including protection of real  a decking where every past of roal construction is 20 or state above floor,	15"	£		
	1019.1.2.1 Direction of	Demonstrate and the state of th	manie vende a manistera	cheat woods	of 31.72		602 Ches/Cation	Taken Strip	Fire Resistance Rating Regulars/herts for Enterior Walfs Second on Fire Sensoration October		_	_	
	Section 1	Doors and every in the direction of egrees havel if serving a room or area containing an occupant load of 50 or more people					-			House		Type IA con	nskyden
	8010,1,9,1 Hardware	Door haveled, palls, letches, locks and other operating devices on dears regiff to be accessed by Chapter 11 shell not require girl grouping, tight plouting or twesting of the seriet to operate and while the westerness above the friends box	-				- 11		K 45FT FFEX < 10FT	1141	See for M o	migatoy;	
		and shall be installed at 34 inches minimum and 45 inches reporture above the intelled loop					11		1071 ×X < 1017	118	(20r for M o	continuo()	
OH Surreys	1011.2 With and Capacity	which shall not in both than 44 thches	Security Education of the last test		coupard had a		41		XN 30FT	104			
	1011,3	Shifteditys shall have a breaksoom closensoon wrot less than all the reasonable variable from a line connecting the edge of the nosings.		1001 20 19	-	_		MILE Section 6	Type I-A construction	100		_	_
	1011.5 Stair Trouds and	Oppositing in that have a bandworn clearance is red less from a fire convecting the object in no subject.  State in register 2 features mannimen, 4 knobs on his worr.  Therefore by a feature mannimen and knobs on his worr.  Therefore by the subsect mannimen, 4 knobs on his worr.  Therefore by the subsect manning mannessered featuremently behave newforch places of the feature manning mannessered featurement produced in the standard manning from the standard					Chapter 7 - Pin	r and Smalte Protection Fu Topic No./Title	Muree	-			
	Risera	Trend depth = 11 serves minerum measured personnilly between vertical planes of the forested projection of artisty basels and at a right work to the trends are a forest and a forest page.					755 Extens to	706.8	Mercurent  Menimum p Company Stated on File Separation and Degree Catalog Protection	Act air For	mercha		
	1011.6 Blairway Landings	Width of landings shall be not less from the width of stationers screent. Where the stationary his shringly not the depth need not stocked 45 inches. Doors opening onto lending shall not inches to be landing to less from one full time need state state. Tight of shall shall not less that one that the contract state. If light of shall shall not large a written fine greater state it. Shall not between flow release to trainings.					- 1			Protect		MS	
		is straight run the depth need not exceed 45 inches. Doors opening onto lending shall not include the landing to less than one half the regulated value. First of slairs shall not have a					11		Pre Separation Distance = 3 to less than 5	4	- 2	9% 5	See code compliants plane for the second
		vertical rise greater than 12 feet between floor levels or landings.							Fire Separation Chalance = 5 to less then 10" Fire Separation Chalance = 10 to less then 15"	Uncrois		79. d	change the locator
019 Ext	1013.1 Where Required	Each and will process doors must be that had by an appeloved cut sign must want a compary direction of agreed barrels. Entit signs shall be alreed such that no polet in the and corridor shall be recent than \$100 burst for the lead visiting distance for the sligh, whichever is less, from the recent visible set sign.	Exception: East tegra at only 1 action will accom	ne mal pequir	red in rooms o	a manu pant tading.			Fire Separation Chalunce = 15 to less than 20"	Criproso	77	5%	extense well areas.
		the more than 500°-0" or the listed viewing distance for the sligh, whichever is less, from the	Exception: Main extent identification as externo building official.	es. or endt stooms	Dred arre obvio	ruly and clearly as approved by to	708 Fire Parties	708.9 Fire Resistance	Fire Separation Distance = 20 to less than 55°		100		
			beliefing official.	nca nee masses e	est tight win	ms approved by th	1	200 × Connects	Fire partitions shall have a tire-contractor rating of notices than 1 HR.	-			
017 Exit Amesa revel Distance	Taids 1017.2 Edit Access Transl Chapters		Designer		-to serve	-	-		Fire-perillions shall use and from the top of the foundation or flooriseting assembly below to the underside of the floor or roof sheathing, also or deck, above or to the flooriseting or reoficeting assembly above, and shall be securely allacted thereto.	-			
			Canada AND THE	Harr. Gonesic Path of Team	m 200	260	711 Hortzoneul	711.2A Fire-Resistance	Five residences using for face man and researches when not be less than the figure of the man and researches when not be less than the figure of the less than the first th	-		_	
			Group 8 Group S-2	Path of Tenn		300	1		construction type. Where the Sour magambly separates must conspended, the according to Snotking Soll. A.				
020	Table 1020.1 Comics Fee-Resistance Retires	Corridor walls required to be 1. 1. stance enter comply with Section 708 for line		Occupant Low	5007 and bulle surfeti	400	713 Staff Endoures	213.4 Fee-Resistance Resista	Not then then 2 hours where characting 4 stories or more, and not then 5 hour where	_			
	- and and and and		Group R G Group A,B,M, S G	Irealer Dan	nd halfs gyrifte 10 N/P			-	then the floor assentitly penetrated but reed not exceed 2 hours.	8	No 403.2.1.2	Z Straff enclosus	zes (High-rise)
	Table 1020.2 Minimum.	Acress to utilization of mechanical, plurobing, see 211.	Group A,B,M, S O	booler (1991)	30 1	0	TIEPendudos	7 3. 1 Enclosure at the	Shaffs that six and extend to the horses of the building or should be a first or	-			
	Consider Wildlin	Or top of the Profession of	24 Inches 0 38 Inches 30 Inches				714 Persivation	714.3.1 Trough Penetrations	Where the provisaling forms are select, ferticate or capper globes, tubes or conduits, the annual special space abstract the provisaling forms are select, ferticate or capper globes, tubes or conduits, the annual space abstract provisal space abstract provisal space annual spac				
		- Individual of	N Inches						or mesterny where the percentage from its a requirement 6-inch possible distributed the area of the company broads the until down and areas of the Company broads the until down and areas of the Company broads the until down and areas of the Company broads the unit of the company to the comp	4			
	1020 A Deed ends	Where more than one set or set ocean downey is required, the set occase shall be written such that there are no deed or the in continue more than 20 test in length.	de proue E e teller in Oroup 9,1 Enoughout with an auto dead-and contidors the	10/R-2, and 2	S where she bu	akting is easpool			parameted where it is restailed the full frictness of the wall or the trickness regist to maintain the fire-calculates rather	•			
	11		dead-end contions the	ernalijis, reprinti Al Path erreseas	Ger system, th d 50 feet,	n length of the	Till Opening	718.2 Fee-Resistance-Rated Classes	Promobilence-calcul clusters instead on most of a fire-materians and standard and the	+-			
		Exception (II). A dead-and contion and not be in length where the dead-and contion in less than 2.5 times the least width of the dead-and contion.					The same	Charing Charing	accordance with ASTM E 196 or LS, 263 and labeled in accordance with Section 753.5 shall be permitted in the decre and the witness expenditude in accordance with Section 753.5 shall be permitted in the decre and the witness expenditude in accordance with Section 753.5 shall be permitted in the decre and the witness expenditude in accordance with Section 753.5 shall be permitted in the section 753.5 shal	4			
								718.6 Fire Date and Drawn	Provenitance-raied disafting testind on part of a tim-crashitance-raied wall assumptly in accordance with ASTILE I Till or II, 253 and felseled in accordance with Seather 775.5 shall be permitted in the decir and the vectors examined in accordance with Seather 775.5 shall not otherwise the recordance with Seather 775.5 shall not otherwise be required to comply with this section.				
hapter 11 - Accessible distrips and in 1996 OS Finishing and resourages Londing solding	ray to designed and receive	clied to be recognished in permutation with that could need INC about 1 week					11	Administra	Type of Assambly	Required Assembly 5	Wall M	In. Door Assemi	mbly Vision Pane Size
OS Fluriding and	Table 1956,1 Accessible Parking Spaces	oded to be accessable in accessable with this code and RCC.A117,1 with emergiments on indice 131 to 190 To provided = 6 fleets bilinimum to come to be accessed to the common to the com	of provided, 1112	a war-dree	The space		1	Table 7% ii					
injiged the requisit	- ward obsour								Fitts Walls / Darriers with netting >1 HR	4 HR13 3 HR21 2 HR21 1-1/2 HR		9 HRS 3 HRS 1-1/2 HRS 1-1/2 HRS	Man Bur Ten Man Sept 7 m 100 vq in 100 vq in
107 Dwebing of Steeping Units	Table 1907.5.3, I Annesy IIII Detalling Links	301 to 400 Total provided = 12 Regits Manimum Assessable Units (8 w/o roll in 2000m);	U was pro-	walled with (d	() of trucks with	roll-in showers.	t I		Erclosses for Shafts, Eril Stathebyt, Ext Passages				100 sq in
107 Dweeing nd Steeping Units	Time Tumbs	In actualization of the property of the second of the second of the second of the property of	1	_					Ercknuree for Steffs, Erit Stefreeys, Ext Passages Historical Euls in Fire Walls	2 HRS 4 HRS /1		1-1/2 HRS	- sq in
		restance, every dwelling and and elembing unit instended to be contained as a resistence what he e-Type B unit.							Fire Startiers with rating 41 MR: Engineering for Ready End Startiers Full December	118		3 HR8	100 sq in
upter 12 - Interior lis							1		Other Fire Barriers	118		34 HR	the New Year
hapter 12 - Interfor til editor Alo, 50 Ventinton	Topic No/Title	Requirement	American				1		Fite Peritions: Certifor Walls Other Fire Peritions	1 HR / 1/2	HR	10 HR	Maria Toron Yanni
		Buildings shall be provided with natural vestilation in population with Section 1203.4, or mechanical vertilation in proordance with the balanceity of Mechanical Code.								1100		3M HR	
1				_			1		Enviror Wate	SHR PHR 1MR		1-1/2 HR 1-1/2 HR 3H HR	100 ag in 100 ag in liber Size Tuo
		Enclosed eaths and enclosed refler spaces formed where ordings are explice directly in the Underside of roof terming members shall have cross venillation for each separate space by variabless opening producted against the systemate of risk and spoke.							Smute burriers	116			liber filtre Too
- 1	Conductation for Conductation Control	Climate Zone + s = 1   10 +		_				718.6.0.2 Glazing in Door	Smuke harders in 20 Meh. reted doors will provide a husbrum feath, per the section.	118		10 HR	Mile Street Code
(C) (rim)	1969.1 Owners							P-PHILIPEN .	per tre section,				
		Every space inhorded for feature possiplantly that the provided with notation light by revents of statistic electron powerings in accordances with Section 120% in a stell the provided with eribical light in accordance with Section 120%. A plant of development of the open diversity a stall open diversity and public way or over a year or court in accordance with Section 120%.					Section No.	ine Fighthes Topic No./Title India MTI 11 Manual And and Colling Finish Requisionaris by Detaspancy	Designation	722			
							Cellen Post	Table BITL 11 Interes And		Antocher	of Patrop	1 500	-
	1205.2 Helural Light	Where natural light is required, the minknum not glazed area shall not be lost then 8 percent. The Boot area of the room served.			_		ottory Primarilli	Requirements by				4	April
Of Photo States	200 I Money College Solyth	The post error or the rooth behind.						- American	Group	Enths C	# (See	Edn .	n Specia
nenskýrie – e	eritopi	Occupitable spaces, hebitable spaces and comdons shall have a minimum pelling neight of P.4C. Statescores, took rooms, litthers, vicerge rooms and launds rooms shall be persected to have a ceting height P.4C.								8 B	* C	-	
apter 54 - Extentor We	ını	Jungan V V					H I		A4	# 1 I	B   C		
		Regulament	Atlanta	_	_	_			R4	0	c   c	+	-
clien No. I		Für hutfiftige in Bood hazard erses om sekaltished an Bectler 1612.3, exterior welle auterding below the eleverism regulard in Section 1612 shall be constructed with fixed-damage-valurant materials.			_	_	Chante 9 - Pro 1	Protection Survey		0	¢ 6		
citos No. 3 23 Perferencias 1 quintemple		materials.	L				Section No.	Y== No./1200					
		The state of the s					Section No. DCS 1 Sprivities Systems	DELLE Witness required	Requirements Group It: Required in accordance with Section 803.5 Group 8-2: Required in enclosed garages when beautify other occupancy groups	At spriver	mulcome@gr	Ottobier system	et shall be transfed
other 12 . Pool Asses	nidles and Roottop Streets		RobelTerrets				pos Promes Pro- Entropolativos	Init Potable Dre	Fire Transport of the Property	Enroughout P	An truliding E	364	
other 12 . Pool Asses	nishins and Roottop Structs looks No./Title 506 Reef Covering	Misimum red classes/coron for troop of Construction per Table +4444 4											
other 12 . Pool Asses	nblive and Reprise Structs inplc No./Title 506 Reof Covering Seedingsion	Requirement Mish rure roof 1 1 - classification for types of Construction per Table 1505.1	Total A v Charle				Extradelves	Edinguishers					
apter 18 - Roof Accessories No. 7 Of I - Classification C		Mildraman (Port	Tope IA - Class III receives the Class II by a	de fire-test a oppowed tes	reposure, Shall sting squrey,	be inted 5	207 For Alima Detection	Edinguishers 907.2 Where are a sel		Circumster M	K raquirus S	ter Group R-2 e-	Crade 1990 IPRAM
apter 18 - Roof Accessories No. 7 Of I - Classification C	and conveying system		Tope IA + Clear III			I be based &	Erlingulations 207 Fire Allums Detection Systems	1007.2 Where s == 1 med to 2,700	Bra alistm system is with the provisions of 12 == be provided by new buildings and structures and provide occupant relification. If sections of the	reqfd by built performed to	of compared 6 long official b initiate per si	for Group R-2 or 3 provide a mea term during a so	teranologica unidas tina for fire weich privider large stream
apter 18 - Roof Accessories No. 7 Of I - Classification C	and conveying system		Tope IA + Clear III			I be listed &	207 Fire Allerto Derection Systems	1007.2 Where s == 1 med to 2,700	Bra alistm system is with the provisions of 12 == be provided by new buildings and structures and provide occupant relification. If sections of the	req'd by build performed to everal, build	of computed the long official is located and at located and at	for Geough R-2 on a provide a mea latte during a ap a not ancessable	corrections (Prints) steal for the works priviled impainment in to public.
apter 18 - Roof Accessories No. 7 Of I - Classification C	and conveying system		Tope IA + Clear III			l be listed &	207 Fire Allerto Derection Systems	1007.2 Where s == 1 med to 2,700		more by build porter mail to arrow in trackal	ot sampleed t log official to losted a pro- ed in tocation	lor George 18-2 ec d provide is med listre during a sp n nell inconsible	consequences unless sins for the septh partition legis sincers to to public.

