

HISTORIC CONSERVATION BOARD

5th Floor Conference Room 805 Central Ave, II Centennial

AGENDA

Monday, March 25, 2024 at 3:00 pm

CALL TO ORDER

CONSENT ITEMS

Item 1. 1542 PLEASANT ST COA2024007 The applicant requests a Certificate of Appropriateness to install a new exterior projecting sign with LED illumination in the Over-Rhine Historic District.

Applicant: ATLANTIC SIGN COMPANY

Staff Report: KATE MEEHAN

DISCUSSION ITEMS

Item 2. 226 MOHAWK ST COA2024004 The applicant requests a Certificate of Appropriateness to rehabilitate an existing structure, including a rooftop deck, and window replacement in the Sohn-Mohawk Historic District.

Applicant: ROBERT STRUNC

Staff Report: KATE MEEHAN

Item 3. 1607 RACE ST COA2024005 The applicant requests a Certificate of Appropriateness to rehabilitate an existing structure, including the construction of a new roof addition, storefront alterations, and a rear deck in the Over the Rhine Historic District.

Applicant: HEATHER ESTRIDGE

Staff Report: KATE MEEHAN

Item 4. 2421 AUBURN AV COA2024008 The applicant requests a Certificate of Appropriateness to rehabilitate an existing structure, including window replacement, a new surface parking lot, the installation of an accessible ramp to the front door, and a ground sign in the Auburn Avenue Historic District.

Applicant: NEW REPUBLIC ARCHITECTURE

Staff Report: DOUG OWEN

Item 5 . 6014 HAMILTON AV
 COA2024003

The applicant requests a Certificate of Appropriateness to rehabilitate an existing structure into a food and drinking establishment with outdoor seating, including demolition and replacement of canopy, new storefront, new fence, wall sign and overhead doors in the College Hill Mid-Business Historic District. Additionally, the applicant requests zoning relief related to conditional use approval for alcohol sales and outdoor entertainment, sign size and fence height.

Applicant: CHROMA ARCHITECTURE AND DESIGN
Staff Report: DOUG OWEN

Item 6 . 3732 SACHEM AV
 COA2024006

The applicant requests a Certificate of Appropriateness to rehabilitate an existing residential structure, including the construction of a two-car garage, elevator, new porch roof, and deck replacement in the Columbia Tusculum Historic District. Additionally, the applicant requests Hillside Overlay District Permission to construct the garage and deck.

Applicant: STEVEN GINTER
Staff Report: DOUG OWEN

Item 7 . 931 DAYTON ST
 COA2024009

The applicant requests a Certificate of Appropriateness to rehabilitate an existing residential structure, including the demolition of a rear concrete block garage and the construction of a new deck and fencing in the Dayton Street Historic District. Additionally, the applicant requests zoning relief related to side and rear setbacks.

Applicant: JAMESON ALEXANDRA L
Staff Report: DOUG OWEN

OTHER BUSINESS

February 2024 COA Staff Approvals

ADJOURN

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

APPLICATION #: COA204007
APPLICANT: Atlantic Sign Company
OWNER: Race & Vine Offices, LLC.
ADDRESS: **1542 Pleasant St.**
PARCELS: 081-0002-0547
ZONING: CC-P
OVERLAYS: Over-the-Rhine Historic District
COMMUNITY: Over-the-Rhine
REPORT DATE: March 12, 2024
HEARING DATE: March 25, 2024
STAFF REVIEW: Kate Meehan, Zoning Plans Examiner

Existing Conditions:

The existing building is a three-and-a-half story mixed-use building built in 1900 according to the Hamilton County Auditor's site, but it appears to be of an earlier vintage – ca. 1870-1880s, based on its Italianate architectural style. The property is located close to the southeast corner of Pleasant St. and W. Liberty St., and stretches between Pleasant St. on the west and Race Street on the east. There is a parking lot immediately to the north, a vacant lot across the street to the west, and next door to the south. The building is located in the Over-the-Rhine neighborhood and has commercial space on the ground floor with apartments above.

Proposed Conditions:

The applicant is proposing to install a new square projecting sign on the Pleasant St. frontage. The signage will consist of a projecting sign with LED neon lettering reading "Yard & Co." The sign will be composed of black aluminum faces with lime-green lettering composed of faux-neon LED lighting. The sign will project from the existing storefront cornice on Pleasant St. It will be approximately 3' wide by 3' tall. The sign will maintain a minimum clearance of 10' from grade. The sign will be located between the window and door on the far right of the building, and will be installed through the brick.

Previous Reviews: N/A.



Figure 1. Location of subject property. Image courtesy of CAGIS.



Figure 2. Close up of storefront where sign will be installed; yellow arrow indicates approximate location. Photo by Kate Meehan, March 11, 2024.



Figure 3. Front (west) elevation of 1542 Pleasant St., March 11, 2024, looking northeast. Photo by Kate Meehan.

Zoning Analysis:

The proposed projecting sign meets the requirements of the CC-P Zoning District. No Zoning Relief is required.

Certificate of Appropriateness Review:

A Certificate of Appropriateness is required for the proposed signage. Neon/LED neon signs are reviewed on a case-by-case basis in the Over-the-Rhine Historic District..

Applicable Guidelines

Rehabilitation

B. SPECIFIC GUIDELINES

13. SIGNS: Signs should be designed for clarity, legibility and compatibility with the building or property on which they are located. Signs should be located above the

storefront, on the storefront windows or on awnings and should not cover any architectural features. Signs should capitalize on the special character of the building and reflect the nature of the business.

Wall and projecting signs should be located above the storefront or first story and below the second story sills. The size of wall signs shall be limited to one square foot per lineal foot of building frontage. Projecting signs should be no larger than 3 feet, 6 inches in width or height. Small projecting signs such as symbol signs are appropriate. Billboards and internally illuminated signs are not permitted. Neon signs may be approved on a case-by-case basis.

The proposed sign meets the signage guidelines for Over-the-Rhine. It is designed for clarity and legibility and is compatible with the building and the surrounding district. This building's location near the corner of Pleasant St. and W. Liberty St. is surrounded by primarily residential buildings, vacant lots and parking lots. The location of the business, combined with the relatively modest size of the sign, make the LED neon appropriate at this location. Additionally, the use of neon will provide useful identification as there are no other businesses at this end of Pleasant St., so it will help the business to be more visible. The neon lighting will provide less light spillage than other illuminated options, whether internal or external.

Other Considerations:

Prehearing Results: A prehearing was held on March 8, 2024. The applicant was present.

Comments Provided to Staff: N/A

Consistency with *Plan Cincinnati (2012)*:
"Sustain" Initiative Area "Preserve our built history"

Recommendation:

Staff recommends the Historic Conservation Board take the following actions based on plans by Atlantic Sign Company dated 02.23.24:

I. CERTIFICATE OF APPROPRIATENESS

A. **APPROVE** a Certificate of Appropriateness for 1542 Pleasant Street including any revisions submitted for permit subject to staff review and approval with the following condition:

1. The building permits must be issued within two years of the decision date or the Certificate of Appropriateness shall expire.

B. **FINDING:** The Board makes this determination per Section 1435-09-2:

1. That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.
2. Other neon and LED neon signs have been approved in Over-the-Rhine, including signage at 39 E 13th St.

Historic Conservation Board

Hearing Application



II Centennial Plaza
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202
Monday- Friday 7:30 am- 4 pm
513-352-1559

Section 1. SUBJECT PROPERTY

ADDRESS 1542 Pleasant St COMMUNITY Over-the-Rhine
PARCEL ID(S) 008100020547 HISTORIC DISTRICT Over-the-Rhine
BASE ZONING CLASSIFICATION CC-P HILLSIDE DISTRICT: Yes No
 Non-Residential Project Residential Project (RCO) One -, Two -, and Three- Family Dwelling

Section 2. APPLICANT

NAME Atlantic Sign Company CONTACT PERSON (if legal entity) Brooke Alini
ADDRESS 2328 Florence Ave CITY Cincinnati STATE OH ZIP 45206
EMAIL Brooke@atlanticsigncompany.com RELATIONSHIP TO OWNER (if not owner) installer
TELEPHONE 513-241-6775

Section 3. OWNER

NAME Roe & Vine office LLC CONTACT PERSON (if legal entity) _____
ADDRESS 1203 Walnut St CITY Cincinnati STATE OH ZIP 45202
EMAIL _____ RELATIONSHIP TO OWNER (if not owner) _____
TELEPHONE _____

Section 4. NATURE OF CERTIFICATE OF APPROPRIATENESS REQUESTED

A certificate of appropriateness is NOT being requested. (Proceed to Section 5.)

A certificate of appropriateness is being requested for:

New Construction Alteration Demolition

BRIEF DESCRIPTION OF PROJECT (Do not write "see attached" or leave blank.)

install new 9' x 10' blade sign with LED neon illumination

Section 5. NATURE OF ZONING RELIEF REQUESTED

Zoning relief is NOT being requested, or select all that apply:
 Variance Special Exception Conditional Use Use Variance
 Expansion or Substitution of Non-Conforming Use Hillside Overlay District Permission
 Urban Design Overlay District Permission DD District Phased Development Approval

BRIEF DESCRIPTION OF ZONING RELIEF REQUESTED (Do not write "see attached" or leave blank.)

Section 6. SIGNATURE.

I certify that all statements and documents that I provide with reference to this application are accurate, complete, and true to the best of my knowledge and belief. I further acknowledge that my application shall be deemed incomplete for my failure to timely comply with any requirement of this application, which non-compliance may result in delays in the scheduling and resolution of my application.

Print Name Brooke Alini Signature [Signature] Date 2/19/2024

Section 7. DOCUMENTATION SUBMISSION REQUIREMENTS.

Important Information: An application will not be deemed complete until all required documents listed below have been submitted and the application fee is paid in full. All transactions must be completed by 4:00pm. No exceptions. Applicants are strongly encouraged to submit as early as possible to allow time for review and revisions. Partial applications cannot be processed. Failure to submit a complete application prior to 4:00pm on a deadline date will result in delays to the assigned hearing date.

<input checked="" type="checkbox"/>	Submit two (2) paper copies collated, single sided and bound together of all the documents listed below, <u>AND</u> one (1) digital copy on a thumb/flash drive in PDF format of all documents listed below. <i>No emails.</i>
<input checked="" type="checkbox"/>	Historic Conservation Board hearing application; pages 1-2 only. The instruction pages should not be included in your submission.
<input checked="" type="checkbox"/>	Adjudication Letter <u>AND</u> worksheet issued by the Department of City Planning & Engagement – Urban Conservator’s Office. Provide all documents requested on the worksheet.
<input checked="" type="checkbox"/>	A written statement explaining how the proposed project meets the applicable Historic Conservation Guidelines and, if requested, Zoning relief. Separate instructions for preparing this statement are attached. <i>If you fail to follow the instructions for your type of request(s), your application may be denied.</i>
<input type="checkbox"/>	Applications requesting development permission in a Hillside Overlay District must meet the additional requirements found in Cincinnati Municipal Code 1433-15. <i>Please ensure your application meets these requirements.</i>
<input checked="" type="checkbox"/>	All documents (forms, letters, etc.) must be formatted to 8.5x11. Font no smaller than size 11. Plans or drawings may be formatted to 11x17 or 12x18. <i>No larger sizes will be accepted.</i>
<input checked="" type="checkbox"/>	Accurate drawings, plans or surveys (including a graphic scale) of existing and proposed project showing parcel lines, boundaries, dimensions, areas, topography, and frontage of the property involved, as well as the location and dimensions of all primary and accessory structures from the nearest property lines. Provide all parcels and structures adjacent to the site. When landscaping is required by the zoning code, a landscaping plan must be provided.
<input checked="" type="checkbox"/>	Detailed information (such as drawings, elevations with measurements, specifications) fully depicting the exterior and/or interior appearance of the existing and proposed project, including parking and access, exterior lighting, landscaping, signs, roof and floor plans involved in the application. Provide labeled photographs of existing conditions of all sides/directions of the structure/property.
<input checked="" type="checkbox"/>	The Hamilton County Auditor’s record showing ownership of the property. If the Hamilton County Auditor’s official records do not list the applicant or owner as the owner of the property, please provide a lease, contract to purchase, or other agreement demonstrating the applicant or owner’s legal basis to seek the relief requested.
<input checked="" type="checkbox"/>	A list of witnesses, expert witnesses, or legal counsel who you expect to testify at the hearing on this application. Please provide names and email addresses.
<input checked="" type="checkbox"/>	Other documents or information you intend to introduce at the hearing on this application.
<input checked="" type="checkbox"/>	A non-refundable application fee - a check made payable to “City of Cincinnati.”

To help avoid delays, it is strongly suggested that you present your application to neighboring property owners and any interested neighborhood community groups prior to the hearing on your application. This will give you a prior opportunity to address your neighbors’ concerns or objections and can facilitate the approval of your application.

ADJUDICATION/DENIAL LETTER

Date: February 15, 2024

Location: 1542 Pleasant Street

Request: COA

Zoning District: CC-P/ Over-the-Rhine Historic District

The City of Cincinnati appreciates receiving information regarding your proposed project. The purpose of this letter is to inform you that your proposed project requires a Certificate of Appropriateness from the Historic Conservation Board, as it is within a local historic district and involves exterior alterations to the building, specifically, projecting sign with LED neon illumination.

All documents **that are checked** on the “Checklist for Historic Conservation Board” document are a required part of the submission, and the submission will not be considered complete unless all of these documents are included. When you submit the copies of the application, the “Checklist” Sheet must be submitted as well. The application can be found at this link: <https://www.cincinnati-oh.gov/sites/planning/assets/HCB%20Application%20Revised%202.2.22%20Hyperlink.pdf>.

All deadlines for upcoming Historic Conservation Board hearings can be found <https://www.cincinnati-oh.gov/planning/historic-conservation/historic-conservation-board/>. **Applications must be submitted no later than 3pm on the deadline date.**

The applications and documents required will be turned into the *Law Department- Office of Administrative Boards*. Their office is located on the 5th floor of 805 Central Avenue in the Permit Center. Applications can be turned in **no later than 3pm on the deadline date**. You must contact Kasandra Maynes at 513-352-1559 or Kasandra.Maynes@cincinnati-oh.gov for submittal.

You may also contact me at the information listed below with historic conservation or zoning questions, concerns or to make an appointment.

Sincerely,



Douglas Owen

Urban Conservator

(p): 513-352-4848

(e): douglas.owen@cincinnati-oh.gov

Checklist for Historic Conservation Board Hearing Application

The Historic Conservation Office will provide this list with the required items checked off when an Adjudication letter is issued. All items checked must be submitted to the Law Department with submission or the application will not be accepted.

- 8 business days before the hearing date 10 hard copies and a digital copy in one pdf for the final board packet. Hard copies must be formatted and retain the proper scale on sheets no larger than 11x17 or 12x18.
- Non-Refundable Application Fee. Checks made payable to the City of Cincinnati. \$ 642.80

All Drawings and Plans must include the following

- ✓ A graphic scale required on all drawings
- ✓ North arrows on all site, context and floor plans
- ✓ Elevations labeled with North, South, East West, front, side and rear labels
- ✓ Street names labeled
- ✓ Date and/or revision dates

Architectural Drawings and Plans

- An index of drawings located on the first sheet
- Context Map showing the building within at least a block of context
- Existing site plans
- Proposed site plans
 - All site plans must have*
 - ✓ *Parcel/boundary lines*
 - ✓ *Building footprints and dimensions labeled*
 - ✓ *Setback dimensions from all property lines labeled*
 - ✓ *Existing and proposed principal and accessory buildings, including location, dimensions, and height labeled;*
 - ✓ *All properties and their structures immediately adjacent to the site*
 - ✓ *Location and placement of exterior utilities and vents*
- Existing elevation drawings (At minimum must provide photographs of existing conditions of all elevations)
- Proposed elevation drawings
 - All elevations (existing and proposed) must have*
 - ✓ *Total Height from grade to top of the building*
 - ✓ *Total height- ASL (Above Sea Level)*
 - ✓ *Materials labeled*
 - ✓ *Location and placement of exterior utilities and vents*
- Existing floor plans and roof plans (with chimney locations)
- Proposed floor plans and roof plans (with chimney locations)
 - All floor(existing and proposed) plans must have*
 - ✓ *Residential and Commercial Spaces labeled. Residential Spaces must be numbered.*
 - ✓ *Square feet of commercial spaces listed*
 - ✓ *Location of trash storage and Utilities*
 - ✓ *Location and placement of exterior utilities and vents*

- Site section and/or Site elevations including any adjacent properties
- Driveways, sidewalks, walkways, terraces, and other paved surfaces
- Existing and proposed accessory structures, including walls, fences, porches, lighting, signs, and other site improvements;
- Existing and proposed landscape areas and materials, if proposed to be altered;
- Proposed materials, textures, and colors. Include make, model and series for proposed materials
- Labeled photos of all sides of the building
- Labeled photos of 1 block streetscape context in all directions
- Site line drawings for any roof additions, roof decks, utilities.
- A color rendering, axonometric drawings and/or perspective of the proposed construction (required on infill projects)

Required if applicable to the project

- Historic Sanborn Maps of the site
- Window brochures and cut sheet
- Roof product information (brochure)
- Garage door brochures
- Sample materials or color samples. _____
- Fence drawings of style, fence brochures or photo of a sample fence
- Signs; drawings, photo showing the sign on the building, mounting info, materials, colors and illumination
- Mature tree removal requires a letter from an arborist stating its poor health
- All written correspondence submitted by the applicant and other affected persons
- Tentative project schedule
- Egress Plan/Route to Building Code Compliance (roof decks, multi-family developments)
- _____
- _____
- _____

Demolition (full or partial) for Historic Conservation Districts and Landmarks

- Demolition Case Sheet and all required information listed on the sheet unless otherwise not required by the Urban Conservator in writing and provided with application.
- Statement of plans for the property after demolition.

Hillside Overlay Zone (CZC § 1433)

- A development plan, accompanied by a property survey, showing existing vegetation and proposed development, and where applicable, streets, drives, parking areas, walkways, heights of structure(s), location of structures, elevation and setback of proposed buildings, drainage, existing contours and proposed grading and new landscaping plans, proposed uses and square footage of uses and recreational facilities;
- A preliminary geotechnical evaluation;
- A determination of the maximum building envelope;
- Average slope/grade of the property; and
- Graphic illustrations demonstrating that the proposed improvement or new structure has not exceeded the maximum building envelope

For additional questions about this checklist contact Urban Conservator at 513-352-4848 or urban.conservator@cincinnati-oh.gov

Note: The aforementioned information is general in nature. Additional information may be required by the Urban Conservator once the application is submitted. Please use this list to plan for the potential documents that could be required for a submission.


Brigid Kelly, Hamilton County Auditor

generated on 2/23/2024 9:34:34 AM EST

Property Report

Parcel ID 081-0002-0547-00 **Address** 1537 RACE ST **Index Order** Parcel Number **Tax Year** 2023 Payable 2024

Property Information

Tax District 001 - CINTI CORP-CINTI CSD	School District CINCINNATI CSD	Images/Sketches 
Appraisal Area 01800 - OVER THE RHINE Sales	Auditor Land Use 480 - COMMERCIAL WAREHOUSE	
Owner Name and Address RACE & VINE OFFICES LLC 1203 WALNUT ST 4TH CINCINNATI OH 45202 (call 946-4015 if incorrect)	Tax Bill Mail Address RACE & VINE OFFICES LLC 1203 WALNUT ST 4TH CINCINNATI OH 45202 (Questions? 946-4800 or treasurer.taxbills@hamilton-co.org)	
Assessed Value 84,410	Effective Tax Rate 82.074213	Total Tax \$7,267.47
Property Description RACE ST 0.1509 AC S18 T4 FR1		

Appraisal/Sales Summary

Year Built	1900
Total Rooms	0
# Bedrooms	0
# Full Bathrooms	0
# Half Bathrooms	0
Last Transfer Date	8/29/2018
Last Sale Amount	\$0
Conveyance Number	181488
Deed Type	LE - Limited Warranty Deed (EX)
Deed Number	
# of Parcels Sold	1
Acreage	0.151

Tax/Credit/Value Summary

Board of Revision	No
Rental Registration	No
Homestead	No
Owner Occupancy Credit	No
Foreclosure	No
Special Assessments	Yes
Market Land Value	188,670
CAUV Value	0
Market Improvement Value	662,030
Market Total Value	850,700
TIF Value	0
Abated Value	609,520
Exempt Value	0
Taxes Paid	\$3,644.91

Notes

** 7/2021 - 10YR CRA Abatement - 100% of Improvement - Term TY2020 thru 2029, back to taxable 2030 payable 2031 **2018 8/20 CG-PER B/S FOR TY 2019-VOID PARS 34 & 328/NEW PAR 547

Structure List

Structure Name	Use Code	Finished Sq. Ft.	Year Built
Structure 1	480 COMMERCIAL WAREHOUSE	13,605	1900

Commercial Appraisal Data

Section	Occupancy	Finished Area (sq. ft.)	Story Height	Stories
Section 1	353 Retail Store	4,625	12	1
Section 2	352 Multiple Res (Low Rise)	8,980	10	2

No Proposed Levies Found

No Passed Levies Found

This is an estimated levy payment based on the current value of your property. Actual tax amounts per tax year may vary based on changes in property valuation and based on whether a parcel receives any abatement, credit, or reduction during the levy period.

Effective for the tax year 2005, Ohio's biennial budget bill, Amended Substitute House Bill 66, signed by the Governor on June 30, 2005, terminates the 10 percent real property tax rollback for the commercial and industrial classes of property, and agricultural property used for the commercial production of timber.

Effective for the tax year 2013, Ohio's biennial budget bill, House Bill 59, signed by the Governor on June 30, 2013, terminates the 10 percent real property tax rollback and the 2.5 percent homestead credit on all additional or replacement levies passed at the November 5, 2013 election or after. As a result of this legislation, those same levies will not qualify for the stadium tax credit.

Existing and renewal levies, as well as levies passed at the May 7, 2013 and August 6, 2013 elections will qualify for the credits. Residential and most agricultural properties with qualifying levies will receive what is now the Non-Business Credit Rollback Factor. Owner occupied residential dwellings with qualifying levies will receive what is now the Owner Occupancy Credit Rollback Factor, as well as the stadium tax credit.

Transfer History

Year	Conveyance #	Selling Price	Transfer Date	Previous Owner	Current Owner
2018	181488	0	8/29/2018	RACE & VINE OFFICES LLC	RACE & VINE OFFICES LLC
2018	181344	0	8/28/2018	RACE & VINE OFFICES LLC	RACE & VINE OFFICES LLC

Value History

Tax Year	Assessed Date	Land	Improvements	Total	CAUV	Reason for Change
2023	9/22/2023	188,670	662,030	850,700	0	30 New Construction - Full Value
2023	9/5/2023	188,670	594,630	783,300	0	120 Reappraisal, Update or Annual Equalization

Value History

Year	Date	Value	Value	Value	Description
2022	8/1/2022	181,410	610,990	792,400	0 31 New Construction - Partial Value
2021	11/4/2021	181,410	316,680	498,090	0 31 New Construction - Partial Value
2021	11/4/2021	181,410	197,720	379,130	0 50 Changes to/from Exempt Property
2020	8/18/2021	181,410	197,720	379,130	0 31 New Construction - Partial Value
2020	9/24/2020	181,410	197,720	379,130	0 31 New Construction - Partial Value
2020	8/22/2020	181,410	52,510	233,920	0 120 Reappraisal, Update or Annual Equalization
2019	2/21/2019	145,130	42,010	187,140	0 130 Annual Maintenance on Splits & Combines

Board of Revision Case History

Case Number	Date Filed	Withdrawn	**Counter Complaint Filed	*Hearing Date/Time	Value Challenged	Value Requested	Value Decided by BOR	***Date Resolved
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*Once your hearing has been scheduled, you will receive a **Notice of Hearing** by certified mail, and the Scheduled Hearing Date and Time will be populated on this page.
 **A counter-complaint may be filed by a party with interest in the value of your property, such as the Board of Education, if you request a decrease of \$50,000 or more in market value.
 ***Please allow four to six weeks to receive your **Notice of Result** by certified mail and to see your result on this page. Your Notice will contain basic facts about appealing your Board of Revision decision, should you wish to do so.

Payment Information

JILL A. SCHILLER, TREASURER

Tax Overview

Mail Payments to:	Hamilton County Treasurer 138 E. Court Street, Room 402 Cincinnati, Ohio 45202
Tax District:	001 - CINTI CORP-CINTI CSD

Tax Lien Pending	No
Tax Lien Sold	No
Full Rate	106.660000
Effective Rate	82.074213
Non Business Credit	0.087768
Owner Occupancy Credit	0.021942
Certified Delinquent Year	
Delinquent Payment Plan	No
TOP (Treasurer Optional Payment)	\$0.00
Note: May represent multiple parcels	

Current Owner(s)	RACE & VINE OFFICES LLC
Tax Bill Mail Address	RACE & VINE OFFICES LLC 1203 WALNUT ST 4TH CINCINNATI OH 45202

Taxable Value

Land	66,030
Improvements	18,380
Total	84,410

Current Year Tax Detail

	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Real Estate			\$4,501.59		\$4,501.59	
Credit			\$1,037.65		\$1,037.65	
Subtotal			\$3,463.94		\$3,463.94	
Non Business Credit			\$0.00		\$0.00	
Owner Occupancy Credit			\$0.00		\$0.00	
Homestead			\$0.00		\$0.00	
Sales CR			\$0.00		\$0.00	
Subtotal	\$0.00	\$0.00	\$3,463.94	\$0.00	\$3,463.94	\$0.00
Interest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Real Estate Paid	\$0.00		\$3,463.94		\$0.00	
Real Estate Owed	\$0.00		\$0.00		\$3,463.94	
Special Assess Paid	\$0.00		\$180.97		\$0.00	
Special Assess Owed	\$0.00		\$0.00		\$158.62	
Total Due	\$0.00		\$3,644.91		\$3,622.56	
Total Paid	\$0.00		\$3,644.91		\$0.00	
Unpaid Delq Contract	\$0.00		\$0.00		\$0.00	
Total Owed	\$0.00		\$0.00		\$3,622.56	

Special Assessment Detail for 55-060 CINCINNATI - Urban Forestry

	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Charge	\$0.00	\$0.00	\$22.35	\$0.00	\$0.00	\$0.00
Interest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Paid	\$0.00		\$22.35		\$0.00	
Owed	\$0.00		\$0.00		\$0.00	

Special Assessment Detail for 55-385 CINCINNATI - OTR Special Improv Dist

	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Charge	\$0.00	\$0.00	\$158.62	\$0.00	\$158.62	\$0.00
Interest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Paid	\$0.00		\$158.62		\$0.00	
Owed	\$0.00		\$0.00		\$158.62	

Payment Information for Current And Prior Year

Date	Half	Prior	1st Half	2nd Half	Surplus
1/26/2024	1 - 2023	\$0.00	\$3,644.91	\$0.00	\$0.00
6/15/2023	2 - 2022	\$0.00	\$0.00	\$4,639.33	\$0.00
1/20/2023	1 - 2022	\$0.00	\$4,661.68	\$0.00	\$0.00
6/21/2022	2 - 2021	\$0.00	\$0.00	\$3,790.14	\$0.00

Payment Information for Current And Prior Year

1/28/2022	1 - 2021	\$0.00	\$3,805.28	\$0.00	\$0.00
6/18/2021	2 - 2020	\$0.00	\$0.00	\$6,057.99	\$0.00
2/5/2021	1 - 2020	\$0.00	\$6,073.13	\$0.00	\$0.00
7/16/2020	2 - 2019	\$0.00	\$0.00	\$3,159.26	\$0.00
1/31/2020	1 - 2019	\$0.00	\$3,159.26	\$0.00	\$0.00

Information believed accurate but not guaranteed. Treasurer disclaims liability for any errors or omissions

Contact the County Treasurer with your tax bill questions at county.treasurer@hamilton-co.org or 513-946-4800

- Current Year
- 2023 Payable 2024
- Prior Year
- 2022 Payable 2023

Tax Distribution Information

Market Value		Assessed Value (35%)		Tax Rate Information	
Land	188,670	Land	66,030	Full Tax Rate (mills)	106.660000
Building	52,510	Building	18,380	Reduction Factor	0.230507
Total	241,180	Total	84,410	Effective Tax Rate (mills)	82.074213
				Non Business Credit	0.087768
				Owner Occupancy Credit	0.021942

Tax Calculations

Half Year Tax Distributions

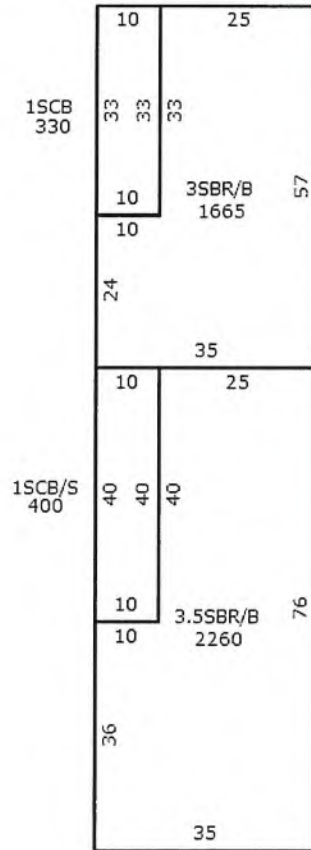
Gross Real Estate Tax	\$9,003.18	School District	\$2,074.23
- Reduction Amount	\$2,075.30	Township	\$0.00
- Non Business Credit	\$0.00	City/Village	\$573.99
- Owner Occupancy Credit	\$0.00	Joint Vocational School	\$0.00
- Homestead	\$0.00	County General Fund	\$95.37
Half Year Real Taxes	\$3,463.94	Public Library	\$69.50
- Sales Tax Credit	\$0.00	Family Service/Treatment	\$11.68
+ Current Assessment	\$180.97	HLTH/Hospital Care-Indigent	\$93.50
+ Delinquent Assessment	\$0.00	Mental Health Levy	\$94.33
+ Delinquent Real Estate	\$0.00	Developmental Disabilities	\$141.88
Semi Annual Net	\$3,644.91	Park District	\$71.39
		Crime Information Center	\$10.40
		Children Services	\$158.17
		Senior Services	\$54.06
		Zoological Park	\$15.44

This shows the most recent tax bill calculation which normally occurs in early December and May. However, adjustments or corrections may have been applied to the tax bill after the initial tax calculation. Go to the Payment Detail tab to view any corrections or adjustments occurring after the initial tax calculation.

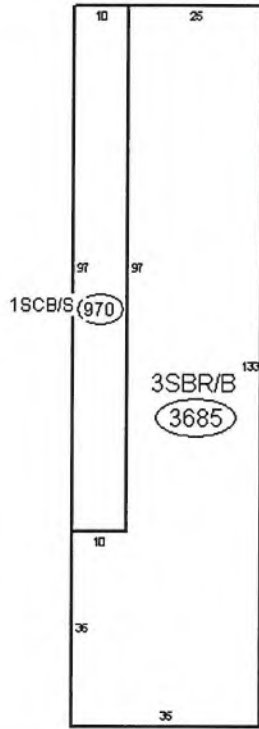
Parcel Photo



Current Parcel Sketch



Legacy Parcel Sketch



Special Assessments

Project	Ord/Res	Description	Certified	End Year	Payoff Amount
55-060		CINCINNATI - Urban Forestry	8/20/2019	2099	\$0.00
55-385	340-2020	CINCINNATI - OTR Special Improv Dist	10/26/2020	2023	\$158.62

Related Names

Name	Relationship	Status
RACE & VINE OFFICES LLC	Parcel Owner	Current



Historic Conservation Board
805 Center Ave
Suite 500
Cincinnati, OH 45202

2/23/2024

RE: Yard & Co
1542 Pleasant St.
Cincinnati, OH 45202

Board Members,

Please accept this letter as a formal petition for a review of parcel 008100020547.

Yard & Co is requesting a new 9 sq ft blade sign that will be externally illuminated with LED faux neon. Yard & Co is one of the only businesses on this stretch of Pleasant St. having an illuminated sign will help their clients be able to safely locate the business.

Classic neon is no longer widely used, due to health, safety, and repair issues. LED faux neon has been quickly replacing the traditional tube neon. The LED neon gives off the same appearance. This new sign will reflect the current code but also show that faux neon is a new safer way to uphold design standards.

By allowing this new LED Faux Neon sign the board is not showing any special privilege to Yard & Co.

Sincerely,

Brooke Alini
Atlantic Sign Company

YARD & CO.

INDEX

SITE PLAN (SATELLITE VIEW)	2
PAGE 2 (CAGIS VIEW)	3
SIMULATED NIGHT VIEW ILLUSTRATION OF SIGN	4
SIGN DETAIL	5
VIEW ACROSS THE STREET, FACING WEST	6
VIEW FACING SOUTH	7
VIEW FACING NORTH	8



2328 Florence Avenue
Cincinnati, OH 45206
(513) 241-6775 | FAX (513) 241-5060
atlanticsigncompany.com

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PAGE
1

APPROVED

SIGNATURE

DATE

CUSTOMER	YARD & COMPANY
LOCATION	1542 PLEASANT ST., CINCINNATI, OH, 45202
SALES REP	DAVID ESTEP
PROJECT MGR.	SALLY LAND
DRAWN BY	GREG ESSERT
DATE	1-5-2024
FILE NAME:	107295_YARD AND COMPANY_OVER-THE-RHINE_PERMITS_P3



9 SQ. FT. 

TOTAL OF 22.75 SQ. FT.



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LED FAUX NEON

SIMULATED NIGHT VIEW



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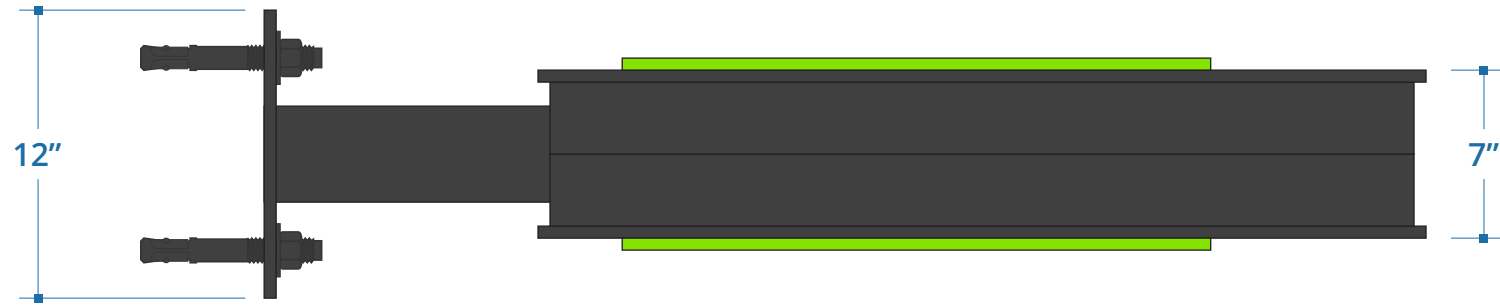


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SQUARE FOOTAGE ALLOWANCES
1 SQUARE FEET ALLOWED PER LINEAR FOOT OF FRONTAGE
FRONTAGE 36'-1" MAX ALLOWED 30 USED 9

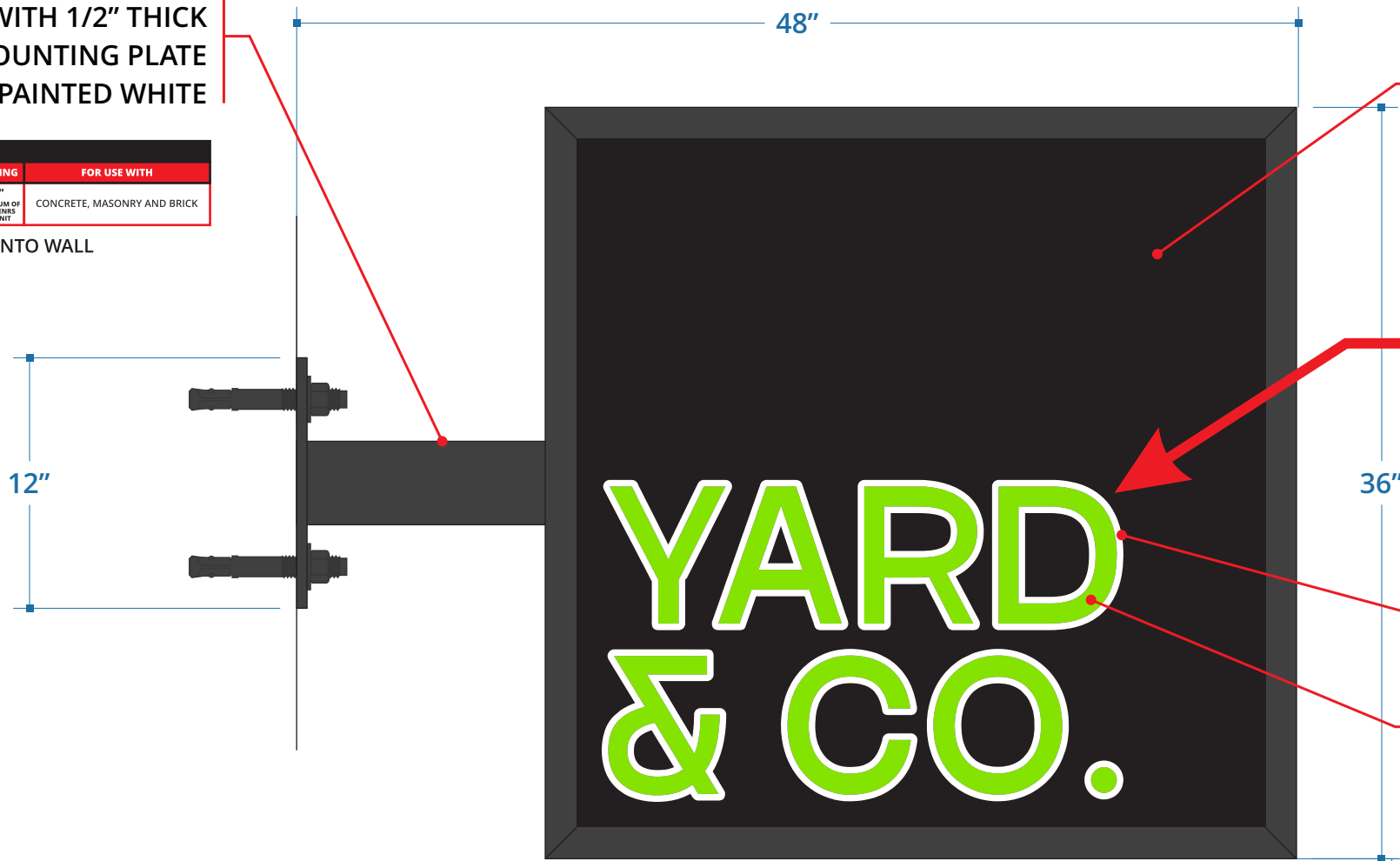


TOP VIEW:
 1 1/2" SCALE

4" SQUARE ALUMINUM
 WITH 1/2" THICK
 MOUNTING PLATE
 ALL PAINTED WHITE

FASTENER SCHEDULE					
TYPE	DIA.	SHEAR LBS.	EMBED	SPACING	FOR USE WITH
 HILTI HLC SLEEVE ANCHOR	3/8"	870	3 3/8"	24" *MINIMUM OF 2 FASTENERS PER UNIT*	CONCRETE, MASONRY AND BRICK

(4) MOUNTING POINTS ON PLATE INTO WALL



FABRICATED ALUMINUM CABINET
 PAINTED BLACK - NON-ILLUMINATED

LED FAUX NEON

5/16" WIDTH LIME GREEN LED FLEX LIGHTING
 BORDERING LIME GREEN VINYL
 (OPTION FOR RGB VERSION)

LIME GREEN VINYL BACKING THE LEDS

("YARD & CO." LOGO IS NOT VECTOR)

120" TO GROUND (MINIMUM)

ORCAL
 751-063
 Lime-Tree Green

FRONT: QUANTITY 1
 1 1/2" SCALE



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VIEW ACROSS THE STREET, FACING WEST



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VIEW FACING SOUTH



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VIEW FACING NORTH



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DATE	1-5-2024
FILE NAME:	107295_YARD AND COMPANY_OVER-THE-RHINE_PERMITS_P3

**APPLICATION FOR
CERTIFICATE OF APPROPRIATENESS
HISTORIC CONSERVATION BOARD PUBLIC HEARING
STAFF REPORT**

APPLICATION #: COA2024004
APPLICANT: Robert Strunc
OWNER: Southern Ohio Housing
ADDRESS: **226 Mohawk Street**
PARCELS: 095-0002-0038
ZONING: UM – Urban Mix
OVERLAYS: Sohn-Mohawk Historic District
COMMUNITY: Sohn-Mohawk
REPORT DATE: February 26, 2024
STAFF REVIEW: Kate Meehan, Zoning Plans Examiner

Existing Conditions

The subject property is situated on the north side of Mohawk Street between its intersection with Hamburg Street on the west and the former Jackson Brewery, located at the end of Mohawk Street to the east, in the Sohn-Mohawk neighborhood. Per the historic guidelines, this is considered Zone 1. The existing 3-story (plus attic) Greek Revival-style brick building was built ca. 1900 according to the Auditor’s website, but appears to be earlier – ca. 1860s, based on the style of building. The property is bordered by existing contributing buildings on the east and west. The building is currently a two-family dwelling, and it is located behind the former Clyffside/Felsenbrau brewing complex on McMicken Ave.

Proposed Conditions

The applicant is proposing to add an inset roof deck on the front roof slope, using the existing parapet as the required guard rail, and adding an additional guard rail at the front. A new doorway in the wall will be created to allow access to the roof deck. The wall facing towards the street will be clad in composite siding. The applicant is also proposing new windows throughout the building, along with simple, cylindrical black light fixtures at the doors. The previously unpainted building will remain unpainted.

Previous Reviews: N/A.

Applicable Zoning Code Sections:

Zoning District: [Section 1410](#) UM - Urban Mix
HCB authority: [Section 1435-05-4](#)
Overlays: [Section 1435](#) Historic Preservation
Historic District/Reg: [Sohn-Mohawk Historic District](#)
COA Standard: [Section 1435-09-2](#) COA; Standard of Review



Figure 1: Location of subject property. The former Jackson Brewery is visible to the right/ east. Aerial Image from CAGIS.



Figure 2: 226 Mohawk Street, front elevation, ca. 2024, facing north. Image provided by applicant.



Figure 3. 226 Mohawk Street, rear elevation, ca. 2024, facing south. Image provided by applicant.

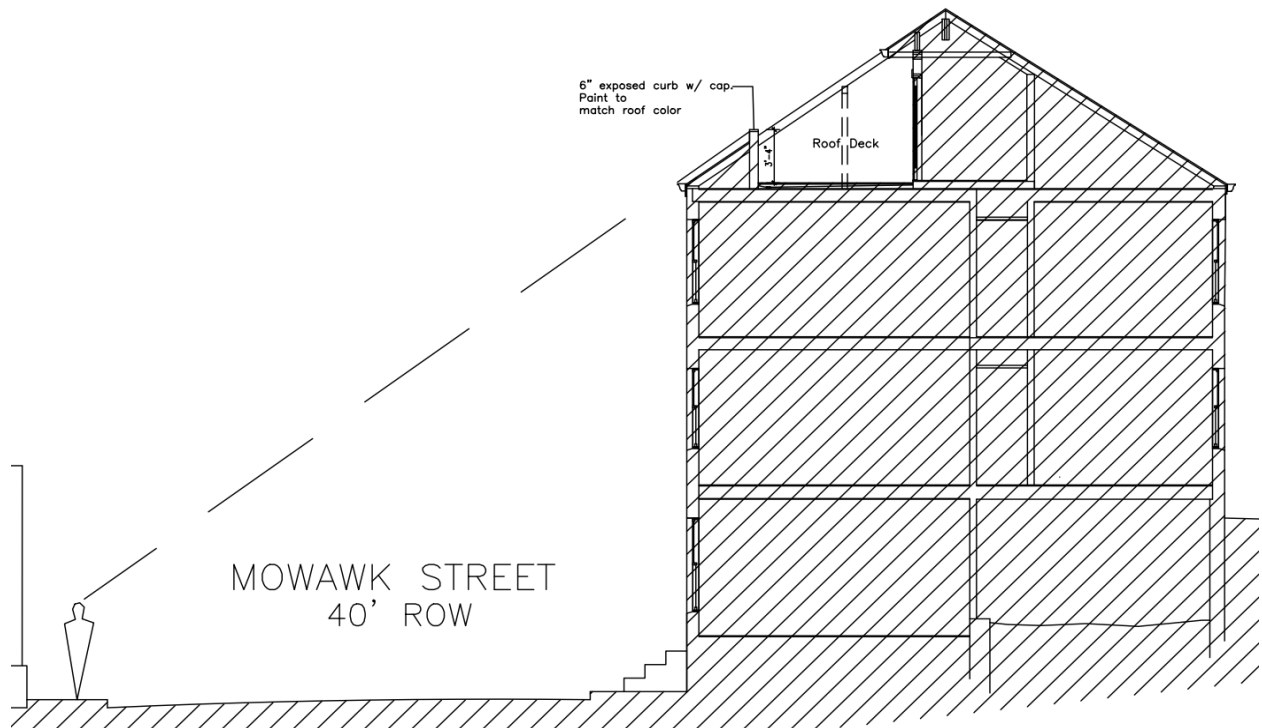


Figure 4. Site line study showing the view from 40' away. The top cap of the guardrail appears to be visible here.

Zoning Review

The project substantially conforms to the Zoning requirements and no Zoning Relief is required.

Certificate of Appropriateness Review:

A COA is required for the proposed rooftop deck installation and replacement windows. The proposed deck and new wall/doors out to the deck will not be highly visible from any surrounding streets. Proposed windows – either the Marvin or Lincoln double-hung windows that are proposed – are on the city’s list of approved windows. The proposed changes substantially conform to the Sohn-Mohawk Historic Conservation Guidelines for Zone 1.

Applicable Guidelines

REHABILITATION

B. Specific Guidelines

Replacement of Residential Windows: *Windows will be double-hung and simulated divided light with no internal grids. Windows will have the appearance of the original wood, divided light windows that are found in most of the tenement buildings on McMicken. Windows may be made of any material that meets these descriptions. Windows should relate in proportion and rhythm to the existing structures. Window sashes will be setback slightly to replicate existing patterns and dimensions found in the district.*

The applicant is proposing to replace the existing windows in the building, which are currently deteriorated wood sash that are 2/2 double-hung sash. Some windows are missing altogether, or glass is missing, and several openings are boarded up. Staff would classify these windows as having intermediate-to-advanced deterioration. The applicant is proposing historically appropriate aluminum-clad wood double-hung windows, either the Marvin or Lincoln Wide-Rail double-hung sash; details of both windows have been provided. Staff recommends these should be 2/2 double-hung sash with simulated divided lights. Simple cylindrical light fixtures by the doors are also proposed; these will be black in color.

The new access door to the proposed rooftop deck will consist of a single sliding door unit accessed from the existing fourth/attic level interior. The door unit will be of aluminum or a wood composite and will match the window color - black. The door will be inset within the original roofline and will not require an access penthouse or raising the roof.

Roofs: *Roofs....will have a pitch that is not visible from street level, but there are examples that deviate from this general rule within the district. Roofs, like the rest of the form, should follow the rhythm, scale and patterns of the district. Flat membrane roofs or pitched metal seam roofs are preferred, but roofs may be made of any material, including “green roofs.”*

The existing roof is a side-gable covered in asphalt shingles. The proposed roof deck will be located on the front roof slope of the existing building. The deck will be inset within the existing structure, taking up part of the current attic space. The existing cornice and side walls will remain and serve as the required guardrail. A supplemental guardrail will be installed just beneath the front roof line and will be painted to match the roof. The roof deck will not be visible from Mohawk Street per the site line study.

The existing roofing material will remain as is – there are no proposals to re-roof the building. There are no chimneys extant on the roof.

ADDITIONS

B. Specific Guidelines

Rooftop Decks: *Rooftop decks are acceptable. Design for new construction should ensure that neither railings, access structures, or any element of the deck can be seen from within 40 feet from a street-level vantage point, positioned immediately across from the street of the primary street-facing façade. This same criteria is to be applied to the secondary street side of corner buildings. Original roofline should be maintained.*

The rooftop deck will not be visible from the principal façade as discussed above. The guard rail at the front of the deck will be hidden by the lower portion of the roof and will be painted to match the roof. The roofline will remain the same. There are buildings on either side of this one.

Other Considerations:

Prehearing Results: A prehearing was held on February 21, 2024. No one from the applicant team or the public was present.

Comments Provided to Staff: N/A

Consistency with *Plan Cincinnati (2012)*:
“Sustain” Initiative Area “Preserve our built history”

Recommendation:

Staff recommends the Historic Conservation Board take the following actions based on plans by Michael Stehlin, Architect, dated 1.18.24:

I. CERTIFICATE OF APPROPRIATENESS

- A. **APPROVE** a Certificate of Appropriateness for 226 Mohawk Street including any revisions submitted for permit subject to staff review and approval with the following conditions:
1. Replacement windows on the front of the building should be 2/2 double-hung sash to match the historic window configuration. Recommend double-hung 1/1 sash could be used on the rear or side where they are not visible from the street.

2. Recommend the guardrail is removed and the roof serves as the guardrail, or that it be pushed back 6" so as to reduce its visibility. Per the site line drawing in Figure 4, the top of the cap appears to be visible.
3. The building permits must be issued within two years of the decision date or the Certificate of Appropriateness shall expire.

B. **FINDING:** The Board makes this determination per Section 1435-09-2:

1. That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

Historic Conservation Board

Hearing Application



II Centennial Plaza
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202
Monday- Friday 7:30 am- 4 pm
513-352-1559

Section 1. SUBJECT PROPERTY

ADDRESS 226 Mohawk St COMMUNITY OVER THE Rhine
PARCEL ID(S) 009500020038 HISTORIC DISTRICT " " "
BASE ZONING CLASSIFICATION UM HILLSIDE DISTRICT: Yes No
 Non-Residential Project Residential Project (RCO) One -, Two -, and Three- Family Dwelling

Section 2. APPLICANT

NAME Robert Strune CONTACT PERSON (if legal entity) _____
ADDRESS 7680 Bluecrystal Ct CITY Cinci STATE OH ZIP 45224
EMAIL Robert.Strune@gmail.com RELATIONSHIP TO OWNER (if not owner) drafting
TELEPHONE 513-708-2974

Section 3. OWNER

NAME Southern Ohio Housing CONTACT PERSON (if legal entity) Patrick Giles
ADDRESS 2101 Kamskill Ave CITY Washington OH STATE OH ZIP 43160
EMAIL P.Giles@sugarcreek.com RELATIONSHIP TO OWNER (if not owner) _____
TELEPHONE 513 678 1129

Section 4. NATURE OF CERTIFICATE OF APPROPRIATENESS REQUESTED

A certificate of appropriateness is NOT being requested. (Proceed to Section 5.)

A certificate of appropriateness is being requested for:

New Construction Alteration Demolition

BRIEF DESCRIPTION OF PROJECT (Do not write "see attached" or leave blank.)

Replace All Windows with Alum clad Double hung in original openings.
Cut in New Porch Deck on TOP FLOOR - New interior finishes throughout.

Section 5. NATURE OF ZONING RELIEF REQUESTED

Zoning relief is NOT being requested, or select all that apply:
 Variance Special Exception Conditional Use Use Variance
 Expansion or Substitution of Non-Conforming Use Hillside Overlay District Permission
 Urban Design Overlay District Permission DD District Phased Development Approval

BRIEF DESCRIPTION OF ZONING RELIEF REQUESTED (Do not write "see attached" or leave blank.)

Section 6. SIGNATURE.

I certify that all statements and documents that I provide with reference to this application are accurate, complete, and true to the best of my knowledge and belief. I further acknowledge that my application shall be deemed incomplete for my failure to timely comply with any requirement of this application, which non-compliance may result in delays in the scheduling and resolution of my application.

Print Name Robert Strune Signature [Signature] Date 1/24/24

Section 7. DOCUMENTATION SUBMISSION REQUIREMENTS.

Important Information: An application will not be deemed complete until all required documents listed below have been submitted and the application fee is paid in full. All transactions must be completed by 4:00pm. No exceptions. Applicants are strongly encouraged to submit as early as possible to allow time for review and revisions. Partial applications cannot be processed. Failure to submit a complete application prior to 4:00pm on a deadline date will result in delays to the assigned hearing date.

<input type="checkbox"/>	Submit two (2) paper copies collated, single sided and bound together of all the documents listed below, AND one (1) digital copy on a thumb/flash drive in PDF format of all documents listed below. <i>No emails.</i>
<input checked="" type="checkbox"/>	Historic Conservation Board hearing application; pages 1-2 only. The instruction pages should not be included in your submission.
<input checked="" type="checkbox"/>	Adjudication Letter AND worksheet issued by the Department of City Planning & Engagement – Urban Conservator’s Office. Provide all documents requested on the worksheet.
<input checked="" type="checkbox"/>	A written statement explaining how the proposed project meets the applicable Historic Conservation Guidelines and, if requested, Zoning relief. Separate instructions for preparing this statement are attached. <i>If you fail to follow the instructions for your type of request(s), your application may be denied.</i>
<input type="checkbox"/>	Applications requesting development permission in a Hillside Overlay District must meet the additional requirements found in Cincinnati Municipal Code 1433-15. <i>Please ensure your application meets these requirements.</i>
<input checked="" type="checkbox"/>	All documents (forms, letters, etc.) must be formatted to 8.5x11. Font no smaller than size 11. Plans or drawings may be formatted to 11x17 or 12x18. <i>No larger sizes will be accepted.</i>
<input checked="" type="checkbox"/>	Accurate drawings, plans or surveys (including a graphic scale) of existing and proposed project showing parcel lines, boundaries, dimensions, areas, topography, and frontage of the property involved, as well as the location and dimensions of all primary and accessory structures from the nearest property lines. Provide all parcels and structures adjacent to the site. When landscaping is required by the zoning code, a landscaping plan must be provided.
<input checked="" type="checkbox"/>	Detailed information (such as drawings, elevations with measurements, specifications) fully depicting the exterior and/or interior appearance of the existing and proposed project, including parking and access, exterior lighting, landscaping, signs, roof and floor plans involved in the application. Provide labeled photographs of existing conditions of all sides/directions of the structure/property.
<input checked="" type="checkbox"/>	The Hamilton County Auditor’s record showing ownership of the property. If the Hamilton County Auditor’s official records do not list the applicant or owner as the owner of the property, please provide a lease, contract to purchase, or other agreement demonstrating the applicant or owner’s legal basis to seek the relief requested.
<input checked="" type="checkbox"/>	A list of witnesses, expert witnesses, or legal counsel who you expect to testify at the hearing on this application. Please provide names and email addresses.
<input type="checkbox"/>	Other documents or information you intend to introduce at the hearing on this application.
<input type="checkbox"/>	A non-refundable application fee - a check made payable to “City of Cincinnati.”

To help avoid delays, it is strongly suggested that you present your application to neighboring property owners and any interested neighborhood community groups prior to the hearing on your application. This will give you a prior opportunity to address your neighbors’ concerns or objections and can facilitate the approval of your application.

ADJUDICATION/DENIAL LETTER

Date: November 13, 2023

Location: 226 Mohawk St.

Request: COA

Zoning District: Urban Mix (UM) / Sohn-Mohawk Historic District

The City of Cincinnati appreciates receiving information regarding your proposed project. The purpose of this letter is to inform you that your proposed project requires a Certificate of Appropriateness from the Historic Conservation Board, as it is within a local historic district and involves exterior alterations to the building, specifically, a rooftop cut out with rooftop deck, and replacement windows.

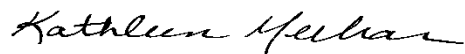
All documents **that are checked** on the “Checklist for Historic Conservation Board” document are a required part of the submission, and the submission will not be considered complete unless all of these documents are included. When you submit the copies of the application, the “Checklist” Sheet must be submitted as well. The application can be found at this link: <https://www.cincinnati-oh.gov/sites/planning/assets/HCB%20Application%20Revised%202.2.22%20Hyperlink.pdf>.

All deadlines for upcoming Historic Conservation Board hearings can be found <https://www.cincinnati-oh.gov/planning/historic-conservation/historic-conservation-board/>. **Applications must be submitted no later than 3pm on the deadline date.**

The applications and documents required will be turned into the Law Department- Office of Administrative Boards. Their office is located on the 5th floor of 805 Central Avenue in the Permit Center. Applications can be turned in no later than 3pm on the deadline date. You must contact Kasandra Maynes at 513-352-1559 or Kasandra.Maynes@cincinnati-oh.gov for submittal.

You may also contact me at the information listed below with historic conservation or zoning questions, concerns or to make an appointment.

Sincerely,



Kathleen (Kate) Meehan
Zoning Plan Examiner
(p): 513-352-2441
(e): Kathleen.meehan@cincinnati-oh.gov

Checklist for Historic Conservation Board Hearing Application

The Historic Conservation Office will provide this list with the required items

checked off when an Adjudication letter is issued. All items checked must be submitted to the Law Department with submission or the application will not be accepted.

- 8 business days before the hearing date 10 hard copies and a digital copy in one pdf for the final board packet. Hard copies must be formatted and retain the proper scale on sheets no larger than 11x17 or 12x18.
- Non-Refundable Application Fee. Checks made payable to the City of Cincinnati. \$ 642.80

All Drawings and Plans must include the following

- ✓ A graphic scale required on all drawings
- ✓ North arrows on all site, context and floor plans
- ✓ Elevations labeled with North, South, East West, front, side and rear labels
- ✓ Street names labeled
- ✓ Date and/or revision dates

Architectural Drawings and Plans

- An index of drawings located on the first sheet
- Context Map showing the building within at least a block of context
- Existing site plans
- Proposed site plans
 - All site plans must have*
 - ✓ *Parcel/boundary lines*
 - ✓ *Building footprints and dimensions labeled*
 - ✓ *Setback dimensions from all property lines labeled*
 - ✓ *Existing and proposed principal and accessory buildings, including location, dimensions, and height labeled;*
 - ✓ *All properties and their structures immediately adjacent to the site*
 - ✓ *Location and placement of exterior utilities and vents*
- Existing elevation drawings (At minimum must provide photographs of existing conditions of all elevations)
- Proposed elevation drawings
 - All elevations (existing and proposed) must have*
 - ✓ *Total Height from grade to top of the building*
 - ✓ *Total height- ASL (Above Sea Level)*
 - ✓ *Materials labeled*
 - ✓ *Location and placement of exterior utilities and vents*
- Existing floor plans and roof plans (with chimney locations)
- Proposed floor plans and roof plans (with chimney locations)
 - All floor(existing and proposed) plans must have*
 - ✓ *Residential and Commercial Spaces labeled. Residential Spaces must be numbered.*
 - ✓ *Square feet of commercial spaces listed*
 - ✓ *Location of trash storage and Utilities*
 - ✓ *Location and placement of exterior utilities and vents*

- Site section and/or Site elevations including any adjacent properties
- Driveways, sidewalks, walkways, terraces, and other paved surfaces
- Existing and proposed accessory structures, including walls, fences, porches, lighting, signs, and other site improvements;
- Existing and proposed landscape areas and materials, if proposed to be altered;
- Proposed materials, textures, and colors. Include make, model and series for proposed materials
- Labeled photos of all sides of the building
- Labeled photos of 1 block streetscape context in all directions
- Site line drawings for any roof additions, roof decks, utilities.
- A color rendering, axonometric drawings and/or perspective of the proposed construction (required on infill projects)

Required if applicable to the project

- Historic Sanborn Maps of the site
- Window brochures and cut sheet
- Roof product information (brochure)
- Garage door brochures
- Sample materials or color samples. _____
- Fence drawings of style, fence brochures or photo of a sample fence
- Signs; drawings, photo showing the sign on the building, mounting info, materials, colors and illumination
- Mature tree removal requires a letter from an arborist stating its poor health
- All written correspondence submitted by the applicant and other affected persons
- Tentative project schedule
- Egress Plan/Route to Building Code Compliance (roof decks, multi-family developments)
- _____
- _____
- _____

Demolition (full or partial) for Historic Conservation Districts and Landmarks

- Demolition Case Sheet and all required information listed on the sheet unless otherwise not required by the Urban Conservator in writing and provided with application.
- Statement of plans for the property after demolition.

Hillside Overlay Zone (CZC § 1433)

- A development plan, accompanied by a property survey, showing existing vegetation and proposed development, and where applicable, streets, drives, parking areas, walkways, heights of structure(s), location of structures, elevation and setback of proposed buildings, drainage, existing contours and proposed grading and new landscaping plans, proposed uses and square footage of uses and recreational facilities;
- A preliminary geotechnical evaluation;
- A determination of the maximum building envelope;
- Average slope/grade of the property; and
- Graphic illustrations demonstrating that the proposed improvement or new structure has not exceeded the maximum building envelope

For additional questions about this checklist contact Urban Conservator at 513-352-4848 or urban.conservator@cincinnati-oh.gov

Note: The aforementioned information is general in nature. Additional information may be required by the Urban Conservator once the application is submitted. Please use this list to plan for the potential documents that could be required for a submission.

01-21-24

226 MOHAWK STREET

Historic Conversation Board Hearing

BUILDING OWNER:

Southern Ohio Holding Organization LLC
2101 Kenskill Ave.
Washington Courthouse OH 43160

ARCHITECT:

Michael Stehlin, AIA
1222 Race Street
Cincinnati, OH 45202
ms@pastarc.com
513.784.9522

Meeting of Guidelines Statement:

Our goal with this project is to reduce the number of units to (1) in 226 building while maintaining the existing building footprints and overall mass. The previous permits which were partially executed cut the building into as many as seven units. The existing front facades of the building to remain unchanged below gutter line. Existing wood decks and stairs, unseen from ROW and constructed under previous permits will remain.

We are adding a cut in roof deck in 226 building.

This change will be mostly out of site. The reduced width of ROW on Mohawk doesn't allow one to get far back enough to really see the roof slope of this unit. The hgt of visible curb/guardrail will be made as short as possible and will be painted to match roof color.

All the windows in the project will be new. Alum clad MARVIN or Lincoln windows products (see attached

The sections and elevations of these units are provided.)

The building does not have any decorative elements such as cornices to restore.

Existing modern gutter on 226 will remain.

All steps will be taken to ensure as much of the original fabric will remain.

01-21-24

226 MOHAWK STREET
Historic Conversation Board Hearing

BUILDING OWNER:

Southern Ohio Holding Organization LLC
2101 Kenskill Ave.
Washington Courthouse OH 43160

ARCHITECT:

Michael Stehlin, AIA
1222 Race Street
Cincinnati, OH 45202
ms@pastarc.com
513.784.9522


Witnesses Likely to Appear:

Robert Strunc
7680 Bluecrystal Ct.
Cincinnati OH 45224
513-708-2974

Property Report

Parcel ID 095-0002-0038-00	Address 226 MOHAWK ST	Index Order Parcel Number	Tax Year 2023 Payable 2024
--------------------------------------	---------------------------------	-------------------------------------	--------------------------------------

Property Information

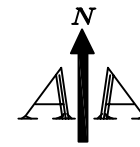
Tax District 001 - CINTI CORP-CINTI CSD	School District CINCINNATI CSD	Images/Sketches 
Appraisal Area 01801 - OVER THE RHINE 01	Auditor Land Use 499 - OTHER COMM STRUCTURE	
Owner Name and Address SOUTHERN OHIO HOLDING ORGANIZATION LLC 2101 KENSKILL AVE WASHINGTON COURT HOUSE OH 43160 (call 946-4015 if incorrect)	Tax Bill Mail Address SOUTHERN OHIO HOLDING ORGANIZATION LLC 2101 KENSKILL AVE WASHINGTON COURT HOUSE OH 43160 (Questions? 946-4800 or treasurer.taxbills@hamilton-co.org)	
Assessed Value 73,580	Effective Tax Rate 82.074213	Total Tax \$6,058.18

Property Description 226 MOHAWK ST 30 X 90 LOT 20 PT 19 WOODRUFFS- MUNSONS PARS 38-39 CONS
--

Year Built	1900
Total Rooms	0
# Bedrooms	0
# Full Bathrooms	0
# Half Bathrooms	0
Last Transfer Date	2/22/2023
Last Sale Amount	\$500,000
Conveyance Number	324922
Deed Type	WD - Warranty Deed (Conv)
Deed Number	
# of Parcels Sold	2
Acreage	0.065

Board of Revision	No
Rental Registration	No
Homestead	No
Owner Occupancy Credit	No
Foreclosure	No
Special Assessments	Yes
Market Land Value	32,750
CALV Value	0
Market Improvement Value	177,490
Market Total Value	210,240
TIF Value	0
Abated Value	0
Exempt Value	0
Taxes Paid	\$0.00

Notes



ANDREW R. AMENT,
 LAND SURVEYOR, PSC
 OHIO-KENTUCKY
 655 Fair Oaks Lane
 Edgewood, Kentucky 41017
 amentsurveying@gmail.com
 O: (859) 341-7878 F: (859) 341-7827

SITE PLAN

KUNST DEVELOPMENT
 222-226 MOHAWK STREET
 HAMILTON COUNTY
 OVER THE RHINE CINCINNATI, OH 452114

LOT 17 18 19 20
 WOODRUFF AND MUNSON SUBDIVISION
 DEED BOOK 14039 PAGE 2101-2103

SURVEYOR'S CERTIFICATE

I hereby certify that the survey depicted by this plat was done by persons under my direct supervision. The unadjusted precision ratio meets or exceeds minimum standards. The survey as shown hereon is a Class A survey and the accuracy and precision of said survey meets all the specifications of this class.

Field work was completed on 10-2-2019.
 Date of Plat of Map is 10-3-2019.

Andrew R. Ament PLS

Andrew R Ament, Land Surveyor, PSC
 Registered Land Surveyor
 Registration No. OH 5684, KY 1729

Notes:

- All streets are public unless otherwise noted.
- Survey was performed using a dual frequency Topcon Hiper SR in Ohio State Plane South Zone, NAD 83 & NAVD 88, utilizing Geoid12A.

0' 20' 40'

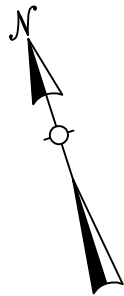


GRAPHIC SCALE IN FEET

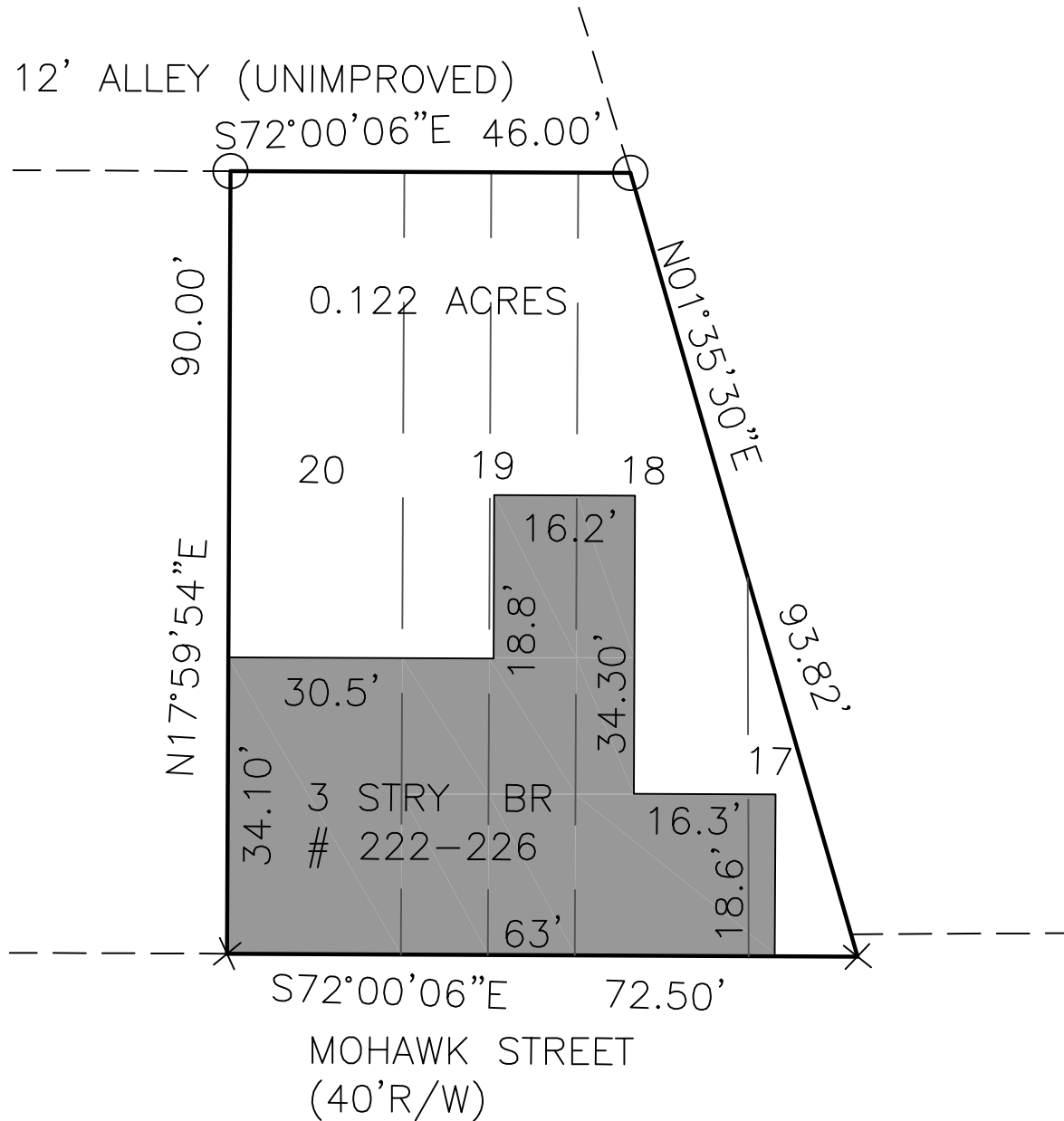
LEGEND

● Iron Pin (fd)	Concrete
○ Iron Pin (set), being 1", 30" long with cap (#5684)	Structure
⊙ Iron Pipe (fd) OD size per plan	Asphalt
⊠ Stone (fd)	Decking
▲ P.K., RR Stake or Mag Nail (fd)	Gravel
△ P.K., RR Stake or Mag Nail (set)	
□ Hub or Stake (set)	
⊗ Notch found in concrete	
— Lot Lines	
— Ownership Lines	
—u— Overhead Utilities	

DRAWN: MPN CHECKED: ARA SCALE: 1"=40'



BEARINGS BASED ON
 WOODRUFF & MUNSON
 SUBDIVISION
 DB 107 PG 214



Note: All streets are public unless otherwise noted.

RENOVATION TO TWO RESIDENTIAL STRUCTURES 226 MOHAWK STREET

CINCINNATI OH 45214

BUILDING OWNER:

Southern Ohio Holding Organization LLC
2101 Kenskill Ave.
Washington Courthouse OH 43160

ARCHITECT:

Michael Stehlin, AIA
1222 Race Street
Cincinnati, OH 45202
ms@pastarc.com
513.784.9522

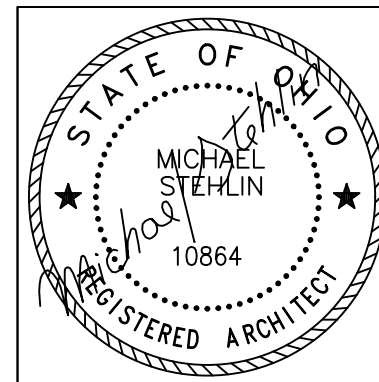
DRAWING INDEX

- G001: TITLE SHEET / INDEX / SITE PLAN
- A001: FULL BLOCK VICINITY/SITE PLAN
- A100: EXISTING/DEMOLITION PLANS CRAWLSPACE/FIRST FLOOR
- A101: EXISTING/DEMOLITION PLANS SECOND FLOOR
- A102: EXISTING/DEMOLITION PLANS THIRD FLOOR
- A103: EXISTING/DEMOLITION PLANS FOURTH FLOOR/ATTIC
- A104: PROPOSED CRAWLSPACE & FIRST FLOOR PLANS
- A105: PROPOSED SECOND FLOOR PLANS
- A106: PROPOSED THIRD FLOOR PLANS
- A107: PROPOSED FOURTH FLOOR/ATTIC PLANS
- A200: EXISTING BUILDING ELEVATIONS
- A201: EXISTING BUILDING ELEVATIONS
- A202: PROPOSED SOUTH BUILDING ELEVATION
- A203: PROPOSED EAST BUILDING ELEVATION
- A204: PROPOSED NORTH BUILDING ELEVATION
- A205: PROPOSED WEST BUILDING ELEVATION
- A300: SITE SECTION WITH VIEWING ANGLE

PROJECT SCOPE:

Renovation of existing masonry structure. Unit 226 is becoming a multi story single family. No changes to existing openings facing street. All windows replaced with alum. clad Marvin or Lincoln (see attached)Black in color. Building to remain unpainted. New cut in roof top deck facing Mohawk on building 226. Existing roofing to remain.

