



MEDPACE CAMPUS

Planned Development (PD #73) Update

May 15, 2023



**BRANDSTETTER
CARROLL INC**
ARCHITECTS + ENGINEERS + PLANNERS



**BRANDSTETTER
CARROLL INC**
ARCHITECTS . ENGINEERS . PLANNERS

May 15, 2023

2360 Chauvin Dr
LEXINGTON
KY 40517
859.268.1933
FX: 859.268.3341

308 East 8th St
CINCINNATI
OH 45202
513.651.4224
FX: 513.651.0147

1220 West 6th St
Suite 300
CLEVELAND
OH 44113
216.241.4480
FX: 216.736.7155

17300 Preston Rd
Suite 310
DALLAS
TX 75252
469.941.4926
FX: 469.941.4112

City of Cincinnati Planning Department
Two Centennial Plaza
805 Central Avenue
Cincinnati, Ohio 45202

RE: Madison Center, Hotel and Medpace – Update to Planned Development (PD #73)

Dear Ms. Kellum:

Brandstetter Carroll Inc. (BCI) is pleased to submit an update to the Concept Plan and Program Statement for revisions to the PD # 73.

The following information is our request to the City of Cincinnati Planning Commission and City Counsel for revisions to the PD # 73:

- New Building 300 @ 5355 Medpace Way: The PD Office component square footage is requested to be revised for the updated to existing Building 300. This building has 485,000 sq feet of office space. There are 310 parking spaces in a garage under the office space. The existing Medpace Building 300 will be demolished and a new Building 300 will be constructed. The existing Building 300 has 15,000 Sf of Office, 45,000 Sf of Research and Development. This area will be Consolidated with adjacent tracts.
- Building 600, located @ 5401 Hetzel Street, Is for the Clinical Pharmacology Unit (CPU). This building will consist of 15,000 Sf of office and 25,000 Sf of warehouse/storage and 35,000 Sf of Research and Development.
- Future Mix Use building on the MRRE site at 5401 Madison Road at the southeast corner of Medpace Way and Madison Road, for a total of 265,000 Sf of office, 10,000 Sf of Restaurant and 10,000 Sf of Retail.
- A new 1,300 stall Parking Garage over the existing surface parking lot behind Buildings 100 & 200.
- The total PD district acreage to be revised from 34.241 Ac to 35.913 Ac. An updated Property and Zoning Map with annotated existing and proposed uses is attached. The request includes adding a approximate 1.672 Acre parcel on the south side of Hetzel Street which is adjacent to and on the west side of Medpace Building 500 (their logistics building) to PD # 73. A Legal Description of the additional PD Zoning area request is attached.

Therefore, the request for additional use and Garage spaces to the PD is:

- 619,000 Sf of Office
- 25,000 Sf of Warehouse
- 16,000 SF of Restaurant
- 1,610 spaces in Garages

On the Medpace PD #73 Zoning Map the following updates are indicated: a 1,300 car garage behind Buildings 100 and 200. Also, two Pylon Signs of similar design as the existing Medpace campus sign are shown at the intersections of Red Bank Expressway and Medpace Way and also at the Madison Rd and Medpace Way.

See the Site Plans and Architectural Plans/Renderings attached.

Sincerely,
Brandstetter Carroll Inc.



Joseph P. Dillon, P.E., LEED AP
Director of Site/Civil Engineering

Cc: Seth Barnhard, Sitement, Inc.
Ben Brandstetter, P.E. BCI

Attachment: Fee, Concept Site Plans, Concept Architectural Building Elevations and Floor Plans, updated PD Map, Renderings, Update Legal Description and Deed.

JPD/st



NOTE:
● PYLON SIGN TO MATCH EXISTING SIGN
● PRIVATE NORTH-SOUTH DRIVEWAY AT
MADISON ROAD

LEGEND	
	EXISTING PD AREA
	PROPOSED UPDATED TO PD

Revisions:
5-15-2023
11-11-2022
7-13-2022
8-25-2021
9-16-2016
Issue Date: 9-7-2016

RBM DEVELOPMENT

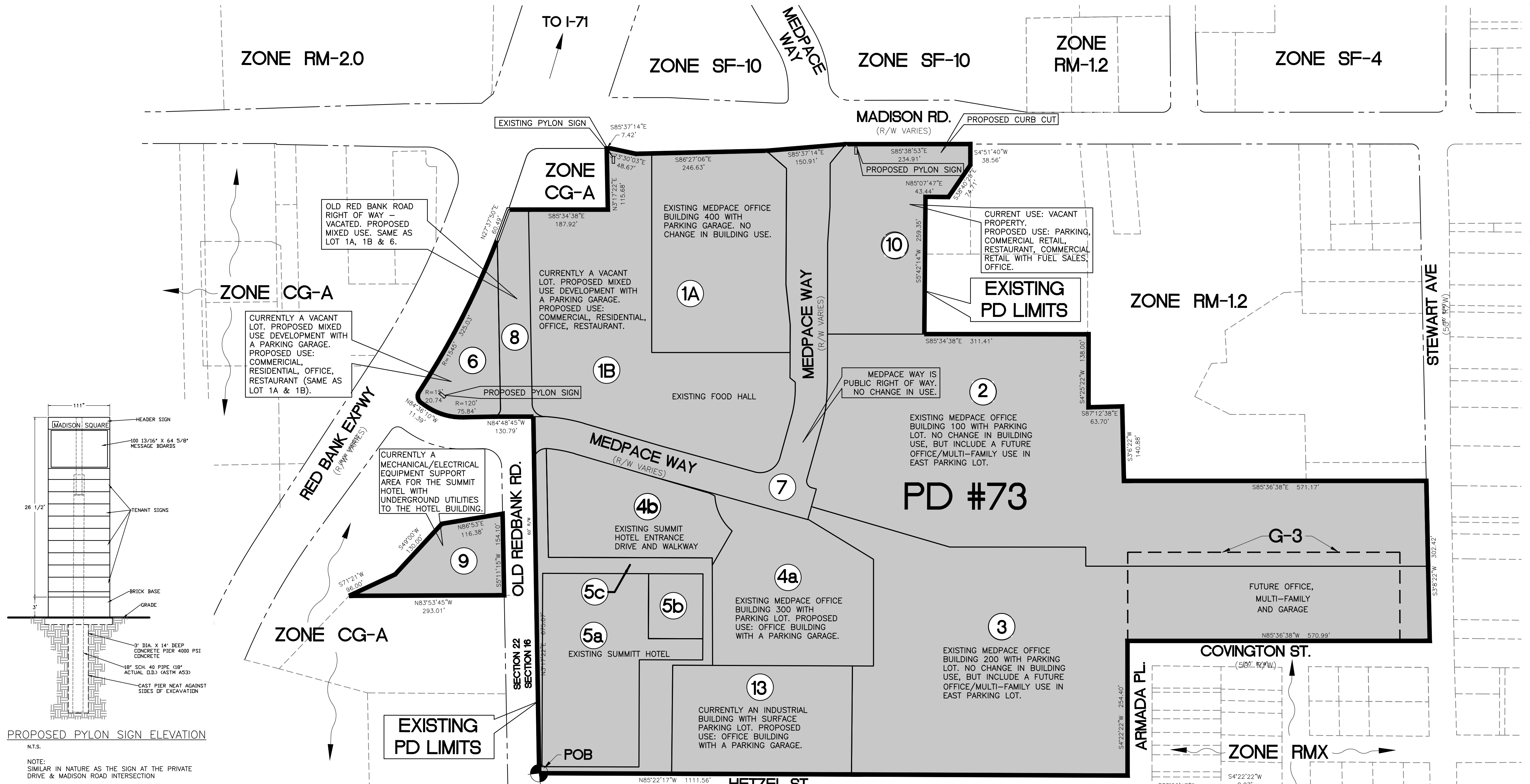
CINCINNATI, OHIO

PROPERTY AND ZONING MAP

Project No.

13100

1

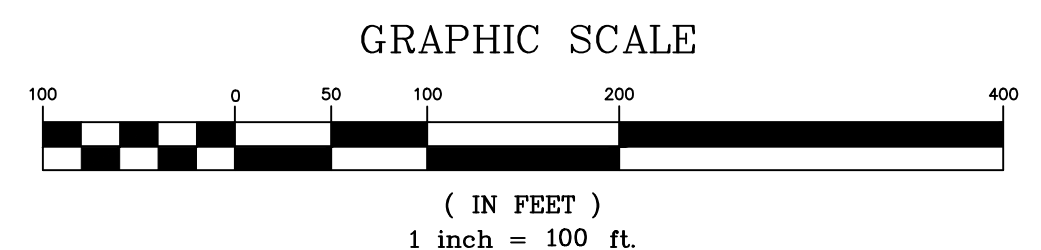


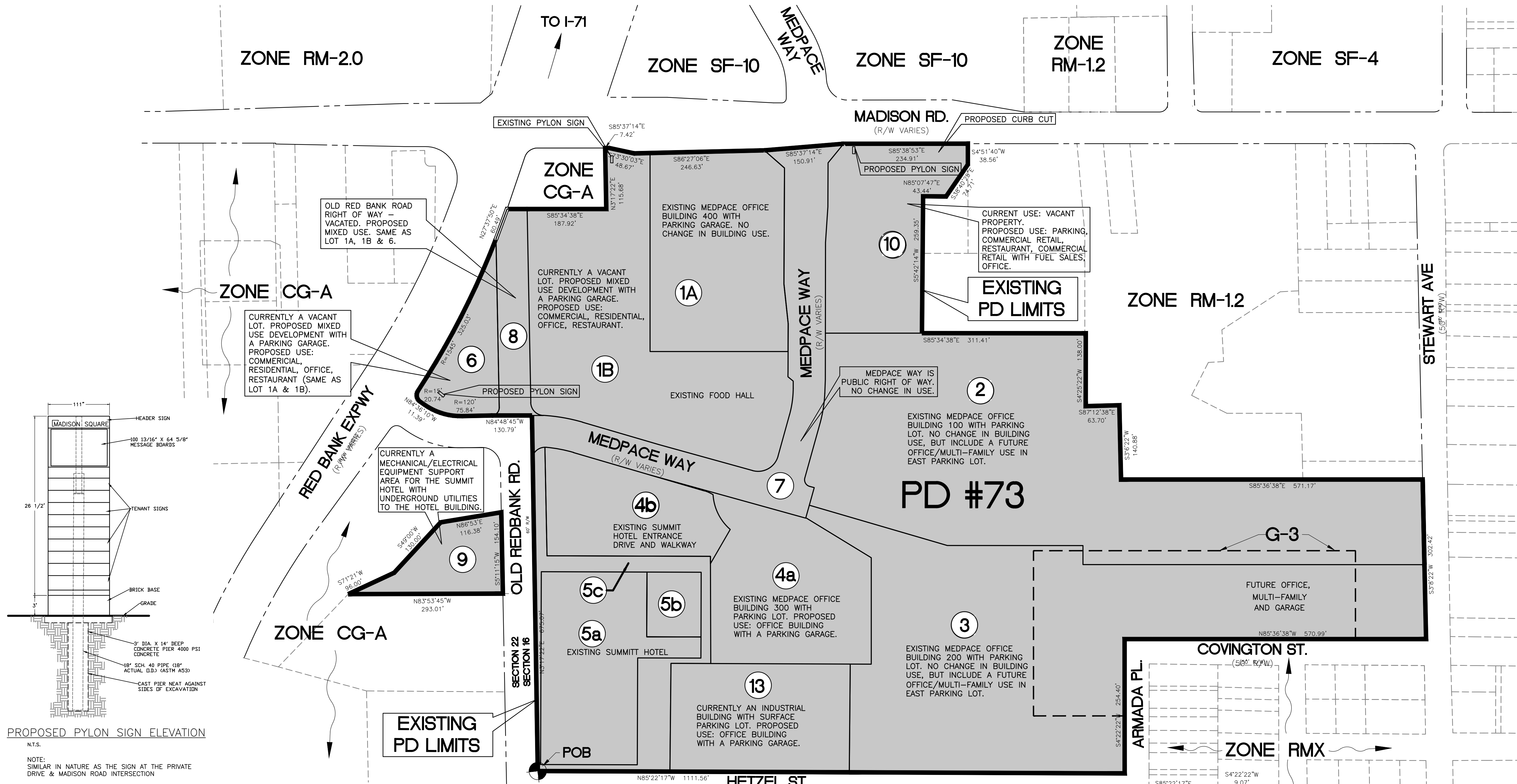
PROPOSED PYLON SIGN ELEVATION
N.T.S.