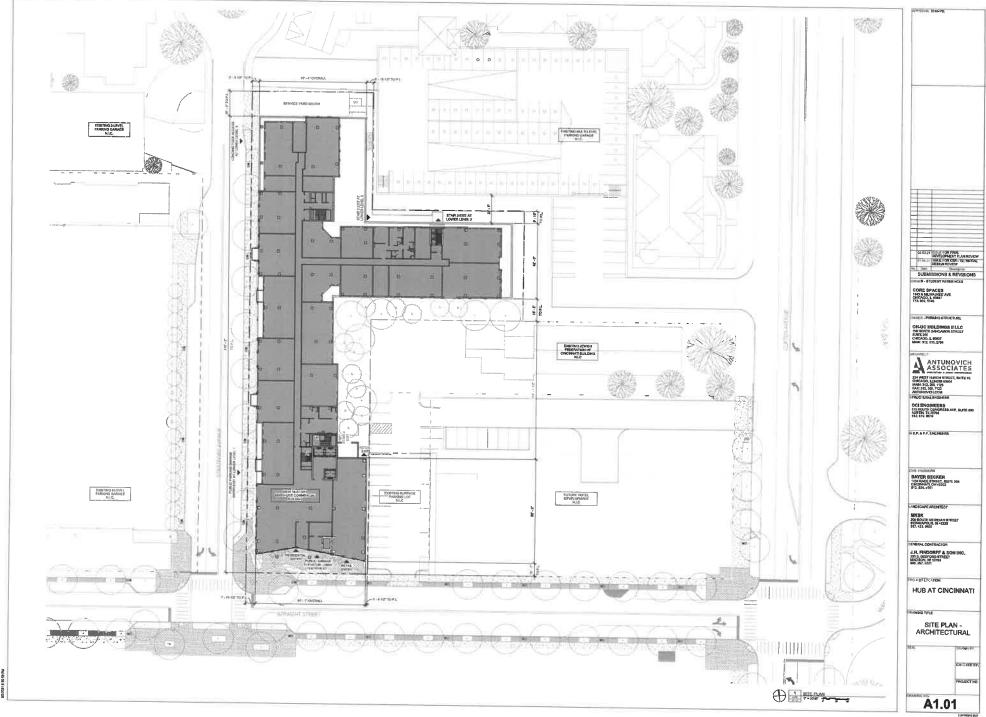
, O BHIBLAL, Yoject Name Yoject Locat Yoject Desc	ic Contract	Director at Ciffon Heights - Slock A1 Cincinnal OH 45219	
Voject Desc	blos.	Device of Coffee Insigns - Should All Contrated Coffee Age of Contrated Coffee Age of	
ulkling Deed	Diplian:	High Rise Residented Dukting, Retail, Parties	
pleatin Co	odes:	Cerebrall Zoning Community 1988 - DCH STLIDERT HOUSENG BLOCK At	
		Chainne Building Code (CBC), August 9, 2019	
		Ohlo Mechanical Code 2017 (OMC) Didu Physikan Code 2017 (OMC)	
		CODE MANA/YES DCH TRUDERT HOUSING BLOCK AT  CONSTRUCT JOHN JOHN JOHN JOHN JOHN JOHN JOHN JOHN	
ZOWNS R	SQLARUMDITS - FD-64, Zoni	ng Cirillation co 250-2018	
Lat Area	Topic No./The	Regulation of Tito 11 (Social A Total)	Actority
Lot Area ), Building He			115.994 GF
. Settucks	myn .	196'4" PER PD	143'-3" as measured from corner of Straight and Straight
O. Atlantin I	Fibor Area Rutto Unite Britist / Columercial Space 38-Street Parking	S-01 01-07 51-07 Rest 1 07098 Anna = 637,967 SF Moximum (6.5 FAR)	7-10.5" 1'-6.5" 5-10.5" Rear 405.457 SF (FAR 3.50)
, transport	Retail # Coloryproted Boson	145 000 GC (Blook a Yater)	360 uwas
. Required C	W-Street Parking Inch.	Stational Historian of 1,0 per Unit of 0,4 per Bedraum	2,278 8F New Housing: SE2 Care
		Subset Humany: Cheese of 1,0 per Lint of 0,4 per Bednern 600 Restrome X 0,4 - 332 Cars Resist: 5,5 per 1,000 BF 2.5 X (2,272 / 1,000) = 6 Cars	2,272 GP  NRW — Houseng: SR2 Care The Descore 412 Care Total Regid in Straffurd Gazage: 804 Care (\$15 Provided) Violat and Relat. 109 Care
L Off-Elizable	Londro Recuberrenta	3 Beets (force & Total)	Hotel and Reint. 169 Care
i. Off-Street i 425 Parking and Loading laquistons	Loading Requirements 1425-25 OR-bitred Fasting Loading Dimensions	3 Beetin (Ricch & Yole) 8 54th: Not less than 6'-0' in width, 160 of windown area Leading Operat Not less than 10' in width, 20' in largth	2 Bertins Complete
aguistore	MOLIS Bryin Triang	annual law ner propins white a patient of the patie	
		Required 1 — per — per large sides. * S. * Tristman dissentance date in account of the brotten finite persper protected from inchment wealther and learned no higher the first corrudely, recipious, laked the segment of time parking by a physical learner and sudden 6* delete. These 300,700 × 10.8 - 20 bits parking required.	141
		Barrier and LLAze 6' eleber. Thus 390/20+19.5 - 20 hits pasking required,	
Verlay Distric	Lets to have Server and the Requirements	a doors and with to restrict adverse of the state to a door and with the restrict state of the s	
		Hardhourn Rubbining West Height: Restaining walls may not asceed 8' in height Rusbino Utilities; Croastr he evented, 8 necessary screening & sound potent ha	
PB3-3,50	Torris 1777. S. St. A. P. office.	High-Real Control of the Control of	
	Types General	structure with portions of — of the building more than (6) stores self, built on a large for that typically incorporates structured partieg.	14 SZESIA, Pigh-Place
SURLDING.	CODE BATA	No.	
B + Cl action (A), 23 Aureom (Ay	Topic No./Title	Regulaction	Actor/Promote
23 Autom (ily	Street A		
		The following mone and spaces shall not be classified as Assembly occupancies.  1. A yours or appear and for assembly purposes with an occupant load of less than 50 persons and successory so another ecospancy shall be classified as Group 5 or past of that	
	303.1 Amenity Group &	possipancy.  2. A room or mane used by essential mane.	D 1
		persons and autobecome to introduce conspancy shall be clearfuld as Group 5 or part of that conspancy.  2. A rown or associated for examinity proposes that is lyoss than \$20 st in inva and a month or occupancy shall be clearfuld as Group 6 or part of that occupancy.  Assembly uses beingled for load ancien which consumation	
	303.3 Assembly Group A-2		(A-2) TAVERNS AND RESTAURANTS
	303,4 Amenity Group A-3	Assembly uses intended for worship, recreation or amusement and other example, seek not clearlied sharehore in Group ${\sf A}$	(A-3) EXERCISE ROOMS, UNCONCENTRATED ASSEMBLY, POOR, , POOL DECK
34 Business (	Group 6		
	304.1 Business Group B	Use for priice, prefessional or service-type insmeditors, hydrolog storage of records and accounts	(B) OFFICES
70 Marcanillo	Group M		-
10 Raskienille	309.1 Marcantle Group M d Group R	for retelf / scholestic storus, salink mores, or department stores	(M) RETAIL
·· Armonili		Industrial Burners	
	\$10.4 Residental Group Rd	Used for dwelling under where occupates are privately personnent in makes and where the taxto share an ext.	(R-2) APARTMENTS
11 Storage =	311.9 Low-Festand Interage, Group S-2	Batters send to be stressed and the send of the send o	
		Backings used to the strange or noncorraturable menticular such as products on strong paties or of paties carbons with or without simple thick-man philatonic, or in paper empryings, Such products are permitted to him a maginate amount of places tree, such as Araba, francise of	(8-2) PARKING GARAGE, LOADING AND REFUSE. MECHANICAL ROOMS & ELECTRICAL ROOM
hapter 6 - Eg ection Mo.	rectel Detailed Requirements Topic No./Title	Based on Use and Oct was a	List to
rolfon Mo. 13 Hilgh-Ritse uldings	Topic No./Title 403.2.1.1 Type of construction	For any high 4 420 ft, the three-sealerest righty of lauditry.  For any high 4 420 ft, the three-sealerest righty of lauditry.  For any high 4 420 ft, the three-sealerest righty of lauditry.  It is also primited by the reduced by the internant inversalations arising the fire building demands in type led in table 601, Collaires supporting foors that and to involved, for the reduced collains are selected from the first primited buildings and the reduced.  For any high 4 400 ft, the three-shapes arising of the first parties mechanism yelf-or all high 4 business mechanisms.	Actual Parameter Type IA with IB reductions except the mappending in the
	***************************************	that to permitted to be reduced to the minimum time-exhibiting elements in Type 6-0 in Table 601, Columns supporting floors shall not be neduced.	
	403.2.1.8 Stuft	For the I height 4 625 ft, the three-relations rating of the time burners enclosing vertical shallow of we then interfor exit billinary and alemater holistery decidences, a permitted to be reclaimed to 1 hr inhere existentic specialism are installed within the shallo, at the top and at alternation.	
	100000	to 1 he where extensity opticities are nestated within the shells at the top and at elements	
	protection	An enterroalic section and the transferd part Country DOS 2	
	GCL3.1, FRom location	Sprinkhere resert shall be placed in infurior will element per Section 1007.1	
	ecs.s.1,1 Ricer location BTT 1.4 Fee pump room stal 4 Emergency systems	Intelligence (1985) and 1985 a	
		provided per Section 907.2.13; standpipe system as required by Section 905.3; assistancy volcelations concentratellar system shall be provided per Section 907.5.2.2; assistancy	
		responser rents coverage shall be provided get Section 510 of left / it's Code, for command per Section 911 shall be provided in location approved by the cept	
	#III.4,7 Brooks removal	Building and the second with natural or mechanical verification to construction	
	403.4.6 Starythy and entergancy power	Standby power system with Section 2702 & 3003 shell be provided	
	Interior and stainneys	Required interior and stateograph to a separated by a distance and less than	
		Required solution cell stallways — to expurated by a distinct and less than _ or 1,4 — of the first overall disposal dimension of the building or sine to be served. Distance to recognize the served in straight the between nearest points of the recognize.	
	403.5.4 Smitherood	Every required intertor and observery shall be a smokeyroof enclosure per Seconds 508.20 & 1023.11	
	403.5.5 Luminous agraes path mening	1023,111 This decision was head followed in the OBC.	
	peth merking 406.4.1 Her Hates		Not provided
		Clear height at each floor was not be less than 7 to Valuete and podestrian areas secondaring van-accessible parties shall comply with Bection 1106.5	Tit mmirrum halgne throughout public garage in thirting 81.2" to profest var-accessible parting.
	408,4.2 1000	bender not less than C-9 is chi to where the vertical distance from the Soot to the sarkes below it > 1 foot	
	25CT/Filliamen ISSA 5 Firm Burlace	Vehicle ramps and roll in the day of the registed cols unless sedestrust in the	
		Vanctio recepts of roll de récitéed existantians padaetres area.  Parking concrete or similar recombus padaetres restantis.  Plant anali be stopped in facilitées the recomment of liquides to a drain.	Paraptrion B-2 garages not be required to here a sinped surface
	408.8 perlang	1 Heights and areas shall be Briffed to the common habites and any re-	required to have a singed surface
	Smallet.	1 Heights and areas shall be brilled to the heights and areas specified in Section 504 and 504 se myelfied by 507.     903.2 Ventation A secharical vent lation wystem shall be provided in accordance with the macranistic solution.	
		mechanical code.	
	406.6.3 Automatic spreader system	An parking garage equiped with an automatic respective in accordance with Section (SSS 2,10).	
iplar 6 - Ger	Tree Nothing Heights and Ar Tree No./The 1.2 Address Identification	HA	
ston Ms. Bigrage	11.2 Address (Serdification	4 mg high min a 0.5 hoch wide may reclaim?	Actorifference As 1
		from sirried of road hereing property.	
Sdrg Height d Aton	503,1 General Building for J. and Area Limitelana	The height, number of stories, and area shall not enseed the britis specified in Sections and 506 based on the type of construction on determined by Section 572 and	
-ren Hadons		A province of the property of	
States	Table 804.3 Allowebia Durkling Height	A S. Let Hall's Type LA + D discours with spaintiers	Unformed, 1431-9"
ghi and sper of			
	Table 504,4 Allowable	ASMSSR, Type I-A « United sith opinibes	Type FA Complies, 14+3+17 Stocies
	er oursel		
Sierr No.	Topic Ha /Title	ee Regularrand	4.1.46
Budding.	Fabric 404.3	Allowers And Factor is Square Peet	ActivatMorranty
	m.#slovy boldings		University
	multiplicity boldings	Addressible energ of a single-documently building with more than own story above grade plans about the objective of in recognized and Eugenized Sci. As a 17 (4 × 9.65 × 17) (	Au = (U.E. x 0.25)) •UND, MITTED for all sects per Chapter 3 used.
		name to decempe of a neconstance with Especial S-2. As = (A1 + g15 x 17)  As + Althorities areas (separe foot)	
	l'	no e a accept accoverage print factor (SAI) in accordance with Table 500.2 NG o Tabular allowable areas factor in accordance with Table 506.2 for a re-aprint lared	
		I = Area lactor increase due in Bratisge (percent) calculated per Bection 608.3	
	SOS 3 Frontinge Williams	Squetter 5-3 shall ret anneed trees.	
	506.3 Frontage Human	Equation 5-3 shall not anneed these.  Where w building has not less than 25% of the pertruder on a public very of open space.	No.25
	506.3 Frontage Human	Equation 5-3 shall not anneed these.  Where w building has not less than 25% of the pertruder on a public very of open space.	NO.25
	506.3 Frontage Human	Squetter 5-3 shall ret anneed trees.	no as

GORE SPACES 1843 H MUWALKEE AVE CHICAGO, E 40847 173, 969, 5740 CHEEP - PARKING STRUCTURE

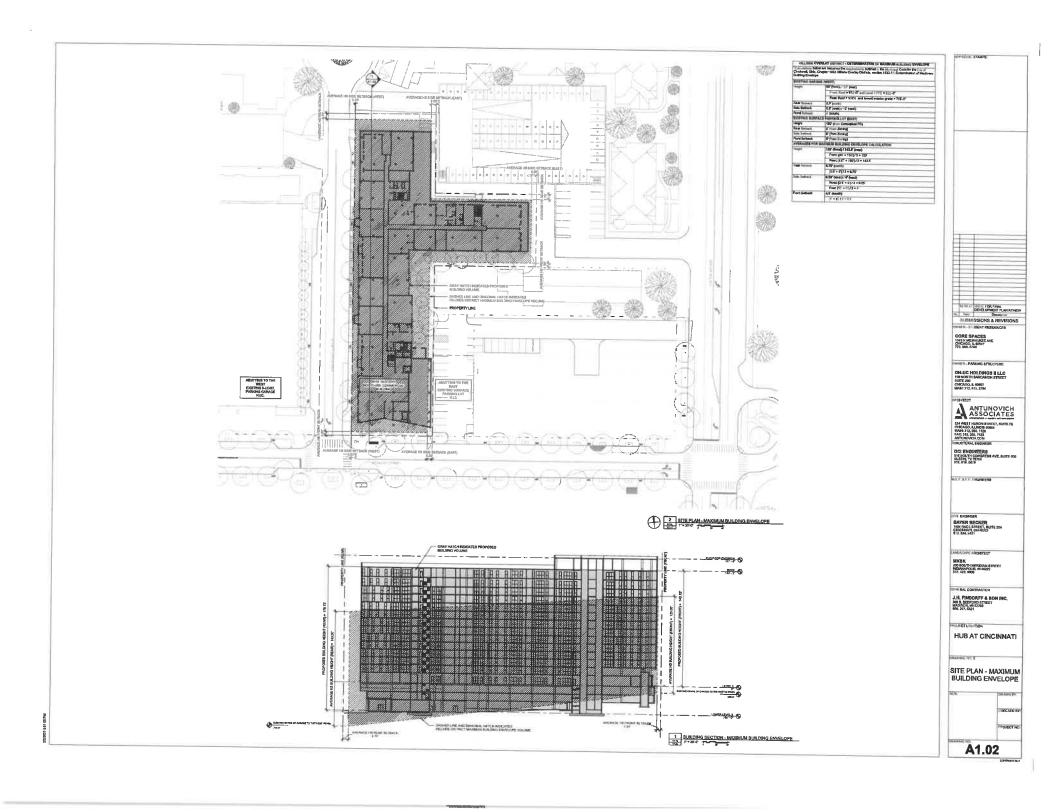
DH-UC HOLDINGS B LLC
138 KORTH SANGAMON STREET
SUITE 200
CHICAGO, IL 60007
MARI: 312, 615, 2784 ANTUNOVICH ASSOCIATES PROMINERA A MARINE 224 WEST HURON STREET, BATTE 76 CHACADO, LANDED GOOGN MARY 512, 206, 1128 MARY 5128 MARY 5128 MARY 5128 M DCI ENGINEERS 515 BOUTH CONGRESS AVE. SUTTE SOC AUSTIN, TX 78704 612, 619, 6619 H F P. & F.P. BNGWEERS BAYER BECKER
HOW PACE STREET, SUITE 204
CONG MACH, UNIVERSE
610, 834, 4/51 MICSIC 201 BOUTH MERIDIAN STREET NIDIANAPOLIS, IN 46225 317, 423, 9800 NAMES OF TRACTOR J.H. FINDORFF & SON INC. 300 B. BEDFORD STREET MADISON, WY 53703 606, 257, 5321 OUECT LOCATION HUB AT CINCINNATI (Manerial) 117\_E CODE MATRIX