Michael Stehlin Lic# 10864
Expires 12-31-25



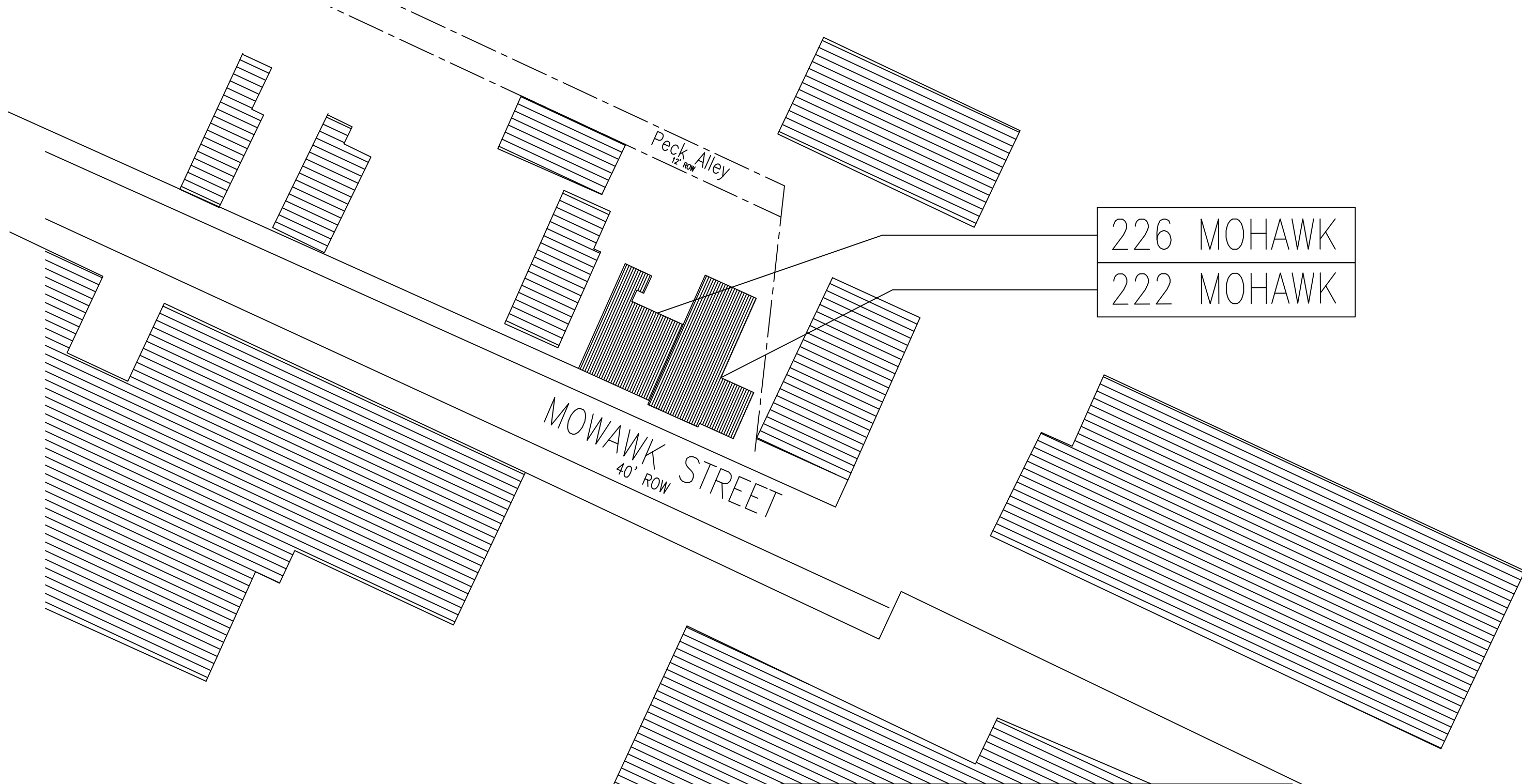
RESIDENTIAL RENOVATIONS
222/226 Mohawk St.
Cincinnati, Ohio 45214

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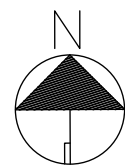
1222 RACE STREET UNIT #4
CINCINNATI, OH 45202
513/784-9522

TITLE SHEET
DRAWING INDEX

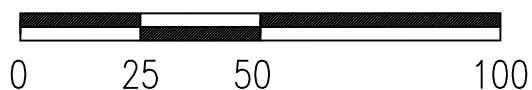
	01-18-24
Drawn: BS	Project No:
Sheet No. G001	



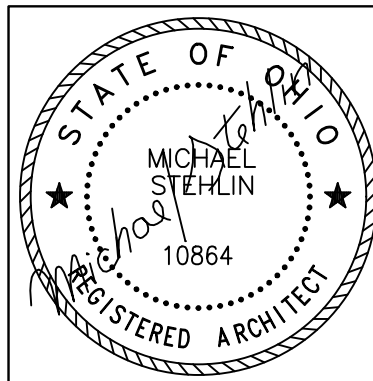
226 MOHAWK
222 MOHAWK



Site Plan
Scale: 1" = 40'-0"



Michael Stehlin Lic# 10864
Expires 12-31-25



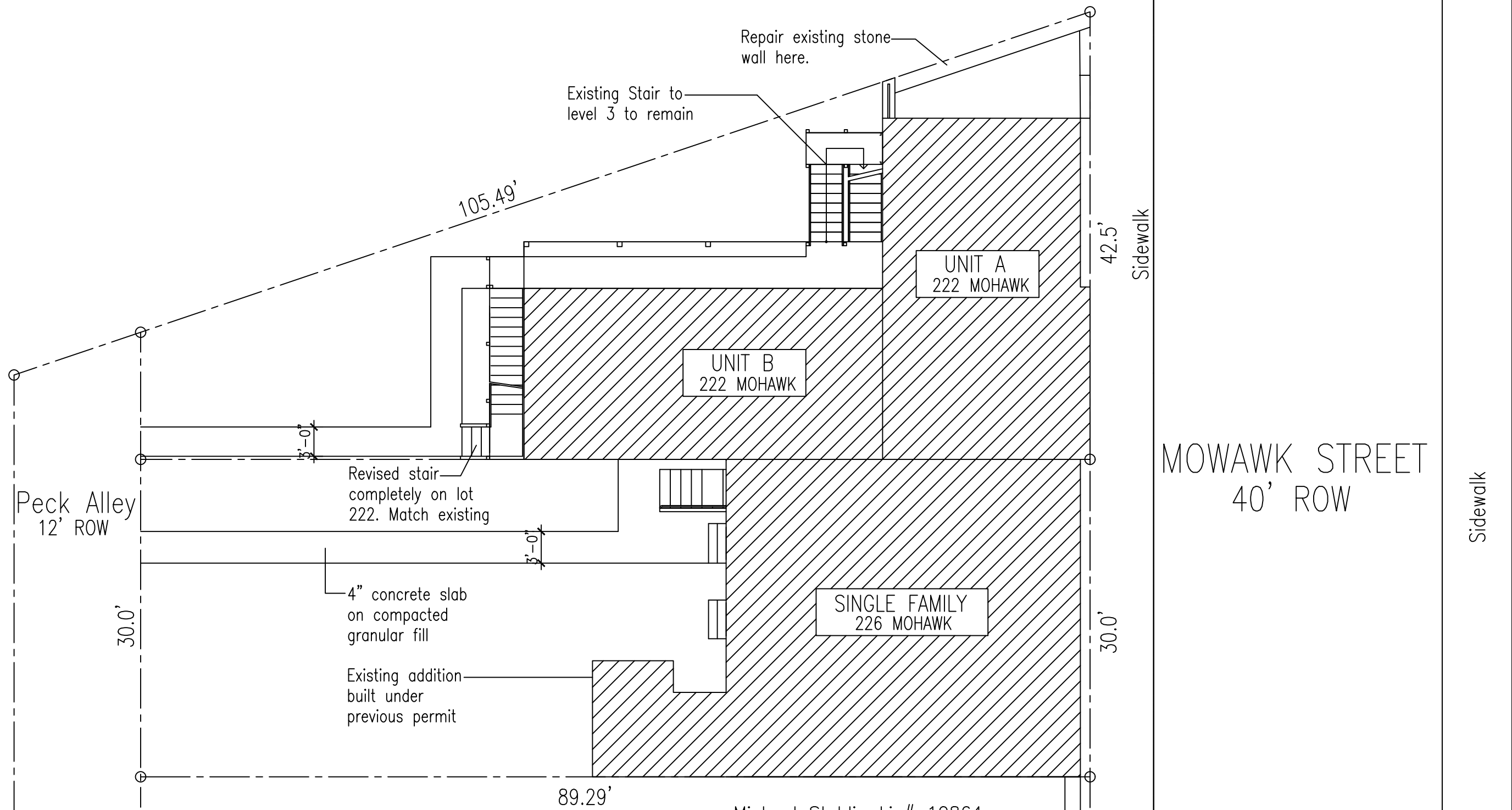
RESIDENTIAL RENOVATIONS
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Cincinnati, Ohio 45214

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CINCINNATI, OH 45202
513/784-9522

VICINITY MAP

	01-18-24
Drawn: BS	Project No:
Sheet No.	A001



Peck Alley
12' ROW

MOWAWK STREET
40' ROW

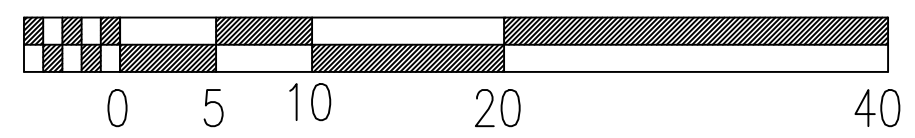
Sidewalk

30.0'

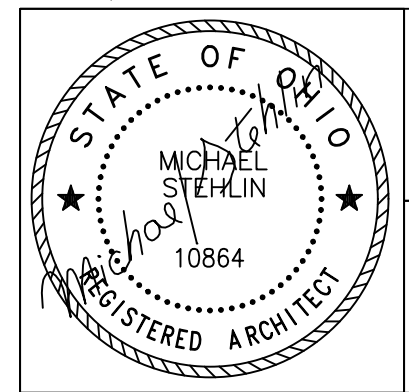
30.0'

89.29'

Michael Stehlin Lic# 10864
Expires 12-31-25



Site Plan
Scale: 1" = 10'-0"



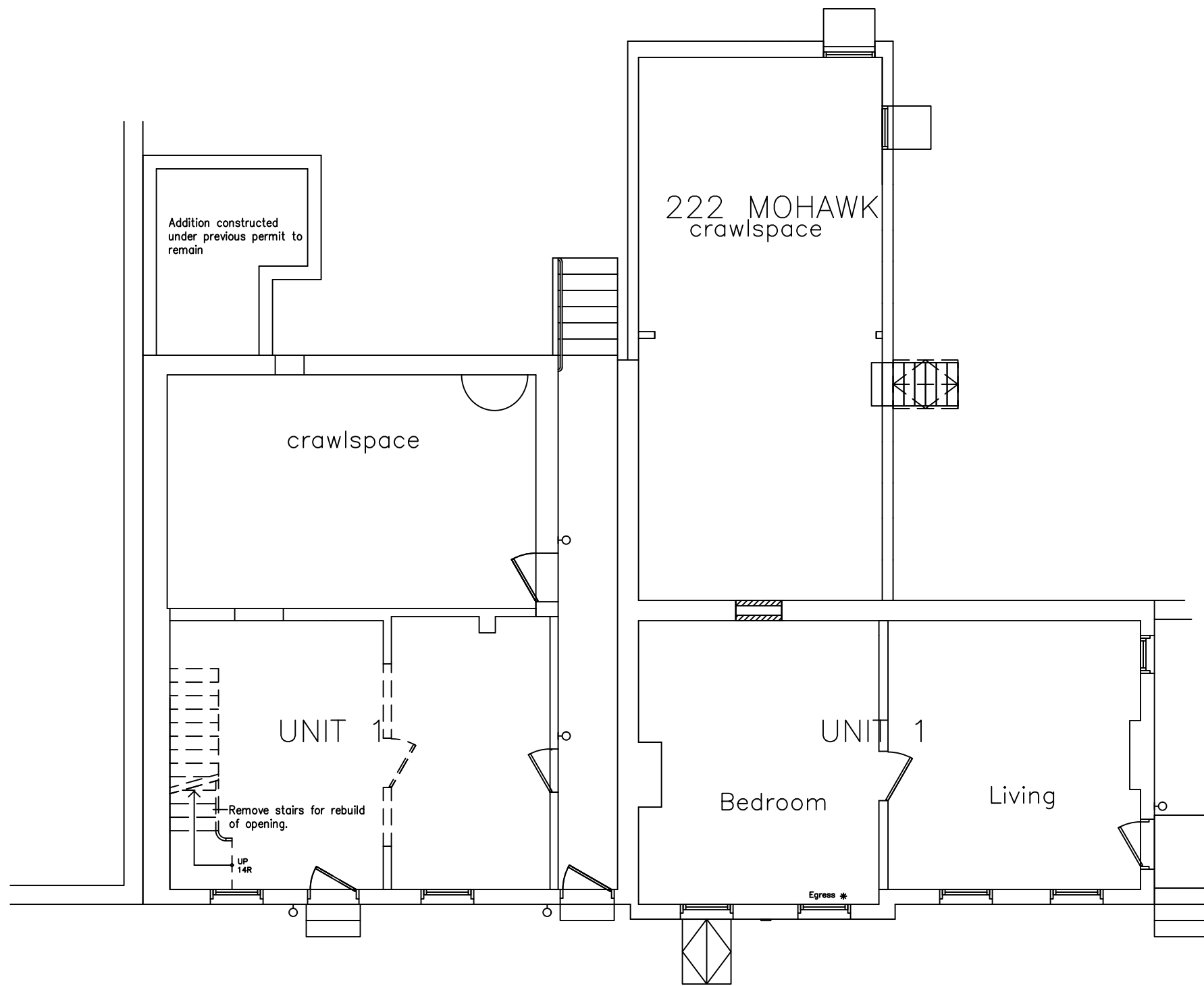
RESIDENTIAL RENOVATIONS
222/226 Mohawk St.
Cincinnati, Ohio 45214

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1222 RACE STREET UNIT #4
CINCINNATI, OH 45202
513/784-9522

SITEPLAN

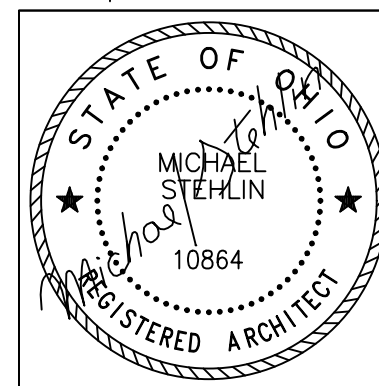
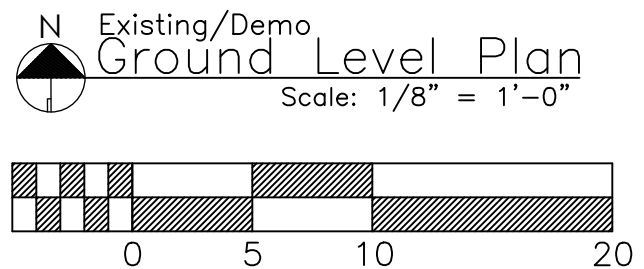
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Sheet No. A002	



226 MOHAWK

222 MOHAWK

Michael Stehlin Lic# 10864
Expires 12-31-25



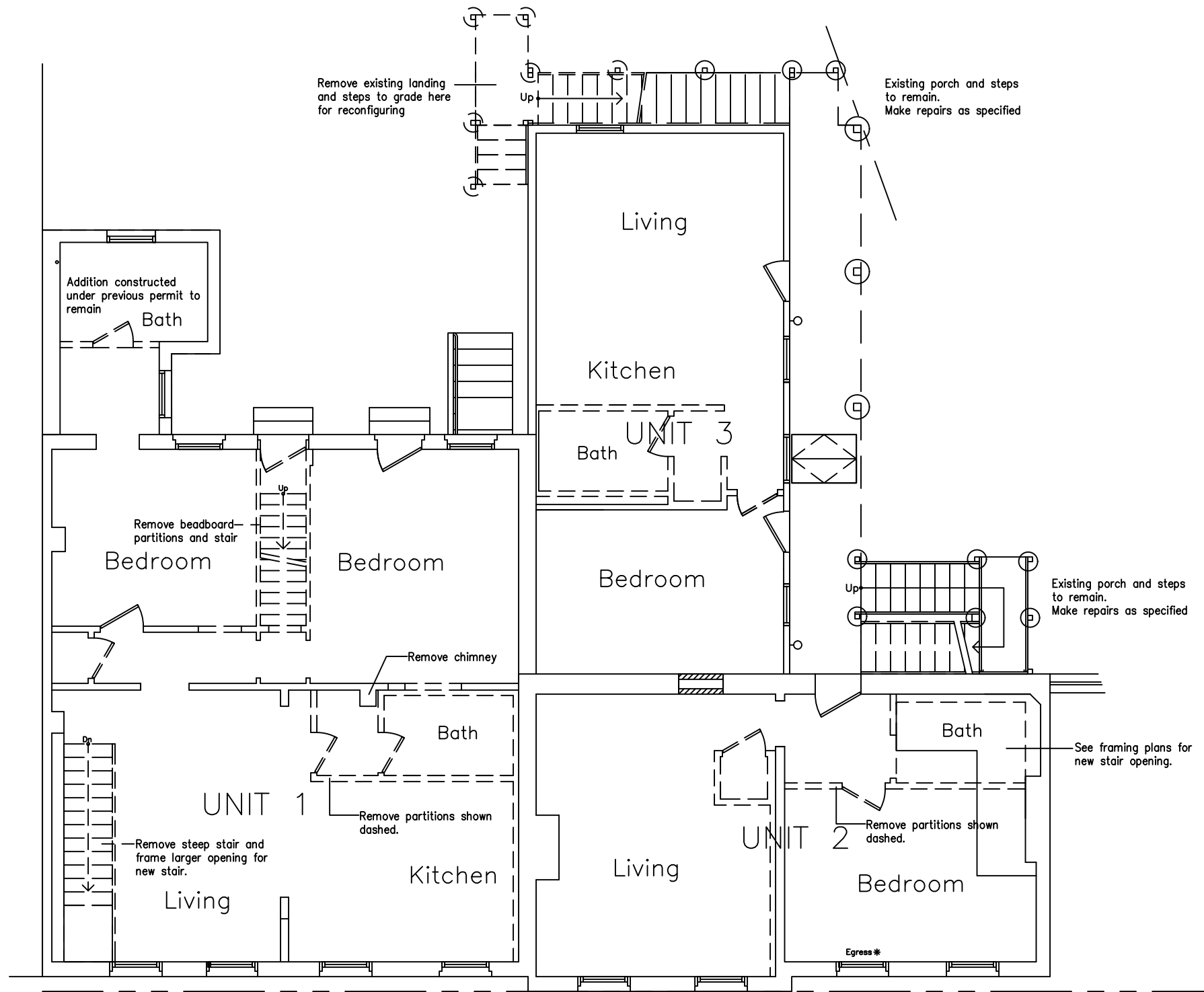
RESIDENTIAL RENOVATIONS
222/226 Mohawk St.
Cincinnati, Ohio 45214

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1222 RACE STREET UNIT #4
CINCINNATI, OH 45202
513/784-9522

EXISTING/DEMO

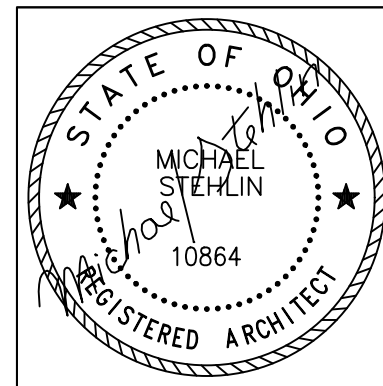
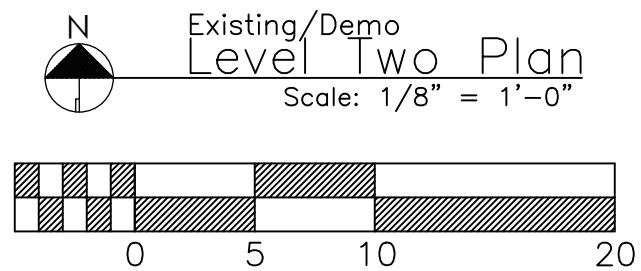
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Sheet No. A100	



226 MOHAWK

222 MOHAWK

Michael Stehlin Lic# 10864
Expires 12-31-25



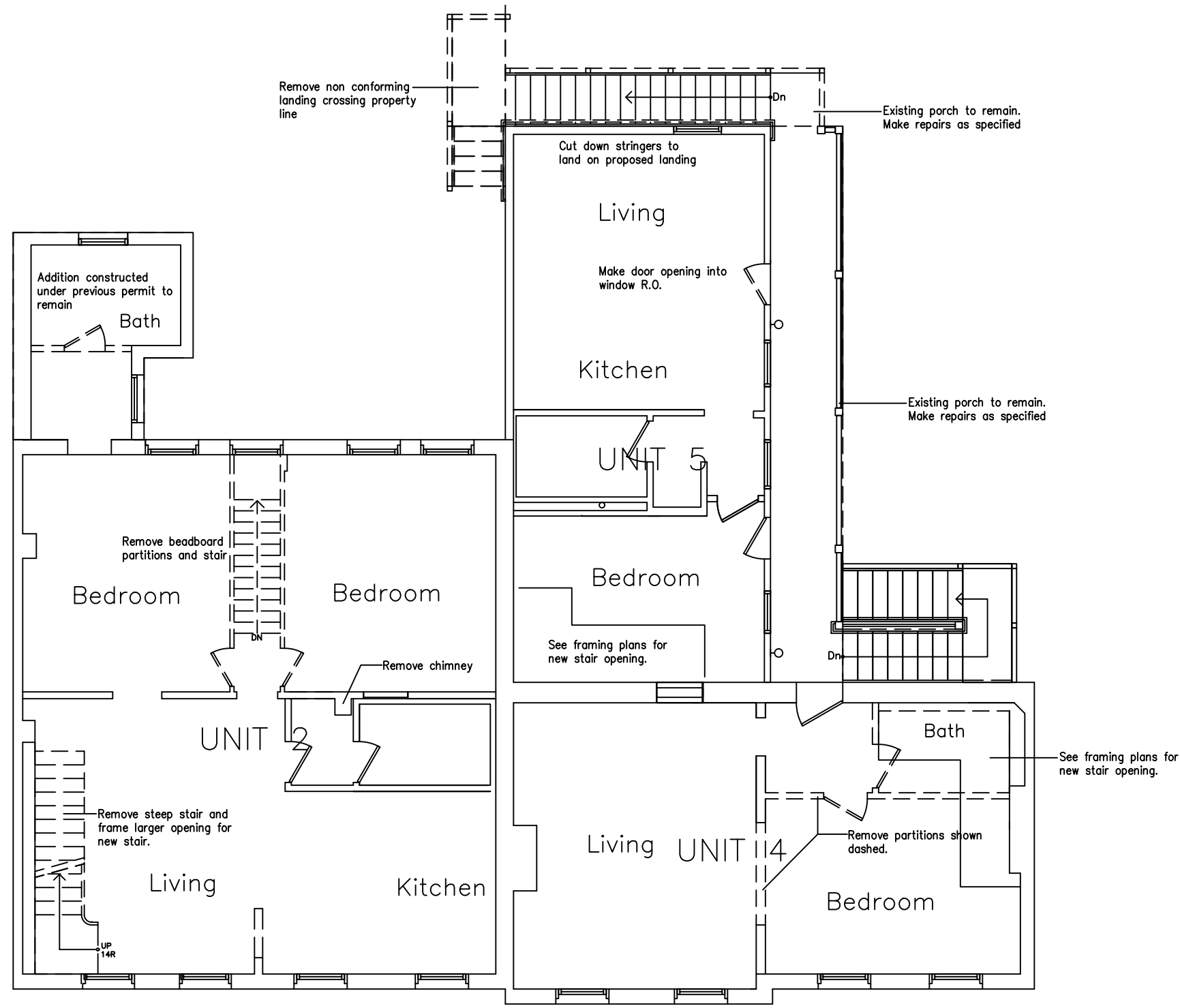
RESIDENTIAL RENOVATIONS
222/226 Mohawk St.
Cincinnati, Ohio 45214

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1222 RACE STREET UNIT #4
CINCINNATI, OH 45202
513/784-9522

EXISTING/DEMO

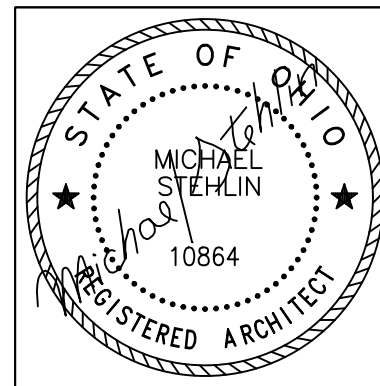
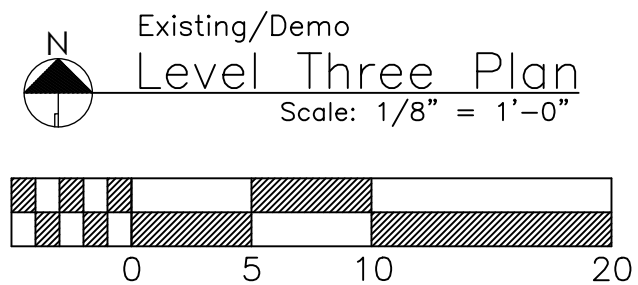
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Sheet No.	A101



226 MOHAWK

222 MOHAWK

Michael Stehlin Lic# 10864
Expires 12-31-25



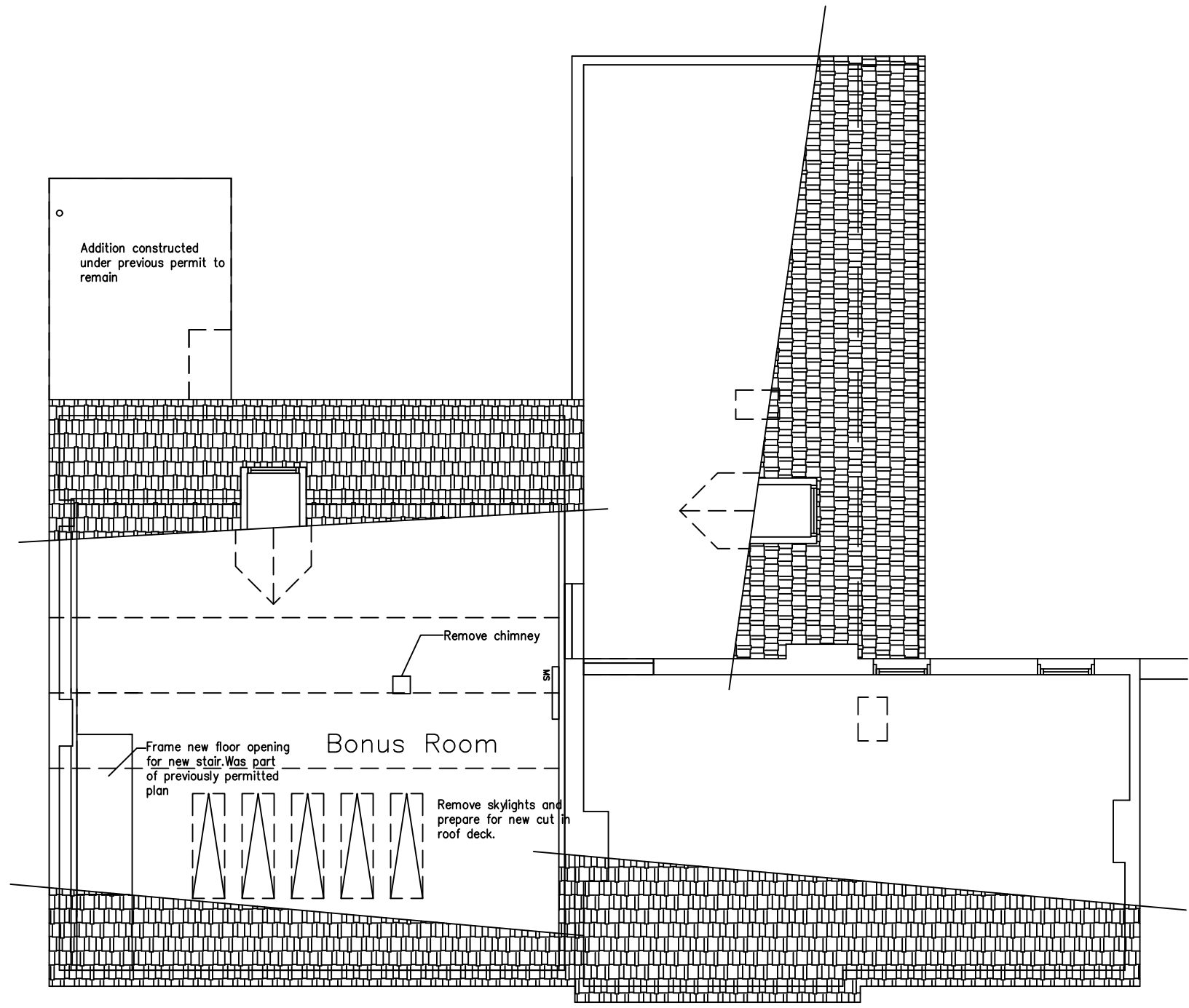
RESIDENTIAL RENOVATIONS
222/226 Mohawk St.
Cincinnati, Ohio 45214

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1222 RACE STREET UNIT #4
CINCINNATI, OH 45202
513/784-9522

EXISTING/DEMO

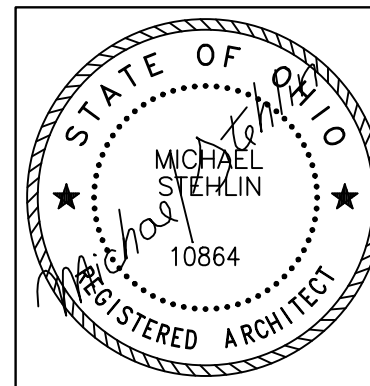
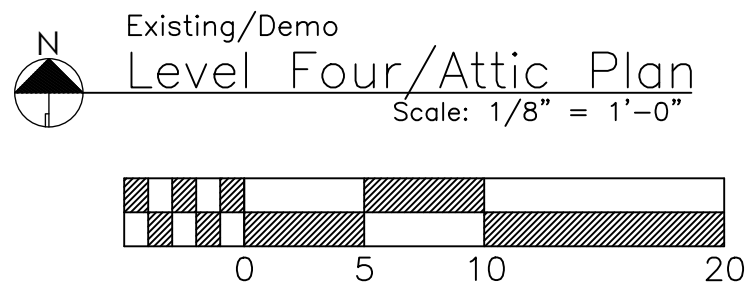
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Sheet No.	A102



226 MOHAWK

222 MOHAWK

Michael Stehlin Lic# 10864
Expires 12-31-25



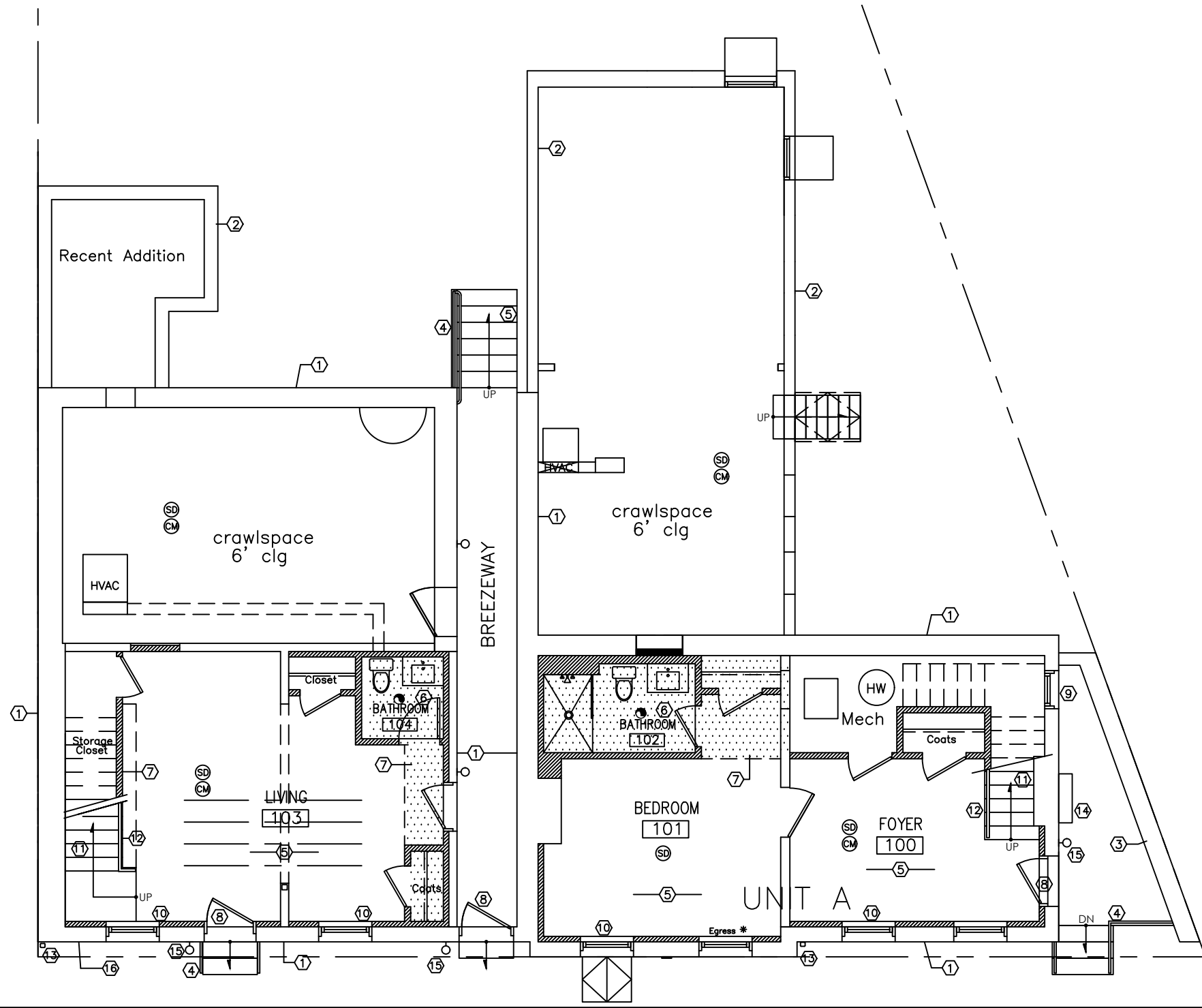
RESIDENTIAL RENOVATIONS
222/226 Mohawk St.
Cincinnati, Ohio 45214

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1222 RACE STREET UNIT #4
CINCINNATI, OH 45202
513/784-9522

EXISTING/DEMO

	01-18-24
Drawn: BS	Project No:
Sheet No. A103	



Notes

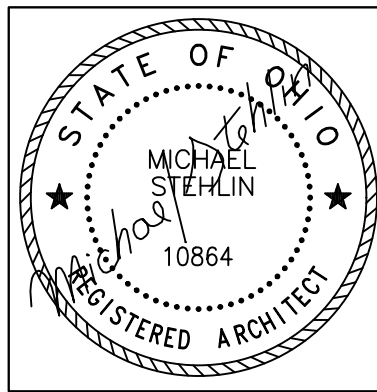
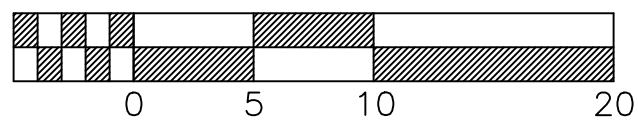
1. Existing stone foundation.
2. Existing concrete foundation.
3. Existing stone retaining wall w/wood guardrail to remain. Tuckpoint as needed.
4. Install new black stl. handrail/guardrail at existing steps. 36" above nose of tread. Do not extend bynd step.
5. New hardwood flooring throughout over existing T&G subfloor
6. Install ceramic tile or equal in bathroom.
7. Hatched area indicates lowered ceiling for HVAC routing.
8. New insulated composite entry doors, historic 4 panel design. See elevations
9. Former door opening here was partially filled with masonry. Existing window in remaining space. See elevation.
10. New double hung windows installed in original openings. See attached info. Alum clad, black in color
11. New stairs to level two. Hardwood treads and 2x12 stringers @14" O.C. 7.5" max riser hgt and 11" treads typ. solid riser w/1" nosing.
12. Guardrail/handrail at 36" above nose of tread/F.F. Must prohibit passage of 4" sphere and meet loading requirements stated in notes.
13. Existing downspouts to remain. Route into underground connection to sewer.
14. Existing electrical service connection and meter to remain
15. Install exterior black cylinder lighting at all entry doors and at exterior routes connecting to Public ROW. See attached.
16. Tuck point areas near foundation on unit 226 with lime based mortar. To remain unpainted.

226 MOHAWK
Single Family

222 MOHAWK
Two Family

Michael Stehlin Lic# 10864
Expires 12-31-25

Proposed
Ground Level Plan
Scale: 1/8" = 1'-0"

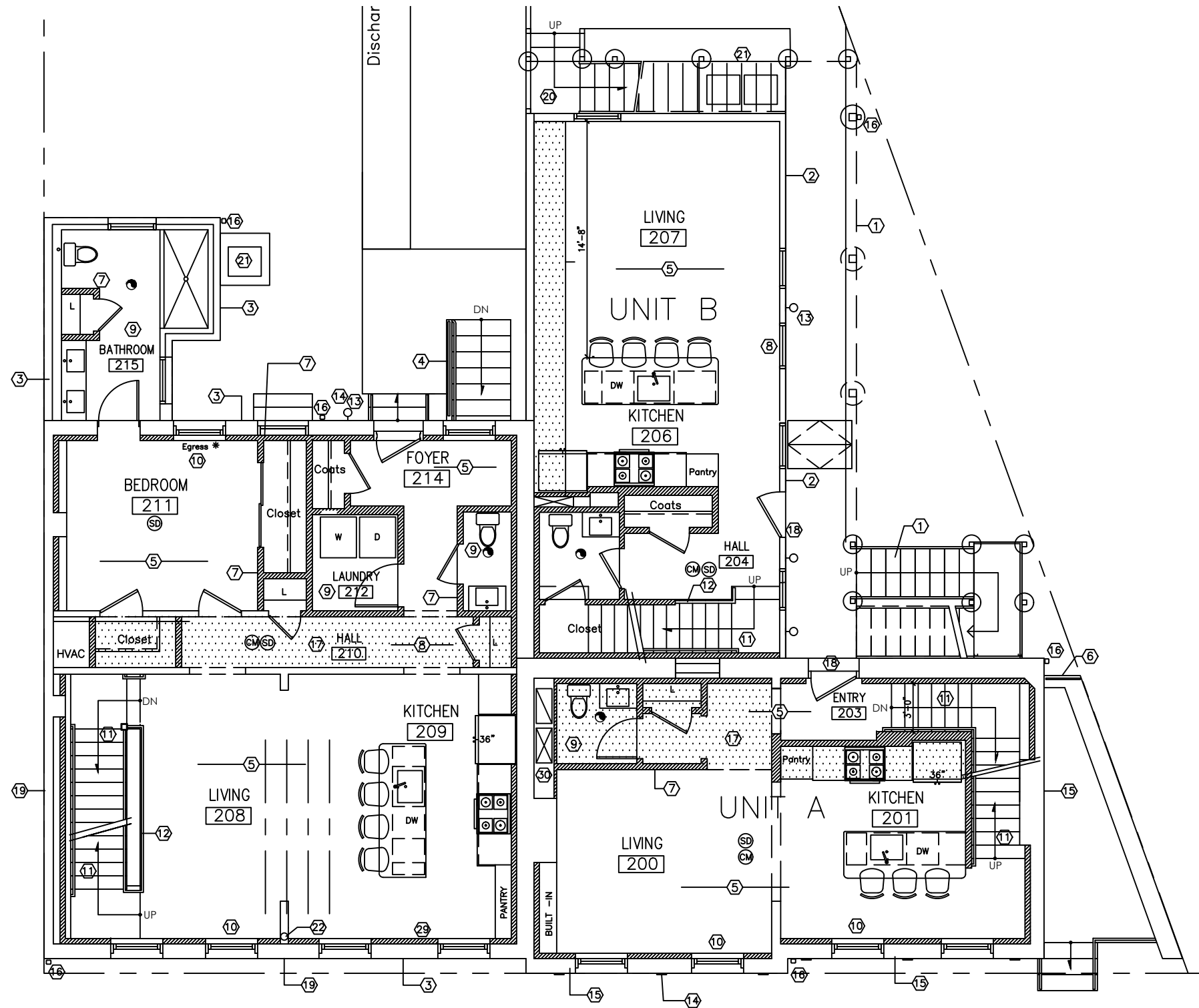


RESIDENTIAL RENOVATIONS
222/226 Mohawk St.
Cincinnati, Ohio 45214

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1222 RACE STREET UNIT #4
CINCINNATI, OH 45202
513/784-9522

PROPOSED PLANS		01-18-24
	Drawn: BS	Project No:
	Sheet No. A104	



Notes

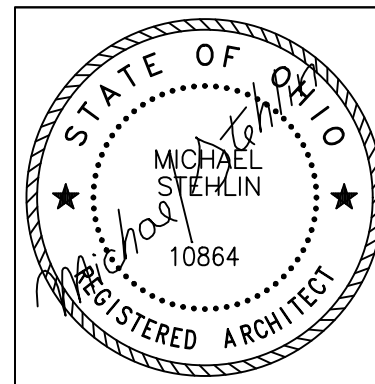
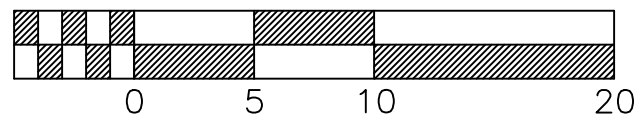
1. Existing exterior wood decks, stairs and railings constructed under previous permit. Inspect and repair as needed.
2. Paint existing frame rear portion of building to remain. Repaint.
3. Existing masonry rear addition constructed under previous permit/different owner to remain. Unpainted Brick.
4. Install new black stl. Guardrail w/ ballusters @4" O.C. at existing steps. 36" above grade.
5. New hardwood flooring throughout over existing T&G subfloor
6. Install new black stl. guardrail 36" above nose of tread. Ballusters @4" O.C.
7. Fix door in place and build insulated wall on interior. Repair transom. Alternate, infill with masonry with insulated interior wall.
8. Infill lower portion of former door opening with 2x4 framing /R13 batt. 1/2" gybpd at interior and siding over 7/16 plywd. sheathing at exterior.
9. Install ceramic tile or equal in bathroom.
10. New double hung windows installed in original openings. See attached info. Alum clad, black in color
11. New stairs up and down. Hardwood treads and 2x12 stringers @14" O.C. 7.5" max riser hgt and 11" treads typ. solid riser w/1" nosing.
12. Guardrail at 36" above nose of tread/F.F. Must prohibit passage of 4" sphere and meet loading requirements stated in notes.
13. Install exterior black cylinder lighting at all entry doors and at exterior routes connecting to Public ROW. See attached.
14. Masonry here needs repair. Remove after shoring is installed. Replace and install tieback per dti provided. (6) across front of unit 222, equally spaced. Previously installed on unit 226.
15. Repaint previously painted brick at 222 front & East side
16. Existing downspouts to remain. Route into underground connection to sewer.
17. Area shown with dot matrix indicates lowered ceiling for HVAC routing. Increase as needed to closets and bathrooms. Separate permit required for Mech work.
18. New insulated composite entry doors, w/historic 4 panel design.
19. UNIT 226 to remain unpainted. Tuckpoint as needed with Lime base mortar.
20. Existing stair revised to egress fully on lot 222. New wood landing. Match existing guardrail.
21. HVAC exterior units in secure enclosure on 4" concrete pad

226 MOHAWK
Single Family

222 MOHAWK
Two Family

Michael Stehlin Lic# 10864
Expires 12-31-25

Proposed
Level Two Plan
Scale: 1/8" = 1'-0"



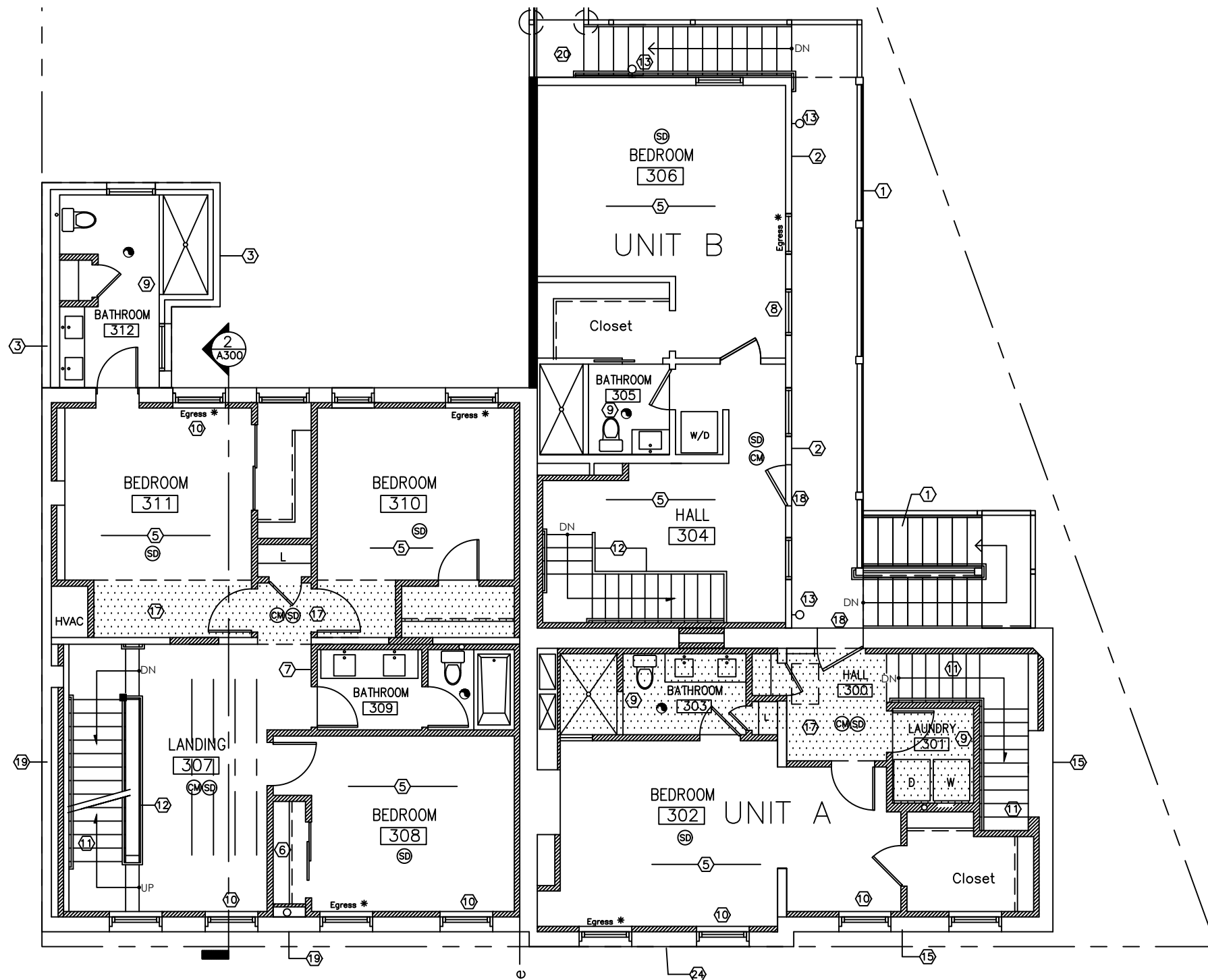
RESIDENTIAL RENOVATIONS
222/226 Mohawk St.
Cincinnati, Ohio 45214

P reservation
A rchitecture
S ervices
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1222 RACE STREET UNIT #4
CINCINNATI, OH 45202
513/784-9522

PROPOSED PLANS

	01-18-24
Drawn: BS	Project No:
Sheet No. A105	



Notes

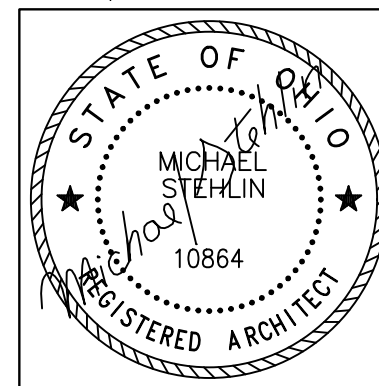
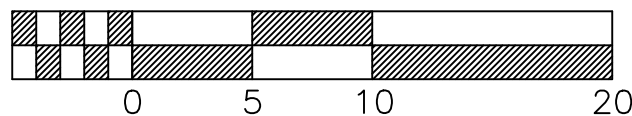
1. Existing exterior wood decks, stairs and railings constructed under previous permit. Inspect and repair as needed.
2. Paint existing frame rear portion of building to remain. Repaint
3. Existing masonry rear addition constructed under previous permit/different owner to remain. Unpainted Brick.
4. Install new black stl. Guardrail w/ ballusters @4" O.C. at existing steps. 36" above grade.
5. New hardwood flooring throughout over existing T&G subfloor
6. Install new black stl. guardrail 36" above nose of tread. Ballusters @4" O.C.
7. Fix door in place and build insulated wall on interior. Repair transom. Alternate, infill with masonry with insulated interior wall.
8. Infill lower portion of former door opening with 2x4 framing /R13 batt. 1/2" gybpd at interior and siding over 7/16 plywd. sheathing at exterior.
9. Install ceramic tile or equal in bathroom.
10. New double hung windows installed in original openings. See attached info. Alum clad, black in color
11. New stairs up and down. Hardwood treads and 2x12 stringers @14" O.C. 7.5" max riser hgt and 11" treads typ. solid riser w/1" nosing.
12. Guardrail at 36" above nose of tread/F.F. Must prohibit passage of 4" sphere and meet loading requirements stated in notes.
13. Install exterior black cylinder lighting at all entry doors and at exterior routes connecting to Public ROW. See attached.
14. Masonry here needs repair. Remove after shoring is installed. Replace and install tieback per diti provided. (6) across front of unit 222, equally spaced. Previously installed on unit 226.
15. Repaint previously painted brick at 222 front & East side
16. Existing downspouts to remain. Route into underground connection to sewer.
17. Area shown with dot matrix indicates lowered ceiling for HVAC routing. Increase as needed to closets and bathrooms. Separate permit required for Mech work.
18. New insulated composite entry doors, w/historic panel design.
19. UNIT 226 to remain unpainted. Tuckpoint as needed with Lime base mortar.
20. Existing stair revised to egress fully on lot 222. New wood landing. Match existing guardrail.

226 MOHAWK
Single Family

222 MOHAWK
Two Family

Michael Stehlin Lic# 10864
Expires 12-31-25

N
Proposed
Level Three Plan
Scale: 1/8" = 1'-0"



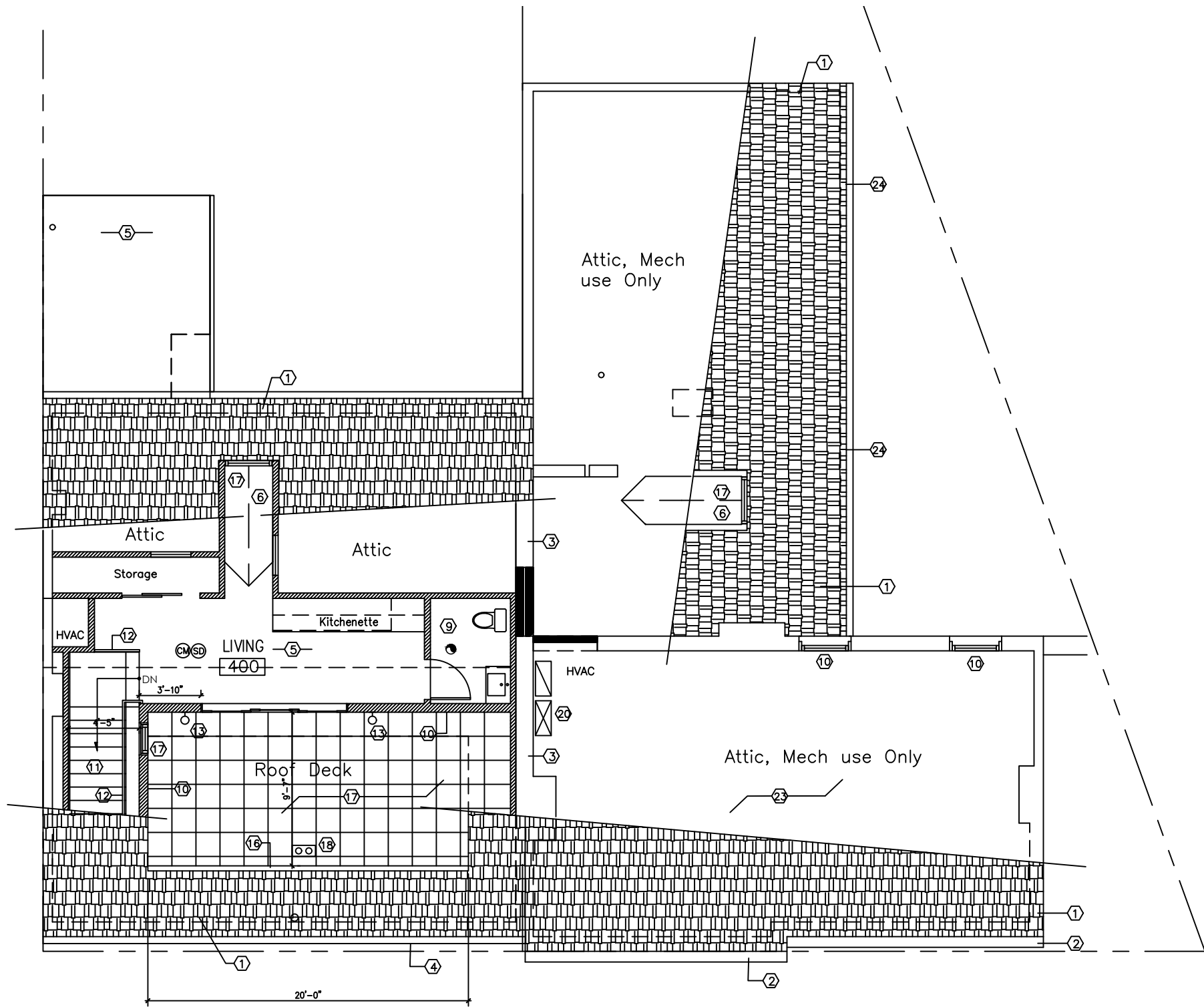
RESIDENTIAL RENOVATIONS
222/226 Mohawk St.
Cincinnati, Ohio 45214

P reservation
A rchitecture
S ervices
T eam

1222 RACE STREET UNIT #4
CINCINNATI, OH 45202
513/784-9522

PROPOSED PLANS

	01-18-24
Drawn: BS	Project No:
Sheet No. A106	



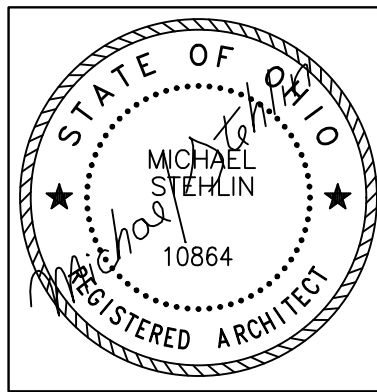
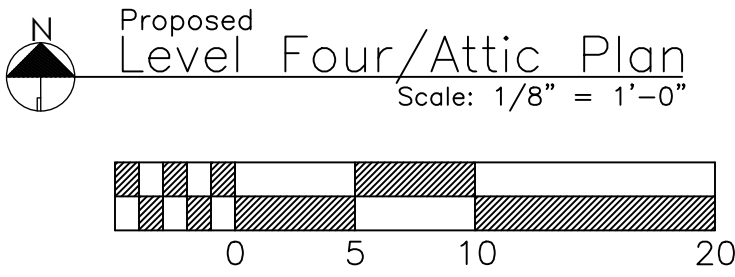
Notes

1. Existing roof to remain. Work/flashing done at new deck.
2. Repair box gutters as needed and ensure proper function.
3. Existing masonry bearing walls. 2 HR equivalent. Separates two buildings.
4. Existing newer alum gutter to remain.
5. Existing masonry rear addition constructed under previous permit with membrane roof to remain.
6. Attic dormers to remain. Window replaced.
7. New typ. partitions of 2x4 framing with 1/2" gyp.bd. both sides.
8. New hardwood flooring throughout over floor build up.
9. Install ceramic tile or equal in bathroom.
10. Composite lap siding over insulated exterior wall
11. New stairs. Hardwood treads and 2x12 stringers @14" O.C. 7.5" max riser hgt and 11" treads typ. solid riser w/1" nosing. See framing plan for stair opening improvements.
12. Guardrail/handrail at 36" above nose of tread/F.F. Must prohibit passage of 4" sphere and meet loading requirements stated in notes.
13. Install exterior black cylinder lighting at all entry doors and at exterior routes connecting to Public ROW. See attached.
14. Wood/composite wall cap at 42" above decking.
15. Composite adjustable deck system over
16. EPDM membrane over sloped EPS rigid insulation to drain.
17. New dbl hung windows. alum clad.

226 MOHAWK
Single Family

222 MOHAWK
Two Family

Michael Stehlin Lic# 10864
Expires 12-31-25



RESIDENTIAL RENOVATIONS
222/226 Mohawk St.
Cincinnati, Ohio 45214

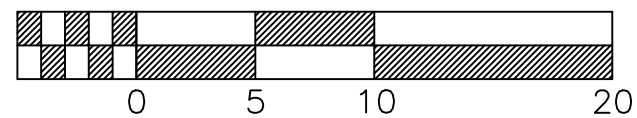
Preservation
Architecture
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Team

1222 RACE STREET UNIT #4
CINCINNATI, OH 45202
513/784-9522

PROPOSED PLANS		01-18-24
	Drawn: BS	Project No:
	Sheet No. A107	



West Elevation
Scale: 1/8" = 1'-0"

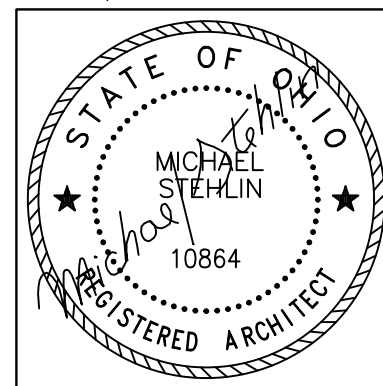


226 MOHAWK

222 MOHAWK

South Elevation
Scale: 1/4" = 1'-0"

Michael Stehlin Lic# 10864
Expires 12-31-25



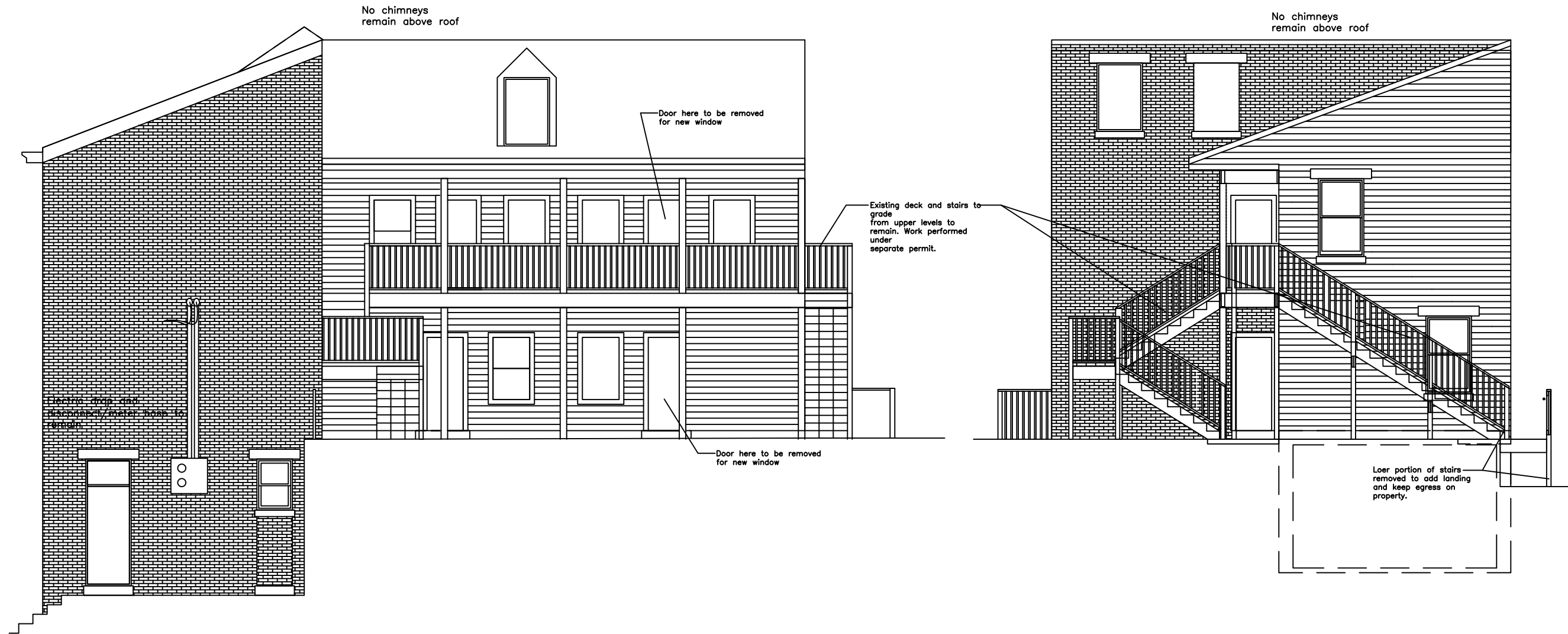
RESIDENTIAL RENOVATIONS
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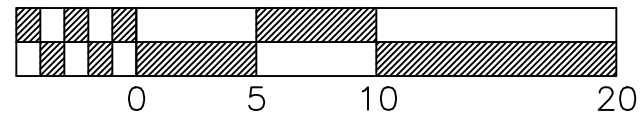
1222 RACE STREET UNIT #4
CINCINNATI, OH 45202
513/784-9522

EXISTING
ELEVATIONS

	01-18-24
Drawn: BS	Project No:
Sheet No. A200	

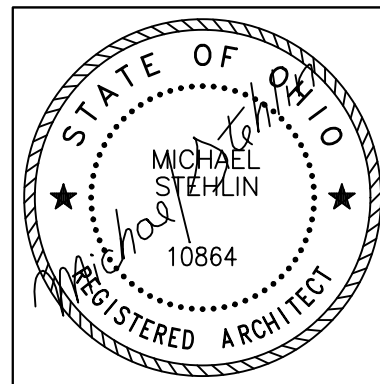


East Elevation
Scale: 1/4" = 1'-0"



North Elevation
Scale: 1/4" = 1'-0"

Michael Stehlin Lic# 10864
Expires 12-31-25



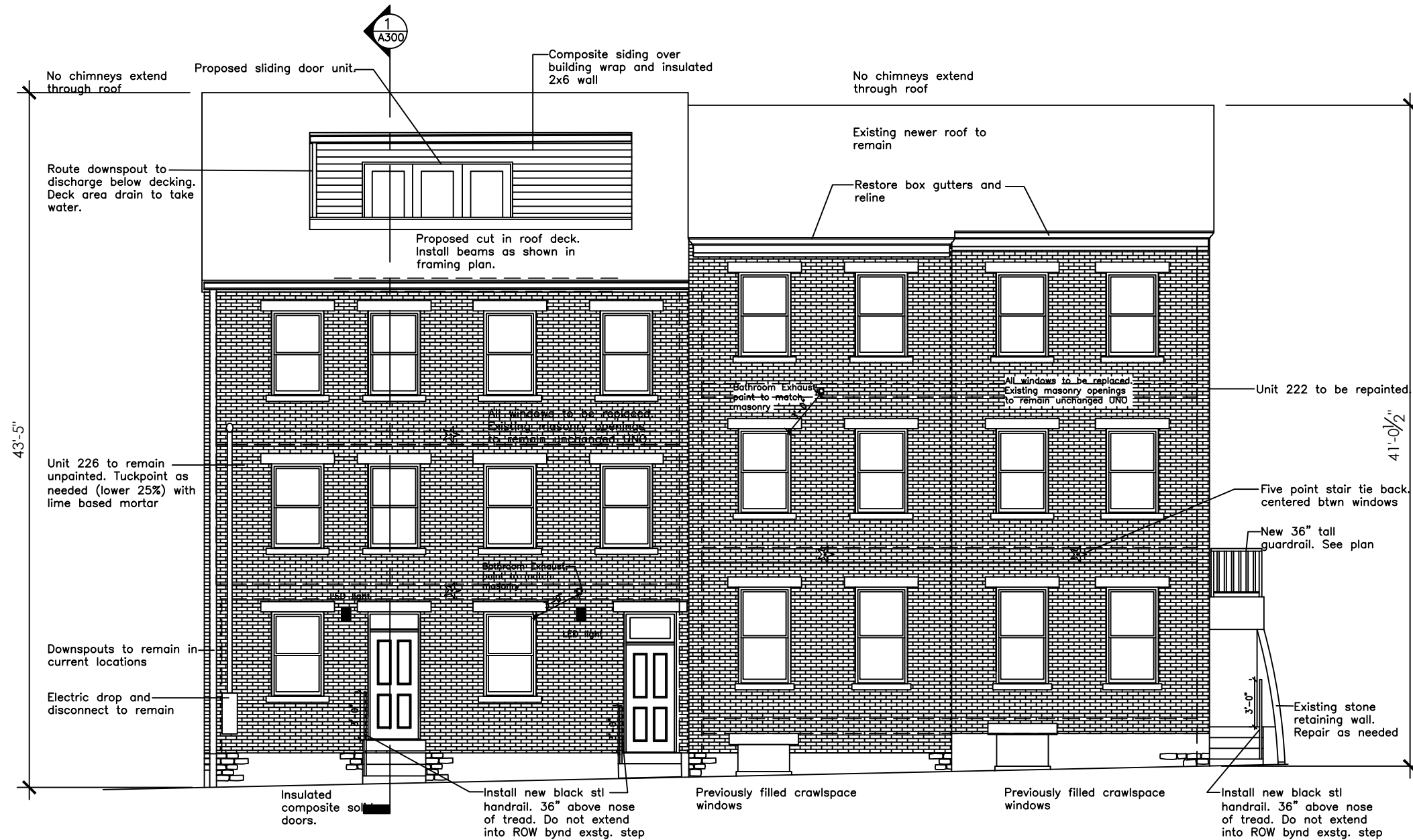
RESIDENTIAL RENOVATIONS
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Cincinnati, Ohio 45214

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1222 RACE STREET UNIT #4
CINCINNATI, OH 45202
513/784-9522

EXISTING
ELEVATIONS

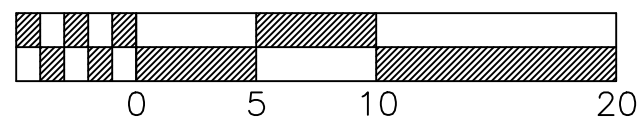
	01-18-24
Drawn: BS	Project No:
Sheet No. A201	



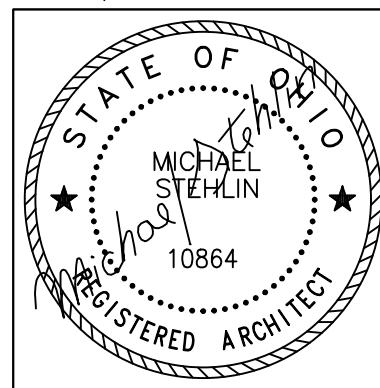
226 MOHAWK
Single Family

222 MOHAWK
Two Family

South Elevation
Scale: 1/8" = 1'-0"



Michael Stehlin Lic# 10864
Expires 12-31-25



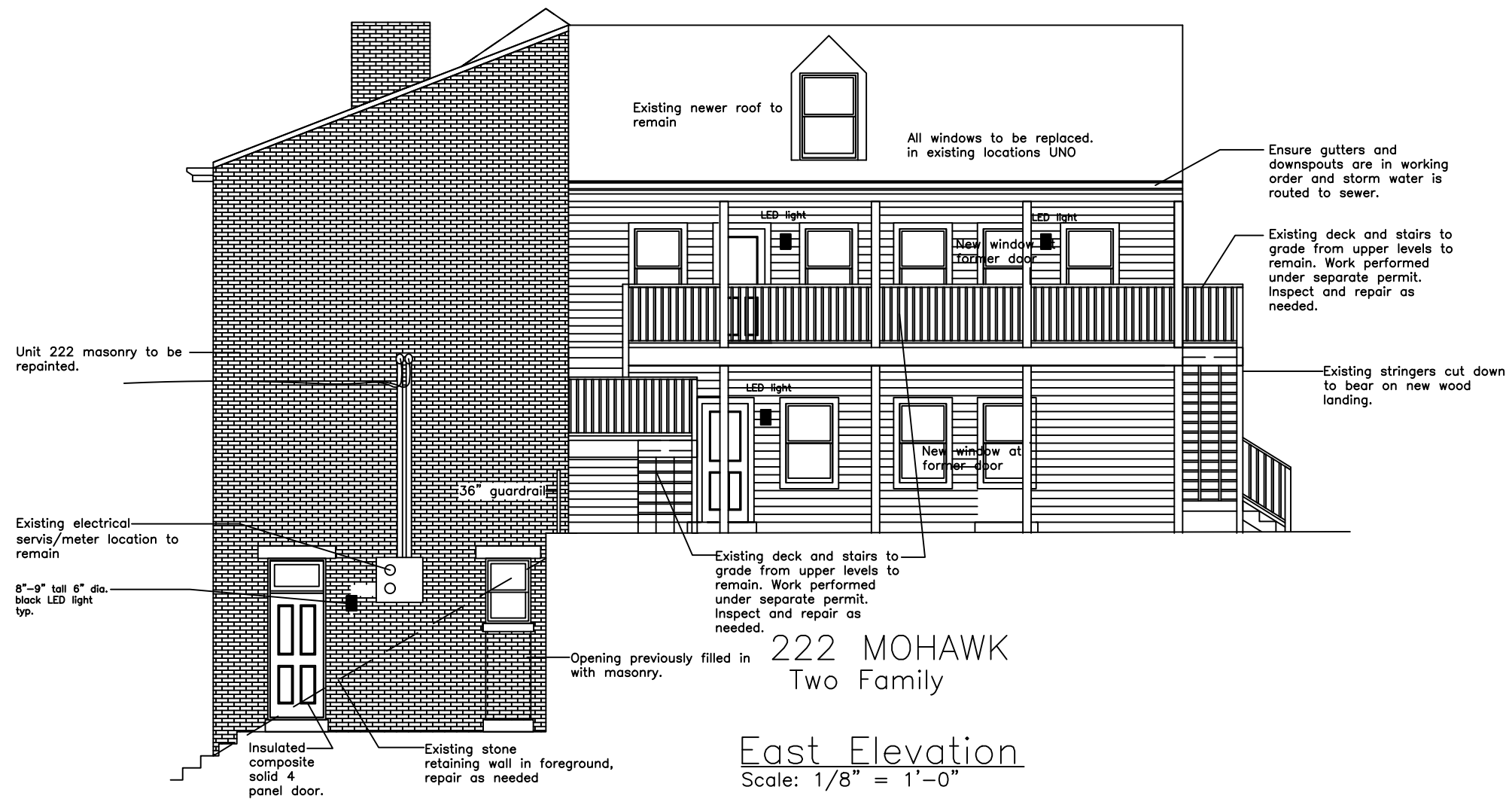
RESIDENTIAL RENOVATIONS
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Cincinnati, Ohio 45214

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1222 RACE STREET UNIT #4
CINCINNATI, OH 45202
513/784-9522

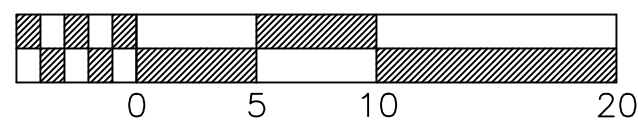
PROPOSED
ELEVATIONS

	01-18-24
Drawn: BS	Project No:
Sheet No.	A202

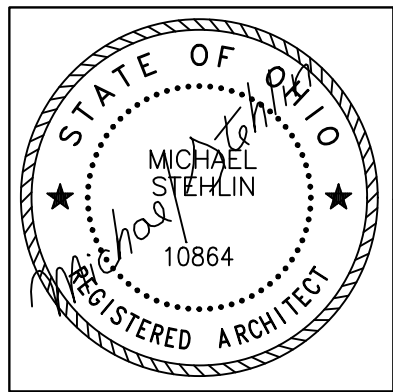


222 MOHAWK
Two Family

East Elevation
Scale: 1/8" = 1'-0"



Michael Stehlin Lic# 10864
Expires 12-31-25

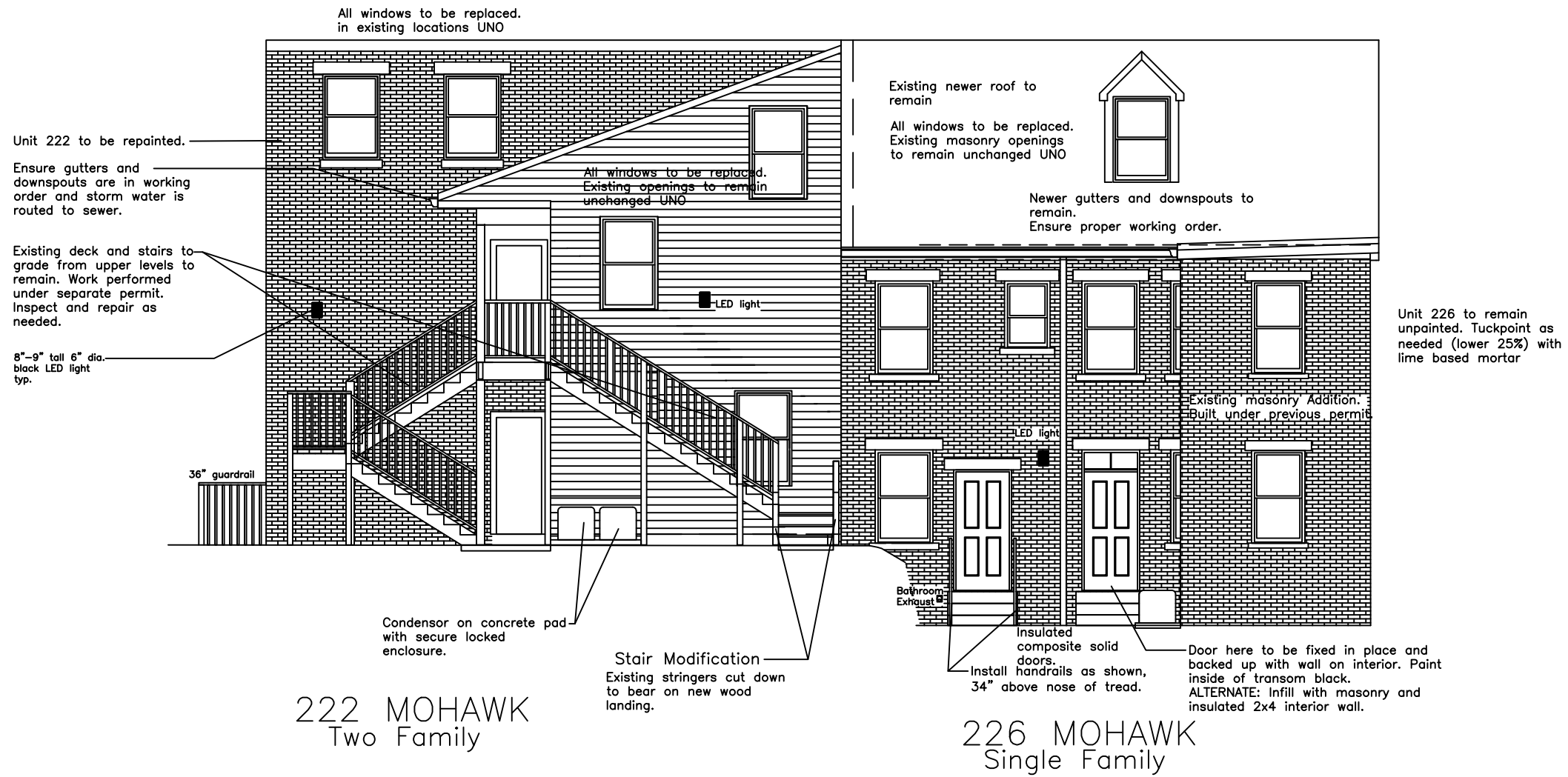


RESIDENTIAL RENOVATIONS
222/226 Mohawk St.
Cincinnati, Ohio 45214

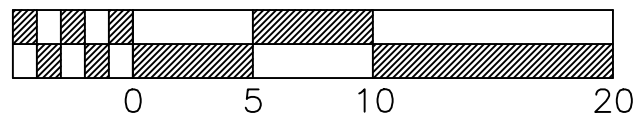
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1222 RACE STREET UNIT #4
CINCINNATI, OH 45202
513/784-9522

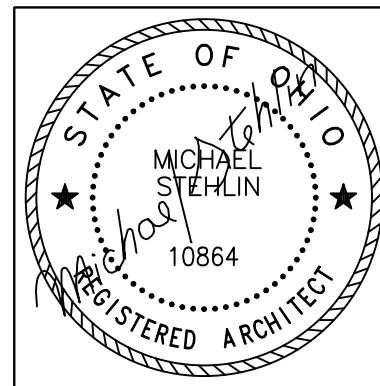
PROPOSED ELEVATIONS	01-18-24
Drawn: BS	Project No:
Sheet No. A203	



North Elevation
Scale: 1/8" = 1'-0"