NOTE:
SIMILAR IN NATURE AS THE SIGN AT THE PRIVATE
DRIVE & MADISON ROAD INTERSECTION

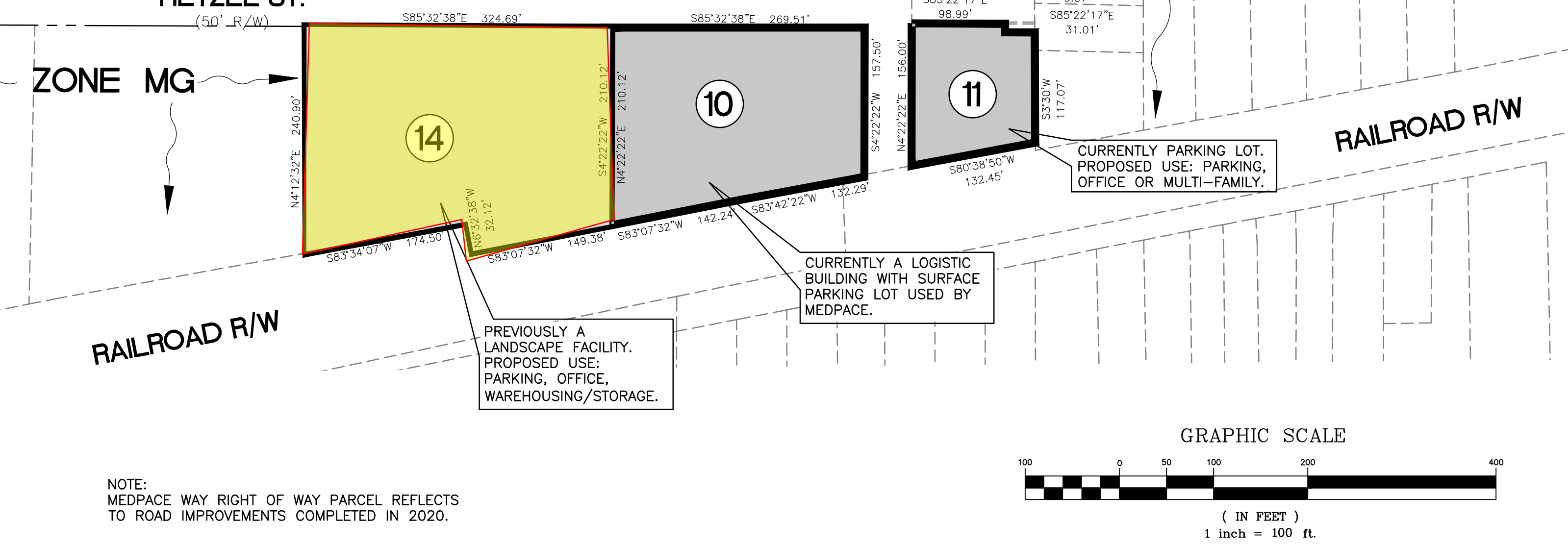
Plan ID #	Parcel ID	Record Document	Name	Area (Ac)
1A	036-0001-0323 (ground)	O.R. 11275 Pg 1564	Port of Greater Cincinnati Development Authority	2.21
1B	036-0001-0326	O.R. 12402 PG 2203	400 Medpace Way LLC	3.566
2	036-0001-0321	O.R. 11551 Pg 1447	100 Medpace Way LLC	7.06
3	036-0001-0303	O.R. 11742 Pg 1329	200 Medpace Way LLC	6.914
4a	036-0001-0309	O.R. 11742 Pg 1336	300 Medpace Way LLC	1.850
4b	036-0001-0310	O.R. 13119 Pg 1776	Port of Greater Cincinnati Development Authority	1.265
5a	036-0001-0319 (garage)	O.R. 13119 Pg 1776	700 Medpace Way LLC	1.699
5b	036-0001-0311 (hotel)		Port of Greater Cincinnati Development Authority	0.287
5c	036-0001-0313 (ground)		Port of Greater Cincinnati Development Authority	0.87
6	051-0008-0018	O.R. 12275 Pg 1564	400 Medpace Way LLC	0.613
7	036-0001-0332 (Portion of Medpace Way R/W*)		City of Cincinnati	1.941
8	036-0001-0329		400 Medpace Way LLC	0.529
9	051-0008-0019	Plat Book 350 Pg 92	Port of Greater Cincinnati Development Authority	0.605
10	036-0001-0328	Plat Book 11 Pg 56	Medpace INC	1.165
11	036-0001-0327	Plat Book 11 Pg 56	Medpace INC	0.41
12	036-0001-0322	O.R. 13579 Pg 1693	Madison Road Real Estate LLC	1.659
13	036-0001-0008	O.R. 13243 Pg 2785	Madison Road Real Estate LLC	1.598
14	036-0001-0013		Endless Earth Enterprises LLC	1.672
Total				35.913

NOTE:
MEDPACE WAY RIGHT OF WAY PARCEL REFLECTS
TO ROAD IMPROVEMENTS COMPLETED IN 2020.





Plan ID #	Parcel ID	Record Document	Name	Area (Ac)
1A	036-0001-0323 (ground)	O.R. 11275 Pg 1564	Port of Greater Cincinnati Development Authority	2.21
1B	036-0001-0326	O.R. 12402 PG 2203	400 Medpace Way LLC	3.566
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14	036-0001-0013		Endless Earth Enterprises LLC	1.672
Total				35.913



8-10-2023
11-11-2022
7-13-2022
8-25-2021
Revisions: 9-16-2016
Issue Date: 9-7-2016

RBM DEVELOPMENT

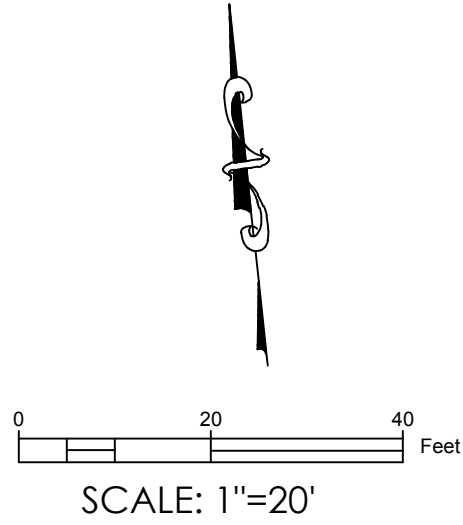
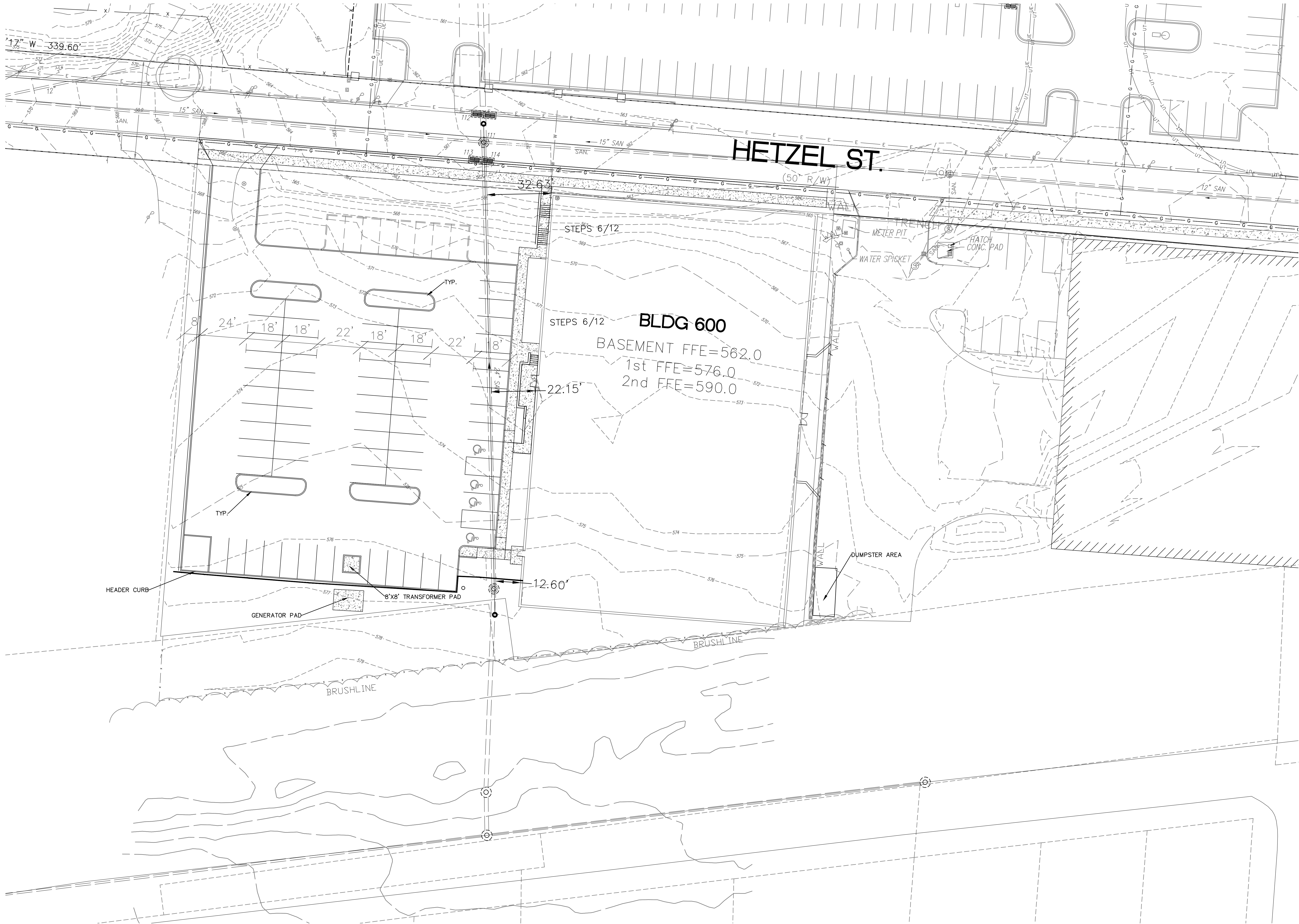
CINCINNATI, OHIO

PROPERTY AND ZONING MAP

Project No.

13100

1



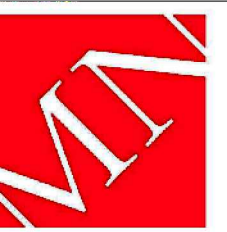
PARKING SPACES = 73

LEGEND

- PIPE FLOW DIRECTION
- SURFACE FLOW DIRECTION
- EX. XXX.XX EXISTING SPOT ELEVATION
- XXX.XX PROPOSED SPOT ELEVATION
- EXISTING
- 593 EXISTING CONTOURS
- 593 PROPOSED CONTOURS
- BW BOTTOM OF WALL
- TW TOP OF WALL

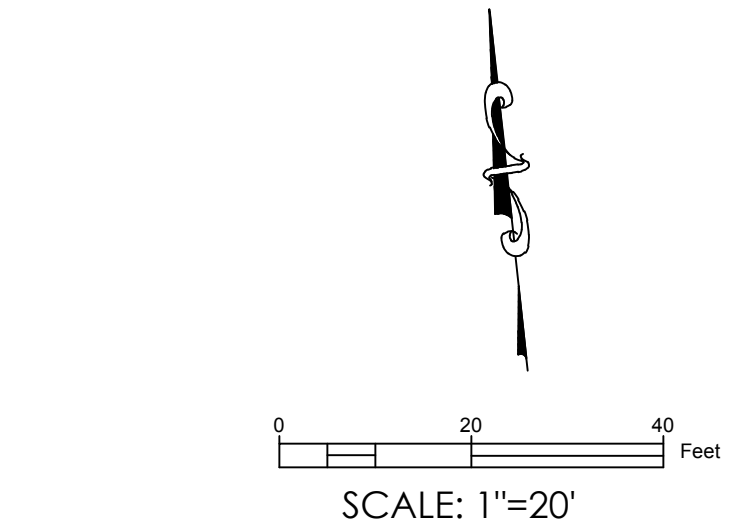
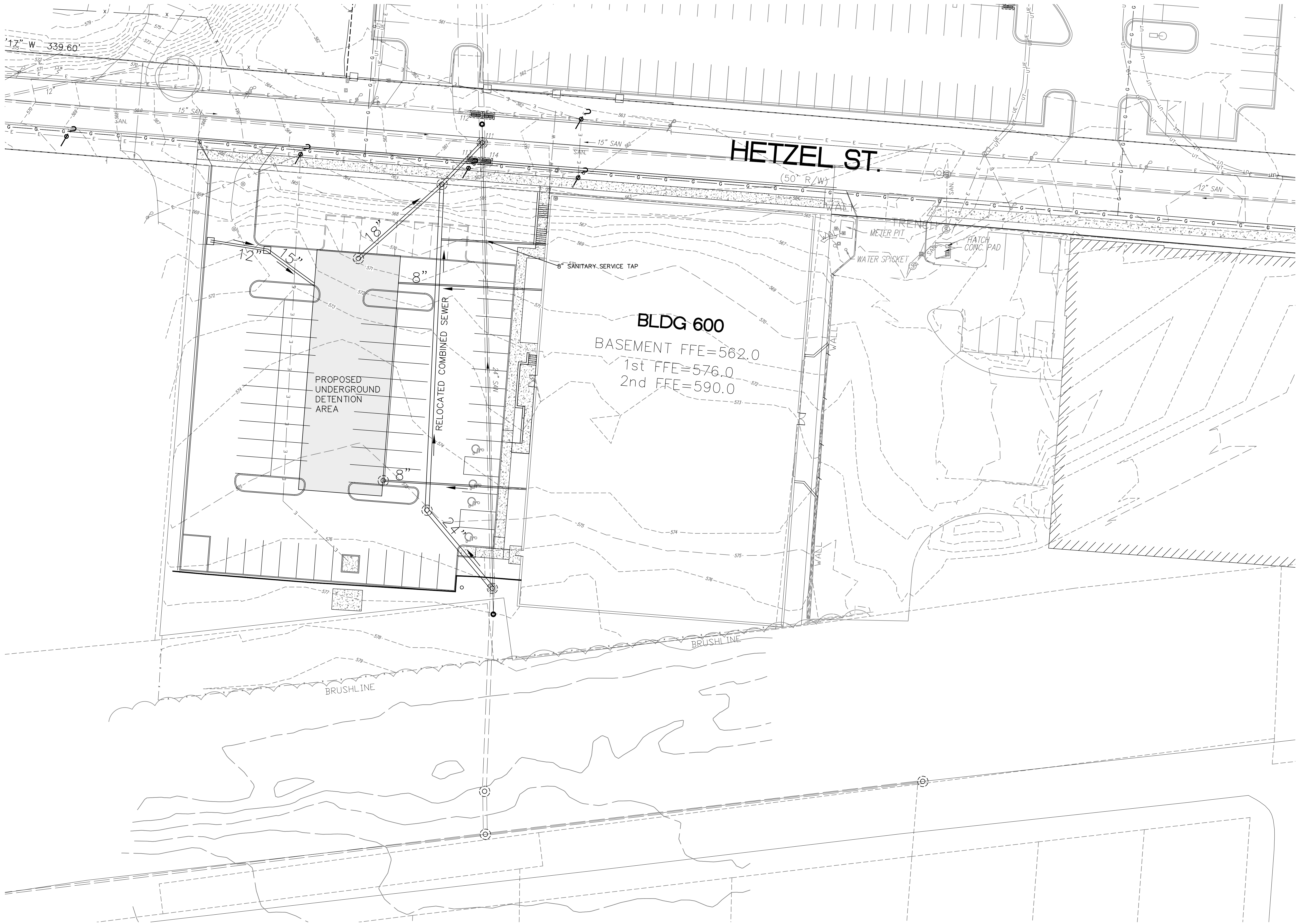
#	DATE	CHANGE DESCRIPTION