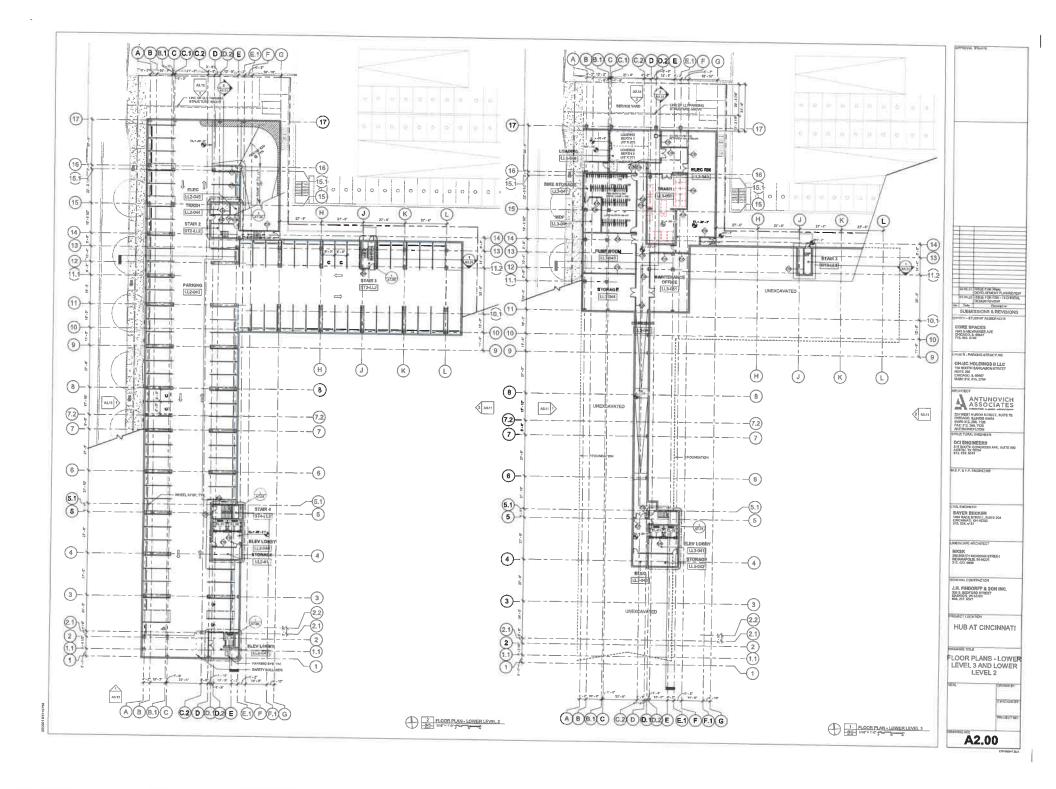
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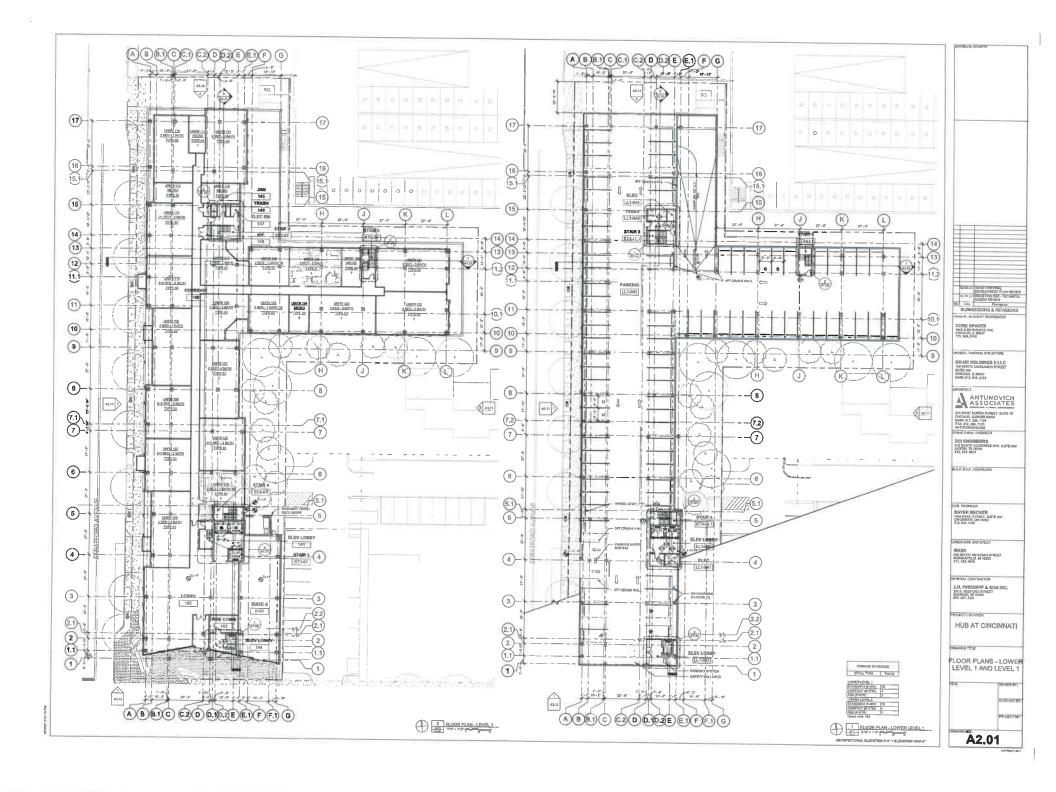
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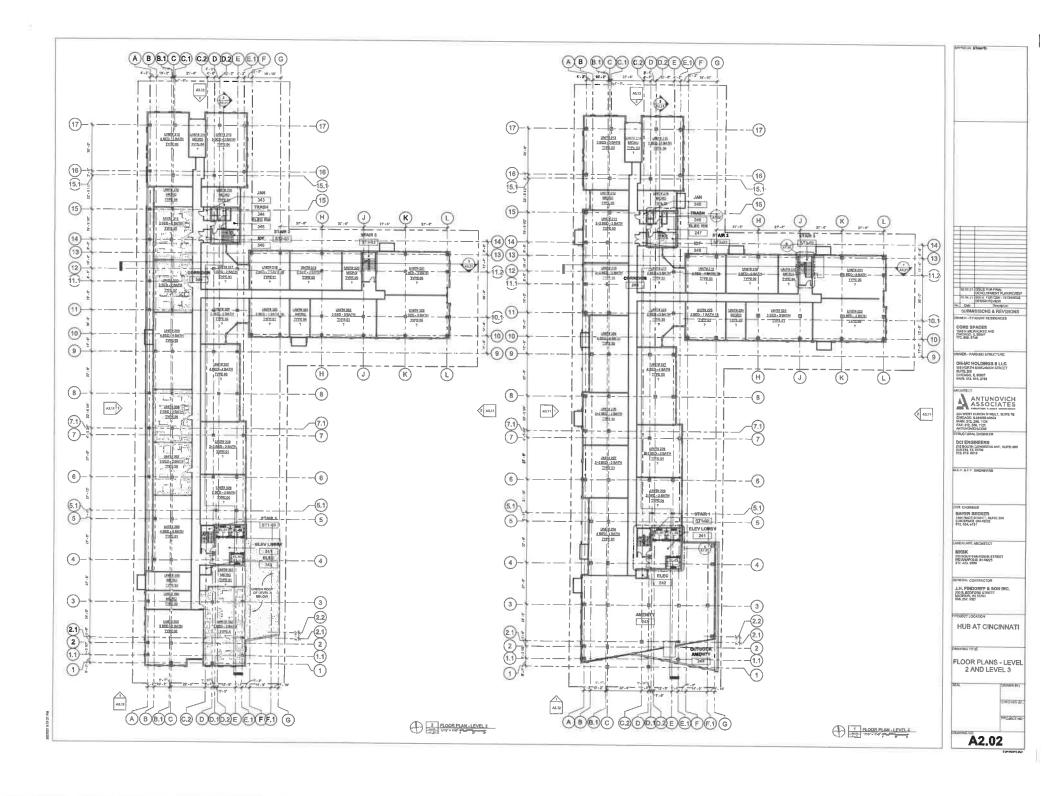


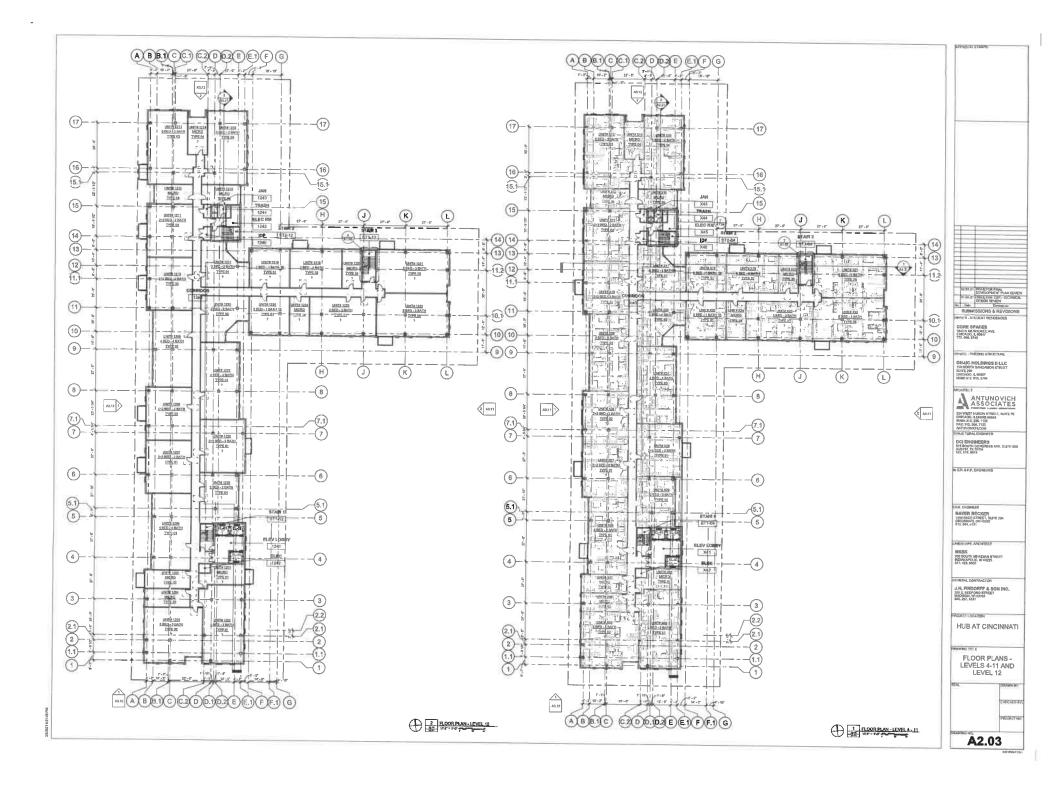
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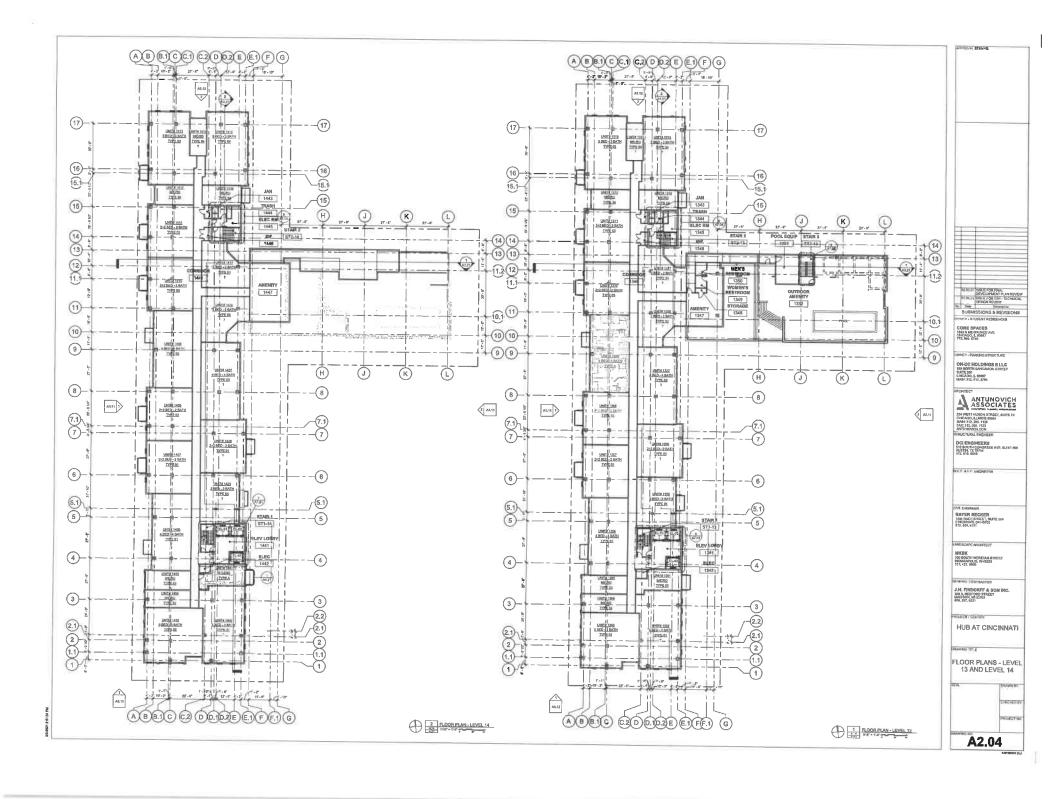


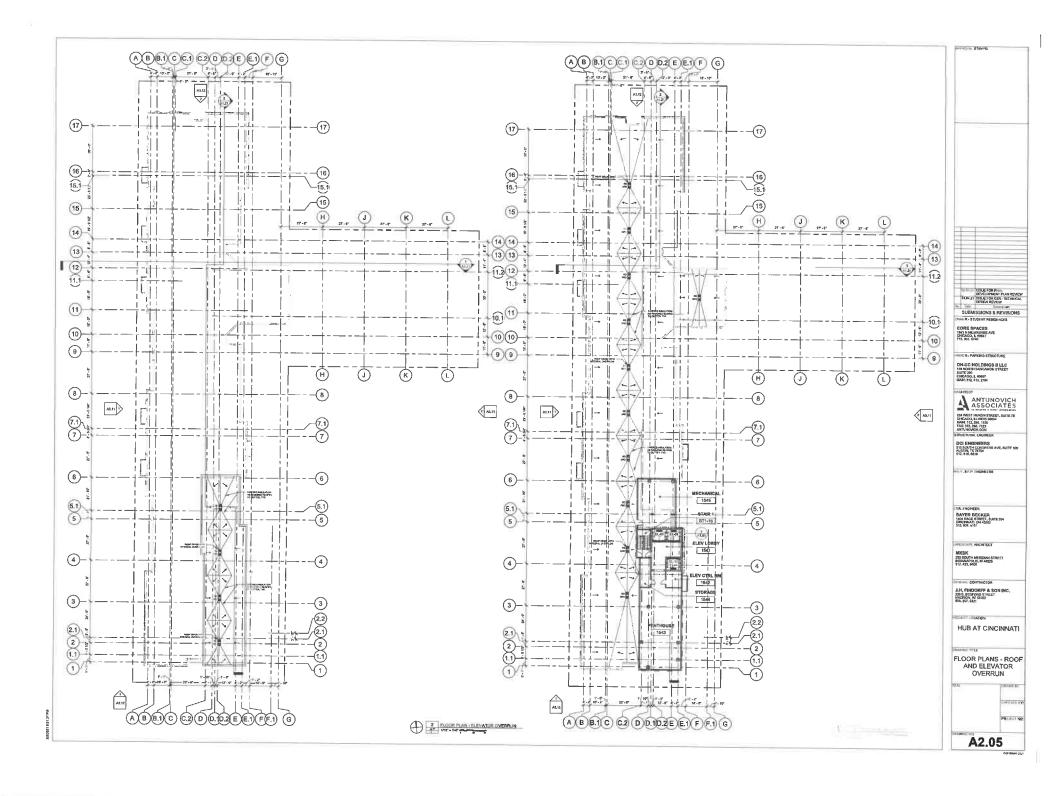














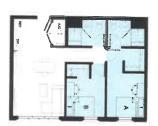




Micro Plan

Studio Plan

1 Bed / 1 Bath Plan







2 Bed / 2 Bath Plan



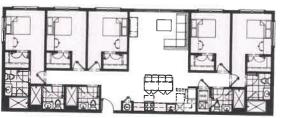
2+2 Bed / 2 Bath Plan



3 Bed / 3 Bath Plan



4 Bed / 4 Bath Plan



5 Bed / 5 Bath Plan

UDENT RESIDENCES CORE SPACES 1543N MEWALNEE AVE CHICAGO, L 80647 173, 969, 5740 OH-UC HOLDINGS II LLC ISS NORTH SANGAMON STREET SUITE 20 CHICAGO, L 60607 MAR: 312, 515, 27M ANTUNOVICH ASSOCIATES DCI ENGINEERS 515 SQUITH CONGRESS AVE. SUITE 600 AUSTIN, TX 78704 512, 517, 6619 H.E.P. & F.P. ENGWEERS COVIL ENGINEER

BAYER BECKER
1404 RACE STREET, SLITTE 204
CDNCDNAT, CN 46702
513, 834, 9151 UNIQUE PROHITECT J.H. FINEDRIFF & SON INC. 300 S. BEDFORD STREET MADISON, WI 63703 604, 257, 6321 ALL PURE PROPERTION HUB AT CINCINNATI

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A2.06

ENLARGED TYPICAL UNIT PLANS











OH-LIC HOLDINGS II LLC 158 NORTH SANCAMON STREET 3UTE 200 CHICAGO, L 60507 MAN: 312. 515, 2704

DCI ENGINEERS 515 BOUTH CONGRESS AVE, SUITE 600 AUSTRA, TX, 75704 512, 519, 6619

HEP. & F.P. ENGNEERS

BAYER BECKER
1404 RADE STREET, SUITE 204
DINCHART, CH 45202
513, 834, 0157

J.H. FINDORFF & SON INC. 300 8. BEDFORD STREET MACHED, VI 53703 808, 257, 5321

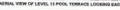
OJEC! LOCATION

HUB AT CINCINNATI

EXTERIOR RENDERINGS

Ä3.01







HAL VIEW OF LEVEL 13 FOOL TERRACE LOCKING NORTH-WEST





STREET VIEW FROM STRATFORD AVENUE LOOKING NORTH



VIEW OF PRIMARY BUILDING ENTRANCE FROM STRAIGHT STREET

TAMPS:

DEVELOPMENT PLAN REVE DEVELOPMENT PLAN REVE THE POST OF THE PERSON REVERW (6) DEVELOPMENT OF THE PERSON REVERW

OWNER - STUDENT RESIDENCES

CORE SPACES
1543 N MEMAJAKES AVE
CHICAGO, IL 00547
1773, 009, 5740

OM-UE - PARKING STRUCTURE
OM-UE HOLDINGS II LLC
138 NORTH SANGANON STREET
SINTE 220
CHICAGO, L 90497
MARE 312, 615, 2794

MARE 312, 615, 27M

ANTUNOVICH ASSOCIATES \*\*\*CHICKEN JAMES ANTONOMINA CONCACO, BLINGS SORRE JAMES 7E CHICAGO, BLINGS SORRE MARE \$12, COL. 158 ORGE FAC. 312, CAS. 712 ANTUNOVICH COM.

DCI ENGINEERS 515 BOUTH CONGRESS AVE, SUITE 600 AUSTIN, TX 78704 612, 619, 6619

MAIN BEN HIGHERS

BAYER BECKER
100 RACE STREET, SUITE 204
CINCSMAIL OH 46202
513, 834, 0151

MICSK 200 BOUTH MERIDIAN SYN

J.H. FONDORFF & SON INC. 300 B. BEDFORD STREET MACHINE, WE SOTOS 600, 257, 5321

HUB AT CINCINNATI

EXTERIOR RENDERINGS

1900

PROJECT

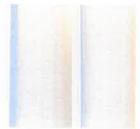
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UZ



METAL PANEL - FLAT PANEL, BUTT GROOVE JOINTING, COLOR - DARK.

MTL-6



METAL PANEL - FLAT PANEL, BUTT GROOVE JOINTING, COLOR - LIGHT.



METAL PANEL - INSULATED SLAB EDGE COVERS AND VERTICAL PROJECTIONS, COLOR-DARK.

METAL PANEL - INSULATED SLAB EDGE COVERS AND VERTICAL PROJECTIONS, COLOR-LIGHT.

METAL PANEL - INSULATED SLAB EDGE COVERS AND VERTICAL PROJECTIONS, COLOR-LIGHT.

METAL PANEL - INSULATED SLAB EDGE COVERS AND VERTICAL PROJECTIONS, COLOR-LIGHT. MTIL-D

METAL PANEL - CORRUGATED, SQUARE-PROFILE.
COLOR - DARK.