Michael Stehlin Lic# 10864
Expires 12-31-25



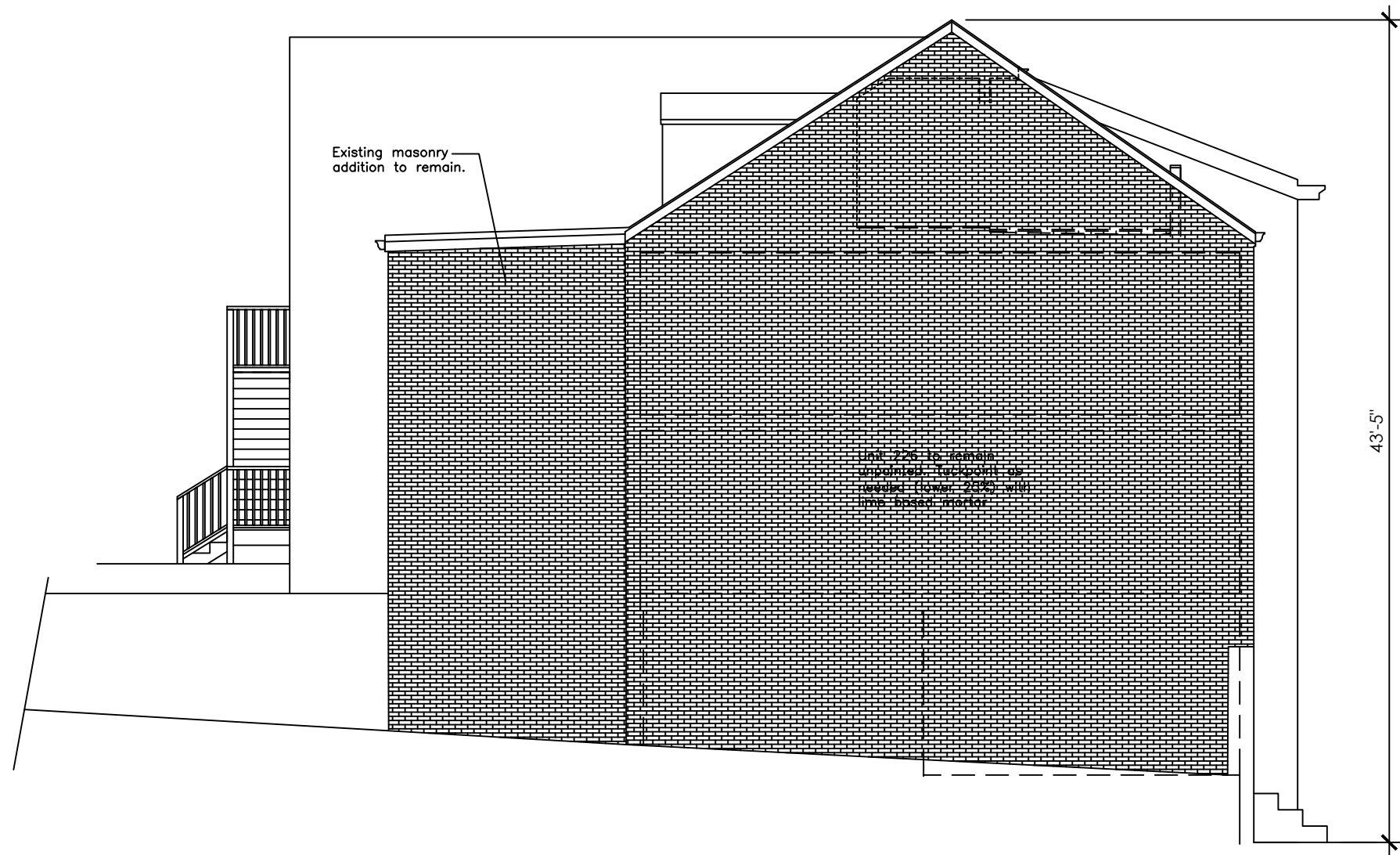
RESIDENTIAL RENOVATIONS
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Cincinnati, Ohio 45214

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1222 RACE STREET UNIT #4
CINCINNATI, OH 45202
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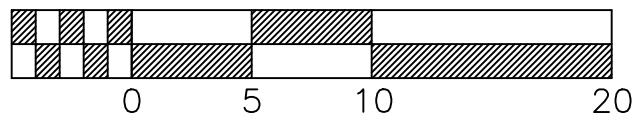
PROPOSED
ELEVATIONS

	01-18-24
Drawn: BS	Project No:
Sheet No.	A204

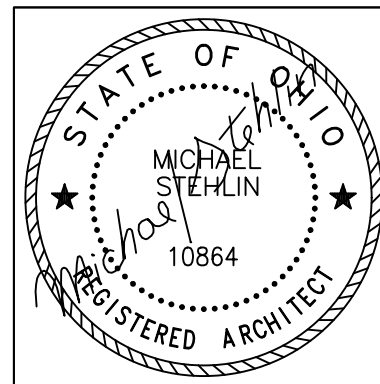


West Elevation

Scale: 1/8" = 1'-0"



Michael Stehlin Lic# 10864
Expires 12-31-25



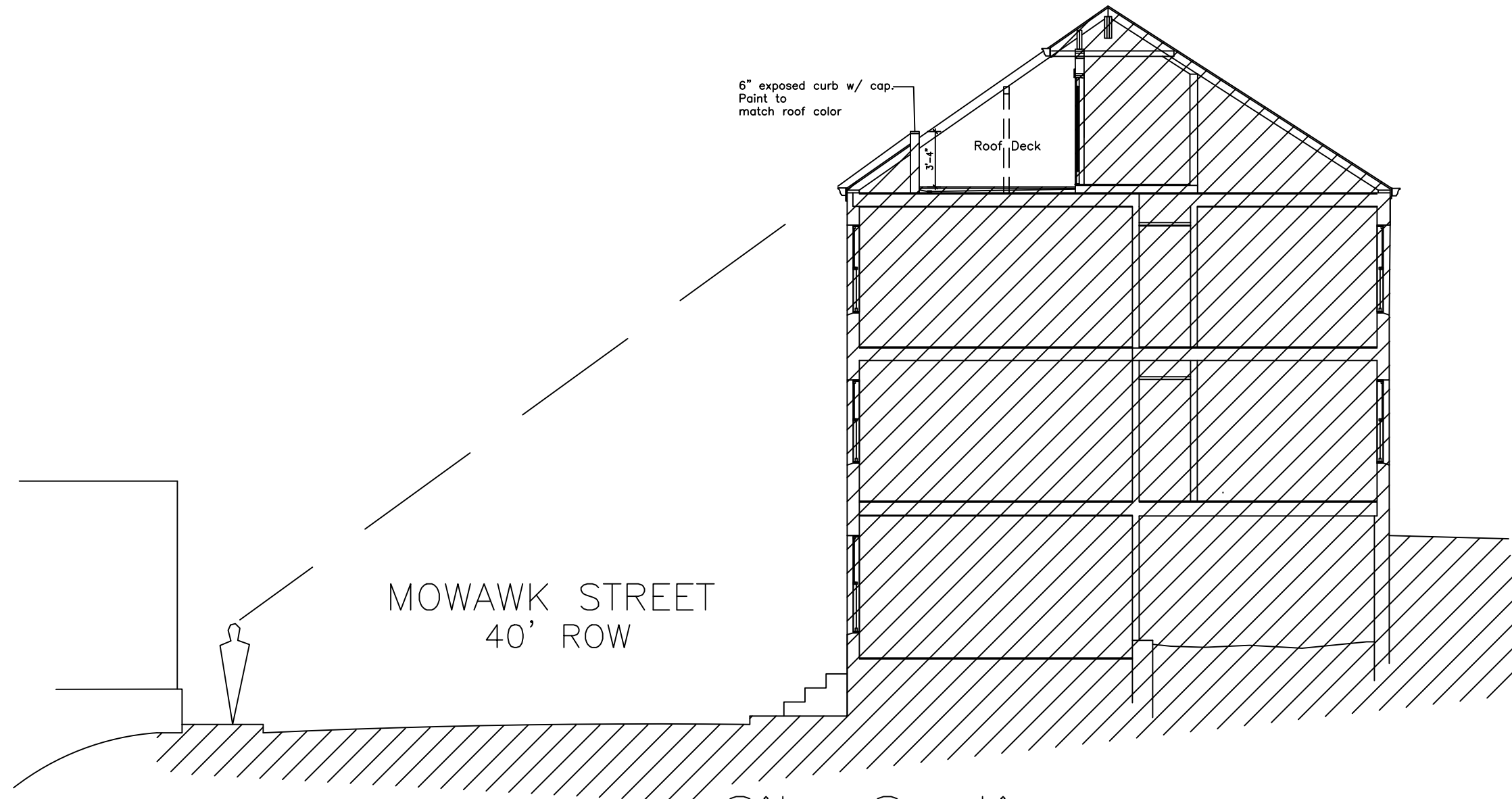
RESIDENTIAL RENOVATIONS
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Cincinnati, Ohio 45214

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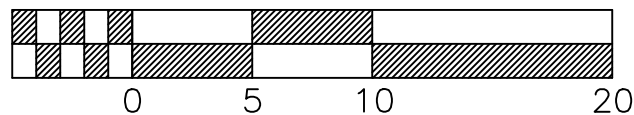
1222 RACE STREET UNIT #4
CINCINNATI, OH 45202
513/784-9522

PROPOSED
ELEVATIONS

	01-18-24
Drawn: BS	Project No:
Sheet No.	A205



MOWAWK STREET
40' ROW

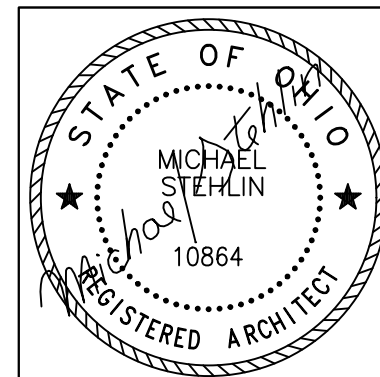


Site Section

Scale: 1/8" = 1'-0"

1
A300

Michael Stehlin Lic# 10864
Expires 12-31-25



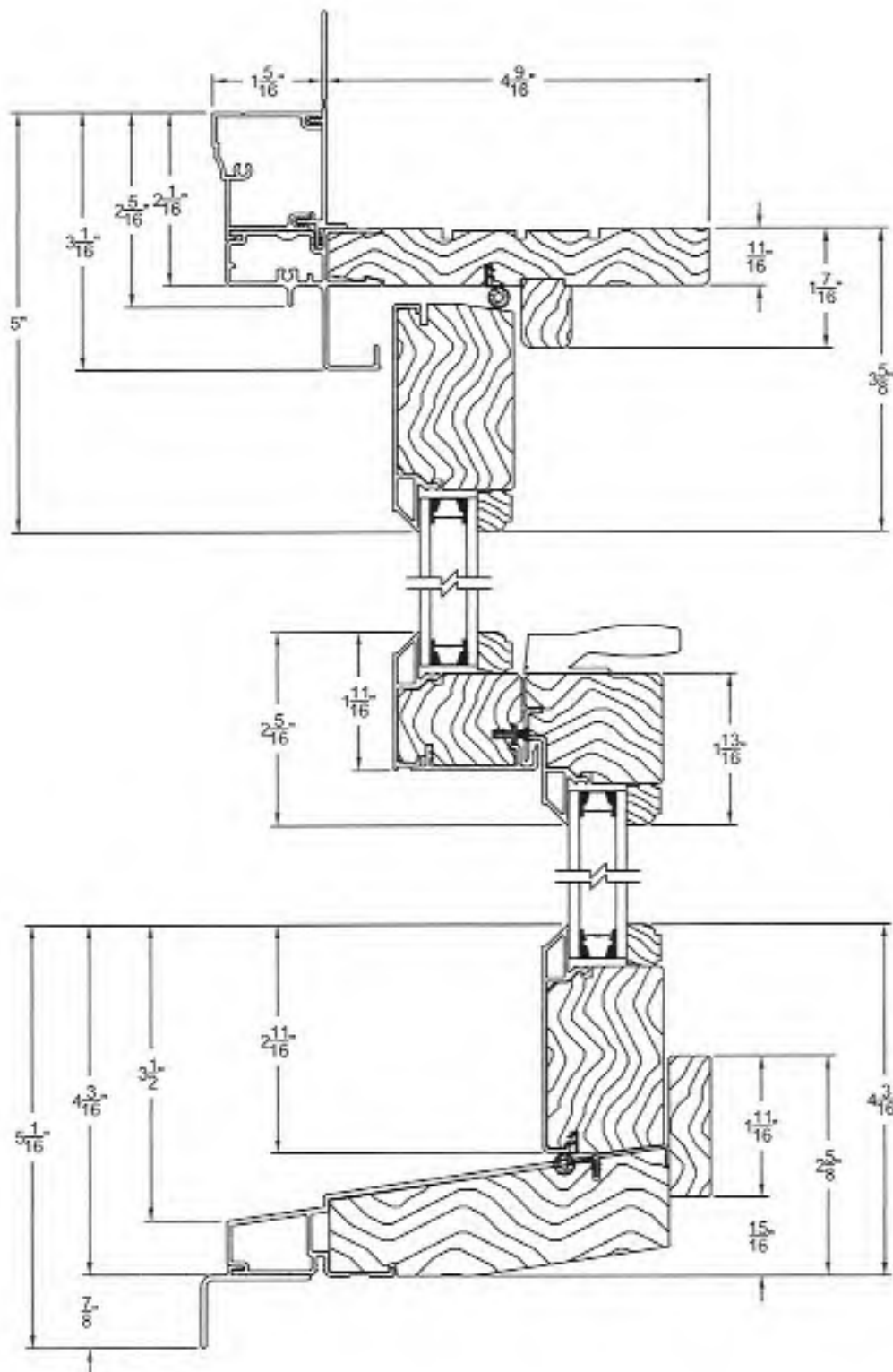
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1222 RACE STREET UNIT #4
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SITE
SECTION

	01-18-24
Drawn: BS	Project No:
Sheet No.	A300



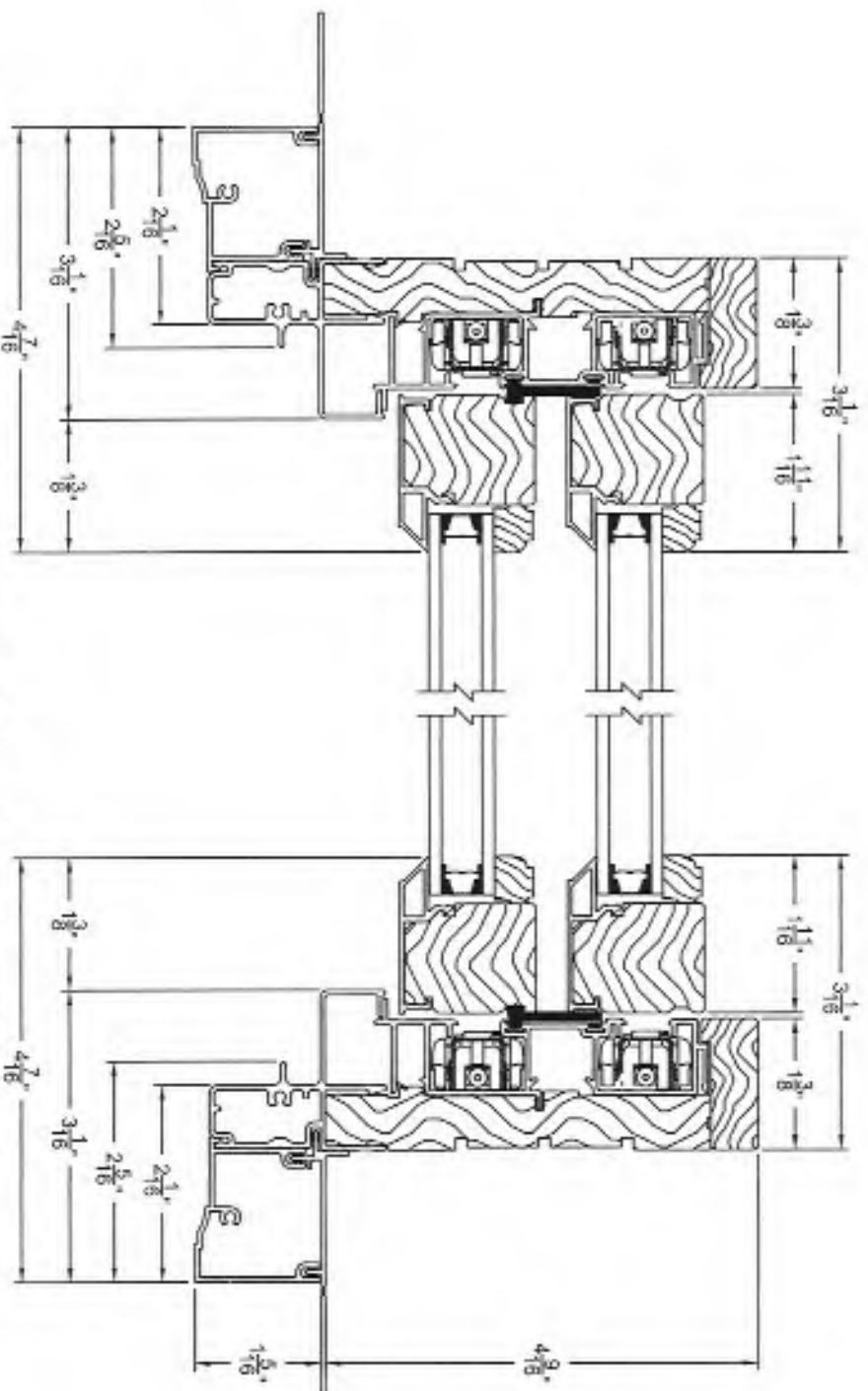
CLAD DOUBLE HUNG - WIDE RAILS
 2" CLAD BRICKMOULD - 7/8" NOSE - VERTICAL SECTION
 SCALE: 6" = 1' 0"

LINCOLN WOOD PRODUCTS, INC.

1400 W. TAYLOR ST.

Merrill, WI 54452

(715) 536-2461



CLAD DOUBLE HUNG - STANDARD JAMB/LINER
 2" CLAD BRICKMOULD - HORIZONTAL SECTION

SCALE: 6" = 1' 0"

LINCOLN WOOD PRODUCTS, INC.

1400 W. TAYLOR ST.

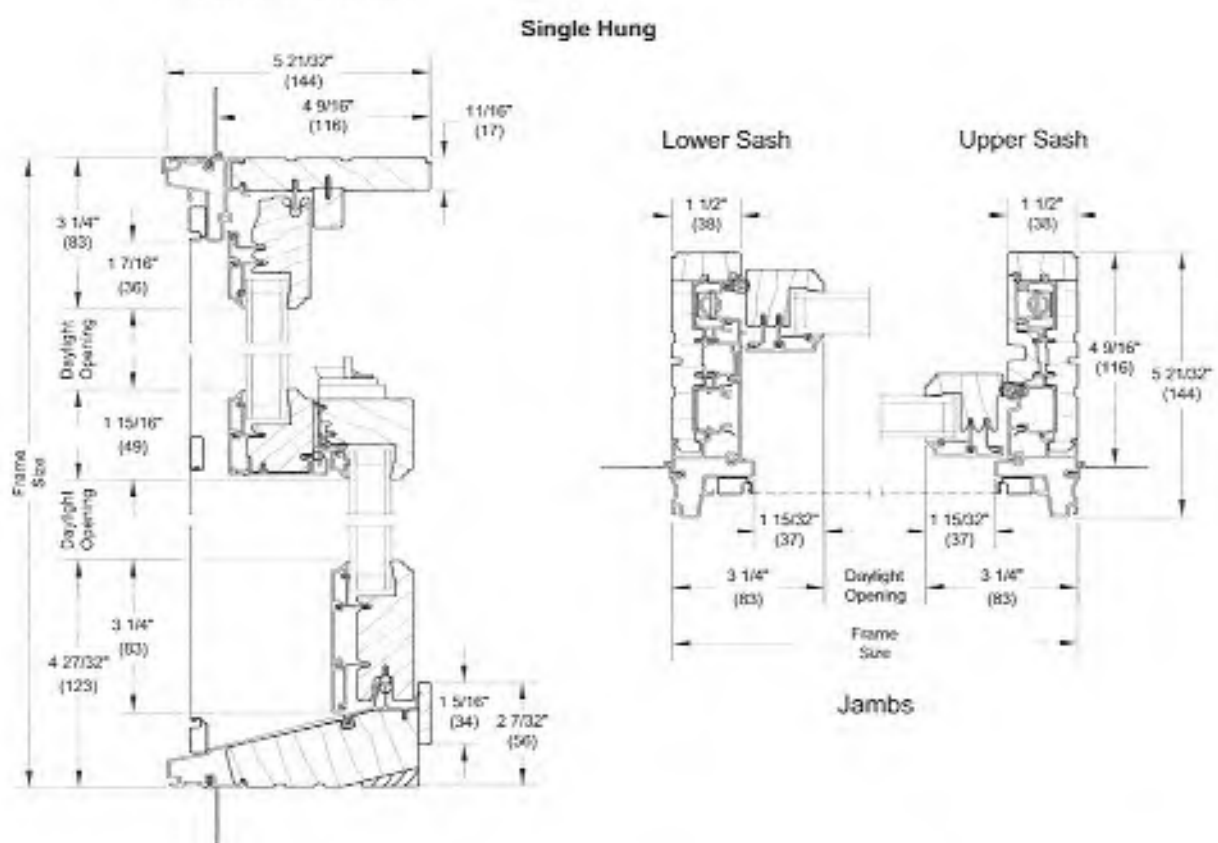
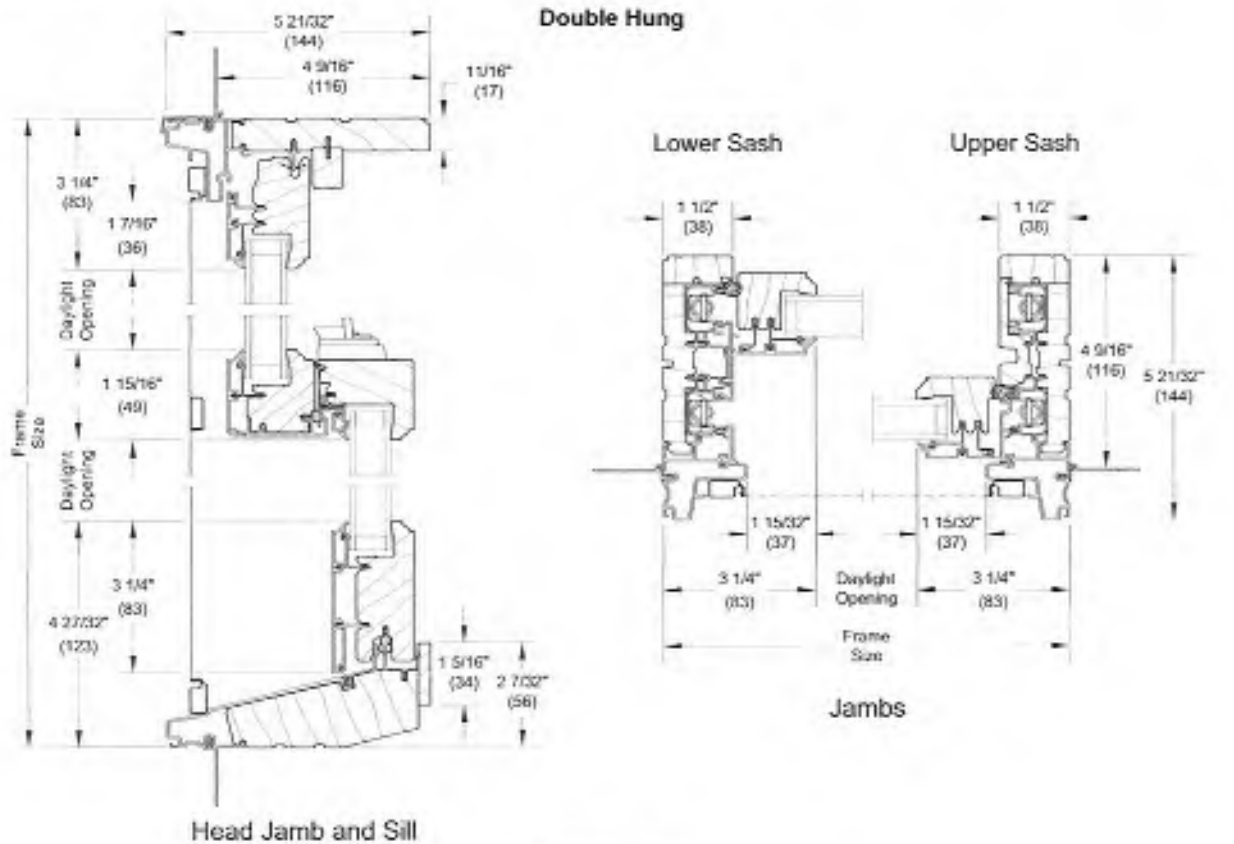
Merrill, WI 54452

(715) 536-2461



Section Details: Operating

Scale: 3" = 1' 0"



BLACK FINISH

KICHLER

Style to live by.



1 Light Outdoor Wall Cylinder in BA
9234BA (Brushed Aluminum)

Product Description:

This one light Wall Cylinder features our Brushed Aluminum finish and uses a BR-30 bulb that produces 65-watts (max) of pure light. It measures 7" high, is U.L. listed for wet location, and is a Dark Skies compliant fixture.

Available Finishes

Architectural Bronze
Brushed Aluminum
White

ADD TO PROJECT

Project	
Type	
Ordering #	
Comments	

Technical Information

Weight:	0.95 LBS
Safety Rated:	Wet
HCWO:	3.50'
Base Backplate:	5.00'
Width:	4.75"
Height:	7.00"
Lamp Included:	Not Included
Extension:	7.00"
Voltage:	120V
CFL Bulb Type:	HYBRID (13-15W)
Light Source:	Incandescent
Socket Base:	Medium
Number of Bulbs:	1
Lamp Type:	A19
Max Watt:	65W
Finish:	Brushed Aluminum

BLACK FINISH



Job Name:

Job Type:

Comments:

Quantity:

8313901-753: 6" Outdoor Bullet One Light Wall Lantern Dimensions:
in Painted Brushed Nickel



Width: 6" **Extends:** 8 3/4"
Height: 9" **Wire:** 6" (color/Black/White)
Mounting Proc.: Cap Nuts
Connection: Mounted To Box

Bulbs:

1 - Medium BR40 100w Max. 120v - Not included

Features:

- Dark sky friendly. Designed to emit no light above the 90° horizontal plane. Photometry unavailable.
- Easily converts to LED with optional replacement lamps
- Powdercoat finish included long finish life

Material List:

1 Body - Aluminum - Painted Brushed Nickel

Safety Listing:

cETL Listed for Wet Locations

Instruction Sheets:

Trilingual (English, Spanish, and French) (990W8313_0_-BUL)

Collection: Outdoor Bullets

UPC #: 785652274046

Finish: Painted Brushed Nickel (753)

Backplate / Canopy Details:

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Back Plate	4 1/2	4 1/2	2 7/8		4 1/2	4 1/2

Shipping Information:

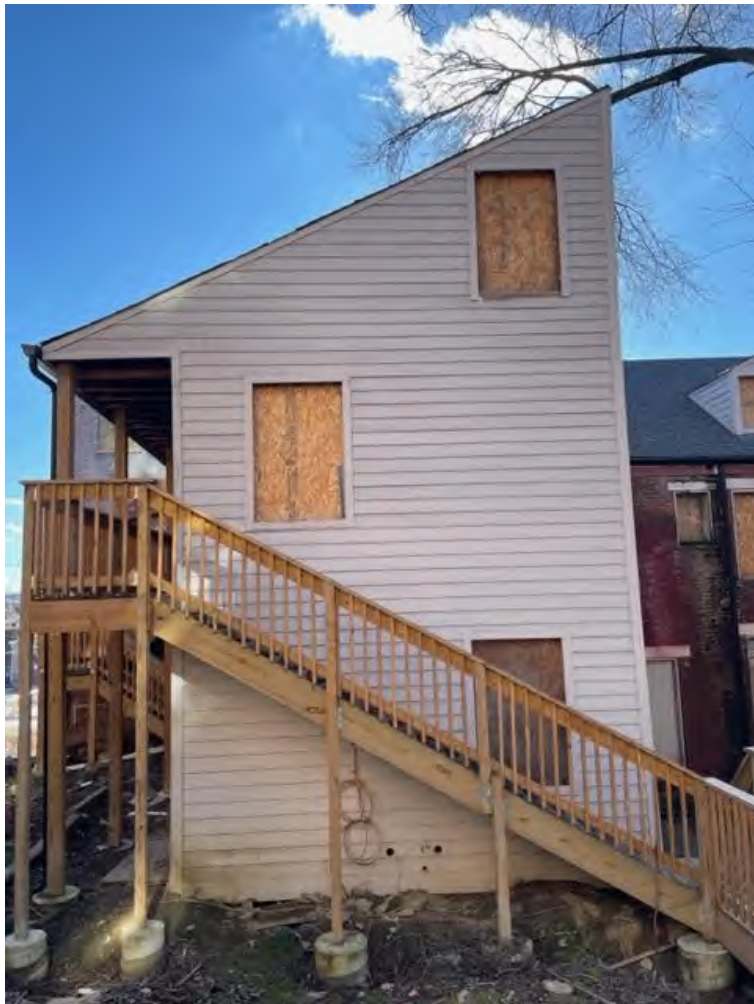
Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Frt. Class	UPS Ship
Individual	8313901-753	1	785652274046	12.38	9.5	6.78	0.461	3.45	125	Yes
Master Pack	8313901-753	6	10785652274043							













**APPLICATION FOR
CERTIFICATE OF APPROPRIATENESS
HISTORIC CONSERVATION BOARD PUBLIC HEARING
STAFF REPORT**

APPLICATION #: COA2024005
APPLICANT: Heather Estridge, Architect
OWNER: Jack Velasquez
ADDRESS: **1607 Race St.**
PARCELS: 094-0008-0050-00
ZONING: CC-P
OVERLAYS: Over-the-Rhine Historic District
COMMUNITY: Over-the-Rhine
REPORT DATE: March 11, 2024
STAFF REVIEW: Kate Meehan

Nature or Request

The applicant is seeking a Certificate of Appropriateness for a new rear two-story roof expansion, new upper-story windows, and a new rear deck at the second story. No zoning relief is required.

Existing Conditions

The subject property is located on the west side of Race Street, one building north of the corner at Liberty Street in the Over-the-Rhine neighborhood. The building is a 3-story brick Italianate building dating to ca. 1871. To the east is Pleasant St., to the west is Republic St., and to the north is Green St. The building currently serves as a mixed-use building, with commercial on the first floor and two living units above.

Proposed Conditions

The applicant is proposing the rehabilitation of the property. The building will remain a mixed-use dwelling, with commercial on the first floor and two residential units above but will be entirely renovated on the interior. The applicant is also proposing exterior changes, including replacement single-hung fire-rated steel windows, black in color, on the front elevation of the building, in existing upper story openings. At the rear of the building, the shed roof will be raised to become a front-gabled roof in order to provide additional interior headroom at the third floor; this addition will be clad in cement-fiber siding and painted. The addition/new roof will be within the footprint of the existing building – this will not be altered. The entire roof will be clad in new asphalt shingles, and the front-gabled roof will tie into the existing side-gabled roof. A wood deck at the second story rear will be added to replace the deck that was demolished in 2022. On the south side, four windows will be infilled with brick and recessed in 1/2" so that the opening still reads; this same treatment will occur on the rear, west elevation, where one window will be infilled with recessed brick. None of these window openings are visible from the street.

Previous Reviews: The front façade of the building is deteriorated and is bowing out from the building, necessitating its reconstruction. The applicant proposes demolishing the existing façade and rebuilding in its exact current configuration retaining the size and location of all existing openings. Existing brick will be reused where possible. Where additional brick is needed, the replacement brick will match the size and style of the existing historic brick. The previously painted façade will be repainted upon completion of work. The storefront door was shifted to the left within the existing opening to maintain clearance from the fire escape ladder in its extended position. A larger side light will be installed on the right, rather than having a smaller side light on each side of the door. A stabilization permit was received and reviewed by Staff and approved at the Staff Level (224P01956). The current proposal under consideration by the HCB does not include the rebuilt façade, but does include specific window models, which were not specified on the stabilization permit.

Applicable Zoning Code Sections:

Zoning District:	Section 1410	CC-P
HCB authority:	Section 1435-05-4	
Overlays:	Section 1435	Historic Preservation
Historic District/Reg:	Over-the-Rhine	
COA Standard:	Section 1435-09-2	COA; Standard of Review



Figure 1. Location of 1607 Race St., highlighted in blue. Image from CAGIS.



Figure 2. Front (east) and side (north) view of 1607 Race St. Image from Google.

Zoning Review

The proposed work complies with the existing Zoning regulations. The use will remain a mixed-use building. No Zoning Relief is required.

Certificate of Appropriateness Review:

The new upper-story windows, rear expansion with altered roofline, and rear deck changes require a Certificate of Appropriateness.

REHABILITATION

1. *Materials: Missing or deteriorated materials should be replaced with recycled or new materials that match the original as closely as possible with regard to the following: type, color, style, shape, and texture of material. The composition, type of joint, size of units, placement and detailing should be appropriate for the building. Synthetic materials such as aluminum or vinyl siding, imitation brick or plastic are inappropriate. Other types of synthetic materials such as split-face concrete block may be approved on a case-by-case basis.*

The materials that are proposed are appropriate replacements for historic materials. The roof will be clad in new asphalt shingles and the upper-story replacement windows will be steel, single-hung fire-rated windows, black in color. The rear deck will be wood with a metal handrail.

2. *Door and Window Openings: Among the most important features of any building are its openings — its windows and doors. The size and location of openings are an essential part of the overall design and an important element in the building's architecture. Don't alter or fill-in original openings. Roll down shutters and metal bar systems installed on the exterior of the building that cover door and window openings are not appropriate.*

Upper-story vinyl replacement windows will be replaced with single-hung, one-over-one fire-rated black steel windows to completely fill existing openings and to meet fire code. Steel is an appropriate window material for this situation, where windows are along the fire escape. The proposed Fire-Tec 925 series is a previously approved fire-rated window for use in historic renovation projects. Premium clear non-wire glazing shall be used.

ADDITIONS

1. *Additions are allowed and should follow new construction guidelines. They should be compatible in character with the original. They should be sympathetic but not imitative in design.*
2. *Additions should be designed to relate architecturally to adjacent buildings in general and to the building they are a part of in particular.*
3. *Additions should not overpower the original building.*
4. *The appropriateness of design solutions will be based on balancing the program needs of the applicant with 1) how well the proposed design relates to the original building and neighboring buildings and 2) how closely the proposal meets the intent of these general guidelines and the specific guidelines for new construction.*

The rear expansion will involve raising the roofline at the third floor, within the existing building footprint, to allow additional interior height to make this a livable space. The expansion will utilize the existing brick wall on the north side and will be clad in cement-fiber siding on the west (rear) and south elevations, which are not visible from the street. The roofline will change from a shed roof to a front-gabled roof. While this does change the profile of the roof, the addition will be set back more than 14' from the front façade, the existing brick wall remains and only the shape of the roof changes. When looking at the building directly, the addition will not be visible.

The roof of this expansion will be tied into the existing roof. Given the minimal size and height increase, along with its setback from the primary façade, Staff feels that the increase in roof height and shape will not overpower the original building and is a minimal change. As the adjacent lot to the north is currently vacant, some visibility will occur when viewed from an oblique angle until a new infill development occurs on the vacant lot.

SITE IMPROVEMENTS- DECKS

Wood decks should be stained or painted. Rooftop decks should not be highly visible from the principal façade. Metal balconies should not be discouraged.

The proposed wood deck is at the rear of the building and will be minimally visible, if at all, from the street. The deck will have a metal handrail around it and will be accessed from a second story rear door on the building.

Other Considerations:

Prehearing Results: A prehearing was held on March 6, 2024. The applicant and owners were present.

Comments Provided to Staff: N/A

Consistency with *Plan Cincinnati (2012)*:
“Sustain” Initiative Area “Preserve our built history.”

Recommendation:

Staff recommends the Historic Conservation Board take the following actions based on the plans by Heather Estridge, Architect, dated 12.04.23:

I. CERTIFICATE OF APPROPRIATENESS

A. **APPROVE** a Certificate of Appropriateness for the proposed third-story rear addition and roof alteration, rear deck, and exterior rehabilitation with the following conditions:

1. Any changes to proposed window models related to Building Code requirements are subject to Staff review and approval.
2. All windows should be clear and untinted. If Low-E glass is used, it must still be clear and not have a visible tint.
3. Fire-Tec 935 fire rated windows shall use premium clear non-wire glazing.
4. The building permit must be issued within 2 years, or the COA shall expire.

B. **FINDING:** The Board makes this determination per Section 1435-09-2:

1. The proposed project substantially conforms to the Over-the-Rhine Historic Conservation Guidelines.
2. The change in roofline is minimal and allows for more livable interior space at the third floor rear of the building. The existing brick wall remains intact.
3. Steel windows are necessary for fire/safety code reasons, as they are along or near a fire escape.
4. The rear expansion with altered roofline and rear deck are not highly visible from the primary street. Given the massing and height of the adjacent building at 1601 Race St., and the buildings behind this one on Pleasant St., it will not be visible from any secondary streets.

Historic Conservation Board



Hearing Application

1607 RACE ST
COA2024005

Historic Conservation Board

Suite 500
2
am- 4 pm

Section 1. SUBJECT PROPERTY

ADDRESS 1607 RACE ST COMMUNITY OVER-THE-RHINE
PARCEL ID(S) 094-000B-0050-00 HISTORIC DISTRICT OVER-THE-RHINE
BASE ZONING CLASSIFICATION CC-P HILLSIDE DISTRICT: Yes No
 Non-Residential Project Residential Project (RCO) One-, Two-, and Three-Family Dwelling

Section 2. APPLICANT

NAME HEATHER ESTRIDGE CONTACT PERSON (if legal entity) _____
ADDRESS 1615 DELL TER. CITY CINCINNATI STATE OH ZIP 45230
EMAIL HLEarchitect@gmail.com RELATIONSHIP TO OWNER (if not owner) ARCHITECT
TELEPHONE 513.700.3533

Section 3. OWNER

NAME 1607 RACE STREET LLC CONTACT PERSON (if legal entity) JACK VELASQUEZ
ADDRESS 97 OSBORN RD CITY RYE STATE NY ZIP 10580
EMAIL jack.1000@gmail.com RELATIONSHIP TO OWNER (if not owner) _____
TELEPHONE 914.953.8809

Section 4. NATURE OF CERTIFICATE OF APPROPRIATENESS REQUESTED

A certificate of appropriateness is NOT being requested. (Proceed to Section 5.)

A certificate of appropriateness is being requested for:

New Construction Alteration Demolition

BRIEF DESCRIPTION OF PROJECT (Do not write "see attached" or leave blank.)

THE OWNER IS PROPOSING A 2ND FLOOR EXPANSION ON THE REAR OF THE BUILDING.
THE FOOTPRINT IS NOT BEING EXPANDED. THE EXPANSION IS NOT VISIBLE FROM THE STREET.

Section 5. NATURE OF ZONING RELIEF REQUESTED

Zoning relief is NOT being requested, or select all that apply:
 Variance Special Exception Conditional Use Use Variance
 Expansion or Substitution of Non-Conforming Use Hillside Overlay District Permission
 Urban Design Overlay District Permission DD District Phased Development Approval

BRIEF DESCRIPTION OF ZONING RELIEF REQUESTED (Do not write "see attached" or leave blank.)

Section 6. SIGNATURE.

I certify that all statements and documents that I provide with reference to this application are accurate, complete, and true to the best of my knowledge and belief. I further acknowledge that my application shall be deemed incomplete for my failure to timely comply with any requirement of this application, which non-compliance may result in delays in the scheduling and resolution of my application.

Print Name HEATHER ESTRIDGE Signature [Signature] Date 02.02.24

Section 7. DOCUMENTATION SUBMISSION REQUIREMENTS.

Important Information: An application will not be deemed complete until all required documents listed below have been submitted and the application fee is paid in full. All transactions must be completed by 4:00pm. No exceptions. Applicants are strongly encouraged to submit as early as possible to allow time for review and revisions. Partial applications cannot be processed. Failure to submit a complete application prior to 4:00pm on a deadline date will result in delays to the assigned hearing date.

<input type="checkbox"/>	Submit two (2) paper copies collated, single sided and bound together of all the documents listed below, <u>AND</u> one (1) digital copy on a thumb/flash drive in PDF format of all documents listed below. <i>No emails.</i>
<input type="checkbox"/>	Historic Conservation Board hearing application; pages 1-2 only. The instruction pages should not be included in your submission.
<input type="checkbox"/>	Adjudication Letter <u>AND</u> worksheet issued by the Department of City Planning & Engagement – Urban Conservator’s Office. Provide all documents requested on the worksheet.
<input type="checkbox"/>	A written statement explaining how the proposed project meets the applicable Historic Conservation Guidelines and, if requested, Zoning relief. Separate instructions for preparing this statement are attached. <i>If you fail to follow the instructions for your type of request(s), your application may be denied.</i>
<input checked="" type="checkbox"/>	Applications requesting development permission in a Hillside Overlay District must meet the additional requirements found in Cincinnati Municipal Code 1433-15. <i>Please ensure your application meets these requirements.</i>
<input type="checkbox"/>	All documents (forms, letters, etc.) must be formatted to 8.5x11. Font no smaller than size 11. Plans or drawings may be formatted to 11x17 or 12x18. <i>No larger sizes will be accepted.</i>
<input type="checkbox"/>	Accurate drawings, plans or surveys (including a graphic scale) of existing and proposed project showing parcel lines, boundaries, dimensions, areas, topography, and frontage of the property involved, as well as the location and dimensions of all primary and accessory structures from the nearest property lines. Provide all parcels and structures adjacent to the site. When landscaping is required by the zoning code, a landscaping plan must be provided.
<input type="checkbox"/>	Detailed information (such as drawings, elevations with measurements, specifications) fully depicting the exterior and/or interior appearance of the existing and proposed project, including parking and access, exterior lighting, landscaping, signs, roof and floor plans involved in the application. Provide labeled photographs of existing conditions of all sides/directions of the structure/property.
<input type="checkbox"/>	The Hamilton County Auditor’s record showing ownership of the property. If the Hamilton County Auditor’s official records do not list the applicant or owner as the owner of the property, please provide a lease, contract to purchase, or other agreement demonstrating the applicant or owner’s legal basis to seek the relief requested.
<input type="checkbox"/>	A list of witnesses, expert witnesses, or legal counsel who you expect to testify at the hearing on this application. Please provide names and email addresses.
<input type="checkbox"/>	Other documents or information you intend to introduce at the hearing on this application.
<input type="checkbox"/>	A non-refundable application fee - a check made payable to “City of Cincinnati.”

To help avoid delays, it is strongly suggested that you present your application to neighboring property owners and any interested neighborhood community groups prior to the hearing on your application. This will give you a prior opportunity to address your neighbors’ concerns or objections and can facilitate the approval of your application.

ADJUDICATION/DENIAL LETTER

Date: January 23, 2024

Location: 1607 Race Street

Request: COA

Zoning District: CC-P/ Over-the-Rhine Historic District

The City of Cincinnati appreciates receiving information regarding your proposed project. The purpose of this letter is to inform you that your proposed project requires a Certificate of Appropriateness from the Historic Conservation Board, as it is within a local historic district and involves exterior alterations to the building, specifically, a roof addition, storefront alterations and rear deck.

All documents **that are checked** on the “Checklist for Historic Conservation Board” document are a required part of the submission, and the submission will not be considered complete unless all of these documents are included. When you submit the copies of the application, the “Checklist” Sheet must be submitted as well. The application can be found at this link: <https://www.cincinnati-oh.gov/sites/planning/assets/HCB%20Application%20Revised%202.2.22%20Hyperlink.pdf>.

All deadlines for upcoming Historic Conservation Board hearings can be found <https://www.cincinnati-oh.gov/planning/historic-conservation/historic-conservation-board/>. **Applications must be submitted no later than 3pm on the deadline date.**

The applications and documents required will be turned into the *Law Department- Office of Administrative Boards*. Their office is located on the 5th floor of 805 Central Avenue in the Permit Center. Applications can be turned in **no later than 3pm on the deadline date**. You must contact Kasandra Maynes at 513-352-1559 or Kasandra.Maynes@cincinnati-oh.gov for submittal.

You may also contact me at the information listed below with historic conservation or zoning questions, concerns or to make an appointment.

Sincerely,



Douglas Owen

Urban Conservator

(p): 513-352-4848

(e): douglas.owen@cincinnati-oh.gov

Checklist for Historic Conservation Board Hearing Application

The Historic Conservation Office will provide this list with the required items

checked off when an Adjudication letter is issued. All items checked must be submitted to the Law Department with submission or the application will not be accepted.

- 8 business days before the hearing date 10 hard copies and a digital copy in one pdf for the final board packet. Hard copies must be formatted and retain the proper scale on sheets no larger than 11x17 or 12x18.
- Non-Refundable Application Fee. Checks made payable to the City of Cincinnati. \$ 642.80

All Drawings and Plans must include the following

- ✓ A graphic scale required on all drawings
- ✓ North arrows on all site, context and floor plans
- ✓ Elevations labeled with North, South, East West, front, side and rear labels
- ✓ Street names labeled
- ✓ Date and/or revision dates

Architectural Drawings and Plans

- An index of drawings located on the first sheet
- Context Map showing the building within at least a block of context
- Existing site plans
- Proposed site plans
 - All site plans must have*
 - ✓ *Parcel/boundary lines*
 - ✓ *Building footprints and dimensions labeled*
 - ✓ *Setback dimensions from all property lines labeled*
 - ✓ *Existing and proposed principal and accessory buildings, including location, dimensions, and height labeled;*
 - ✓ *All properties and their structures immediately adjacent to the site*
 - ✓ *Location and placement of exterior utilities and vents*
- Existing elevation drawings (At minimum must provide photographs of existing conditions of all elevations)
- Proposed elevation drawings
 - All elevations (existing and proposed) must have*
 - ✓ *Total Height from grade to top of the building*
 - ✓ *Total height- ASL (Above Sea Level)*
 - ✓ *Materials labeled*
 - ✓ *Location and placement of exterior utilities and vents*
- Existing floor plans and roof plans (with chimney locations)
- Proposed floor plans and roof plans (with chimney locations)
 - All floor(existing and proposed) plans must have*
 - ✓ *Residential and Commercial Spaces labeled. Residential Spaces must be numbered.*
 - ✓ *Square feet of commercial spaces listed*
 - ✓ *Location of trash storage and Utilities*
 - ✓ *Location and placement of exterior utilities and vents*

- Site section and/or Site elevations including any adjacent properties
- Driveways, sidewalks, walkways, terraces, and other paved surfaces
- Existing and proposed accessory structures, including walls, fences, porches, lighting, signs, and other site improvements;
- Existing and proposed landscape areas and materials, if proposed to be altered;
- Proposed materials, textures, and colors. Include make, model and series for proposed materials
- Labeled photos of all sides of the building
- Labeled photos of 1 block streetscape context in all directions
- Site line drawings for any roof additions, roof decks, utilities.
- A color rendering, axonometric drawings and/or perspective of the proposed construction (required on infill projects)

Required if applicable to the project

- Historic Sanborn Maps of the site
- Window brochures and cut sheet
- Roof product information (brochure)
- Garage door brochures
- Sample materials or color samples. _____
- Fence drawings of style, fence brochures or photo of a sample fence
- Signs; drawings, photo showing the sign on the building, mounting info, materials, colors and illumination
- Mature tree removal requires a letter from an arborist stating its poor health
- All written correspondence submitted by the applicant and other affected persons
- Tentative project schedule
- Egress Plan/Route to Building Code Compliance (roof decks, multi-family developments)
- _____
- _____
- _____

Demolition (full or partial) for Historic Conservation Districts and Landmarks

- Demolition Case Sheet and all required information listed on the sheet unless otherwise not required by the Urban Conservator in writing and provided with application.
- Statement of plans for the property after demolition.

Hillside Overlay Zone (CZC § 1433)

- A development plan, accompanied by a property survey, showing existing vegetation and proposed development, and where applicable, streets, drives, parking areas, walkways, heights of structure(s), location of structures, elevation and setback of proposed buildings, drainage, existing contours and proposed grading and new landscaping plans, proposed uses and square footage of uses and recreational facilities;
- A preliminary geotechnical evaluation;
- A determination of the maximum building envelope;
- Average slope/grade of the property; and
- Graphic illustrations demonstrating that the proposed improvement or new structure has not exceeded the maximum building envelope

For additional questions about this checklist contact Urban Conservator at 513-352-4848 or urban.conservator@cincinnati-oh.gov

Note: The aforementioned information is general in nature. Additional information may be required by the Urban Conservator once the application is submitted. Please use this list to plan for the potential documents that could be required for a submission.

HEATHER ESTRIDGE, Architect
1615 Dell Terrace
Cincinnati, OH 45230
513-708-3533
HLEarchitect@gmail.com

DATE: February 2, 2024

TO: CITY OF CINCINNATI

FROM: HEATHER ESTRIDGE, ARCHITECT

RE: Certificate of Appropriateness
Location: 1607 Race St
Zone District: CC-P/Over-the-Rhine Historic District

The owner of the property at 1607 Race St, Cincinnati, OH, is requesting a Certificate of Appropriateness for exterior alterations to the building, including:

- A roof addition on the rear of the building
- Storefront-first floor entry alterations
- Rear deck addition (replacement)

This request is consistent with the general purposes and intent of the Historic District Guidelines as outlined below. The proposed changes will allow the owner to maximize the property's use. It should not negatively impact the value of surrounding property.

1. **Massing, Height, and Scale:** The alterations to the building do not expand the overall height or scale of the building. The roof addition simply allows for better use of the existing footprint of the 3rd floor apartment without having to expand the footprint of the building.
2. **Setback:** The footprint of the building is not changing. The existing building complies with the guidelines.
3. **Composition:** The composition of the building is not changing. The existing building complies with the guidelines.
4. **Rhythm:** The rhythm of the building is not changing. The existing building complies with the guidelines.
5. **Openings:** 2nd and 3rd floor window openings are not changing. The 1st floor opening sizes remain the same to maintain first floor transparency for the commercial space. However, the configuration of the 1st floor entry is changing to a single door with one sidelight, rather than a door with 2 sidelights. This change is to resolve the conflict between the door and the fire escape ladder when the ladder extends to the ground in case of an emergency.

6. Roof: The proposed change to the roof allows for more use of the 3rd floor footprint without having to expand the footprint. The roof expansion is not visible from the street. The pitch is not greater than what is consistent within the district.
7. Materials: Materials are consistent with other buildings within the district and with the district guidelines.

HEATHER ESTRIDGE, Architect
1615 Dell Terrace
Cincinnati, OH 45230
513-708-3533
HLEarchitect@gmail.com

DATE: February 2, 2024

TO: CITY OF CINCINNATI, BUILDINGS & INSPECTIONS

FROM: HEATHER ESTRIDGE, ARCHITECT

RE: Witnesses
Location: 1607 Race St
Zone District: CC-P

Owners:
Jack Velasquez
97 Osborn Rd
Rye, NY 10580
jack1000@gmail.com
914-953-8809

Kate Velasquez
97 Osborn Rd
Rye, NY 10580
kate.velasquez@icloud.com
646-599-5375

Architect:
Heather Estridge
1615 Dell Terrace
Cincinnati, OH 45230
HLEarchitect@gmail.com
513-708-3533

MIXED USE BUILDING ALTERATION

1607 RACE ST, CINCINNATI, OH 45202

CODE INFORMATION

DESCRIPTION
1607 RACE ST IS AN EXISTING BUILDING WITH 1ST FLOOR COMMERCIAL AND TWO FLOORS OF RESIDENTIAL ABOVE. THE OWNER IS PROPOSING A COMPLETE REHAB WITHIN THE EXISTING FOOTPRINT. THE FIRST FLOOR WILL BE A "WHITE BOX" FOR FUTURE BUSINESS USE.

ZONING
ZONE DISTRICT CC-P
OTR HISTORIC DISTRICT
MIN LOT AREA: 0 SF
MAX BUILDING HEIGHT: 85 FT
MIN BUILDING HEIGHT: 15 FT
MIN FRONT YARD SETBACK: 0 FT
BUILDING PLACEMENT REQ'S: NO
GROUND FLOOR TRANSPARENCY REQ'S: YES
RESIDENTIAL LOT AREA/PER UNIT (EXISTING BUILDING): 500 SF
REAR YARD SETBACK: NO REQ.

BUILDING CODE: 2017 OBC

SEE ATTACHED CHAPTER 34 ALTERNATIVE ANALYSIS AND WORKSHEET

ABBREVIATIONS

AFT	ABOVE FINISHED FLOOR
AD	AREA DRAIN
AL or ALUM	ALUMINUM
APPROX	APPROXIMATE
APT	APARTMENT
ARCH	ARCHITECT. ARCHITECTURAL
BD	BOARD
BLDG	BUILDING
BLKG	BLOCKING
BLND	BLOCKHEAD
BM	BEAM
BOT	BOTTOM
BOT or B/	BEARING
BRC	BENCH
CAB	CABINET
CL	CERAMIC TILE
CJ	CONTROL JOINT
CL	CENTER LINE
CLG	CEILING
CLD	CLOSED
CMU	CONCRETE MASONRY UNIT
CO	CLEANOUT
COL	COLUMN
CONC	CONCRETE
CONSTR	CONSTRUCTION
CONT	CONTINUOUS
CPT	CARPET
CS	CONCRETE SEALED
CW	COLD WATER
DF	DRINKING FOUNTAIN
DN	DOWN
DS	DOWNSPOUT
DW	DISHWASHER
DWG	DRAWING
EA	EACH
EL	ELEVATION
ELEC	ELECTRICAL
EQ	EQUAL/ESQUALLY
EQPT	EQUIPMENT
EXP	EXPANSION
EXT	EXTERIOR
EXT	EXTERIOR
FA	FACE OF
FA	FIRE ALARM
FD	FLOOR DRAIN
FDN	FOUNDATION
FE	FIRE EXTINGUISHER
FI	FIRE HYDRANT
FIN	FINISH
FLR	FLOOR/FLOORING
FLSG	FLASHING
FLUOR	FLUORESCENT
FR	FRAME
FRT	FIRE RETARDANT TREATED
FT	FOOT/FEET
FTG	FOOTING
GA	GAGE
GALV	GALVANIZE/-D
GEN	GENERAL
GL	GLASS
GL	GRADE/-ING
GWB	GYP/SUM WALLBOARD
GYP	GYP/SUM
HC	HOSE BIB
HD	HOLLOW CORE
HDWD	HARDBOARD WOOD (DOOR)
HDWE	HARDWARE
HM	HOLLOW METAL
HORIZ	HORIZONTAL/-LY
HR	HOUR
HT	HEIGHT
HW	HOT WATER
IM	INSULATED METAL (DOOR)
IN	INCH/-ES
INSUL	INSULATION
INT	INTERIOR
INV	INVERT
IPS	INSIDE PIPE SIZE
IT	JOINT
KD	KNOCK-DOWN
KITCHEN	KITCHEN
LAM	LAMINATE/-ION
LAB	LAVATORY
LF	LINEAR FOOT
LH	LONG LEG HORIZONTAL
LV	LONG LEG VERTICAL
LR	LIVING ROOM
LVL	LAMINATED VENEER LUMBER
LVR	LOWER
MO	MASONRY OPENING
MAS	MASONRY
MATL	MATERIAL
MAX	MAXIMUM
MBR	MASTER BEDROOM
MDO	MEDIUM DENSITY OVERLAY
MECH	MECHANICAL
MFR	MANUFACTURER
MH	MANNHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MTD, MTC	MOUNTED MOUNTING
MTL	METAL
NA or N/A	NOT APPLICABLE
NC	NOT IN CONTRACT
NO. or #	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
O/O	OUT TO OUT
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFF	OFFICE
OH	OPPOSITE HAND
OPNG	OPENING
OPP	OPPOSITE
PAR	PARALLEL
PERF	PERFORATED/-ATIONS
PERM	PERIMETER
PERP	PERPENDICULAR
PL	PLATE or PROPERTY LINE
PL-LAM	PLASTIC LAMINATE
PLG	PLUMBING
PLY	PLYWOOD
PLY	PLYWOOD
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PSL	PARALLEL STRAND LUMBER
PT	POINT
R	RISER
R/W	RIGHT OF WAY
RD	ROOF DRAIN
RENT	RENTAL
RECD	REQUIRED
RESID	RESIDENTIAL
REV	REVISION
RFG	ROOFING
RM	ROOM
RO	ROUGH OPENING
RO	ROUGH OPENING
SA	SANITARY
SAN	SOLID CORE
SD	SMOKE DETECTOR
SD	SQUARING FOOT
SDF	SLIDING GLASS DOOR
SHT	SHEET
SM	SIMILAR
SQ	SQUARE
ST	STORY
STL	SOUND TRANSMISSION CLASS
STOR	STORAGE
STRUCT	STRUCTURAL
SUSP	SUSPENDED
T&B	TREAD
T&G	TOP AND BOTTOM
T&G	TONGUE AND GROOVE
TOP	TOP OF
TEMP	TEMPORARY
THK	THICK -NESS
THRU	THROUGH
TYP	TYPICAL
TYP	UNLESS NOTED OTHERWISE
UNO	UNRINAL
UR	URINAL
VN	VINYL
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL -LY
W/	WITH
W/O	WITHOUT
WC	WATER CLOSET
WD	WOOD
WH	WATER HEATER
WT	WEIGHT
WFF	WELDED WIRE FABRIC

INDEX OF DRAWINGS

SHEET NUMBER	SHEET NAME	ISSUE DATE	REVISION NUMBER	REVISION DATE
G000	COVER SHEET	12-04-23	1	02-02-24
G101	SITE PLAN	12-04-23	1	02-02-24
A101	FLOOR PLANS	12-04-23	1	02-02-24
A102	FLOOR PLANS	12-04-23	1	02-02-24
A201	ELEVATIONS	12-04-23	1	02-02-24

OWNER

1607 RACE STREET LLC
97 OSBORN RD
RYE, NY 10580
EMAIL: KATE.VELASQUEZ@ICLOUD.COM
PHONE: (646) 599-5375

ARCHITECT

HEATHER ESTRIDGE, RA, NCARB
3747 EASTERN AVE
CINCINNATI, OHIO 45226
PHONE: (513) 708-3533
E-MAIL: HLEarchitect@gmail.com

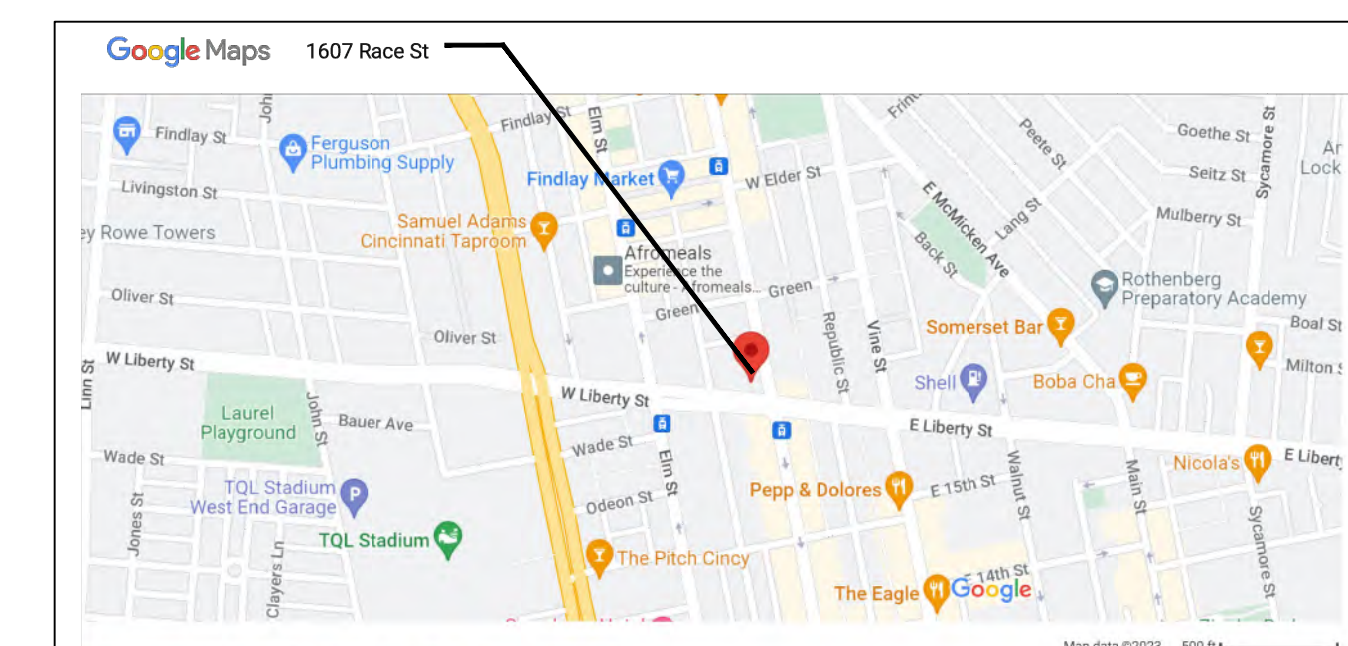
CONTRACTOR

BRIDGET HARRIS
BTH CONSTRUCTION
PHONE: (513) 544-3056
EMAIL: BTH@BTHCONSTRUCTION.ORG

STRUCTURAL

TOM MOORE
PINNACLE ENGINEERING
PHONE: (513) 236-9400
EMAIL: TMOORE@PINNENG.COM

VICINITY MAP



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3747 EASTERN AVE
CINCINNATI, OHIO 45226
(513) 708-3533



HEATHER ESTRIDGE, LICENSE NO. 13059
EXPIRES: 12/31/2023

PROJECT NAME

1607 RACE ST
CINCINNATI, OH

DATE

12-04-23

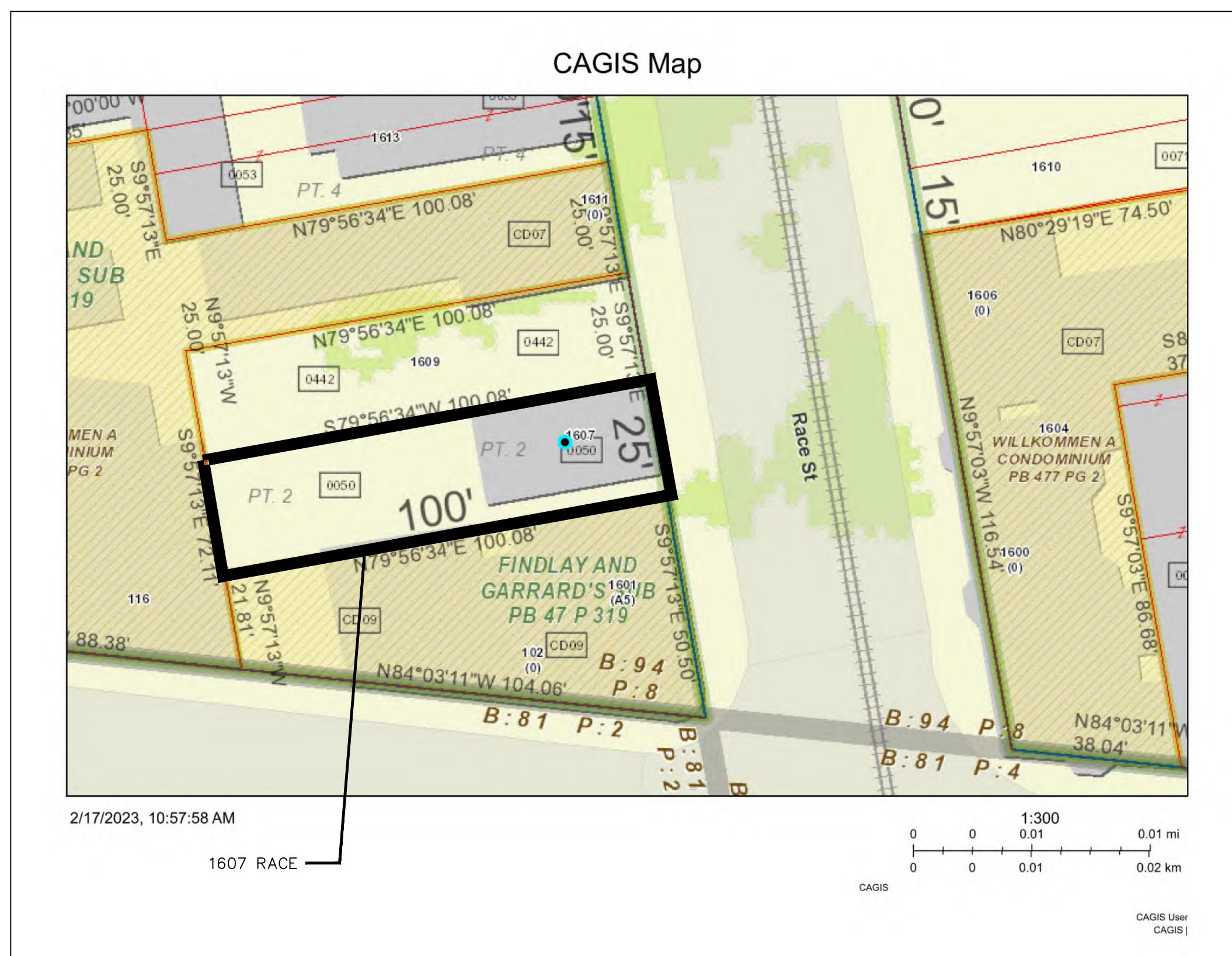
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COVER SHEET

SHEET

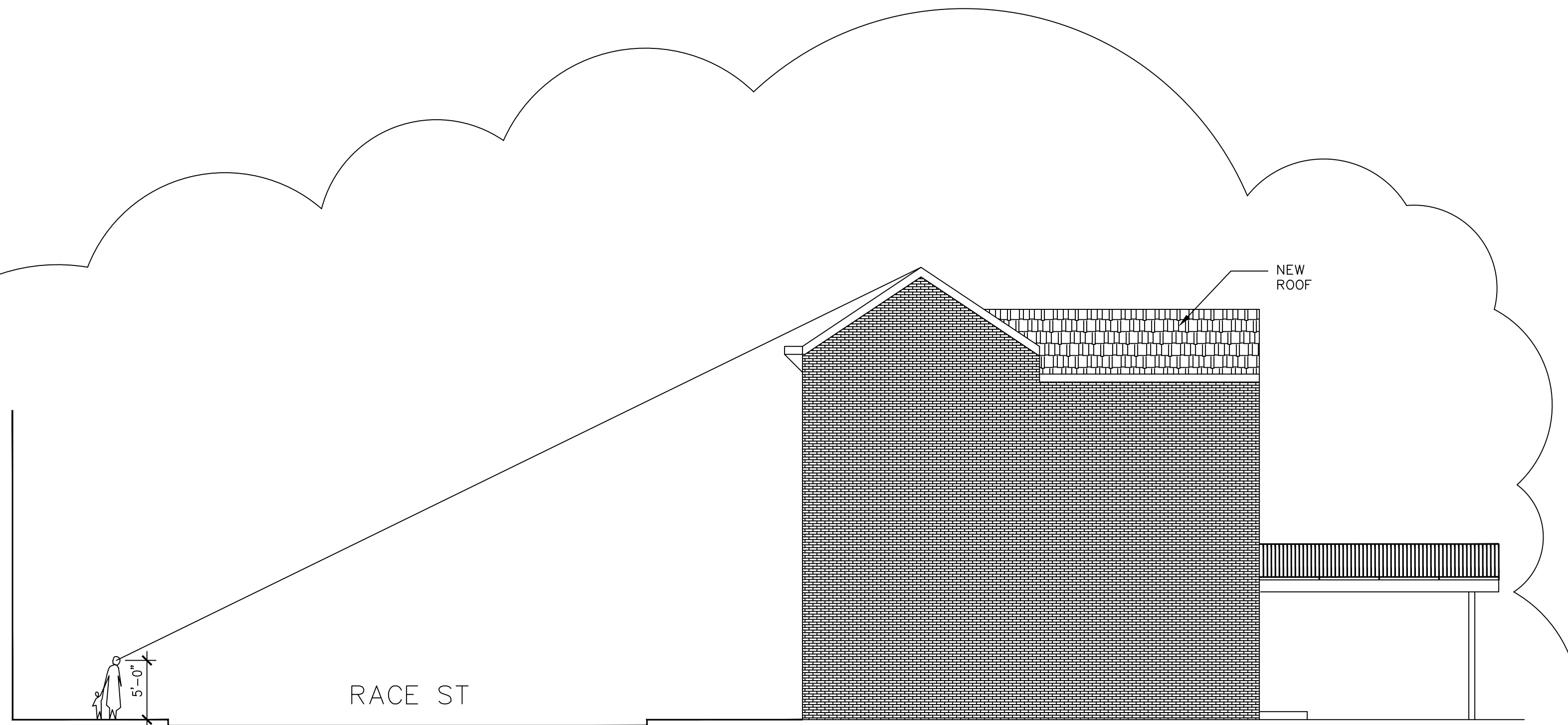
G000

SITE PLAN

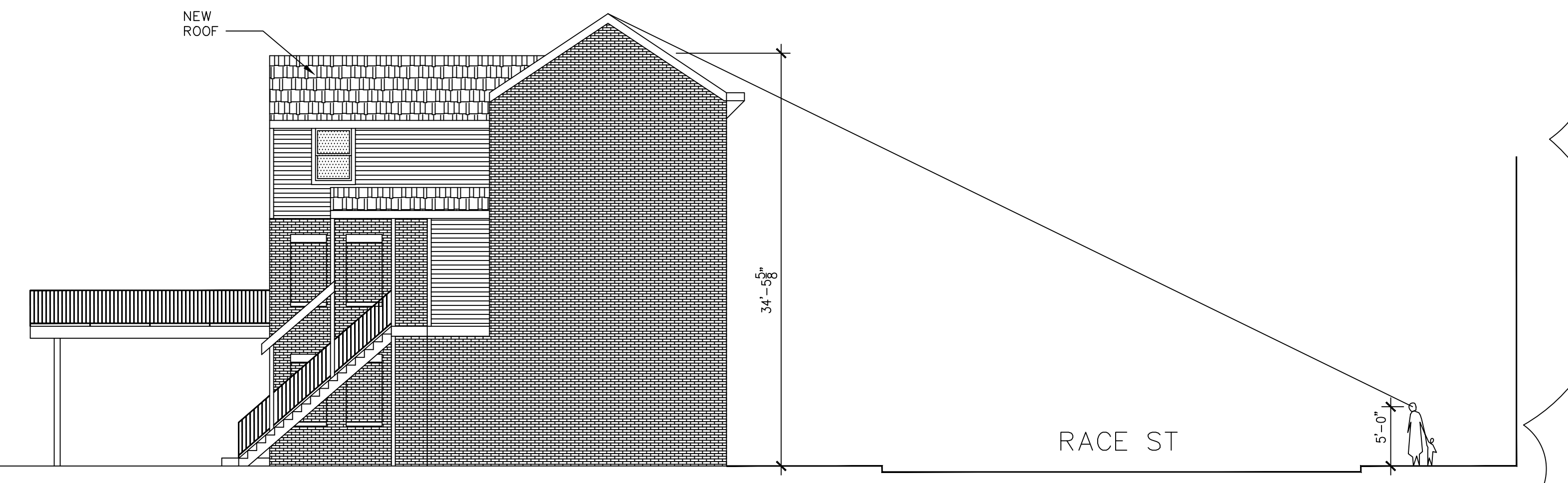


GENERAL NOTES

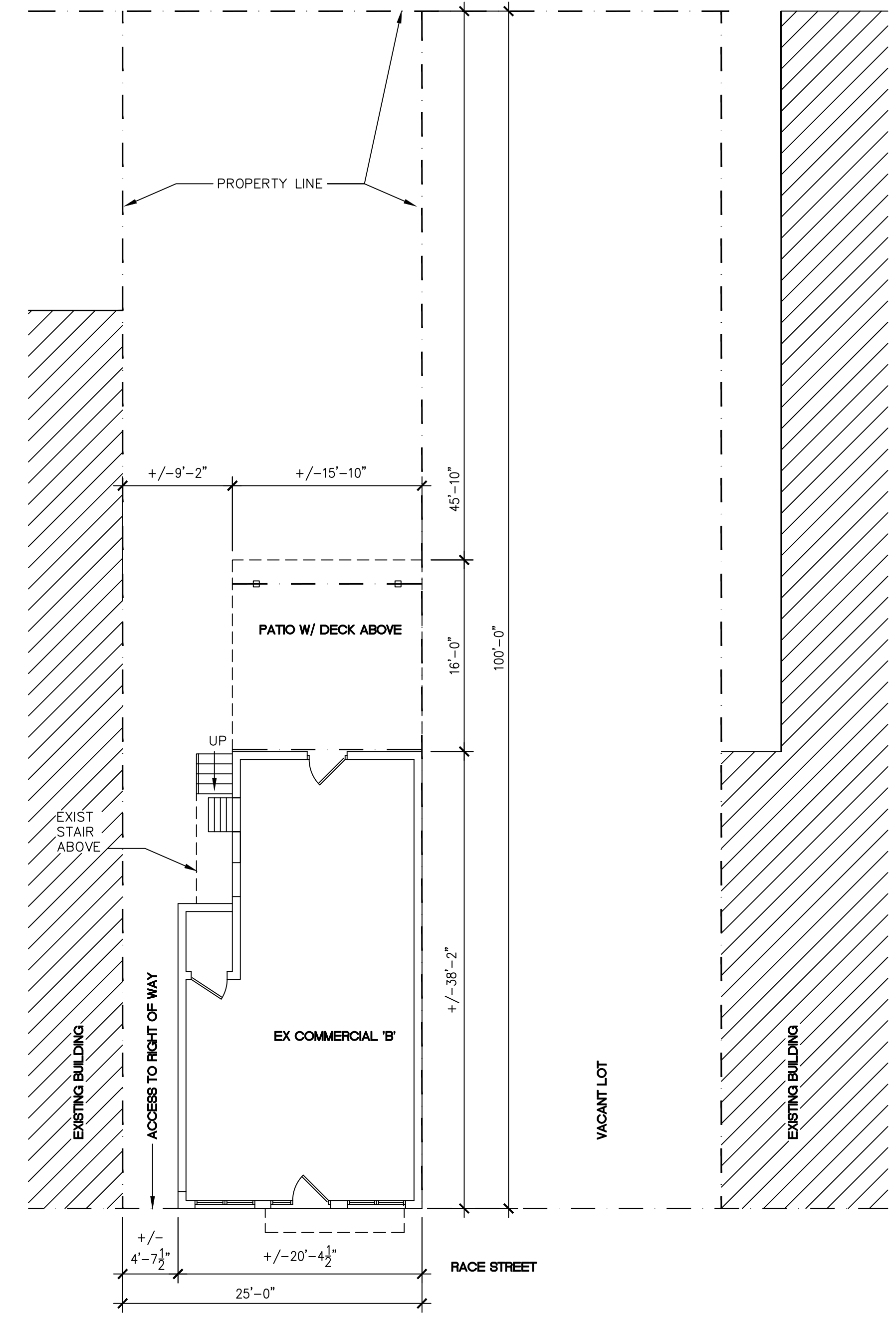
- WORK TO BE DONE IN AN APPROVED WORKMANLIKE MANNER AND SHALL BE IN ACCORDANCE WITH GOVERNING CODES + REGULATORY AGENCIES.
- OWNER'S CONTRACTOR WILL OBTAIN PERMITS & COMPLY WITH REQUIREMENTS OF LICENSING AGENCIES.