MEDPACE
MEDPACE BUILDING 600
5401 HETZEL STREET
CINCINNATI, OH
FOR
MEDPACE


MOODY-NOLAN
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881

DRAWING TITLE
LAYOUT PLAN

PROGRESS DRAWING NOT FOR CONSTRUCTION	08/04/2023	
	DRAWN BY:	CHECKED BY:
	23213.01	
	C-101	
	Schematic Design	



PARKING SPACES = 73

LEGEND	
	PIPE FLOW DIRECTION
	SURFACE FLOW DIRECTION
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	EXISTING CONTOURS
	PROPOSED CONTOURS
	BOTTOM OF WALL
	TOP OF WALL

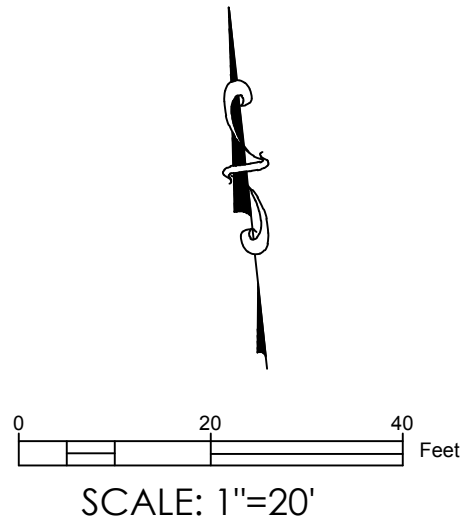
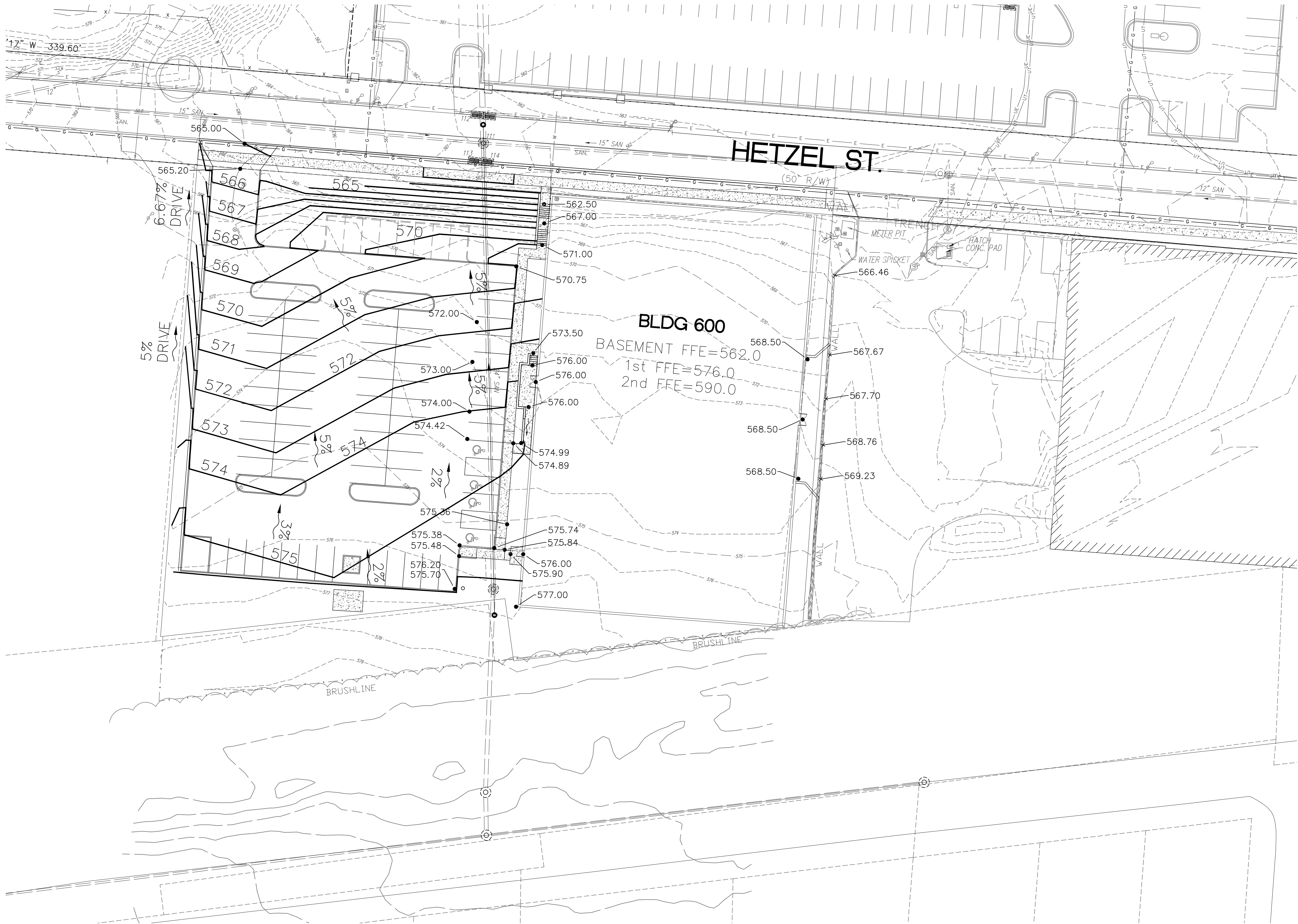
#	DATE	CHANGE DESCRIPTION

MEDPACE BUILDING 600
5401 HETZEL STREET
CINCINNATI, OH
45242
MEDPACE

300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881

DRAWING TITLE:
UTILITY PLAN

	08/04/2023	
	DRAWN BY:	CHECKED BY:
	23213.01	
	C-102	
	Schematic Design	



PARKING SPACES = 73

LEGEND	
	PIPE FLOW DIRECTION
	SURFACE FLOW DIRECTION
	EX. XXX.XX EXISTING SPOT ELEVATION
	XXX.XX PROPOSED SPOT ELEVATION
	593 EXISTING CONTOURS
	593 PROPOSED CONTOURS
	BW BOTTOM OF WALL
	TW TOP OF WALL

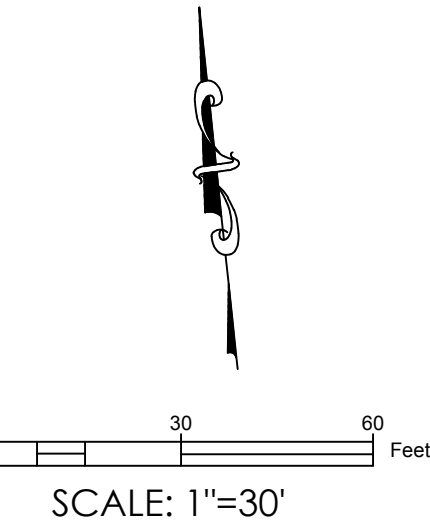
#	DATE	CHANGE DESCRIPTION

MEDPACE **MEDPACE BUILDING 600**
5401 HETZEL STREET
CINCINNATI, OH
FOR
MEDPACE

MOODY-NOLAN 300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881

DRAWING TITLE:
GRADING PLAN

	08/04/2023	
	DRAWN BY:	CHECKED BY:
	23213.01	
	C-103	
	Schematic Design	



Revisions:
Issue Date: May 15, 2023

Issue Date: May 15, 2023

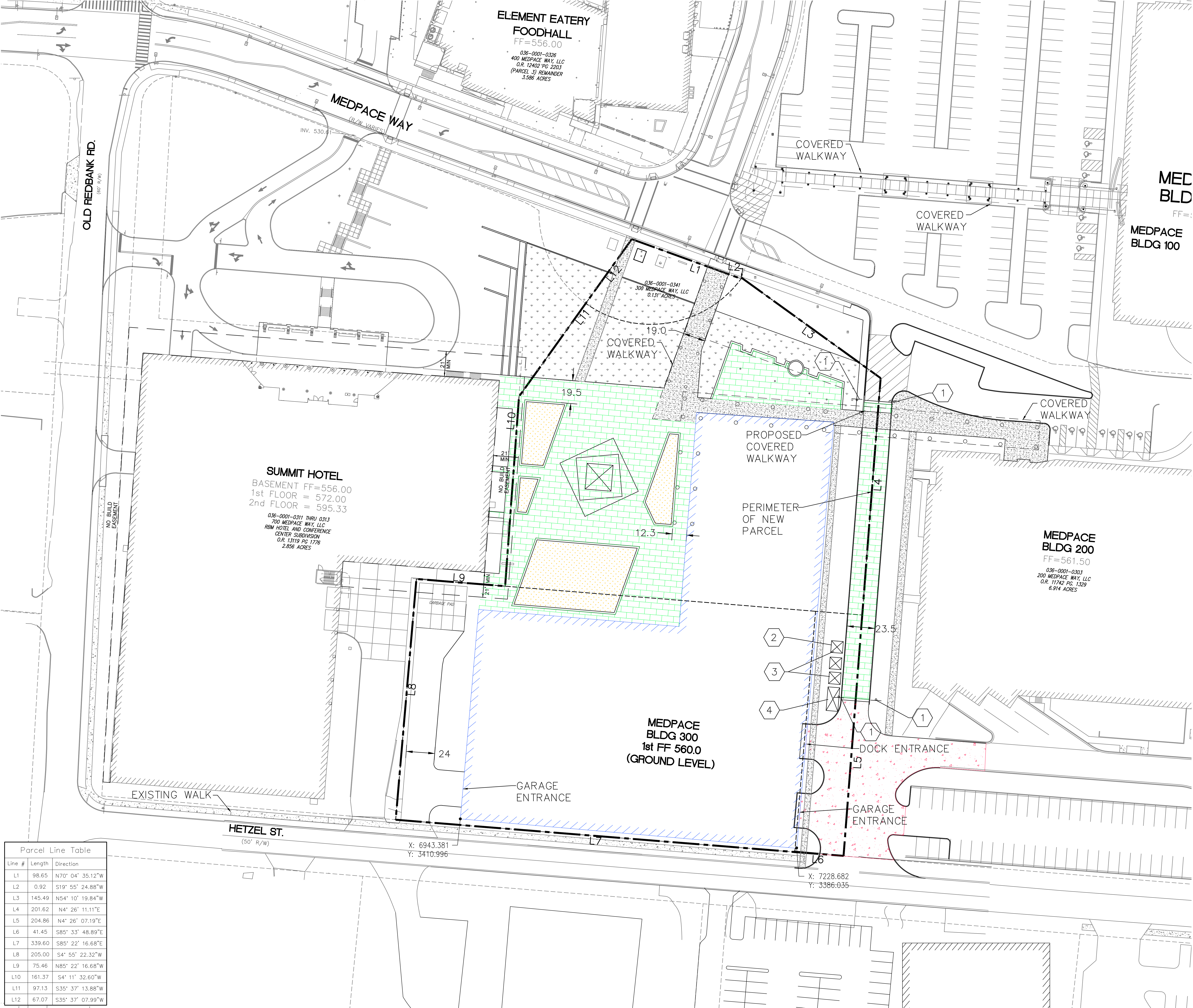
5355 Medpace Way
Cincinnati, Ohio 45227

Cincinnati, Ohio 45227

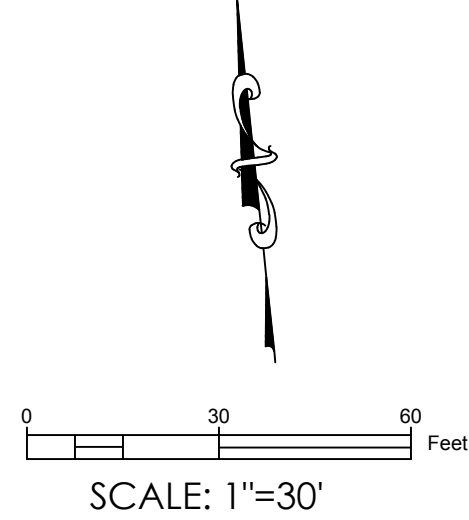
Project No.