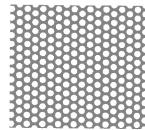


METAL PANEL - CORRUSATED, SQUARE-PROFILE. LOW-E GLAZING FOR STOREFRONT AND WINDOW COLOR - LIGHT.





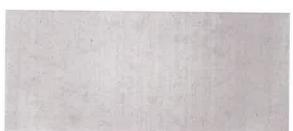
MODULAR BRICK WITH CONTRASTING MORTAR. BR-1



METAL PANEL - PERFORATED, 5% OPENNESS WITH BREAK METAL REVEALS, COLOR - DARK



SCORED FACE CMU, INTEGRAL COLOR - DARK.



CON-1 CAST-IN-PLACE CONCRETE WITH ARCHITECTURAL FINISH.

METAL PANÉS. - PERFORATE 6% OPENINESS WITH BREAK METAL REVEALS, COLOR -DARK METAL PANEL - INSULATED BLAB EDGE COVERS AND VERTICAL PROJECTIONS. COLOR - DARK. METAL PANEL - INSURATES SLAB EDGE COVERS, COLOR - LIGHT, MTL4 BREAKMETAL REVEAL, COLOR - DARK NTL-19 BREAK METAL REVEAL COLOR - LIGHT. EXTERIOR SHEET WOTE LEGEND (II) STOREFRONT - LOW-E GLAZING IN ALLMINUM FRANC, COLOR TO MATCH DAYS COLOR (III) WINDOW - BEDROOM - LOW-E GLAZING, COLOR TO MATCH DARK COLOR DEVELOPMENT PLAN REVIEW

DE FOR CSR - TECHNICAL

DESIGN REVIEW (00) WINDOW - LIVING ROOM - LOW-E GLAZING, COLOR TO MATCH DARK COLOR SUBMISSIONS & REVISIONS R-STUDENT RESIDENCES CORE SPACES 1643 N SILWALNEE AVE CHICAGO, IL 60647 773, 909, 5740 MARKE PARKING STRUCTURE OH-UC HOLDINGS II LLC 159 NORTH SANGAIANN STREET SUITE 200 CHICAGO, I, 60607 MAN: 512, 515, 27M GI GUARDRAIL, PAINTED TO MATCH GO GLIARDRAIL, PAINTED TO MATCH (10) LAWINATED GLASS DUARERAL ANTUNOVICH ASSOCIATES (1) LAMINATED GLASS WINDSCREEN 224 WEST HEROW STREET, SUITE TO CHICAGO, LINOIS SOME MAR. 312, 294, 1126 FAC 312, 284, 1122 ARTHROAYCH.COM TRECTURAL ENGINEER

CAST-IN-PLACE CONCRETE WITH ARCHITECTURAL FAIRH MODULAR BRICK WITH CONTRASTING MORTAIL

METAL PANEL - FLAT PANEL BUTT GROOVE JOINTING, GOLOR - DARK METAL PANEL - CONTRIGATED SQUARE-PROFILE, COLOR -DAIN METAL PANEL - FLAT PANEL, BUTT GROOVE JOINTING, COLOR-LIGHT.

9712-9

HILL:

(M) PUBLIC PARKING GARAGE

(05) STEEL DOOR AND FRAME

(05) OVERHEAD COMUNG DOOR (III) METAL SHROUD AROUND BALCONES

(12) BTILEL CANOPY

(13) IS-ST PRIMACY BALCONY FENCE (II) MECHANICAL PENTHOUSE

15 METAL VEHICLE RESTRAINT, DARK METAL COLOR

PROPERTY LINE

LINE OF GRADE

ENLENGMERK
BAYER BECKER
1404 RACE STREET, BATTE 204
CONCORATE, OH 45202
513, 634, 6151

M.P. & F.P. FNGDWEEPE

DCI ENGINEERS 515 SOUTH CONCRESS AVE, SUITE 600 AUSTN, TX 75704 512, 616, 6619

MRSK 200 BOUTH MERIDIAN STREET NDWNAPOLIE, IN 45225 317, 423, 9600

SET SELL CONTRACTOR J.H. FINDORFF & SON DIC, 3083, BEDFORD STREET MADISON, WI 63703 698, 257, 5321

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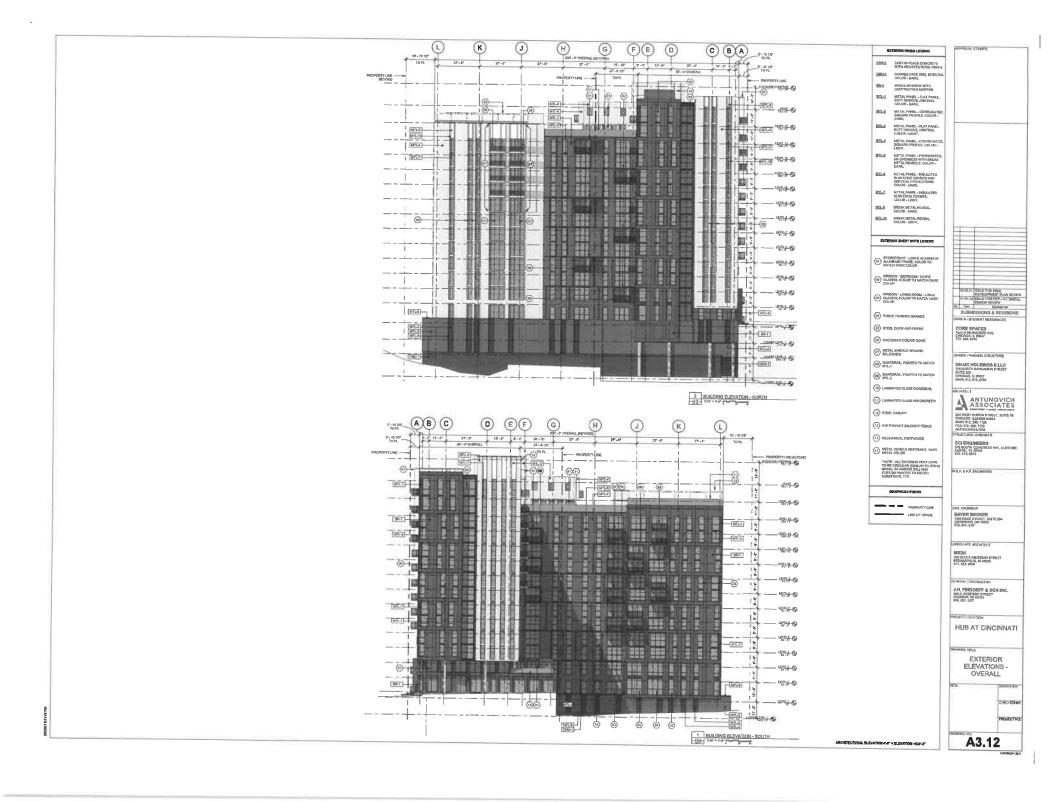
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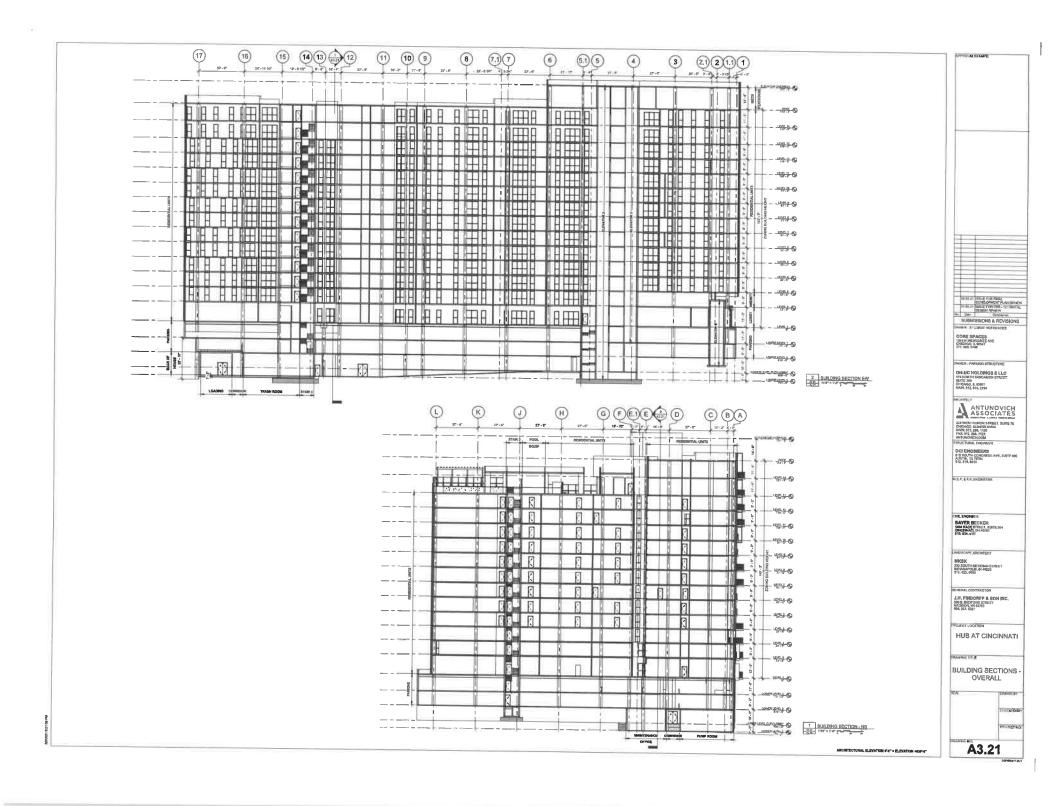
EXTERIOR MATERIALS

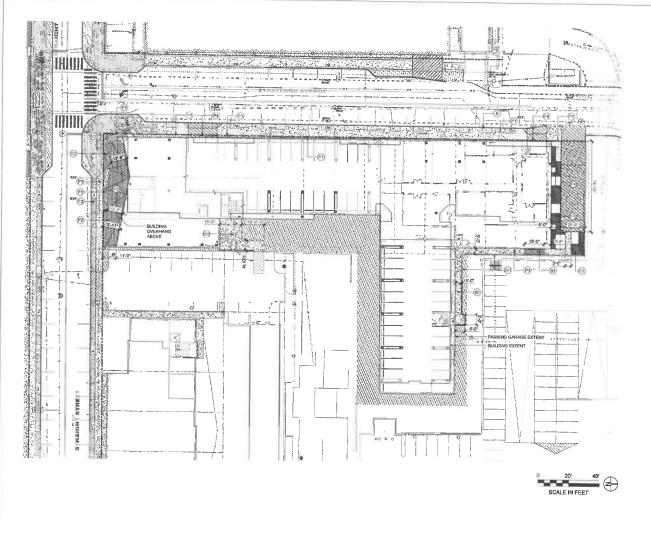
E RED BY

A3.03









RATERIALS LEGEND

PAVEMENTS

CIP CONCRETE PAVEMENT TYP.
5° CIP CONC. ON 4" AGG BASE, BROOM RINGS

P2 UNIT PAYERS TYP.
BTUMHOUS SET UNIT PAYERS ON 5" CP
CONC WITH 4" AGG BASE CRUSHED AGGREGATE PAVEMENT TYP.
3° CRUSHED AGG ON 4° COMPACTED AGG

P4) HEAVY DUTY CIP CONCRETE PAVEMENT, TYP.
F CIP CONC, ON 4" AGG BASE, BROOMFRISH

WALLS AND CURGS

CIP. RETAINING WALL DUMPSTER CART ENGLOSURE

STAIRS

(SI) CLP. CONCRETE STARS 82 PRECAST CONCRETE STAIRS ON CIP BASE

SITE FURNISHINGS

GUSTOW WOOD VENEERED BENCHES WITH PRECAST WALL STRUCTURE

HATCH INDICATES PLANTING AREAS, REFER TO PLANTING PLANTERS IS TO PLANTING PLANTERS IS

LAYOUT NOTES

REPER GENERAL HOTES AND PROJECT SPECIFICATIONS FOR ADDITIONAL INSTRUCTIONS.

PRED STANKING AND LAYOUT TO BE PERFORMED BY A RECASTBRED SURPEYOR. LAYOUT ALL CONSTRUCTION LINES AND VERRY LAYOUT WITH THE OWNERS REPRESENTATIVE PRIOR TO BEGINNING ANY CONSTRUCTION WORK.

CONSTRUCTION WORD.

IN THE EVENT THAT CONCREPANCIES ARRE NETWEEN WIRLT IS SHOWN ON THE CHAMBES AND ACTUAL FIELD CONSTRUME THE CHAMBES ROPINESCRIPT OF SHALL BE MOTHER CHAMBES THE PROPERTY OF RESOLUTION.

UNLESS METER OTHERWISE, DISCONSIONS SHOWN AS IN FIRST AND MICHIGES AND TO THE EDGE OF PAVEMENT, FACE OF HALL, OR FACE OF CARB.

CARB.

RACIO OF DISTRIO CLIRIS, AME ESTIMATED PROM BURYEY OR MASE DATA
MARK ALL MODRICATIONS NECESSARY TO ASSIGNE HERY CARRS MEET,
RICHAL MODRICATIONS NECESSARY TO ROSIGNE HERY CARRS MEET,
RICHAL MODRICATE SCHEMISTS NOULATED AS CURVILIBERS
SHALL MAYES MODIT CONTRIBUTIONS CURVIS AND ABUIT AT 90 DEGREE
ANGLES LIMITED STREETINGS COLORISMS AND ABUIT AT 90 DEGREE
ANGLES LIMITED STREETINGS COLORISMS

CONCRETE SCORING SHALL BE PARALLEL PERPENDICULAR OR TANGENT TO ADJACENT IMPROVEMENTS UNLESS OTHERWISE NOTED.

TO PAUMENT MARKET MAN STATE OF THE PROSE NOTES.

A PROVIDE CRAIN CONDITION BY WHAT OR PAVING BASE METER A PROSE STRUCTURE BASETING ON REPORTING AND THE OFFICE AND ORD THE CONDITIONS AT JUNCTURE OF ALL WALKINGTS AND DOOR THEESPICIUS.

IL DON'T SCALE DIVENTINGS, UTILIZE DIMENSIONS BEDICATED ON THE PLANS.

STREET PAYMENTS, FURNISHINGS, AND PLANTINGS TO BE REVIEWED AND COORDINATED WITH DOTE, SHOWN FOR RESERBING DIALY.

OPEN SPACE QUANTITIES PLANTED AREA: 7515 SF PLAZA AREA: 1840 SF

62.00.21 ISSUE FOR TRIAL
DEVELOPMENT PLAN REVIEW
01.00.21 ISSUE FOR GRR - TECHNICAL
DESIGN ROVER
DESIGN ROVER
SUBMISSIONS & REVISIONS

ER - STUDENT RESIDENCES

GORE SPACES 15GN MEMALIKEE AVE CHICAGO, 11, 80547 773, 989, 5740

ER - PARKING STRUCTURE

OH-UC HOLDINGS II LLC 159NORTH SANDAMON STREET SUITE 200 CHCAGO, IL 60807 MAIN: 317. 615. 27M

ANTUNOVICH ASSOCIATES

DCI ENGINEERS 515 SOUTH CONGRESS AVE, SUITE 600 AUSTIN, TX 78704 512, 619, 6419

H.E.P. & P.P. INGINEERS

BAYER BECKER 1406 RACE STREET, SUITE 204 CINCOMPAT OH 46292 815, 834, 6161

DSCAPE ARCHITECT MKSK 200 SOUTH MERIDIAN STREET NONAPOLIS, N 48225 317, 423, 9600

J.H. FINDORFF & SON INC. 300 S. SEDFORD STREET MADISON, W163703 508, 267, 5221 ROJECT LOGATION

HUB AT CINCINNATI

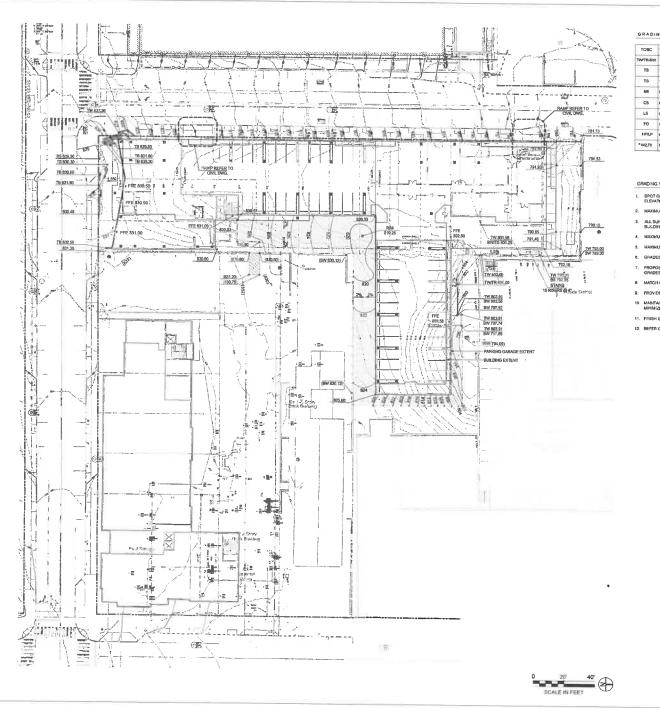
MATERIALS AND

LAYOUT PLAN

CHECKED PROJECTING

L1.00

Exhibit T



GRADING LEGEND

TC/BC TOP / BOTTOM OF CURB			
TWTR-6W	TOP OF WALL/ RAIL - BOTTOM OF WALL		
тв	TOP OF BENCH		
TS	TOP OF SLAB		
WE	MEET EXISTING		
СВ	CATCH BASIN		
LS	LEVEL SPREADER		
FG	FINISH GRADE		
HP/LP	HIGH POINT / LOW POINT		
°442.70	PROPOSED SPOT GRADE		

7,441	EXISTING SPOT GRADE		
	EXISTING CONTOUR		
	PROPOSED CONTOUR		
0.68%	SLOPE		
	PLANEED AREA		

#### GRADING NOTES

SPOT GRADES SHOWN ARE BASED ON EXISTING CONDITIONS AND ARE TO BE REBUILT TO THESE EXISTING ELEVATIONS.