3 NORTH ELEVATION
 SCALE: 1/8"=1'-0" (24x36)
 SCALE: 1/16"=1'-0" (12x18)

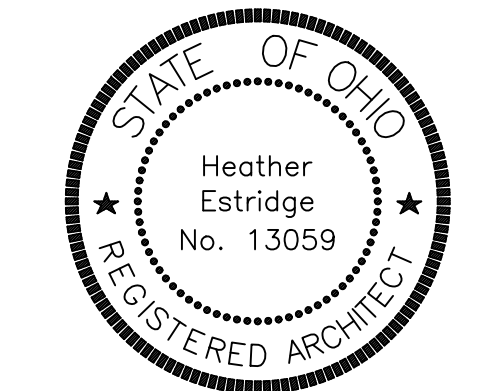


2 SOUTH ELEVATION
 SCALE: 1/8"=1'-0" (24x36)
 SCALE: 1/16"=1'-0" (12x18)



1 PROPOSED SITE PLAN
 SCALE: 1/8"=1'-0" (24x36)
 SCALE: 1/16"=1'-0" (12x18)

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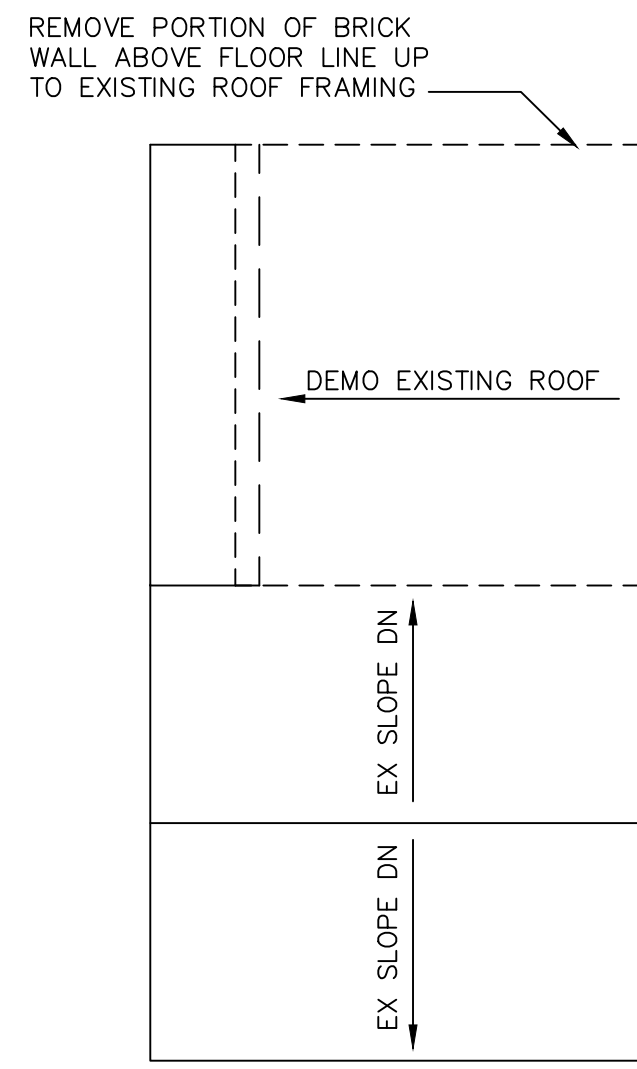
HEATHER ESTRIDGE, LICENSE NO. 13059
 EXPIRES: 12/31/2024

PROJECT NAME
**1607 RACE ST
 CINCINNATI, OH**

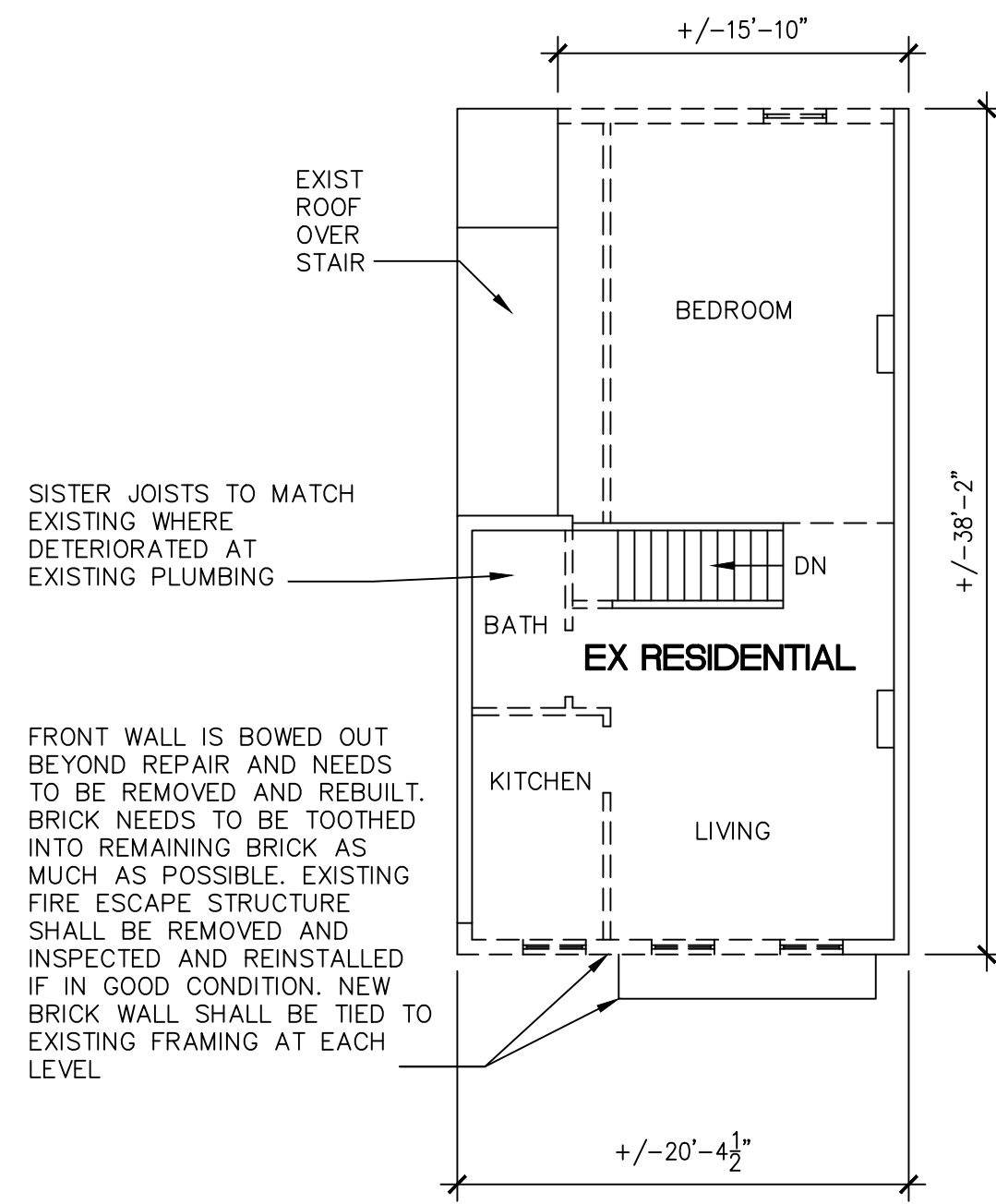
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12-04-23

TITLE
SITE PLAN

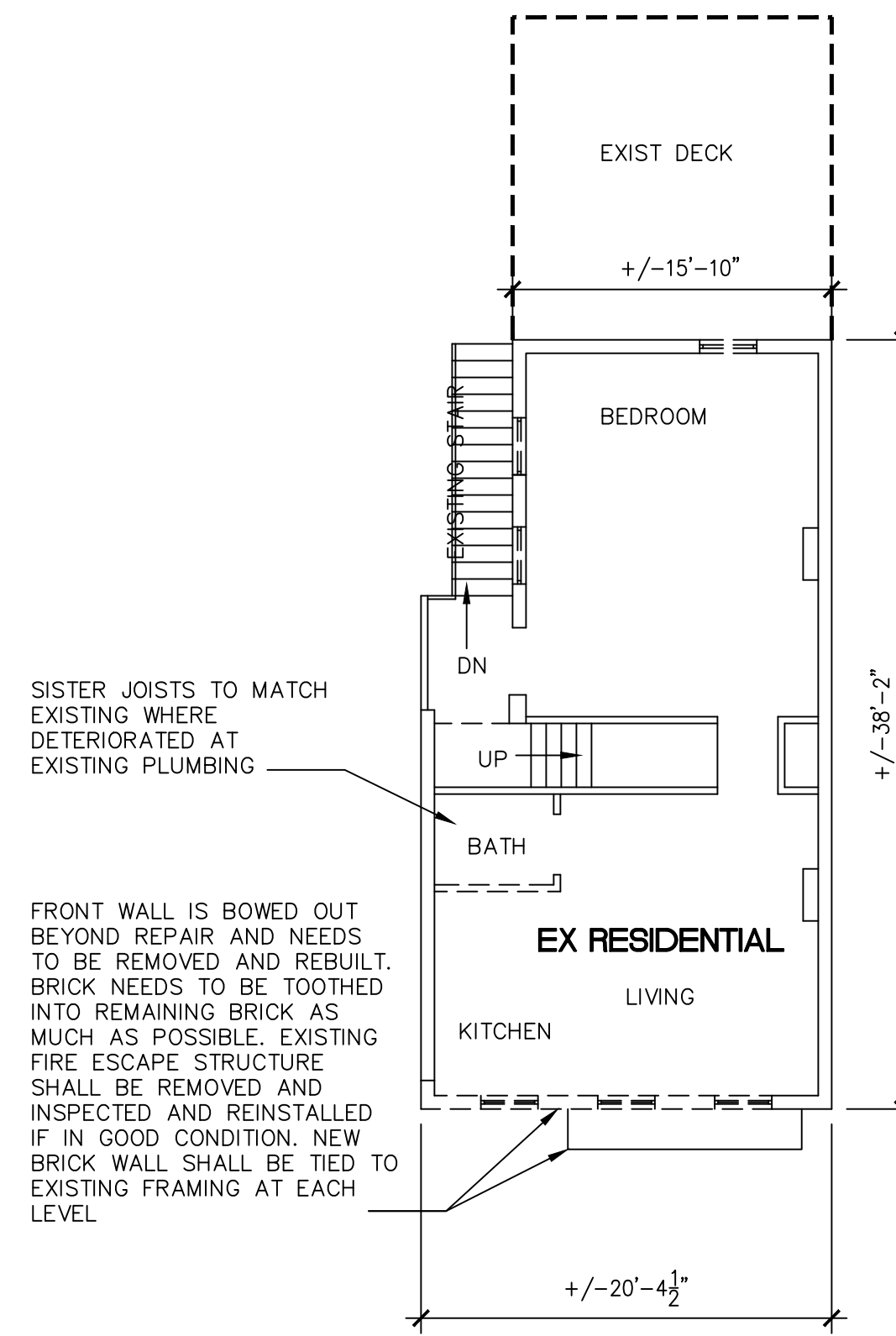
SHEET
G101



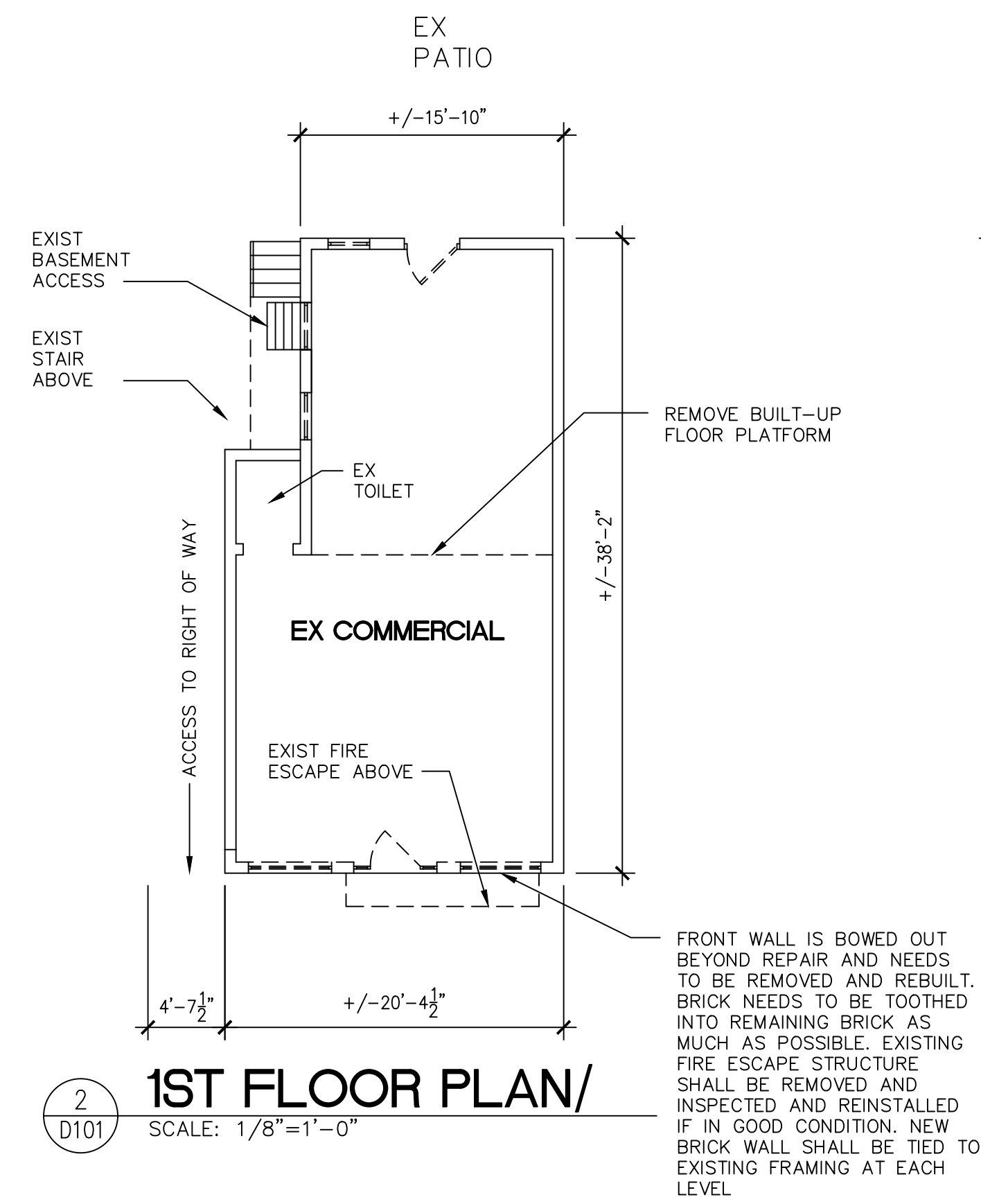
5 **ROOF PLAN**
SCALE: 1/8"=1'-0"



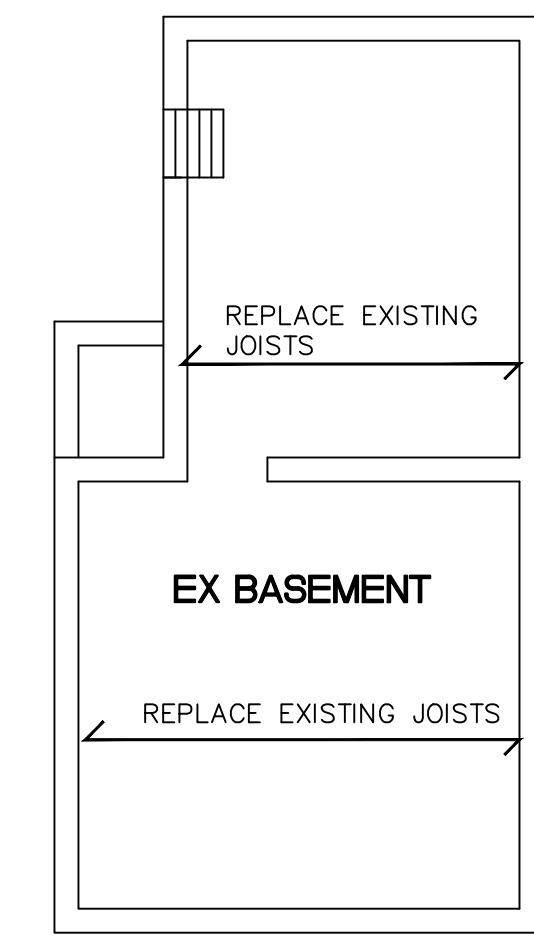
4 **3RD FLOOR PLAN/**
SCALE: 1/8"=1'-0"



3 **2ND FLOOR PLAN/**
SCALE: 1/8"=1'-0"



2 **1ST FLOOR PLAN/**
SCALE: 1/8"=1'-0"



1 **FOUNDATION PLAN/**
SCALE: 1/4"=1'-0"

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1615 DELL TERRACE
Cincinnati, Ohio 45230
(513) 708-3533



HEATHER ESTRIDGE, LICENSE NO. 13059
EXPIRES: 12/31/2024

PROJECT NAME

1607 RACE ST
CINCINNATI, OH

DATE
12-04-23

TITLE
EXISTING/DEMO
PLANS

SHEET
D101

SYMBOLS LEGEND

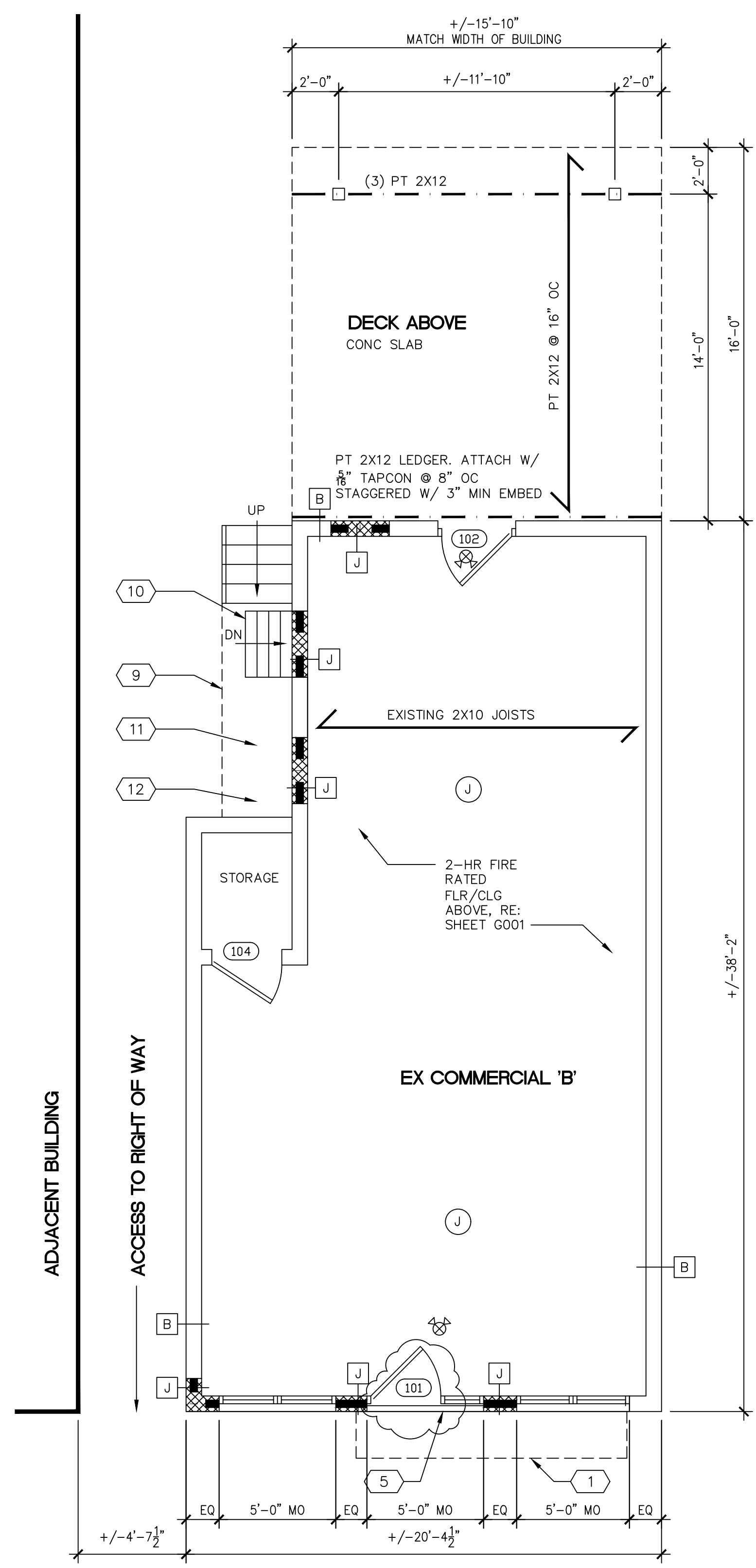
	EXISTING WALL		NEW EXIT/EMERGENCY LIGHT FIXTURE W/ 90 MINUTE BATTERY AND REMOTE DISCHARGE HEAD
	NEW PERIMETER FURRED WALL		EXHAUST VENT W/ LIGHT
	NEW INTERIOR FRAMED WALL		CARBON MONOXIDE-VERIFY LOCATION WITH BUILDING INSPECTOR
	NEW INTERIOR PLUMBING WALL		SMOKE DETECTOR-VERIFY LOCATION WITH BUILDING INSPECTOR
	NEW/INFILL EXTERIOR WALL		JUNCTION BOX FOR CEILING MOUNTED LIGHT FIXTURE
	2 HR RATED FIRE BARRIER		ACCESSIBILITY DETAILS, RE: 1/A601
	1 HR RATED FIRE PARTITION		60" DIAMETER CLEAR FLOOR SPACE
	NEW ROOF		T-SHAPED TURNING SPACE
	WINDOW MARK, RE: SHEET A601		48" X 30" CLEAR FLOOR SPACE
	DOOR MARK, RE: DOOR LEGEND, SHEET A601		56" X 60" CLEAR FLOOR SPACE
	WALL TAG, RE: SHEET A001		
	EMERGENCY ESCAPE + RESCUE OPENING		

GENERAL NOTES

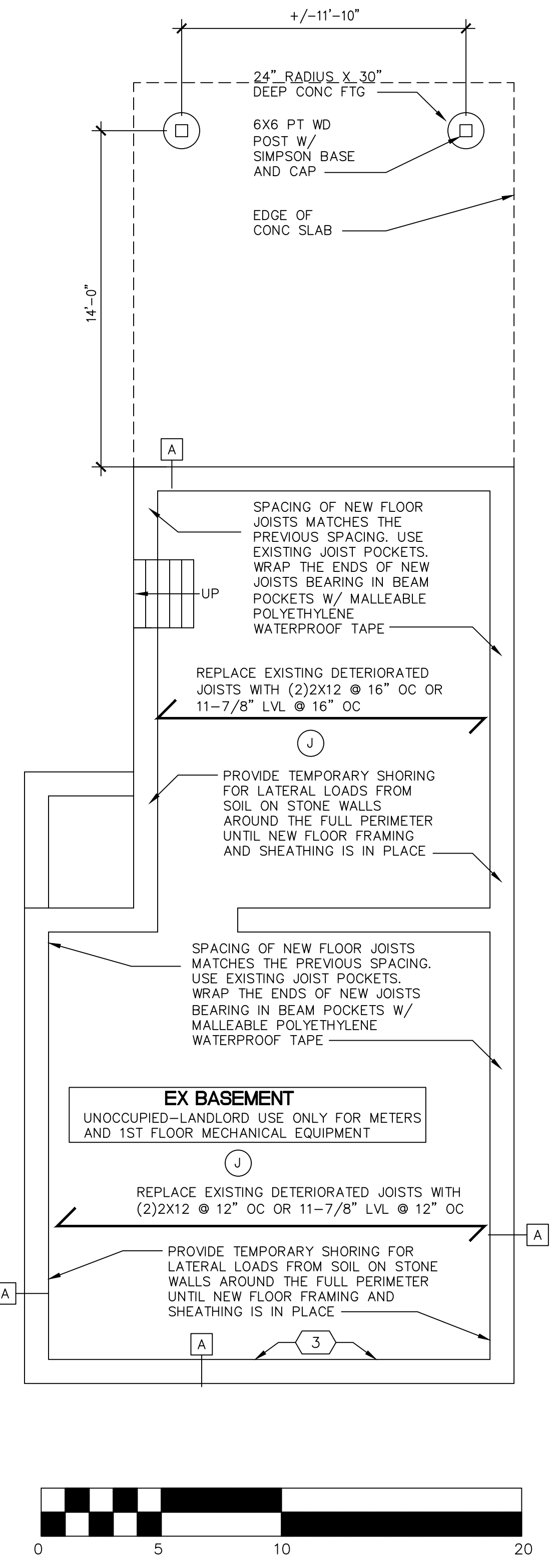
- ALL DIMENSIONS ARE FROM/TO FACE OF GWB AT EXISTING WALLS AND FROM/TO FACE OF STUD AT NEW WALLS UNLESS NOTED OTHERWISE. INTERIOR WALL STUDS ARE 2X4.
- ALL INFILL CONSTRUCTION SHALL FINISH FLUSH AND SMOOTH WITH ADJACENT SURFACES, UNO.
- PROVIDE FULL SOLID STUD BEARING UNDER ALL BEAM BEARING POINTS TO SOLID FOUNDATION CONDITION BELOW.
- PROVIDE "X" BRACING OR SOLID BLOCKING AT 6'-0" OC (MAX) AT ALL FLOOR JOISTS.
- ALL WOOD FRAMING IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- ALL EFFORTS SHALL BE TAKEN TO ASSURE A "QUIET" FLOOR SYSTEM (GLUE AND SCREW PLYWOOD DECKING TO JOISTS).
- HARDWIRED (WITH BATTERY BACKUP) SMOKE DETECTORS SHALL BE INSTALLED. VERIFY NUMBER OF SMOKE DETECTORS AND LOCATION WITH OWNER AND CODE REQUIREMENTS.
- ALL PLUMBING AND MECHANICAL VENTS SHALL BE GROUPED WITHIN THE BUILDING STRUCTURE OR ATTIC SPACE WHEN POSSIBLE TO MINIMIZE ROOF PENETRATIONS. ALL PLUMBING AND MECHANICAL VENTS WHICH EXTEND ABOVE THE ROOF SHALL BE LOCATED AWAY FROM PUBLIC VIEW. ALL METAL AND PVC VENTS AND PENETRATIONS SHALL BE PROPERLY PRIMED AND PAINTED TO BLEND INTO THE ROOF COLOR.
- COORDINATE PLUMBING LAYOUT SUCH THAT ALL WATER, WASTE, AND VENT PIPING IS CONCEALED WITHIN NEW OR EXISTING WALL CONSTRUCTION.
- ALL INTERIOR PENETRATIONS ARE TO BE PROTECTED W/ FIRESTOPPING.
- INSPECT PERIMETER OF BUILDING FOR OPENINGS IN EXTERIOR WALL AND FILL/COVER ANY HOLES TO PREVENT ANIMALS FROM ENTERING.
- ALL WINDOWS TO BE REPLACED WITH INSULATED, VINYL WINDOWS OF SIMILAR SIZE AND CONFIGURATION.
- VERIFY THAT EXISTING, UNFINISHED WALLS MEET FIRE-RATING AS NOTED. REPAIR/REPLACE AS NECESSARY.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD. COORDINATE WITH NEW FRAMING DIMENSIONS PRIOR TO INSTALLATION.
- SEE ELECTRICAL FLOOR PLANS FOR LOCATIONS OF EXIT + EMERGENCY EGRESS LIGHTING
- EXISTING T&G WOOD FLOORS: REPAIR/REPLACE EXISTING DAMAGED/ROTTED FLOORING WITH PLYWOOD OF THE SAME THICKNESS. SECURE EXISTING FLOORING IF LOOSE. REMOVE LOOSE PAINT. FOLLOW LEAD ABATEMENT BEST PRACTICES. OVERLAY ALL AREAS, EXCEPT BATHROOMS, WITH 1/4" PLYWOOD. SCREW THROUGH INTO FLOOR JOISTS.
- INTERIOR SIDE OF PERIMETER MASONRY WALLS: INSTALL NEW INSOFAST INSULATION PANELS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL NEW GWB PER PLANS.
- EXISTING INTERIOR FRAMED WALLS: INSTALL NEW GWB OR LAMINATE OVER EXISTING, TYPE PER PLANS.
- CEILING: INSTALL NEW GWB PATCHES OR LAMINATE OVER EXISTING GWB OR PLASTER. TYPE PER PLANS.
- PREP GWB FOR PAINT BY OTHERS.
- INSTALL NEW WOOD TRIM PER PLANS.
- BASEMENT: PROVIDE NEW CONC FOOTERS WHERE COLUMN BASES ROTTED.
- BASEMENT: REPAIR/REPLACE CONCRETE SLAB AS NECESSARY.

DRAWING NOTES

- EXISTING FIRE ESCAPE
- ATTIC ACCESS, FIELD VERIFY LOCATION
- UTILITY METERS
- GRAB BAR
- EXISTING STEP AT CONCRETE SLAB
- HANDRAIL AT 36" AFF
- PARTIAL HT WALL AT 42" AFF
- ROOF OVER STAIR BELOW
- EXISTING STAIR ABOVE
- BASEMENT ACCESS: REPAIR/REPLACE HATCH AND STEPS
- TRASH STORAGE
- CONDENSING UNITS



**1ST FLOOR PLAN/
2ND FLOOR FRAMING**
2
A101 SCALE: 1/4"=1'-0" (24X36)
SCALE: 1/8"=1'-0" (12X18)



**FOUNDATION PLAN/
1ST FLOOR FRAMING**
1
A101 SCALE: 1/4"=1'-0" (24X36)
SCALE: 1/8"=1'-0" (12X18)

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1615 DELL TERRACE
Cincinnati, Ohio 45230
(513) 708-3533



HEATHER ESTRIDGE, LICENSE NO. 13059
EXPIRES: 12/31/2024

PROJECT NAME
**1607 RACE ST
CINCINNATI, OH**

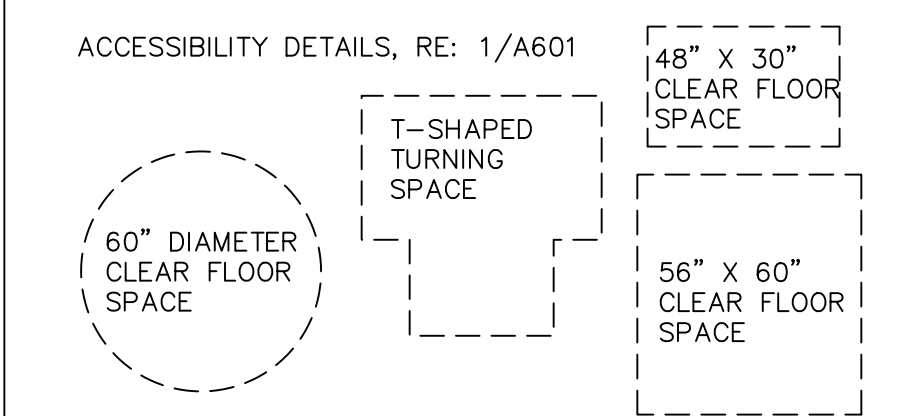
DATE
12-04-23

TITLE
FLOOR PLANS

SHEET
A101

SYMBOLS LEGEND

	EXISTING WALL		NEW EXIT/EMERGENCY LIGHT FIXTURE W/ 90 MINUTE BATTERY AND REMOTE DISCHARGE HEAD
	NEW PERIMETER FURRED WALL		EXHAUST VENT W/ LIGHT
	NEW INTERIOR FRAMED WALL		CARBON MONOXIDE-VERIFY LOCATION WITH BUILDING INSPECTOR
	NEW INTERIOR PLUMBING WALL		SMOKE DETECTOR-VERIFY LOCATION WITH BUILDING INSPECTOR
	NEW/INFILL EXTERIOR WALL		JUNCTION BOX FOR CEILING MOUNTED LIGHT FIXTURE
	2 HR RATED FIRE BARRIER		
	1 HR RATED FIRE PARTITION		
	NEW ROOF		
	WINDOW MARK, RE: SHEET A601		
	DOOR MARK, RE: DOOR LEGEND, SHEET A601		
	WALL TAG, RE: SHEET A001		
	EMERGENCY ESCAPE + RESCUE OPENING		

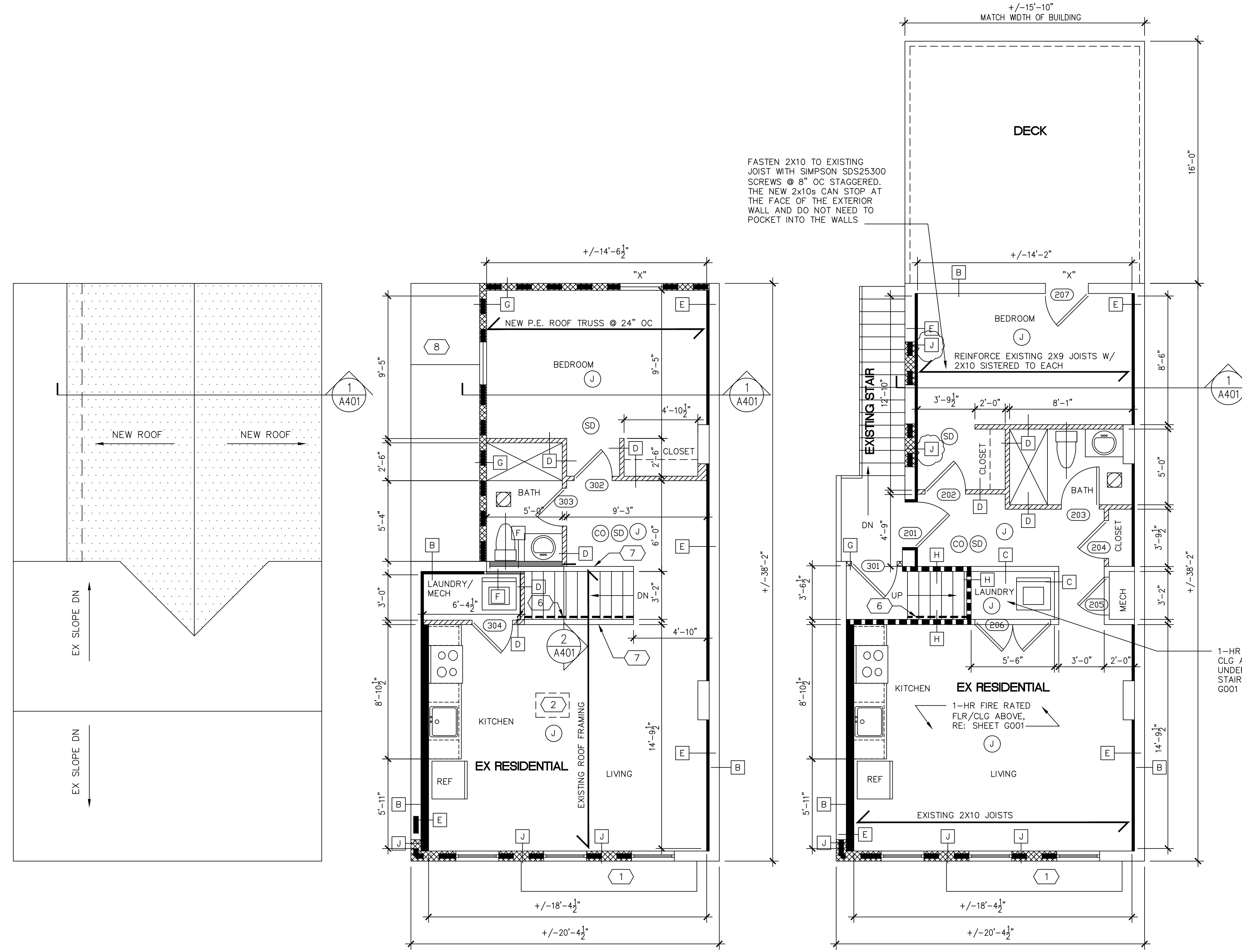


GENERAL NOTES

- ALL DIMENSIONS ARE FROM/TO FACE OF GWB AT EXISTING WALLS AND FROM/TO FACE OF STUD AT NEW WALLS UNLESS NOTED OTHERWISE. INTERIOR WALL STUDS ARE 2X4.
- ALL INFILL CONSTRUCTION SHALL FINISH FLUSH AND SMOOTH WITH ADJACENT SURFACES, UNO.
- PROVIDE FULL SOLID STUD BEARING UNDER ALL BEAM BEARING POINTS TO SOLID FOUNDATION CONDITION BELOW.
- PROVIDE "X" BRACING OR SOLID BLOCKING AT 6'-0" OC (MAX) AT ALL FLOOR JOISTS.
- ALL WOOD FRAMING IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- ALL EFFORTS SHALL BE TAKEN TO ASSURE A "QUIET" FLOOR SYSTEM (GLUE AND SCREW PLYWOOD DECKING TO JOISTS).
- HARDWIRED (WITH BATTERY BACKUP) SMOKE DETECTORS SHALL BE INSTALLED. VERIFY NUMBER OF SMOKE DETECTORS AND LOCATION WITH OWNER AND CODE REQUIREMENTS.
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DRAWING NOTES

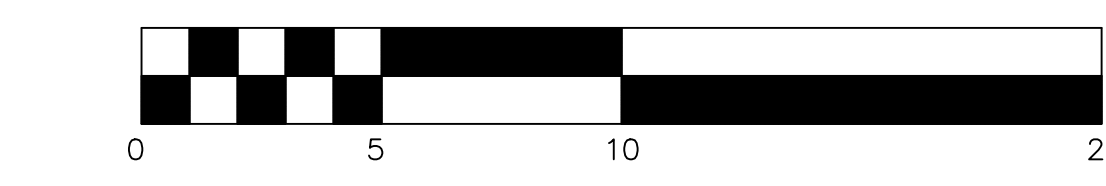
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- GRAB BAR
- EXISTING STEP AT CONCRETE SLAB
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- PARTIAL HT WALL AT 42" AFF
- ROOF OVER STAIR BELOW
- EXISTING STAIR ABOVE
- BASEMENT ACCESS: REPAIR/REPLACE HATCH AND STEPS
- TRASH STORAGE
- CONDENSING UNITS



3 ROOF PLAN
SCALE: 1/4"=1'-0" (24X36)
SCALE: 1/8"=1'-0" (12X18)

2 3RD FLOOR PLAN/ ROOF FRAMING
SCALE: 1/4"=1'-0" (24X36)
SCALE: 1/8"=1'-0" (12X18)

1 2ND FLOOR PLAN/ 3RD FLOOR FRAMING
SCALE: 1/4"=1'-0" (24X36)
SCALE: 1/8"=1'-0" (12X18)



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1615 DELL TERRACE
Cincinnati, Ohio 45230
(513) 708-3535



HEATHER ESTRIDGE, LICENSE NO. 13059
EXPIRES: 12/31/2024

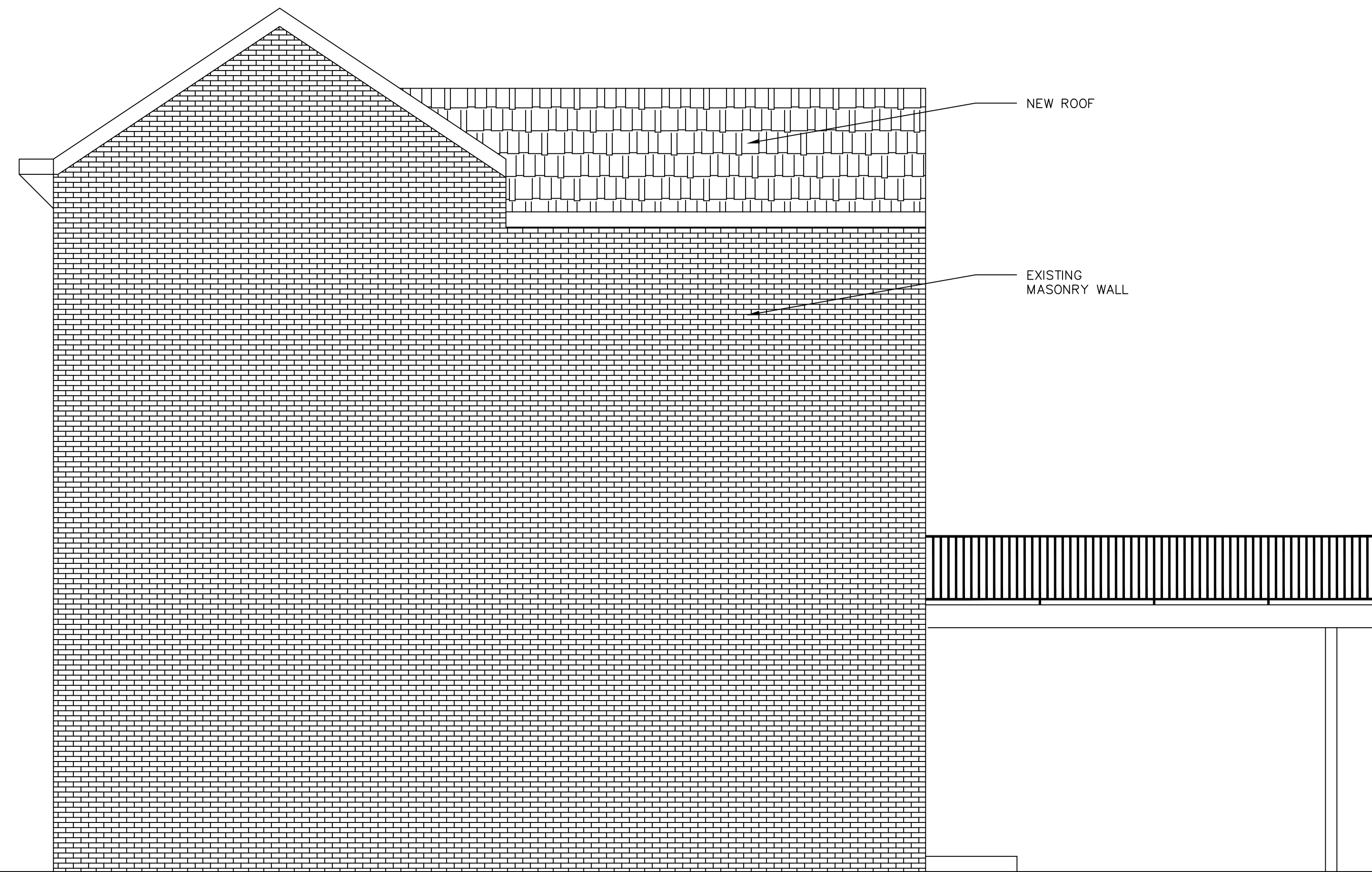
PROJECT NAME

1607 RACE ST
CINCINNATI, OH

DATE
12-04-23

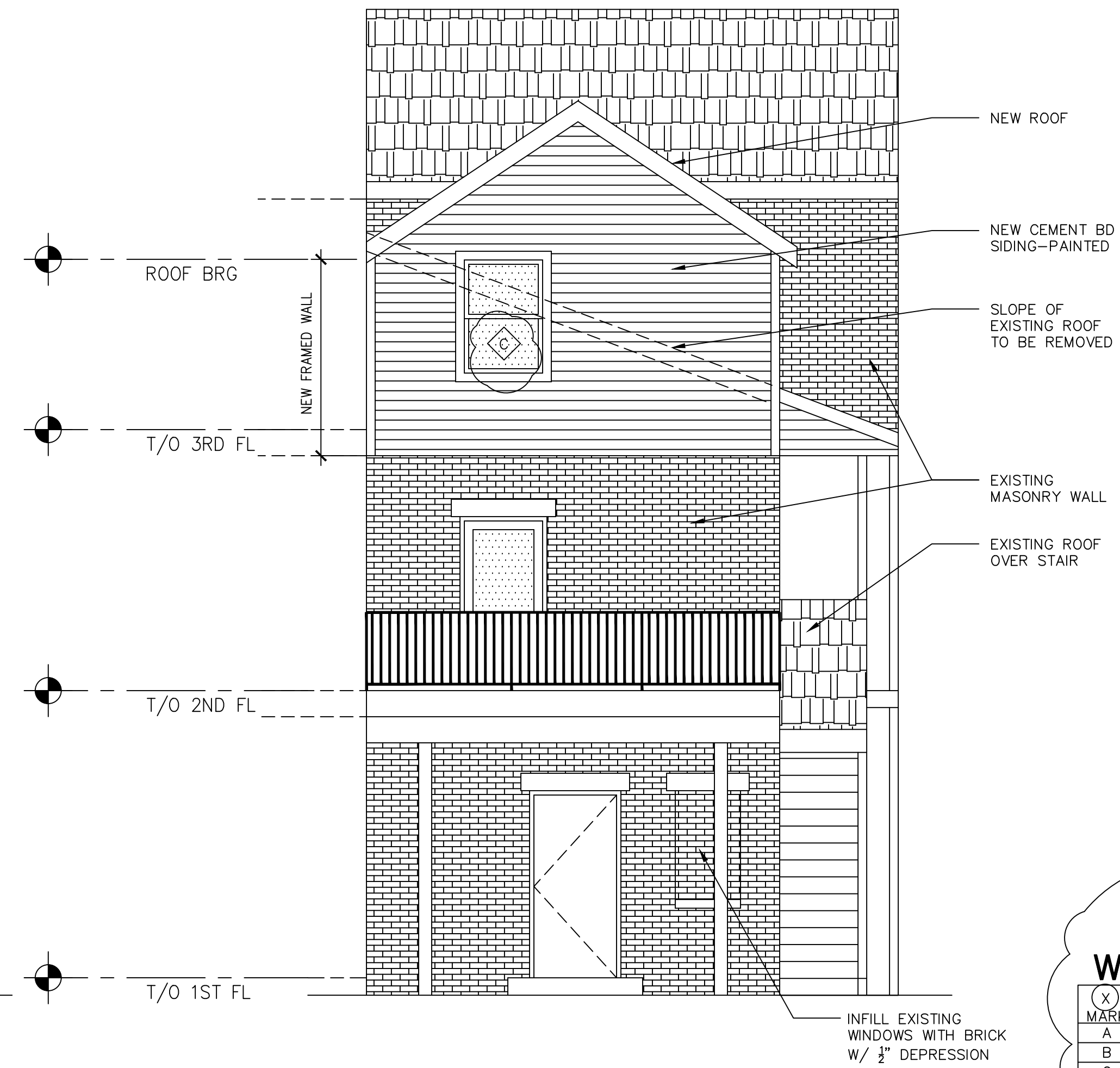
TITLE
FLOOR PLANS

SHEET
A102



4 NORTH (SIDE) ELEVATION

A201 SCALE: 1/4"=1'-0" (24X36)
SCALE: 1/8"=1'-0" (12X18)



3 WEST (REAR) ELEVATION

A201 SCALE: 1/4"=1'-0" (24X36)
SCALE: 1/8"=1'-0" (12X18)

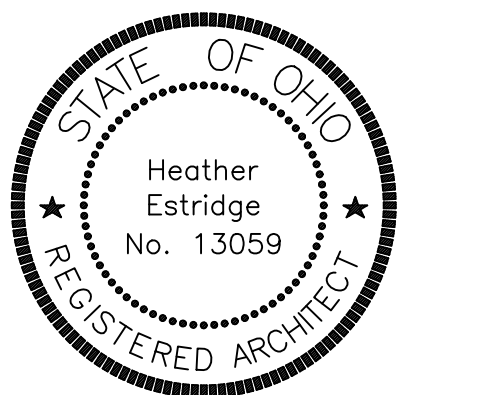
WINDOW SCHEDULE

(X) MARK	NOMINAL SIZE	FIRE RATING	REMARKS
A	5'-0" x 6'-4"	-	NOTE: 2,4
B	3'-0" x 5'-0"	45 MIN	NOTE: 1,2,3
C	3'-0" x 4'-6"	-	NOTE: 3

- NOTE:
- GENERAL REQUIREMENTS
- SEE COVER SHEET FOR ABBREVIATIONS (FG = FIBERGLASS)
 - NOTE USED
- REMARKS
- REPLACE W/ SAME SIZE AS EXISTING, FIELD VERIFY
 - SAFETY GLAZING
 - SINGLE HUNG
 - FIXED WINDOW

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1615 DELL TERRACE
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CINCINNATI, OH

DATE

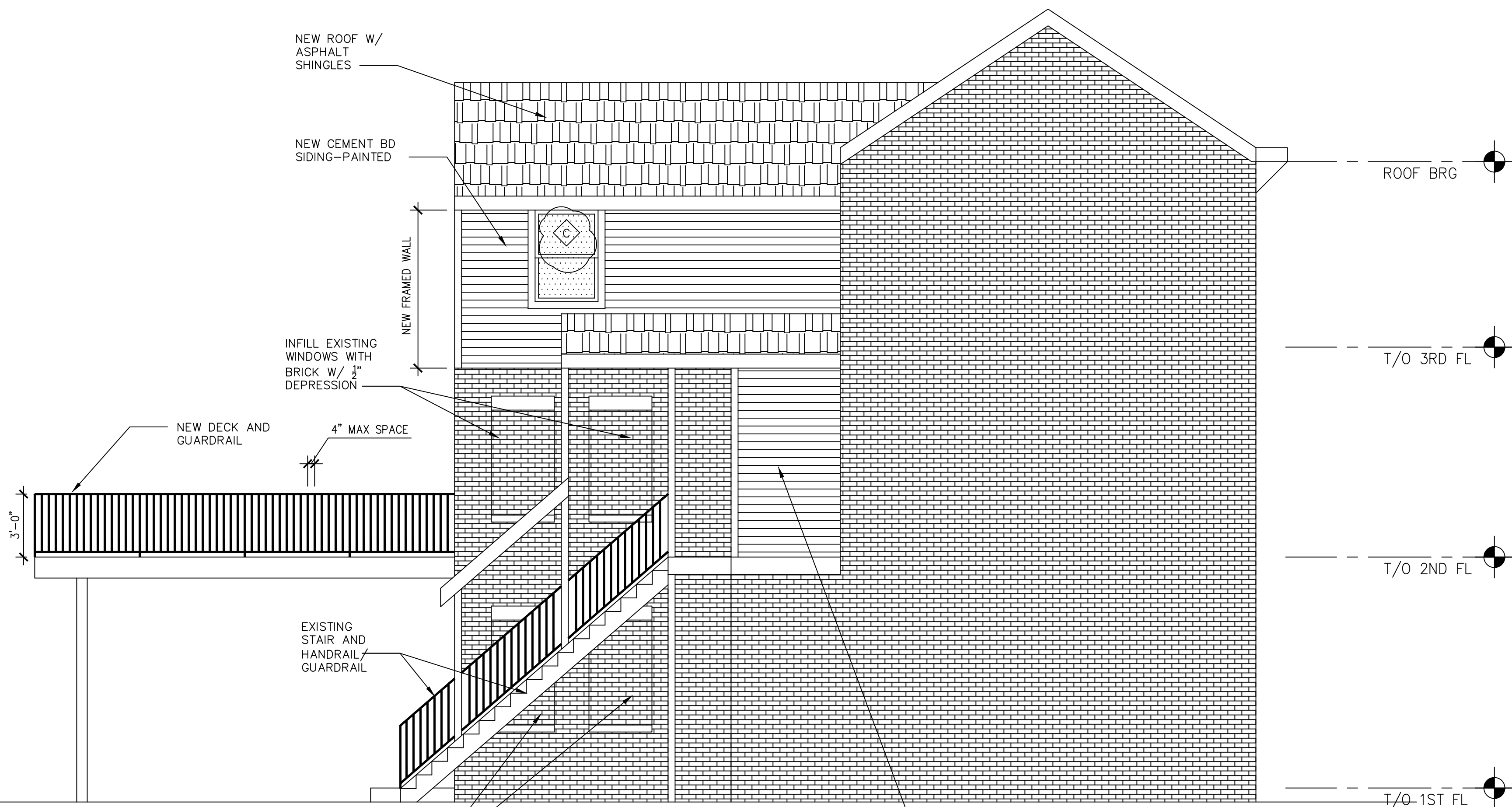
12-04-23

TITLE

BUILDING
ELEVATIONS+
SECTIONS

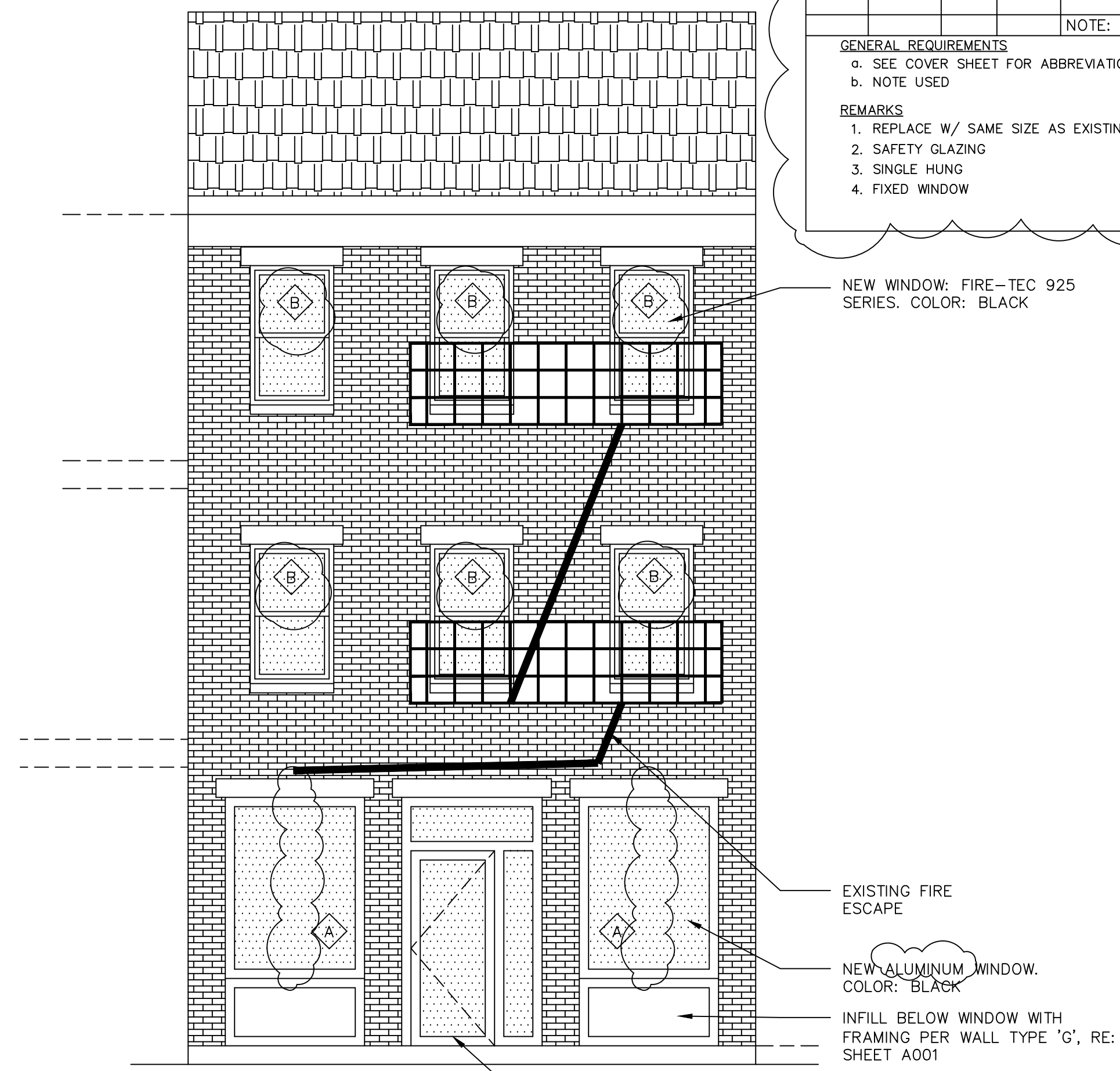
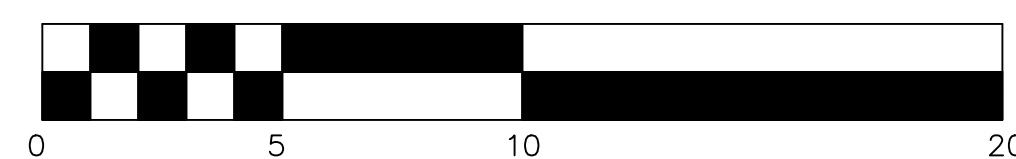
SHEET

A201



2 SOUTH (SIDE) ELEVATION

A201 SCALE: 1/4"=1'-0" (24X36)
SCALE: 1/8"=1'-0" (12X18)



1 EAST (FRONT) ELEVATION

A201 SCALE: 1/4"=1'-0" (24X36)
SCALE: 1/8"=1'-0" (12X18)

1607 Race Street Photographs



LOOKING NORTH



LOOKING SOUTH



EAST (FRONT) ELEVATION



WEST (REAR) ELEVATION



SOUTH (SIDE) ELEVATION



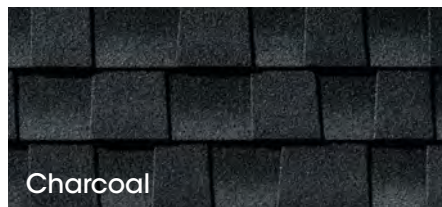
NORTH (SIDE) ELEVATION

Timberline HDZ® Shingles

America's #1-selling shingle got even better. Timberline HDZ® Shingles feature LayerLock™ Technology, which powers the industry's widest nail zone. When installed with the required combination of four qualifying GAF Accessories, Timberline HDZ® Shingles are eligible for an industry first: a wind warranty with no maximum wind speed limitation.¹ And now, with a 25-year StainGuard Plus™ Algae Protection Limited Warranty,² Timberline HDZ® offers everything you can expect from an architectural shingle roof, and more. gaf.com/TimberlineHDZ



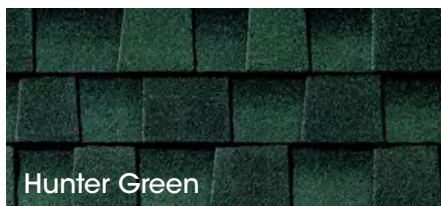
Barkwood



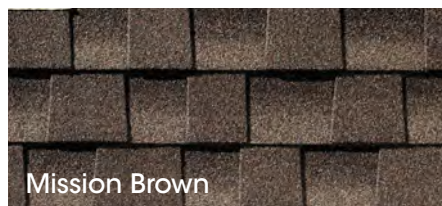
Charcoal



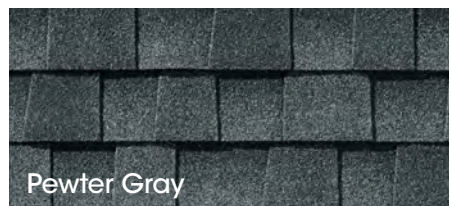
Hickory



Hunter Green



Mission Brown



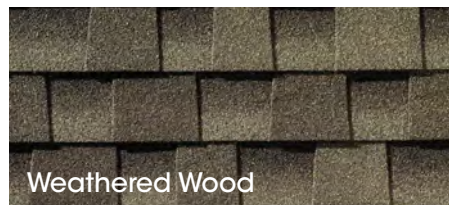
Pewter Gray



Shakewood

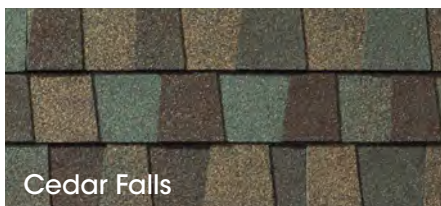


Slate

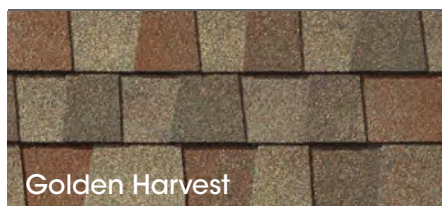


Weathered Wood

Harvest Blend Colors



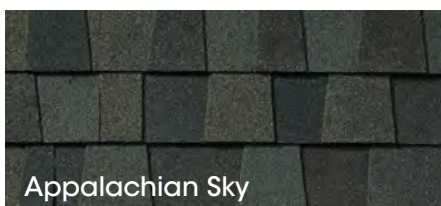
Cedar Falls



Golden Harvest



Nantucket Morning



Appalachian Sky

¹15-year WindProven™ limited wind warranty on Timberline HDZ® Shingles requires the use of GAF starter strips, roof deck protection, ridge cap shingles, and leak barrier or attic ventilation. See *GAF Roofing System Limited Warranty* for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products. For installations not eligible for the WindProven™ limited wind warranty, see *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions.

²25-year StainGuard Plus™ Algae Protection Limited Warranty against blue-green algae discoloration is available only on products sold in packages bearing the StainGuard Plus™ logo. See *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions..

Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

A classic look that stands the test of time.

Hardie® Plank

From Victorians to Colonials, Hardie® Plank is the perfect siding for your style, and has the durability and long-lasting beauty that can transform your home exterior. With endless gorgeous color and plank pairings available, you'll discover a Hardie® Plank style that transforms your home's aesthetic.



Hardie® Trim
Smooth
Arctic White

Hardie® Plank
Select Cedarmill®
Khaki Brown

Hardie® Plank



Select Cedarmill®



Smooth



Beaded Select Cedarmill®

	Thickness 5/16 in		Length 12 ft planks		
Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in*
Exposure	4 in	5 in	6 in	7 in	8 in
Prime Pcs/Pallet	360	308	252	230	190
ColorPlus® Pcs/Pallet	324	280	252	210	—
Pcs/Sq.	25.0	20.0	16.7	14.3	12.5

Select Cedarmill®

Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in*
Statement Collection®			•	•	
Dream Collection®	•	•	•	•	
Prime	•	•	•	•	•

Smooth

Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in*
Statement Collection®					
Dream Collection®	•	•	•	•	
Prime	•	•	•	•	•

Beaded Select Cedarmill

Width	8.25 in
Exposure	7 in
ColorPlus® Pcs/Pallet	210
Pcs/Sq.	14.3
Statement Collection®	
Dream Collection®	•
Prime	

*9.25 in widths do not feature the drip edge



< <https://easyrailings.com/> >

ALUMINUM DECK RAILING SYSTEMS

Easy100

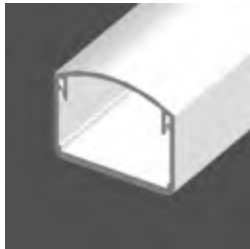
Simple and elegant, our most economical model.

INSTALLATION

QUOTE



Major Component Detail



Rails

HP115 (1.51" x 1.25") 2-part rails with with snap-on covers, predrilled for quick picket assembly.



Deck Mount Posts

2"x2" with reinforced 1/8" wall. Attached 4"x4" flange predrilled for use with 1/4" hardware. Post cap included.



COMPARE TO OTHER MODELS



Fascia Mount Posts

Extend 10" below deck level, 2 predrilled offset holes for 3/8" hardware. Post cap and plastic cover for the bottom end included.



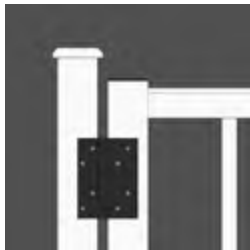
Pickets

3/4"x3/4" profile. Spacing between pickets is 3-7/8" to comply with most building codes.



Materials

Aluminum alloys 6063-T5, 6061-T6, powder coated finish. Stainless assembly fasteners included. Custom angle hardware available.



Stairs and Gates

Stairs and gates can be built with available parts. Single gates up to 48" wide.



Easy210



Easy320



Easy350



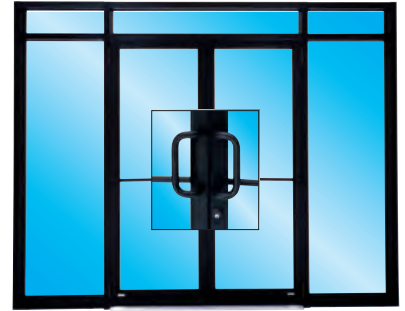
Easy400



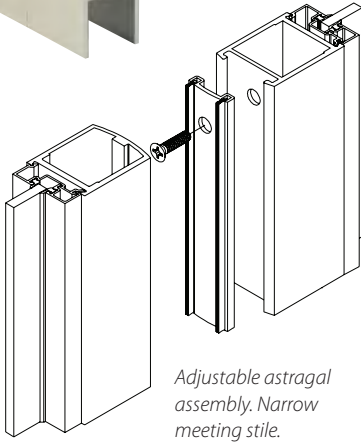
Tubelite® Entrances

Standard Narrow Stile Entrances

Our Standard Narrow Stile Entrances are designed for light-to-moderate use in commercial applications. Standard Narrow Stile has 2-1/8" vertical stiles and top rail, and 4" bottom rail - optional up to 10" for ADA compliance. The smooth design of Tubelite's door hardware features a convenient pull handle and push bar with lock location 36" above the finished floor. Stock doors and frames are anodized with clear or dark bronze finishes, and readily available for quick delivery.



Standard Narrow Stile
1-3/4" x 2-1/8" Door with
10" Bottom Rail; 0A Clear
Anodized Finish; 1/4" Glass



Adjustable astragal
assembly. Narrow
meeting stile.

Standard Medium Stile Entrances

Our Standard Medium Entrances are designed for moderate to heavy use in commercial applications. Standard Medium Stile has 3-1/2" vertical stiles and top rail, and 6-1/2" bottom rail - optional up to 10" for ADA compliance. The smooth design of Tubelite's door hardware features a convenient pull handle and push bar with lock location 36" above the finished floor.

Standard Wide Stile Entrances

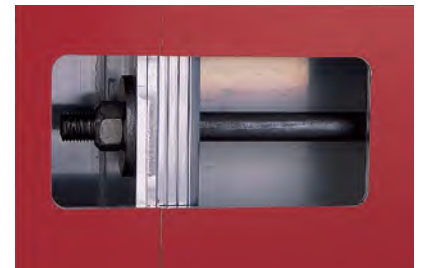
Our Stand Wide Stile Entrances are designed for moderate to heavy use in commercial applications. Standard Medium Stile has 5" vertical stiles and top rail, and 6-1/2" bottom rail - optional up to 10" for ADA compliance. The additional width of Medium and Wide stile doors provides greater durability, and allows application of a wider variety of operating hardware.



Medium Stile Entrance

Durable Tie-Rod Construction

The strength and flexibility of steel tie-rod construction is what holds it all together and makes our doors endure. Tie-rod assembly is as durable as welded corner construction, but superior in many ways. Tubelite doors can be modified, disassembled or resized right in the field. No other door offers you this much strength and flexibility.



WE LISTEN

Members of our management staff personally contact our glazing contractor clients regularly. We learn what works and what doesn't — from their perspective, not ours. The result is solutions that work — solutions tailored for the field — so jobs get done right the first time.

Tubelite® Standard Entrances	Narrow Stile	Medium Stile	Wide Stile
Application	Offices, Strip Centers	Retail Stores	Public Buildings
Traffic	Light to Moderate	Moderate to Heavy	Heavy
Vertical Stile 1-3/4" x	2-1/8"	3-1/2"	5"
Top Rail 1-3/4" x	2-1/8"	3-1/2"	5"
Bottom Rail 1-3/4" x	4" (opt. up to 10")	6-1/2" (opt. up to 10")	6-1/2" (opt. up to 10")

Dimensions do not include 1/2" glass stops.

Fyre-Tec 925 Series

3/4 Hour and 1 Hour UL Listings

Features Include:

Narrow site-line allows larger glass and daylight openings

Operable windows are self-closing in the advent of heat rise

Standard wire glass glazing material for 3/4 Hour rating

Optional ceramic glazing monolith or insulated glass units for 1 Hour rating

Structural, air and water infiltration performance ratings up to design pressure of 80 psi

Manufactured from galvanized cold rolled steel

Frame and inserts fabricated with corners mitered and secured by welding

Muntins integral (welded) to inserts

Snap-lock glazing retainers secured with machine screws in monolith glazed windows

Finished in weather resistant powder coating in eight standard colors or custom color

Subframe or fin mounting systems



SINGLE HUNG



STEEL WINDOWS



- **Lot Line Protection**
- **Fire Escape Protection**
 - **Stairwells**
 - **Corridors**

Meets Requirements of International Building Code and NFPA-80

Contact Information:

701 Centennial Road

P.O. Box 278

Wayne, NE 68787

Voice: 402-375-3261

800-377-3261

Fax: 402-375-4261

Internet: www.fyre-tec.com

Email: fyretec@inebraska.com

*3-Part Specifications and CAD details available at
www.fyre-tec.com*





SERIES 925 SINGLE HUNG

The Fyre-Tec single hung windows offer 3/4- or 1-hour Underwriter's Laboratory rated protection. The single hung is designed and tested to be self-closing in the event of heat rise from nearby combustion. Ideal for inclusion in NFPA 80 and building code requirements for protective openings in rated walls.



CONSTRUCTION

The Fyre-Tec fire single hung windows are constructed from galvanized roll formed steel sections with precisely mitered and welded corners, resulting exceptionally strong and long-lasting window.

True muntins, when required or desired, are notched and welded to the inserts, becoming an integral component, lending strength to the window.

The single hung windows operate with minimal effort assisted by heavy-duty spiral balances with integrated heat activated closure devices. Latching mechanisms secure the operating insert in the closed position.

FIRE RATING

Fyre-Tec fire window frames are listed by Underwriters Laboratories under the category of Door and Window Frames (GVTV). The standard used to evaluate the windows is UL 9, Fire Tests of Window Assemblies, which is a test standard inclusive of the test method described in ASTM 163, Standard Methods of Fire Tests of Window Assemblies.

DESIGN PERFORMANCE

All Fyre-Tec windows have been independently tested by a third party and meet or exceed AAMA standards for structural pressure, air infiltration, and water resistance infiltration. 3-part specifications and CAD drawings are downloadable from the Fyre-Tec Internet web site.

FLORIDA APPROVALS

The 925P Series window has achieved an optional design pressure rating of 80 psf and has been awarded a non-impact product approval for usage in the state of Florida. Florida product approval number FL3299-R2.

GLAZING OPTIONS

The Fyre-Tec 925 Series windows are available with a variety of UL rated glazing factory installed.

Glazings range from the basic wire glasses traditionally used for 45-minute rated windows to the newer clear ceramics that are now on the market with 60-minute ratings, including some that are impact safety rated as well as fire rated.

Much larger UL rated lites, not requiring intermediate muntins, are now authorized using the clear ceramic products.

Many of the clear ceramics may be combined with traditional commercial glazing to make up insulated glass units. These may include tinted or low-E products, providing the aesthetics desired or the energy conservation required.

The combination of the larger lite size and insulated glass units also allows Fyre-Tec to offer windows with internal grid patterns.



FINISHES

Prior to finishing, Fyre-Tec windows are thoroughly cleaned and subjected to a phosphate undercoat. The standard powder coat finish is available in eight popular colors and primer. Color matching is optional.

INSTALLATION

Sub-frame or fin system mounting kits are supplied with all windows. The sub-frame system is ideal for either retrofit or new construction. The window openings may be finished out prior to the installation of the provided sub-frame and window. The fin system is designed to allow installation of the window into the construction framing and subsequent trimming of the window.

LABELING

All Fyre-Tec rated windows display a traceable, permanent stainless steel UL label specifying the rating for the window. Additionally, all glazing factory installed is etched with a permanent UL label to assure the customer and code officials that the product meets the requirement and the rating for the application.



**SECTION 08510
STEEL WINDOWS**

UL Labeled Fire-Rated Single Hung (925)

Use Microsoft Word "Options" to select "Hidden Text" to view hidden notes and edit.

PART 1 GENERAL

1.1 SECTION INCLUDES

- A. Fire Rated Steel Windows (Single Hung) – 45-Minute UL Labeled
- B. Fire Rated Steel Windows (Single Hung) – 60-Minute UL Labeled

1.2 RELATED SECTIONS

- A. Section 08800 – Glass, Glazing, and Glazing Materials

1.3 REFERENCES

- A. ASTM A 569-(1991a; R 1993) Steel, Carbon (0.15 Maximum, Percent), Hot-Rolled Sheet and Strip Commercial Quality
- B. ASTM A 653-(1994) Steel Sheet, Zinc-Coated (Galvanized) or Zinc-Iron Alloy-Coated (Galvannealed) by the Hot-Dip Process
- C. ASTM B 633-(1985; R 1994) Electrodeposited Coatings of Zinc on Iron and Steel
- D. ASTM B 766-(1986; R 1993) Electrodeposited Coatings of Cadmium
- E. ASTM E 283-(1991) Determining the Rate of Air Leakage through Exterior Windows, Curtain Walls, and Doors Under Specific Pressure Differences Across the Specimen
- F. ASTM E 330-(1990) Structural Performance of Exterior Windows, Curtain Walls, and Doors by Uniform Static Air Pressure Difference
- G. ASTM E 547-(1993) Water Penetration of Exterior Windows, Curtain Walls, and Doors by Cyclic Static Air Pressure Differential
- H. ASME B18.6.3- (1972; R 1991) Machine Screws and Machine Screw Nuts
- I. ASME B18.6.4- (1981; R 1991) Thread Forming and Thread Cutting Tapping Screws and Metallic Drive Screws (Inch Series)
- J. NFPA 80-(2007) Fire Doors and Windows
- K. NFPA 101-(2006) Safety to Life from Fire in Buildings and Structures
- L. UL9-Fire Tests of Window Assemblies
- M. File No. R13157-D.V. Fyre-Tec Classification

1.4 PERFORMANCE REQUIREMENTS

- A. Single Hung steel windows shall conform to the H-C30 voluntary specifications in AAMA/NWWDA 101/I.S.2-97 and be designed to meet the following performance requirements. Fire-rated windows shall bear the Underwriters Laboratories, Inc. label including the manufacturer's file number for the indicated rating.
 - 1. Structural Performance: Structural test pressures on window units shall be for positive load (inward) and negative load (outward) in accordance with ASTM E 330 at a static pressure of 45 PSF. After testing, there shall be no glass breakage, permanent damage to fasteners, hardware parts, support arms or actuating mechanisms or any other damage which could cause window to be inoperable. There shall be no permanent deformation of any main frame, sash or ventilator member in excess of the requirements established by AAMA/NWWDA 101/I.S.2-97 for the window types specified in this section.
 - 2. Air Infiltration: Air infiltration shall not exceed .3 SCFM per square foot of window area at a static air pressure difference of 1.57 PSF as established by AAMA/NWWDA 101/I.S.2-97 when tested in accordance with ASTM E 283.
 - 3. Water Resistance: When tested in accordance with ASTM E 547, there shall be no water leakage at a static air pressure difference of 4.50 PSF.
- B. Fire Protective: Fire protective rating shall meet requirements as tested and classified by Underwriters Laboratories Inc, in accordance with UL-9. Products shall meet the requirements of Underwriters Laboratories Inc. The Listing Mark of UL on the product will be accepted as evidence of compliance.
- C. Life Safety Criteria: Windows shall conform to NFPA 101 Life Safety Code when rescue and/or second means of escape are indicated.

1.5 SUBMITALS

- A. Manufacturer's descriptive data and catalog cut sheets.
- B. Drawings indicating elevations of windows, rough-opening dimensions for each type and size of windows, section details, fastenings, generic method of installation and anchorage, glazing details, method of glazing, muntin divider details, mullion details, weather-stripping details, types and locations of operating hardware, window type and indicating compliance with fire safety code, where required. Refer to Authority Having Jurisdiction for specific installation, wall detail, and anchorage requirements.
- C. Manufacturer's preprinted installation instructions and cleaning instructions.
- D. Manufacturer's standard color samples of painted finishes.