C-100

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Parcel Line Table		
Line #	Length	Direction
L1	98.65	N70° 04' 35.12"W
L2	0.92	S19° 55' 24.88"W
L3	145.49	N54° 10' 19.84"W
L4	201.62	N4° 26' 11.11"E
L5	204.86	N4° 26' 07.19"E
L6	41.45	S85° 33' 48.89"E
L7	339.60	S85° 22' 16.68"E
L8	205.00	S4° 55' 22.32"W
L9	75.46	N85° 22' 16.68"W
L10	161.37	S4° 11' 32.60"W
L11	97.13	S35° 37' 13.88"W
L12	67.07	S35° 37' 07.99"W



NOT FOR
CONSTRUCTION

- LEGEND
- 

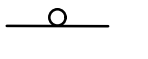
BRICK PAVERS
- 

ASPHALT
- 

CONCRETE PAVING
- 

CONCRETE SIDEWALK
- 

LANDSCAPE AREA
- 

SYNTHETIC TURF
- 

TRAFFIC FLOW SIGN

- CODED NOTES
- 1

SIGN: EMERGENCY & MAINTENANCE VEHICLES ONLY.
- 2

EXISTING PAD XFMR TO BE REPLACED WITH DISTRIBUTION CABINET
- 3

NEW PAD MOUNT XFMR
- 4

NEW DIESEL GENERATOR

Planned Development

Revisions:
Issue Date: May 15, 2023

Medpace Bldg 300

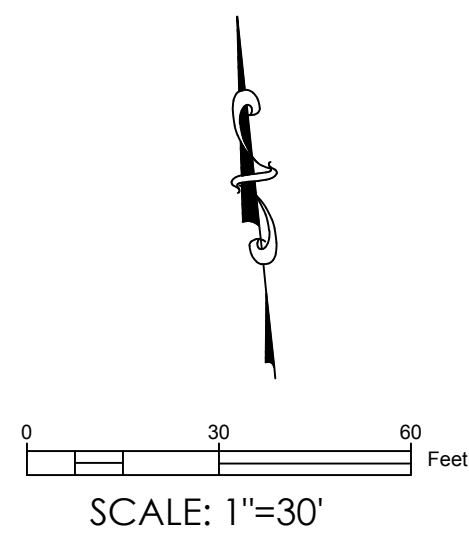
5355 Medpace Way
Cincinnati, Ohio 45227

LAYOUT PLAN

Project No.

22096

C-102



NOT FOR
CONSTRUCTION

CODED NOTES

- 1** CONNECT TO EXISTING SANITARY LINE
- 2** USE EXISTING ELECTRICAL & COMMUNICATION CONDUITS FOR NEW SERVICES
- 3** COORDINATE WITH DUKE ENERGY ON GAS SERVICE SIZING. MEP TO DETERMINE GAS LOADING. RE-USE EXISTING OR INCREASE PIPE SIZE TO MATCH GAS LOADING.
- 4** REMOVE EXISTING METER VAULT AND PIPING (PART OF DEMOLITION PACKAGE)
- 5** NEW WATER SERVICE INCLUDING VAULT. DOMESTIC SERVICE IS 6" DIAMETER, FIRE PROTECTION IS ESTIMATED AT 8" DIAMETER
- 6** UNDERGROUND STORMWATER MANAGEMENT STRUCTURE. ESTIMATED @ 15,000 CF OF QUANTITY AND QUALITY.
- 7** ESTIMATED 24" STORM RELEASE PIPE TO EXISTING 108" SEWER. FIGURE A NEW STRUCTURE PRIOR TO EXISTING SEWER.
- 8** PROPOSED COMMUNICATION CONDUITS. DIAMETER AND QUANTITIES TO BE DETERMINED.

Planned Development

Revisions:
Issue Date: May 15, 2023

Medpace Bldg 300

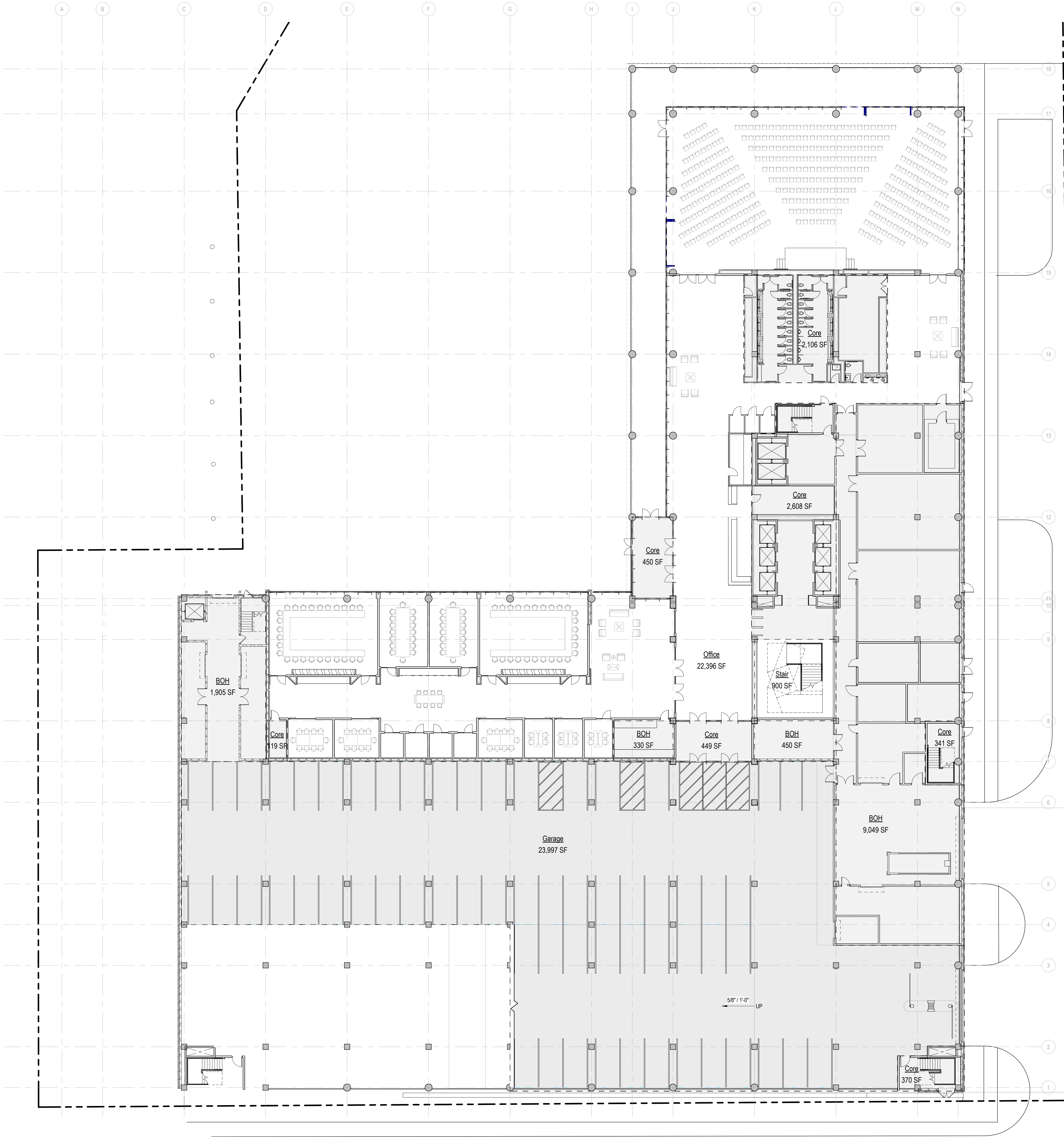
5355 Medpace Way
Cincinnati, Ohio 45227

UTILITY PLAN

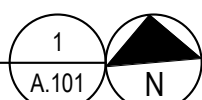
Project No.

22096

C-104



LEVEL 1 / P1 FLOOR PLAN
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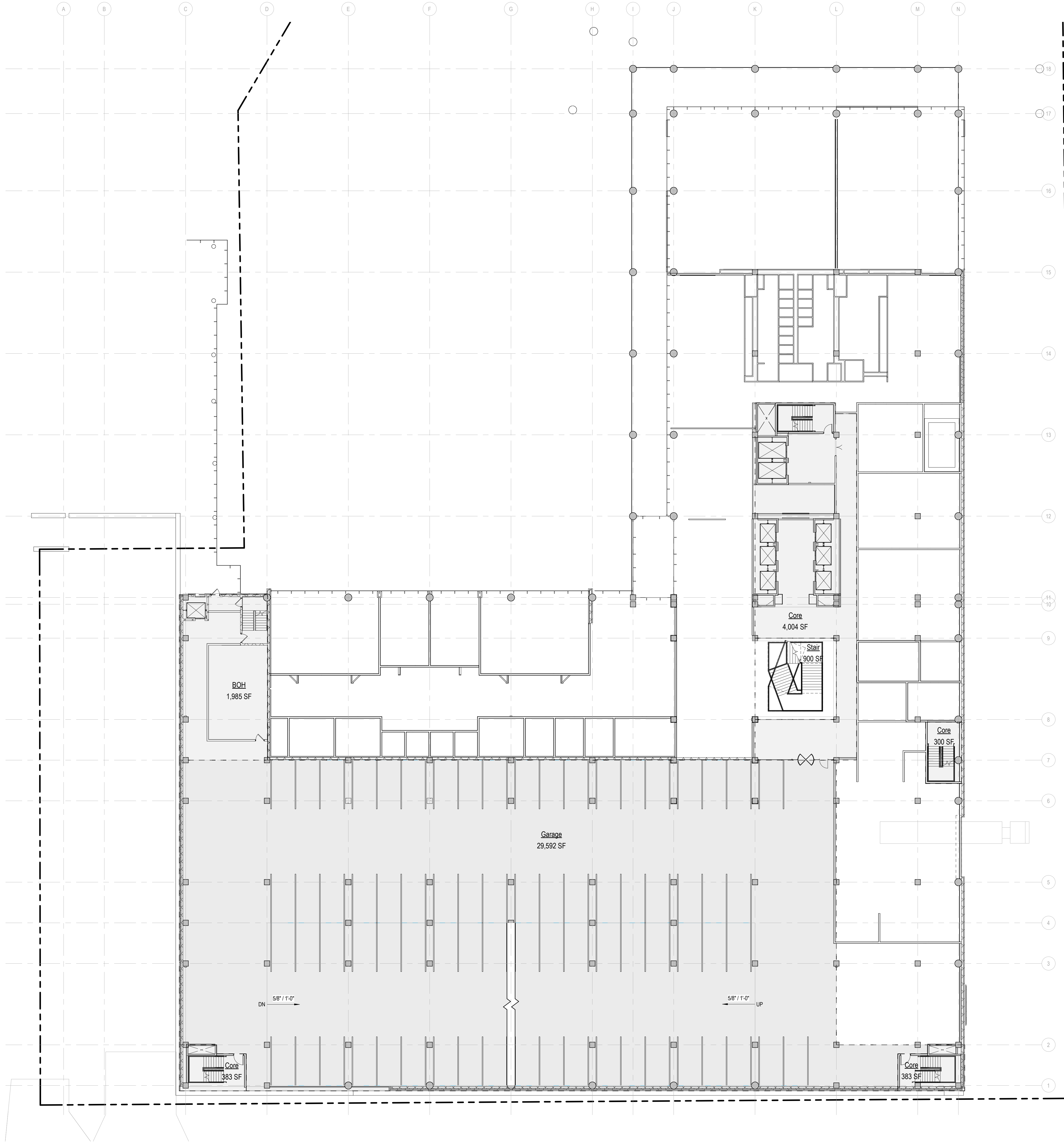
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DRAWN BY Author	DATE 05/12/23
SHEET #	

A.101

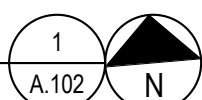
NOT FOR
CONSTRUCTION

ISSUED DATE

MADISON SQUARE DEVELOPMENT: BUILDING 300 OFFICE & GARAGE
5355 Medpace Way, Cincinnati, OH 45227
MEDPACE
5375 Medpace Way, Cincinnati, OH 45227



LEVEL P2 FLOOR PLAN
SCALE: 1/16" = 1'-0"



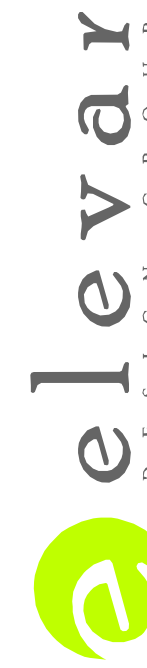
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LEVEL P2 FLOOR PLAN	
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DRAWN BY Author	DATE 05/12/23
SHEET	
A.102	