2. MAXIMUM SLOPES IN LANDSCAPE AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE INDICATED.

ALL SURFACES SHALL BE CONSTRUCTED TO POSITIVELY DRAIN AWAY FROM ALL VERTICAL ELEMENTS SUCH AS BUILDINGS, WALLS, COLUMNS, ETC. TOWARD AND INTO DRAINAGE STRUCTURES SHOWN.

MAXIMUM RUNNING SLOPES AT WALKWAYS SHALL NOT EXCEED 4.9%.

5. MAXIMUM CROSS SLOPES AT WALKWAYS SHALL NOT EXCEED 1.9%.

6. GRADES SHOWN INDICATE FINISH GRADE, VERIFY DEPTH OF PAVEMENT SECTIONS PRIOR TO ROUGH GRADING.

PROPOSED GRADES AND CONTOURS ARE INTERPOLATED FROM THE BEST INFORMATION AVAILABLE. ALL PROPOSED GRADES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.

8. MATCH GRADES WITH ADJACENT SURFACES SO THAT ALL ABUTTING SURFACES ARE PLUSH.

D. PROVIDE POSITIVE DRAINAGE FROM ALL PAVEMENT SURFACES TO CURBS OR INLETS.

10. MAINTAIN COMPACTION RATES SPECIFIED FOR PAVEMENT SUB-GRADE AT FILL ADJACENT TO CURBS AND WALKS TO MINMIZE SETTLEMENT.

11. FINISH GRADES SHALL 9E 3" BELOW ELEVATIONS SHOWN FOR ALL PLANTING AREAS UNLESS OTHERWISE NOTED.

12. REFER GENERAL NOTES FOR ADDITIONAL INSTRUCTION.

02.03.21 ISSUE POR FINAL DEVELOPMENT PLAN REMEM 01.04.21 ISSUE POR CSR - TECHNICAL DESIGN REVEW SUBMISSIONS & REVISIONS

ER - STUDENT RESIDENCES

CDRE SPACES 1843 N ME, WALKER AVE CHICAGO, M. 80847 773, 969, 8740

WHER - PARKING STRUCTURE

OH-UC HOLDINGS II LLC 159 NORTH GANGAMON STREET SUITE 200 CHICAGO, IL 60607 MAN: 312, 818, 2194

ANTUNOVICH

DCI ENGINEERS 615 30UTH CONORIES AVE, SUITE 600 AUSTIN, TX 78704 512, 619, 6019

E.P. & F.P. DIGINEERS

IVIL ENGINEER BAYER BECKER 1404 RACE STREET, SUITE 204 CINCHNAT, OH 45292 513, 834, 815.1

ANDSCAPE ARCHITECT MKSK 200 SCUTH MERIDIAN STREET NDIANAPOLIS, IN 46225 317, 423, 9890

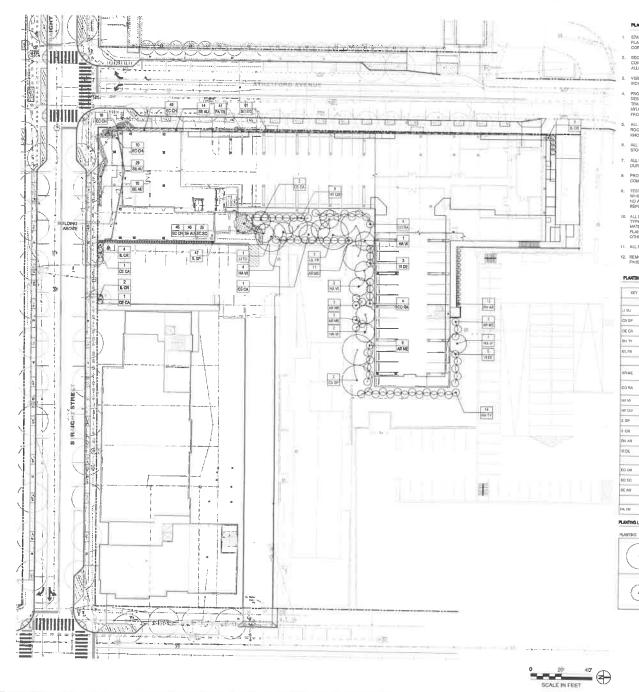
BRAL CONTRACTOR J.H. FINDORFF & SON INC., 30 s. BEDPORD STREET MADISON, WIRSTON 604, 287, 5321

ROJECT LOCATION

HUB AT CINCINNATI

GRADING PLAN

L2.00



- STAKE ALL BED LINES AND TREE LOCATIONS FOR THE LANDSCAPE ARCHITECTS REVIEW PRIOR TO INSTALLATION, ALL PLANTING PROCEDURES ARE QUIDED TO THE REVIEW OF THE LANDSCAPE ARCHITECT AND THE CONTRACTOR SHALL CHREET ARE TO TREMENDED SHOULD AT THE ADMINISTRACTOR SHALL CHREET ARE TO TREMENDED SHOULD AT THE ADMINISTRACTOR SHALL CHREET ARE TO TREMENDED SHOULD SHOULD SHOULD SHALL CHREET ARE TO THE ADMINISTRACTOR SHALL CHREET AND THE ADMINISTRACTOR SHALL CHREET ARE TO THE ADMINISTRACTOR SHALL CHREET AND THE A
- SECURE PLATT MATERIAL AS EFECRED ON PLANS, IN THE EVENT THAT PLANT MATERIALS SPECIFIED ARE NOT AVAILABLE, CONTROL MOSCARE ADMITICATE FOR APPROVAL SUFFICIENT ON SUBSTITUTIONS FOR PLANT MATERIALS WILL BE ALLOWED WITHOUT FROM WHITHIS APPROVAL SIT THE LANDSCOPE ARCHITECT.
- VERIFY THAT ALL PLANTING PRODUCTS, PLANT MATERIAL, AND PLANT QUANTITIES DELIVERED TO THE SITE MATCH WHAT IS INDICATED ON THE PLANS AND SPECIFICATIONS,
- PROTECT ALL PLANT MATERIAL DURING DELVERY TO PREVENT DAMAGE TO ROOT BALLS, TRUNKS, BRANCHES AND THE DESIGNATION OF LEAVES. PROTECT ALL PLANT MATERIAL DURING SHEPPIC WITH SHADE CLOTH OF SHEP WITH ENGLOSED TRANSPORT. MARINA PROTECTIONS AND HEALTH OF PLANT MATERIAL STORED ON SITE. HANDLE ALT THESE WITH INCON STRIPS. NO CHAINS OR CHELS WILL BE ALLOWED, REMOVE UNACCEPTABLE PLANT MATERIAL IMMEDIATELY FROM THE STE.
- ALE PLANT MATERIAL SHALL SE NURSERY GROWN, WELL FORMED, TRUE TO SPECIES, MARDENED OFF WITH VIGOROUS POOT SYSTEMS, RILL GROWN IND COMPRES, AND FREE FROM DESCASE, FESTS AND INSECTS, AND DEFECTS SUCH AS INJURY, SLAN GRAD, WINDERINK, LES DIS COLORATION, RINGELULAR BRANCHING OR INJURIES.
- ALL ROOT BALLS SHALL CONFORM TO THE SIZE STANDARDS SET FORTH IN "AMERICAN STANDARDS FOR NURSERY
- ALL PLANT MATERIAL DELIVERED TO THE SITE IS SUBJECT TO THE REVIEW OF THE LANDSCAPE ARCHITECT BEFORE, DURING AND AFTER INSTALLATION.
- PROVIDE PLANT SAMPLES OR PHOTOGRAPHS OF EACH PLANT SPECIFIED TO THE LANDSCAPE ARCHITECT FOR COMPLIANCE REVIEW PRIOR TO INSTALLATION.
- TEST FILL ALL TREE AND FLANTING PITS WITH WATER, PRICH TO PLANTING, TO ASSURE PROCESS SUB, PERCULATION, PITS WHIGH DO NOT ADEQUATE YOR DRAIN SHALL SE FURTHER EXCIDANTED TO A CETTH SUPPICIENT FOR DRAINAGE TO OCCUR. NO ALLICHANCES SHALL SE MADE FOR AUTH MATERIAL LOSS DUE TO IMPROFER DRAINAGE, CONTRINCTOR SHALL REPLACE LOST PLANT MATERIAL WITH BAME SIZE AND SPICES AT NO ACCITIONAL COST TO OWNER.
- 10. ALL PLANT MATERIALS, INCLUDING PELOCATED PLANT MATERIAL, SHALL BE PLANTED IN A PROFESSIONAL MANNER TYPICAL TO THE INDUSTRY STANDARDS OF THE AREA TO ASSURE COMPLETE SURVIVABILITY OF ALL INSTALLED PLANT MATERIALS AS VELLAS TO PROVIDE AN ASENTIFICATIVA PRIVICED PROJECT, CONTRACTOR SWALL RESIST TO THE PLANTING DETAILS FOR MINIMUM SIZE AND WIDTH OF PLANTING PITS AND BEDS, GUYING AND STANDAG, MULCHING, AND OTHER PLANTING REQUIREMENTS.
- 11. ALL PLANTING AREAS SHALL BE WEED FREE PRIOR TO PLANTING INSTALLATION.
- 12. REMOVE ALL PLANTING AND LANDSCAPE DEBRIS FROM THE PROJECT SITE AND SWEEP AND WASH CLEAN ALL PAVED AND PRISHED SURFACES AFFECTED BY THE LANDSCAPE INSTALLATION.

#### PLANTING SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARK				
	DECIDUOUS TREES		_	-					
u TU	URIODENDRON TULIPIFERA	TULIP YREE	3" GAL		B&B				
CASP	CATALPA SPECIOSA	NORTHERN CATALPA	3º CAL		BAB				
CE CA	OFRCIS CANADENSIS	REDBUD	5-10° HT.		BAB				
BH TY	RHUS TYPHINA	STACHORN SUMAC	5 GAL	72° O.C.					
UL FR	ULMUS 'FRONTIER	FRONTIER ELM	3º CAL.		988				
	SHRUBS								
AR ME	ARONIA MELANOCARPA	BLACK CHOKEBERRY	3 GAL 77 O.						
CORA	CORNUS RACEMOSA	GRAY DOGWOOD	3 GAL.	72° 0.0.					
HA VI	HAMAMELIS VIRGINIANA	DOMMON WITCHHAZEL	5 CAL		PER PLAN				
HV DU	HYDRANGEA QUERCIFOLIA	CAKLEAF HYDRANGEA	3 GAL						
LSP	LEX CRENATA SKY PENGIL!	SKY PENCIL HOLLY	3 GAL 24"						
CR	SLEX CREMAYA	JAPANESE HOLLY	3 GAL 48*0						
RA NE	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC							
Λ D€	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	3 GAL	72° O.C.					
	PEREMALS, GRASSES, AND GROUND COVERS								
C CH	ECHINACEA CHEVERINE SPIRIT:	CONEFLOWER	CONEFLOWER 1 GAL 18" O.C						
csc	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUE STEM	1 GAL 24°O.C.						
SE AU	SESLERIA ALITUMNALIS	AUTUMN MOOR GRASS	1 GAL	18" O.C.					
	NINE.								
A TR	PARTHENOCISSUS TRICUSPIDATA	BOSTON MY	I GAL.	72° O.C.					

#### PLANTING LEGEND





02.00.21 ISSUE FOR FINAL DEVELOPMENT PLAN REVIEW 01.04.21 ISSUE FOR CSR - TECHNICAL DESIGN REVIEW

HINER - STUDENT RESIDENCES

CORE SPACES 1640 N MILWAUKEE AVE CHICAGO, IL 60847 773, 988, 5746

ER - PARKING STRUCTU DH-UC HOLDINGS II LLC 169 NORTH SANGAMON STREET SUITE 20 CHICAGO, B. 60507 MAN: 312, 615, 27M

ANTWHOVICH ASSOCIATES

RUCTURAL ENGINEER DC! ENGINEERS 518 SOUTH CONGRESS AVE. SUITE 600 AUSTIN, TX 7870M 512, 618, 6019

W.E.P. & F.P. ENGINEERS

BAYER BECKER 1404 RACE STREET, SUITE 204 GINGINNATI, OH 45202 513, 834, 8151

#HDSCAPE ARCHITOTY

200 SOUTH MERIDIAN STREET NDIANAPOLIS, IN 48225 317, 423, 9800

J.H. FINDORFF & SON INC. 300 3. 8EDFORD STREET MADISON, WI SSTOS 808, 217, 6321 ROJECTLOCATION

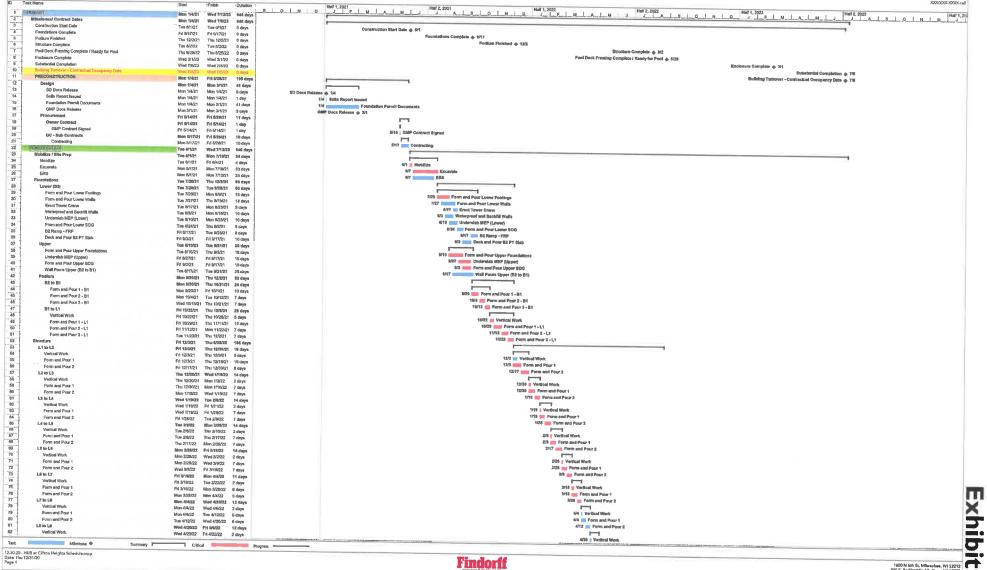
HUB AT CINCINNATI

DEALERS STATE

PLANTING PLAN

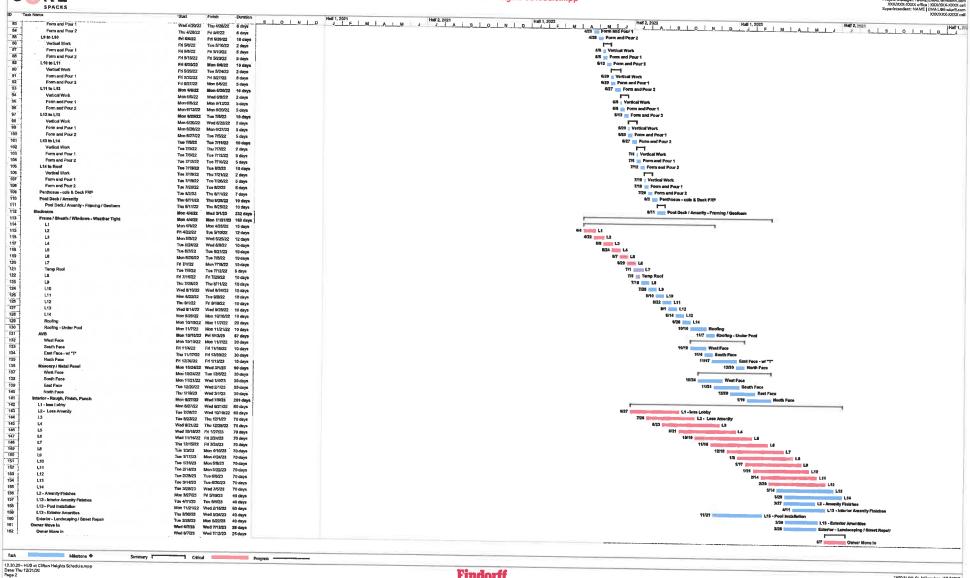
ECK III PY PROJECTNO

L3.00



Findorff BUILDERS SPICE (900





Findorff BUILDERS SINCE 1880



Commitment No. 2095533

### COMMITMENT FOR TITLE INSURANCE ISSUED BY CHICAGO TITLE INSURANCE COMPANY

#### NOTICE

IMPORTANT—READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACONTRACTUAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

#### **COMMITMENT TO ISSUE POLICY**

Subject to the Notice; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and the Commitment Conditions, Chicago Title Insurance Company, a Florida corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured.

If all of the Schedule B, Part I—Requirements have not been met within **180 days** after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

### COMMITMENT CONDITIONS

#### 1. DEFINITIONS

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Chicago Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

72C165B35 Page 1 of 3 ALTA Commitment For Title Insurance-08-01-2016 for OH 06-01-2017 The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association. @2006-2016. American Land Title Association. All rights reserved.



- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to (e) be issued pursuant to this Commitment.
- "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy (f) Amount of each Policy to be issued pursuant to this Commitment.
- "Public Records": Records established under state statutes at the Commitment Date for the purpose of (g) imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
- (h) "Title": The estate or interest described in Schedule A.
- If all of the Schedule B, Part I-Requirements have not been met within the time period specified in the 2. Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.
- 3. The Company's liability and obligation is limited by and this Commitment is not valid without:
  - the Notice: (a)
  - (b) the Commitment to Issue Policy:
  - (c) the Commitment Conditions:
  - (d) Schedule A:
  - (e) Schedule B, Part I-Requirements; and
  - Schedule B, Part II—Exceptions: and (f)
  - a counter-signature by the Company or its issuing agent that may be in electronic form. (g)

#### 4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

#### 5. LIMITATIONS OF LIABILITY

- The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
  - comply with the Schedule B, Part I—Requirements;
  - (ii) eliminate, with the Company's written consent, any Schedule B, Part II-Exceptions: or
  - acquire the Title or create the Mortgage covered by this Commitment.
- The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested (b) the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- The Company will only have liability under Commitment Condition 4 if the Proposed Insured (c) would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense (d) incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.