1.6 QUALITY ASSURANCE

- A. Installer Qualifications: Experienced in performing work of this section who has specialized in installation of work similar to that required for this project.
- B. Manufacturer's Qualifications: A firm with not less than 10 years experience in manufacture of similar type steel windows.

1.7 DELIVERY, STORAGE AND HANDLING

- A. Delivery:

1. Manufacturer's original, unopened, undamaged containers, identification labels intact. Inspect for damage upon delivery.
2. Handle and store products according to manufacturer's recommendations.

B. Storage and Protection:

1. Store materials protected from exposure to harmful weather conditions and at temperature and humidity conditions recommended by manufacturer.
2. Store windows to prevent damage or marring of finish. Store in shipping containers under cover on building site.

1.8 PROJECT CONDITIONS

- A. Verify actual openings by field measurements before fabrication, show recorded measurements on shop drawings.
- B. Coordinate field measurements and fabrication schedule with construction progress to avoid construction delays.

1.9 WARRANTY

- A. Manufacturer's standard warranty to be 3 years from the date of shipping.

PART 2 PRODUCTS

2.1 MANUFACTURERS

- A. Series 925 Single Hung Windows as manufactured by Fyre-Tec; 701 Centennial Road; Wayne, NE 68787; Tel: 1-800-377-3261; Fax; 1-402-375-4261; Web: www.fyre-tec.com; Email; info@fyre-tec.com.
- B. Architect approved equal.

2.2 STEEL WINDOW TYPES

- A. Single hung steel windows shall be designed for inside field glazing, and for glass types scheduled on drawings or otherwise specified. Units shall be complete with glass and glazing provisions to meet requirements of paragraph WINDOW PERFORMANCE. Glazing material shall be compatible with steel, and shall not require painting.
- B. Fire-rated windows shall conform to UL-9 and shall be labeled with a 3/4 - hour fire-test rating as specified in the window schedule. Units shall be designed and fabricated to meet glass sizes, window sizes, and opening dimensions established by NFPA 80. Hardware shall conform to NFPA 80 requirements. All operable fire-rated windows are to be self-closing and latching by means of a heat activated fusible link operator.
- C. Fire-rated windows shall conform to UL-9 and shall be labeled with a 1- hour fire-test rating as specified in the window schedule. Units shall be designed and fabricated to meet glass sizes, window sizes, and opening dimensions established by NFPA 80. Hardware shall conform to NFPA 80 requirements. All operable fire-rated windows are to be self-closing and latching by means of a heat activated fusible link operator.

2.3 MATERIALS

- A. Steel Frames and Inserts

1. Steel frames and inserts shall be fabricated from roll-formed galvanized lock-forming quality steel per ASTM A 653.
 2. Frame and insert corners shall mitered and welded. Integral muntins where required shall be galvanized roll-formed material fitted and welded.
 3. Operable insert/sash shall be supported on two adjustable heavy-duty spiral wound balances.
- B. Installation Kits
1. Provide attachable fin installation kits for all windows.
 2. Provide subframe installation kits for all windows.
- C. Weather Stripping
1. Weather-stripping for the inserts shall be designed to meet water penetration and air infiltration requirements specified under paragraph WINDOW PERFORMANCE, and shall be manufactured of material compatible with steel and resistant to weather. Weather-strips shall be factory applied and easily replaced in the field.
- D. Screens
1. Insect screens shall be steel window manufacturer's standard design, and shall be provided where scheduled on drawings. Insect screens shall be fabricated of roll formed galvanized steel frames and (18x16) plastic coated glass conforming fiber mesh screening conforming to ASTM D 3656.
- E. Formed Component Parts
1. Formed component parts shall be hot-rolled sheet steel conforming to ASTM A 569, commercial quality with a minimum of 0.15 percent carbon.
 2. Sheet steel shall be zinc coated (galvanized) by the hot-dip process in accordance with ASTM A 653 or ASTM A 924.
- F. Screws and Bolts
1. Screws and bolts shall conform to ASTM B 766, ASME B18.6.3 and ASME B18.6.4.
- G. Fasteners
1. Fastening devices shall be window manufacturer's design made from cadmium-plated steel, zinc-plated steel, nickel/chrome-plated steel or magnetic stainless steel.
- H. Window Anchors
1. Anchors for installing windows shall be stainless steel or hot-dip zinc coated steel conforming to ASTM A 123.
- I. Glass and Glazing
1. As specified in Section 08800.
 2. Traditional wire glass – Misco or Baroque (3/4 hour rated)

3. Standard clear ceramic glass (1 hour rated)
4. Premium clear ceramic glass (1 hour rated)
5. Safety laminated premium clear ceramic glass CPSC16CFR1201 Cat I & II (1- hour rated)
6. Insulated glass units.

2.4 FABRICATION

- A. Fabricate windows in accordance with approved shop drawings.
- B. Frame sections shall be one piece sections with corners mitered, welded and dressed smooth.
- C. Required muntins shall be securely welded to the frame members and at all intersections.
- D. All windows shall be designed for inside glazing.
- E. All windows shall be factory glazed with UL labeled glass meeting or exceeding the hourly rating required for the frame label. Individual lites shall display a UL label permanently affixed and in accordance with the requirements of the International Building Code and NFPA 80.

2.5 FINISHES – All products will be provided with a paint coating.

- A. Prime Coat – Intended to be field painted with a Finish Coat.
 1. Steel windows, fins, mullions, cover plates and associated parts shall be cleaned, pre-treated with iron phosphate and factory painted manufacturer's standard primer powder coat and cured in a dry film thickness of not less than 0.025 mm (1.0 mil).
- B. Finish Coat – Manufacturer's Standard Color
 1. Steel windows, fins, mullions, cover plates and associated parts shall be cleaned, pre-treated with iron phosphate and factory powder coated and cured with a manufacturer's standard color in a dry film thickness of not less than 0.050 mm (2.0 mil).
- C. Finish Coat – Specified Color Match
 1. Steel windows, fins, mullions, cover plates and associated parts shall be cleaned, pre-treated with iron phosphate and factory powder coated and cured with a manufacturer's standard color in a dry film thickness of not less than 0.050 mm (2.0 mil).

PART 3 EXECUTION

3.1 EXAMINATION

- A. Window openings shall conform to details and dimensions shown on the approved shop drawings.
- B. Notify the Architect immediately of conditions that may adversely affect the window installation. Correct conditions prior to installing windows

3.2 INSTALLATION

- A. Steel windows shall be installed in accordance with approved shop drawings and manufacturer's approved recommendations.
- B. Fire-rated windows shall be installed in compliance with NFPA 80 and NFPA 101.

- C. Steel surfaces in close proximity with masonry, concrete, wood, and dissimilar metals other than stainless steel, zinc, cadmium, or small areas of white bronze shall be protected from direct contact.
- D. Verify that weep features at the bottom of the sills are opened at least 1/8" x 1". Failure to do so may lead to premature finish failures and void warranty.
- E. The completed window installation shall be watertight.

3.3 ADJUSTING AND CLEANING

- A. Steel window finish and glass shall be cleaned on interior and exterior sides in accordance with window manufacturer's recommendation. Alkaline, abrasive or brick wash agents shall not be used.
- B. Operable sash shall be adjusted per manufacturer's instruction to provide minimal operating force.

3.4 PROTECTION

- A. Protect installed products and finished surfaces from damage during construction.
- B. Touch-up any abraded surface of the window finish with air dry paint furnished by the window manufacturer.

-- END OF SECTION --
SPEC_925 1-2020

**APPLICATION FOR
CERTIFICATE OF APPROPRIATENESS
HISTORIC CONSERVATION BOARD PUBLIC HEARING
STAFF REPORT**

APPLICATION #: COA2024008
APPLICANT: New Republic Architecture
OWNER: Women's Care Center
ADDRESS: **2421 Auburn Avenue**
PARCELS: 089-0004-0101
ZONING: OG
OVERLAYS: Auburn Avenue Historic District
COMMUNITY: Mt. Auburn
REPORT DATE: March 13, 2024
STAFF REVIEW: Douglas Owen, Urban Conservator

Existing Conditions

The property at 2421 Auburn Avenue is within the Auburn Avenue Historic District. The property fronts onto Auburn Avenue between its intersection with E. McMillan Street on the north and E. Hollister Street on the south in the Mt. Auburn neighborhood. The building was originally built as a single-family dwelling in 1895 and was later converted to a medical office use. It has been vacant for some time. The building is surrounded by vacant lots on the northern end of the district with parking located to the south and west, and an unofficial gravel parking area to the north.

Proposed Conditions

The applicant is proposing the renovation of the building for continued medical office use. Renovations will include:

- a new ADA accessible access ramp to the front of the building
- specified replacement windows
- replacement front door and glass canopy
- removal of the non-original south vestibule and replacement of the door
- painting previously painted trim
- installation of a new ground sign
- installation of a surface parking lot

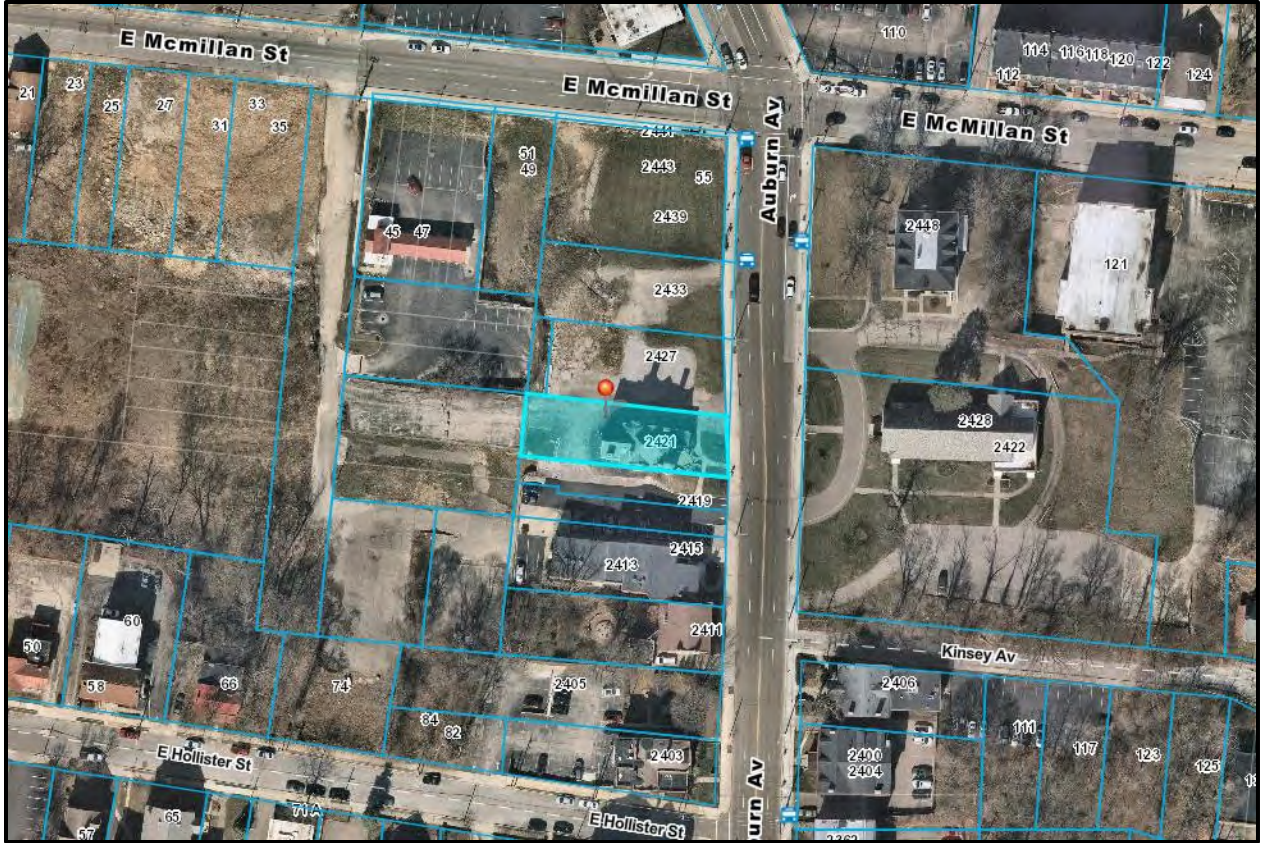


Figure 1: Location of subject property. Image from CAGIS.



Figure 2: Image of subject property from Auburn Avenue. Image from Google.

Applicable Zoning Code Sections:

Zoning District: [Section 1407](#) Residential
Overlays: [Section 1435](#) Historic Preservation
Historic District/Reg: [Auburn Avenue Historic District](#)
COA Standard: [Section 1435-09-2](#) Certificate of Appropriateness;
Standard of Review

Previous Reviews: N/A.

Zoning Analysis:

The proposed work meets all Zoning requirements. No Zoning Relief is needed.

Certificate of Appropriateness Review:

A Certificate of Appropriateness is required for the construction of an ADA access ramp and new ground sign, as well as alterations including removal of the south vestibule, replacement doors, a small glass canopy and specified windows and trim painting. A parking lot is proposed for the north side of the property.

Based on the Conservation Guidelines outlined below, staff feels the proposed work is generally compatible with the Auburn Avenue Historic District and substantially conforms to the applicable conservation guidelines.

Applicable Guidelines

REHABILITATION

B. Specific Guidelines

1. MATERIALS: SHOULD MATCH THE ORIGINAL AS CLOSELY AS POSSIBLE

Most contributing buildings in the district are made of brick, often with stone or tin details. Missing or deteriorated materials should be replaced with recycled or new materials which match the original as closely as possible with regard to the following: type, color, style, shape, and texture of materials, composition, type of joint, size of units, placement and detailing. Imitation or synthetic materials, such as aluminum or vinyl siding, imitation brick or stone, or plastic, are generally inappropriate.

Materials included in the rehabilitation primarily consist of a new concrete ADA access ramp with a black metal railing. Replacement windows will be wood, potentially with aluminum-cladding. The ground sign will be composed of aluminum with a brick base.

2. DOORS AND WINDOWS: KEEP THE "EYES" OF THE BUILDING OPEN

Possibly the most important features of any building are its openings: its doors and windows. The size and' location of openings are an essential part of the overall design and an important element in the architectural styling. Original openings should not be altered. Original doors and window sashes should be repaired rather than replaced, whenever possible. When replacement is necessary, the new door or window should

match the original in size and style as closely as possible. Metal or plastic window frames are generally unacceptable unless they are anodized or painted. Screens and storm windows should be as inconspicuous as possible. Raw metal combination storm windows or doors are not appropriate. Original openings should not be filled in,, especially on the front of buildings. If original openings are filled in, the outline of the opening should remain apparent by setting the new infill material back from the existing wall plane and by leaving the sills and lintels in place.

No window or door openings will be infilled; however, replacement doors and windows are proposed. Existing double-hung wood windows will be assessed as to condition. Windows found to be substantially deteriorated will be replaced with Pella Architect Series wood double-hung windows, which are appropriate replacements as they meet the dimensions of a historic wood window. Rounded windows in the turret will likely be repaired and will retain the rounded glass and frames.

The large window openings in the front “sunroom” contain later replacements with concrete infill material reducing the size of the historic openings. The steel casement replacements and concrete infill material will be removed and the openings enlarged closer to their historic dimensions. New Pella Architect Series double-hung wood windows will be installed in the openings.

The entry vestibule on the south side of the building is not original and will be removed. The wall behind the vestibule will be restored and a new replacement door added to the location of the historic opening. Other exterior doors on the building will also be replaced, including the front entry door, which will be ADA compatible and have a larger lite to allow office staff to see visitors approaching the entry. A simple glass canopy will be installed above the entry door.



Figure 3. Non-original vestibule proposed for removal. Photo by Staff.

3. ROOF: MAINTAIN THE ROOFLINE

The existing roofline and architectural features which give the building its character, such as towers, roof shapes, dormers, cornices, brackets, and chimneys, should be preserved. The addition of features, such as vents, skylights, decks, and rooftop utilities, should be avoided or should be inconspicuously placed and screened where necessary. Slate roofs are common within the district and should be maintained whenever possible. On roofs visible from public areas, slate or asphalt shingles, colored to match the original, are acceptable replacement materials. Generally, wood shingles, roll roofing, built-up tar and gravel, plastic, or fiberglass roofing materials are inappropriate, although there may be exceptions to this rule. On flat or low-pitched roofs that are not visible from public areas, other roof materials may be considered.

The existing roofline will not be altered as part of the proposed project. Existing chimneys, turrets and finials will remain and trim will be repainted.

4. ORNAMENTATION: RETAIN DISTINCTIVE DETAILING

Significant architectural features such as window hoods, stone and tin cornices and brackets, decorative piers, quoins, bay windows, door surrounds, and other ornamental elements should be preserved. These distinctive features help identify and distinguish the buildings within the Auburn Avenue Historic District.

Existing ornamental elements will be preserved. Previously painted trim will be repainted. A small portion of the stone knee wall around the circular front porch and the north wing wall at the steps will be removed where the ADA ramp accesses the porch; however, the remainder of the wall on the south side of the porch will remain. The existing stairs will also be rebuilt. These stairs are fairly recent replacement concrete steps.



Figure 4. Walls and steps to be removed at location of ADA ramp connection. Photo by Staff.

6. MECHANICAL SYSTEMS: PLACE THEM INCONSPICUOUSLY

The installation of utility and mechanical systems, such as water or gas meters, antennas, and central air conditioning units should be inconspicuously placed, avoiding installation on the street facade whenever possible. Antennas, including television reception antennas and satellite dishes, should be located where they are not visible on the front facade. Mechanical equipment on the ground should be screened with a fence or plant materials or housed in a structure that is in harmony with the surroundings. Mechanical equipment attached to the side or roof of a building should be kept as low as possible and covered or painted to blend with the background. Wall or window air conditioning units on the street facade should be avoided whenever possible.

New A/C condenser units will be installed at the same location as the existing units behind the decorative parapet wall above the “sunroom” on the front of the house. While installation on the street façade is generally not recommended, the existing units are inconspicuous due to the parapet wall. As the existing connections are already set up in this location, replacing the units is appropriate as long as they do not extend substantially above the parapet wall.

10. PAINTING: IF IT WAS PAINTED, PAINT IT AGAIN

The majority of the brick buildings in the district (generally built prior to 1890) were faced with a relatively soft brick requiring paint for protection. Painted brick buildings should be repainted rather than stripped or cleaned to reveal the natural brick color. Paint color was also part of the overall design district scheme. Although the HCB does not review paint colors, general recommendations do apply. Paint colors selected should be compatible with the and appropriate for the style of the particular building. The color selected to paint the body of the building should contrast with the structure’s decorative elements so that these architectural features stand out (Historic color charts are available at the City’s Historic Conservation Office).

No existing stone will be painted. Previously painted trim on the building will be repainted in Benjamin Moore Pink Starburst. The proposed color is closely related to colors in a historic palette and is compatible with the building and district.

SITE IMPROVEMENTS AND ALTERATIONS

1. SIGNS: AVOID CLUTTER

Generally, signs should be designed for clarity, legibility, and compatibility with structures on the site and in the district. Their design should be simple and contemporary. It is generally inappropriate to attach signs to buildings which were originally private homes, although small identification signs may be acceptable. Free-standing signs are permitted, but should not be sized or located in such a way as to obstruct views of the district’s contributing buildings. Billboards and roof-top signs are not permitted, and internally-illuminated signs are strongly discouraged. Wood, metal, and fabric signs are encouraged; plastic and other synthetic materials are inappropriate.

The proposed ground sign will be clear, legible and compatible with the district. The design is simple and contemporary and the sign will be constructed of aluminum with a brick base. The placement near the Auburn Avenue frontage will not obscure views of the building or other contributing buildings in the vicinity. The sign will be externally illuminated.

2. PARKING: LOTS SHOULD BE SCREENED AND LANDSCAPED

New parking lots along Auburn Avenue are discouraged. If new lots are necessary, they should be placed to the side or rear of buildings and should be as small as possible. Parking lots should relate well to the natural slopes and site contours, avoiding excessive cutting and filling. They should be sufficiently screened to minimize the view of parked cars. Screening can incorporate landscaping, decorative fencing, and berms and should be of a design compatible with the surrounding buildings and landscape elements. Lots with space for ten or more cars should be planted with shade trees in order to soften the visual impact of the lots on the neighborhood. In these cases, trees should be placed around the perimeter of the lots and in planting islands within the lots.

A new 7-car surface parking lot will be installed to the north of the building. Existing parking is located to the west and south. The new parking lot will replace the existing gravel area, which is often used for parking. While the parking lot is not under the scope of the current applicant, and will be permitted separately, Staff finds the placement appropriate. A new tree planting will be installed along the eastern edge of the lot to help screen vehicles from view from Auburn Avenue. Once redevelopment of the vacant land north of the subject property occurs, the lot will be screened from the north.

4. LANDSCAPING: SIMPLE AND CONTEMPORARY

Landscaping, special lighting, seating, and decorative paving are encouraged as part of rehabilitation and new construction projects. The design of these features should be simple and contemporary. Antiques or historic reproductions are not generally encouraged. Mature trees should be retained, as should other significant features such as steps, retaining walls, walks, and fences which contribute to a property's character.

Landscaping in the form of low-to-medium height plantings will be placed in front of the new ADA access ramp to help screen it from Auburn Avenue. An additional tree planting will be installed on the eastern perimeter of the new parking lot.

The steps and portions of the wing wall and porch knee wall will be removed for installation of the access ramp. The applicant explored other potential locations for the ramp; however, due to the topography of the lot and the layout of the existing building, no other locations were practical. Side and rear doors lead to interior staircases or the basement level with no other ADA access to the main floor, making access at the front door necessary. The steps will be reconfigured to allow

for clearance at the connection of the ADA ramp. The current steps are in a similar location to the historic steps but are a recent replacement. Rather than the historic angled layout, the new steps will be in a similar location but will be parallel with the street frontage. Considering the programmatic needs of the new owners and the ADA requirements for the building, Staff finds this treatment appropriate.

Other Considerations:

Prehearing Results: A prehearing was held on March 8, 2024. The applicant and owner were present.

Comments Provided to Staff: N/A

Consistency with *Plan Cincinnati (2012)*:

“Sustain” Initiative Area “Preserve our built history”

Recommendation:

Staff recommends the Historic Conservation Board take the following actions based on plans by New Republic Architecture dated 2.23.24:

I. CERTIFICATE OF APPROPRIATENESS

1. **APPROVE** a Certificate of Appropriateness for 2421 Auburn Avenue with the following conditions:
 - a. Specific window replacements are subject to Staff review and approval.
 - b. New mechanical equipment placed behind the “sunroom” parapet wall shall not extend substantially above the parapet wall.
 - c. No existing unpainted stone shall be painted.
 - d. The building permits must be issued within two years of the decision date or the Certificate of Appropriateness shall expire.
2. **FINDING:** The Board makes this determination per Section 1435-09-2:
 - a. That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.
 - b. The ADA access ramp is required by Building Code and is a simple design, which will be screened by landscaping that is compatible with the building and neighborhood context.

Historic Conservation Board

Hearing Application



II Centennial Plaza
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202
Monday- Friday 7:30 am- 4 pm
513-352-1559

Section 1. SUBJECT PROPERTY

ADDRESS 2421 Auburn Avenue COMMUNITY Mt. Auburn
PARCEL ID(S) 008900040101 HISTORIC DISTRICT Auburn Avenue
BASE ZONING CLASSIFICATION OG HILLSIDE DISTRICT: Yes No
 Non-Residential Project Residential Project (RCO) One -, Two -, and Three- Family Dwelling

Section 2. APPLICANT

NAME New Republic Architecture CONTACT PERSON (if legal entity) Lindsay Lennon
ADDRESS 1936 Race Street, Suite C101 CITY Cincinnati STATE OH ZIP 45202
EMAIL lindsay@newrepublicarchitecture.com RELATIONSHIP TO OWNER (if not owner) Architect
TELEPHONE 513-800-1581 x719

Section 3. OWNER

NAME Women's Care Center CONTACT PERSON (if legal entity) Ann Manion
ADDRESS 360 N Notre Dame Avenue CITY South Bend STATE IN ZIP 46617
EMAIL annmanion13@gmail.com RELATIONSHIP TO OWNER (if not owner) _____
TELEPHONE 574-993-4910

Section 4. NATURE OF CERTIFICATE OF APPROPRIATENESS REQUESTED

A certificate of appropriateness is NOT being requested. (Proceed to Section 5.)

A certificate of appropriateness is being requested for:

New Construction Alteration Demolition

BRIEF DESCRIPTION OF PROJECT (Do not write "see attached" or leave blank.)

New accessible ramp to the front door. New ground sign. Replacement windows. Painted trim. New surface parking lot.

Section 5. NATURE OF ZONING RELIEF REQUESTED

Zoning relief is NOT being requested, or select all that apply:

- Variance Special Exception Conditional Use Use Variance
 Expansion or Substitution of Non-Conforming Use Hillside Overlay District Permission
 Urban Design Overlay District Permission DD District Phased Development Approval

BRIEF DESCRIPTION OF ZONING RELIEF REQUESTED (Do not write "see attached" or leave blank.)

Section 6. SIGNATURE.

I certify that all statements and documents that I provide with reference to this application are accurate, complete, and true to the best of my knowledge and belief. I further acknowledge that my application shall be deemed incomplete for my failure to timely comply with any requirement of this application, which non-compliance may result in delays in the scheduling and resolution of my application.

Print Name Lindsay Lennon Signature  Date 2/23/24

Section 7. DOCUMENTATION SUBMISSION REQUIREMENTS.

Important Information: An application will not be deemed complete until all required documents listed below have been submitted and the application fee is paid in full. All transactions must be completed by 4:00pm. No exceptions. Applicants are strongly encouraged to submit as early as possible to allow time for review and revisions. Partial applications cannot be processed. Failure to submit a complete application prior to 4:00pm on a deadline date will result in delays to the assigned hearing date.

<input checked="" type="checkbox"/>	Submit two (2) paper copies collated, single sided and bound together of all the documents listed below, <u>AND</u> one (1) digital copy on a thumb/flash drive in PDF format of all documents listed below. <i>No emails.</i>
<input checked="" type="checkbox"/>	Historic Conservation Board hearing application; pages 1-2 only. The instruction pages should not be included in your submission.
<input checked="" type="checkbox"/>	Adjudication Letter <u>AND</u> worksheet issued by the Department of City Planning & Engagement – Urban Conservator’s Office. Provide all documents requested on the worksheet.
<input checked="" type="checkbox"/>	A written statement explaining how the proposed project meets the applicable Historic Conservation Guidelines and, if requested, Zoning relief. Separate instructions for preparing this statement are attached. <i>If you fail to follow the instructions for your type of request(s), your application may be denied.</i>
<input type="checkbox"/>	Applications requesting development permission in a Hillside Overlay District must meet the additional requirements found in Cincinnati Municipal Code 1433-15. <i>Please ensure your application meets these requirements.</i>
<input checked="" type="checkbox"/>	All documents (forms, letters, etc.) must be formatted to 8.5x11. Font no smaller than size 11. Plans or drawings may be formatted to 11x17 or 12x18. <i>No larger sizes will be accepted.</i>
<input checked="" type="checkbox"/>	Accurate drawings, plans or surveys (including a graphic scale) of existing and proposed project showing parcel lines, boundaries, dimensions, areas, topography, and frontage of the property involved, as well as the location and dimensions of all primary and accessory structures from the nearest property lines. Provide all parcels and structures adjacent to the site. When landscaping is required by the zoning code, a landscaping plan must be provided.
<input checked="" type="checkbox"/>	Detailed information (such as drawings, elevations with measurements, specifications) fully depicting the exterior and/or interior appearance of the existing and proposed project, including parking and access, exterior lighting, landscaping, signs, roof and floor plans involved in the application. Provide labeled photographs of existing conditions of all sides/directions of the structure/property.
<input checked="" type="checkbox"/>	The Hamilton County Auditor’s record showing ownership of the property. If the Hamilton County Auditor’s official records do not list the applicant or owner as the owner of the property, please provide a lease, contract to purchase, or other agreement demonstrating the applicant or owner’s legal basis to seek the relief requested.
<input checked="" type="checkbox"/>	A list of witnesses, expert witnesses, or legal counsel who you expect to testify at the hearing on this application. Please provide names and email addresses.
<input checked="" type="checkbox"/>	Other documents or information you intend to introduce at the hearing on this application.
<input checked="" type="checkbox"/>	A non-refundable application fee - a check made payable to “City of Cincinnati.”

To help avoid delays, it is strongly suggested that you present your application to neighboring property owners and any interested neighborhood community groups prior to the hearing on your application. This will give you a prior opportunity to address your neighbors’ concerns or objections and can facilitate the approval of your application.

ADJUDICATION/DENIAL LETTER

Date: February 6, 2024

Location: 2421 Auburn Avenue

Request: COA/ Zoning Relief

Zoning District: OG/ Auburn Avenue Historic District

The City of Cincinnati appreciates receiving information regarding your proposed project. The purpose of this letter is to inform you that your proposed project requires a Certificate of Appropriateness from the Historic Conservation Board, as it is within a local historic district and involves exterior alterations to the building and site, specifically, an accessible ramp in the front yard and a ground sign.

All documents **that are checked** on the "Checklist for Historic Conservation Board" document are a required part of the submission, and the submission will not be considered complete unless all of these documents are included. When you submit the copies of the application, the "Checklist" Sheet must be submitted as well. The application can be found at this link: <https://www.cincinnati-oh.gov/sites/planning/assets/HCB%20Application%20Revised%202.2.22%20Hyperlink.pdf>.

All deadlines for upcoming Historic Conservation Board hearings can be found <https://www.cincinnati-oh.gov/planning/historic-conservation/historic-conservation-board/>. **Applications must be submitted no later than 3pm on the deadline date.**

The applications and documents required will be turned into the *Law Department- Office of Administrative Boards*. Their office is located on the 5th floor of 805 Central Avenue in the Permit Center. Applications can be turned in **no later than 3pm on the deadline date**. You must contact Kasandra Maynes at 513-352-1559 or Kasandra.Maynes@cincinnati-oh.gov for submittal.

You may also contact me at the information listed below with historic conservation or zoning questions, concerns or to make an appointment.

Sincerely,



Douglas Owen

Urban Conservator

(p): 513-352-4848

(e): douglas.owen@cincinnati-oh.gov

Checklist for Historic Conservation Board Hearing Application

The Historic Conservation Office will provide this list with the required items

checked off when an Adjudication letter is issued. All items checked must be submitted to the Law Department with submission or the application will not be accepted.

- 8 business days before the hearing date 10 hard copies and a digital copy in one pdf for the final board packet. Hard copies must be formatted and retain the proper scale on sheets no larger than 11x17 or 12x18.
- Non-Refundable Application Fee. Checks made payable to the City of Cincinnati. \$ 642.80

All Drawings and Plans must include the following

- ✓ A graphic scale required on all drawings
- ✓ North arrows on all site, context and floor plans
- ✓ Elevations labeled with North, South, East West, front, side and rear labels
- ✓ Street names labeled
- ✓ Date and/or revision dates

Architectural Drawings and Plans

- An index of drawings located on the first sheet
- Context Map showing the building within at least a block of context
- Existing site plans
- Proposed site plans
 - All site plans must have*
 - ✓ *Parcel/boundary lines*
 - ✓ *Building footprints and dimensions labeled*
 - ✓ *Setback dimensions from all property lines labeled*
 - ✓ *Existing and proposed principal and accessory buildings, including location, dimensions, and height labeled;*
 - ✓ *All properties and their structures immediately adjacent to the site*
 - ✓ *Location and placement of exterior utilities and vents*
- Existing elevation drawings (At minimum must provide photographs of existing conditions of all elevations)
- Proposed elevation drawings
 - All elevations (existing and proposed) must have*
 - ✓ *Total Height from grade to top of the building*
 - ✓ *Total height- ASL (Above Sea Level)*
 - ✓ *Materials labeled*
 - ✓ *Location and placement of exterior utilities and vents*
- Existing floor plans and roof plans (with chimney locations)
- Proposed floor plans and roof plans (with chimney locations)
 - All floor(existing and proposed) plans must have*
 - ✓ *Residential and Commercial Spaces labeled. Residential Spaces must be numbered.*
 - ✓ *Square feet of commercial spaces listed*
 - ✓ *Location of trash storage and Utilities*
 - ✓ *Location and placement of exterior utilities and vents*

- Site section and/or Site elevations including any adjacent properties
- Driveways, sidewalks, walkways, terraces, and other paved surfaces
- Existing and proposed accessory structures, including walls, fences, porches, lighting, signs, and other site improvements;
- Existing and proposed landscape areas and materials, if proposed to be altered;
- Proposed materials, textures, and colors. Include make, model and series for proposed materials
- Labeled photos of all sides of the building
- Labeled photos of 1 block streetscape context in all directions
- Site line drawings for any roof additions, roof decks, utilities.
- A color rendering, axonometric drawings and/or perspective of the proposed construction (required on infill projects)

Required if applicable to the project

- Historic Sanborn Maps of the site
- Window brochures and cut sheet
- Roof product information (brochure)
- Garage door brochures
- Sample materials or color samples. _____
- Fence drawings of style, fence brochures or photo of a sample fence
- Signs; drawings, photo showing the sign on the building, mounting info, materials, colors and illumination
- Mature tree removal requires a letter from an arborist stating its poor health
- All written correspondence submitted by the applicant and other affected persons
- Tentative project schedule
- Egress Plan/Route to Building Code Compliance (roof decks, multi-family developments)
- _____
- _____
- _____

Demolition (full or partial) for Historic Conservation Districts and Landmarks

- Demolition Case Sheet and all required information listed on the sheet unless otherwise not required by the Urban Conservator in writing and provided with application.
- Statement of plans for the property after demolition.

Hillside Overlay Zone (CZC § 1433)

- A development plan, accompanied by a property survey, showing existing vegetation and proposed development, and where applicable, streets, drives, parking areas, walkways, heights of structure(s), location of structures, elevation and setback of proposed buildings, drainage, existing contours and proposed grading and new landscaping plans, proposed uses and square footage of uses and recreational facilities;
- A preliminary geotechnical evaluation;
- A determination of the maximum building envelope;
- Average slope/grade of the property; and
- Graphic illustrations demonstrating that the proposed improvement or new structure has not exceeded the maximum building envelope

For additional questions about this checklist contact Urban Conservator at 513-352-4848 or urban.conservator@cincinnati-oh.gov

Note: The aforementioned information is general in nature. Additional information may be required by the Urban Conservator once the application is submitted. Please use this list to plan for the potential documents that could be required for a submission.

February 21, 2024

Doug Owen
Urban Conservator
Historic Conservation Board
805 Central Avenue, Suite 500
Cincinnati, OH 45202

Re: 2421 Auburn Avenue – Certificate of Appropriateness

This letter addresses the proposed ramp, ground sign, parking lot, and alterations to the building located at 2421 Auburn Avenue with respect to the Auburn Avenue Historic District Guidelines. The original structure was built in 1895 as a single-family residence and has since been used as office space. The existing historic structure is 4 stories with the basement partially above ground at the rear. All four facades are limestone with decorative elements and original windows. The building fronts Auburn Avenue with existing parking lots at the side and rear yards. There are no adjacent buildings.

Existing historic windows will be repaired where possible. The one-story sunroom at the front of the building has historic openings that were infilled with concrete and single-pane, divided-lite windows smaller than the opening. The windows and concrete surround will be removed and replaced with clear glass, double hung aluminum-clad wood windows from the Pella Architect series. All stone headers, sills, and trim are to remain. Existing painted wood trim will be repainted Benjamin Moore Pink Starburst 2004-40. No stone is to be painted. A new full-lite front door will be installed, painted to match the trim.

As a requirement of the Accessibility Analysis Disproportionality Worksheet, 20% of the cost of alterations must go to an accessible entrance. Therefore, a new accessible ramp is proposed to create an accessible path from the new parking lot to the first-floor main entry. As the site slopes down towards the rear, this is the most feasible location for the ramp without increasing its length drastically. The north side entry leads to an interior staircase, and the other two entries lead to the basement, where no program is proposed. There is an existing elevator that is inoperable and not up to code, and no work is proposed to make it operational. At the front of the building, the proposed ramp switches back three times to keep it compact and minimize its impact on the site. It will be constructed of concrete. The existing concrete steps will be reworked to accommodate the ramp. A new metal railing will be installed that will be simple and contemporary. There will be a landscaped bed in front of the ramp to screen it from the view from the street.

A new ground sign is proposed in the front yard. Per the zoning code 1427-35, a sign can be .75 square feet for every linear foot of building frontage. The building is 35 linear feet, so the proposed ground sign is 26 square feet (approximately 5' tall x 6' wide with an arched top). The wood or acrylic sign will sit atop a stone base to match the building. The arched shape draws from the existing arch

of the historic windows. The sign will be pink with the Women's Care Center logo on it along with tag lines of the services they will provide at this facility. The sign will not be internally illuminated, but rather it will be illuminated by landscape uplighting.

A new parking lot to the north of the building is proposed, but to be designed by others. Landscaping will be installed to screen the parking lot from the view from the street.

All interior work will not impact the historic character of the building exterior or the historic streetscape.

Sincerely,



Lindsay Lennon
Architect

February 21, 2024

Doug Owen
Urban Conservator
Historic Conservation Board
805 Central Avenue, Suite 500
Cincinnati, OH 45202

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Sincerely,



Lindsay Lennon
Architect

PLOTTED: Wednesday, February 21, 2024 1:42:37 PM
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1 2 3 4 5 6 7 8 9 10 11 12

TYPICAL FOR ARCHITECTURAL DRAWINGS ONLY

AFF	ABOVE FINISHED FLOOR	FRT	FIRE RETARDANT TREATED	TEMP	TEMPORARY
BD	BOARD	FT	FOOT/FEET	TYP	TYPICAL
BLDG	BUILDING	GWB	GYPSPUM WALLBOARD	UNO	UNLESS NOTED OTHERWISE
BRG	BEARING	MAS	MASONRY	WD	WOOD
CJ	CONTROL JOINT	MATL	MATERIAL	W/	WITH
CL	CENTER LINE	MAX	MAXIMUM	WH	WATER HEATER
CLG	CEILING	MECH	MECHANICAL	WWF	WELDED WIRE FABRIC
CMU	CONCRETE MASONRY UNIT	MFR	MANUFACTURER		
CONC	CONCRETE	MIN	MINIMUM		
CONT	CONTINUOUS	MISC	MISCELLANEOUS		
DN	DOWN	NA	NOT APPLICABLE		
DW	DISHWASHER	NIC	NOT IN CONTRACT		
DWG	DRAWING	OC	ON CENTER		
EA	EACH	OH	OPPOSITE HAND		
EL	ELEVATION	OSB	ORIENTED STRAND BOARD		
EQ	EQUAL/EQUALLY	REQD	REQUIRED		
EQUIP	EQUIPMENT	RO	ROUGH OPENING		
EX	EXISTING	SF	SQUARE FOOT		
EXT	EXTERIOR	SGD	SLIDING GLASS DOOR		
F/	FACE OF	SIM	SIMILAR		
FDTN	FOUNDATION	STC	SOUND TRANSMISSION CLASS		
FIN	FINISH	T&G	TONGUE AND GROOVE		
FLR	FLOOR/FLOORING	T/	TOP OF		

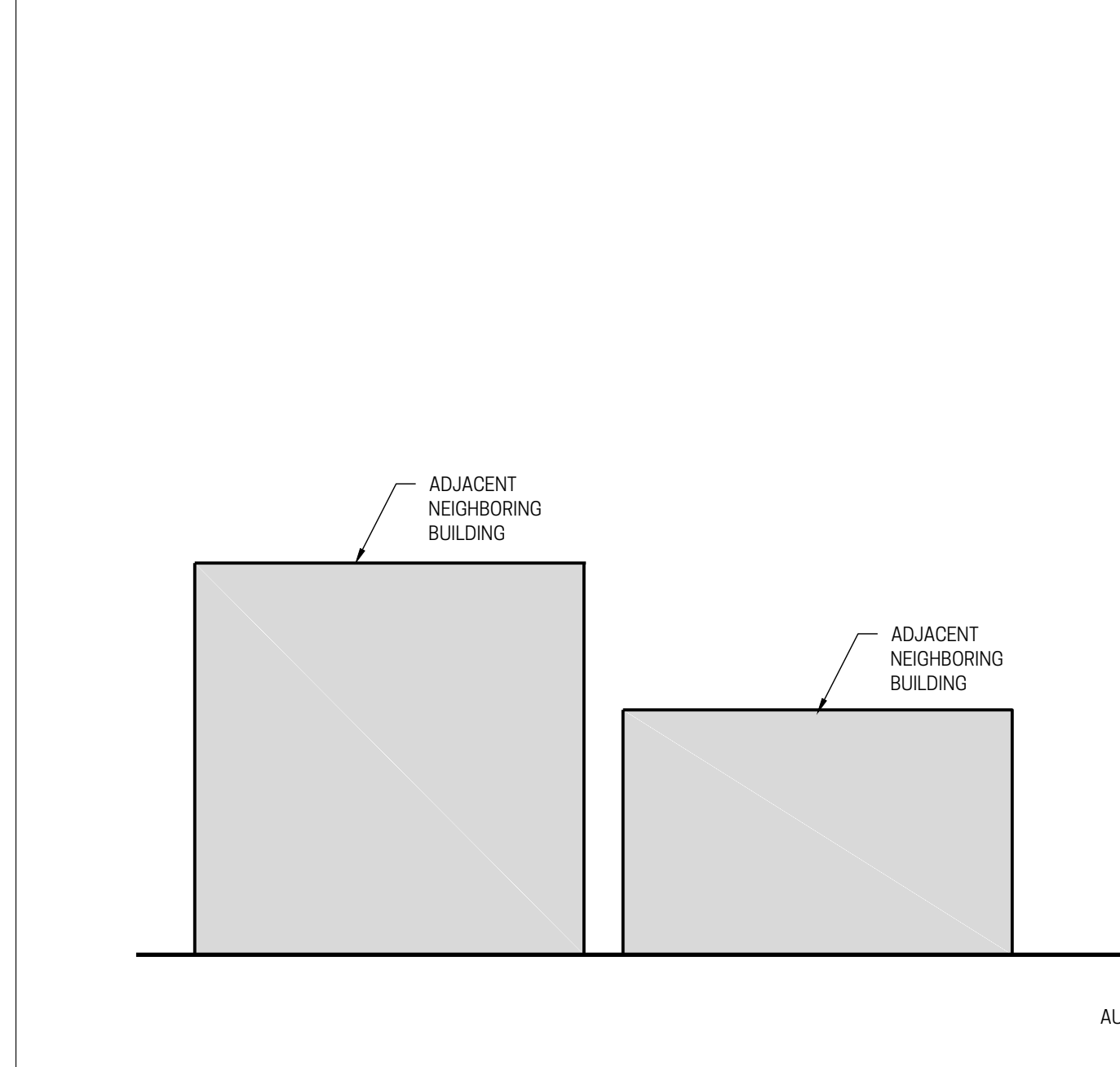
G4 ABBREVIATIONS

CODE INFORMATION	PROJECT DATA
APPLICABLE BUILDING CODE:	SQUARE FOOTAGES (MEASURED TO THE EXTERIOR FACE OF MASONRY)
2019 RESIDENTIAL CODE OF OHIO	BASEMENT 2026 SF FIRST FLOOR 2026 SF SECOND FLOOR 2026 SF THIRD FLOOR 2026 SF

F4 PROJECT INFORMATION

THE PROJECT CONSISTS OF ALTERATIONS OF AN EXISTING BUILDING, ORIGINALLY BUILT IN THE 1895 AS A SINGLE FAMILY HOME TO A 6,146 SF (EXCLUDING THE BASEMENT) COMMERCIAL FACILITY. THE SCOPE OF THIS PROPOSAL EXCLUDES THE PARKING LOT (DESIGNED BY OTHERS). THE PROJECT IS LOCATED IN THE MOUNT AUBURN NEIGHBORHOOD OF CINCINNATI, OHIO, WITHIN THE AUBURN AVENUE LOCAL HISTORIC DISTRICT. THE ALTERATIONS CONSIST OF REMOVING NON HISTORIC ELEMENTS FROM PREVIOUS INSENSITIVE RENOVATIONS, UPDATING THE BATHROOMS TO MEET ACCESSIBILITY GUIDELINES, AND UPDATED FINISHES THROUGHOUT. EXTERIOR CHANGES CONSIST OF ADDING AN ACCESSIBLE CONCRETE RAMP AND NEW CONCRETE STAIR TO THE MAIN ENTRY, ADDING A GROUND SIGN TO THE FRONT YARD, REPAINTING ELEMENTS OF THE BUILDING EXTERIOR THAT WERE ONCE PAINTED AND REPOINTING/ CLEANING THE STONE.

D4 PROJECT DESCRIPTION



A4 SITE SECTION
1/16" = 1'-0"

PROJECT NOTES

- A. BEFORE BEGINNING WORK OR ANY PORTION OF THE WORK, THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE VARIOUS DRAWINGS, SPECIFICATIONS, AND OTHER CONTRACT DOCUMENTS, AS WELL AS INFORMATION PROVIDED BY THE OWNER/OWNER'S REPRESENTATIVE. FIELD MEASURE AND OBSERVE THE EXISTING CONDITIONS RELATED TO OR AFFECTING THE WORK. THESE OBLIGATIONS ARE FOR THE PURPOSE OF DISCOVERING ERRORS, OMISSIONS, OR INCONSISTENCIES IN THE CONTRACT DOCUMENTS, HOWEVER, INCONSISTENCIES OR OMISSIONS DISCOVERED SHALL BE REPORTED PROMPTLY TO THE ARCHITECT.
- B. NO INVESTIGATION, TESTING, OR DETERMINATION HAS BEEN MADE BY THE ARCHITECT OR THE ARCHITECT'S CONSULTANTS AS TO THE PRESENCE OF ASBESTOS, MOLD, LEAD PAINT OR ANY OTHER HAZARDOUS MATERIAL IN THE EXISTING CONSTRUCTION. NEITHER THE ARCHITECT NOR THE ARCHITECT'S CONSULTANTS ARE RESPONSIBLE FOR THE IDENTIFICATION, REMEDIATION, OR REMOVAL OF ANY SUCH MATERIAL. THE OWNER SHALL ESTABLISH AN ALLOWANCE FOR THE TESTING FOR AND ABATEMENT OF HAZARDOUS MATERIALS.
- C. THESE DRAWINGS ARE BASED ON THE PRESUMPTION OF FAVORABLE SOIL CONDITIONS. EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR TO CONFIRM THAT CONDITIONS COMPLY WITH BOTH CRITERIA PROVIDED BY THE FOUNDATION MANUFACTURER AND CITED HEREIN. IF EXISTING SOIL CONDITIONS DO NOT COMPLY, THE ARCHITECT SHALL BE NOTIFIED BEFORE PROCEEDING.
- D. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR MEANS, METHODS, SAFETY, DEMOLITION, OR NEW CONSTRUCTION, AS THESE ARE THE RESPONSIBILITY OF THE CONTRACTOR(S) PERFORMING THE WORK.
- E. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING DIMENSIONS WITH EXISTING CONDITIONS PRIOR TO CONSTRUCTION. IN CASE OF ANY DISCREPANCIES, CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION.
- F. NO STRUCTURAL CHANGES SHALL BE MADE WITHOUT PRIOR APPROVAL BY THE ARCHITECT OR ENGINEER OF RECORD.
- G. ALL SUBCONTRACTORS ARE REQUIRED TO WALK THE PROJECT IN ITS ENTIRETY PRIOR TO PREPARING OR SUBMITTING A BID TO THE GENERAL CONTRACTOR.
- H. THE CONTRACTOR SHALL VERIFY ALL INFORMATION HEREIN AND SHALL REPORT ANY ERRORS, OMISSIONS, AND INCONSISTENCIES OR INSTANCES OF INSUFFICIENT INFORMATION DISCOVERED WITHIN THE DOCUMENTS TO THE IMMEDIATE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.
- I. ALL WORK IS TO BE PERFORMED AND INSTALLED IN AN APPROVED WORKMANLIKE MANNER, TO THE HIGHEST STANDARD OF CRAFTSMANSHIP BY THEIR RESPECTIVE TRADES. ALL WORK SHALL BE INSTALLED/PERFORMED IN ACCORDANCE WITH GOVERNING CODES AND REGULATORY AGENCIES, INCLUDING, BUT NOT LIMITED TO OSHA.
- J. CONTRACTOR SHALL MAINTAIN CURRENT / APPROPRIATE INSURANCE LIMITS AND COVERAGES FOR THE SIZE AND SCALE OF THE WORK.
- K. THE CONTRACTOR SHALL AT NO TIME INCORPORATE ANY MATERIALS THAT ARE COMPOSED OF OR CONTAIN ANY AMOUNT OF ASBESTOS. THE SUBSTITUTION OF MATERIALS THAT CONTAIN ANY AMOUNT OF ASBESTOS WILL IN NO CIRCUMSTANCES BE ACCEPTABLE. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR AND PROJECT ARCHITECT SHALL SUBMIT WRITTEN STATEMENT OR CERTIFICATIONS ASSERTING THAT NO ASBESTOS CONTAINING MATERIALS WERE USED IN ANY PORTION OF THE CONSTRUCTION.
- L. THE CONTRACTOR SHALL NOT DISTURB EXISTING ADJACENT BUILDINGS OR TENANTS.
- M. ALL MATERIALS SHALL BE HANDLED, STORED AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS' SPECIFICATIONS.
- N. PROVIDE TEMPORARY LIGHTING AND POWER THROUGHOUT THE COURSE OF DEMOLITION AND CONSTRUCTION AS REQUIRED.
- O. OWNER IS RESPONSIBLE FOR PULLING AND PAYING FOR THE BUILDING PERMIT. GENERAL CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE FOR MAINTAINING ALL LICENSES AS NECESSARY.
- P. ALL MATERIALS, PRODUCTS, AND SYSTEMS SHALL BE INSTALLED IN COMPLIANCE WITH MANUFACTURERS INSTRUCTIONS, REQUIREMENTS, RECOMMENDATIONS, AND SPECIFICATIONS.
- Q. WHERE PLUMBING AND ELECTRICAL COMPONENTS PENETRATE FIRE RATED FLOOR/ CEILING ASSEMBLIES OR WALLS, PROVIDE APPROPRIATE, UL LISTED, THROUGH-PENETRATION FIRE STOP SYSTEMS.
- R. THESE DRAWINGS SHALL NOT BE SCALED. STANDARD SIZE 22" x 34".

DESIGN/BUILD SCOPE

- PLUMBING, HVAC, AND ELECTRICAL DESIGN AND ENGINEERING ARE DESIGN/BUILD AND ARE EXCLUDED FROM THE ARCHITECT'S SCOPE OF WORK. REFERENCE TO RELATED WORK HEREIN IS FOR INFORMATION ONLY.
- DESIGN AND ENGINEERING OF SITE DEVELOPMENT SHALL BE UNDER SEPARATE CONTRACT AND ARE NOT THE RESPONSIBILITY OF THE ARCHITECT. CONTRACTOR SHALL COORDINATE GRADING AND SITE DESIGN WITH BUILDING DESIGN.

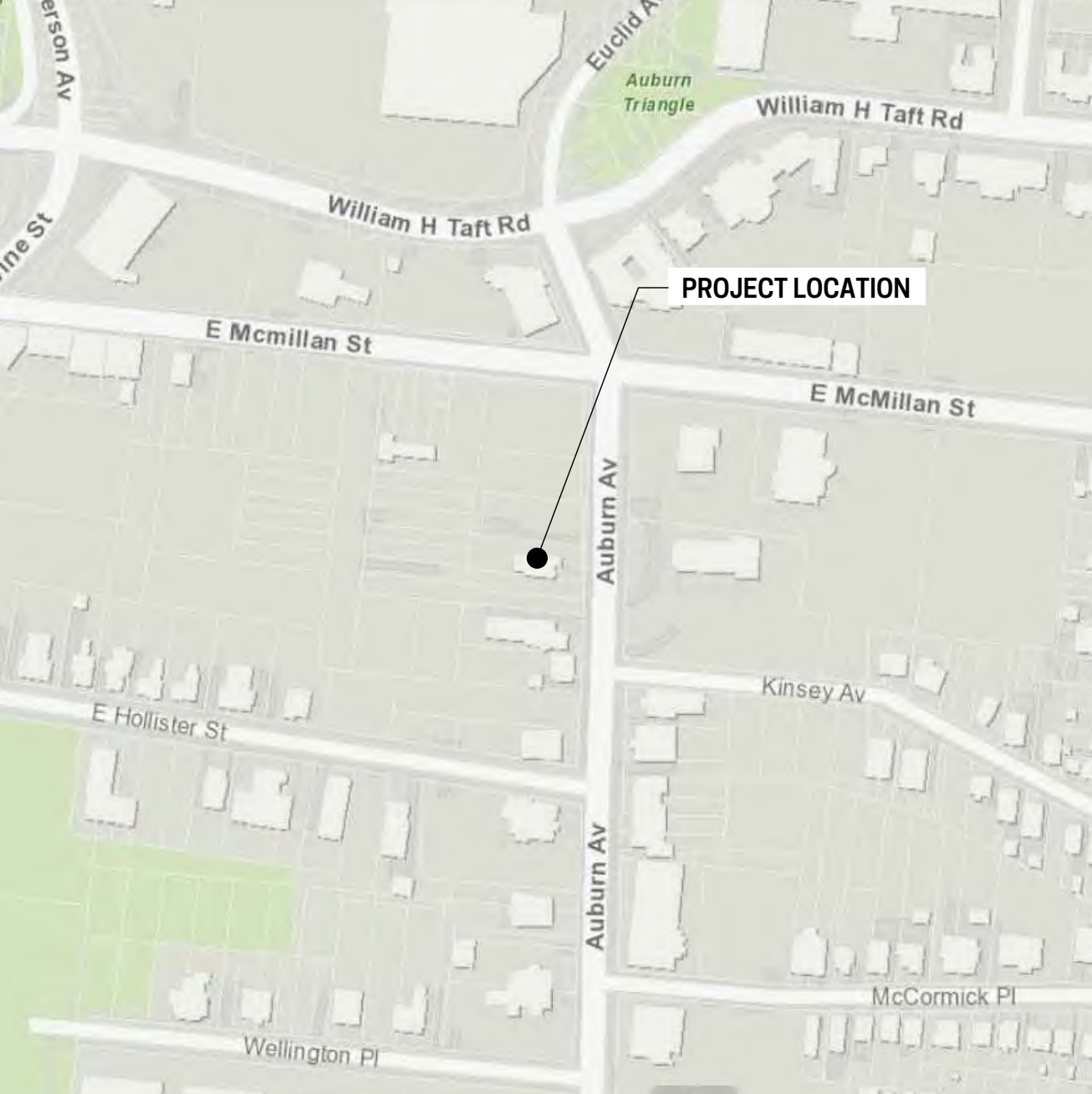
D7 GENERAL PROJECT NOTES

#	DRAWING TITLE	ORIGINAL ISSUE	REVISION											
			1	2	3	4	5	6	7	8				
G000	COVER SHEET	2/23/2024												
	SITE SURVEY	2/23/2024												
G301	SITE PLAN	2/23/2024												
G302	PROPOSED SIGN	2/23/2024												
D100	BASEMENT DEMOLITION FLOOR PLAN	2/23/2024												
D101	FIRST FLOOR DEMOLITION PLAN	2/23/2024												
D102	SECOND FLOOR DEMOLITION PLAN	2/23/2024												
D103	THIRD FLOOR DEMOLITION PLAN	2/23/2024												
D104	ROOF DEMOLITION PLAN	2/23/2024												
A100	BASEMENT FLOOR PLAN	2/23/2024												
A101	FIRST FLOOR PLAN	2/23/2024												
A102	SECOND FLOOR PLAN	2/23/2024												
A103	THIRD FLOOR PLAN	2/23/2024												
A104	ROOF PLAN	2/23/2024												
X201	EXISTING ELEVATIONS	2/23/2024												
A200	PROPOSED ELEVATIONS	2/23/2024												
X202	NEIGHBORHOOD CONTEXT	2/23/2024												

F10 DRAWING INDEX



D10 PROJECT SITE



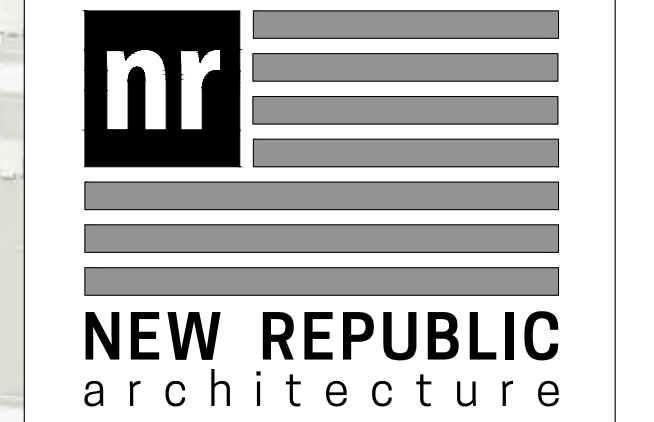
A10 LOCATION MAP

HISTORIC REHABILITATION: WOMENS CENTER
2421 AUBURN AVE CINCINNATI, OH 45219
PROJECT NO: 23-053
360 N Notre Dame Ave

OWNER:
WOMEN'S CARE CENTER
SOUTH BEND, IN 46617
CONTACT: ANN MANION
PHONE: (574) 993-4910
ARCHITECT:
NEW REPUBLIC LIMITED
d.b.a. NEW REPUBLIC ARCHITECTURE
CONTACT: LINDSAY LENNON
PHONE: (513) 800-1581x719

No.	Date
	02.23.2024

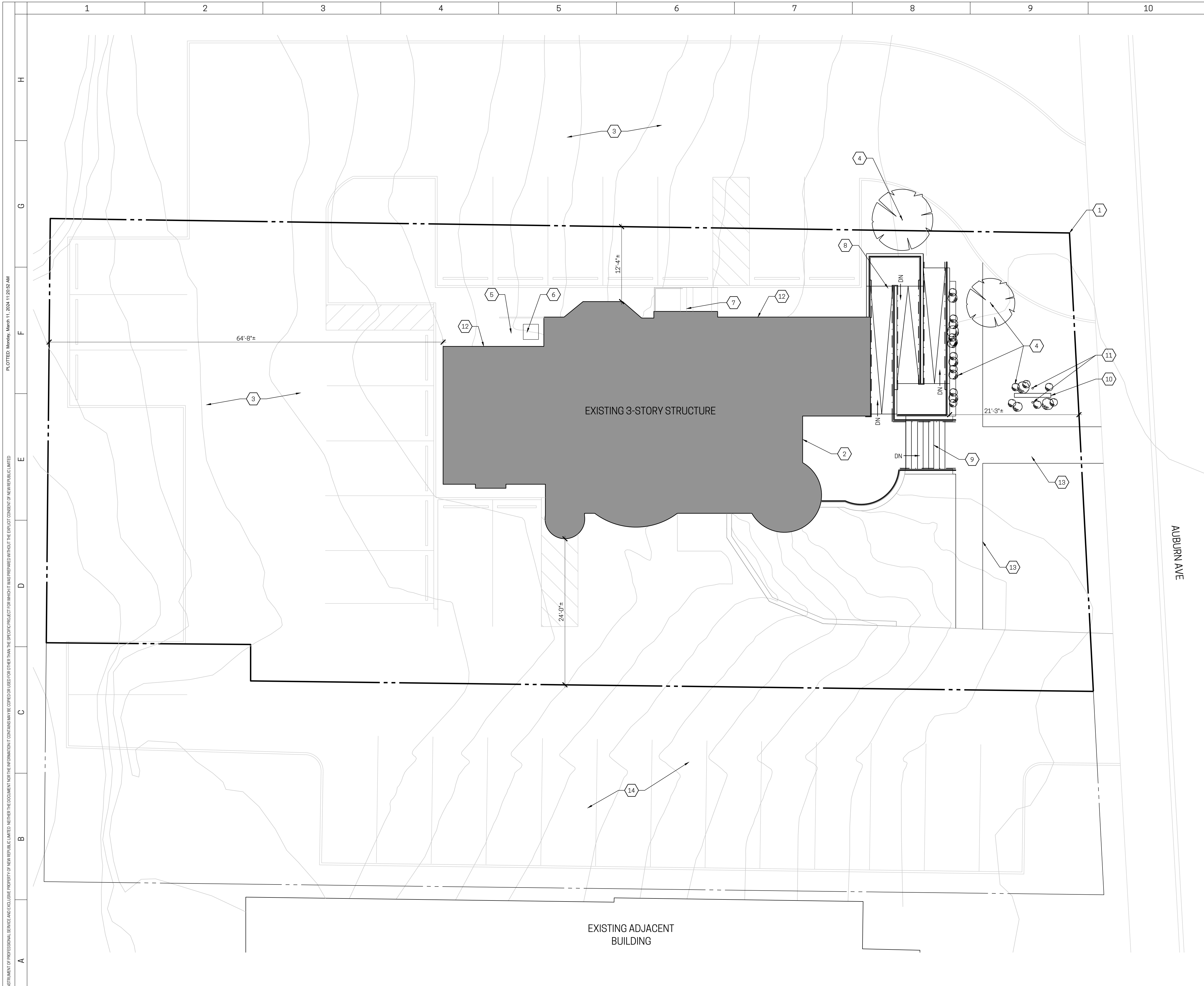
HISTORIC CONSERVATION BOARD
Issuance/ Revision/ Submissions



Not for Construction

Drawing Title
COVER SHEET

Document No.
G000



GENERAL NOTES

A. TIE ALL ROOF DRAINS AND DOWNSPOUTS INTO UNDERGROUND SEWER LINES.

**SITE WORK AND DEVELOPMENT EASEMENTS UNDERWAY
DEVELOPMENT UNDER SEPARATE SCOPE OF WORK**

KEY NOTES

1. SITE BOUNDARY
2. PRIMARY BUILDING ENTRY
3. FUTURE PARKING LOT DEVELOPED IN CONJUNCTION NORTHERN PROPERTY, NOT IN SCOPE
4. PROPOSED PLANTING TO SHIELD RAMP AND LOT
5. PROPOSED TRASH LOCATION IN EXISTING ENCLOSURE
6. EXISTING TO BE REPLACED HVAC LOCATION
7. EXISTING CONCRETE STEPS TO BE REPAIRED, RE: ELEVATIONS
8. PROPOSED NEW RAMP
9. PROPOSED NEW CONCRETE STAIR
10. PROPOSED GROUND SIGN
11. SITE LIGHTING, BY OTHERS
12. PROVIDE EXTERIOR WATERPROOFING BELOW GRADE WHERE PROPOSED GRADING IS MANIPULATED AND RAISES ABOVE THE CURRENT GRADE PLANE
13. NEW SIDEWALK, BY OTHERS. SIDEWALK SHALL COMPLY WITH CITY REQUIREMENTS.
14. ADJACENT PROPERTY OWNED BY PROJECT OWNER

**HISTORIC REHABILITATION:
WOMENS CENTER**

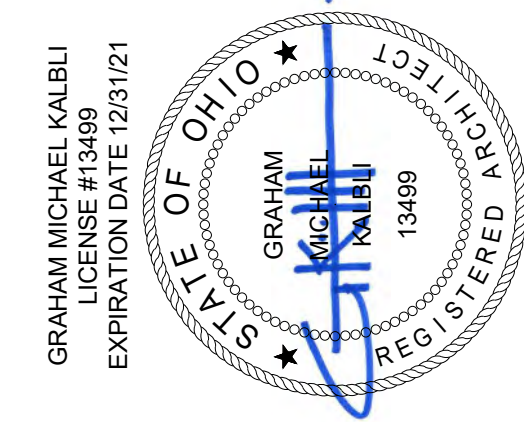
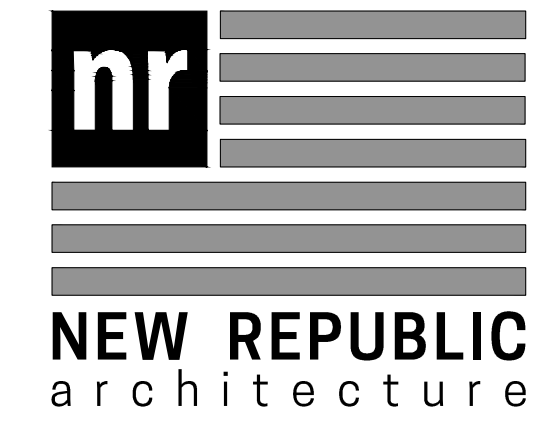
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360 N Notre Dame Ave

OWNER:
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 PLOTTED: Monday, March 11, 2024 11:26:52 AM

No. PERMIT 02.29.2024 Date
 Issuance/Revisions/Submissions



Drawing Title

SITE PLAN

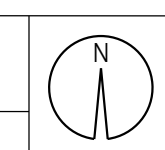
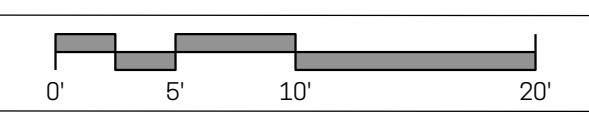
Document No.

G301

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A1 SITE PLAN

A11 NOTES



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A B C D E F G H

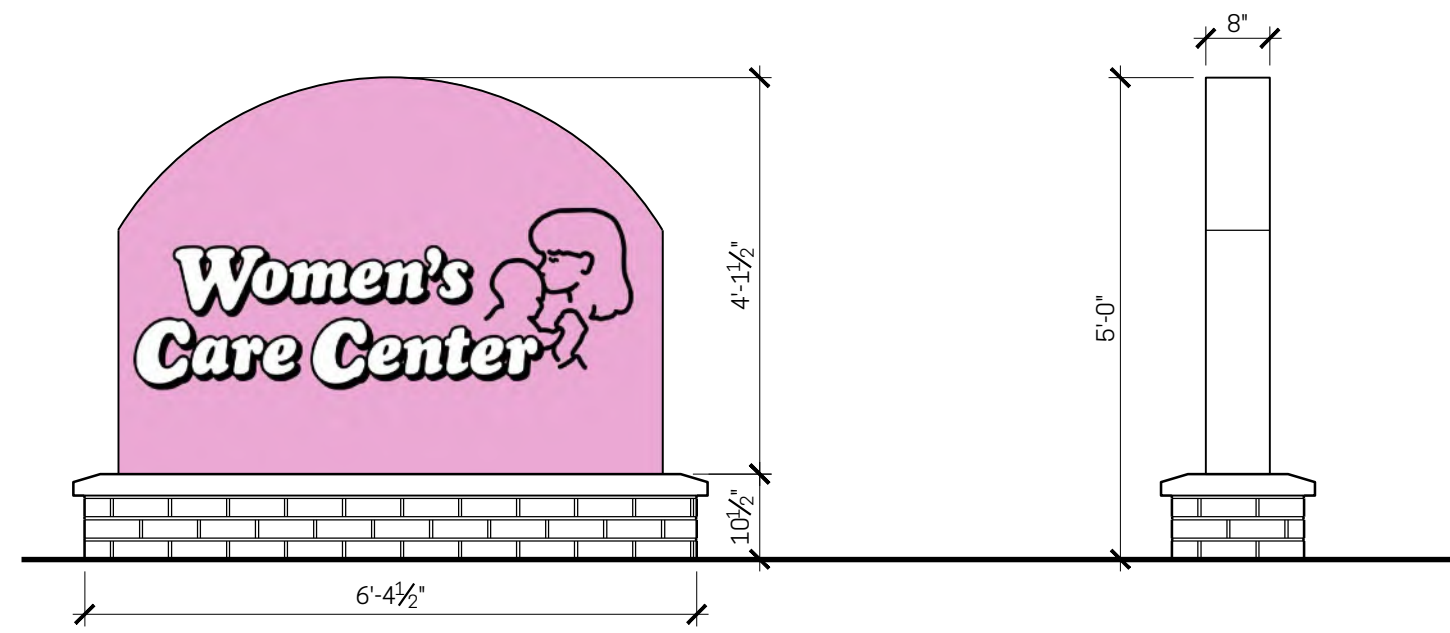
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**HISTORIC REHABILITATION:
WOMENS CENTER**

2421 AUBURN AVE CINCINNATI, OH 45219
PROJECT NO: 23-053
360 N Notre Dame Ave

OWNER:
WOMEN'S CARE CENTER
SOUTH BEND, IN 46617
CONTACT: ANN MANION
PHONE: (574) 993-4910

ARCHITECT:
NEW REPUBLIC LIMITED
d.b.a. NEW REPUBLIC ARCHITECTURE
CONTACT: LINDSAY LENNON
PHONE: (513) 800-1581x719



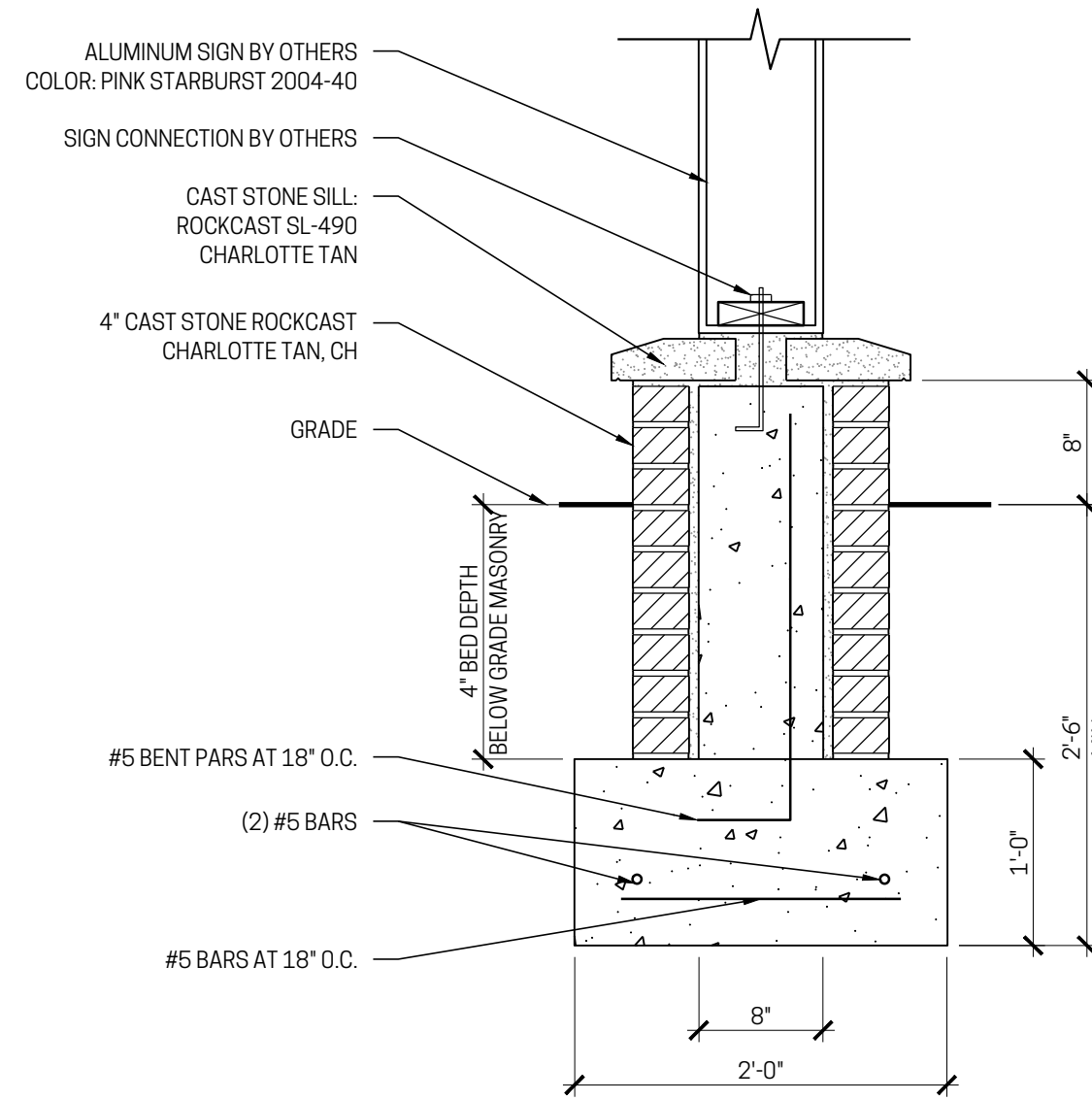
A6 SIGN ELEVATIONS

1/2"=1'-0"



OG DISTRICT REGULATIONS

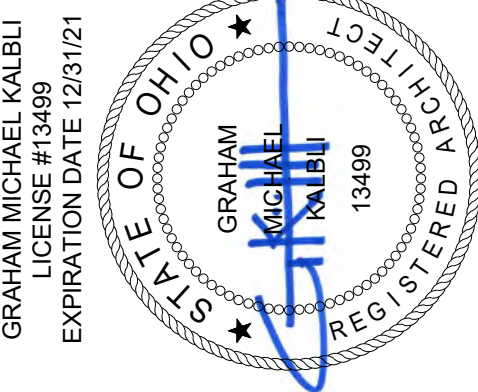
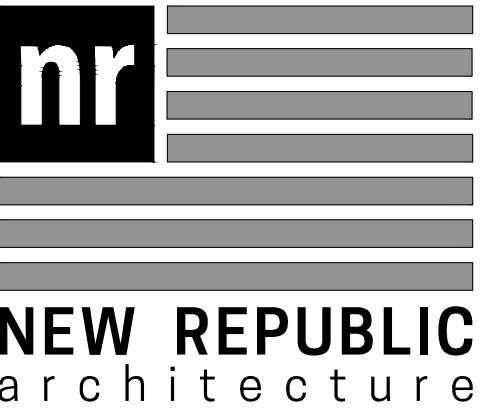
- A. GROUND SIGNS ARE PERMITTED SEE 1427-35
- B. GROUND SIGN AREA IS ALLOWED TO BE .75 SF OF THE BUILDINGS LINEAR FRONTAGE OR LESS. SEE 1427-21. IN THIS INSTANCE 26SF IS MAX PERMITTED
- C. GROUND SIGNS ARE PERMITTED TWO FACES SEE 1427-25.
- D. GROUND SIGNS HAVE BOTH A MAX HEIGHT AND WIDTH OF 10'-0"
- E. GROUND SIGNS ARE TO BE SET BACK OFF ANY LOT LINE MIN 3' OR ONE HALF OF THE SIGNS HEIGHT WHICHEVER IS GREATER



A9 SIGN FOOTING DETAIL

1"=1'-0"

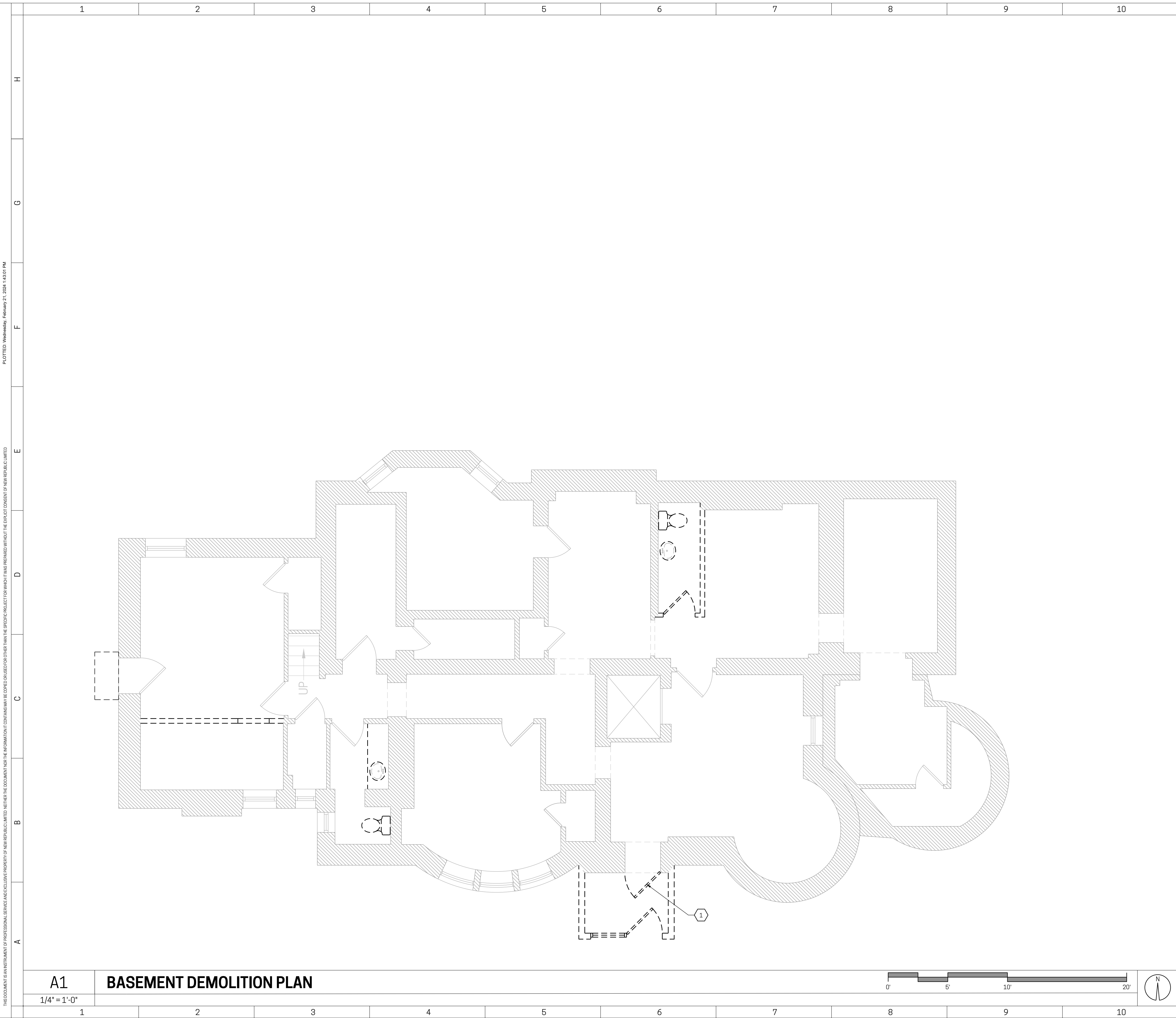
No.	
PERMIT	
Issuance/Revision/ Submissions	
Date	02.29.2024



Proposed Sign

Document No. G302

1 2 3 4 5 6 7 8 9 10 11 12



DEMOLITION LEGEND

	EXISTING MASONRY
	EXISTING WOOD FRAME CONSTRUCTION
	EXISTING WALL/FURRING TO BE REMOVED
	EXISTING WINDOW TO BE REMOVED
	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO REMAIN

- GENERAL DEMOLITION NOTES**
- A. REFER TO SHEET G201 FOR ADDITIONAL INFORMATION REGARDING DEMOLITION WORK.
 - B. REMOVE ALL ACCESSORIES: TOWEL BARS, TOILET PAPER HOLDERS AND MIRRORS.
 - C. REMOVE EXISTING LIGHT FIXTURES, DEVICES, AND PLATES FROM REPLACEMENT.
 - D. REMOVE ALL EXISTING PLUMBING FIXTURES.
 - E. REMOVE ALL EXISTING CEILINGS, DROPPED CEILINGS, AND SOFFITS.