MADISON SQUARE DEVELOPMENT: BUILDING 300 OFFICE & GARAGE

5355 Medpace Way, Cincinnati, OH 45227

MEDPACE

5375 Medpace Way, Cincinnati, OH 45227



535 CARR ST., CINCINNATI, OH 45203 | P: 613.721.8800 F: 613.721.9811

NOT FOR
CONSTRUCTION

ISSUED DATE

SHEET TITLE

LEVEL P2 FLOOR PLAN

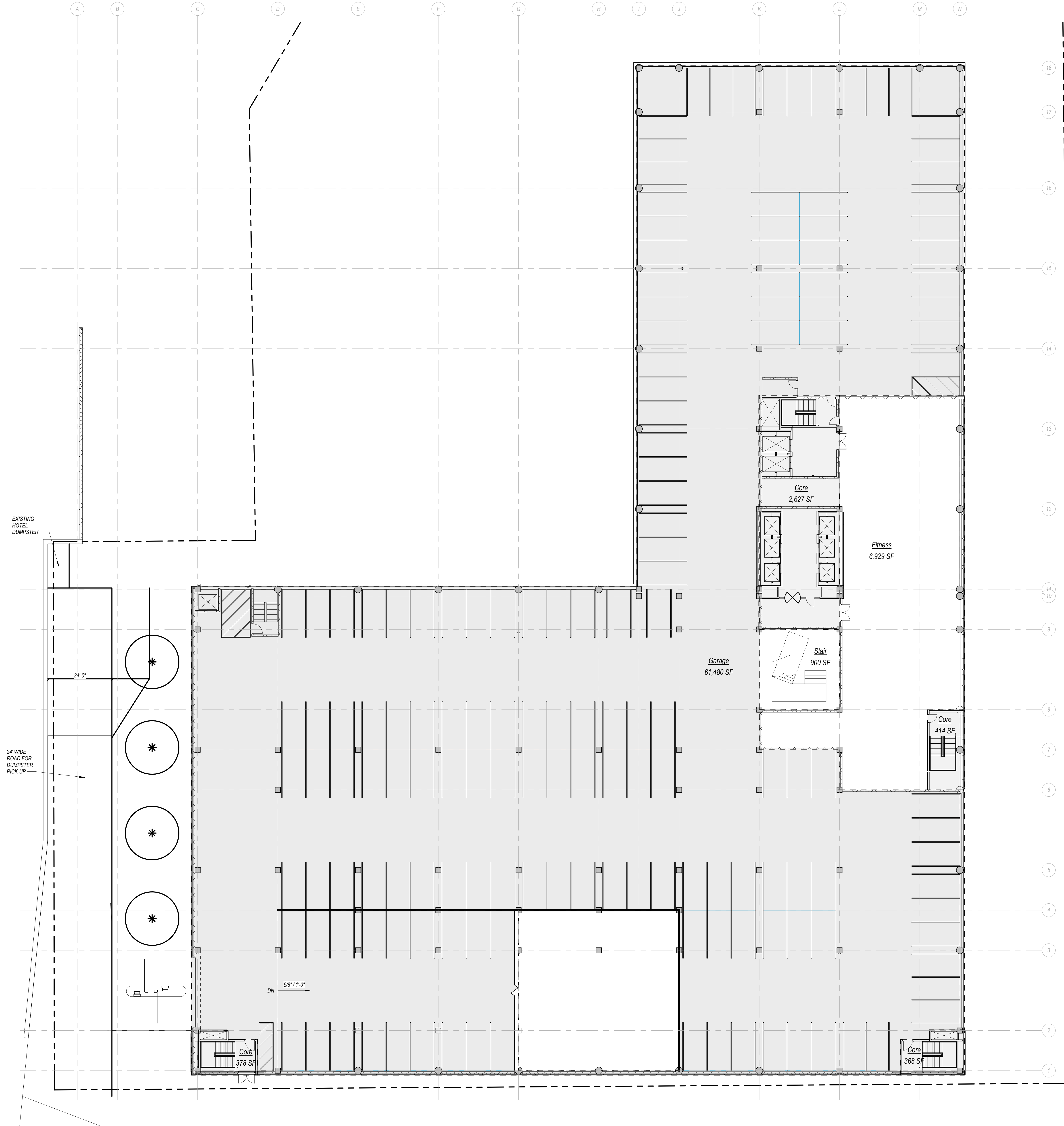
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COMM. No. 1179

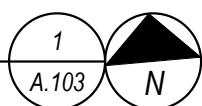
DRAWN BY Author

DATE 05/12/23

SHEET A.102



LEVEL P3 FLOOR PLAN
SCALE: 1/16" = 1'-0"



SHEET TITLE
LEVEL P3 FLOOR
PLAN

SCALE 1/16" = 1'-0"	COORD. NO. 11778
DRAWN BY Author	DATE 05/10/23

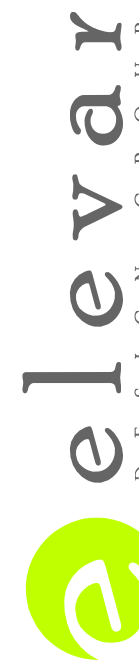
SHEET
A.103

MADISON SQUARE DEVELOPMENT: BUILDING 300 OFFICE & GARAGE

5355 Medpace Way, Cincinnati, OH 45227

MEDPACE

5375 Medpace Way, Cincinnati, OH 45227

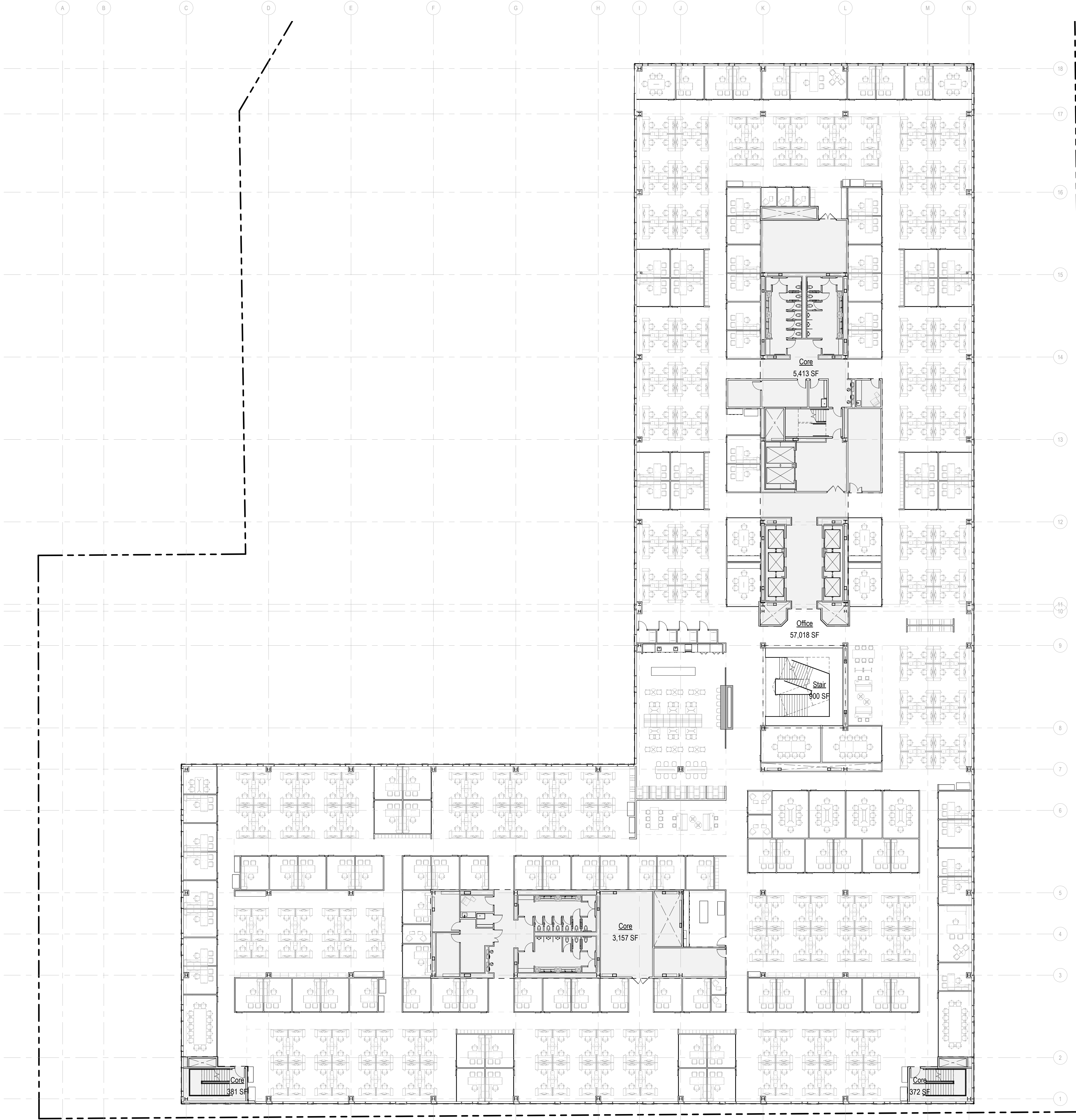


535 CARR ST., CINCINNATI, OH 45203 | P: 513.721.6800 F: 513.721.6811

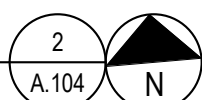
NOT FOR
CONSTRUCTION

ISSUED DATE

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LEVEL 2 - 7 TYP. FLOOR PLAN
SCALE: 1/16" = 1'-0"



SHEET TITLE	
LEVEL 2 - 7 TYP. FLOOR PLAN	
SCALE	COMM. No.
1/16" = 1'-0"	11778
DRAWN BY	DATE
Author	05/12/23
SHEET	
A.104	

MADISON SQUARE DEVELOPMENT: BUILDING 300 OFFICE & GARAGE

5355 Medpace Way, Cincinnati, OH 45227

MEDPACE

5375 Medpace Way, Cincinnati, OH 45227

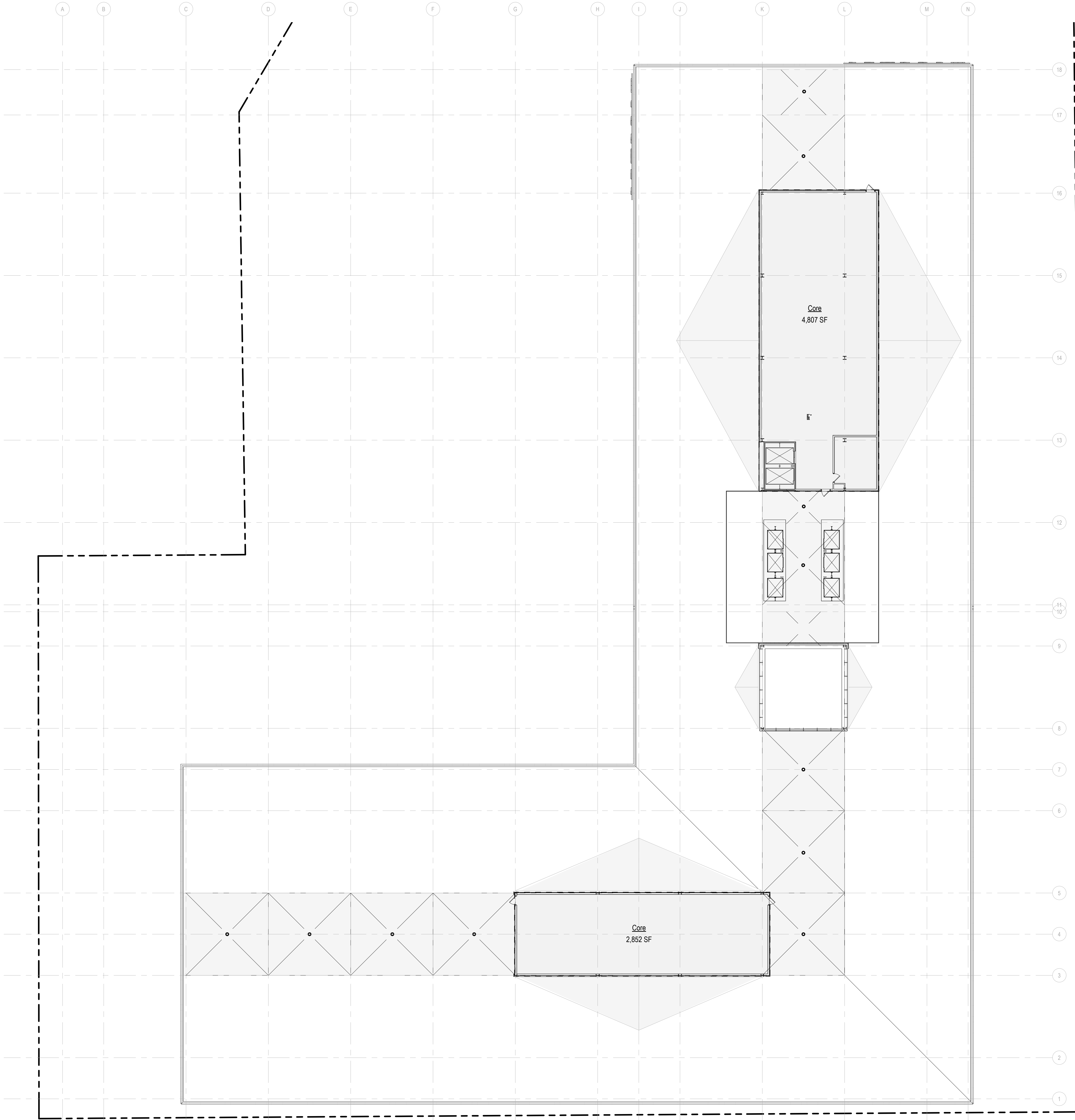
NOT FOR
CONSTRUCTION

ISSUED DATE

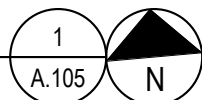
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LEVEL 2 - 7 TYP. FLOOR PLAN	
SCALE	COMM. No.
1/16" = 1'-0"	11778
DRAWN BY	DATE
Author	05/12/23
SHEET	
A.104	



535 CARR ST., CINCINNATI, OH 45203 | P: 513.721.8800 F: 513.721.9811



MECHANICAL & ROOF PLAN
SCALE: 1/16" = 1'-0"



SHEET TITLE			
ROOF / PENTHOUSE PLAN			
SCALE	1/16" = 1'-0"	COMM. No.	1179
DRAWN BY	Author	DATE	05/12/23
SHEET			
A.105			

MADISON SQUARE DEVELOPMENT: BUILDING 300 OFFICE & GARAGE

5355 Medpace Way, Cincinnati, OH 45227

MEDPACE

5375 Medpace Way, Cincinnati, OH 45227

NOT FOR
CONSTRUCTION

ISSUED DATE

SHEET TITLE

ROOF / PENTHOUSE
PLAN

SCALE: 1/16" = 1'-0"