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- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.
- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I-Requirements have been met to the satisfaction of the Company.
- In any event, the Company's liability is limited by the terms and provisions of the Policy. (g)

#### LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT 6.

- Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this (a) Commitment.
- Any claim must be based in contract and must be restricted solely to the terms and provisions (b) of this Commitment.
- Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement (c) between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- The deletion or modification of any Schedule B, Part II—Exception does not constitute an agreement (d) or obligation to provide coverage beyond the terms and provisions of this Commitment or the
- Any amendment or endorsement to this Commitment must be in writing and authenticated by a person (e) authorized by the Company.
- When the Policy is issued, all liability and obligation under this Commitment will end and the (f) Company's only liability will be under the Policy.

#### 7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

#### 8. **PRO-FORMA POLICY**

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the proforma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

#### 9. ARBITRATION

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <a href="http://www.alta.org/arbitration">http://www.alta.org/arbitration>.</a>

Countersigned:

Authorized Signatory

CHICAGO TITLE INSURANCE COMPANY

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Date Issued: January 4, 2021 Commitment No.: 2095533

Other Reference No.:

Name and Address of

Property Address: Straight Street, Cincinnati, Ohio 45219

Chicago Title Insurance Company

Title Insurance Company:

PO Box 45023

Jacksonville, FL 32232

#### SCHEDULE A

Commitment Date: December 14, 2021 at 7:59 a.m.

2. Policy or Policies to be issued:

(a) 2006 ALTA Owner's Policy Proposed Insured: Proposed Policy Amount:

(b) 2006 ALTA Loan Policy Proposed Insured: TBD

Proposed Policy Amount: \$14,000,000.00

\_ALTA Proposed Insured: N/A Proposed Amount: N/A

- The estate or interest in the land described or referred to in this Commitment is FEE SIMPLE
- Title to the estate or interest in the Land is at the Commitment Date vested in:

OH-UC Holdings II LLC, a Delaware limited liability company SOURCE OF TITLE:

Official Record Volume 13511, Page 1686 Recorder's Office, Hamilton County, Ohio.

The Land is described as follows: (Continued on Second Page)

CHICAGO TITLE INSURANCE COMPANY

Authorized Officer or Agent Developers Title, LLC 495 Executive Campus Drive

Westerville, OH 43082

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AMERICAN

#### Schedule A - Continued

Situated in the City of Cincinnati, Hamilton County, Ohio:

Being all of Lots 7 through 18 and parts of Lots 19 and 21 and a vacated alley of Taffel and Lampe's Subdivision, as recorded in Plat Book 10, Page 61 of the Hamilton County, Ohio Records and part of Lot 59 of Colonel John Riddle's Subdivision, as recorded in Plat Book 1, Page 265 of Hamilton County, Ohio Records, described as follows:

Beginning at the intersection of the east line of Stratford Street with the north line of Straight Street;

Thence North 0 deg. 56' East, along the east line of Stratford Street, a distance of 397.00 feet;

Thence South 89 deg. 22' East, a distance of 100.00 feet;

Thence South 0 deg. 56' West, a distance of 97.00 feet;

Thence South 89 deg. 22' East, a distance of 125.00 feet;

Thence South 0 deg. 56' West, a distance of 90.00 feet;

Thence North 89 deg. 22' West a distance of 125 feet;

Thence South 0 deg. 56' West, a distance of 210.00 feet to the north line of Straight Street;

Thence North 89 deg. 22' West, along the north line of Straight Street, a distance of 100.00 feet to the place of beginning.

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### **SCHEDULE B - Part I**

#### Requirements

Commitment No: 2095533

All of the following Requirements must be met:

- 1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
- 2. Pay the agreed amount for the estate or interest to be insured.
- 3. Pay the premiums, fees, and charges for the Policy to the Company.
- 4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
- 5. The Company requires the following documents from OH-UC Holdings II LLC (the "LLC"):
  - a. A certificate of Good Standing from the Secretary of State (or equivalent) from the LLC's jurisdiction of formation or for the State of OH (State Wherein the Property is Located);
  - b. A full, complete and executed copy of the LLC's Operating Agreement, together with any and all amendments;
  - c. Joinder of all members of the LLC in the execution and delivery of the instruments necessary to consummate the transaction which is the subject of this commitment; or
  - d. A Resolution signed by all of the members of the LLC authorizing the transaction and designating, identifying and authorizing the specific member(s) authorized to execute and deliver the instruments necessary to consummate the transaction which is the subject of this commitment.
- 6. All Deeds must be accompanied with a DTE Form 100, Real Property Conveyance Fee Statement of Value and Receipt. Note: If claiming an exemption submit the DTE Form 100(EX) with the Deed.
- 7. Payment of the Conveyance Fee at a cost of \$4.00 per \$1,000.00 of consideration and a \$0.50 per parcel transfer tax in Hamilton County, Ohio. Note: Ohio has no mortgage tax.
- 8. Please provide a draft deed so the legal description may be approved with the County tax office no later than two weeks from closing. The County Tax Map office reserves the right to require a new legal description be created for a new conveyance and creation of the new legal description can take in excess of three weeks and delay closing. Any instrument of conveyance creating an insured interest must comply with local rules on descriptions and conveyances pursuant to Sections 315.251 and 319.203 of the Ohio Revised Code.
- 9. Suggestions to decrease rejection of the documents presented at the time of recording:
  - -Top margin of the first page reserved for recorder 3" margin and all other top margins at 1 ½";
  - -Legal description need to be on all documents for recording and include Parcel numbers;
  - -Documents for recording should include the mailing address for all parties;
  - -All documents must include the name and address of preparer with the statement "This instrument prepared by" at the conclusion of the document;

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- -A return-to address may be included on the first page;
- -Names must be legibly printed, typed or stamped immediately beneath the signatures. Corporate seal not required; and -Derivation clauses are recommended on Deeds, Assignments and Mortgage amendments. Note: See further Ohio Revised Code §317.114 and Chapter 5301.
- 10. If a Zoning Endorsement is requested the company requires a complete Zoning Report, or a Zoning Compliance Letter from the appropriate governmental entity, or an Attorney's Zoning Opinion Letter. A copy of the civil drawings and the site plan may also be required.
- 11. If survey coverage or a survey endorsement is requested the company may require a new ALTA/NSPS Land Title Survey. A new survey may also be required for the issuance of other survey related endorsements.
- 12. All parties to the transaction must provide identification sufficient to comply with the USA Patriot Act as determined by their lender and the policy-issuing agent.
- 13. Duly executed Owners Affidavit covering matters of Title, in a form acceptable to the Company.

Notice: Please be aware that due to the conflict between federal and state laws concerning the cultivation, distribution, manufacture or sale of marijuana, the Company is not able to close or insure any transaction involving Land that is associated with these activities.

- 14. NOTE: Your attention is directed to the provisions of the Tax Reform Act of 1986 which require the reporting of real estate transactions to the Internal Revenue Service. All real estate transactions (except for refinances) closed after January 1, 1987 must be reported on a Form 1099-S which must be completed in full at the time of closing.
- 15. Further exceptions and/or requirements may be made upon review of the proposed documents and/or upon further ascertaining the details of the transaction.

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#### SCHEDULE B - Part II

Exceptions

Commitment No: 2095533

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

#### STANDARD EXCEPTIONS

- 1. Any defects, liens, encumbrances, adverse claims or other matter that appear for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of Schedule B, Part 1 Requirements are met.
- 2. Any facts, rights, interests, or claims that are not shown in the Public Records but that could be ascertained by an inspection of the land or by making inquiry of persons in possession of the land.
- 3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the title including discrepancies, conflicts in the boundary lines, shortage in area, or any other facts that would be disclosed by an accurate and complete land survey of the Land, and that are not shown in the Public Records.
- 4. Any lien, or right to a lien, for services, labor or material heretofore or hereinafter furnished, imposed by law and not shown in the public records.
- 5. Rights of parties in possession of all or any part of the premises, including, but not limited to, easements, claims of easements or encumbrances that are not shown in the public records.
- 6. The lien of real estate taxes or assessments imposed on the title by a governmental authority that are not shown as existing liens in the records of any taxing authority that levies taxes or assessments on real property or in the public records.
- 7. The following exception will appear in any loan policy to be issued pursuant to this commitment: Oil and gas leases, pipeline agreements, or any other instrument related to the production or sale of oil or natural gas which may arise subsequent to the Date of Policy.
- 8. Coal, oil, natural gas, or other mineral interests and all rights incident thereto now or previously conveyed, transferred, leased, excepted or reserved.

#### SPECIAL EXCEPTIONS

9. All assessments and taxes for 2020 and all subsequent years, which are not yet due and payable.

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- 10. Taxes for the year 2019 in the name of OH-UC Holdings II LLC, a Delaware limited liability company are as follows: As to Parcel No. 101-0007-0023-00
  - Taxes for the First Half in the amount of \$43,287.56 are Paid: Taxes for the Second Half in the amount of \$43,180.06 are Paid.
  - (Assessed Valuation: Land \$102,410.00, Improvement \$0.00: Total \$102,410.00)
- 11. Taxes for the year 2019 in the name of OH-UC Holdings II LLC, a Delaware limited liability company are as follows: As to Parcel No. 101-0007-0178-00
  - Taxes for the First Half in the amount of \$497.28 are Paid: Taxes for the Second Half in the amount of \$497.28 are Paid. (Assessed Valuation: Land \$12,880.00, Improvement \$0.00: Total \$12,880.00)
- 12. Future special assessments on the tax duplicate occasioned by past due water bills, sewer bills, weed cutting charges, property clean-up and building maintenance charges assessed by a government authority.
- 13. NOTE: The Policy(s) of insurance may contain a clause permitting arbitration of claims at the request of either the Insured or the Company. Upon request, the Company will provide a copy of this clause and the accompanying arbitration rules prior to the closing of the transaction.
- 14. Restrictive Covenant Agreement by and between OH-UC Holdings IA LLC, a Delaware limited liability company and OH-UC Holdings II LLC, a Delaware limited liability company dated September 25, 2017, filed for record September 27, 2017 and recorded in Official Record Volume 13511, Page 1514, Recorder's Office, Hamilton County, Ohio.
- 15. All matters on Plat A recorded in Plat Book 1, Page 265, Recorder's Office, Hamilton County, Ohio.
- All matters shown on Plat of Tafel, Glaser and Lampe's Subdivision of record in <u>Plat book 7, Page 66</u>, Recorder's Office, Hamilton County, Ohio.
- 17. All matters shown on the Plat of Tafel and Lampe's Subdivision of record in <u>Plat Book 10, Page 61</u>, Recorder's office, Hamilton County, Ohio
- 18. All matters shown on the Plat of Overlook Park of record in <u>Plat Book 22, Page 11</u>, Recorder's Office, Hamilton County, Ohio.
- 19. All matters shown on the Pat of Survey of Deaconess Hospital of record in <u>Plat book 305, Page 99</u>, Recorder's Office, Hamilton County, Ohio.

NOTE: Pertaining to the covenants and restrictions, if any, described in Schedule B of this Commitment/Policy, the following is expressly omitted therefrom: any covenant or restriction based on race, color, religion, sex, handicap, familial status or national origin unless and only to the extent that such covenant (a) is exempt under Chapter 42, Section 3607 of the United States Code or (b) related to handicap but does not discriminate against handicapped persons. Any covenant and restriction, or any part thereof, omitted as described above shall in no event be construed as forming a part of this Commitment/Policy, Schedule B of this Commitment/Policy or as an existing covenant and restriction disclosed by the public records.

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## Appendix E

## Proposed Permitted Uses within PD District

Legend:

Dinsmore New Definitions for Insertion: Yellow

# 1. Retail—direct selling to a consumer

- Food Service
  - Eating and drinking establishment—a business that is primarily engaged in serving prepared food or beverages for consumption on or off the premises (CMC §1401-01-E1)
  - Restaurants, full service—Restaurants providing food and beverage services to patrons who order and are served while seated (table service) and pay after eating. Takeout service may be provided (CMC §1401-01-E1)
  - Restaurants, limited—Restaurants providing food and beverage services to
    patrons who order and pay before eating. Food and beverages may be consumed
    on the premises, taken out or delivered. Table service is not provided. This
    classification includes cafeterias, cafes, fast-food outlets, pizza delivery, snack
    bars and takeout eating places (CMC § 1401-01-E1)
  - o Brewery
  - o Distillery
  - Walk-Up Window for retail and food services
  - o Food market—An establishment for retail sales of food and beverages for off-site preparation and consumption (CMC § 1401-01-F8)
  - Food preparation—A business that prepares food and beverages for off-site consumption, including delivery services (CMC §1401-01-F9)
  - Orinking establishments—Bars, nightclubs, lounges or dance halls serving beverages for consumption on the premises as a primary use and including on-site service of alcohol, including beer, wine and mixed drinks (CMC §1401-01-E1)

#### Other Retail

- Convenience market—an establishment that retail a limited line of goods that generally include milk, bread, soda, and snacks. Convenience markets may or may not include fuel sales (CMC § 1401-01-C20)
- o Grocery
- Patio and garden store, limited—an establishment engaged in the retail sale of patio furniture and equipment, garden supplies, plants, and other accessories. This classification does not include the rental of landscaping equipment
- O Personal services—The provision of recurrently needed services of a personal nature. This classification includes barber and beauty shops, nail salons, tanning salons, massage therapy, electrolysis, seamstresses, tailors, shoe repair, dry cleaners (excluding dry cleaning plants), self-service laundries and photographic studios (CMC § 1401-01-P11)
- Retail sales, including alcohol sales—an establishment engaged in sales of goods, including, but not limited to: alcoholic beverage sales, furniture and home furnishings, electronics and appliances, clothing and shoes, jewelry, luggage and leather goods, sporting goods and hobbies, books, periodicals and music, tobacco

- sales, department stores, florists, office supplies and stationary, gifts and novelties, pets, hardware, video stores and auto parts. This classification includes the retail sale or rental of merchandise not specifically listed under another use classification (CMC § 1401-01-R13)
- Banks and financial institutions—An establishment that provides retail banking, credit and mortgage services to individuals and businesses. This classification includes banks and savings and loan establishments, brokerage firms, check cashing and currency exchange outlets and stand-alone automated teller machines (CMC § 1401-01-B)
- Recreation and Entertainment—the provision of recreation or entertainment to paying participants or spectators (CMC §1401-01-R2)
  - Recreation and entertainment: Indoor or small-scale—includes small, generally indoor facilities, although some facilities may be outdoor, including: fitness centers, gymnasiums, handball, racquetball or tennis club facilities, ice or roller skating rinks, movie theaters (three or fewer screens); billiard parlors, bowling centers, poolrooms, miniature golf courses and amusement arcades (CMC §1401-01-R2)
  - Recreation and entertainment: outdoor or large-scale, limited—includes: swimming pools; entertainment complexes; movie theaters (4 or more screens); and indoor archery ranges.
  - o Parks and recreation facilities, limited—A park, playground, recreation facility and open space. This classification includes community centers, gymnasiums, picnic facilities, and botanical gardens, as well as related food concessions
- 2. Mixed Use—a building or lot containing residential and commercial or industrial uses (CMC § 1401-01-M7)

#### 3. Residential Uses

- Student housing
  - Student Residences—1 to 5 bedroom residential units sharing a single common area
  - o Dormitories
  - Fraternity & Sorority House—a building used as group living quarters for students of a college or university, who are members of a fraternity or sorority recognized by the college or university (CMC § 1401-01-F10)
  - Rooming houses—A building containing three or more rooming units not offering nursing or dietary care, therapy or counseling for its occupants (CMC §1401-01-R14)
- Senior housing
  - O Shared housing for elderly—a residence for not more than ten adults, the majority of whom are 60 years of age or older, either cooperatively established by the residents or under the sponsorship of a non-profit organization; provided that the residents are living together as a family and are all capable of self-preservation without assistance in the event of an emergency (CMC § 1401-01-S5)
  - Residential care facility—an establishment operated for the purpose of providing special care or rehabilitation to the occupants (CMC § 1401-01-R9)

- Assisted living facility—An institution, residence or facility licensed by the State
  of Ohio that provides accommodation and personal assistance to more than three
  residents who are dependent on the services of others by reason of age and
  physical or mental impairment, but that is not licensed to provide skilled nursing
  care (CMC § 1401-01-A11)
- Obio that is located in a single-family residence and provides accommodation, personal care, habilitation services and supervision in a family setting for not more than eight residents with developmental disabilities and employees caring for such residents (CMC § 1401-01-D8)
- Nursing home—An institution, residence or facility licensed by the State of Ohio that provides accommodation, personal assistance and skilled nursing care to more than three residents who are dependent on the services of others by reason of age and physical or mental impairment (CMC §1401-01-N2)
- Congregate housing—Apartments and dwellings with communal dining facilities and services, such as housekeeping, organized social and recreational activities, transportation services and other support services appropriate for the residents (CMC § 1401-01-C17)
- Dwelling—one or more rooms with a single kitchen designed for occupancy by one family for living and sleeping purposes (CMC § 1401-01-D16)
  - Single-family dwelling—A freestanding building designed for occupancy by one family (CMC§1401-01-S9)
  - Attached single-family dwelling—A dwelling unit that is attached to one or more dwelling units, each with independent exterior access and each with no less than two exterior walls (CMC § 1401-01-A12)
  - o Rowhouse: single-family— A dwelling unit on its own lot that is part of a rowhouse building (CMC § 1401-01-R17)
  - Two-family dwelling—A single building that contains two dwelling units. (CMC § 1401-01-T3)
  - Multi-family dwelling—A building or group of buildings that contain three or more dwelling units (CMC § 1401-01-M8)
  - Loft dwelling unit—A dwelling unit which may contain a studio, gallery, office or business (CMC §1401-01-L3)