- KEY NOTES**
1. REMOVE EXISTING GATE
 2. REMOVE EXISTING CONCRETE STAIRS
 3. EXISTING HVAC TO REMAIN
 4. EXISTING CHIMNEY TO REMAIN
 5. EXISTING DOOR TO BE RELOCATED SALVAGE EXISTING WAINSCOT AND TRIM FOR REUSE
 6. REMOVE EXISTING INFILLED WALL. MAINTAIN ARCHED OPENINGS AND STAIR TRIM

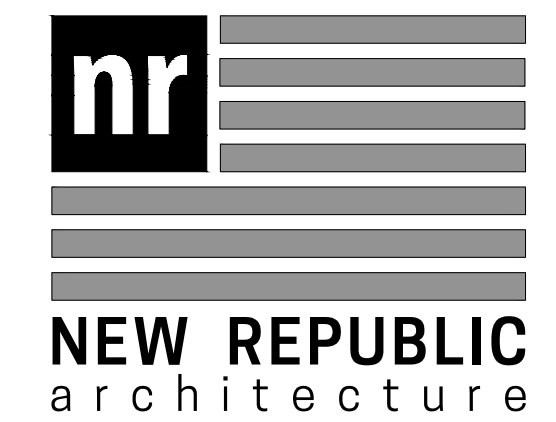
**HISTORIC REHABILITATION:
WOMENS CENTER**

2421 AUBURN AVE CINCINNATI, OH 45219
PROJECT NO: 23-053
360 N Notre Dame Ave

OWNER:
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PHONE: (513) 800-1581x719

PLOTTED: Wednesday, February 21, 2024 1:43:01 PM
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No.	Issuance/Revisions/Submissions	Date
	HISTORIC CONSERVATION BOARD	02.23.2024



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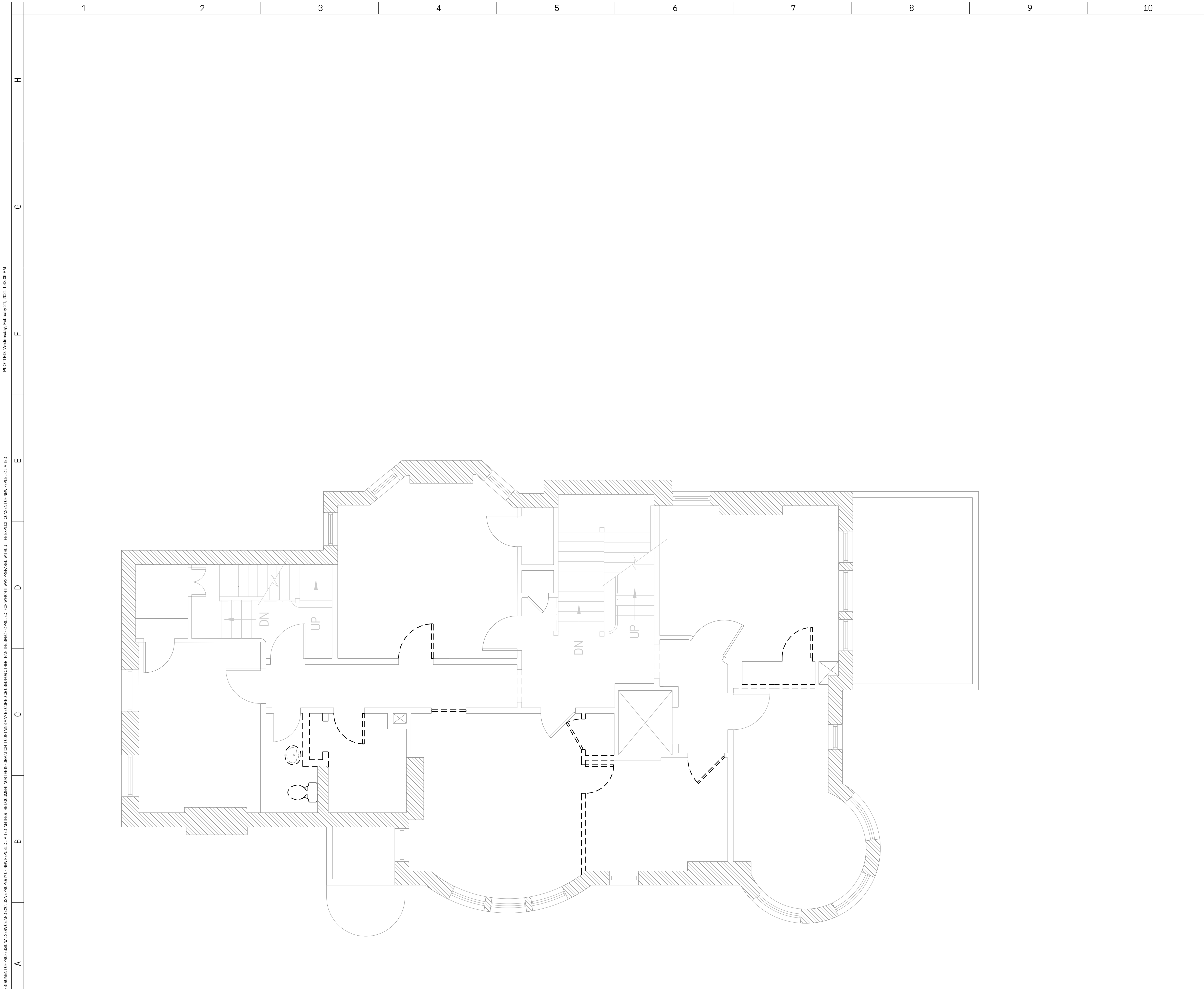
Drawing Title
BASEMENT DEMOLITION PLAN

Document No.
D100

A1	BASEMENT DEMOLITION PLAN		
1/4" = 1'-0"			
1	2	3	4
5	6	7	8
9	10	11	12

A11

NOTES



DEMOLITION LEGEND

- EXISTING MASONRY
- EXISTING WOOD FRAME CONSTRUCTION
- EXISTING WALL/FURRING TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING DOOR TO REMAIN

GENERAL DEMOLITION NOTES

- A. REFER TO SHEET G201 FOR ADDITIONAL INFORMATION REGARDING DEMOLITION WORK.
- B. REMOVE ALL ACCESSORIES: TOWEL BARS, TOILET PAPER HOLDERS AND MIRRORS.
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- D. REMOVE ALL EXISTING PLUMBING FIXTURES.
- E. REMOVE ALL EXISTING CEILINGS, DROPPED CEILINGS, AND SOFFITS.

KEY NOTES

- 1. REMOVE EXISTING GATE
- 2. REMOVE EXISTING CONCRETE STAIRS
- 3. EXISTING HVAC TO REMAIN
- 4. EXISTING CHIMNEY TO REMAIN
- 5. EXISTING DOOR TO BE RELOCATED SALVAGE EXISTING WAINSCOT AND TRIM FOR REUSE
- 6. REMOVE EXISTING INFILLED WALL. MAINTAIN ARCHED OPENINGS AND STAIR TRIM

**HISTORIC REHABILITATION:
WOMENS CENTER**

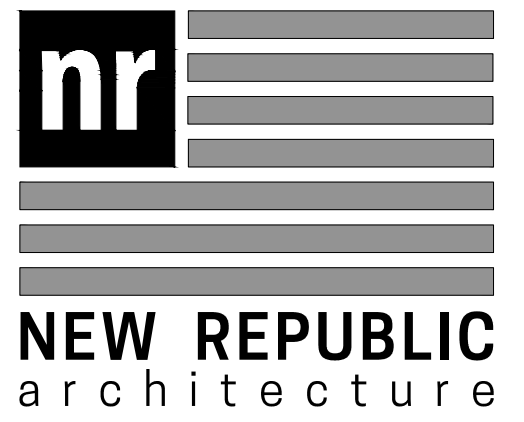
2421 AUBURN AVE CINCINNATI, OH 45219
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HISTORIC CONSERVATION BOARD
Issuance/ Revision/ Submissions
No. Date
02.23.2024

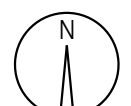
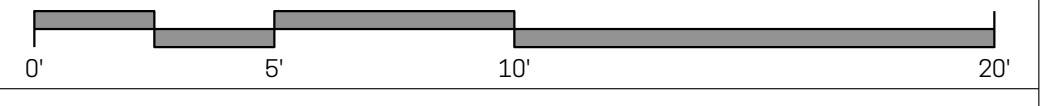


**Not for
Construction**

Drawing Title
**SECOND FLOOR
DEMOLITION PLAN**

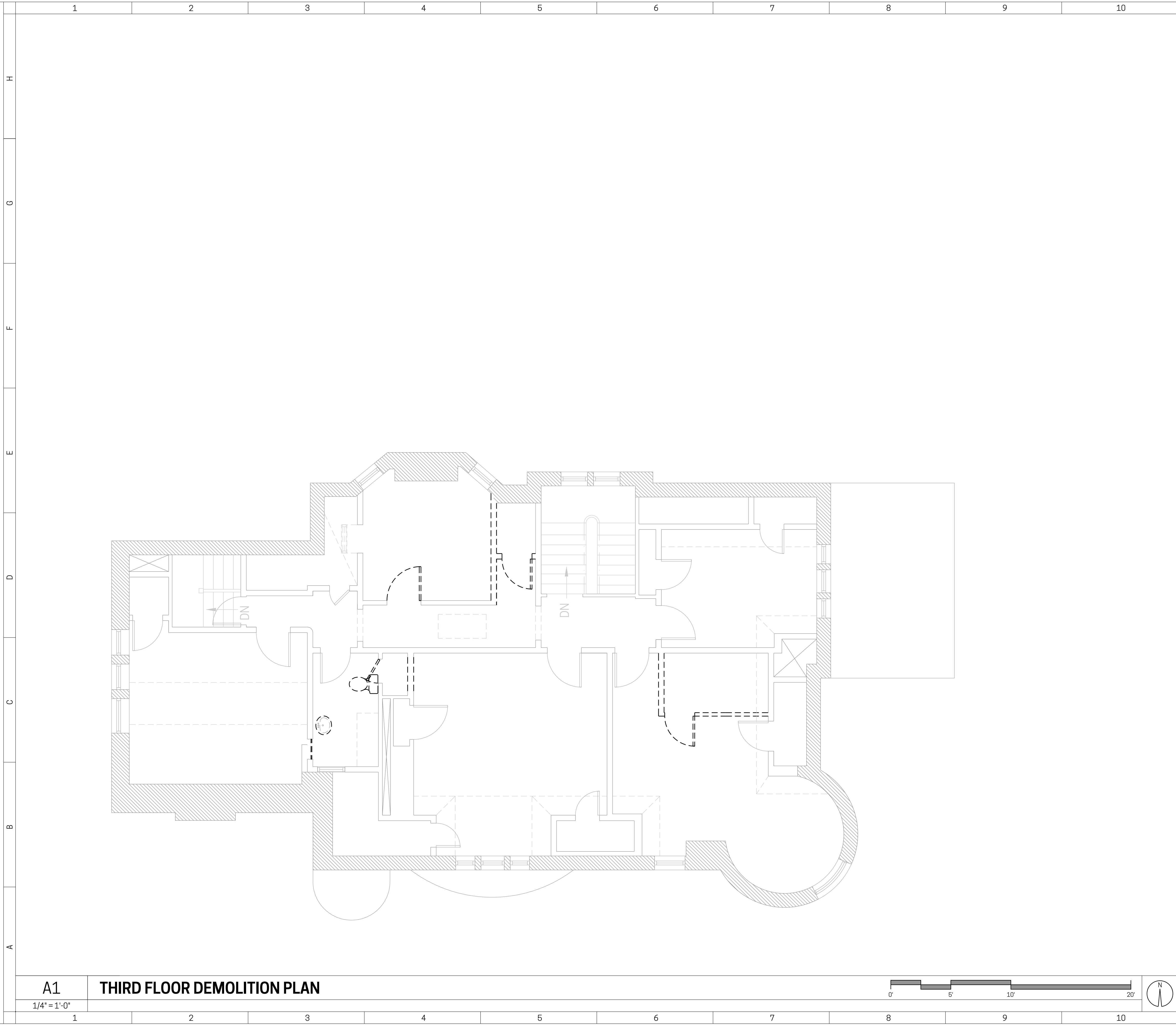
Document No.
D102

A1
1/4" = 1'-0"
SECOND FLOOR DEMOLITION PLAN



A11
NOTES

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DEMOLITION LEGEND	
	EXISTING MASONRY
	EXISTING WOOD FRAME CONSTRUCTION
	EXISTING WALL/FURRING TO BE REMOVED
	EXISTING WINDOW TO BE REMOVED
	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO REMAIN

- GENERAL DEMOLITION NOTES**
- A. REFER TO SHEET G201 FOR ADDITIONAL INFORMATION REGARDING DEMOLITION WORK.
 - B. REMOVE ALL ACCESSORIES: TOWEL BARS, TOILET PAPER HOLDERS AND MIRRORS.
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 - D. REMOVE ALL EXISTING PLUMBING FIXTURES.
 - E. REMOVE ALL EXISTING CEILINGS, DROPPED CEILINGS, AND SOFFITS.

- KEY NOTES**
- 1. REMOVE EXISTING GATE
 - 2. REMOVE EXISTING CONCRETE STAIRS
 - 3. EXISTING HVAC TO REMAIN
 - 4. EXISTING CHIMNEY TO REMAIN
 - 5. EXISTING DOOR TO BE RELOCATED SALVAGE EXISTING WAINSCOT AND TRIM FOR REUSE
 - 6. REMOVE EXISTING INFILLED WALL. MAINTAIN ARCHED OPENINGS AND STAIR TRIM

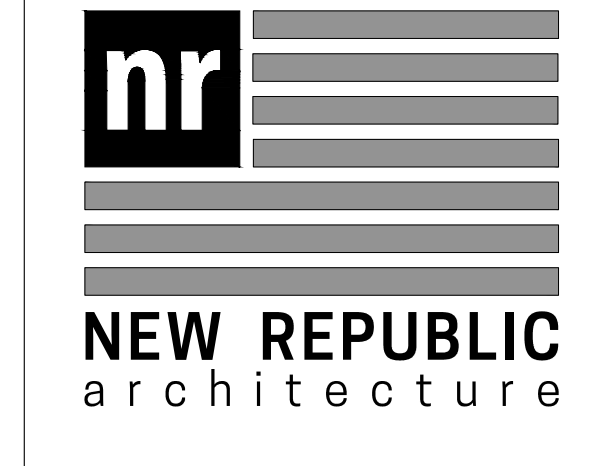
**HISTORIC REHABILITATION:
WOMENS CENTER**

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360 N Notre Dame Ave

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No.	Issuance/Revision/ Submissions	Date
		02.23.2024

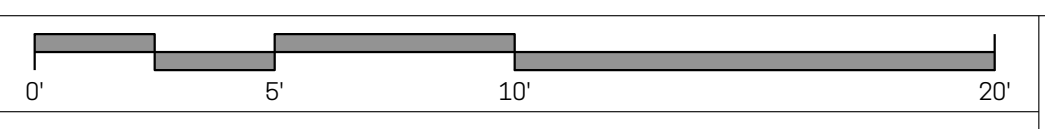


**Not for
Construction**

Drawing Title
**THIRD FLOOR
DEMOLITION PLAN**

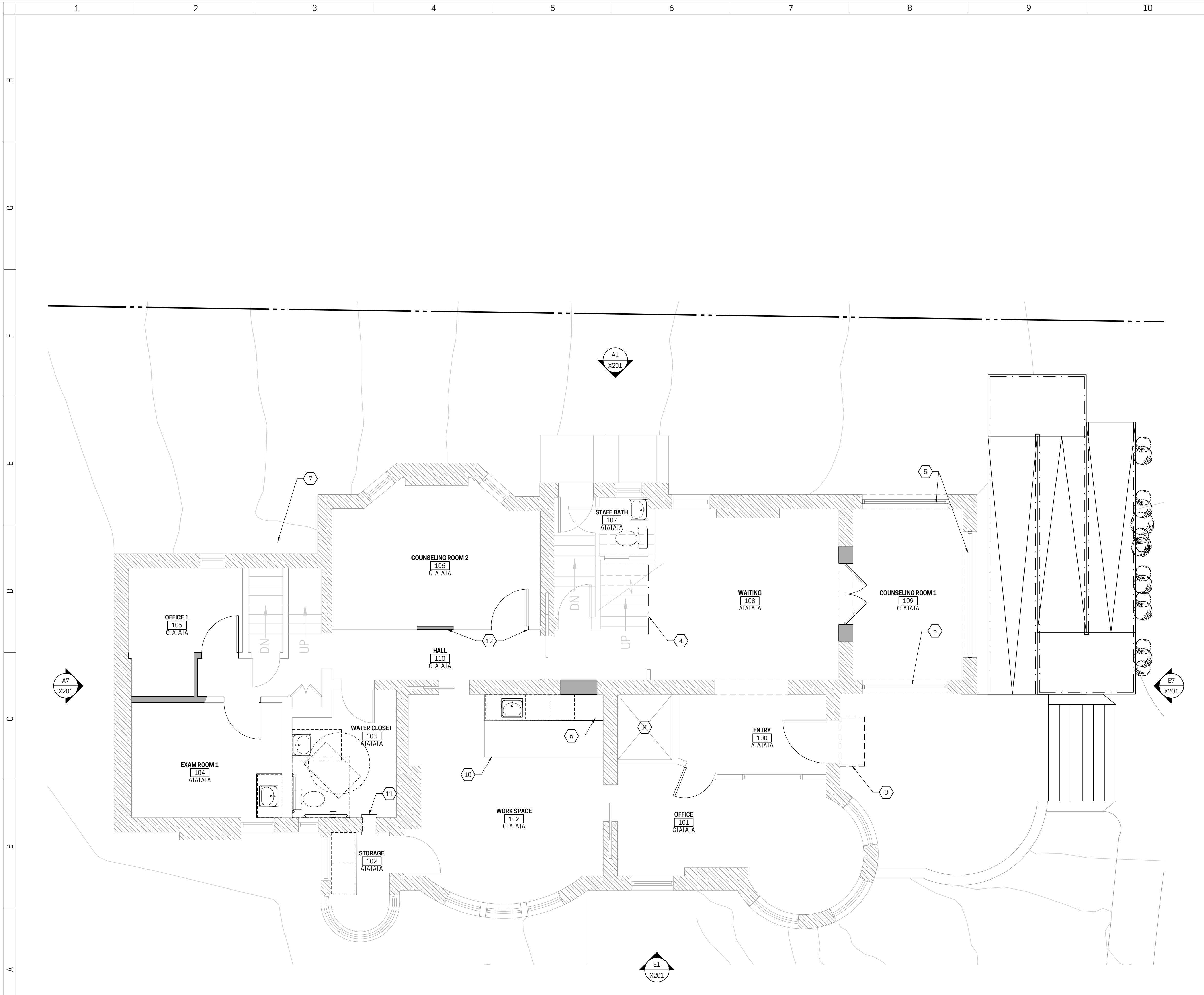
Document No.
D103

A1 **THIRD FLOOR DEMOLITION PLAN**



A11 **NOTES**

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GENERAL NOTES

- EXTERIOR DIMENSIONS ARE TO THE FACE OF EXTERIOR SHEATHING OR CMU. INTERIOR DIMENSIONS ARE TO THE FACE OF STUD, CMU, OR WALL CENTERLINE.
- ALL PARTITIONS ARE TYPE 'A' UNLESS NOTED OTHERWISE.
- VERIFY DIMENSIONS WITH TRUSS MANUFACTURER.
- COORDINATE FRAMING LAYOUT AND PLUMBING LAYOUT AT 2ND AND 3RD FLOOR PRIOR TO INSTALLATION.
- COORDINATE LOCATIONS OF ROOF PENETRATIONS (VENT, EXHAUSTS, INTAKES, ETC.) WITH ASSOCIATED WORK.
- SEE ENLARGED PLANS FOR DOOR AND ROOM TAGS FINISH INFORMATION FOR THOSE AREAS. UNIT ROOM AND DOOR TAGS AT SHEETS A311. SEE ENLARGED PLANS FOR ADDITIONAL PARTITION TYPE TAGS. SEE PARTITION TYPES FOR COORDINATION WITH SHEAR WALLS.
- CORNER GUARDS SHALL BE INSTALLED AT ALL OUTSIDE CORNERS IN COMMON CORRIDORS, COMMON AREAS, AND ALL TYPE 'A' ACCESSIBLE UNITS. SEE FINISH LEGEND REMARKS FOR MORE INFORMATION.

KEY NOTES

- NEW CONCRETE STEPS.
- NEW RAMP.
- SUSPENDED GLASS AWNING
- NEW RAILING.
- NEW WINDOWS IN EXISTING OPENING
- U.C. REFRIGERATOR
- EXISTING HVAC UNITS TO REMAIN
- EXISTING CHIMNEY
- INOPERABLE ELEVATOR TO REMAIN
- VCT. SEE FINISH LEGEND
- STAINLESS STEEL SPECIMEN PASS-THRU CABINET
- EXISTING DOOR RELOCATED. REINSTALL EXISTING WAINSCOT AND TRIM

FINISH LEGEND

ROOM NUMBER	ROOM XXX
FLOOR FINISH	ATATATAIn
BASE	
WALL FINISH	
CEILING	
REMARKS	

FLOOR - 1ST LETTER	BASE - 2ND LETTER	WALL - 3RD LETTER
A - VCT	A - WOOD	A - PAINT, P-1
B - CERAMIC TILE (CT1)	B - RESILIENT	BM892, WARM BLUSH
C - CARPET	C - CERAMIC TILE	B - PRIMED
D - SEALED CONCRETE	D - NONE	CEILING - 4TH LETTER
		A - GYPSUM BOARD, U.N.O.

REMARKS:

- TILE AT WALLS PER INTERIOR ELEVATIONS.
- 34" HIGH WOOD PANEL WAINSCOT
- .085" THICK VINYL CORNER GUARDS WITH 2" WINGS AND CLOSURE CAPS, TYP. AT ALL OUTSIDE CORNERS - COMMERCIAL GRADE IN ALL COMMON AREAS

FLOORING NOTES:

- EXTEND NEW FLOORING UNDER EQUIPMENT.
- CLOSETS SHALL HAVE THE SAME FLOOR, BASE, WALL & CEILING FINISH AS THE ADJOINING ROOM UNLESS NOTED OTHERWISE.
- PROVIDE MATERIAL TRANSITION STRIP AT DOORWAYS WHERE ADJACENT ROOMS RECEIVE DIFFERENT FLOOR FINISHES. 3/4" MAX BEVELED THRESHOLD.
- AREAS WITH LVP1 AND WOOD BASE SHALL HAVE 1/4 ROUND AT FLOOR/BASE CONNECTION

TRIM NOTES:

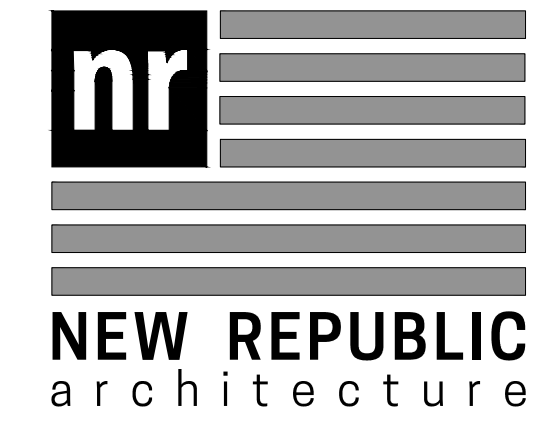
- TRIM AND DOORS TO BE PAINTED, P-2 SW7008, ALABASTER

HISTORIC REHABILITATION: WOMENS CENTER

2421 AUBURN AVE CINCINNATI, OH 45219
 PROJECT NO: 23-053
 360 N Notre Dame Ave

OWNER:
 WOMEN'S CARE CENTER
 SOUTH BEND, IN 46617
CONTACT: ANN MANION
PHONE: (574) 993-4910
ARCHITECT:
 NEW REPUBLIC LIMITED
 d.b.a. NEW REPUBLIC ARCHITECTURE
CONTACT: LINDSAY LENNON
PHONE: (513) 800-1581x719

No.	Issuance/ Revision/ Submissions	Date
	HISTORIC CONSERVATION BOARD	02.23.2024

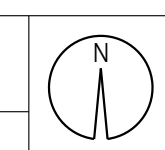
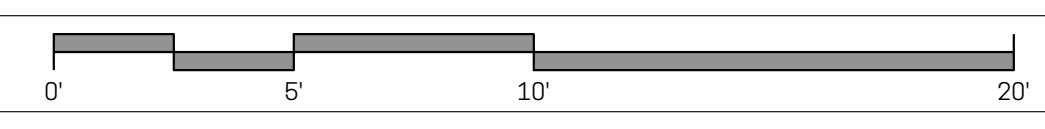


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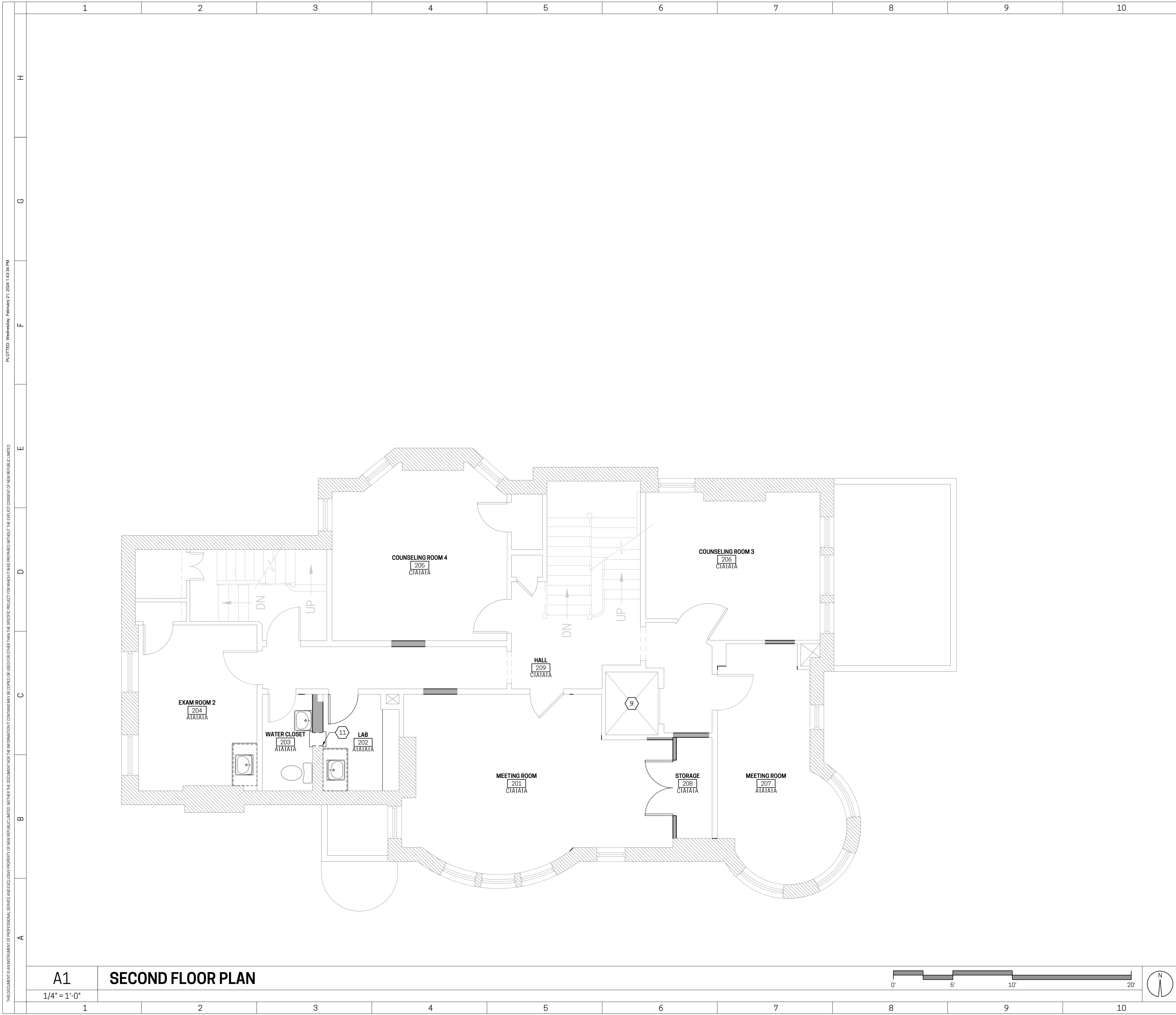
Drawing Title
FIRST FLOOR PLAN

Document No.
A101

A1
FIRST FLOOR PLAN
 1/4" = 1'-0"



A11
NOTES



GENERAL NOTES

- A. EXTERIOR DIMENSIONS ARE TO THE FACE OF EXTERIOR SHEATHING OR CMU. INTERIOR DIMENSIONS ARE TO THE FACE OF STUD, CMU, OR WALL CENTERLINE.
- B. ALL PARTITIONS ARE TYPE 'A' UNLESS NOTED OTHERWISE.
- C. VERIFY DIMENSIONS WITH TRUSS MANUFACTURER.
- D. COORDINATE FRAMING LAYOUT AND PLUMBING LAYOUT AT 2ND AND 3RD FLOOR PRIOR TO INSTALLATION.
- E. COORDINATE LOCATIONS OF ROOF PENETRATIONS (VENT, EXHAUSTS, INTAKES, ETC.) WITH ASSOCIATED WORK.
- F. SEE ENLARGED PLANS FOR DOOR AND ROOM TAGS FINISH INFORMATION FOR THOSE AREAS. UNIT ROOM AND DOOR TAGS AT SHEETS A311. SEE ENLARGED PLANS FOR ADDITIONAL PARTITION TYPE TAGS. SEE PARTITION TYPES FOR COORDINATION WITH SHEAR WALLS.
- G. CORNER GUARDS SHALL BE INSTALLED AT ALL OUTSIDE CORNERS IN COMMON CORRIDORS, COMMON AREAS, AND ALL TYPE 'A' ACCESSIBLE UNITS. SEE FINISH LEGEND REMARKS FOR MORE INFORMATION.

KEY NOTES

- 1. NEW CONCRETE STEPS.
- 2. NEW RAMP.
- 3. SUSPENDED GLASS AWNING
- 4. NEW RAILING.
- 5. NEW WINDOWS IN EXISTING OPENING
- 6. U.C. REFRIGERATOR
- 7. EXISTING HVAC UNITS TO REMAIN
- 8. EXISTING CHIMNEY
- 9. INOPERABLE ELEVATOR TO REMAIN
- 10. VCT. SEE FINISH LEGEND
- 11. STAINLESS STEEL SPECIMEN PASS-THRU CABINET
- 12. EXISTING DOOR RELOCATED. REINSTALL EXISTING WAINSCOT AND TRIM

FINISH LEGEND

ROOM NUMBER	ROOM XXX
FLOOR FINISH	ATATATAIn
BASE
WALL FINISH
CEILING
REMARKS

FLOOR - 1ST LETTER	BASE - 2ND LETTER	WALL - 3RD LETTER
A - VCT	A - WOOD	A - PAINT, P-1
B - CERAMIC TILE (CT1)	B - RESILIENT	BM892, WARM BLUSH
C - CARPET	C - CERAMIC TILE	B - PRIMED
D - SEALED CONCRETE	D - NONE	CEILING - 4TH LETTER
		A - GYPSUM BOARD, U.N.O.

- REMARKS:**
- a. TILE AT WALLS PER INTERIOR ELEVATIONS.
 - b. 34" HIGH WOOD PANEL WAINSCOT
 - c. .085" THICK VINYL CORNER GUARDS WITH 2" WINGS AND CLOSURE CAPS, TYP. AT ALL OUTSIDE CORNERS - COMMERCIAL GRADE IN ALL COMMON AREAS

- FLOORING NOTES:**
- F1. EXTEND NEW FLOORING UNDER EQUIPMENT.
 - F2. CLOSETS SHALL HAVE THE SAME FLOOR, BASE, WALL & CEILING FINISH AS THE ADJOINING ROOM UNLESS NOTED OTHERWISE.
 - F3. PROVIDE MATERIAL TRANSITION STRIP AT DOORWAYS WHERE ADJACENT ROOMS RECEIVE DIFFERENT FLOOR FINISHES, 3/4" MAX BEVELED THRESHOLD.
 - F4. AREAS WITH LV1 AND WOOD BASE SHALL HAVE 1/4 ROUND AT FLOOR/BASE CONNECTION

- TRIM NOTES:**
- T1. TRIM AND DOORS TO BE PAINTED, P-2 SW7008, ALABASTER

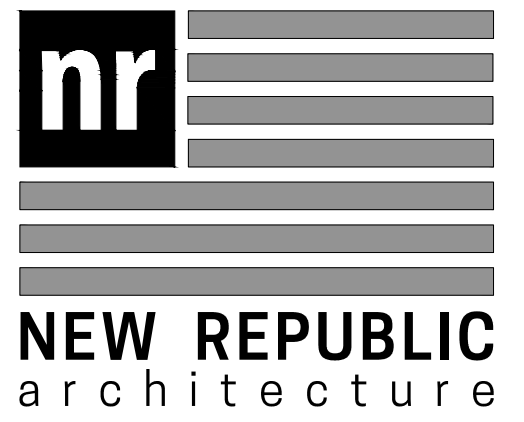
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HISTORIC CONSERVATION BOARD
Date: 02.23.2024
Issuance: Revisions/ Submissions
No.



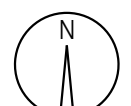
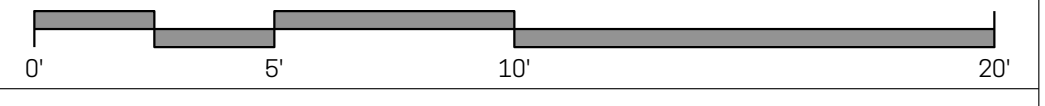
Not for Construction

Drawing Title
SECOND FLOOR PLAN

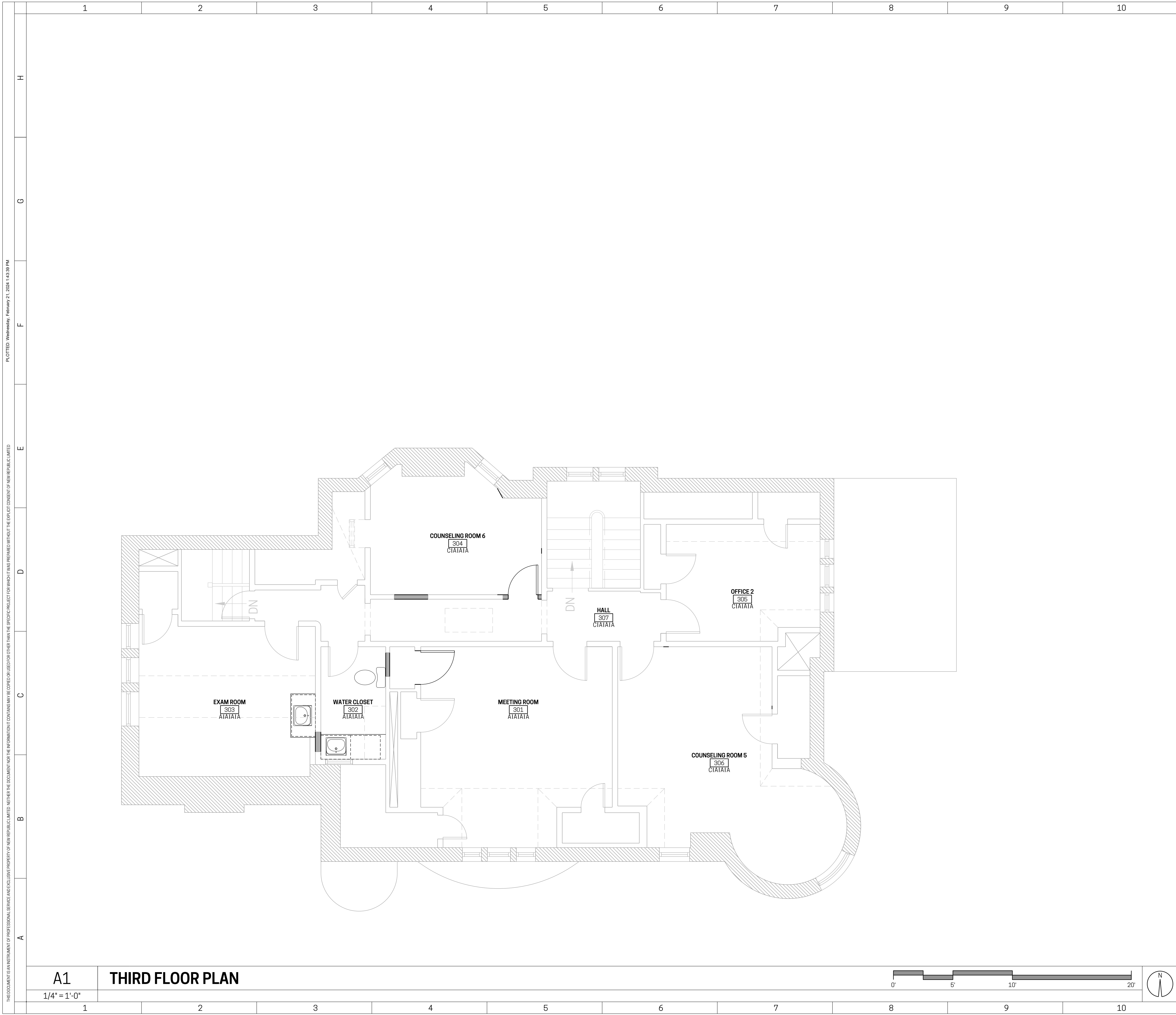
Document No.
A102

A1 SECOND FLOOR PLAN

1/4" = 1'-0"



A11 NOTES



GENERAL NOTES

- A. EXTERIOR DIMENSIONS ARE TO THE FACE OF EXTERIOR SHEATHING OR CMU. INTERIOR DIMENSIONS ARE TO THE FACE OF STUD, CMU, OR WALL CENTERLINE
- B. ALL PARTITIONS ARE TYPE 'A' UNLESS NOTED OTHERWISE
- C. VERIFY DIMENSIONS WITH TRUSS MANUFACTURER
- D. COORDINATE FRAMING LAYOUT AND PLUMBING LAYOUT AT 2ND AND 3RD FLOOR PRIOR TO INSTALLATION
- E. COORDINATE LOCATIONS OF ROOF PENETRATIONS (VENT, EXHAUSTS, INTAKES, ETC.) WITH ASSOCIATED WORK
- F. SEE ENLARGED PLANS FOR DOOR AND ROOM TAGS FINISH INFORMATION FOR THOSE AREAS. UNIT ROOM AND DOOR TAGS AT SHEETS A311. SEE ENLARGED PLANS FOR ADDITIONAL PARTITION TYPE TAGS. SEE PARTITION TYPES FOR COORDINATION WITH SHEAR WALLS.
- G. CORNER GUARDS SHALL BE INSTALLED AT ALL OUTSIDE CORNERS IN COMMON CORRIDORS, COMMON AREAS, AND ALL TYPE 'A' ACCESSIBLE UNITS. SEE FINISH LEGEND REMARKS FOR MORE INFORMATION.

KEY NOTES

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- 2. NEW RAMP.
- 3. SUSPENDED GLASS AWNING
- 4. NEW RAILING.
- 5. NEW WINDOWS IN EXISTING OPENING
- 6. U.C. REFRIGERATOR
- 7. EXISTING HVAC UNITS TO REMAIN
- 8. EXISTING CHIMNEY
- 9. INOPERABLE ELEVATOR TO REMAIN
- 10. VCT. SEE FINISH LEGEND
- 11. STAINLESS STEEL SPECIMEN PASS-THRU CABINET
- 12. EXISTING DOOR RELOCATED. REINSTALL EXISTING WAINSCOT AND TRIM

FINISH LEGEND

<p>ROOM NUMBER ROOM FLOOR FINISH ATATATAin BASE ATATATA WALL FINISH ATATATAin CEILING ATATATAin REMARKS ATATATAin</p>		<p>FLOOR - 1ST LETTER A - VCT B - CERAMIC TILE (CT1) C - CARPET D - SEALED CONCRETE</p>	<p>BASE - 2ND LETTER A - WOOD B - RESILIENT C - CERAMIC TILE D - NONE</p>	<p>WALL - 3RD LETTER A - PAINT, P-1 BM892, WARM BLUSH B - PRIMED</p>
		<p>CEILING - 4TH LETTER A - GYPSUM BOARD, U.N.O.</p>		

REMARKS:
a. TILE AT WALLS PER INTERIOR ELEVATIONS.
b. 34" HIGH WOOD PANEL WAINSCOT
c. .085" THICK VINYL CORNER GUARDS WITH 2" WINGS AND CLOSURE CAPS, TYP. AT ALL OUTSIDE CORNERS - COMMERCIAL GRADE IN ALL COMMON AREAS

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F4. AREAS WITH LVP1 AND WOOD BASE SHALL HAVE 1/4 ROUND AT FLOOR/BASE CONNECTION

TRIM NOTES:
T1. TRIM AND DOORS TO BE PAINTED, P-2 SW7008, ALABASTER

HISTORIC REHABILITATION: WOMENS CENTER

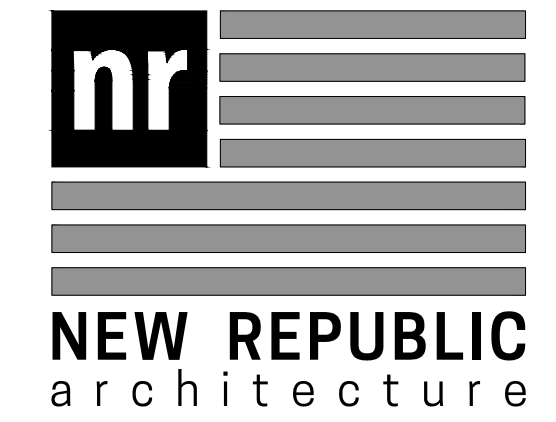
2421 AUBURN AVE CINCINNATI, OH 45219
PROJECT NO: 23-053
360 N Notre Dame Ave

OWNER:
WOMEN'S CARE CENTER
SOUTH BEND, IN 46617
CONTACT: ANN MANION
PHONE: (574) 993-4910
ARCHITECT:
NEW REPUBLIC LIMITED
d.b.a. NEW REPUBLIC ARCHITECTURE
CONTACT: LINDSAY LENNON
PHONE: (513) 800-1581x719

PLOTTED: Wednesday, February 21, 2024 1:43:39 PM

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HISTORIC CONSERVATION BOARD
Issuance/ Revision/ Submissions
Date
02.23.2024



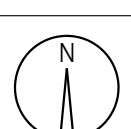
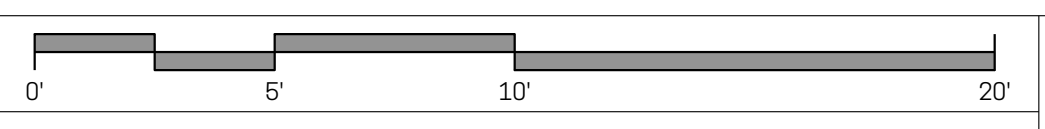
Not for Construction

Drawing Title
THIRD FLOOR PLAN

Document No.
A103

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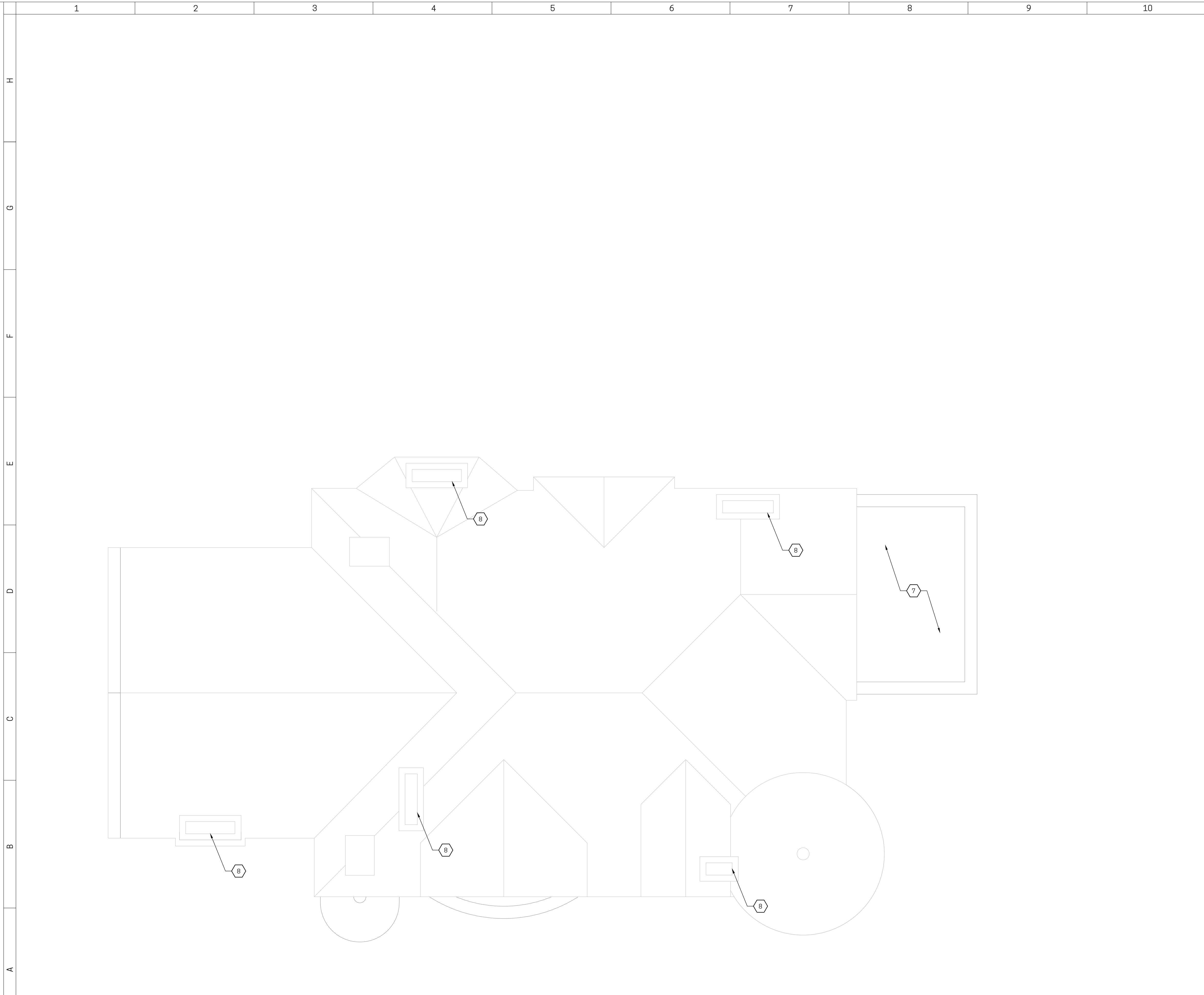
A1
THIRD FLOOR PLAN
1/4" = 1'-0"



A11
NOTES

A103

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GENERAL NOTES

- A. EXTERIOR DIMENSIONS ARE TO THE FACE OF EXTERIOR SHEATHING OR CMU. INTERIOR DIMENSIONS ARE TO THE FACE OF STUD, CMU, OR WALL CENTERLINE.
- B. ALL PARTITIONS ARE TYPE 'A' UNLESS NOTED OTHERWISE.
- C. VERIFY DIMENSIONS WITH TRUSS MANUFACTURER.
- D. COORDINATE FRAMING LAYOUT AND PLUMBING LAYOUT AT 2ND AND 3RD FLOOR PRIOR TO INSTALLATION.
- E. COORDINATE LOCATIONS OF ROOF PENETRATIONS (VENT, EXHAUSTS, INTAKES, ETC.) WITH ASSOCIATED WORK.
- F. SEE ENLARGED PLANS FOR DOOR AND ROOM TAGS FINISH INFORMATION FOR THOSE AREAS. UNIT ROOM AND DOOR TAGS AT SHEETS A311. SEE ENLARGED PLANS FOR ADDITIONAL PARTITION TYPE TAGS. SEE PARTITION TYPES FOR COORDINATION WITH SHEAR WALLS.
- G. CORNER GUARDS SHALL BE INSTALLED AT ALL OUTSIDE CORNERS IN COMMON CORRIDORS, COMMON AREAS, AND ALL TYPE 'A' ACCESSIBLE UNITS. SEE FINISH LEGEND REMARKS FOR MORE INFORMATION.

KEY NOTES

- 1. NEW CONCRETE STEPS.
- 2. NEW RAMP.
- 3. SUSPENDED GLASS AWNING
- 4. NEW RAILING.
- 5. NEW WINDOWS IN EXISTING OPENING
- 6. U.C. REFRIGERATOR
- 7. EXISTING HVAC UNITS TO REMAIN
- 8. EXISTING CHIMNEY
- 9. INOPERABLE ELEVATOR TO REMAIN
- 10. VCT. SEE FINISH LEGEND
- 11. STAINLESS STEEL SPECIMEN PASS-THRU CABINET
- 12. EXISTING DOOR RELOCATED. REINSTALL EXISTING WAINSCOT AND TRIM

FINISH LEGEND

ROOM NUMBER		ROOM XXX
FLOOR FINISH	.....	ATATATATn
BASE	.....	.....
WALL FINISH	.....	.....
CEILING	.....	.....
REMARKS	.....	.....

FLOOR - 1ST LETTER	BASE - 2ND LETTER	WALL - 3RD LETTER
A - VCT	A - WOOD	A - PAINT, P-1
B - CERAMIC TILE (CT1)	B - RESILIENT	BM892, WARM BLUSH
C - CARPET	C - CERAMIC TILE	B - PRIMED
D - SEALED CONCRETE	D - NONE	CEILING - 4TH LETTER
		A - GYPSUM BOARD, U.N.O.

REMARKS:

- a. TILE AT WALLS PER INTERIOR ELEVATIONS.
- b. 34" HIGH WOOD PANEL WAINSCOT
- c. .085" THICK VINYL CORNER GUARDS WITH 2" WINGS AND CLOSURE CAPS, TYP. AT ALL OUTSIDE CORNERS - COMMERCIAL GRADE IN ALL COMMON AREAS

FLOORING NOTES:

- F1. EXTEND NEW FLOORING UNDER EQUIPMENT.
- F2. CLOSETS SHALL HAVE THE SAME FLOOR, BASE, WALL & CEILING FINISH AS THE ADJOINING ROOM UNLESS NOTED OTHERWISE.
- F3. PROVIDE MATERIAL TRANSITION STRIP AT DOORWAYS WHERE ADJACENT ROOMS RECEIVE DIFFERENT FLOOR FINISHES. 3/4" MAX BEVELLED THRESHOLD.
- F4. AREAS WITH LVP1 AND WOOD BASE SHALL HAVE 1/4 ROUND AT FLOOR/BASE CONNECTION

TRIM NOTES:

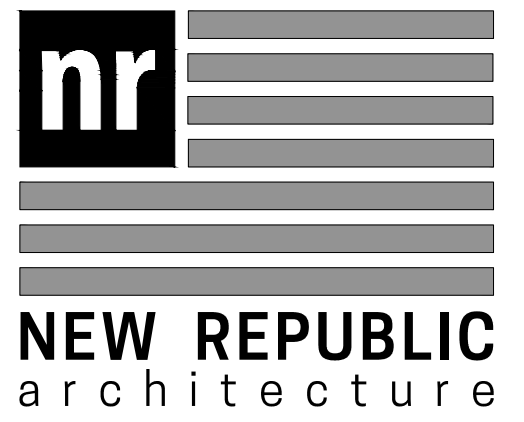
- T1. TRIM AND DOORS TO BE PAINTED, P-2 SW7008, ALABASTER

HISTORIC REHABILITATION: WOMENS CENTER

2421 AUBURN AVE CINCINNATI, OH 45219
PROJECT NO: 23-053
360 N Notre Dame Ave

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CONTACT: ANN MANION
PHONE: (574) 993-4910
ARCHITECT:
NEW REPUBLIC LIMITED
d.b.a. NEW REPUBLIC ARCHITECTURE
CONTACT: LINDSAY LENNON
PHONE: (513) 800-1581x719

HISTORIC CONSERVATION BOARD
Date: 02.23.2024
Issuance: / Revision: / Submissions: /
No.

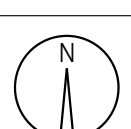
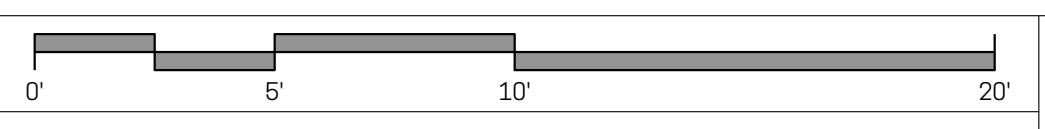


Not for
Construction

Roof Title
ROOF PLAN

Document No.
A104

A1
1/4" = 1'-0"



A11
NOTES

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A1
A201

GROUND
872'-0" +/- ASL

BASEMENT
860'-0" +/- ASL



2

A1
A201

GROUND
872'-0" +/- ASL

E1 SOUTH ELEVATION - EXISTING

SIDE

E7 EAST ELEVATION - EXISTING

FRONT



2

A1
A201

T.O. ROOF
872'-0" +/- ASL

BASEMENT
860'-0" +/- ASL



BASEMENT
860'-0" +/- ASL

A1 NORTH ELEVATION - EXISTING

SIDE

A7 WEST ELEVATION - EXISTING

REAR

GENERAL NOTES

A.

KEY NOTES

- EXISTING WOOD FENCE TO REMAIN TO SHIELD CONDENSERS AND TRASH
- EXISTING CONDENSERS ON ROOF TO BE REPLACED WITH NEW

**HISTORIC REHABILITATION:
WOMENS CENTER**

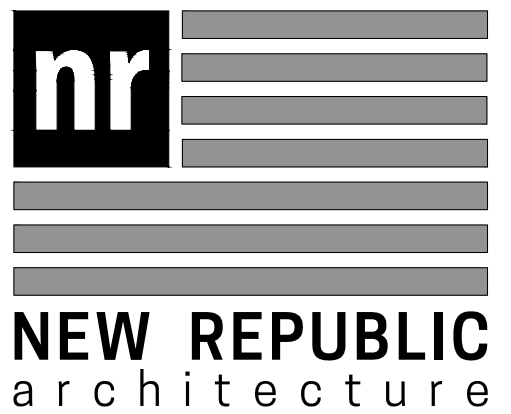
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PHONE: (513) 800-1581x719

02.23.2024
Date

HISTORIC CONSERVATION BOARD
Issuance / Revision / Submissions

No.



**Not for
Construction**

Drawing Title
**EXISTING
ELEVATIONS**

Document No.
X201

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1	2	3	4	5	6
H					
G					
F					
E					
D					
C					
B					
A					



PROPOSED GLASS CANOPY per keynote 3



GROUND 872'-0" +/- ASL

A1
NTS

ELEVATIONS - PROPOSED
FRONT

A6
NTS

ELEVATIONS - PROPOSED
SIDE

7	8	9	10	11	12
---	---	---	----	----	----

GENERAL NOTES

- A. REMOVE ALL AC WINDOW UNITS
- B. PAINT ALL DOWNSPOUTS TO MATCH STONE
- C. ALL EXISTING WINDOWS ARE TO REMAIN EXCEPT WERE NOTED AS NEW IN PLANS

KEY NOTES

1. NEW DOOR. RE: DOOR SCHEDULE A601
2. TRIM TO BE PAINTED. BENJAMIN MOORE PINK STARDUST 2004-40
3. GLASS CANOPY. BASIS OF DESIGN: KINMADE MODERN TEMPERED GLASS DOOR CANOPY PORCH AWNING BRACKETS STAINLESS STEEL BY ALEXPRESS 24" x 48" GLASS. CONNECT BOTTOM MOUNTED INTO MORTAR JOINTS
4. NEW CONCRETE STAIR AND RAIL
5. NEW ACCESSIBLE RAMP AND RAIL
6. NEW SIGN BY OTHERS. RE: G302
7. EXISTING CONDENSER TO BE REPLACED.
8. WINDOW TO BE REPLACED. RE: A601
9. EXISTING CHIMNEY, ATTACH SHEET METAL CAP. TYP. RE: A401 FOR ALL CHIMNEY LOCATIONS.
10. PAINT TO MATCH STONE.
11. DEMOLISH EXISTING AWNING.
12. RAIL TO BE PAINTED BLACK.
13. RE-POINT AS REQUIRED. RE-SECURE EXISTING HANDRAIL IN PLACE. SCRAPE AND PAINT.



GROUND 872'-0" +/- ASL

BASEMENT 860'-0" +/- ASL

A6
NTS

ELEVATIONS - PROPOSED
SIDE

A201

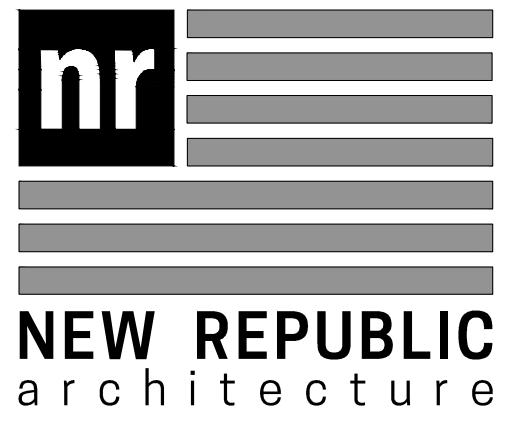
HISTORIC REHABILITATION:
WOMENS CENTER

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	02.29.2024 Date
	PERMIT No.
	Issuances / Revisions / Submissions



NEW REPUBLIC
architecture

Drawing Title
PROPOSED BUILDING ELEVATIONS

Document No.
A201

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E1 EAST VIEW FROM PROJECT LOCATION

PHOTO FROM FRONT YARD

E7 NORTH VIEW FROM PROJECT LOCATION

PHOTO FROM FRONT YARD



A1 SOUTH VIEW FROM PROJECT LOCATION

PHOTO FROM FRONT YARD

A7 WEST VIEW FROM PROJECT LOCATION

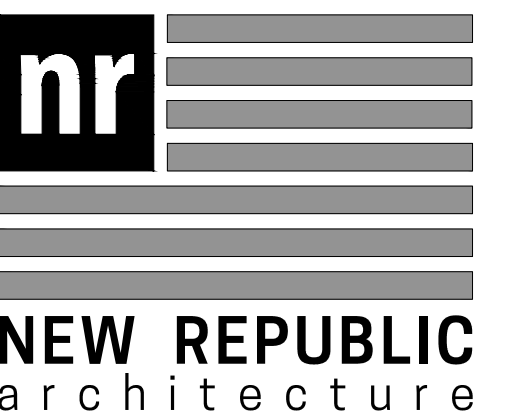
PHOTO FROM SIDE REAR OF BUILDING

**HISTORIC REHABILITATION:
WOMENS CENTER**

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PHONE: (513) 800-1581x719

HISTORIC CONSERVATION BOARD
Date: 02.23.2024
No.:



**Not for
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Drawing Title
**NEIGHBORHOOD
CONTEXT**

Document No.
X202

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Online Property Access

|< First << Prev Next >> Last >| **RETURN TO SEARCH LIST** Property 2 of 2

Parcel ID 089-0004-0101-00 **Address** 2421 AUBURN AVE **Index Order** Parcel Number **Tax Year** 2023 Payable 2024

I Want To...


- Start a New Search
- Email the Auditor
- View the Online Help
- Auditor's Home

View:

- Property Summary
- Appraisal Information
- Levy Information
- Transfer
- Value History
- Board of Revision
- Payment Detail
- Tax Distributions
- Images
- Special Assessment/Payoff
- Tax Lien Certificates
- CAGIS Online Maps
- Aerial Imagery
- Owner Names

Print:

- Current Page
- Property Report

Property Information		
Tax District 001 - CINTI CORP-CINTI CSD	Images/Sketches	
School District CINCINNATI CSD		
Appraisal Area 02000 - MT AUBURN Sales			Auditor Land Use 499 - OTHER COMM STRUCTURE
Owner Name and Address AUBURN LAND HOLDINGS LLC 2718 VINE ST CINCINNATI OH 45219 (call 946-4015 if incorrect)	Tax Bill Mail Address AUBURN LAND HOLDINGS LLC 2718 VINE ST CINCINNATI OH 45219 (Questions? 946-4800 or treasurer.taxbills@hamilton-co.org)	
Assessed Value 140,230	Effective Tax Rate 82.074213	Total Tax \$11,525.10
Property Description WS AUBURN AVE 0.190 AC S13 T3 FR2		

Appraisal/Sales Summary	
Year Built	1930
Total Rooms	0
# Bedrooms	0
# Full Bathrooms	0
# Half Bathrooms	0
Last Transfer Date	
Last Sale Amount	\$0
Conveyance Number	
Deed Type	
Deed Number	
# of Parcels Sold	
Acreage	0.190

Tax/Credit/Value Summary	
Board of Revision	No
Rental Registration	No
Homestead	No
Owner Occupancy Credit	No
Foreclosure	No
Special Assessments	Yes
Market Land Value	40,640
CAUV Value	0
Market Improvement Value	360,030
Market Total Value	400,670
TIF Value	0
Abated Value	0
Exempt Value	0
Taxes Paid	\$5,770.47

Notes
**2020 10/26 CG-PER C/U FOR TY 2021 VOID PAR 89-4-37/NEW PAR 100-NEW BAL PAR 101



Online Property Access

|< First << Prev Next >> Last >| **RETURN TO SEARCH LIST** Property 1 of 2

Parcel ID 089-0004-0089-00 **Address** 2421 AUBURN AVE **Index Order** Parcel Number **Tax Year** 2023 Payable 2024

I Want To...


- Start a New Search
- Email the Auditor
- View the Online Help
- Auditor's Home

View:

- Property Summary
- Appraisal Information
- Levy Information
- Transfer
- Value History
- Board of Revision
- Payment Detail
- Tax Distributions
- Images
- Special Assessment/Payoff
- Tax Lien Certificates
- CAGIS Online Maps
- Aerial Imagery
- Owner Names

Print:

- Current Page
- Property Report

Property Information		
Tax District	001 - CINTI CORP-CINTI CSD	
School District	CINCINNATI CSD	
Appraisal Area	Auditor Land Use	
02000 - MT AUBURN Sales	456 - PARKING GARAGE / LOTS	
Owner Name and Address	Tax Bill Mail Address	
WOMEN'S CARE CENTER INC 360 N NOTRE DAME AVE SOUTH BEND IN 46617 (call 946-4015 if incorrect)	WOMEN'S CARE CENTER INC 360 N NOTRE DAME AVE SOUTH BEND IN 46617 (Questions? 946-4800 or treasurer.taxbills@hamilton-co.org)	
Assessed Value	Effective Tax Rate	Total Tax
3,500	82.074213	\$295.99
Property Description		
AUBURN AVE 0.104 AC S13 T3 FR2		

Appraisal/Sales Summary	
Year Built	2017
Total Rooms	0
# Bedrooms	0
# Full Bathrooms	0
# Half Bathrooms	0
Last Transfer Date	1/17/2024
Last Sale Amount	\$500,000
Conveyance Number	348409
Deed Type	WD - Warranty Deed (Conv)
Deed Number	
# of Parcels Sold	1
Acreage	0.104

Tax/Credit/Value Summary	
Board of Revision	No
Rental Registration	No
Homestead	No
Owner Occupancy Credit	No
Foreclosure	No
Special Assessments	Yes
Market Land Value	7,250
CAUV Value	0
Market Improvement Value	2,730
Market Total Value	9,980
TIF Value	0
Abated Value	0
Exempt Value	0
Taxes Paid	\$152.36

Notes
** 2017 11/30 - PER C/U FOR TY 2018: VOID PAR 38 / NEW PAR 88 - BAL PAR 89

**CLOSING AGREEMENT
FOR PRORATION OF TAXES, COMPLIANCE, AND
COMPLETION OF CONTRACT CONDITIONS**

Close Date: 12/13/23
File No. 23RTW0193
Buyer: Women's Care Center, Inc.
Seller: Auburn Land Holdings, LLC
Lender: Cash Transaction
Property Address: 2421 Auburn Avenue, Cincinnati, OH 45219
Parcel ID# 089-0004-0101-00
Loan Amount: \$0.00

Lawyers Title of Cincinnati, Inc. ("Closing Agent") has prorated real estate taxes and assessments ("Taxes") on the Property, in connection with a sale of the Property from Seller to Buyer ("Transaction"), as an accommodation to Seller and Buyer. Closing Agent is not responsible for any error or change in the Taxes assessed against the Property.

Buyer and Seller understand and agree that the proration of Taxes, as shown on the settlement statement for the Transaction, is based on figures shown on the most recent tax duplicate available from the appropriate governmental authorities. The proration may not reflect the Taxes which will be assessed against the Property. The calculation of the proration of Taxes may be affected by conditions unknown at Closing or identified below. In the event that the Taxes charged against the Property vary from the amounts used in the proration calculation, such difference shall be handled as provided in the contract between Seller and Buyer.

_____ Present Taxes are based on land value only;
_____ Present Taxes are benefited by a Homestead Exemption ;
_____ The Property is, or may be, subject to a Current Agricultural Use Valuation ("CAUV") recoupment, but no adjustment is being made at closing as a result;

_____ Taxes were not prorated in the Transaction, due to the Taxes not being separately assessed against the Property. Available taxes are assessed on a larger parcel, of which the Property forms a part. At the time Taxes are assessed on the Property, any proration of the Taxes will be handled directly between Seller and Buyer, as provided in their contract.

_____ Taxes were prorated based upon proration amounts agreed to and submitted by Seller and Buyer.

If requested by Lender or Closing Agent, Buyer and Seller, in consideration of Lender closing the Loan, agree to fully cooperate in the correction of any and all clerical errors in any of the documents associated with this transaction and/or all loan closing documentation ("Closing

Documents”), if deemed necessary or desirable in the reasonable discretion of Lender, a successor in interest to Lender, an investor in the purchase of the Loan, Federal National Mortgage Association, Federal Home Loan Mortgage Corporation, Federal Housing Authority or the Veterans Administration.

Buyer and Seller agree to execute or re-execute any and all Closing Documents in order to assure that the Closing Documents will reasonably conform and be acceptable in the market place in the event Lender transfers its interest in the Loan.

In the event Buyer or Seller fail, within 15 days of the written request of Lender or Closing Agent, to execute or re-execute any Closing Document, in a manner correcting the identified errors, including monetary adjustments, then Lender or Closing Agent may institute an action or proceeding against the non-complying Buyer or Seller, to enforce the requirements contained in this Agreement. In the event such an action is instituted, Lender or Closing Agent shall recover from the non-complying Buyer or Seller, its reasonable costs, expenses and attorney’s fees.

Buyer and Seller state, certify, accept and agree, that all of the terms and conditions of the contract for the sale of the Property, including but not limited to repairs, requirements, and contingencies, have been fully met and satisfied.

Dated as of December 13, 2023.

Women's Care Center, Inc.



By: Ann Manion, President

Auburn Land Holdings, LLC

By: _____
Anthony W. Hobson, Authorized
Member of NAP Auburn Land Holdings
LLC, member

Auburn Land Holdings, LLC

By: _____
Daniel A. Schimberg, Authorized
Member of URP Auburn Land
Holdings LLC, member

State of: Ohio

County of: Hamilton

Executed, acknowledged, and sworn to before me on December _____, 2023 by Anthony W. Hobson.

Notary Public

Documents”), if deemed necessary or desirable in the reasonable discretion of Lender, a successor in interest to Lender, an investor in the purchase of the Loan, Federal National Mortgage Association, Federal Home Loan Mortgage Corporation, Federal Housing Authority or the Veterans Administration.

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Women's Care Center, Inc.

By: _____
Ann Manion, President

Auburn Land Holdings, LLC

By: Anthony W. Hobson
Anthony W. Hobson, Authorized
Member of NAP Auburn Land Holdings
LLC, member

Auburn Land Holdings, LLC

By: Daniel A. Schimberg
Daniel A. Schimberg, Authorized
Member of URP Auburn Land
Holdings LLC, member

State of: Ohio

County of: Hamilton

Executed, acknowledged, and sworn to before me on December 11, 2023 by Anthony W. Hobson.

Mallori Fryman
Notary Public

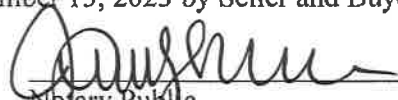


Mallori Fryman
Notary Public, State of Ohio
My Commission Expires:
June 24, 2026

State of: Ohio

County of: Hamilton

Executed, acknowledged, and sworn to before me on December 13, 2023 by Seller and Buyer.



Notary Public



JENNIFER ROEWER
Notary Public, State of Ohio
My Commission Expires:
July 1, 2026

February 23, 2024

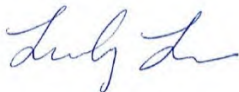
Doug Owen
Urban Conservator
Historic Conservation Board
805 Central Avenue, Suite 500
Cincinnati, OH 45202

Re: 2421 Auburn Witness List

This is a list of witnesses expected to testify at the hearing on this application.

Lindsay Lennon	lindsay@newrepublicarchitecture.com
Graham Kalbli	graham@newrepublicarchitecture.com
Mary Anne Gross	maryanne@supportwcc.org
Ann Manion	annmanion13@gmail.com
Thomas Murphy	thomasmurf47@gmail.com

Sincerely,



Lindsay Lennon
Architect

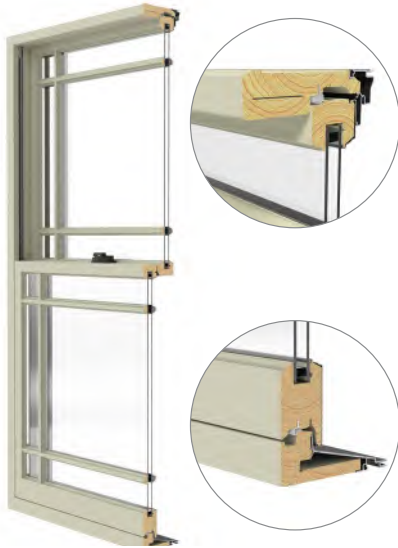
Pella® Architect Series®

Traditional Wood & Clad/Wood



Expertly crafted wood windows and patio doors with nearly endless possibilities.

Double-Hung Interior



Double-Hung Exterior



- Designed with distinguished details**
 Crafted with classic aesthetics to make a statement and add architectural interest to your project, inside and out.
- Enhanced style options and custom capabilities**
 Maximum design flexibility with dramatic sizes, custom colors, finishes, profiles, product types and more.
- Authentic look of true divided light**
 Pella's Integral Light Technology® grilles use a metal spacer to create the authentic look of true divided light by casting a more realistic shadow.
- Interior finish options**
 From light to dark, Architect Series – Traditional wood windows and patio doors are available in an array of classic and on-trend colors. Pine interiors are available in a variety of paint and stain colors.
- Beautiful hardware**
 Choose from Pella's collection of rich patinas and other timeless finishes.
- Optional integrated security sensors**
 Built-in security sensors allow homeowners to know when their windows and doors are open or locked, while being virtually invisible when the product is closed.
- ENERGY STAR® certified¹**
 Pella products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states. Pella Architect Series – Traditional products with triple-pane glass have been awarded the ENERGY STAR Most Efficient Mark in 2023.¹
- Long-lasting durability**
 Aluminum-clad exteriors with EnduraClad® finish is applied in an overlapping fashion on windows for exceptional protection. Pella's exclusive EnduraGuard® wood protection is applied after the pieces have been cut and milled, but prior to final assembly.
- Best limited lifetime warranty²**
 Pella Architect Series – Traditional products are covered by the best limited lifetime warranty in the industry for wood windows and patio doors.²
- Testing beyond requirements**
 At Pella, our products are tested beyond requirements to help ensure they have long-lasting performance and reduce call-backs for you.

Available in these window and patio door styles:



Special shape windows also available.

^{1,2} See back cover for disclosures.