COMM. No. 1179

DRAWN BY Author

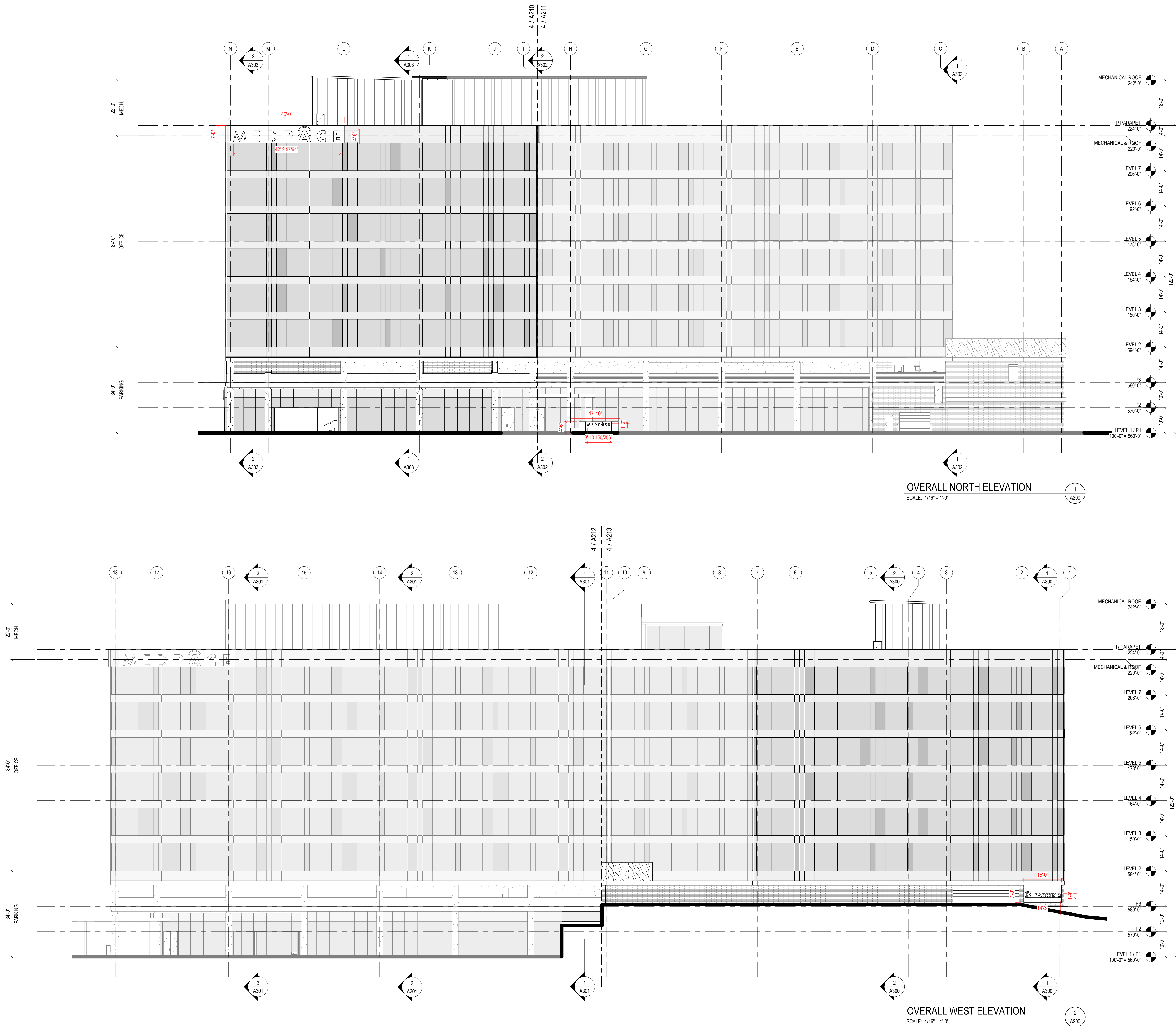
DATE 05/12/23

SHEET A.105

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535 CARR ST., CINCINNATI, OH 45203 | P: 513.721.8800 F: 513.721.8611

elevar
DESIGN GROUP



GENERAL NOTES

A. TOP COURSE OF MASONRY VENEER TO BE AT BASELINE.
B. SEE ARCHITECTURAL FLOOR PLANS AND OPENING SCHEDULES FOR ALL OPENING SIZES, TYPES, MATERIALS, GLAZING AND DETAILS.
C. MASONRY MORTAR COLOR WILL BE LIMITED TO ONE PROMINENT COLOR FOR THE ENTIRE EXTERIOR OF THE BUILDING. COLOR TO BE SELECTED BY ARCHITECT.
D. ALL JOINTS BETWEEN BRICK AND CMU ARE TO BE SOFT JOINTS, WITH SLIP SHEETS AND CAULKED.

KEYNOTES

MADISON SQUARE DEVELOPMENT: BUILDING 300 OFFICE & GARAGE

5355 Medpace Way, Cincinnati, OH 45227

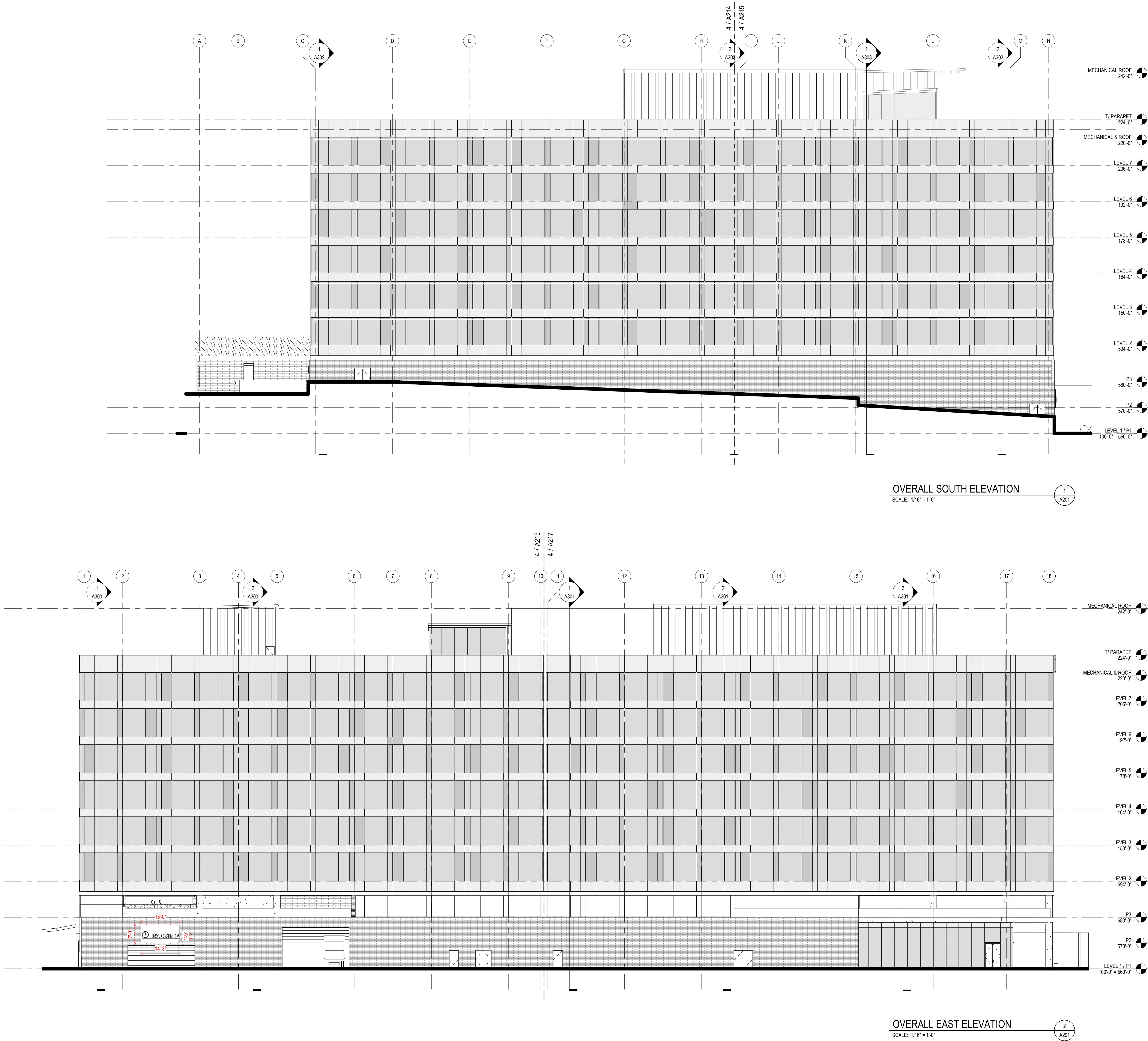
MEDPACE

5375 Medpace Way, Cincinnati, OH 45227

NOT FOR
CONSTRUCTION

ISSUED DATE
DD CHECK SET 04/28/2023

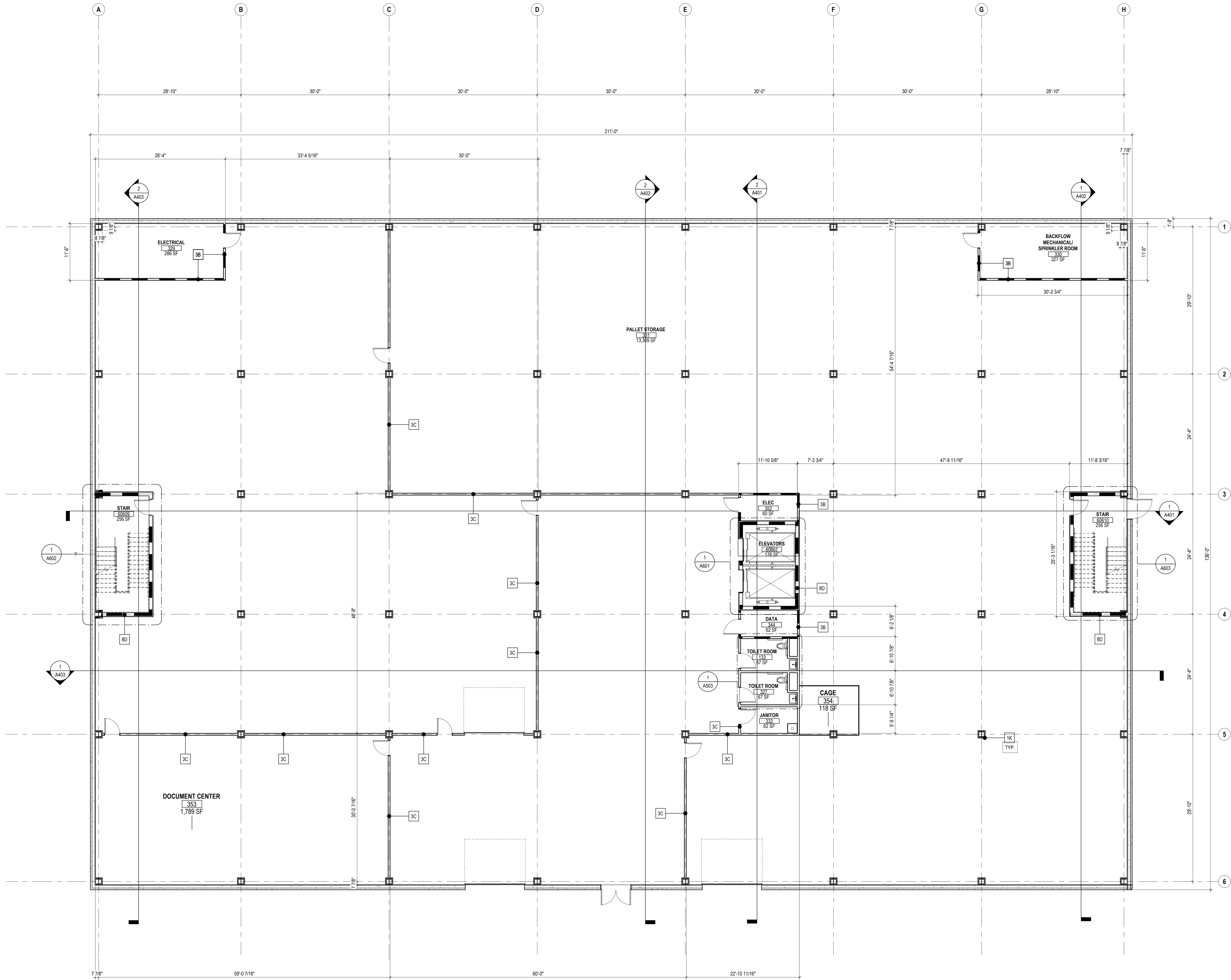
SHEET TITLE
OVERALL EXTERIOR
ELEVATIONS -
NORTH & WEST
SCALE COIN. PK.
A/USING LITTS
DRAWN BY DATE
SHEETS 05/28/2023
A200



GENERAL NOTES

A. TOP COURSE OF MASONRY VENEER TO BE AT BASELINE.
B. SEE ARCHITECTURAL FLOOR PLANS AND OPENING SCHEDULES FOR ALL OPENING SIZES, TYPES, MATERIALS, GLAZING AND DETAILS.
C. MASONRY MORTAR COLOR WILL BE LIMITED TO ONE PIGMENTED COLOR FOR THE ENTIRE EXTERIOR OF THE BUILDING. COLOR TO BE SELECTED BY ARCHITECT.
D. ALL JOINTS BETWEEN BRICK AND CMU ARE TO BE SOFT JOINTS, WITH SLIP SHEETS AND CAULKED.

KEYNOTES



1 LEVEL 00 - FLOOR PLAN - OVERALL
1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF WALL, (UNLESS NOTED OTHERWISE).
2. SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL STEEL REINFORCING IN WALL & FLOOR CONSTRUCTION.
3. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.
4. SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION & CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. SEE DETAILS ON **ADXX**.
5. MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPING PADS. PADS ARE TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PADS 4" MIN. 4" THICK W/ W.F.F., UNLESS NOTED OTHERWISE).