### 4. Guest facilities

- Hotel—A facility with six or more guest rooms or suites designed for transient habitation, where access to individual units is predominantly through a common lobby that may provide additional services, such as conference and meeting rooms, restaurants, bars or recreation facilities available to guests or to the general public. This classification includes motor lodges, motels, hostels, extended stay hotels and tourist courts, but does not include rooming houses, boarding houses or residential hotels that are used, designed or intended to be used for sleeping for a period of 30 consecutive days or longer (CMC §1401-01-H5)
- Short term lodging—a dwelling providing lodging and use of a kitchen to paying guests for a maximum stay of no more than four consecutive weeks

#### 5. Office

- Office—A facility for a firm or organization that primarily provides professional, executive, management or administrative services, such as accounting, advertising, architectural, city planning, computer software consulting, data management, engineering, medical, dental, chiropractors, or other health care professionals, environmental analysis, insurance, interior design, investment, graphic design, landscape design, law and real estate offices, drafting and recording studios (CMC § 1401-01-O)
- Co-working space—a space which may combine office, athletic, or reception uses or other social workspaces and requires membership for use of the space
- Government facilities and offices—include the following:
  - o (a) Facilities and installations—Major mail processing centers, military installations, vehicle emissions testing facilities and other similar facilities; or
  - (b) Offices—Administrative, clerical or public contact offices of a government agency, together with incidental storage and maintenance of vehicles, including post offices (CMC § 1401-01-G1)
- Incubator—a public, private sector collaboration providing management, mentoring, workspace or other services for business, academic, non-profit, institutional or start-up organizations
- 6. Education—A public school district, parochial school, institution of university or senior college rank, school of art or music, or any other educational institution where the same is operated primarily for education (CMC § 401-85-E)
  - Colleges, public or private—An institution of higher education providing curricula of a general, religious, or professional nature, typically granting recognized degrees, including conference centers and academic retreats associated with such institutions. This classification includes business and computer schools, management training, technical and trade schools, but excludes personal instructional services (CMC §1401-01-C5)
  - Schools, public or private—A facility for educational purposes that offers a general course of study at primary, middle, or high school levels and vocational and trade programs that are incidental to the operation of such schools (CMC § 1401-01-S)
    - Day care facilities
      - O Day care center—An establishment, other than a Day Care Home, licensed by the State of Ohio when required and providing care and supervision for seven or more persons on a less than 24-hour basis. This classification includes nursery schools, preschools, day care centers for children or adults and any other day care facility licensed by the State of Ohio. (CMC §1401-01-D)
      - Day care home Adult—A day care facility located in a permanent residence where an occupant of the residence provides care and supervision for three or fewer adults at one time with no outside employees (CMC § 1401-01-D1)
      - O Day care home-Type A—A child care facility located in a permanent residence where an occupant of the residence provides care and supervision for seven to twelve children at one time, including children under the age of 6 related to the provider. The provider must be licensed by the State of Ohio Department of Human Services and can have no more than one employee assisting (CMC §1401-01-D2)

 Day care home-Type B—A child care facility located in a permanent residence where an occupant of the residence provides care and supervision for six or fewer children at one time, including children under the age of 6 related to the provider. No employees are permitted (CMC §1401-01-D3)

### 7. General Commercial

- Commercial meeting facility—A facility used for assemblies or meetings of the members or representatives of a group, such as convention centers and banquet halls. This classification does not include clubs, lodges or other meeting facilities of private or non-profit groups that are primarily used by group members (CMC § 1401-01-C7)
- Laboratories, commercial—A facility for medical, optical, orthotic, prosthetic, or dental laboratory services, photographic, analytical, or testing services and scientific research facilities (CMC § 1401-01-L)
- Business services—An establishment providing document delivery, mail receiving and boxes, blueprinting, typesetting, copying, desktop publishing and photographic services (CMC § 1401-01-B-16)
- Production Industry, Artisan—Establishments primarily engaged in on-site production of goods by hand manufacturing, involving the use of hand tools and small-scale equipment (CMC § 1401-01-P19)
- Indoor storage—A facility for the keeping of business, personal property and office records, including mini warehouses (CMC §1401-01-I12)
- Logistical distribution—establishment engaged in short-term storage and distribution of packages, including the use of lockers, self-serve kiosks, or mailboxes
- Public service facilities—A facility for public safety and emergency services, including police and fire protection and police and fire training facilities (CMC § 1401-01-P21)
  - Public maintenance facilities—A governmentally owned facility providing maintenance and repair services for vehicles and equipment and areas for storage of equipment and supplies (CMC § 1401-01-P20)
  - Public safety facilities—A facility for public safety and emergency services, including police and fire protection and police and fire training facilities (CMC § 1401-01-P21)
  - Ambulance services—Administrative facilities for emergency medical care, including the provision of transportation services and the maintenance of vehicles (CMC §1401-01-A6)

#### Service facilities

- Animal care—the grooming, spa treatment, or medical care for small animals and day boarding of such animals
- Maintenance and repair services—An establishment providing repair services for personal and household goods, such as household appliances, computers, television, audio or video equipment, office machines, furniture and leather goods. This classification excludes building maintenance services and maintenance and repair of automobiles and other vehicles and equipment (CMC §1401-01-M)
- Community service facilities—A noncommercial facility established primarily for the benefit and service of the populations of the communities in which they are located, such

- as YMCA or YWCA facilities, boys and girls clubs and offices of community councils, non-profit civic, religious, welfare or philanthropic organizations (CMC §1401-01-C15)
- Religious assembly—An establishment for religious worship and other religious ceremonies, including religious education, rectories and parsonages, offices, social services, columbaria and community programs (CMC § 1401-01-R7)
- Cultural institutions—A nonprofit institution engaged primarily in the performing arts or
  in the display or preservation of objects of interest in the arts or sciences that are open to
  the public on a regular basis. This classification includes performing arts centers for
  theater, dance and events, museums, historical sites, art galleries, libraries, aquariums and
  observatories (CMC § 1401-01-C23)
- Clubs and lodges—A meeting, recreational, or social facility of a private or nonprofit organization or public institution primarily for use by members or guests including residential accommodations that are available to members or guests on a temporary basis but excluding residential hotels. This classification includes union halls and social clubs (CMC §1401-01-C3)
- Recreation and Entertainment—the provision of recreation or entertainment to paying participants or spectators (CMC §1401-01-R2)
  - Recreation and entertainment: Indoor or small-scale—includes small, generally indoor facilities, although some facilities may be outdoor, including: fitness centers, gymnasiums, handball, racquetball or tennis club facilities, ice or roller skating rinks, movie theaters (three or fewer screens); billiard parlors, bowling centers, poolrooms, miniature golf courses and amusement arcades (CMC §1401-01-R2)
  - o Recreation and entertainment: outdoor or large-scale, limited—includes: swimming pools; entertainment complexes; movie theaters (4 or more screens); and indoor archery ranges.
  - Parks and recreation facilities, limited—A park, playground, recreation facility and open space. This classification includes community centers, gymnasiums, picnic facilities, and botanical gardens, as well as related food concessions

### 8. Medical

- Hospital—A state-licensed facility providing medical, surgical, psychiatric or emergency
  medical services to sick or injured persons. This classification includes facilities for
  inpatient or outpatient treatment, including drug and alcohol abuse programs as well as
  training, research and administrative services for patients and employees (CMC § 140101-H4)
- Medical services and clinics—Offices organized as a unified facility for more than two
  licensed physicians, dentists, chiropractors, or other health care professionals providing
  diagnosis or care of sick or injured persons but are not provided with room and board and
  are not kept overnight on the premises. Medical Services and medical clinics include
  medical and dental laboratories incidental to the medical office use (CMC §1401-01-M4)

### 9. Telecommunications

• Communications facilities—Broadcasting and other communication services accomplished through electronic mechanism (CMC §140-01-C11)

- Public utility distribution system—A facility for the distribution of gas, electricity, water, steam, hot water, chilled water and landline communications (CMC §1401-03-P3)
- Radio and television broadcast antenna, limited—antenna no more than 20 feet above the roofline of any building to which such antenna is attached
- Wireless communication antenna—An antenna designed to transmit or receive communications as authorized by the Federal Communication Commission, excluding amateur radio operator antennae and parabolic antennae (CMC§ 1401-01-W4)
- Wireless communication tower—A structure that elevates the wireless communication antenna and may include accessory transmission and receiving equipment, including, but not limited to, self-supporting lattice, guyed or monopole towers (CMC § 1401-01-W5)

### 10. Parking/Transportation

- Parking facility, principal use—A parking lot or a parking garage offering parking to the public and is the principal use of the premises (CMC § 1401-01-P2-A)
- Parking facility, accessory use—A parking lot or a parking garage offering parking to the
  public and except as other specified, incidental to a principal structure or use on the same
  lot (CMC § 1401-01-P2-B)
- Temporary Parking Lot—a paved temporary parking lot, used for a period extending until the next phase of a multi-phase development within a PD District, for the purpose of parking vehicles accessory to the commercial or residential uses of such PD District
- Vehicle and equipment services, limited —A facility for vehicle and equipment sales, including the sale of scooters and other vehicles, in an interior or exterior showroom; any such exterior showroom shall be limited to 10 parking spaces per parking facility
- Short term vehicle rental—a facility used for the hourly or daily rental of automobiles, motorcycles, and other light vehicles, including storage and incidental maintenance of such vehicles which is limited to 10 parking spaces per parking facility
- Car wash, limited—the washing, waxing or cleaning of automobiles or similar light vehicles, limited in capacity to 10 parking spaces per parking facility
- Vehicle charging stations—a station or stations within a parking facility that connects a vehicle to a source of electricity for recharging purposes as a free amenity or for a fee
- Light rail passenger terminals—a facility used to board and discharge passengers at track or car floor level adjacent to an electric railway system characterized by its ability to operate single cars or short trains along exclusive rights-of-way
- Food Trucks

Appendix E uses are not intended to be exclusive, but rather representative of the categories of uses (including accessory uses) proposed in this PD District. By way of example, retail would include women's apparel sales, as well as all uses included within the definition of retail under the Cincinnati Zoning Code.

See Exhibit A to this Appendix E for permitted use categories within each sub-area of the proposed development.

14769030.6

# EXHIBIT A

PROPOSED PERMITTED USES IN PD DISTRICT*							
PERMITTED USES**	SUB AREA						
. EXMITTED GOLG	A	В	С	D	E	F	
RETAIL	х	х	Х			Х	
MIXED USE	х	х	х	х		Х	
RESIDENTIAL (Excluding Student Residences)	х	х	×	х	х	х	
RESIDENTIAL (Including Student Residences)	х				х	х	
GUEST FACILITIES	х	х	х	х	х	х	
OFFICE	х	х	х				
EDUCATION	х	х	х	Х	Х	х	
GENERAL COMMERCIAL	х	х	х			х	
MEDICAL	х	х	х	Х	х	х	
TELECOMMUNICATIONS	х	х	х	х		х	
PARKING/TRANSPORTATION	х	х	х	х	х	х	

<sup>\*</sup>References to the uses within each category require review of the Appendix E Definitions, of which this table is attached as Exhibit A.

<sup>\*\*</sup> Appendix E uses are not intended to be exclusive, but rather representative of the categories of uses (including accessory uses) proposed in this PD District. By way of example, retail would include women's apparel sales, as well as all uses included within the definition of retail under the Cincinnati Zoning Code.



January 28, 2021

Mr. Aaron Bartels Trinitas-Crawford Hoying I. LLC 159 North Sangamon Street, Suite 200 Chicago, IL 60607

Re: 350 Straight Street | The District at Clifton Heights (T) – (CPRE210011) Final Recommendations

Dear Mr. Bartels,

This letter is to inform you that our CSR Advisory-TEAM and CSPRO Committee has reviewed your proposed project at <u>350 Straight Street</u> in the Community of Heights. The information provided is the recommendations of the City of Cincinnati and must be followed as you move forward with your project. As a reminder, we will have a <u>WebEx conference call meeting</u> with you on <u>January 29, 2021 @ 1:30 pm</u> to discuss this information. Please see the feedback listed below. Thank you for developing within the City of Cincinnati.

### **City Planning Department**

## Immediate Requirements to move the project forward:

- 1. Proposed use is consistent with approved Concept Plan and Development Program Statement for PD-86: The District at Clifton Heights.
- 2. Final Development Plan is required for the proposal. Application(s) shall be submitted to the Department of City Planning, which will require review and approval by the City Planning Commission. This can be done as the first phase of the District at Clifton Heights Planned Development.
- 3. Final Development Plan submittal shall include and meet the requirements of Chapter 1429-13 of the Cincinnati Zoning Code.
- 4. A Dedication Plat will require review and approval by the City Planning Commission.
- 5. Final Development Plan will take Approximately 1 to 2 months
  - a. Public Staff Conference Same scheduling requirements as the Public Staff Conference for the Zone Change and Concept Plan process
  - b. City Planning Commission Final Decision

### Requirements to obtain permits:

- 1. City Planning Commission shall review and approve a Final Development Plan for the proposal prior to submittal and approval of permits for the project.
- 2. A lot consolidation for the site shall be recorded through the Hamilton County Recorder's Office as the existing lot configuration has lot lines bisecting the structure. It is recommended this occur in conjunction with Final Development Plan approval.

### Recommendations:

 It is advised that the applicant coordinate with the CUF Neighborhood Association, the Clifton Heights Community Urban Redevelopment Corporation, the Clifton Heights Business Association, and the Corryville Community Council regarding the proposal.



#### Contact:

• Andy Juengling | City Planning |513-352-4840 | andy.juengling@cincinnati-oh.gov

### **Buildings & Inspections – Zoning**

### Immediate Requirements to move the project forward:

- 1. Located in PD see City Planning comments. The property is also partially located within a Hillside Overlay District.
- 2. As part of the PD process, a Hillside Review will be required as part of the Final Development Plan process. All requirements of Chapter 1433 must be met, or Relief granted by the Planning Commission at the time of the Final Development plan. All application materials for the Hillside Review must be submitted in advance of the Planning Commission meeting.

### Requirements to obtain permits:

None

#### Recommendations:

None

#### Contact:

Doug Owen | ZPE | 513-352-2441 | douglas.owen@cincinnati-oh.gov

### Metropolitan Sewer District (MSD)

### Immediate Requirements to move the project forward:

None at this time

#### Requirements to obtain permits:

None at this time

#### Recommendations

None at this time

#### Contact:

Jim Wood | MSD | 513-352-4311 | jim.wood@cincinnati-oh.gov

#### Stormwater Management Utility (SMU)

### Immediate Requirements to move the project forward:

None

### Requirements to obtain permits:

- 1. Add detention calculation.
- 2. SMU will require an as built.
- 3. Are the 2 inlets @ midway point on Stratford being removed or staying?

#### Recommendation:

None

#### Contact:

• Josh Snow | SMU | 513-591-5050 | joshua.snow@cincinnati-oh.gov



### **Water Works**

### Immediate Requirements to move the project forward:

- 1. If petitioner Is creating changes in the right-of-way, that change the water infrastructure then applicant must submit for a Greater Cincinnati Water Works Preliminary Application. Contact Shawn Wager at 513-591-7877 or Shawn.Wagner@gcww.cincinnati-oh.gov.
- 2. If this development will have Air-Lots, the Developer must submit an Air-Lot Form for Water Service Covenant in order to obtain water service branches. Contact Cheri Bush 513-591-7886 or Cheri.Bush@gcww.cincinnati-oh.gov
  - a. Each air-lot parcel must have its own domestic water service and will need a private water service branch easement and a Water Service Covenant from the Greater Cincinnati Water Works with the rights to maintain their water service though 1st floor.
  - b. Fire service can be shared across parcels.

### Requirements to obtain permits:

- 1. A Declaration of Easement and a Water Service Covenant must be fully executed and recorded with Hamilton County Recorder's Office before the GCWW can approve any water service branches to the property.
- 2. A stamped and recorded consolidation plat is required before any new branch(es) or meter(s) sold.

#### Recommendations:

- 1. If project contains Air-Lot parcels, these parcels will need to be shown on the site plan.
- 2. The Owner(s)/Developer(s) will need to hire a Greater Cincinnati Water Works certified licensed and bonded plumber to perform the private water service branch design work and installation.
- 3. The Owner(s)/Developer(s) must have a licensed plumber that is bonded and certified with GCWW and fill out the Online Branch application https://www.cincinnatioh.gov/water/engineering-construction/forms-specifications/ for water service.

#### Contact:

• Rick Roell | WaterWorks | 513-591-7858 | richard.roellr@gcww.cincinnati-oh.gov

### **Fire Department**

### Immediate Requirements to move the project forward:

1. For this structure confirm that there are at least two fire hydrants that are within 400' from all parts of each structure.

### Requirements to obtain Permits:

- 1. The minimum fire flow requirements for Commercial structures is a minimum of 2,000 gallons/per/minutes (GPM) @ 20 pressure/per/square inch (psi) (138Kpa).
- 2. The two closest Fire Hydrants to this project are <u>303 Straight Street</u> and <u>2604 Stratford</u> Avenue.
- 3. Hydrants and FDC placement are not to block fire apparatus access to the structures.
- 4. Confirm that the Fire Department Connection is within 50'of a fire hydrant.
- 5. Post indicator valves cannot be more than 40 feet from the building it services.