Product Specifications

Window & Patio Door Styles	Min. Width	Min. Height	Max.Width	Max. Height	Performance Class & Grade	Performance Values			Frame / Install
						U-Factor	SHGC	STC	
Awning	13-3/4"	13-3/4"	73"	73"	LC40-CW50	0.25-0.29	0.18-0.47	27-33	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Casement	13-3/4"	13-3/4"	41"	96"	CW30-CW50	0.25-0.29	0.18-0.47	28-33	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Fixed Casement/Fixed Awning	10"	10"	144"	144"	CW30-CW50	0.25-0.29	0.18-0.47	28-32	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Double-Hung	14"	24-3/4"	54"	96"	CW40-CW50	0.25-0.30	0.19-0.53	26-34	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Double-Hung	13-3/8"	23-3/4"	48"	84"	CW40-CW50	0.25-0.31	0.19-0.53	26-30	Pocket Replacement
In-Swing Hinged Patio Door (Single)	18"	36"	48"	119-1/2"	LC40-LC55	0.20-0.40	0.14-0.40	—	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
In-Swing Hinged Patio Door (Double)	36"	36"	96"	119-1/2"	LC40-LC55	0.20-0.40	0.14-0.40	31-35	
Out-Swing Hinged Patio Door (Single)	18"	36"	48"	119-1/2"	R50-LC70	0.20-0.40	0.14-0.39	30-36	
Out-Swing Hinged Patio Door (Double)	36"	36"	96"	119-1/2"	R50-LC70	0.20-0.40	0.14-0.39	30-36	
Sliding Patio Door (O)	30-3/4"	74"	60-7/8"	119-1/2"	LC25-LC70	0.25-0.40	0.15-0.42	—	
Sliding Patio Door (OX, XO)	59-1/4"	74"	119-1/4"	119-1/2"	LC25-LC70	0.25-0.40	0.15-0.42	31-35	
Sliding Patio Door (OXO)	90"	74"	180"	119-1/2"	LC25-LC70	0.25-0.40	0.15-0.42	—	
Sliding Patio Door (OXXO)	116-1/8"	74"	236-1/8"	119-1/2"	LC25-LC70	0.25-0.40	0.15-0.42	—	
Multi-Slide Patio Door	40-3/8"	50-1/2"	701-5/8"	119-1/2"	R15-LC25 ³	0.30 – 0.36	0.15 – 0.46	—	
Bifold Patio Door	32-1/8"	41"	425-7/8"	119-1/2"	R15-R25 ³	0.26-0.44	0.13-0.45	—	

Window sizes available in 1/8" increments

Special sizes available. For more information regarding performance, visit pella.com/performance. For more information regarding frame and installation types, visit PellaADM.com.

Window Hardware

Classic Collection

Get a timeless look with authentic styles in classic finishes.



Fold-away Crank
Antiek

Spoon-Style Lock

Finishes:



Champagne

White

Brown

Matte Black



Oil-Rubbed Bronze

Satin Nickel

Rustic Collection

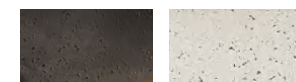
Create a distinct and charming look with distressed finishes.



Fold-away Crank
Antiek

Spoon-Style Lock

Finishes:



Distressed Bronze

Distressed Nickel

Essential Collection

Select from popular designs and finishes to suit every style.



Fold-away Crank

Cam-Action Lock

Finishes:



Champagne

White

Brown

Matte Black



Oil-Rubbed Bronze

Satin Nickel

³ See back cover for disclosures.

Patio Door Hardware

Classic Collection

Choose timeless pieces, created in collaboration with Baldwin® Hardware, for a look that will never go out of style.

BALDWIN



Hinged & Bifold
Patio Door Handle
Virago

Sliding & Multi-Slide
Patio Door Handle
Ambrose

Multi-Slide Patio
Door Handle^{4,5}

Finishes:



Matte Black

Oil-Rubbed
Bronze

Satin Nickel

Rustic Collection

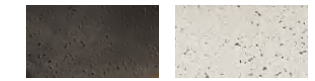
Stand out with bold looks and create an utterly unique aesthetic.



Hinged & Bifold
Patio Door Handle
Rustiek

Sliding & Multi-Slide
Patio Door Handle
Notus

Finishes:



Distressed
Bronze

Distressed
Nickel

Essential Collection

Elevate your style and transform a home with elegant selections.



Hinged & Bifold
Patio Door Handle

Sliding Patio
Door Handle

Multi-Slide Patio
Door Handle^{4,5}

Finishes:



Champagne

White

Brown

Matte Black



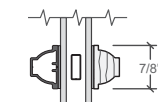
Oil-Rubbed
Bronze

Satin Nickel

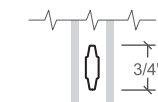
Additional hardware collections available. Visit PellaADM.com for more information.

Grilles

Choose the look of true divided light or make cleaning easier by selecting grilles-between-the-glass.



Ogee Integral
Light Technology⁶
7/8", 1-1/4" or 2"



Aluminum Grilles-
Between-the-Glass⁷
3/4"

^{4,5,6,7} See back cover for disclosures.

Colors

Wood Types

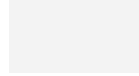
Wood species for complementing your project's interior.



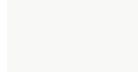
Pine

Prefinished Pine Interior Colors

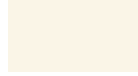
Custom interior finishes, unfinished or primed and ready-to-paint are also available.



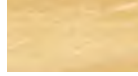
White



Bright White



Linen White



Natural Stain



Golden Oak Stain



Early American Stain



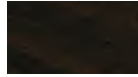
Provincial Stain



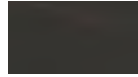
Dark Mahogany Stain



Red Mahogany Stain



Espresso Stain



Charcoal Stain



Black Stain

Aluminum-Clad Exterior Colors

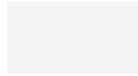
Our low-maintenance EnduraClad® exterior finish resists fading. Take durability one step further with EnduraClad Plus which also resists chalking and corrosion.⁸



Custom colors are also available.



Black



White



Brown



Fossil



Iron Ore



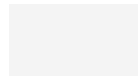
Portobello



Putty



Almond



Classic White



Brick Red



Hartford Green

Added Peace of Mind

Integrated Security Sensors

Integrated wireless security sensors maintain aesthetics, streamline security installation and ensure no warranty loss is caused by post-installation drilling. Sensors can be monitored via the free Pella® Insynctive® App and are compatible with major security panel systems.⁹ For more information, go to connectpella.com.



The Best Limited Lifetime Warranty in the Industry

We know your reputation matters and you stake your reputation on quality, dependable products. That's why we have the best limited lifetime warranty in the industry for wood windows and patio doors.²

¹ Some Pella products may not meet ENERGY STAR® guidelines in Canada. For more information, contact your local Pella sales representative or go to energystar.gc.ca.

² Based on comparing written limited warranties of leading national wood window and wood patio door brands. See written limited warranty for details, including exceptions and limitations, at pella.com/warranty.

³ Performance ratings vary based on product configuration.

⁴ Flush multi-slide handle is a Pella exclusive design.

⁵ Flush multi-slide handle is not available in Champagne.

⁶ Color-matched to your product's interior and exterior color.

⁷ Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.

⁸ EnduraClad Plus protective finish is not available with all colors. See your local Pella sales representative for availability.

⁹ Requires the Insynctive App on a smart device, an Insynctive Bridge and a wireless home router with internet connection.



Historic Conservation Board
City of Cincinnati
Centennial II Building
805 Central Avenue
Cincinnati, OH 45202

Dear Board Members and Staff,

As a professional Realtor working in this neighborhood, a long-time Mt. Auburn resident and a former member of the Community Council, I am deeply vested in the restoration of our beautiful historic buildings and the long-term viability of this neighborhood.

I fully support the Women's Care Center plans for 2421 Auburn Avenue. During their acquisition of the property, I witnessed the care and commitment in which they approached the evaluation of the property to include the quality of personnel that they engaged in the process. I am confident that their renovation will breathe new life into this beautiful building and will make a marked improvement to the Mt. Auburn corridor.

Most sincerely and with gratitude,

Cindy Jo Holmes

Cindy Jo Holmes
REALTOR®, ABR®, SRES®
Coldwell Banker
Licence#: 2019001069
1789 Sycamore St. | Cincinnati, OH 45202
C. 513.503.0807 | O. 513.922.9400
cindyjo.holmes@cbrealty.com
cindyjoholmes.cbintouch.com



March 9, 2024

Historic Conservation Board
City of Cincinnati
Centennial II Building
805 Central Avenue
Cincinnati, OH 45202

Dear Board Members and Staff,

As the owner of the property immediately to the north, as well as many other properties in the neighborhood, Uptown Rental Properties supports Women's Care Center and their plans for 2421 Auburn Avenue. The center will make a substantial investment to restore this building to its former beauty and functionality. This will be a substantial enhancement to our neighborhood and we encourage you to approve this project.

Sincerely,

A handwritten signature in blue ink that reads "Patrice Ely Burke". The signature is written in a cursive, flowing style.

Patrice Burke
Vice President, Uptown Rental Properties

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS AND ZONING RELIEF HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

APPLICATION #: COA2024003/ ZH20240011
APPLICANT: Chroma Architecture + Design
OWNER: Queen City Station II, LLC
ADDRESS: **6014 Hamilton Avenue**
PARCELS: 233-0003-0015
ZONING: T5MS-O
OVERLAYS: College Hill Mid-Business Historic District, College Hill Business District Urban Design Overlay
COMMUNITY: College Hill
REPORT DATE: February 27, 2024
STAFF REVIEW: Douglas Owen, Urban Conservator

Details of Zoning Relief Required:

1. Section 1702-80(I) – **Use Permit** required for an Eating and Drinking Establishment with alcohol sales.
2. Section 1702-80(I) – **Minor Use Permit** required for Outdoor Entertainment.
3. Section 1702-80(H) – A **Dimensional Variance** of 3' is required for a proposed 6' fence, in excess of the 3' maximum height.
4. Section 1702-5.100(I) – A **Use Permit** is required for an Outdoor Area within 100' of a T4 transect.
5. Section 1702-5.100(I) – A **Use Permit** is required for an Outdoor Area within 500' of a T4 transect that exceeds 50% of the size of the indoor area accessible to the public.
6. Section 1702-5.100(I) – A **Use Permit** is required for an Outdoor Area within 500' of a T4 transect that includes Outdoor Entertainment.
7. Section 1703-5.80(K) – A **Dimensional Variance** of 0.5' is required for awning sign lettering totaling 2' in height, in excess of the 1.5' limit.

Existing Conditions:

6014 Hamilton Avenue is a contributing building within the College Hill Mid-Business Historic District, located at the northeast corner of Hamilton Avenue and Marlowe Avenue. The single-story building formerly served as a gas station built in 1937 and has since been substantially altered. The original structure has been enlarged and a modern gas station canopy exists on the east side of the lot adjacent to Hamilton Avenue. The property most recently served as an auto repair shop.

Proposed Conditions:

The applicant is proposing the conversion of the existing auto service station into an Eating and Drinking Establishment with an Outdoor Area along Hamilton Avenue. The proposal includes the following work:

1. Replacing existing overhead doors with new glass doors.
2. Install new storefront system.
3. Infilling select window openings on secondary façades.
4. Remove the non-historic gas canopy and replace with a fabric awning.
5. Remove substantial amount of paving for landscaping.
6. Install new 6’ metal fencing along perimeter of property.
7. 6’ privacy fencing along north property line
8. Walk-in cooler to north of building with horizontal slat wood screen wall.
9. Refacing existing ground sign.
10. New painted wall signs.
11. Rooftop mechanical equipment.

Applicable Zoning Code Sections:

Zoning District:	Section 1703	Form-Based Code District
Variance Authority:	Section 1445-07	
HCB authority:	Section 1435-05-4	
Variance Standard:	Section 1445-13	General Standards: Public Interest
	Section 1445-15	Standards for Variances
Overlays:	Section 1435	Historic Preservation
Historic District/Reg:		College Hill Mid-Business Historic District
COA Standard:	Section 1435-09-2	COA; Standard of Review



Figure 1: Location of subject property. Image from CAGIS.



Figure 2: Image of subject property from August 2022. Image from Google.

Previous Review: N/A

Zoning Analysis:

The applicant is seeking Use Permits for an outdoor eating and drinking area which is required for its proximity to a residential district, its size related to the indoor space, the provision of outdoor entertainment, and alcohol sales. Dimensional Variances are required for fence heights and sign height. The outdoor area includes 1059 sf of space contained under the awning area and the adjacent fire pit area.

Standards for Zoning Relief per Section 1435-05-4

(a) *Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the Historic District of Historic Asset; or*

The building has proposed a restaurant tenant and is proposing the addition of an outdoor dining area. As the existing site was historically occupied by a gas and service station, there is a large amount of paved surface area. As the gas station use was previously abandoned and is no longer a permitted use in the district, the large, paved area has little value to any currently permitted uses. The conversion of this area to an Outdoor Area is appropriate as it will allow for the conversion of the space to an Eating and Drinking Establishment, which would not be possible utilizing only the limited indoor area. While the area was historically open due to the necessity of the historic use, the proposed landscaping will primarily be low-level plantings that will retain a fairly open feel to the front of the building.

Outdoor entertainment is proposed, which will consist of ambient background music on speakers. No live music is proposed. The operating hours of the establishment and the outdoor area will end at 10pm on weeknights and midnight on Friday and Saturday. The outdoor area will be limited to the space beneath the proposed canopy and around the fire pit.

It should also be noted that the property is located at the center of the College Hill Neighborhood Business District and within a Designated Outdoor Recreation Area (DORA).

The proposed Dimensional Variances for fence and sign height are also appropriate. The perimeter fencing will help to contain the outdoor area, where a permitted 3' tall fence would be easily crossed over. The additional 6" of sign height will allow for greater visibility on a relatively small building and will help to avoid sightline issues with the proposed canopy.

It is in the interest of historic conservation for the restaurant use to expand through the addition of the outdoor area, including related fencing and signage.

- (b) *Is necessary where the denial thereof would result in a deprivation of all economically viable uses of the property as viewed in its entirety. In making such a determination, the Historic Conservation Board may consider the factors set forth in Section 1435-09-2 (aa) to (ff).*

A denial of the Use Permits may not result in the deprivation of all economically viable uses; however, as the former gas station and auto repair uses are no longer permitted in the T5MS-O transect, conversion of the property to a permitted use would be difficult considering its original intended auto-oriented use and specific configuration for that use. As 1435-05-4 only requires either (a) or (b) to be met, the application meets standard (a) as noted above.

General Standards

Below is analysis of the consideration factors for the requested zoning actions, utilizing Section 1445-13, General Standards; Public Interest.

- a. **Zoning.** *The proposed work conforms to the underlying zone district regulations and is in harmony with the general purposes and intent of the Cincinnati Zoning Code.*

The underlying zoning is T5MS-O. The proposed use requires Use Permits for the outdoor area and variances for fence and sign heights. The proposed work conforms to the intent of the Code by providing vibrant activity in a Main Street commercial district.

- d. **Traffic.** *Streets or other means of access to the proposed development are suitable and adequate to carry anticipated traffic and will not overload the adjacent streets and the internal circulation system is properly designed.*

The area is not expected to adversely affect traffic as the project meets the required parking total.

- h. **Neighborhood Compatibility.** The proposed work is compatible with the predominant or prevailing land use, building and structure patterns of the neighborhood surrounding the proposed development and will not have a material net cumulative adverse impact on the neighborhood.*

The proposed work is compatible with the use and patterns of the neighborhood and will not have an adverse impact on the neighborhood. Outdoor areas provide vibrancy and activity to an area zoned for Main Street commercial uses. Ambient background music is not expected to significantly impact the nearby residential transect. Several other outdoor areas are present on nearby properties.

- j. **Adverse Effects.** Any adverse effect on the access to the property by fire, police, or other public services; access to light and air from adjoining properties; traffic conditions; or the development, usefulness or value of neighboring land and buildings.*

There are no adverse impacts anticipated for the proposed use. Access by public services will not be impacted and the use will not hinder access to light and air by adjoining properties. Traffic conditions or the development, usefulness or value of neighboring land and buildings is not expected to be significantly impacted by the proposed use.

- p. **Public Benefits.** The public peace, health, safety or general welfare.*

The College Hill neighborhood will benefit from the addition of an existing successful business.

Certificate of Appropriateness Review:

A Certificate of Appropriateness is required for the construction of the outdoor area and its associated fencing and landscaping, as well as alterations to the building including new storefronts and overhead doors, and an awning. The College Hill Mid-Business Historic District Guidelines do not specifically address Outdoor Areas.

While the subject property is listed as a contributing building, very little historic fabric remains, with potentially only the west façade of the northeast corner of the building remaining in an altered form. The southern portion of the building is a later addition in place by 1950. The gas canopy is also a later addition to the property. The storefront and overhead doors are all later replacements and existing window openings are blocked or boarded over.

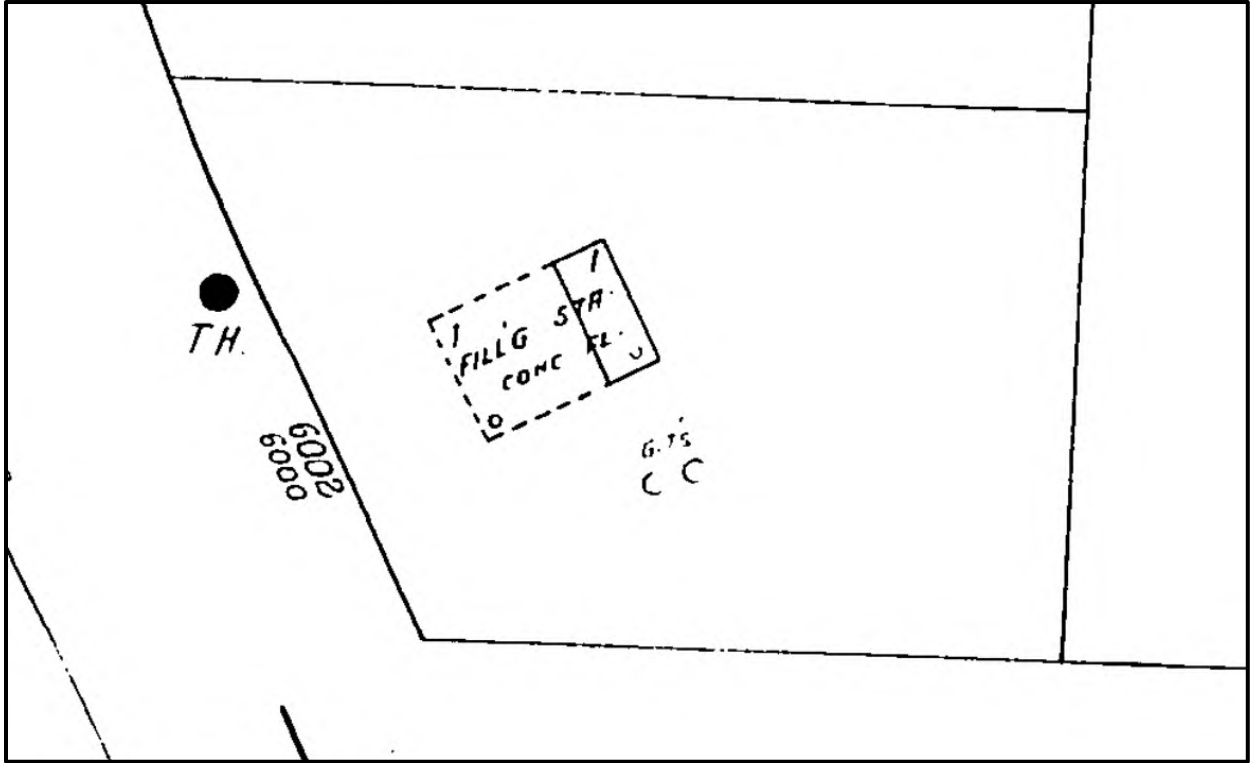


Figure 3. 1937 Sanborn map.

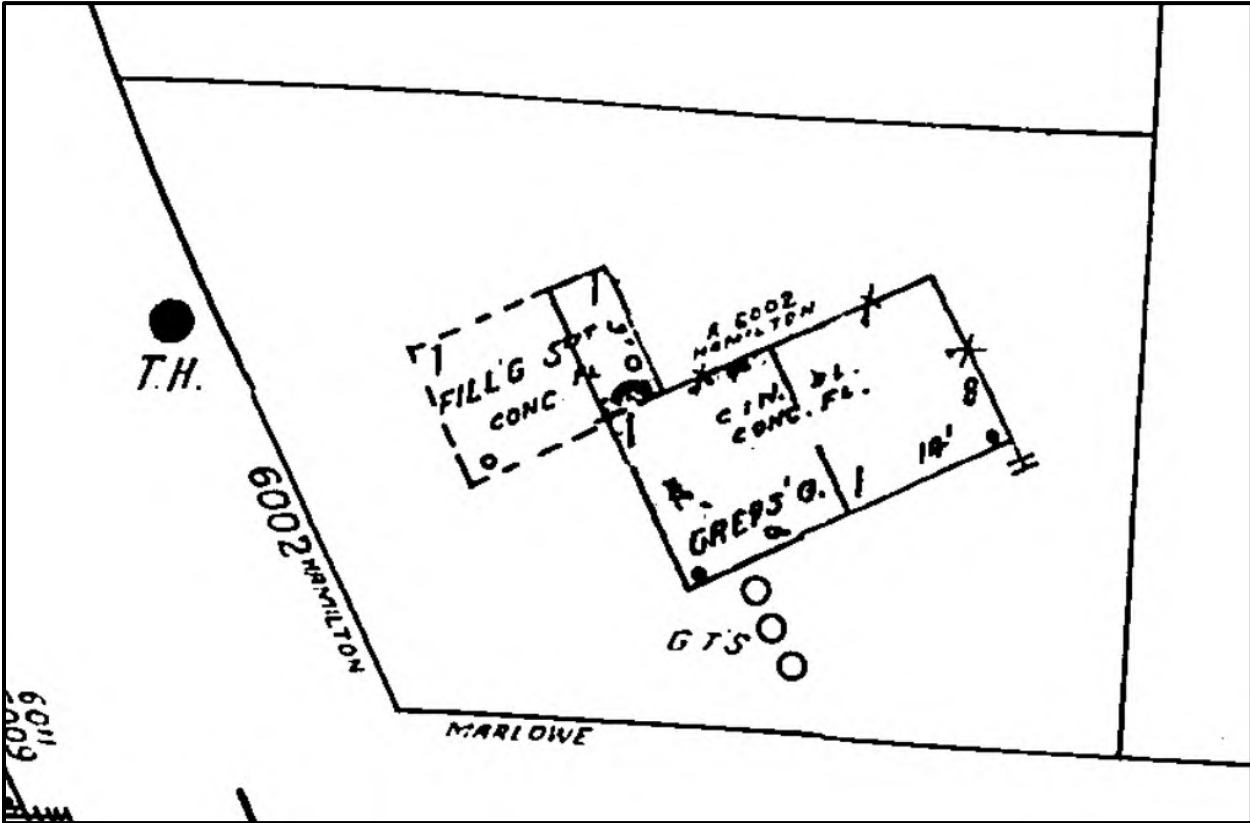


Figure 4. 1950 Sanborn map.

Applicable Guidelines

General Guidelines

1. *Avoid removing or altering historic material or distinctive features...*
2. *Don't try to make the building look older than it really is...*
3. *A later addition to an old building may have gained significance on its own. Don't assume it's worthless just because it's not part of the original building.*
4. *Repair rather than replace wherever possible. If replacing, replicate the original – don't invent something new that "might have been." For example: if replacing commercial storefront windows it is suggested that aluminum anodized bronze frame windows be used, or something of a similar visual effect.*
5. *Be sensitive to distinct stylistic features and examples of skilled craftsmanship.*
6. *New additions should look new. They should be compatible with the existing structure but should not try to copy the old building.*

The existing building originally dated to 1934; however, it has been heavily altered since that time with an addition that is much larger than the original building, replacement overhead doors and storefronts and a large gas canopy. The utilitarian building is constructed of concrete block with stucco covering portions of the façades and no ornamentation or architectural detailing.

Alteration and Rehabilitation Review Criteria Specific Guidelines

1. *MATERIALS: Repair or Match the original as closely as possible. Original materials should be repaired, restored, and reused wherever possible. Original materials should not be removed or covered. Where necessary, missing and deteriorated material should be replaced with appropriate recycled or new materials that match the original as closely as possible with regard to: type of material; size of unit; composition; type of joint; color; shape; texture; placement; detailing; style.*

Few, if any, original materials remain on the building. Existing concrete block walls will be retained and re-stuccoed. Steel windows, where remaining, will be restored and reused.

2. *STOREFRONTS: They set the image of the building. The basic elements, which give the storefront character, shall be retained and repaired. These include: original window height; original lintels; proportions of openings; original piers; doorways; decorative work; original sill height; transoms. Piers or columns that divide the storefront into bays, and lintels or cornices, which separate the storefront from the upper floors, should not be covered or removed. Windows should not be filled in. Sill height should be maintained. Original transoms, window configuration, doors, and ornamentation should be retained, repaired, or replicated. Where no original materials or detailing remains, new work should be compatible with the original character of the building.*

The existing storefront is not original to the building and is deteriorated. The applicant plans to replace the storefront with an anodized aluminum replacement that will match the existing configuration in all respects. All existing openings will remain as-is.

3. *WINDOWS: Should remain open. Windows are a distinctive feature in buildings that comprise the College Hill Mid-Business District. The original pattern of window openings and their shape and configuration should not be altered. Window openings should not be reduced, enlarged, or filled in on street facades. Replacement windows should match the original in size, shape, design, and material. Vinyl replacement windows shall not be permitted.*

Original window openings and storefronts should be retained.

However, the building code and egress requirements today are different than they were when the buildings were constructed. Conversion of window openings to door openings is allowed in order to meet egress and life & safety requirements.

Few original windows remain in the building; however, existing steel windows that are extant on the north and east elevations will be refurbished. One steel window on the north elevation will be removed and the opening infilled, and one window opening with no existing sash will also be infilled. The infill will consist of concrete block, parged and painted to match the surrounding wall, with the infill material recessed 2" from the face of the building to retain the outline of the original opening.

4. *SIGNS: Keep them simple. Signs should be compatible with the district and in character with the building they are on. The removal of inappropriate and extraneous signs is encouraged. New or altered signs should meet the following guidelines:*
 - a. *Signs should be compatible with the architecture of the building they are attached.*
 - b. *The design of signs should capitalize on the special character of the area and reflect the nature of the business they are identifying.*
 - c. *Large signs should be kept flat against buildings and not detract from the architecture of the building or cover architectural details.*
 - d. *Generally, signs should be attached to storefront lintels, or at the height of the lintel.*
 - e. *Small projecting signs may be used for identification. These may take the form of projecting symbol signs.*
 - f. *Signs should be adequately spaced from other signs for good visibility and should be approximately the same size and shape, placed in the same general location, and at the same height as other signs of similar businesses.*
 - g. *Obsolete signs and unused sign supports should be removed. New roof top signs and signs that extend above the roofline of a building or above the window sill line of the 2nd floor of buildings should not be permitted.*

- h. Signs may be painted on first floor commercial storefront windows, or applied in vinyl. The size of the sign cannot obscure the view into the storefront. The sign colors must be compatible with the colors of the building.*
- i. Internally illuminated signs are not permitted.*

Two new signs are proposed for the building. One sign will be located on the awning slope, with a second painted wall mural sign on the south elevation. Both signs are appropriately located and designed and will not detract from the existing building or the surrounding district. The existing legal-nonconforming ground sign will be retained and refaced.

- 5. ORNAMENTATION: Keep original ornamentation. The existing architectural features that give buildings their character such as decorative piers, columns, brackets, decorative brickwork and terra cotta should be preserved. The addition of inappropriate and out of character features should be avoided.*

The existing utilitarian building has no ornamentation.

- 8. PAINTING: If it was painted, paint it again. Painted brick buildings should be repainted rather than stripped or cleaned to reveal the natural brick color. The color of trim and decorative detailing on a building should contrast with the wall paint color. Light colored buildings should have darker trim and dark colored buildings should have lighter trim. At no time should the detailing and trim be painted the same color as the walls.*

The existing building features stuccoed concrete block construction, which is currently painted gray. The applicant will repair the existing walls, re-stucco and repaint in a beige color scheme. The building has no trim aside from the metal coping atop the parapet.

- 10. APPURTENANCES/ AWNINGS: Do not cover important features. All appurtenances, such as shutters, light fixtures, and signs, should be compatible with the building upon which they are to be installed. The installation of canvas canopies and awnings is permissible but should not obscure or require the removal of significant architectural features. Canopies and awnings made of material other than canvas are discouraged unless there is historic precedence for the building or architectural style.*

A canvas awning is proposed for the front façade. The awning will cover the full width of the building above the storefront and held approximately 1' below the roofline. There are no significant architectural features in this area.

- 12. UTILITY/ SYSTEM INSTALLATION: Place the inconspicuously. The installation of utility and mechanical systems such as water or gas meters, and central air conditioning cooling units, should be inconspicuously placed and screening should*

be provided; the installation of such systems should be avoided on the street facade. Wall or window air conditioning units on the street facade should be avoided.

Rooftop mechanical equipment is proposed as part of the conversion to an Eating and Drinking Establishment. The majority of this equipment, including the kitchen hood exhaust will be placed on the roof of the northern wing of the building, which has a large parapet wall that will effectively screen the equipment from view from the street facades. Two A/C condenser units will be placed on the larger southern block of the building. None of the equipment will be highly visible as demonstrated by the Site Line drawings on Sheet A6.0.

13. WALLS AND FENCES: Retain the original. Existing retaining walls, gates, and fences should be repaired and retained wherever possible. The installation of chain link fences shall be prohibited on the property.

No existing walls and fences are present. The applicant is proposing a 6' metal picket fence surrounding the perimeter of the property along the street frontages. A 6' wood privacy fence with horizontal slats will be installed on the east and north property lines behind or adjacent to existing adjacent buildings. Gates matching the metal picket fencing will be installed at the driveway entrances.

14. PARKING: Lots should be screened and landscaped. Parking should be designed so as not to detract from the visual quality of the district.

- a. Screening should be sufficient to minimize the view of parked vehicles from other properties, from the street, and other public areas. Screening may employ masonry walls, landscaping, and fencing. The design of this screening should be compatible with the district.*
- b. Within the interior of parking lots, there should be adequate landscaping, including planting islands containing trees to provide shade and to break up large areas of paving.*

The existing conditions include pavement throughout the entire site, as is conducive to a gas/ service station use. The existing pavement will be removed with large portions replaced with landscaping. An asphalt driveway with four parking spaces will be located on the southeast corner, wrapping around the rear of the building to Hamilton Avenue at the northwest corner. Landscaping is provided along the street edge of the parking lot and the western border. The landscaping and fencing will provide adequate screening and will be greatly improved from the current open condition.

DEMOLITION: Permitted only under certain circumstances. Demolition of existing buildings shall not be permitted unless one of the following conditions exist:

- a) Demolition has been ordered by the Director of Buildings & Inspections for reasons of public health and safety.*

- b) *The owner can demonstrate to the satisfaction of the Historic Conservation Board that the structure cannot be reused nor can a reasonable economic return be gained from the use of all or part of the building proposed for demolition. This review will be governed by Section 1435-09: Alterations and Demolitions: Certificate of Appropriateness; Minimum Maintenance, of the Cincinnati Zoning Code, ordained by Ordinance No. 217-2012, § 1, effective July 20, 2012. Any updates, modifications, or amendments to this section of the Cincinnati Zoning Code or legislation that supersedes Chapter 1435 of the Cincinnati Zoning Code which is established as the "Historic Preservation Code," shall be considered the governing law.*
- c) *The demolition request is for an inappropriate addition, or a building of a later period, and the demolition of said structure will not adversely affect the streetscape as determined by the Historic Conservation Board.*

The demolition request is for the existing non-historic gas canopy. The canopy is a later addition to the property. Historic Sanborn maps show an original canopy attached to the original portion of the structure at the northwest corner. This condition is present in the 1937 and 1950 Sanborn maps. The existing canopy was added at some point after 1950. Its removal will not adversely affect the streetscape. In fact, its demolition is likely to improve the aesthetics of the area by removing a prominent non-historic feature of the property.

NEW CONSTRUCTION/ ADDITIONS: Compatible but not replicas. New construction should not try to imitate the old, but should be compatible with respect to the following: Materials, Scale, Form, Detailing, Height, Setback.

New construction on the site consists of the placement of an accessory walk-in cooler to the north of the existing building. The cooler will be screened with a wood screen fence/ wall consisting of horizontal slats. The screening will be placed on the highly visible west and north elevations with additional landscaping to the north. This is likely the most appropriate location for the cooler, as the rear of the site is composed of a driveway and trash enclosure with no additional space for the cooler. In avoiding blocking windows and glass overhead doors, the applicant has chosen this location. As the structure does not extend further toward the street than the existing building, and is well screened with wood fencing and landscaping, Staff finds it appropriate.

Recommendation:

Staff recommends the Historic Conservation Board take the following actions based on plans by Chroma Architecture + Design dated 2.22.2024:

I. ZONING RELIEF

- A. Section 1702-80(l) – **APPROVE** – **Use Permit** required for an Eating and Drinking Establishment with alcohol sales.

- B. Section 1702-80(I) – **APPROVE** – **Minor Use Permit** required for Outdoor Entertainment.
- C. Section 1702-80(H) – **APPROVE** – A **Dimensional Variance** of 3' is required for a proposed 6' fence, in excess of the 3' maximum height.
- D. Section 1702-5.100(I) – **APPROVE** – A **Use Permit** is required for an Outdoor Area within 100' of a T4 transect.
- E. Section 1702-5.100(I) – **APPROVE** – A **Use Permit** is required for an Outdoor Area within 500' of a T4 transect that exceeds 50% of the size of the indoor area accessible to the public.
- F. Section 1702-5.100(I) – **APPROVE** – A **Use Permit** is required for an Outdoor Area within 500' of a T4 transect that includes Outdoor Entertainment.
- G. Section 1703-5.80(K) – **APPROVE** – A **Dimensional Variance** of 0.5' is required for awning sign lettering totaling 2' in height, in excess of the 1.5' limit.
- H. **FINDING:** The Board makes this determination that per Section 1435-05-4:
 - 1. Such relief from literal implication of the Zoning Code will not be materially detrimental to the public health, safety and welfare or injurious to property within the district or vicinity where property is located;

II. **CERTIFICATE OF APPROPRIATENESS**

- A. **APPROVE** a Certificate of Appropriateness for 6014 Hamilton Avenue including any revisions submitted for permit subject to staff review and approval with the following condition:
 - 1. The building permits must be issued within two years of the decision date or the Certificate of Appropriateness shall expire.
- B. **FINDING:** The Board makes this determination per Section 1435-09-2:
 - 1. That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

Historic Conservation Board

Hearing Application



II Centennial Plaza
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202
Monday- Friday 7:30 am- 4 pm
513-352-1559

Section 1. SUBJECT PROPERTY

ADDRESS _____ COMMUNITY _____
PARCEL ID(S) _____ HISTORIC DISTRICT _____
BASE ZONING CLASSIFICATION _____ HILLSIDE DISTRICT: Yes No
 Non-Residential Project Residential Project (RCO) One -, Two -, and Three- Family Dwelling

Section 2. APPLICANT

NAME _____ CONTACT PERSON (if legal entity) _____
ADDRESS _____ CITY Cincinnati STATE _____ ZIP _____
EMAIL _____ RELATIONSHIP TO OWNER (if not owner) _____
TELEPHONE _____

Section 3. OWNER

NAME _____ CONTACT PERSON (if legal entity) _____
ADDRESS _____ CITY _____ STATE _____ ZIP _____
EMAIL _____ RELATIONSHIP TO OWNER (if not owner) _____
TELEPHONE _____

Section 4. NATURE OF CERTIFICATE OF APPROPRIATENESS REQUESTED

A certificate of appropriateness is NOT being requested. (Proceed to Section 5.)

A certificate of appropriateness is being requested for:

New Construction Alteration Demolition

BRIEF DESCRIPTION OF PROJECT (*Do not write "see attached" or leave blank.*)

Section 5. NATURE OF ZONING RELIEF REQUESTED

Zoning relief is NOT being requested, or select all that apply:
 Variance Special Exception Conditional Use Use Variance
 Expansion or Substitution of Non-Conforming Use Hillside Overlay District Permission
 Urban Design Overlay District Permission DD District Phased Development Approval

BRIEF DESCRIPTION OF ZONING RELIEF REQUESTED (*Do not write "see attached" or leave blank.*)

Use permit for eating and drinking establishment with alcoholic sales. Minor use permit for outdoor entertainment. Dimensional variance for taller fence and taller sign lettering on awning. Use permit for outdoor dining within 100' of a T4 district. Use permit for an outdoor area within 500' of a T4 district that exceeds 50% of the indoor area. Use permit for outdoor dining within 500' of a T4 district that includes outdoor entertainment.

Section 6. SIGNATURE.

I certify that all statements and documents that I provide with reference to this application are accurate, complete, and true to the best of my knowledge and belief. I further acknowledge that my application shall be deemed incomplete for my failure to timely comply with any requirement of this application, which non-compliance may result in delays in the scheduling and resolution of my application.

Print Name _____ Signature  Date _____

Section 7. DOCUMENTATION SUBMISSION REQUIREMENTS.

Important Information: An application will not be deemed complete until all required documents listed below have been submitted and the application fee is paid in full. All transactions must be completed by 4:00pm. No exceptions. Applicants are strongly encouraged to submit as early as possible to allow time for review and revisions. Partial applications cannot be processed. Failure to submit a complete application prior to 4:00pm on a deadline date will result in delays to the assigned hearing date.

<input type="checkbox"/>	Submit two (2) paper copies collated, single sided and bound together of all the documents listed below, AND one (1) digital copy on a thumb/flash drive in PDF format of all documents listed below. <i>No emails.</i>
<input type="checkbox"/>	Historic Conservation Board hearing application; pages 1-2 only. The instruction pages should not be included in your submission.
<input type="checkbox"/>	Adjudication Letter AND worksheet issued by the Department of City Planning & Engagement – Urban Conservator’s Office. Provide all documents requested on the worksheet.
<input type="checkbox"/>	A written statement explaining how the proposed project meets the applicable Historic Conservation Guidelines and, if requested, Zoning relief. Separate instructions for preparing this statement are attached. <i>If you fail to follow the instructions for your type of request(s), your application may be denied.</i>
<input type="checkbox"/> N/A	Applications requesting development permission in a Hillside Overlay District must meet the additional requirements found in Cincinnati Municipal Code 1433-15. <i>Please ensure your application meets these requirements.</i>
<input type="checkbox"/>	All documents (forms, letters, etc.) must be formatted to 8.5x11. Font no smaller than size 11. Plans or drawings may be formatted to 11x17 or 12x18. <i>No larger sizes will be accepted.</i>
<input type="checkbox"/>	Accurate drawings, plans or surveys (including a graphic scale) of existing and proposed project showing parcel lines, boundaries, dimensions, areas, topography, and frontage of the property involved, as well as the location and dimensions of all primary and accessory structures from the nearest property lines. Provide all parcels and structures adjacent to the site. When landscaping is required by the zoning code, a landscaping plan must be provided.
<input type="checkbox"/>	Detailed information (such as drawings, elevations with measurements, specifications) fully depicting the exterior and/or interior appearance of the existing and proposed project, including parking and access, exterior lighting, landscaping, signs, roof and floor plans involved in the application. Provide labeled photographs of existing conditions of all sides/directions of the structure/property.
<input type="checkbox"/>	The Hamilton County Auditor’s record showing ownership of the property. If the Hamilton County Auditor’s official records do not list the applicant or owner as the owner of the property, please provide a lease, contract to purchase, or other agreement demonstrating the applicant or owner’s legal basis to seek the relief requested.
<input type="checkbox"/>	A list of witnesses, expert witnesses, or legal counsel who you expect to testify at the hearing on this application. Please provide names and email addresses.
<input type="checkbox"/>	Other documents or information you intend to introduce at the hearing on this application.
<input type="checkbox"/>	A non-refundable application fee - a check made payable to “City of Cincinnati.”

To help avoid delays, it is strongly suggested that you present your application to neighboring property owners and any interested neighborhood community groups prior to the hearing on your application. This will give you a prior opportunity to address your neighbors’ concerns or objections and can facilitate the approval of your application.

ADJUDICATION/DENIAL LETTER

Date: January 23, 2024

Location: 6014 Hamilton Ave

Request: COA/ Zoning Relief

Zoning District: T5MS-O/ College Hill Mid-Business Historic District

The City of Cincinnati appreciates receiving information regarding your proposed project. The purpose of this letter is to inform you that your proposed project requires a Certificate of Appropriateness and Zoning Relief from the Historic Conservation Board, as it is within a local historic district and involves exterior alterations to the building, specifically, demolition of the existing canopy, a new canopy, a new storefront, overhead doors and site work.

All documents **that are checked** on the “Checklist for Historic Conservation Board” document are a required part of the submission, and the submission will not be considered complete unless all of these documents are included. When you submit the copies of the application, the “Checklist” Sheet must be submitted as well. The application can be found at this link: <https://www.cincinnati-oh.gov/sites/planning/assets/HCB%20Application%20Revised%202.2.22%20Hyperlink.pdf>.

All deadlines for upcoming Historic Conservation Board hearings can be found <https://www.cincinnati-oh.gov/planning/historic-conservation/historic-conservation-board/>. **Applications must be submitted no later than 3pm on the deadline date.**

Your request also does not comply with the City of Cincinnati Zoning Code for the following reason(s):

1. 1703-2.80(I): Use Type. A **Use Permit** (Conditional Use) is required for an Eating and Drinking Establishment with alcohol sales.
2. 1703-2.80(I): Use Type. A **Minor Use Permit** is required for Outdoor Entertainment.
3. 1703-2.80(H): Building Placement. A **Dimensional Variance** of 3’ is required for a proposed 6’ fence.
4. 1703-5.100(I): Outdoor Dining Areas. A **Use Permit** (Conditional Use) is required for an Outdoor Area within 100’ of a T4 transect.
5. 1703-5.100(I): Outdoor Dining Areas. A **Use Permit** (Conditional Use) is required for an Outdoor Area within 500’ of a T4 transect that exceeds 50% of the size of the indoor area accessible to the public.
6. 1703-5.100(I): Outdoor Dining Areas. A **Use Permit** (Conditional Use) is required for an Outdoor Area within 500’ of a T4 transect that includes Outdoor Entertainment.

The applications and documents required will be turned into the *Law Department- Office of Administrative Boards*. Their office is located on the 5th floor of 805 Central Avenue in the Permit Center. Applications can be turned in **no later than 3pm on the deadline date**. You must contact Kasandra Maynes at 513-352-1559 or Kasandra.Maynes@cincinnati-oh.gov for submittal.

You may also contact me at the information listed below with historic conservation or zoning questions, concerns or to make an appointment.

Sincerely,



Douglas Owen
Urban Conservator
(p): 513-352-4848
(e): douglas.owen@cincinnati-oh.gov

Checklist for Historic Conservation Board Hearing Application

The Historic Conservation Office will provide this list with the required items

checked off when an Adjudication letter is issued. All items checked must be submitted to the Law Department with submission or the application will not be accepted.

- 8 business days before the hearing date 10 hard copies and a digital copy in one pdf for the final board packet. Hard copies must be formatted and retain the proper scale on sheets no larger than 11x17 or 12x18.
- Non-Refundable Application Fee. Checks made payable to the City of Cincinnati. \$ 642.80

All Drawings and Plans must include the following

- ✓ A graphic scale required on all drawings
- ✓ North arrows on all site, context and floor plans
- ✓ Elevations labeled with North, South, East West, front, side and rear labels
- ✓ Street names labeled
- ✓ Date and/or revision dates

Architectural Drawings and Plans

- An index of drawings located on the first sheet
- Context Map showing the building within at least a block of context
- Existing site plans
- Proposed site plans
 - All site plans must have*
 - ✓ *Parcel/boundary lines*
 - ✓ *Building footprints and dimensions labeled*
 - ✓ *Setback dimensions from all property lines labeled*
 - ✓ *Existing and proposed principal and accessory buildings, including location, dimensions, and height labeled;*
 - ✓ *All properties and their structures immediately adjacent to the site*
 - ✓ *Location and placement of exterior utilities and vents*
- Existing elevation drawings (At minimum must provide photographs of existing conditions of all elevations)
- Proposed elevation drawings
 - All elevations (existing and proposed) must have*
 - ✓ *Total Height from grade to top of the building*
 - ✓ *Total height- ASL (Above Sea Level)*
 - ✓ *Materials labeled*
 - ✓ *Location and placement of exterior utilities and vents*
- Existing floor plans and roof plans (with chimney locations)
- Proposed floor plans and roof plans (with chimney locations)
 - All floor(existing and proposed) plans must have*
 - ✓ *Residential and Commercial Spaces labeled. Residential Spaces must be numbered.*
 - ✓ *Square feet of commercial spaces listed*
 - ✓ *Location of trash storage and Utilities*
 - ✓ *Location and placement of exterior utilities and vents*

- Site section and/or Site elevations including any adjacent properties
- Driveways, sidewalks, walkways, terraces, and other paved surfaces
- Existing and proposed accessory structures, including walls, fences, porches, lighting, signs, and other site improvements;
- Existing and proposed landscape areas and materials, if proposed to be altered;
- Proposed materials, textures, and colors. Include make, model and series for proposed materials
- Labeled photos of all sides of the building
- Labeled photos of 1 block streetscape context in all directions
- Site line drawings for any roof additions, roof decks, utilities.
- A color rendering, axonometric drawings and/or perspective of the proposed construction (required on infill projects)

Required if applicable to the project

- Historic Sanborn Maps of the site
- Window brochures and cut sheet
- Roof product information (brochure)
- Garage door brochures
- Sample materials or color samples. Canopy
- Fence drawings of style, fence brochures or photo of a sample fence
- Signs; drawings, photo showing the sign on the building, mounting info, materials, colors and illumination
- Mature tree removal requires a letter from an arborist stating its poor health
- All written correspondence submitted by the applicant and other affected persons
- Tentative project schedule
- Egress Plan/Route to Building Code Compliance (roof decks, multi-family developments)
- _____
- _____
- _____

Demolition (full or partial) for Historic Conservation Districts and Landmarks

- Demolition Case Sheet and all required information listed on the sheet unless otherwise not required by the Urban Conservator in writing and provided with application.
- Statement of plans for the property after demolition.

Hillside Overlay Zone (CZC § 1433)

- A development plan, accompanied by a property survey, showing existing vegetation and proposed development, and where applicable, streets, drives, parking areas, walkways, heights of structure(s), location of structures, elevation and setback of proposed buildings, drainage, existing contours and proposed grading and new landscaping plans, proposed uses and square footage of uses and recreational facilities;
- A preliminary geotechnical evaluation;
- A determination of the maximum building envelope;
- Average slope/grade of the property; and
- Graphic illustrations demonstrating that the proposed improvement or new structure has not exceeded the maximum building envelope

For additional questions about this checklist contact Urban Conservator at 513-352-4848 or urban.conservator@cincinnati-oh.gov

Note: The aforementioned information is general in nature. Additional information may be required by the Urban Conservator once the application is submitted. Please use this list to plan for the potential documents that could be required for a submission.

Demolition Case Sheet

Documentation for the Demolition of Historic Properties

Historic Conservation Office

Section 1:

A property owner who wishes to demolish a local landmark or a building located in a local historic district must demonstrate to the Historic Conservation Board that they meet one of the following conditions.

1. Emergency Demolition
 - a. Must have a letter from the Director of Buildings and Inspections declaring it a Emergency Demolition in accordance with section 1435-09-5 of the City of Cincinnati Zoning Code.
2. Demolition of a Non-Contributing building or addition
 - a. Must be listed in the applicable guidelines as non-contributing or if not listed as non-contributing, must provide justification why the building should be considered non-contributing; and
 - b. The demolition will not adversely affect the streetscape.
3. The Demolition is for inappropriate addition or a non-significant portion of a building.
 - a. The demolition does not adversely affect significant parts of the building; and
 - b. The addition or non-significant portion highly is not highly visible from the street; or
 - c. The demolition will not adversely affect the streetscape.
4. The Demolition is due to an Economic Hardship. *If claiming Economic Hardship the applicant must answer all questions in Section 2.*
5. The demolition may be permitted through other conditions set forth in the applicable guidelines for the property.

Section 2:

A property owner who wishes to demolish a local landmark or a building located in a local historic district with claims of Economic Hardship must demonstrate to the Historic Conservation Board that there is no feasible and prudent alternative that would conform to the conservation guidelines and the applicant must also show that the strict application of the guidelines would deny the owner a reasonable rate of return on the real property and would amount to an economic hardship.

When an applicant claims that the strict application of the conservation guidelines would amount to an economic hardship, the applicant must submit answers to the following questions, in written form, to the Urban Conservator.

1. The amount paid for the property, the date of purchase and the party from whom purchased, including a description of the relationship, if any, between the owner and the person from whom the property was purchased;
2. Annual gross (pre-tax minus maintenance and other costs) income from the property for the previous three (3) years;
3. Itemized operating and maintenance expenses for the previous three (3) years;
4. An itemized statement of the annual costs of all insurance on the property;
5. The value of significant interior and exterior improvements made after purchase;
6. Real estate taxes for the previous three (3) years;

7. Remaining balance on the mortgage of other financing secured by the property and annual debt service, if any, for the previous three (3) years;
8. The assessed value of the land and improvements thereon according to the three (3) most recent assessments;
9. All appraisals obtained within the previous two (2) years by the owner or applicant in connection with his purchase, financing or ownership of the property;
10. Form of ownership or operation of the property, whether sole proprietorship, for-profit or not-for-profit corporation, limited partnership, joint venture, or other.
11. Any state or federal income tax returns relating to the property for the last two years.
12. Any listing of the property for sale or rent, price asked and offers received if any;
13. Any real estate broker or firm engaged to sell or lease the property;
14. Proof of reasonableness of price or rent sought by the applicant;
15. Any advertisements placed for the sale or rent of the property;
16. The condition of the property when purchased;
17. All available reports, if any, on the structural condition of the property.
18. Any consideration by the owner as to profitable adaptive uses for the property;
19. Whether or not the property was occupied when purchased, and any income from the property at the time it was purchased immediately or prior thereto.
20. Annual cash flow, if any, for the previous two (2) years.
21. For vacant, semi-vacant and under-utilized buildings, or buildings in need of rehabilitation, owner is required to submit a statement of estimated market value and potential return on investment based on existing or all potential legal new uses, including cost estimates of rehabilitation, and supplementary new construction, The applicants must use fair market value for the property, a "reasonable" rate of return on investment, and prevailing rehabilitation and rental rates in the area (including floor area per floor and total).
22. Consideration if partial use of the building would be able to gain a reasonable economic return on the building.
23. Consideration of economic incentives and/or funding available through the federal, state, city or private programs on the pro-formas for rehabilitation that would affect the potential return on investment the property.
24. Estimated market value and/or income from the property after the demolition of the structure or structures.
25. Statement from the owner of knowledge of landmark designation or potential designation at the time of acquisition.
26. Credentials of all professionals providing evidence including but not limited to structural engineering report, market values, rental rates, appraisals, construction cost estimates, and pro-formas.

Brigid Kelly, Hamilton County Auditor

generated on 1/23/2024 12:22:28 PM EST

Property Report

Parcel ID 233-0003-0015-00 **Address** 6014 HAMILTON AVE **Index Order** Parcel Number **Tax Year** 2023 Payable 2024

Property Information		
Tax District	001 - CINTI CORP-CINTI CSD	
School District	CINCINNATI CSD	
Appraisal Area	Auditor Land Use	
05100 - COLLEGE HILL <u>Sales</u>	452 - AUTO SERV STATION	
Owner Name and Address QUEEN CITY STATION II LLC 222 WEST 12TH ST CINCINNATI OH 45202 (call 946-4015 if incorrect)	Tax Bill Mail Address QUEEN CITY STATION II LLC 222 WEST 12TH ST CINCINNATI OH 45202 (Questions? 946-4800 or treasurer.taxbills@hamilton-co.org)	
Assessed Value 69,600	Effective Tax Rate 82.074213	Total Tax \$6,319.83
Property Description 6014 HAMILTON AV 114.16 X 103.15 IRR PTS LOTS 1-2 WILD &		

Appraisal/Sales Summary	
Year Built	1937
Total Rooms	0
# Bedrooms	0
# Full Bathrooms	0
# Half Bathrooms	0
Last Transfer Date	7/10/2023
Last Sale Amount	\$360,000
Conveyance Number	334937
Deed Type	WD - Warranty Deed (Conv)
Deed Number	
# of Parcels Sold	1
Acreage	0.338

Tax/Credit/Value Summary	
Board of Revision	No
Rental Registration	No
Homestead	No
Owner Occupancy Credit	No
Foreclosure	No
Special Assessments	Yes
Market Land Value	142,080
CAUV Value	0
Market Improvement Value	56,780
Market Total Value	198,860
TIF Value	19,270
Abated Value	0
Exempt Value	0
Taxes Paid	\$0.00

Notes

Structure List			
Structure Name	Use Code	Finished Sq. Ft.	Year Built
Structure 1	452 AUTO SERV STATION	2,128	1937

Commercial Appraisal Data				
Section	Occupancy	Finished Area (sq. ft.)	Story Height	Stories
Section 1	528 Service Repair Garage	2,128	10	1

Improvements		
Improvement	Measurements	Year Built
525-Asphalt	5000	1980

No Proposed Levies Found
No Passed Levies Found

This is an estimated levy payment based on the current value of your property. Actual tax amounts per tax year may vary based on changes in property valuation and based on whether a parcel receives any abatement, credit, or reduction during the levy period.

Effective for the tax year 2005, Ohio's biennial budget bill, Amended Substitute House Bill 66, signed by the Governor on June 30, 2005, terminates the 10 percent real property tax rollback for the commercial and industrial classes of property, and agricultural property used for the commercial production of timber.

Effective for the tax year 2013, Ohio's biennial budget bill, House Bill 59, signed by the Governor on June 30, 2013, terminates the 10 percent real property tax rollback and the 2.5 percent homestead credit on all additional or replacement levies passed at the November 5, 2013 election or after. As a result of this legislation, those same levies will not qualify for the stadium tax credit.

Existing and renewal levies, as well as levies passed at the May 7, 2013 and August 6, 2013 elections will qualify for the credits. Residential and most agricultural properties with qualifying levies will receive what is now the Non-Business Credit Rollback Factor. Owner occupied residential dwellings with qualifying levies will receive what is now the Owner Occupancy Credit Rollback Factor, as well as the stadium tax credit.

Transfer History					
Year	Conveyance #	Selling Price	Transfer Date	Previous Owner	Current Owner
2023	334937	360,000	7/10/2023	PEARCE HARRY E III & NANCY A	QUEEN CITY STATION II LLC
2022	310030	0	8/8/2022	PEARCE HARRY E III	PEARCE HARRY E III & NANCY A
1987	0	0	8/1/1987	<u>SEE OWNERSHIP CARD</u>	PEARCE HARRY E III

Value History						
Tax Year	Assessed Date	Land	Improvements	Total	CAUV	Reason for Change
2023	7/29/2023	142,080	56,780	198,860	0	120 Reappraisal, Update or Annual Equalization
2022	5/1/2022	137,030	53,340	190,370	0	50 Changes to/from Exempt Property
2021	7/25/2023	137,030	53,340	190,370	0	50 Changes to/from Exempt Property
2020	7/25/2023	137,030	53,340	190,370	0	50 Changes to/from Exempt Property
2020	8/22/2020	137,030	53,340	190,370	0	120 Reappraisal, Update or Annual Equalization
2017	11/15/2017	129,270	50,320	179,590	0	120 Reappraisal, Update or Annual Equalization
2014	9/20/2014	133,170	47,080	180,250	0	120 Reappraisal, Update or Annual Equalization
2011	9/4/2011	135,890	48,040	183,930	0	120 Reappraisal, Update or Annual Equalization
2008	9/27/2008	133,180	50,470	183,650	0	120 Reappraisal, Update or Annual Equalization
2005	9/21/2005	135,900	51,500	187,400	0	120 Reappraisal, Update or Annual Equalization

Value History						
2002	10/8/2002	117,700	56,500	174,200	0	120 Reappraisal, Update or Annual Equalization
1999	11/6/1999	105,400	50,600	156,000	0	120 Reappraisal, Update or Annual Equalization
1996	1/1/1996	88,200	43,100	131,300	0	110 Miscellaneous

Board of Revision Case History								
Case Number	Date Filed	Withdrawn	**Counter Complaint Filed	*Hearing Date/Time	Value Challenged	Value Requested	Value Decided by BOR	***Date Resolved

*Once your hearing has been scheduled, you will receive a **Notice of Hearing** by certified mail, and the Scheduled Hearing Date and Time will be populated on this page.

**A counter-complaint may be filed by a party with interest in the value of your property, such as the Board of Education, if you request a decrease of \$50,000 or more in market value.

***Please allow four to six weeks to receive your **Notice of Result** by certified mail and to see your result on this page. Your Notice will contain basic facts about appealing your Board of Revision decision, should you wish to do so.

Payment Information

JILL A. SCHILLER, TREASURER		Tax Overview	
Mail Payments to:	Hamilton County Treasurer 138 E. Court Street, Room 402 Cincinnati, Ohio 45202	Tax Lien Pending	No
Tax District:	001 - CINTI CORP-CINTI CSD	Tax Lien Sold	No
Current Owner(s)	QUEEN CITY STATION II LLC	Full Rate	106.660000
Tax Bill Mail Address	QUEEN CITY STATION II LLC 222 WEST 12TH ST CINCINNATI OH 45202	Effective Rate	82.074213
		Non Business Credit	0.087768
		Owner Occupancy Credit	0.021942
		Certified Delinquent Year	
		Delinquent Payment Plan	No
		TOP (Treasurer Optional Payment)	\$0.00
		Note: May represent multiple parcels	
Taxable Value			
Land	49,730		
Improvements	19,870		
Total	69,600		

Current Year Tax Detail						
	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Real Estate			\$3,711.77		\$3,711.77	
Credit			\$855.59		\$855.59	
Subtotal			\$2,856.18		\$2,856.18	
Non Business Credit			\$0.00		\$0.00	
Owner Occupancy Credit			\$0.00		\$0.00	
Homestead			\$0.00		\$0.00	
Sales CR			\$0.00		\$0.00	
Subtotal	\$0.00	\$0.00	\$2,856.18	\$0.00	\$2,856.18	\$0.00
Interest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Real Estate Paid	\$0.00		\$0.00		\$0.00	
Real Estate Owed	\$0.00		\$2,856.18		\$2,856.18	
Special Assess Paid	\$0.00		\$0.00		\$0.00	
Special Assess Owed	\$0.00		\$607.47		\$0.00	
Total Due	\$0.00		\$3,463.65		\$2,856.18	
Total Paid	\$0.00		\$0.00		\$0.00	
Unpaid Delq Contract	\$0.00		\$0.00		\$0.00	
Total Owed	\$0.00		\$3,463.65		\$6,319.83	

Special Assessment Detail for 55-753 CINCINNATI - Street Lights						
	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Charge	\$0.00	\$0.00	\$533.18	\$0.00	\$0.00	\$0.00
Interest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Paid	\$0.00		\$0.00		\$0.00	
Owed	\$0.00		\$533.18		\$0.00	

Special Assessment Detail for 55-060 CINCINNATI - Urban Forestry						
	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Charge	\$0.00	\$0.00	\$74.29	\$0.00	\$0.00	\$0.00
Interest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Paid	\$0.00		\$0.00		\$0.00	
Owed	\$0.00		\$74.29		\$0.00	

Payment Information for Current And Prior Year						
Date	Half	Prior	1st Half	2nd Half	Surplus	
6/20/2023	2 - 2022	\$0.00	\$0.00	\$3,017.18	\$0.00	\$0.00
1/30/2023	1 - 2022	\$0.00	\$3,624.65	\$0.00	\$0.00	\$0.00
6/21/2022	2 - 2021	\$0.00	\$0.00	\$2,964.74	\$0.00	\$0.00
1/28/2022	1 - 2021	\$0.00	\$3,577.20	\$0.00	\$0.00	\$0.00
6/21/2021	2 - 2020	\$0.00	\$0.00	\$2,968.05	\$0.00	\$0.00
2/5/2021	1 - 2020	\$0.00	\$3,580.51	\$0.00	\$0.00	\$0.00
7/17/2020	2 - 2019	\$0.00	\$0.00	\$3,031.44	\$0.00	\$0.00
1/30/2020	1 - 2019	\$0.00	\$3,643.32	\$0.00	\$0.00	\$0.00
6/19/2019	2 - 2018	\$0.00	\$0.00	\$3,033.00	\$0.00	\$0.00
1/30/2019	1 - 2018	\$0.00	\$3,607.17	\$0.00	\$0.00	\$0.00

Information believed accurate but not guaranteed. Treasurer disclaims liability for any errors or omissions

Contact the County Treasurer with your tax bill questions at county.treasurer@hamilton-co.org or 513-946-4800

Current Year
2023 Payable 2024
Prior Year
2022 Payable 2023

Tax Distribution Information

Market Value		Assessed Value (35%)		Tax Rate Information	
Land	142,080	Land	49,730	Full Tax Rate (mills)	106.660000
Building	56,780	Building	19,870	Reduction Factor	0.230507
Total	198,860	Total	69,600	Effective Tax Rate (mills)	82.074213
				Non Business Credit	0.087768
				Owner Occupancy Credit	0.021942

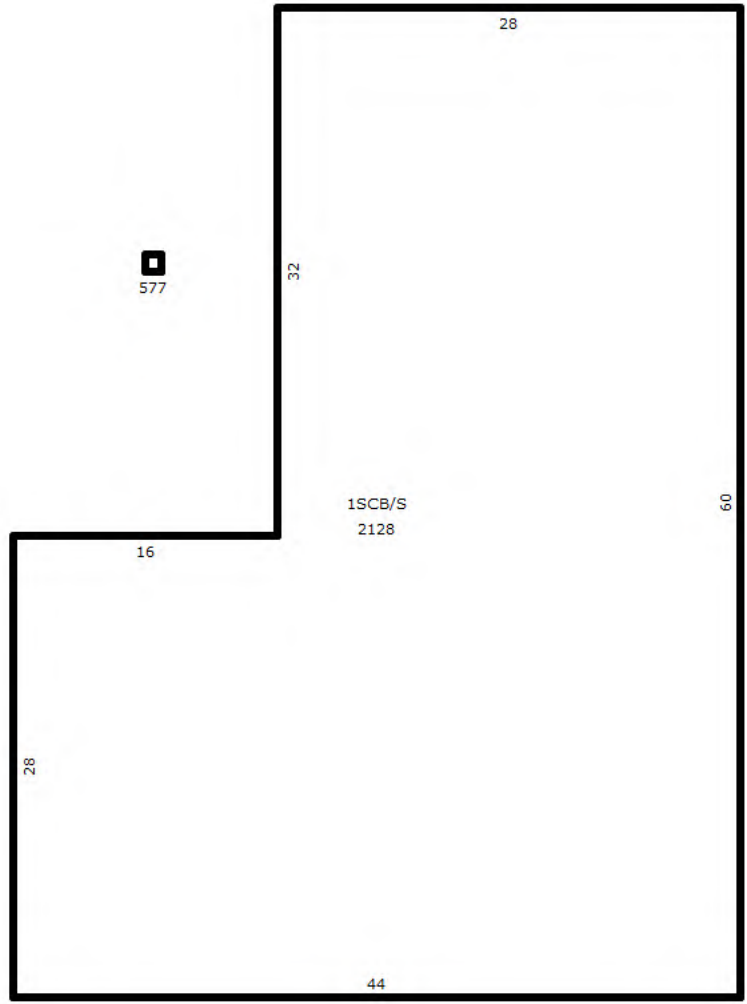
Tax Calculations		Half Year Tax Distributions	
Gross Real Estate Tax	\$7,423.54	School District	\$1,544.40
- Reduction Amount	\$1,711.18	Township	\$0.00
- Non Business Credit	\$0.00	City/Village	\$704.38
- Owner Occupancy Credit	\$0.00	Joint Vocational School	\$0.00
- Homestead	\$0.00	County General Fund	\$71.05
Half Year Real Taxes	\$2,856.18	Public Library	\$51.75
- Sales Tax Credit	\$0.00	Family Service/Treatment	\$8.70
+ Current Assessment	\$607.47	HLTH/Hospital Care-Indigent	\$69.61
+ Delinquent Assessment	\$0.00	Mental Health Levy	\$70.22
+ Delinquent Real Estate	\$0.00	Developmental Disabilities	\$105.65
Semi Annual Net	\$3,463.65	Park District	\$53.16
		Crime Information Center	\$7.74
		Children Services	\$117.78
		Senior Services	\$40.25
		Zoological Park	\$11.49

This shows the most recent tax bill calculation which normally occurs in early December and May. However, adjustments or corrections may have been applied to the tax bill after the initial tax calculation. Go to the Payment Detail tab to view any corrections or adjustments occurring after the initial tax calculation.

Parcel Photo

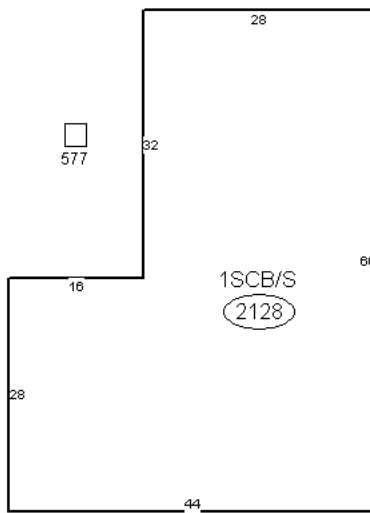


Current Parcel Sketch



Sketch by Apex Sketch

Legacy Parcel Sketch



Special Assessments

Project	Ord/Res	Description	Certified	End Year	Payoff Amount
55-060		CINCINNATI - Urban Forestry	8/20/2019	2099	\$74.29
55-753	147-2022	CINCINNATI - Street Lights	9/6/2022	2024	\$1,050.84

Related Names		
Name	Relationship	Status
QUEEN CITY STATION II LLC	Parcel Owner	Current

02/22/2024

Historic Conservation Office
Cincinnati Zoning Department
City of Cincinnati
11 Centennial Plaza
805 Central Ave., Suite 500
Cincinnati, OH 45202

**Re: Certificate of Appropriateness Request
Zoning Use Permit / Dimensional Variance Request
6014 Hamilton Avenue, Cincinnati, OH 45224**

6014 Hamilton Avenue is located at the northeast corner of Hamilton Ave. and Marlowe Ave. This site falls within the College Hill Historic District (T5-MS0). The property is an existing gas station and auto repair shop with a one-story concrete block building located in the center of the property along with a free-standing canopy and asphalt and concrete paving covering the entirety of the site.

This project is the renovation of the building and site into a food and drinking establishment with outdoor seating, the second location for Queen City Radio (current location in OTR).

Certificate of Appropriateness Request - Rehabilitation / Alteration Work Summary:

The existing one-story building will be renovated. The exterior walls will be left in-tact and all existing openings left as-is. The existing stucco finish will remain and the building will be repainted with new signage on the west and south sides of the building.

The existing multi-pane steel windows on the east and north sides will remain and be refurbished. One steel window on the north side will be removed and the opening infilled. A second window opening on the north side of the building where the window is missing will be infilled. Infills will be done with parged and painted 6" CMU block held back 2" from the face of the building to maintain the outline of the original opening. Repairing the existing windows and maintaining the outline of original openings is in keeping with the College Hill Historic Guidelines.

The existing storefront at the northwest corner and all exterior doors will be removed and replaced with new aluminum and glass storefront and entry doors (Kawneer or equal) in a clear anodized finish similar to the existing storefront finish. The layout of the storefront will closely match the existing configuration with a lower solid panel and upper clear glass. Transoms over the doors (where occurs) will be maintained. Replacement of the storefront and doors with similar material in similar proportions is in keeping with the College Hill Historic Guidelines.

There are two existing full glass aluminum garage doors on the west façade and three wood panel and glass garage doors on the south and north facades. All the garage doors will be replaced with new aluminum garage doors in a solid color powder coat finish with full glass. The garage doors will be paneled similar to the existing conditions and will be contemporary and compatible with the existing building.

The existing deteriorated gas canopy will be removed in entirety (see demolition case sheet) and all site asphalt and concrete walks will be removed. The existing changeable copy corner sign will remain with new copy installed in place of the existing.

New asphalt will be installed for a staff parking lot in the southeast corner and for a delivery drive connecting around the building to the northwest corner. New concrete walks will be installed along the south, west and north sides of the building along with mulched landscaping. A 6'-0" high aluminum picket fence will be installed along the west and south property lines and also between the delivery drive / parking and outdoor area. Pairs of brick piers will be installed on the south and west sides delineating the public entrance points. The fence and brick piers will be contemporary and compatible with the existing building. The fence along the property line will also help hold the line of the sidewalk that was previously broken by the open expanse of asphalt.

At the north and east property lines, a 6'-0" high painted or stained horizontal wood slat privacy fence will be installed. This same fence style will be used to enclose the trash and recycling bins in the northeast corner.

A new fabric awning will be installed, attached to the west side of the building. It will not interfere with the storefront or garage doors and will be held down approximately 1' from the top of the building. The awning will be a solid black fabric with square steel black posts. The awning will be contemporary and compatible with the existing building. Attaching the canopy to the building is in keeping with the original canopy configuration per the Sanborn maps (see the demolition case sheet).

A new free-standing exterior walk-in cooler will be installed to the north of the building. The cooler will be screened on the visible sides (west and north) with a horizontal slat wood fence to a height of 1' higher than the cooler (including equipment). The screen wall will not be taller than the existing building. The wood will be stained or painted. In addition, taller plantings will be installed adjacent to the cooler to lessen the impact of the structure on the site.

All mechanical systems (hood exhaust and make-up air and air conditioning condensers) will be located on the roof and will not be visible from the street.

Along with this narrative, please refer to the graphic package that further illustrates how the proposed project complies with the College Hill Historic Guidelines and provides elevations of the proposed canopy and walk-in cooler along with images of materials proposed.

Zoning Use Permit / Dimensional Variance Requests

The following Use Permits are being requested in accordance with the Cincinnati Zoning Code:

1. A Use Permit (Conditional Use) is required for an Eating and Drinking Establishment with alcohol sales per 1703-2.80(I): Use Type.
2. A Minor Use Permit is required for Outdoor Entertainment per 1703-2.80(I): Use Type
3. A Use Permit (Conditional Use) is required for an Outdoor Area within 100' of a T4 transect per 1703-5.100(I): Outdoor Dining Areas.
4. A Use Permit (Conditional Use) is required for an Outdoor Area within 500' of a T4 transect that exceeds 50% of the size of the indoor area accessible to the public per 1703-5.100(I): Outdoor Dining Areas.
5. A Use Permit (Conditional Use) is required for an Outdoor Area within 500' of a T4 transect that includes Outdoor Entertainment per 1703-5.100(I): Outdoor Dining Areas. Proposed outdoor entertainment is limited to ambient music played over speakers (no outdoor live music).

As required per 1445-05 and 1445-21, the Use Permits being requested are all specifically listed in the applicable transect zone use tables, the project meets any limitations specifically listed in the applicable transect zone regulations; and the project's location, design, configuration, and special impact on the area will prevent or limit potential adverse effects on the immediate neighborhood (see summary of factors within the public interest below).

The following Variances are requested in accordance with the Cincinnati Zoning Code

1. A Dimensional Variance of 3' is required for a proposed 6' fence per 1703-2.80(H): Building Placement.
2. A Dimensional Variance of 6" is required for the lettering for the awning sign per 1705.80 (K): Awning Sign.

As required per 1445-15, neither the owner nor any of its predecessors caused the nonconformity requiring a variance and special circumstances or conditions pertaining to the subject property cause the strict application of the zoning code to be unreasonable and would result in practical difficulties as described below:

1. As an atypical building type, the placement of the building in the middle of the property leaves substantial site open to the sidewalk, including space behind the building with limited visibility. A 2-3' high fence as allowed by the zoning code would not be sufficient to secure the property outside of business hours. The taller fence also better holds the line of the sidewalk in keeping with the historic layout of the district where buildings are typically on the property line.

2. The business logo features an enlarged Q and enlarged C. To keep the remainder of the text legible and for the sign to feel proportional to the awning, these two letters need to exceed the maximum letter height.

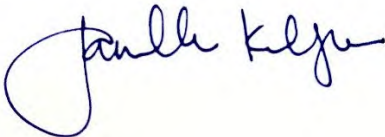
The requested Use Permits and Variance for the project are in the public interest per 1445-13:

- a) Zoning: All use permits requested are listed as conditional uses in the zoning code. The T5 Main Street zone also encourages a diverse mix of frontages with ground floor commercial, for a walkable neighborhood. The addition of an eating and drinking establishment with visible outdoor seating will contribute to the vitality of the neighborhood.
- b) Guidelines: The proposed project is in conformance with the historic guidelines for the district (see the rehabilitation and alteration summary above).
- c) Plans: The proposed project conforms to the 2002 College Hill Urban Design plan, meeting the goal to improve gaps in the businesses and have a more diverse mix of business. In addition, the reduction of driveways and addition of fencing and landscaping will help make the sidewalk more pedestrian friendly and improve the streetscape.
- d) Traffic: The project will reduce traffic by eliminating two of the four existing curb cuts into the site and limiting vehicular access to the site for staff, delivery and refuse trucks only.
- e) Buffering: Appropriate buffering is provided to protect adjacent uses or properties from light, noise and visual impacts. The outdoor seating area is located on the west side of the property, as far away from the adjacent residential districts as possible. The entirety of the site will be fenced and taller landscaping will be used around the parking and drive area. Outdoor entertainment will be limited to the west seating area as well and does not include live music.
- f) Landscaping: Landscaping meets all zoning requirements and taller landscaping is provided around the parking, drive and to screen the walk-in cooler as described in the rehabilitation and alteration summary above. Lower perimeter landscaping will be provided along the property line on the west and south corner to help beautify the streetscape.
- g) Operating hours: The business (including the outdoor seating) will be open from the afternoon until 10 pm on weeknights and until 12 am on weekends (Friday / Saturday). These hours are compatible with the adjacent land uses.
- h) Neighborhood Compatibility: As a commercial eating and drinking establishment, the proposed project is compatible with the predominant or prevailing land use, building and structure patterns of the neighborhood surrounding the proposed development and will not have an adverse impact on the neighborhood.
- i) Proposed Zoning Amendments: Not applicable.
- j) Adverse effects: The proposed project does not cause any adverse effects.
- k) Blight: The proposed project prevents the property from becoming vacant and redevelops what was previously a large area of asphalt into a landscaped pedestrian friendly use.

- l) Economic Benefits: The proposed project promotes the Cincinnati economy by being a locally owned and operated eating and drinking establishment.
- m) Job Creation: The proposed project creates construction jobs and restaurant / bar industry jobs once the project is completed.
- n) Tax Valuation: The proposed project will increase the tax value of the property.
- o) Private Benefits: The proposed project will allow a local business to expand to a second location.
- p) Public Benefits: The proposed project will add to the ongoing revitalization of the College Hill business district by providing a more pedestrian friendly commercial use to a prominent corner.

Please let me know if you have any questions.

Respectfully,

A handwritten signature in blue ink that reads "Janelle Kelpe". The signature is fluid and cursive, with a large initial "J" and "K".

Janelle Kelpe, RA, LEED A.P.