CODED NOTE LEGEND

- ① TBD
② TBD
③ TBD
④ TBD
⑤ TBD

RATED WALL LEGEND

- NON-FIRE RATED PARTITION TO DECK
- 1 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 2 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 3 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 4 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 1 HOUR FIRE RATED PARTITION TO DECK
- 2 HOUR FIRE RATED PARTITION TO DECK
- 3 HOUR FIRE RATED PARTITION TO DECK
- 4 HOUR FIRE RATED PARTITION TO DECK

KEYNOTE LEGEND

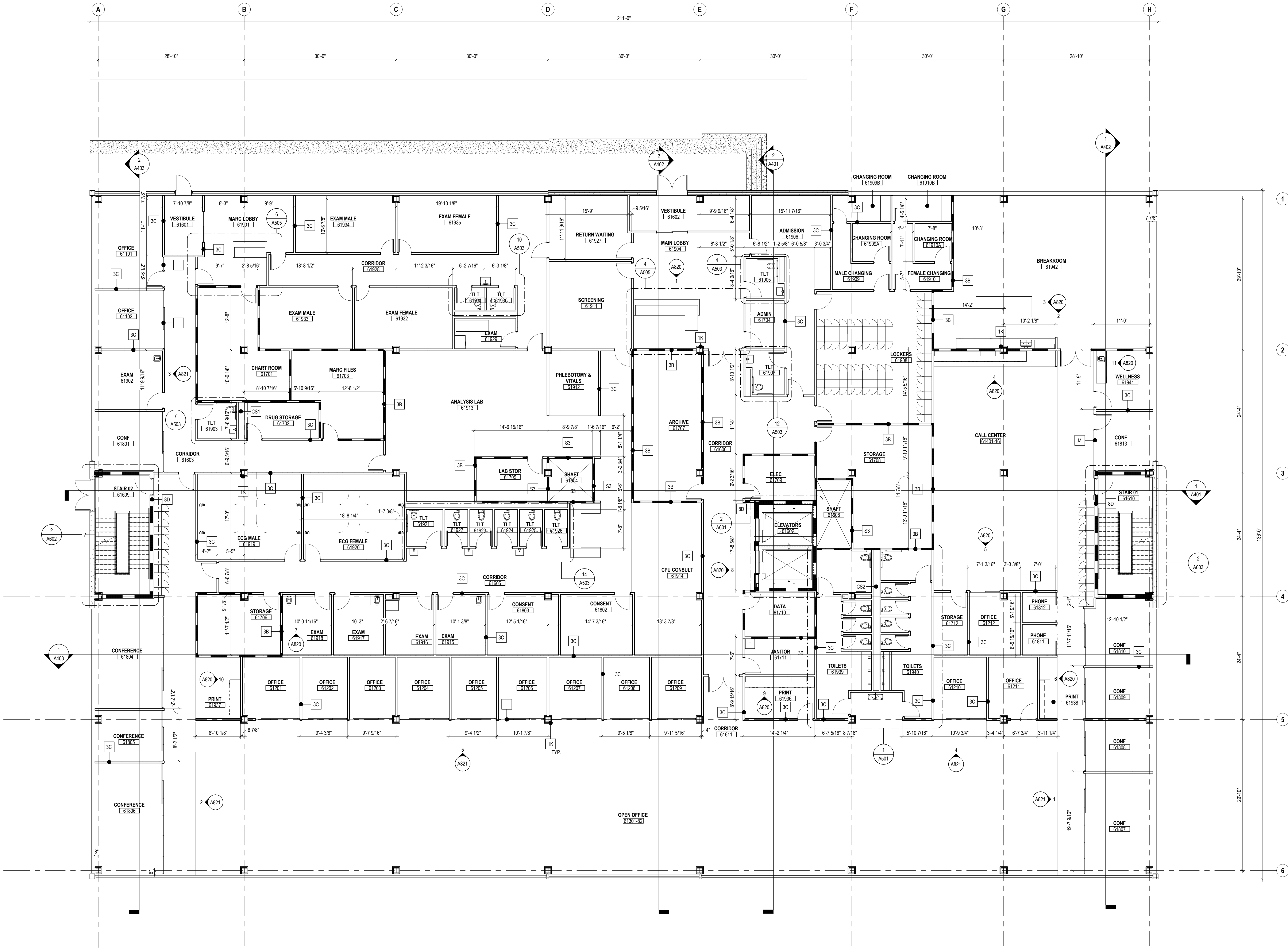
#	DATE	CHANGE DESCRIPTION

MEDPACE **MEDPACE BUILDING 600**
5401 HEITZEL STREET
CINCINNATI, OHIO 45227
FOR
MEDPACE

MOODY-NOLAN 300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881

DRAWING TITLE:
LEVEL 00 - FLOOR PLAN - OVERALL

PROGRESS DRAWING NOT FOR CONSTRUCTION	08/04/2023	
	DRAWN BY: Author	CHECKED BY: Checker
	23213.01	
	A100	
	Schematic Design	



1 PLAN OVERALL FIRST FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE).
- SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL STEEL REINFORCING IN WALL & FLOOR CONSTRUCTION.
- SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.
- SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION & CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. SEE DETAILS ON **XXX**.
- MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPING PADS. PADS ARE TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PADS 4" MIN. 4" THICK W/ W.F.F., UNLESS NOTED OTHERWISE).

CODED NOTE LEGEND

- 1 TBD
- 2 TBD
- 3 TBD
- 4 TBD
- 5 TBD

RATED WALL LEGEND

- NON-RATED SMOKE RESISTIVE PARTITION TO DECK
- 1 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 2 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 3 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 4 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 1 HOUR FIRE RATED PARTITION TO DECK
- 2 HOUR FIRE RATED PARTITION TO DECK
- 3 HOUR FIRE RATED PARTITION TO DECK
- 4 HOUR FIRE RATED PARTITION TO DECK

KEYNOTE LEGEND

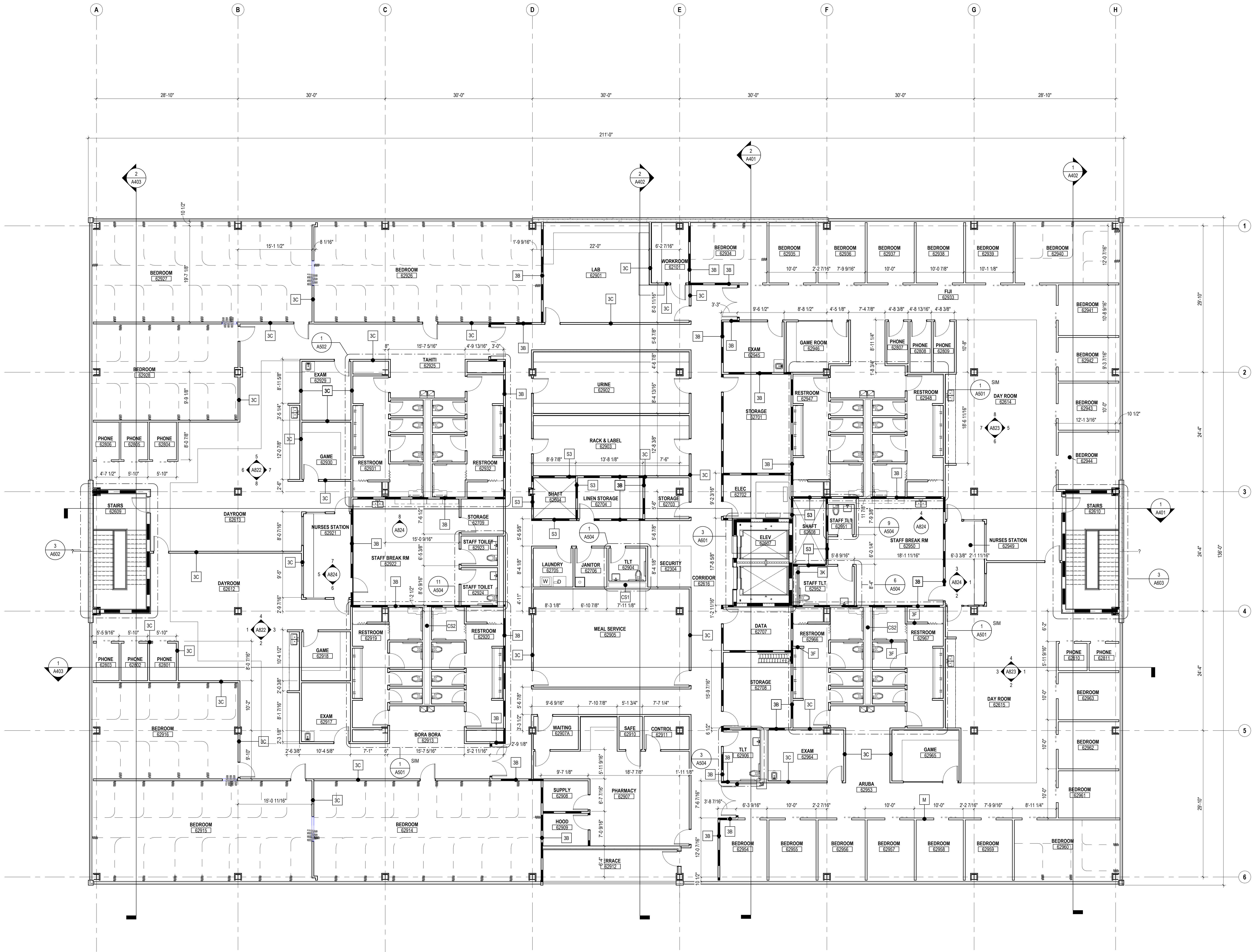
#	DATE	CHANGE DESCRIPTION

MEDPACE **MEDPACE BUILDING 600**
5401 HEITZEL STREET
CINCINNATI, OHIO 45227
FOR
MEDPACE

MOODY-NOLAN 300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881

DRAWING TITLE:
**LEVEL 01 - FLOOR PLAN -
OVERALL**

PROGRESS DRAWING NOT FOR CONSTRUCTION	08/04/2023	
	DRAWN BY: XXX	CHECKED BY: XXX
	23213.01	
	A101	
	Schematic Design	



1 PLAN OVERALL SECOND FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF WALL, (UNLESS NOTED OTHERWISE).
2. SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL STEEL REINFORCING IN WALL & FLOOR CONSTRUCTION.
3. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.
4. SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION & CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. SEE DETAILS ON **A000**.
5. MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPING PADS. PADS ARE TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PADS 4" MIN. 4" THICK W/ W.F.F., UNLESS NOTED OTHERWISE).

CODED NOTE LEGEND

- 1 TBD
- 2 TBD
- 3 TBD
- 4 TBD
- 5 TBD

RATED WALL LEGEND

- NON-RATED SMOKE RESISTIVE PARTITION TO DECK
- 1 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 2 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 3 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 4 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 1 HOUR FIRE RATED PARTITION TO DECK
- 2 HOUR FIRE RATED PARTITION TO DECK
- 3 HOUR FIRE RATED PARTITION TO DECK
- 4 HOUR FIRE RATED PARTITION TO DECK