#### CFPC 1229-13 Access Streets, Roadways or Driveways



- 6. Access streets, roadways or driveways where required by Section 1229-11, shall conform to the following:
  - a. The surface shall be of sufficient strength and type to adequately support any fire division apparatus under any weather conditions:
  - b. The curve radii and grade elevations shall be such as to permit any fire department apparatus to negotiate curves and grades under any weather conditions.
- 7. **OFC 503.2.1** Dimensions. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), except for approved security gates in accordance with paragraph (C)(6)(503.6) of this rule, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm).
- 8. **OFC 503.6** Security gates. The installation of security gates across a fire apparatus access road shall be approved by the fire chief. Where security gates are installed, they shall have an approved means of emergency operation. The security gates and the emergency operation shall be maintained operational at all times.
- OFC 503.2.5 Dead ends. Dead-end fire apparatus access roads in excess of 150 feet (45
  720 mm) in length shall be provided with an approved area for turning around fire
  apparatus.

## The weight of our apparatus as well as the turning radius for each is as follow:

Apparatus	Width	Length	Height	Weight	Front axle	Rear axle	Turn radius inside/outside
Ladder	10'	41'10"	11' 9"	70,000	21,600	48,000	35.45/39.25
Engine	10'	31'6"	9'5"	44,000	20,000	24,000	34'6"/41'6"
Ambulance	9' 4"	22'2"	9' 2"	18,500			34'/41'

- **10.** Show any parking related to site and fire department **access to three sides** of the structure.
- 11. **Bidirectional antenna** for fire department communication is required for high-rise structures and maybe required for other structures.
- 12. An **Elevator** to the lowest level will be required.
- 13. The structures that are less than five stories the owner is to use five-inch Stortz connections for his FDC/s. Structures that are over four stories in height, the owner is to use Siamese connections.

#### Recommendations:

1. Meet with Fire to review building accessibility for Fire Protection.



#### Contact:

Robert Hart | Fire Dept. | 513-357-7597 | robert.hart@cincinnati-oh.gov

### Office of Environment and Sustainability (OES)

### Immediate Requirements to move forward with project:

None

### Requirements to obtain permits:

- 1. If this project will include City qualified incentives, then it must receive environmental approval.
- 2. If this project will need to include a new City public right-of-way and/or permanent utility easement (i.e., water and/or sewer), then these must receive environmental approvals as per Administrative Regulation 30.
- 3. If offsite sourced fill is to be placed onsite, then it must receive environmental approval when it exceeds 500 cubic yards in a residentially zoned district or 1,000 cubic yards in any other zoned district (City Municipal Code Chapter 1031).
- 4. If this project will receive City qualified incentives, then the parking garage must include electric vehicle charging stations (City Ordinance 89-2017). If not, the inclusion of electric vehicle charging stations is otherwise recommended.
- 5. Bike rack areas must be included in the parking garage design (Municipal Code Section 413-16).
- 6. Commercial waste, including construction and demolition debris, generated during the renovation or demolition of existing structures and/or the construction of new structures as part of this development project must utilize a City franchised commercial waste collection service per Cincinnati Municipal Code Chapter 730. Current franchise holders include Rumpke of Ohio, Republic Services of Ohio, Best Way of Indiana, and Bavarian Trucking Company.

#### Recommendations:

- 1. The development goal should be to earn at a minimum the LEED Certified rating level.
- 2. Solar should be considered in the design as a renewable energy source.
- Site areas designated for trash dumpsters or carts should also have at least equal space designated for recycling dumpsters or carts in the design.
- 4. The use of trees in the landscape design should be included to enhance urban forestry.
- 5. The use of pervious surfaces should be maximized to the extent practical in the design.

#### Contact:

Matt Mullin | OES | 513-352-5344 | matt.mullin@cincinnati-oh.gov

### **Police Department**

### Immediate Requirements to move the project forward:

None currently.

### Requirements to obtain permits:

No comments.

### Recommendations:



None

#### Contact:

- Katalin Howard | Police Dept. | 513-352-3298 | katalin.howard@cincinnati-oh.gov
- Brandon Kyle | Police Dept. | 513-564-1870 | brandon.kyle@cincinnati-oh.gov

### **Health Department**

# Immediate Requirements to move the project forward:

None

### Requirements to obtain permits:

A food facility plan review by the Cincinnati Health Department (CHD) will be required if
future or current space (or tenant) is licensable (or is currently licensed) as a food service
operation (FSO) or retail food establishment (RFE). If licensable, plumbing will not issue
permits until CHD has completed the food facility review and approved the project.

### Recommendations:

1. For assistance in determining whether facility is licensable as an FSO/RFE or not, please contact Trisha Blake.

#### Contact:

• Trisha Blake | Health Dept. | 513-352-2447 | trisha.blake@cincinnati-oh.gov

### Parks Department (Urban Forestry)

# Immediate Requirements to move the project forward:

1. If working withing 15' of an existing City street trees, or Project requires its removal Applicant must submit a Public Tree Work Permit (PTWP) application. Any new street trees planted by the Applicant will also require PTWP prior to planting.

### Requirements to obtain permits:

- Conditions for approval of new trees are typically that applicant must furnish trees that are: matched, high quality, high-branched, single-trunked specimens (caliper size - TBD)
- 2. Planted to industry standards.
- 3. Forestry reserves right to inspect, select, tag, and approve trees *prior* to planting (e.g. at nursery) in cooperation with Applicant.
- 4. Forestry would insist on conditions for treelawn width OR size of tree cut-outs, and soil planting mix, and/ or backfill soil.

#### Recommendations:

- 1. Conditions for approval of new trees are typically that applicant must furnish trees that are: matched, high quality, high-branched, single-trunked specimens (caliper size TBD)
- 2. Planted to industry standards.
- Forestry reserves right to inspect, select, tag and approve trees prior to planting (e.g. at nursery) in cooperation with Applicant.
- 4. Forestry would insist on conditions for treelawn width OR size of tree cut-outs, and soil planting mix, and/ or backfill soil.

#### Contact:

• Robin Hunt | Urban Forestry. | 513-861-9070 | robin.hunt@cincinnati-oh.gov



## <u>Department of Transportation & Engineering (DOTE)</u>

## Immediate Requirements to move the project forward:

None

### Requirements to obtain permits:

- 1. DOTE approves the proposed right of way lines.
- 2. Continue to work with DOTE on the detail designs within the right of way.
- 3. All work in the right of way requires a DOTE permit.
- 4. Assigned addresses: residential 350 Straight St; retail space 346 Straight St. Please contact DTEaddress@cincinnati-oh.gov for questions.

#### Recommendations:

None

#### Contact:

Morgan Kolks | DOTE | 513-335-7322 | morgan.kolks@cincinnati-oh.gov

# **Buildings & Inspections – Buildings**

# Immediate Requirements to move the project forward:

None

### Requirements to obtain permits:

1. No issues at this time. Had preliminary meeting with design team.

### **Recommendations:**

None

#### Contact:

• Robert Martin | B&I Plans Exam | 513-352-2456 | robert.martin@cincinnati-oh.gov

# <u>Department of Community & Economic Development (DCED)</u>

Immediate Requirements to move the project forward:

None

### Requirements to obtain permits:

None

#### Recommendations:

None

#### Contact:

Roy Hackworth | DCED | 513-352-6119 | roy.hackworth@cincinnati-oh.gov

### Law Department

## Immediate Requirements to move the project forward:

None

### Requirements to obtain permits:

· No comments at this time

#### Recommendations:

None

#### Contact:

• Charles Martinez | Law | 513-352-3359 | charles.martinez@cincinnati-oh.gov



FINAL ACTION: The CSR Advisory-TEAM and CSPRO Committee believes that the proposed project plans are moving in the appropriate direction and recommends that the project move forward to City Planning Commission subject to the following condition.

• The subject development must follow the requirements listed above to ensure that the development meets the requirements of all agencies as they apply for all permits.

Sincerely,

Art Dahlberg.

AD:RDR:hs

Director of Buildings and Inspections Department

& CSPRO Committee Chair

at Dalibe

Rodney D. Ringer,

**Development Manager** 

# APPLICATION FOR WRITTEN ADMINISTRATIVE DECISION CITY OF CINCINNATI PLANNING COMMISSION STAFF REPORT

APPLICANT: Baver Becker

OWNER: OH-UC Holdings II, LLC ADDRESS: 350 Straight Street

PARCEL: 101-0007-0023; 101-0007-0024; 101-0007-0025; 101-0007-0026;

101-0007-0027; 101-0007-0028; 101-0007-0029; 101-0007-0030; 101-0007-0031; 101-0007-0032; 101-0007-0033; 101-0007-0034;

101-0007-0035; 101-0007-0178; 101-0007-00179

ZONING: PD

OVERLAY: Hillside Overlay

COMMUNITY: CUF

REPORT DATE: March 4, 2021 HEARING DATE: March 19, 2021

STAFF REVIEW: Douglas Owen, Zoning Plan Examiner

## **Details of Zoning Relief Required:**

1. **Section 1433-19(a)** – **Hillside Review** to allow a proposed building exceeding the allowable Maximum Building Envelope.

2. **Section 1421-19(g) – Hillside Review** to allow approximately 46 ft. of cumulative excavation and fill, exceeding the 8 ft. limit.

#### **Existing Conditions:**

The subject property is located at the northeast corner of the intersection of Straight Street and Stratford Avenue in the CUF neighborhood. The property is comprised of 15 parcels which are currently vacant. The property is located in a Planned Development (PD) Zoning District and is partially within a Hillside Overlay.

### **Proposed Conditions:**

The applicant is proposing to construct a new student housing building consisting of 14 floors of residential with 380 units, 2,200 sf of commercial space and a three-level structured parking garage containing 169 parking spaces. The proposed building sits near the center of a larger mixed-use development in the surrounding area.

### **Applicable Zoning Code Sections:**

1429: Planned Development Districts

1433: Hillside Overlay Districts

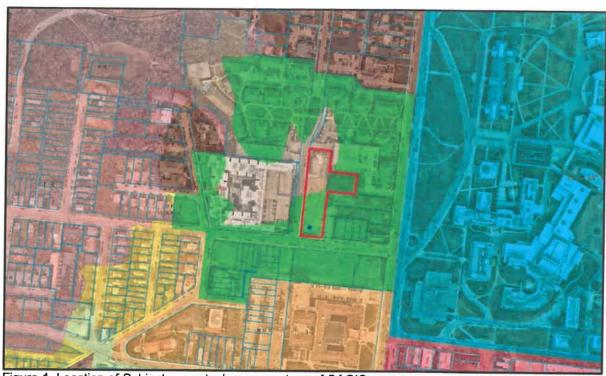


Figure 1. Location of Subject property. Image courtesy of CAGIS.



Figure 2. Conditions of subject property prior to site clearance ca. May 2018. Image from Google.

### **Zoning Analysis:**

The applicant requested a Hillside Review in order to build the proposed new structure, which exceeds the Maximum Building Envelope (MBE) and the limit on cumulative Excavation and Fill. The Hillside Overlay uses setback averaging to determine the Maximum Building Envelope (MBE). Based on Hillside averaging requirements, the site has required setbacks of 4.5' for the front, 0.25' for the left side yard, 6' for the right side yard and 6.75' for the rear (Figure 3). The proposed building meets the required setbacks with the exception of a small area on the southeast corner of the building.

Per Section 1433-17, the height of the MBE is "the solid defined by vertical planes constructed at the HS rear, side and front yard setbacks and the plane between the HS height of front and the HS height of rear." As the adjacent properties are below the 150' height limit imposed by the PD requirements, the base requirement of 150' is used for the maximum height as measured from the existing grade (Figure 4). While the proposed height exceeds the Hillside MBE as it is required to be measured at the building line, the Concept Plan set the height of 150' based on the street level at Straight Street. While the proposed building meets the height of the Concept Plan, because it exceeds the Hillside MBE, Zoning Relief is required.

Additionally, cumulative excavation and fill is limited to 8'. The proposed development includes approximately 46' of excavation and fill when measured across the site. Zoning Relief is required. It should be noted that the largest individual cut is approximately 17' at the proposed detention vault.

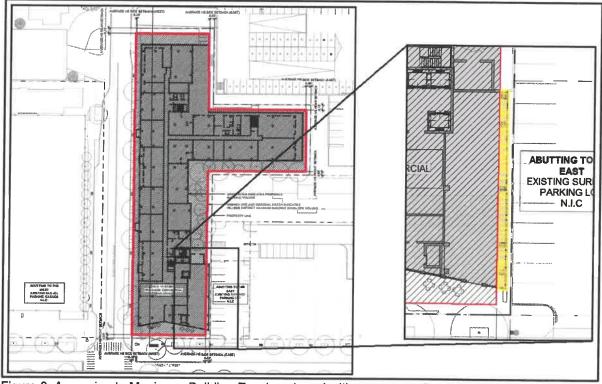


Figure 3. Approximate Maximum Building Envelope in red with area exceeding MBE in yellow.

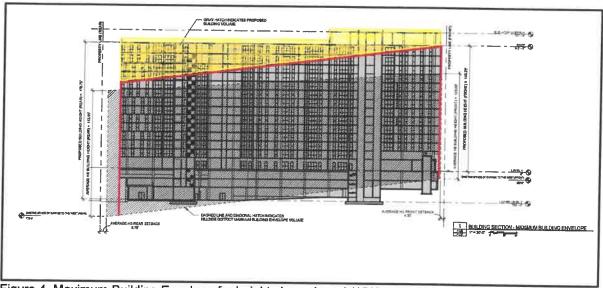


Figure 4. Maximum Building Envelope for height shown in red (150') with area exceeding MBE in yellow.

### Hillside Base Development Requirements

An application subject to review must comply with the following requirements:

- (a) Maximum Building Envelope. A new building or a building alteration, addition or repair must be contained within the maximum building envelope. The majority of the building fits within the MBE for setbacks with the exception of a small section of the southeast corner (see Figure 3). The building exceeds the 150' height limit based on the existing grades at the building lines (see Figure 4).
- (b) Height Versus Width. Buildings proposed on top of the hillside must be taller than wider to accentuate the vertical dimension.
   The proposed building is taller than it is wide.
- (c) Stepping. Buildings proposed below or above the brow of the hill must be staggered or stepped in depth and width to match topography and slope.

  The building foundation is stepped into the hillside to match the existing topography.
- (d) Maximum Retaining Wall Height. Retaining walls may not exceed eight feet in height.Retaining walls do not exceed 8' in height.
- (e) Rooftop Utilities. Rooftop utilities and mechanical equipment should be avoided. If rooftop utilities and mechanical equipment are necessary, screening and sound control must be provided to integrate them into the rooftop.

The applicant has stated that, if required, any rooftop utilities will be screened from view.

(f) Landscaping of Pervious Surfaces. All pervious surfaces remaining after completion of construction must be landscaped in trees, shrubs, grass or other ground covers to promote hillside stability and reduce excessive water runoff.

The majority of the site will be occupied by the proposed building. The small areas that remain pervious will be landscaped with trees and grass.

- (g) Excavation and fills should not exceed eight feet in cumulative height. Excavation and/or fill of any height or cumulative amount that is not tied to a specific development is expressly prohibited. Regardless of height, documentation must be provided to show the excavation and/or fill is necessary to support a specific development and a staff review is required to determine conformance with all requirements of this chapter.
  - Cumulative excavation and fill exceeds 8' in height. This work is directly related to the construction of the proposed development. See below.
- (h) The preliminary geotechnical evaluation should address relative hillside stability.

The applicant has provided a geotechnical report.

### Hillside Development Standards

In addition to the Base Development Requirements of §1433-19, the Zoning Hearing Examiner must consider the following standards to ensure harmonious relationships with adjacent buildings and the hillside environment:

(a) Avoid Cuts in the hillside if they would leave cliff-like vertical slopes and excessively high retaining walls.

The topography of the proposed property slopes significantly from south to north with approximately 32' of difference between the southern parcel line and the northern parcel line. No cliff-like slopes will be created and retaining walls will be minimal and will not exceed 8' in height.

(b) Design buildings to fit into the hillside rather than altering the hillside to fit the buildings.

The building is designed to avoid major alterations to the hillside. Minimal grading will be required on the site as the majority of the property will be occupied by the proposed building. The building is designed to step into the existing hillside.

(c) Hillside development should be designed to minimize excavation required for foundations, parking and access drives.

Excavation will be required for the foundation; however, it is not excessive. The building was designed to take advantage of the existing topography and the foundation is designed to step into the hillside. Excavation is minimized to only that necessary for the building's construction. While the cumulative total comes to 46', this is taken across the entire site. It should be noted the largest single cut is approximately 17' at the location of the detention vault.

(d) Cluster new development to retain surrounding tree cover and minimize alterations to the existing topography.

No existing tree cover exists on the current site. Alterations to the existing topography will be minimal with little regrading occurring on the site.

(e) Maintain a clear sense of the hillside brow by locating buildings back from the brow of the hill.

The proposed site is not on the brow of the hill. The hillside continues to rise to the east and south. The highest point of the site is at the south property line. The building is setback from this point as shown in Figure 3 above.

(f) Site buildings so as to respect views from public viewing places within the HS District identified in a community plan or other documentation approved by the City Planning Commission.

The proposed buildings are not expected to negatively impact views in the vicinity.

(g) Where applicable, consider the guidelines contained in the "Cincinnati Hillside Development Guidelines" report to evaluate development application.

N/A.

## **Consistency with Approved Plans:**

Plan Cincinnati (2012)

The proposed project is consistent with the Live Section of Plan Cincinnati, specifically the action step "Improve the quality and number of moderate to high-income rental and homeowner units" (p. 165).

#### Recommendation:

Staff makes the following recommendations for 350 Straight Street based on plans by Bayer Becker dated 7/10/2020 and MSP Design dated 2/3/2021:

- 1. Section 1433-19(a) APPROVE Hillside Review to allow a proposed building exceeding the allowable Maximum Building Envelope.
- 2. Section 1421-19(g) APPROVE Hillside Review to allow approximately 46 ft. of cumulative excavation and fill, exceeding the 8 ft. limit.

### Findings:

- 1. The proposed building is located within a Planned Development District. The Hillside Overlay regulations are the only Zoning regulations that apply to this site.
- 2. The proposed building appears to be consistent with the approved Concept Plan.
- 3. The proposed setbacks and height are not expected to cause adverse effects on adjacent property owners.