KEYNOTE LEGEND

KEY VALUE KEYNOTE TEXT

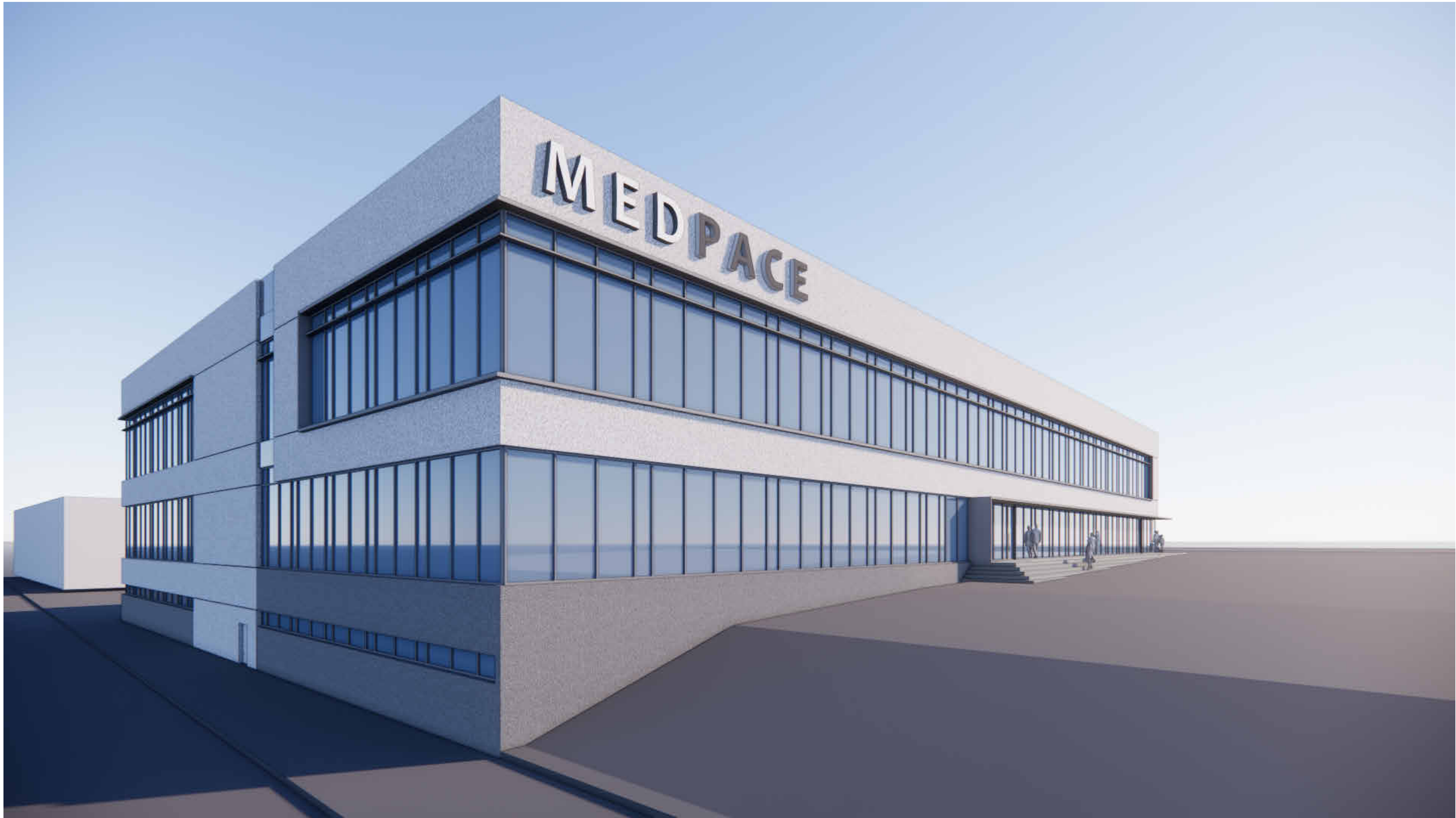
#	DATE	CHANGE DESCRIPTION

MEDPACE **MEDPACE BUILDING 600**
5401 HEITZEL STREET
CINCINNATI, OHIO 45227
FOR
MEDPACE

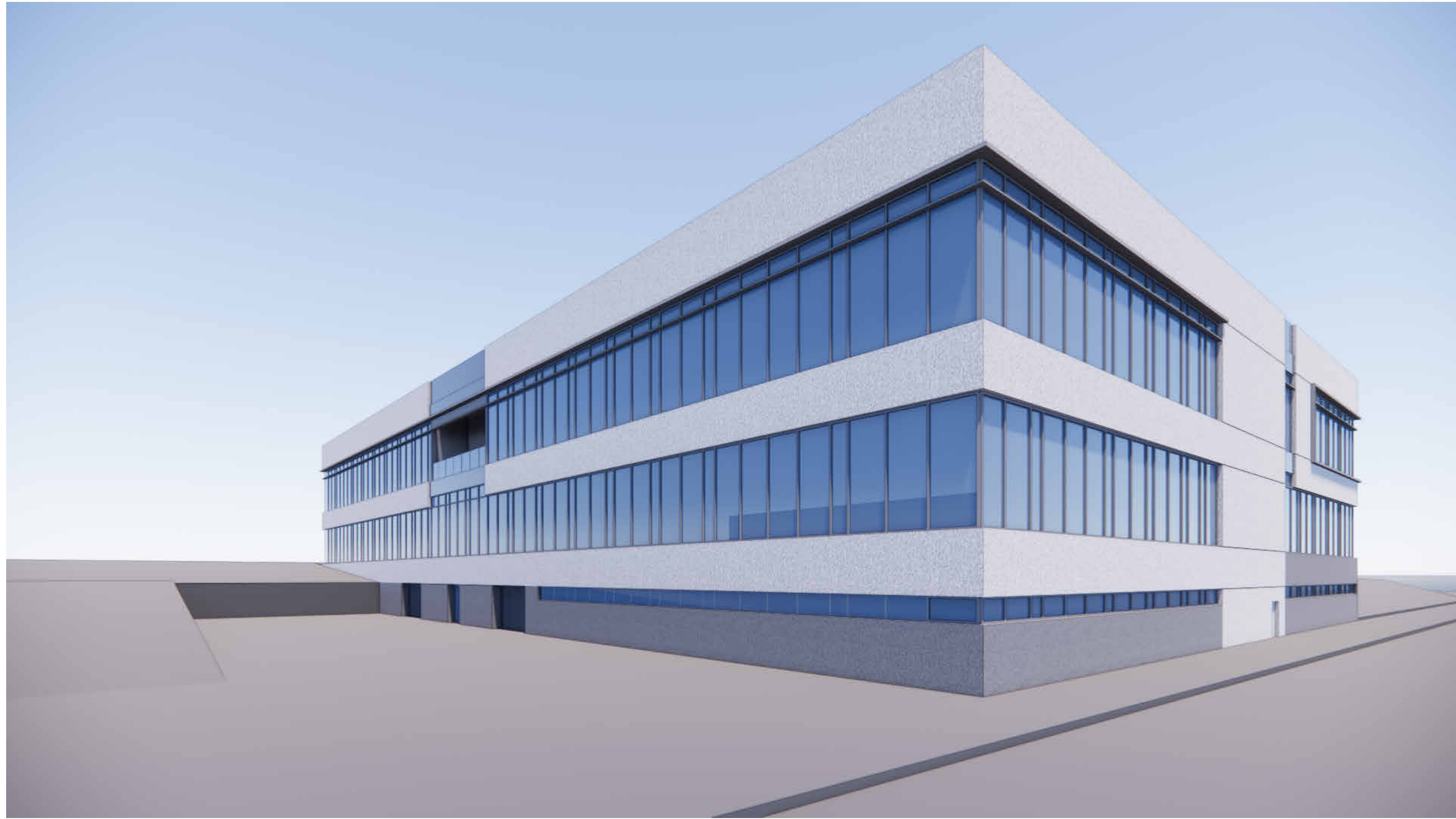
MOODY-NOLAN 300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881

DRAWING TITLE:
**LEVEL 02 - FLOOR PLAN -
OVERALL**

PROGRESS DRAWING NOT FOR CONSTRUCTION	08/04/2023	
	DRAWN BY: XXX	CHECKED BY: XXX
	23213.01	
	A102	
	Schematic Design	



1 ELEVATION NORTHWEST VIEW
NTS



3 ELEVATION NORTHEAST VIEW
NTS

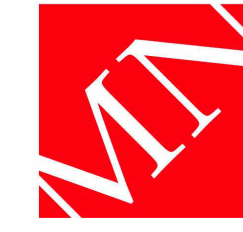


2 ELEVATION SOUTHWEST VIEW
NTS

#	DATE	CHANGE DESCRIPTION

 **MEDPACE**

MEDPACE BUILDING 600
5401 HETZEL STREET
CINCINNATI, OHIO 45227
FOR
MEDPACE



300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215

PHONE: (614) 461-4664
FAX: (614) 280-8881

DRAWING TITLE:
AXONOMETRIC VIEWS

PROGRESS
DRAWING
NOT FOR
CONSTRUCTION

08/04/2023

DRAWN BY: Author CHECKED BY: Checker

23213.01

A300

Schematic Design

Tax Map - Apr 27 2020 JL

CAGIS - BY PRIOR

Norbert A Nadel
Hamilton County Recorder's Office
Doc #: 2020-0038476 Type: DE
Filed: 04/27/20 11:15:45 AM \$34.00
Off. Rec.: 14155 01501 F 2 272

Convey number: 232545
Deed number: 20-506224
Instr. number: 20-509077
Transfer date: 04/27/2020
Sec.: 319.202 R.C.
Sec.: 322.02 R.C.
Dusty Rhodes
Hamilton County Auditor
Sales Amount: 850,000.00
Permissive fee: 2,550.00
Transfer fee: 0.50
Conveyance fee: 850.00



GENERAL WARRANTY DEED

STARPONY PROPERTIES, LLC, an Ohio limited liability company ("Grantor"), for valuable consideration paid, grants with general warranty covenants to ENDLESS EARTH ENTERPRISES, LLC, an Ohio limited liability company ("Grantee"), whose tax mailing address is 66513 Madeira Hills Dr. Cincinnati, OH 45243, the following described real property situated in the County of Hamilton, in the State of Ohio:

All the following described real estate, land and premised, situate, lying and being in Madisonville, Cincinnati, Hamilton County, Ohio and being all that lot of ground and premises is Section Sixteen (16), Township Four (4), Fractional Range Two (2), Miami Purchase.

Beginning at a stake in the center of a street fifty (50) feet wide, now known as Hetzell Street, a distance of 546 3/10 feet East from the West line of said Section 16, and being 230 feet south of the South line of B.M. Stewart's tract, formerly owned by Edward N. Hidden; thence running South 87 1/2 degrees East 324 7/10 feet; thence South 2 1/4 degrees West 235 feet to the North line of the Marietta and Cincinnati Railroad, (now known as The Baltimore and Ohio Railroad); thence westerly with said Railroad line 150 feet (148.33 feet per survey of Roger B. Ward, dated October 1968); thence North 8 1/2 degrees West 32 1/2 feet; thence westerly with said Railroad line 176 5/10 feet; thence North 2 1/4 degrees East 265 9/10 feet to the place of beginning, containing 1 96/100 acres of land, more or less, subject, however to all legal highways and an existing sewer line easement across the premises owned by the City of Cincinnati.

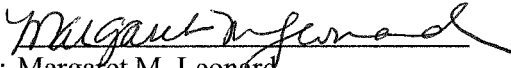
Property Address: 5401 Hetzel Avenue, Cincinnati, Ohio 45227
Parcel Number: 036-0001-0013-00 **ST**

Prior Instrument References: Official Record Book 9075, Page 5493, of the Hamilton County, Ohio real estate records.

This conveyance is made subject to all easements, restrictions, conditions and covenants of record, all legal highways and all taxes and assessments not yet due and payable.

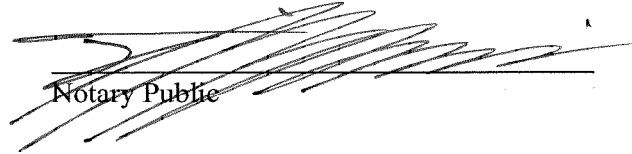
STARPONY PROPERTIES, LLC,
an Ohio limited liability company

By: 
Name: Peter A. Wimberg
Its: Member

By: 
Name: Margaret M. Leonard
Its: Member

STATE OF OHIO)
) SS:
COUNTY OF Hamilton)

The foregoing instrument was acknowledged before me this 31st day of March, 2020, by Peter A. Wimberg and Margaret M. Leonard, the Members of STARPONY PROPERTIES, LLC, an Ohio limited liability company, on behalf of the limited liability company.


Notary Public

This instrument prepared by:
Thomas J. Simendinger, Esq.
Dinsmore & Shohl LLP
255 E. Fifth Street, Suite 1900
Cincinnati, Ohio 45202
(513) 977-8200



Thomas J. Simendinger, Attorney At Law
NOTARY PUBLIC - STATE OF OHIO
My commission has no expiration date
Sec. 147.03 R.C.

ZONING PD LEGAL DESCRIPTION
1.672 Acres (To be incorporated into PD-73)
5401 Hetzel Street
Owner: Endless Earth Enterprises, LLC

SITUATED IN SECTION 16, TOWN 4, FRACTIONAL RANGE 2, CITY OF CINCINNATI, HAMILTON COUNTY, OHIO, AND KNOWN AS HAMILTON COUNTY AUDITORS PARCEL NUMBER: 036-001-0013, UNDER THE OWNERSHIP OF ENDLESS EARTH ENTERPRISES LLC, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 5/8" IRON PIN FOUND AT THE INTERSECTION OF THE SOUTH RIGHT OF WAY LINE OF HETZEL STREET AND THE WEST RIGHT OF WAY LINE OF ARMADA STREET,

THENCE ALONG THE SOUTH RIGHT OF WAY LINE OF HETZEL STREET, N 85°22'17" W, A DISTANCE OF 269.51 FEET TO A POINT, BEING THE **POINT OF BEGINNING**;

THENCE LEAVING THE RIGHT OF WAY LINE, WITH 500 MEDPACE WAY, LLC S 04°22'22" W, A DISTANCE OF 210.12 FEET TO A POINT. SAID POINT BEING ON THE NORTH RIGHT OF WAY LINE OF THE B&O RAILROAD; WITH THE FOLLOWING CALLS:

S 83°07'32"W, 150 FEET;
N 06°32'38"W, 32.12 FEET;
S 83°34'07"W, 174.50 FEET;

THENCE LEAVING SAID RIGHT OF WAY LINE N 4°12'32" E, A DISTANCE OF 240.90 FEET, TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF HETZEL STREET;

THENCE WITH THE SOUTH RIGHT OF WAY LINE OF HETZEL STREET, S 85°32'38" E, A DISTANCE OF 324.69 FEET TO THE **POINT OF BEGINNING**;

CONTAINING 1.672 ACRES, MORE OR LESS AND BEING SUBJECT TO EASEMENTS, RESTRICTIONS AND RIGHT OF WAY OF RECORD. THIS DESCRIPTION IS FOR THE SPECIFIC PURPOSE OF A PLANNED DEVELOPMENT ZONE CHANGE. BEARINGS ARE BASED ON A SURVEY BY KLEINGERS AND ASSOCIATES OF THE CHILDREN'S HOME OF CINCINNATI.



May 24, 2023

Chris Pfaff
Global Head of Facilities

Seth Barnhard
Development Advisor

Medpace, Inc. and RBM Development
5375 Medpace Way
Cincinnati, Ohio 45227

Chris & Seth,

On behalf of the Madisonville Community Council (MCC), I am writing to you to express our organization's support for your application to the City of Cincinnati to amend Planned Development District #73. At our regularly scheduled General Body meeting on May 18, 2023, you requested a Letter of Support for the construction of a new office tower where building B300 currently sits. This proposal also included:

- A public plaza space fronting Medpace Way for performances and other events
- Constructing a new clinic building at 5401 Hetzel Avenue
- Constructing a parking facility in the southern half of the eastern parking lot adjacent to Stewart Avenue

After discussion, the General Body passed a motion to support this submission. For any questions or concerns, please contact me by email at president@ourmadisonville.com.

Sincerely,

Kerry Devery
President, Madisonville Community Council

Officers
President
Kerry Devery

Vice President
Kate Botos

Treasurer
Susan Harper

Recording Secretary
Anna Albi

Corresponding Secretary
Ann Boland

Committee Chairs
Arts, Parks, & Recreation
Stephanie Myers-Cable

Business & Economic Development
Open Position

Bylaws
Open Position

Cleanup & Beautification
Matt Cable

Communications
Amanda Mahaffey

Crime Prevention & Safety
Open Position

Education
Kate Botos

History
Wes Cunningham

Housing
Elishia Chamberlain

Madisonville Cares
Open Position

MYCC (Youth Council)
Rosemary Tanks

Membership
Melissa Wilkerson

Transportation
Kathleen Colley