**Re: Certificate of Appropriateness Request
Zoning Use Permit / Dimensional Variance Request
6014 Hamilton Avenue, Cincinnati, OH 45224**

List of Witnesses

Janelle Kelpé - Architect
Chroma Architecture + Design
1612 Dexter Ave.
Cincinnati, OH 45206
janelle@chromaarchitecture.com

Chris Reckman - Owner
Urban Expansion
222 W. 12th Street
Cincinnati, OH 45202
urbanexpansion@yahoo.com

Casey Coston – Owner
Urban Expansion
222 W. 12th Street
Cincinnati, OH 45202
Caseycoston64@gmail.com

01/26/2024

Historic Conservation Office
Cincinnati Zoning Department
City of Cincinnati
11 Centennial Plaza
805 Central Ave., Suite 500
Cincinnati, OH 45202

Re: **Demolition Case Sheet**
6014 Hamilton Avenue, Cincinnati, OH 45224

Please find documentation for the demolition of the freestanding gas canopy at 6014 Hamilton Ave. based on the following condition:

Section 1 (2). Demolition of a Non-Contributing building or addition

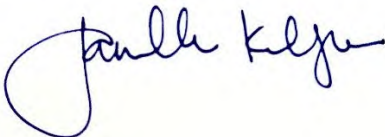
- a. *Must be listed in the applicable guidelines as non-contributing or if not listed as non-contributing, must provide justification why the building should be considered non-contributing;*

While the canopy is not listed in the historic guidelines as non-contributing, Sanborn maps from 1937 and 1950 (see attached) show a canopy attached to the building, not a freestanding canopy as exists today. Based on these maps and the construction type of the existing canopy, it can be inferred that the canopy was constructed outside of the district's period of significance (pre-1950) and can be considered non-contributing to the site.

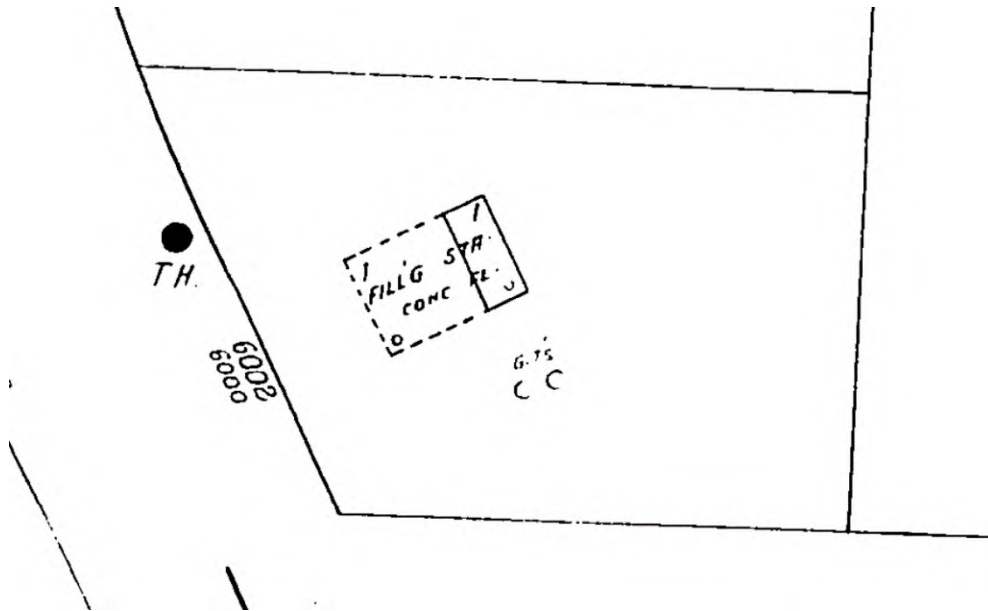
- b. *and, the demolition will not adversely affect the streetscape.*

As a freestanding structure comprised of columns and a roof, removal of the canopy will not adversely affect the streetscape as it does not alter the relationship of the building to the sidewalk.

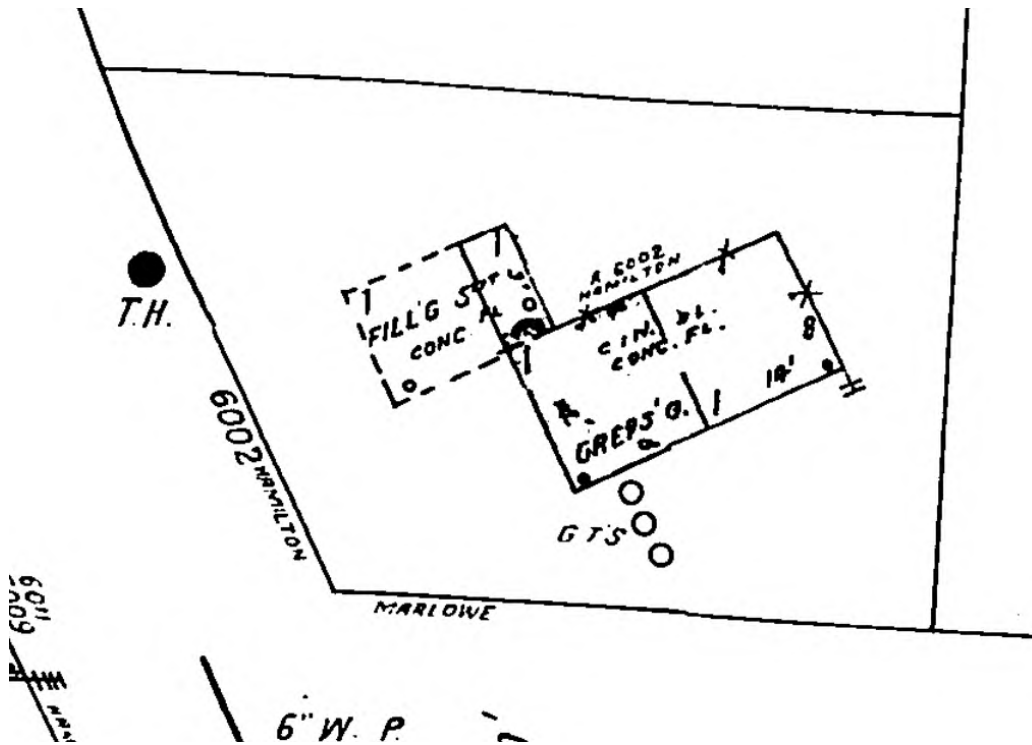
Respectfully,



Janelle Kelpe, RA, LEED A.P.



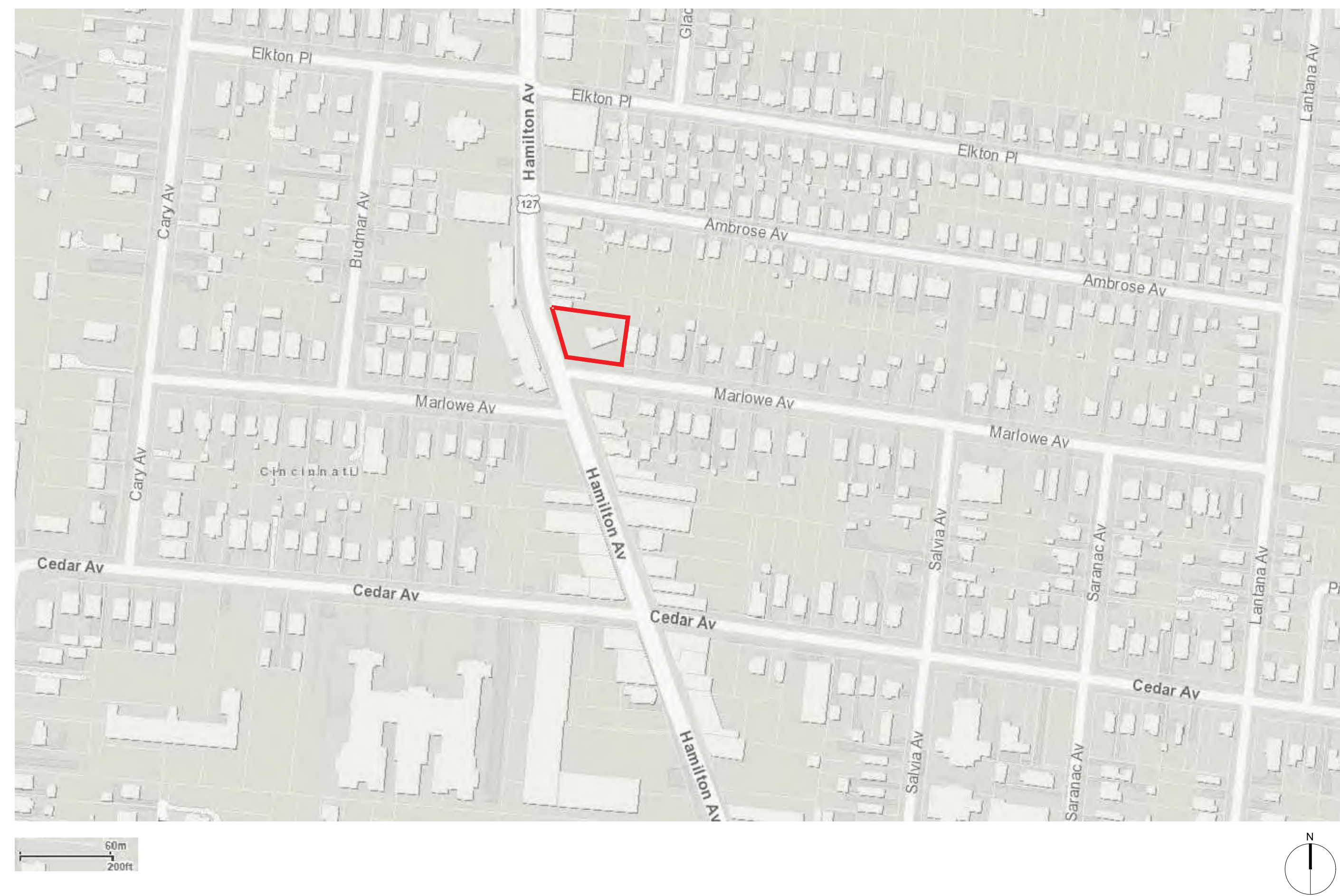
1937 Sanborn Map



1950 Sanborn Map

6014 Hamilton Avenue - Queen City Radio

LOCATION PLAN



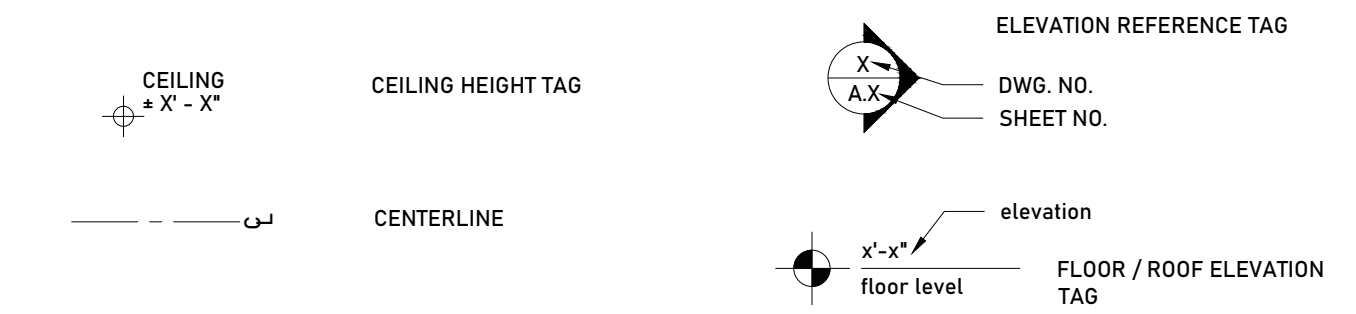
ABBREVIATIONS LEGEND

ADJ.	ADJUSTABLE	LB	POUND
A.F.F.	ABOVE FINISHED FLOOR	LF	LINEAR FEET
ALT.	ALTERNATE	MAX.	MAXIMUM
ALUM.	ALUMINUM	MECH.	MECHANICAL
APFX.	APPROXIMATE	MFR.	MANUFACTURER
ARCH.	ARCHITECTURAL	MIN.	MINUTE
AVG.	AVERAGE	MINUM.	MINIMUM
BY	BOTTOM OF	M.O.	MASONRY OPENING
BD.	BOARD	M.R.	MOISTURE RESISTANT
BM	BEAM	MW	MICROWAVE
BLDG.	BUILDING	N	NORTH
BLKG.	BLOCKING	NO.	NUMBER
BASIS OF DESIGN	BASIS OF DESIGN	NOM.	NOMINAL
BSMT.	BASEMENT	N.T.S.	NOT TO SCALE
CAB.	CABINET	O.C.	ON CENTER
CLS.	CLOSING	O.D.	OUTSIDE DIAMETER
CLOS.	CLOSET	OPG.	OPENING
CMU	CONCRETE MASONRY UNIT	OZ	OUNCE
COL.	COLUMN	PLWD.	PLYWOOD
CONC.	CONCRETE	PTD.	PAINTED
CONT.	CONTINUOUS	PSF	POUNDS PER SQUARE FOOT
CPT.	CARPET	PSI	POUNDS PER SQUARE INCH
CSMT.	CASEMENT	PT.	FOOT
C.F.	CUBIC FEET	R	RISER
D	DEEP OR DEPTH	RAD.	RADIUS
DIA.	DIAMETER	RCP	REFLECTED CEILING PLAN
DIM.	DIMENSION	REF.	REFRIGERATOR
DEMO	DEMOLISH OR DEMOLITION	REQD.	REQUIRED
D.H.	DOUBLE HUNG	REV.	REVISION OR REVISION
DR.	DOOR	R.O.	ROUGH OPENING
DW.	DISHWASHER	RM.	ROOM
DWG.	DRAWING	SECT.	SECTION
EA	EACH	SPECS	WRITTEN SPECIFICATIONS
ELEC.	ELECTRIC OR ELECTRICAL	S	SOUTH
ELEV.	ELEVATION	SF	SQUARE FEET
EQ.	EQUAL	SIM.	SIMILAR
EQUIP.	EQUIPMENT	STD.	STANDARD
EXIST.	EXISTING	STL.	STEEL
F.E.	FIRE EXTINGUISHER	SSTL.	STAINLESS STEEL
FDN.	FOUNDATION	SQ.	SQUARE
FIN.	FINISHED	T	TREAD
FLG.	FLOORING	T/O	TOP OF
FLR.	FLOOR	T.B.D.	TO BE DETERMINED
FRMG.	FRAMING	TELE.	TELEPHONE
FT	FOOT OR FEET	T.M.E.	TO MATCH EXISTING
FTG.	FOOTING	TYP.	TYPICAL
G.A.	GAUGE	TV	TELEVISION
GALV.	GALVANIZED	U.N.O.	UNLESS NOTED OTHERWISE
G.C.	GENERAL CONTRACTOR	VERT.	VERTICAL
GYP.	GYP-SUM	V.I.F.	VERIFY IN FIELD
H	HIGH OR HEIGHT	W	WEST, WIDE OR WIDTH
HR	HOUR	W/	WITH
HDWD.	HARDWOOD	W/D	WASHER & DRYER
HM	HOLLOW METAL	WD.	WOOD
HVAC	HEATING, VENTILATION, & AIR CONDITIONING	WDW.	WINDOW
HORIZ.	HORIZONTAL	WH	WATER HEATER
ID.	INSIDE DIAMETER	W.P.	WATERPROOF(ING)
IN	INCHES	X	BY
INSUL.	INSULATION OR INSULATED	YD	YARD
L	LONG OR LENGTH		

DRAWING INDEX

- A0.1 TITLE SHEET, INDEX, LEGENDS, LOCATION PLAN & EXISTING PHOTOS
- A0.2 CONTEXT PHOTOS
- A1.0 EXISTING / DEMO SITE PLAN
- A1.1 PROPOSED SITE PLAN
- A2.1 EXISTING / DEMO FLOOR PLAN
- A2.2 EXISTING / DEMO ROOF PLAN
- A3.1 NEW WORK FLOOR PLAN
- A3.2 NEW WORK ROOF PLAN
- A5.0 EXISTING / DEMO ELEVATIONS
- A6.0 NEW WORK ELEVATIONS
- A7.0 GARAGE DOOR BROCHURE
- A7.1 CANOPY BROCHURE AND FENCE EXAMPLES

GRAPHIC SYMBOLS LEGEND



EXISTING PHOTOS



OVERALL SITE VIEW FROM HAMILTON AVE.



WEST ELEVATION



SOUTH ELEVATION



OVERALL SITE VIEW FROM CORNER OF MARLOWE AND HAMILTON AVE.



EAST ELEVATION



NORTH ELEVATION AT RETURN



EAST ELEVATION AT RETURN



NORTH ELEVATION

QUEEN CITY RADIO - COLLEGE HILL
6014 Hamilton Ave.
Cincinnati, OH 45224

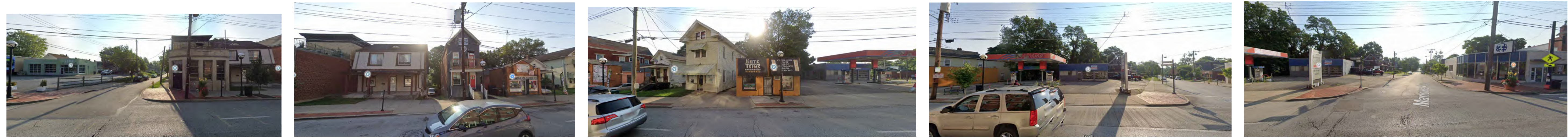
submission / date:
• HCB Submission / 01.26.2024
• Revised HCB Submission / 02.22.2024

TITLE SHEET, INDEX, LEGENDS, LOCATION PLAN & EXISTING PHOTOS

A0.1

chroma
architecture + design
1612 Dexter Ave.
Cincinnati, OH 45206
p: 513.504.2369

CONTEXT PHOTOS - NORTH / SOUTH



HAMILTON AVE. AT AMBROSE AVE. ←

→ HAMILTON AVE. AT MARLOWE AVE.



HAMILTON AVE. AT MARLOWE AVE. ←

→ HAMILTON AVE. AT CEDAR AVE.

CONTEXT PHOTOS - EAST / WEST



MARLOWE AVE. AT BUDMAR AVE. ←

→ MARLOWE AVE. AT HAMILTON AVE.



MARLOWE AVE. AT HAMILTON AVE. ←

→ MARLOWE AVE. AT SALVIA AVE.

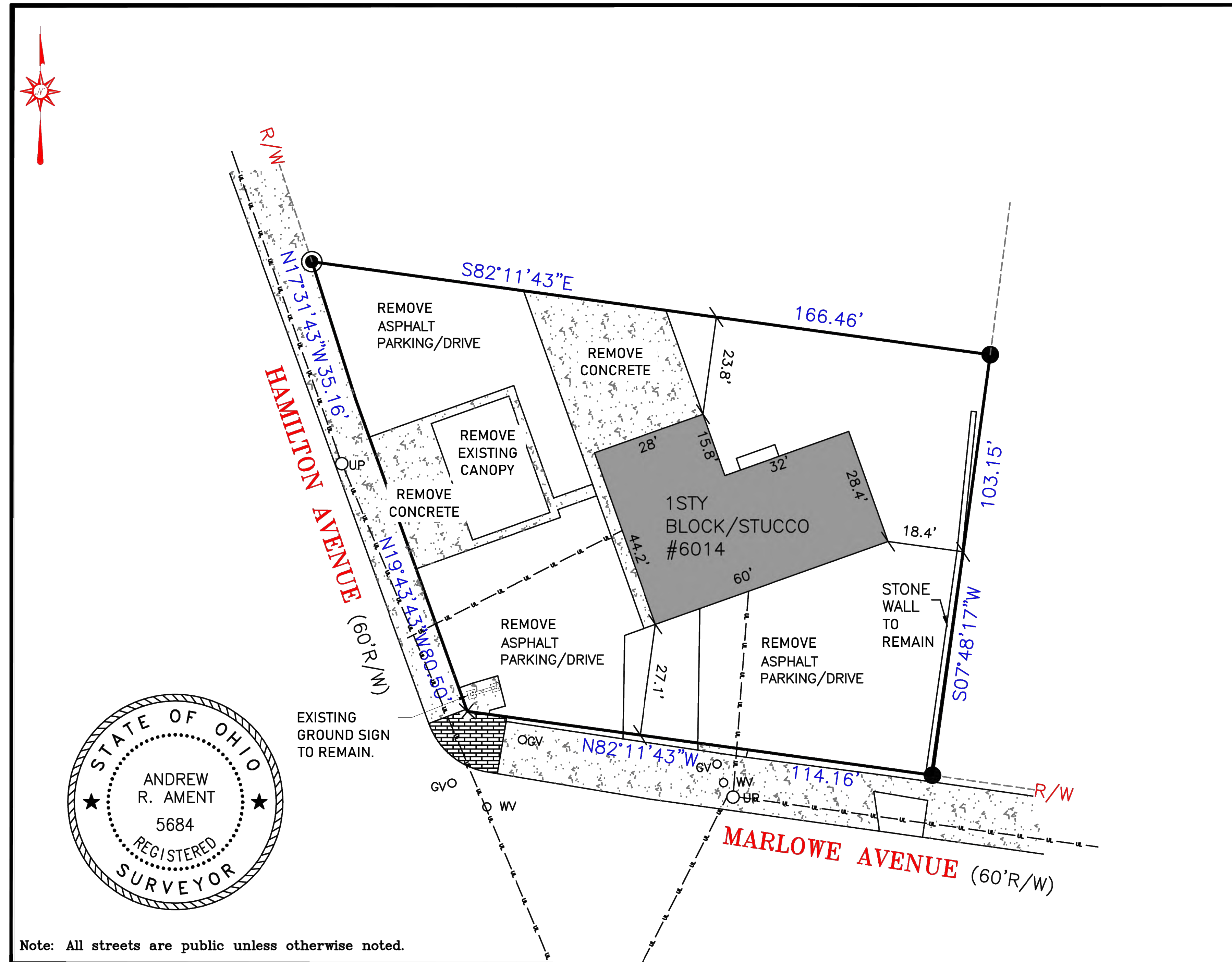
chroma
architecture + design
1612 Dexter Ave.
Cincinnati, OH 45206
p: 513.504.2369

QUEEN CITY RADIO - COLLEGE HILL
6014 Hamilton Ave.
Cincinnati, OH 45224

submission / date:
• HCB Submission / 01.26.2024
• Revised HCB Submission / 02.22.2024

CONTEXT PHOTOS

A0.2



Note: All streets are public unless otherwise noted.

ANDREW R. AMENT,
LAND SURVEYOR, PSC
OHIO-KENTUCKY
655 Fair Oaks Lane
Edgewood, Kentucky 41017
amenturveying@gmail.com
o: (859) 341-7878 F: (859) 341-7827

RETRACEMENT SURVEY

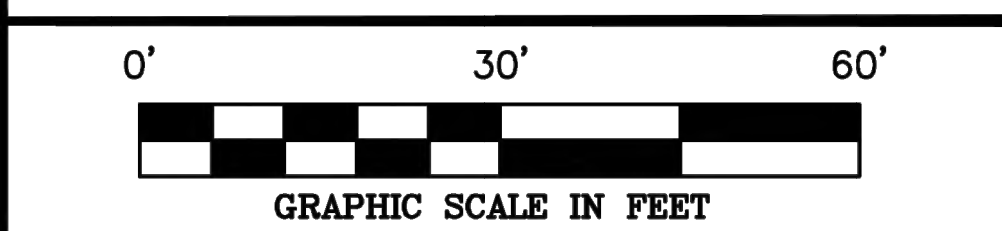
CHRIS RECKMAN
6014 HAMILTON AVENUE
HAMILTON COUNTY
COLLEGE HILL, OHIO 45224

E.N. WILD'S SUBDIVISION IN COLLEGE HILL
MILLCREEK TOWNSHIP
PT LOT 1 7 PT LOT 2
PLAT BOOK 15 PAGE 18

SURVEYOR'S CERTIFICATE
I hereby certify that the survey depicted by this plat was done by persons under my direct supervision. The unadjusted precision ratio meets or exceeds minimum standards. The survey as shown hereon is a Class A survey and the accuracy and precision of said survey meets all the specifications of this class.
Field work was completed on 1-3-2024.
Date of Plat of Map is 1-4-2024.

Andrew R. Ament PLS
Andrew R Ament, Land Surveyor, PSC
Registered Land Surveyor
Registration No. OH 5684, KY 1729

Notes:
1. All streets are public unless otherwise noted.
2. Survey was performed using a dual frequency Topcon Hiper SR in Ohio State Plane South Zone, NAD 83 & NAVD 88, utilizing Geoid12A.

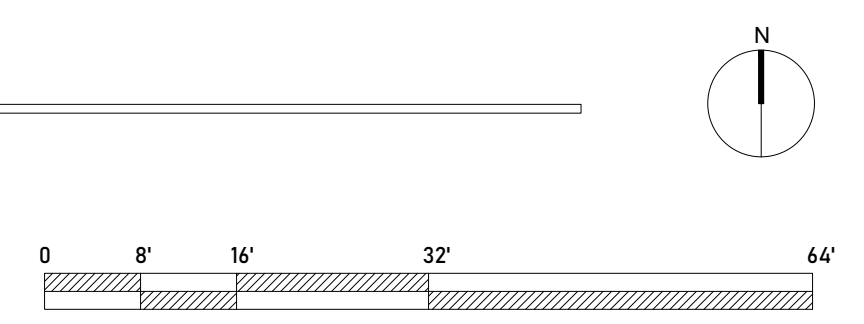


LEGEND

● Iron Pin (fd)	Concrete
○ Iron Pin (set), being 1", 30" long with cap (#5684)	Structure
⊙ Iron Pipe (fd) OD size per plan	Asphalt
⊗ Stone (fd)	Decking
▲ P.K., RR Stake or Mag Nail (fd)	Gravel
△ P.K., RR Stake or Mag Nail (set)	
□ Hub or Stake (set)	
× Notch found in concrete	
— Lot Lines	
— Ownership Lines	
— Overhead Utilities	

DRAWN: MPN CHECKED: ARA SCALE: 1"=30'

EXISTING / DEMO SITE PLAN
1/16" = 1'-0"



QUEEN CITY RADIO - COLLEGE HILL
6014 Hamilton Ave.
Cincinnati, OH 45224

submission / date:
• HCB Submission / 01.26.2024
• Revised HCB Submission / 02.22.2024

EXISTING / DEMO SITE PLAN

A1.0

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LEGEND

- LANDSCAPING - LOW BUSHES OR PERENNIALS
- LANDSCAPING - TALLER EVERGREENS (ARBORVITAE OR SIM.)
- NEW FENCING - SEE NOTES FOR TYPE.
- NEW CONCRETE PAVING WITH BROOM FINISH.
- NEW ASPHALT PAVING
- NEW MULCHED LANDSCAPE BED
- GROUND COVER (GRAVEL OR RIVER ROCK)
- EXISTING PAVING TO REMAIN (NO HATCH)

ZONING NOTES

PARKING

- FIRST 5000 SF SPACE (INTERIOR + EXTERIOR) EXEMPT FROM PARKING REQUIREMENT.
- TOTAL INDOOR AREA = 2155 GSF
- TOTAL OUTDOOR SEATING AREA = 1049 SF
- TOTAL 3,204 SF - EXEMPT, NO PARKING REQUIRED.
- 4 PARKING SPACES WILL BE MAINTAINED FOR STAFF ONLY.
- PARKING IS MINIMUM 40' FROM PRIMARY STREET (HAMILTON AVE.) AND 5' FROM BUILDING.
- PARKING IS ACCESSED FROM AN INTERIOR AISLE (DOES NOT BACK OUT ONTO STREET)

LAYOUT

- 0' SETBACK REQUIRED ON ALL SIDES.
- FENCING OR SITE WALLS ARE LIMITED TO 2'-3" IN HEIGHT. A DIMENSIONAL VARIANCE IS REQUESTED FOR 6' HIGH FENCING ON ALL SIDES OF THE PROPERTY.

SIGNS

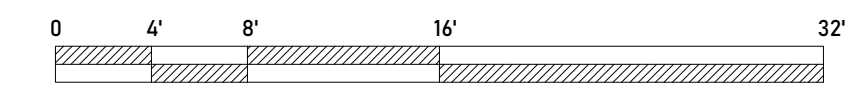
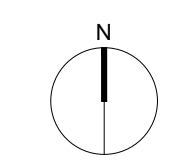
- WALL SIGN UP TO 44 SF ALLOWED ON FACADE FACING HAMILTON. 8" MAX PROJECTION
- WALL MURAL UP TO 1000 SF ALLOWED ON FACADE FACING MARLOW.
- 3' ABOVE GROUND
- MAX. 60" WIDE / MAX. 50" HIGH.
- EXISTING GROUND SIGN MAY REMAIN AND BE REFACED.
- SEE NEW WORK ELEVATIONS FOR PROPOSED WALL SIGNS

OUTDOOR DINING

- A USE PERMIT IS REQUESTED FOR AN EATING AND DRINKING ESTABLISHMENT.
- A USE PERMIT IS REQUESTED FOR OUTDOOR SEATING AREA WITHIN 100' OF A RESIDENTIAL ZONE.
- A USE PERMIT IS REQUESTED FOR THE OUTDOOR SEATING AREA WITHIN 500' OF A RESIDENTIAL ZONE TO EXCEED 50% OF THE INTERIOR AREA.
- INDOOR AREA = 1298 NSF
- OUTDOOR AREA = 1049 NSF (80%)
- A USE PERMIT IS REQUESTED FOR OUTDOOR ENTERTAINMENT AND THE USE OF AUDIO/VISUAL EQUIPMENT OR AMPLIFIED SOUND WITHIN 500' OF A RESIDENTIAL ZONE.



1
A1.1
NEW WORK SITE PLAN
1/8" = 1'-0"



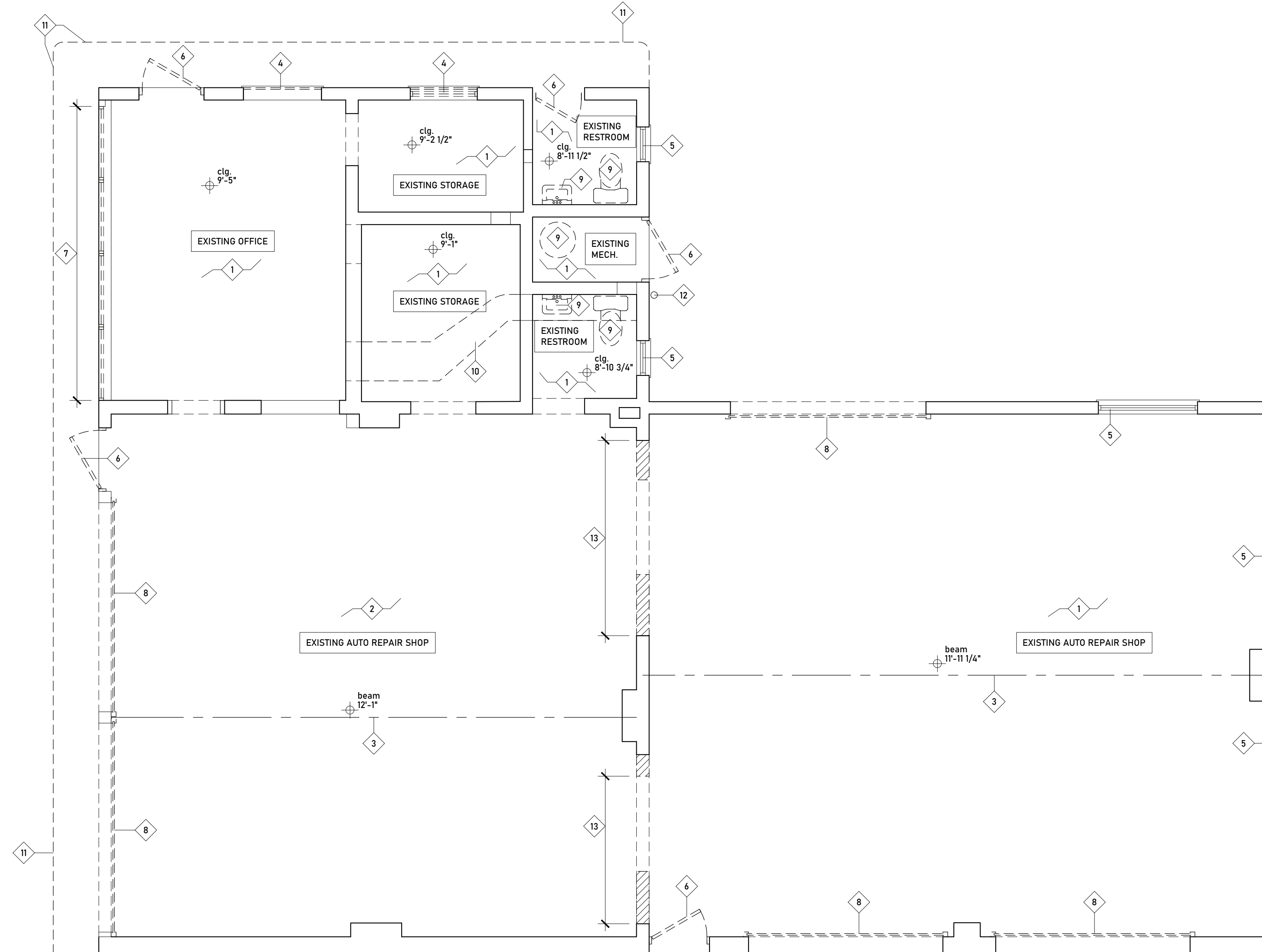
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PLOTTED: 2/22/24

DEMO PLAN GENERAL NOTES

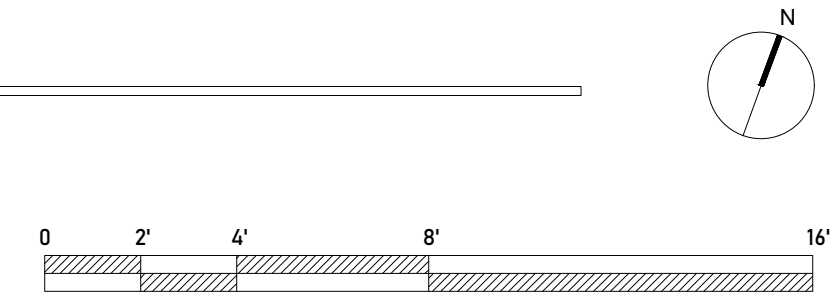
- ALL DASHED ELEMENTS TO BE REMOVED, U.N.O. CONSULT ARCH. IF INTENT IS UNCLEAR.
- ALL EXISTING STRUCTURAL ELEMENTS, ARE TO REMAIN, U.N.O. G.C. TO PROVIDE ANY TEMPORARY SHORING REQ'D.
- COORDINATE ANY NEW MASONRY OPENINGS WITH NEW WORK PLANS. WHERE CMU IS EXPOSED, TOOTH OUT CMU AT JAMBS AND SALVAGE SUFFICIENT CMU FOR KEYING IN AT JAMBS.
- EXISTING LINTELS AND SILLS TO REMAIN. G.C. TO INSPECT LINTEL CONDITION FOLLOWING WINDOW AND DOOR REMOVAL.
- REMOVE ANY EXISTING PLYWOOD INFILLS OR BARRICADES.
- REMOVE ANY EXISTING LOOSE PLASTER. ALL EXISTING STABLE PLASTER TO REMAIN, U.N.O.
- REMOVE ALL EXISTING DRYWALL / PLASTER AND LATH AT CEILING TO EXPOSE JOISTS, U.O.N.
- NEW FLOOR, ROOF, AND WALL PENETRATIONS FOR NEW MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS ARE NOT SHOWN. G.C. TO COORDINATE ANY REQ'D PENETRATIONS WITH THE MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS.
- ALL CHIMNEYS & ASSOCIATED ELEMENTS ARE TO REMAIN, U.N.O. VERIFY STRUCTURAL INTEGRITY IN FIELD.

DEMO PLAN KEYED NOTES

1. EXISTING CONCRETE SLAB TO REMAIN. REMOVE ANY FINISH FLOORING INSTALLED OVERTOP OF THE EXISTING SLAB.
2. REMOVE EXISTING CONCRETE SLAB AND PREP FOR REPLACEMENT.
3. EXISTING STEEL BEAM (ABOVE) TO REMAIN IN PLACE.
4. REMOVE EXISTING WINDOW OR INFILL AT EXISTING OPENING.
5. REMOVE EXISTING STEEL WINDOW FOR REFURBISHMENT. STORE AND PROTECT FOR REINSTALLATION.
6. REMOVE EXISTING DOOR AND FRAME (INCLUDING TRANSOM WHERE OCCURS) AT EXISTING OPENING.
7. REMOVE EXISTING STOREFRONT SYSTEM IN ENTIRETY. EXISTING STRUCTURAL ELEMENTS TO REMAIN.
8. REMOVE EXISTING GARAGE DOOR IN ENTIRETY, INCLUDING RAILS AND MOTOR.
9. REMOVE EXISTING PLUMBING FIXTURE AND PREP FOR REPLACEMENT.
10. REMOVE EXISTING DUCTWORK ABOVE.
11. REMOVE EXISTING CONCRETE SIDEWALK OR CURB.
12. REMOVE EXISTING CAST IRON OR PVC BOOT. PREP. FOR REPLACEMENT.
13. MODIFY / ENLARGE EXISTING MASONRY OPENING AS REQ'D BY NEW WORK. PROVIDE TEMPORARY BRACING AS REQ'D. NOTIFY STRUCTURAL ENGINEER IF FURTHER EVALUATION REQUIRED.
14. REMOVE ALL EXISTING ROOFING INCLUDING FASTENERS DOWN TO ROOF SHEATHING. VERIFY THE CONDITION OF EXISTING ROOF SHEATHING AND REMOVE DAMAGED OR DETERIORATED AREAS.
15. REMOVE EXISTING DOWNSPOUT.
16. REMOVE EXISTING HUNG GUTTER AND GUTTER BOARD (WHERE OCCURS).
17. EXISTING PARAPET TO REMAIN. REMOVE COPING AND PREP. FOR REPLACEMENT.



1
A2.1
EXISTING / DEMO FLOOR PLAN
1/4" = 1'-0"

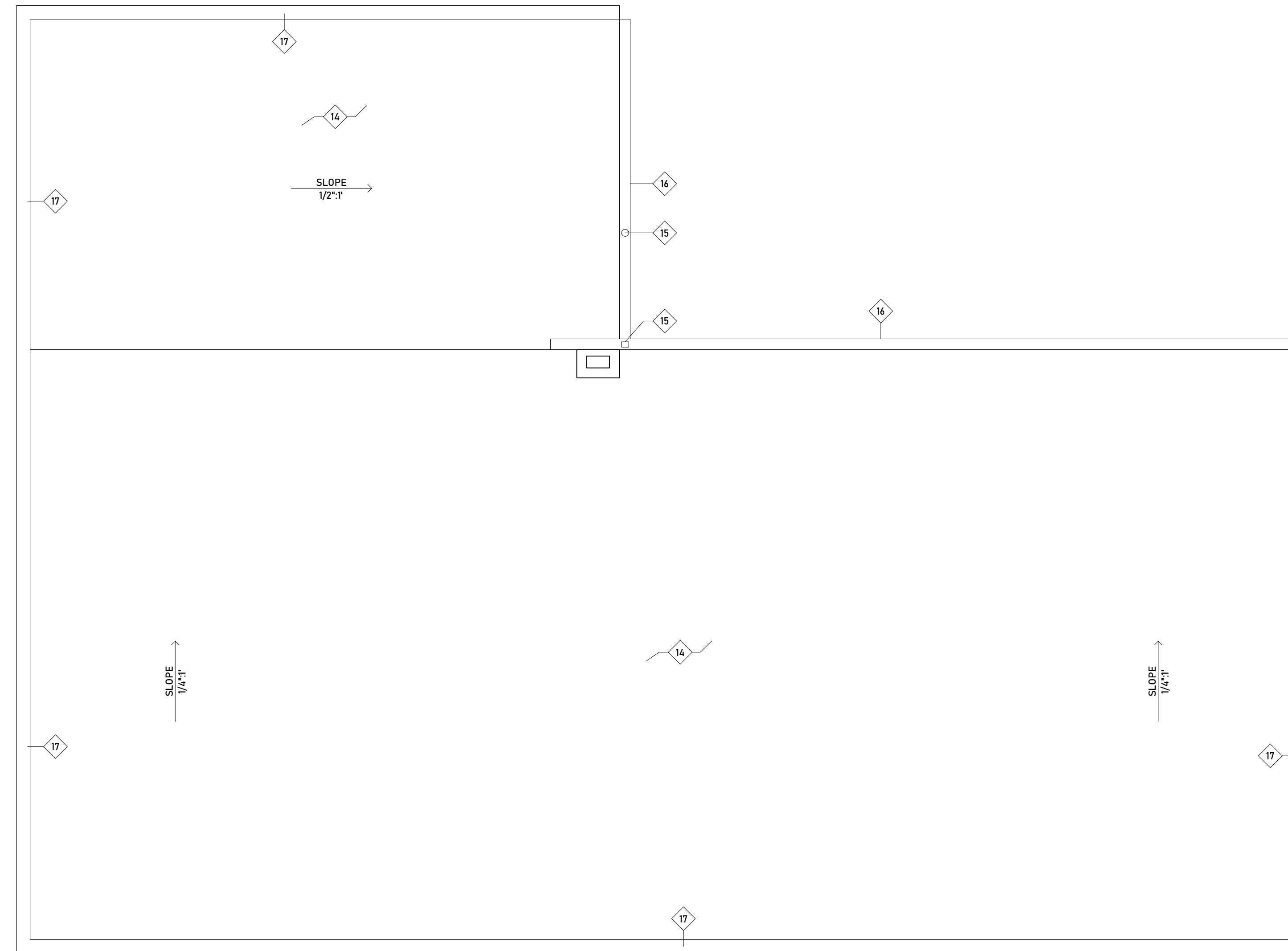


DEMO PLAN GENERAL NOTES

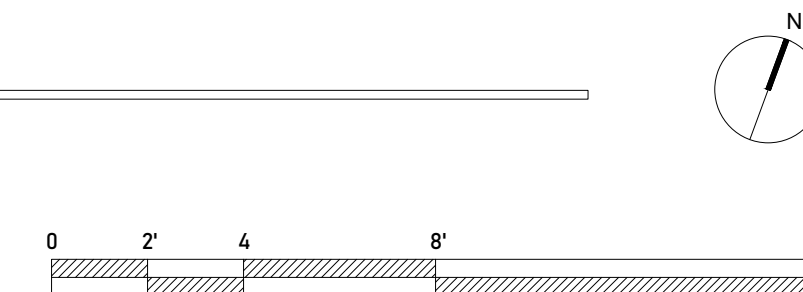
- ALL DASHED ELEMENTS TO BE REMOVED, U.N.O. CONSULT ARCH. IF INTENT IS UNCLEAR.
- ALL EXISTING STRUCTURAL ELEMENTS, ARE TO REMAIN, U.N.O. G.C. TO PROVIDE ANY TEMPORARY SHORING REQ'D.
- COORDINATE ANY NEW MASONRY OPENINGS WITH NEW WORK PLANS. WHERE CMU IS EXPOSED, TOOTH OUT CMU AT JAMBS AND SALVAGE SUFFICIENT CMU FOR KEYING IN AT JAMBS.
- EXISTING LINTELS AND SILLS TO REMAIN. G.C. TO INSPECT LINTEL CONDITION FOLLOWING WINDOW AND DOOR REMOVAL.
- REMOVE ANY EXISTING PLYWOOD INFILLS OR BARRICADES.
- REMOVE ANY EXISTING LOOSE PLASTER. ALL EXISTING STABLE PLASTER TO REMAIN, U.N.O.
- REMOVE ALL EXISTING DRYWALL / PLASTER AND LATH AT CEILING TO EXPOSE JOISTS, U.O.N.
- NEW FLOOR, ROOF, AND WALL PENETRATIONS FOR NEW MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS ARE NOT SHOWN. G.C. TO COORDINATE ANY REQ'D PENETRATIONS WITH THE MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS.
- ALL CHIMNEYS & ASSOCIATED ELEMENTS ARE TO REMAIN, U.N.O. VERIFY STRUCTURAL INTEGRITY IN FIELD.

DEMO PLAN KEYED NOTES

1. EXISTING CONCRETE SLAB TO REMAIN. REMOVE ANY FINISH FLOORING INSTALLED OVERTOP OF THE EXISTING SLAB.
2. REMOVE EXISTING CONCRETE SLAB AND PREP FOR REPLACEMENT.
3. EXISTING STEEL BEAM (ABOVE) TO REMAIN IN PLACE.
4. REMOVE EXISTING WINDOW OR INFILL AT EXISTING OPENING.
5. REMOVE EXISTING STEEL WINDOW FOR REFURBISHMENT. STORE AND PROTECT FOR REINSTALLATION.
6. REMOVE EXISTING DOOR AND FRAME (INCLUDING TRANSOM WHERE OCCURS) AT EXISTING OPENING.
7. REMOVE EXISTING STOREFRONT SYSTEM IN ENTIRETY. EXISTING STRUCTURAL ELEMENTS TO REMAIN.
8. REMOVE EXISTING GARAGE DOOR IN ENTIRETY, INCLUDING RAILS AND MOTOR.
9. REMOVE EXISTING PLUMBING FIXTURE AND PREP FOR REPLACEMENT.
10. REMOVE EXISTING DUCTWORK ABOVE.
11. REMOVE EXISTING CONCRETE SIDEWALK OR CURB.
12. REMOVE EXISTING CAST IRON OR PVC BOOT. PREP. FOR REPLACEMENT.
13. MODIFY / ENLARGE EXISTING MASONRY OPENING AS REQ'D BY NEW WORK. PROVIDE TEMPORARY BRACING AS REQ'D. NOTIFY STRUCTURAL ENGINEER IF FURTHER EVALUATION REQUIRED.
14. REMOVE ALL EXISTING ROOFING INCLUDING FASTENERS DOWN TO ROOF SHEATHING. VERIFY THE CONDITION OF EXISTING ROOF SHEATHING AND REMOVE DAMAGED OR DETERIORATED AREAS.
15. REMOVE EXISTING DOWNSPOUT.
16. REMOVE EXISTING HUNG GUTTER AND GUTTER BOARD (WHERE OCCURS).
17. EXISTING PARAPET TO REMAIN. REMOVE COPING AND PREP. FOR REPLACEMENT.



1
A2.2
EXISTING / DEMO ROOF PLAN
1/4" = 1'-0"

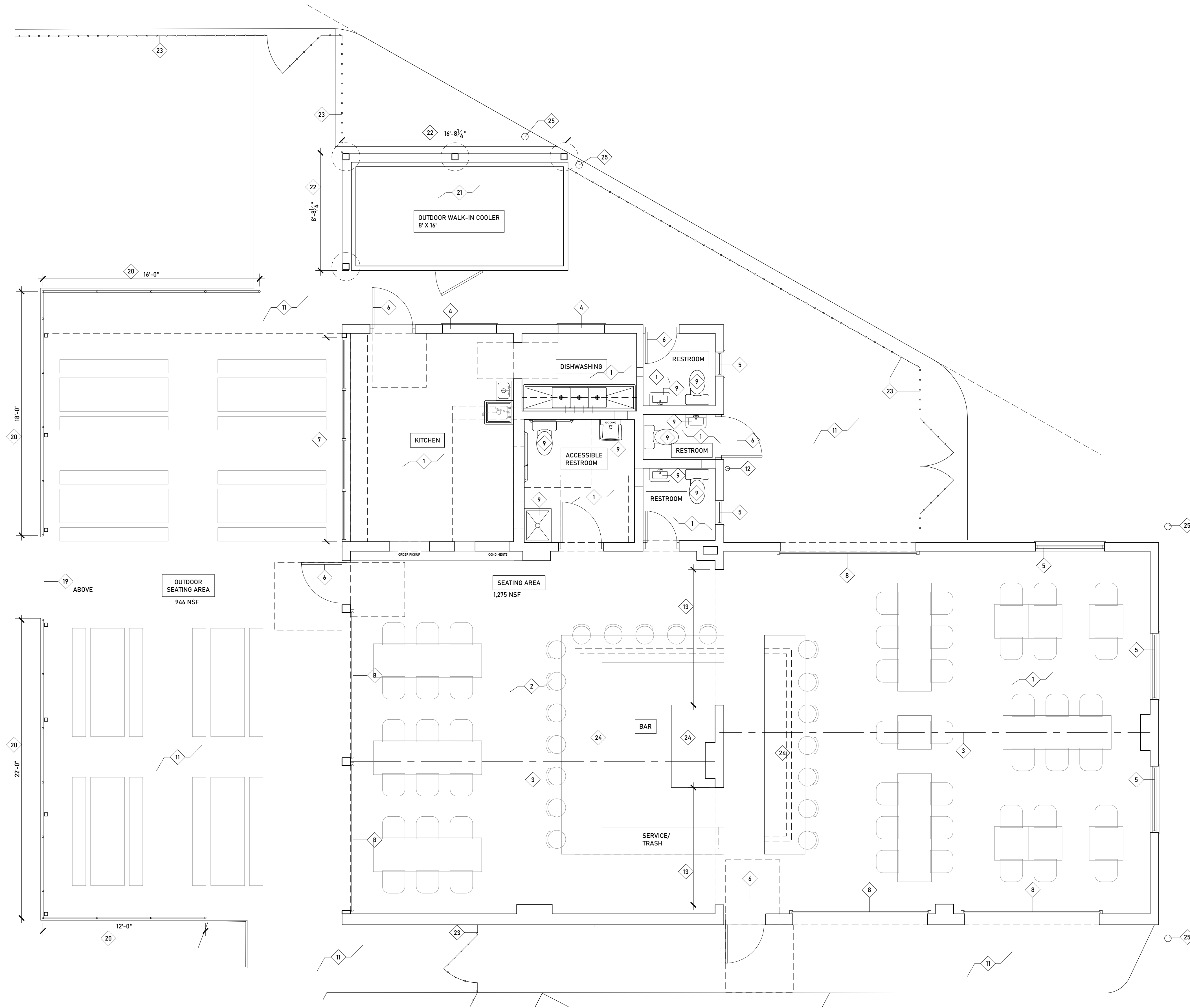


NEW WORK PLAN GENERAL NOTES

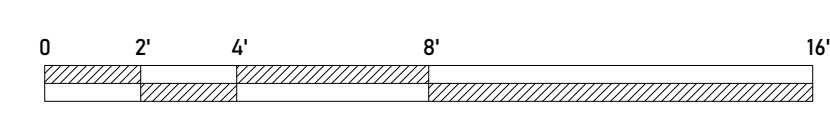
- ALL PLAN DIMENSIONS ARE FACE-OF-FINISH TO FACE-OF-FINISH, U.N.O. DOOR DIMENSIONS ARE TO CENTERLINE OF DOOR, TYP. U.N.O.
- CEILING HEIGHTS INDICATED ON PLANS ARE FROM FINISH FLOOR TO FINISH CEILING. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- EXISTING LINTELS AND SILLS TO REMAIN. G.C. TO INSPECT LINTEL CONDITION FOLLOWING WINDOW AND DOOR REMOVAL. NOTIFY E.O.R. IF DETERIORATION FOUND. REPLACE LINTELS AS REQUIRED.
- ALL CHIMNEYS & ASSOCIATED ELEMENTS ARE TO REMAIN, U.N.O. CAP IF NOT ALREADY CAPPED.
- REPLACE DAMAGED, DETERIORATED, OR MISSING ROOF SHEATHING.
- SEE SITE PLAN A11 FOR ADDITIONAL NOTES.
- FURNITURE BY OWNER. SHOWN FOR REFERENCE ONLY.
- KITCHEN EQUIPMENT AND SINKS BY KITCHEN SUPPLIER. SHOWN FOR REFERENCE ONLY.

NEW WORK PLAN KEYED NOTES

1. EXISTING CONCRETE SLAB TO REMAIN. GRIND AND SEAL.
2. NEW CONCRETE SLAB. SEAL.
3. EXISTING STEEL BEAM (ABOVE) TO REMAIN IN PLACE - PAINT.
4. INFILL EXISTING OPENING WITH 4" CMU. RECESS NEW MASONRY #2" FROM FACE OF EXISTING MASONRY. PARGE SURFACE TO MATCH EXISTING.
5. REINSTALL REFURBISHED STEEL WINDOW IN EXISTING OPENING.
6. NEW THERMALLY BROKEN ALUMINUM STOREFRONT DOOR AND TRANSOM (WHERE OCCURS) IN CLEAR ANODIZED FINISH. PROVIDE FROSTED GLASS AT BATHROOM DOORS, TYP. DOOR FRAME TO BE SIZED TO FIT EXISTING MASONRY OPENING. B.O.D. KAWNEER AA 425.
7. NEW THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM IN CLEAR ANODIZED FINISH. PROVIDE SOLID INSULATED PANELS IN LOWER SECTION TO MATCH FRAME FINISH. STOREFRONT TO BE SIZED TO FIT EXISTING OPENING WITH EQUAL WIDTH LITES. B.O.D. KAWNEER TRIFAB 451 UT.
8. NEW INSULATED ALUMINUM AND GLASS GARAGE DOOR IN CLEAR ANODIZED FINISH. B.O.D. OVERHEAD DOOR MODEL 521.
9. NEW PLUMBING FIXTURE.
10. NOT USED.
11. NEW CONCRETE SIDEWALK OR CURB. SEE SITE PLAN A11 FOR FULL EXTENTS.
12. INSTALL NEW PVC BOOT AT EXISTING LOCATION AND PROVIDE CONNECTION TO STORM / SANITARY LINE. SEE CIVIL DWGS.
13. ENLARGED MASONRY OPENING.
14. INSTALL NEW EPDM ROOFING OVER 4" RIGID INSULATION.
15. INSTALL NEW PRE-FINISHED ALUMINUM DOWNSPOUT.
16. INSTALL NEW 1X WOOD GUTTER BOARD WRAPPED IN PRE-FINISHED ALUMINUM BRAKE METAL, PRE-FINISHED ALUMINUM DRIP EDGE AND 6" PRE-FINISHED K-STYLE ALUMINUM GUTTER.
17. EXISTING PARAPET TO REMAIN. ROOF MEMBRANE TO WRAP OVER TOP OF PARAPET WALL PER MFR DETAILS. INSTALL NEW PRE-FINISHED ALUMINUM COPING.
18. APPROXIMATE LOCATION OF NEW EQUIPMENT ON ROOF. SEE NEW WORK ROOF PLAN A3.2.
19. NEW FABRIC CANOPY WITH STEEL SUPPORT POSTS. B.O.D. QUEEN CITY AWNING GUARDIAN CANOPY.
20. NEW GALVANIZED STEEL PIPE RAILING, 3'-0" HIGH, AT PERIMETER OF OUTDOOR SEATING.
21. NEW EXTERIOR WALK-IN COOLER BY KITCHEN SUPPLIER. SEE A7.0 FOR TYPICAL CUTSHEET.
22. NEW WOOD SCREEN WALL WITH 6x6 P.T. SUPPORT POSTS AND 1x6 P.T. SLATS SPACED 6" O.C. WALL TO BE STAINED OR PAINTED. FINAL HEIGHT OF WALL TO BE MINIMUM 12" TALLER THAN WALK-IN COOLER.
23. 6'-0" HIGH PAINTED ALUMINUM PICKET FENCE. SEE SITE PLAN A11 FOR FULL FENCE EXTENTS.
24. BUILT-IN BAR. CONSTRUCTION AND INSTALLATION BY OTHERS. KITCHEN SUPPLIER TO COORDINATE ALL EQUIPMENT.
25. NEW BOLLARD.



1
A3.1
NEW WORK FLOOR PLAN
1/4" = 1'-0"



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 PLOTTED: 2/22/24

NEW WORK PLAN GENERAL NOTES

- ALL PLAN DIMENSIONS ARE FACE-OF-FINISH TO FACE-OF-FINISH, U.N.O. DOOR DIMENSIONS ARE TO CENTERLINE OF DOOR, TYP. U.N.O.
- CEILING HEIGHTS INDICATED ON PLANS ARE FROM FINISH FLOOR TO FINISH CEILING. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- EXISTING LINTELS AND SILLS TO REMAIN. G.C. TO INSPECT LINTEL CONDITION FOLLOWING WINDOW AND DOOR REMOVAL. NOTIFY E.O.R. IF DETERIORATION FOUND. REPLACE LINTELS AS REQUIRED.
- ALL CHIMNEYS & ASSOCIATED ELEMENTS ARE TO REMAIN, U.N.O. CAP IF NOT ALREADY CAPPED.
- REPLACE DAMAGED, DETERIORATED, OR MISSING ROOF SHEATHING.
- SEE SITE PLAN A1.1 FOR ADDITIONAL NOTES.
- FURNITURE BY OWNER. SHOWN FOR REFERENCE ONLY.
- KITCHEN EQUIPMENT AND SINKS BY KITCHEN SUPPLIER. SHOWN FOR REFERENCE ONLY.

NEW WORK PLAN KEYED NOTES

- EXISTING CONCRETE SLAB TO REMAIN. GRIND AND SEAL.
- NEW CONCRETE SLAB. SEAL.
- EXISTING STEEL BEAM (ABOVE) TO REMAIN IN PLACE - PAINT.
- INFILL EXISTING OPENING WITH 4" CMU. RECESS NEW MASONRY #2" FROM FACE OF EXISTING MASONRY. PARGE SURFACE TO MATCH EXISTING.
- REINSTALL REFURBISHED STEEL WINDOW IN EXISTING OPENING.
- NEW THERMALLY BROKEN ALUMINUM STOREFRONT DOOR AND TRANSOM (WHERE OCCURS) IN CLEAR ANODIZED FINISH. PROVIDE FROSTED GLASS AT BATHROOM DOORS, TYP. DOOR FRAME TO BE SIZED TO FIT EXISTING MASONRY OPENING. B.O.D. KAWNEER AA 425.
- NEW THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM IN CLEAR ANODIZED FINISH. PROVIDE SOLID INSULATED PANELS IN LOWER SECTION TO MATCH FRAME FINISH. STOREFRONT TO BE SIZED TO FIT EXISTING OPENING WITH EQUAL WIDTH LITES. B.O.D. KAWNEER TRIFAB 451 UT.
- NEW INSULATED ALUMINUM AND GLASS GARAGE DOOR IN CLEAR ANODIZED FINISH. B.O.D. OVERHEAD DOOR MODEL 521.
- NEW PLUMBING FIXTURE.
- NOT USED.
- NEW CONCRETE SIDEWALK OR CURB. SEE SITE PLAN A1.1 FOR FULL EXTENTS.
- INSTALL NEW PVC BOOT AT EXISTING LOCATION AND PROVIDE CONNECTION TO STORM / SANITARY LINE. SEE CIVIL DWGS.
- ENLARGED MASONRY OPENING.
- INSTALL NEW EPDM ROOFING OVER 4" RIGID INSULATION.
- INSTALL NEW PRE-FINISHED ALUMINUM DOWNSPOUT.
- INSTALL NEW 1X WOOD GUTTER BOARD WRAPPED IN PRE-FINISHED ALUMINUM BRAKE METAL, PRE-FINISHED ALUMINUM DRIP EDGE AND 6" PRE-FINISHED K-STYLE ALUMINUM GUTTER.
- EXISTING PARAPET TO REMAIN. ROOF MEMBRANE TO WRAP OVER TOP OF PARAPET WALL PER MFR DETAILS. INSTALL NEW PRE-FINISHED ALUMINUM COPING.
- APPROXIMATE LOCATION OF NEW EQUIPMENT ON ROOF. SEE NEW WORK ROOF PLAN A3.2.
- NEW FABRIC CANOPY WITH STEEL SUPPORT POSTS. B.O.D. QUEEN CITY AWNING GUARDIAN CANOPY.
- NEW GALVANIZED STEEL PIPE RAILING, 3'-0" HIGH, AT PERIMETER OF OUTDOOR SEATING.
- NEW EXTERIOR WALK-IN COOLER BY KITCHEN SUPPLIER. SEE A7.0 FOR TYPICAL CUTSHEET.
- NEW WOOD SCREEN WALL WITH 6x6 P.T. SUPPORT POSTS AND 1x6 P.T. SLATS SPACED 6" O.C. WALL TO BE STAINED OR PAINTED. FINAL HEIGHT OF WALL TO BE MINIMUM 12" TALLER THAN WALK-IN COOLER.
- 6'-0" HIGH PAINTED ALUMINUM PICKET FENCE. SEE SITE PLAN A1.1 FOR FULL FENCE EXTENTS.
- BUILT-IN BAR. CONSTRUCTION AND INSTALLATION BY OTHERS. KITCHEN SUPPLIER TO COORDINATE ALL EQUIPMENT.
- NEW BOLLARD.

chroma
architecture + design

1612 Dexter Ave.
Cincinnati, OH 45206
p: 513.504.2369

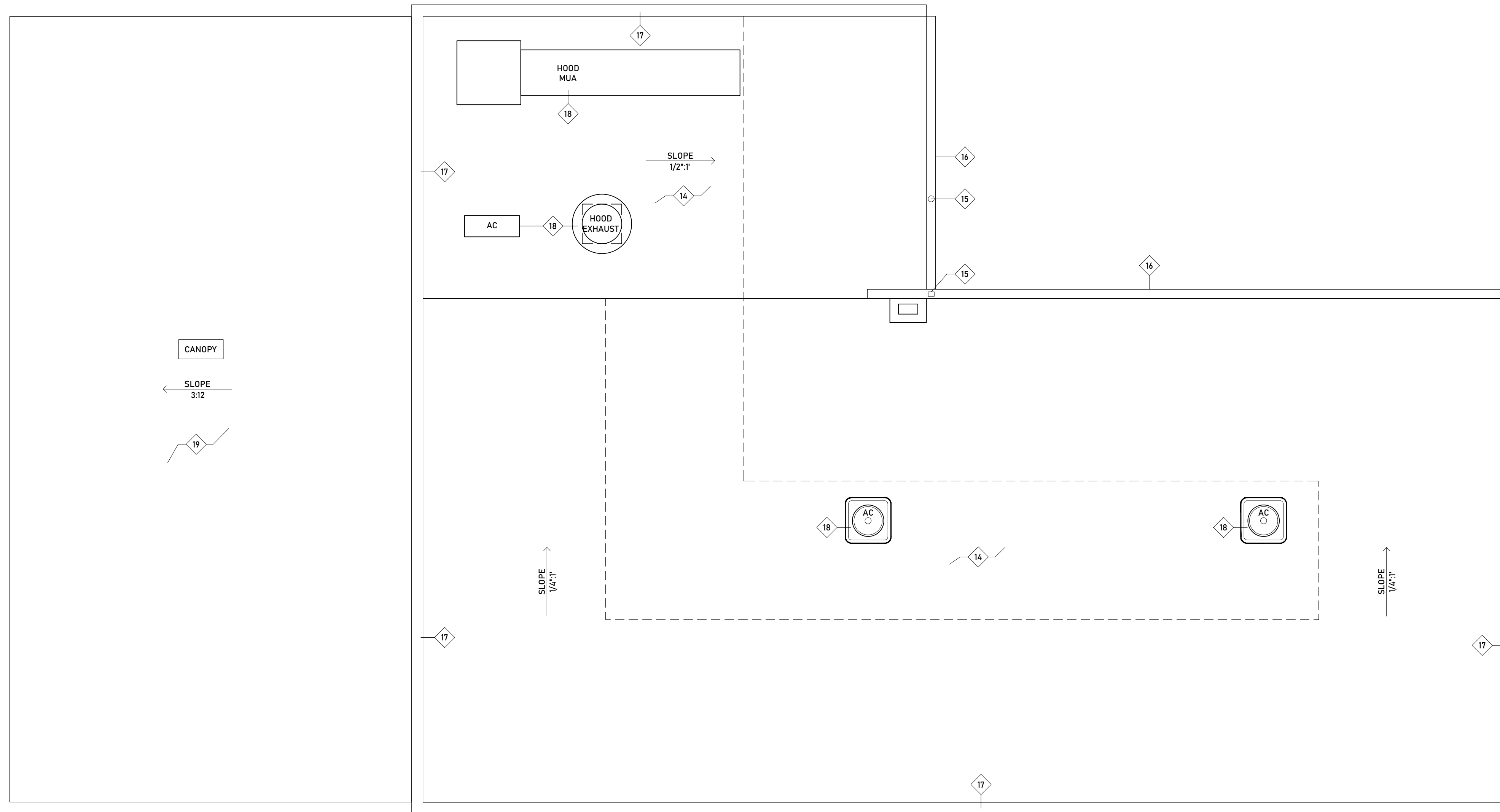
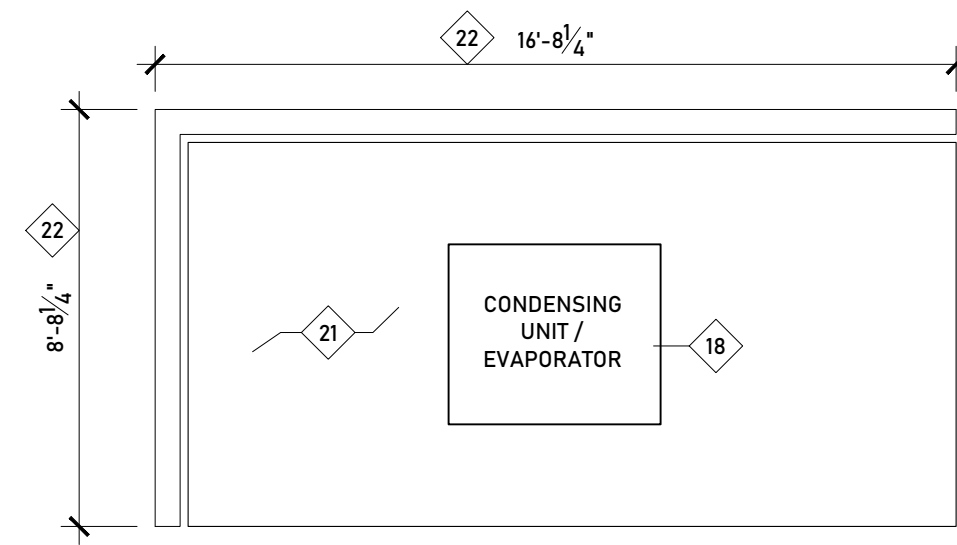
QUEEN CITY RADIO - COLLEGE HILL
6014 Hamilton Ave.
Cincinnati, OH 45224

submission / date:

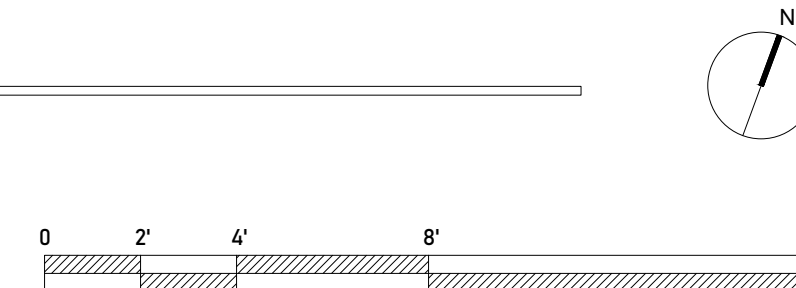
- HCB Submission / 01.26.2024
- Revised HCB Submission / 02.22.2024

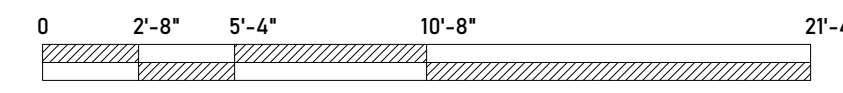
NEW WORK ROOF PLAN

A3.2



1
A3.2 NEW WORK ROOF PLAN
1/4" = 1'-0"



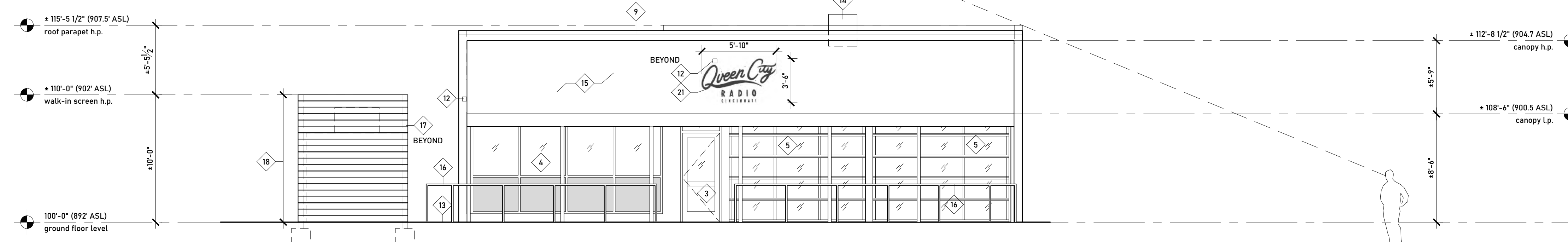


NEW WORK ELEVATION GENERAL NOTES

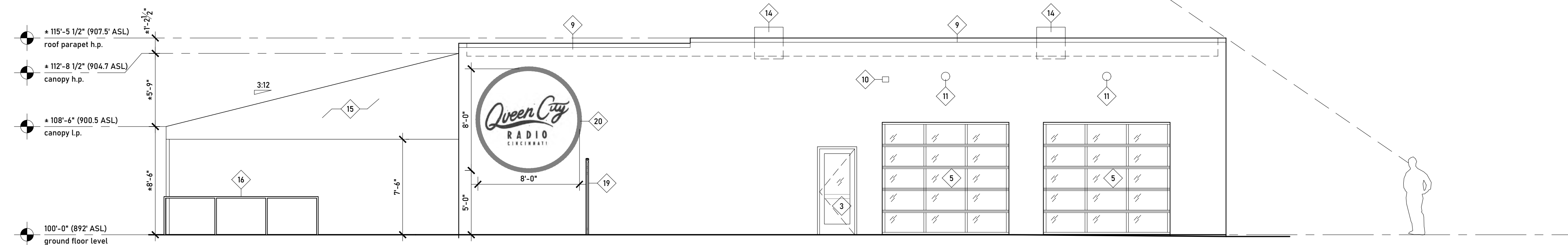
- RE-PARGE EXISTING CMU WALLS AS REQUIRED AND RE-PAINT. PAINT COLOR SELECTION BY OWNER.
- EXISTING LINTELS AND SILLS TO REMAIN. G.C. TO INSPECT LINTEL CONDITION FOLLOWING WINDOW AND DOOR REMOVAL. NOTIFY E.O.R. IF DETERIORATION FOUND. REPLACE LINTELS AS REQUIRED.
- ALL CHIMNEYS & ASSOCIATED ELEMENTS ARE TO REMAIN, U.N.O. CAP IF NOT ALREADY CAPPED.
- SEE NEW WORK ROOF PLAN A3.2 FOR SCOPE OF WORK AT ROOF.
- SEE A7.0 AND A7.1 FOR PRODUCT BROCHURES AND MATERIAL EXAMPLES.

NEW WORK ELEVATION KEYED NOTES

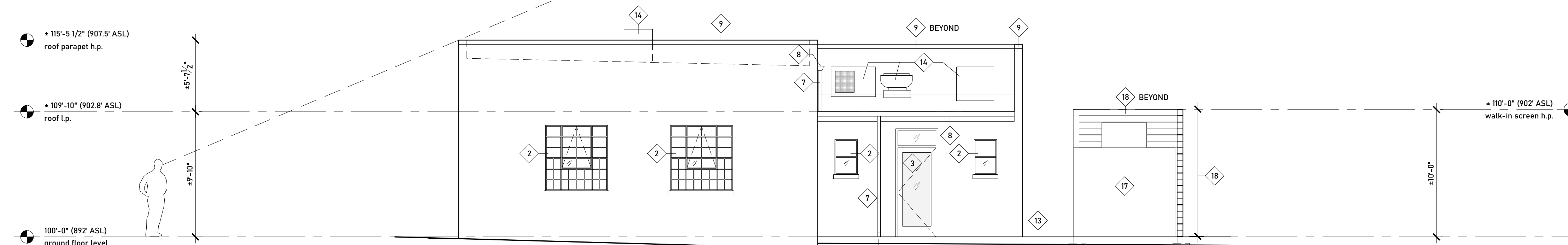
1. INFILL EXISTING OPENING WITH 4" CMU. RECESS NEW MASONRY +2" FROM FACE OF EXISTING MASONRY. PARGE SURFACE TO MATCH EXISTING.
2. REINSTALL REFURBISHED STEEL WINDOW IN EXISTING OPENING.
3. NEW THERMALLY BROKEN ALUMINUM STOREFRONT DOOR AND TRANSOM (WHERE OCCURS) IN CLEAR ANODIZED FINISH. PROVIDE FROSTED GLASS AT BATHROOM DOORS, TYP. DOOR FRAME TO BE SIZED TO FIT EXISTING MASONRY OPENING. B.O.D. KAWNEER AA 425.
4. NEW THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM IN CLEAR ANODIZED FINISH. PROVIDE SOLID INSULATED PANELS IN LOWER SECTION TO MATCH FRAME FINISH. STOREFRONT TO BE SIZED TO FIT EXISTING OPENING WITH EQUAL WIDTH LITES. B.O.D. KAWNEER TRIFAB 451 UT.
5. NEW INSULATED ALUMINUM AND GLASS GARAGE DOOR IN CLEAR ANODIZED FINISH. B.O.D. OVERHEAD DOOR MODEL 521.
6. INSTALL NEW PVC BOOT AT EXISTING LOCATION AND PROVIDE CONNECTION TO STORM / SANITARY LINE. SEE CIVIL DWGS.
7. INSTALL NEW PRE-FINISHED ALUMINUM DOWNSPOUT.
8. INSTALL NEW 1X WOOD GUTTER BOARD WRAPPED IN PRE-FINISHED ALUMINUM BRAKE METAL, PRE-FINISHED ALUMINUM DRIP EDGE AND 6" PRE-FINISHED K-STYLE ALUMINUM GUTTER.
9. ROOF MEMBRANE TO WRAP OVER TOP OF PARAPET WALL PER MFR DETAILS. INSTALL NEW PRE-FINISHED ALUMINUM COPING.
10. EXISTING SECURITY LIGHT TO REMAIN.
11. INSTALL NEW EXTERIOR LIGHT FIXTURE AT EXISTING JUNCTION BOX LOCATION. LIGHT FIXTURE TO BE SELECTED BY OWNER AND BE CONTEMPORARY AND COMPATIBLE WITH BUILDING.
12. EXISTING JUNCTION BOX TO REMAIN.
13. NEW CONCRETE SIDEWALK OR CURB. SEE SITE PLAN A1.1.
14. APPROXIMATE LOCATION OF NEW EQUIPMENT ON ROOF. SEE NEW WORK ROOF PLAN A3.2.
15. NEW FABRIC CANOPY WITH STEEL SUPPORT POSTS. B.O.D. QUEEN CITY AWNING GUARDIAN CANOPY. SIGNAGE TO BE INSTALLED ON SLOPE OF CANOPY (TBD) - APPROXIMATE SIZE AND PLACEMENT SHOWN - SIGNAGE WILL NOT EXCEED 25% OF CANOPY AREA).
16. NEW GALVANIZED STEEL PIPE RAILING, 3'-0" HIGH, AT PERIMETER OF OUTDOOR SEATING. SEE NEW WORK PLAN A3.1 FOR FULL EXTENTS.
17. NEW EXTERIOR WALK-IN COOLER BY KITCHEN SUPPLIER. SEE A7.0 FOR TYPICAL CUTSHEET.
18. NEW WOOD SCREEN WALL WITH 6x6 P.T. SUPPORT POSTS AND 1x6 P.T. SLATS SPACED 6" O.C. WALL TO BE STAINED OR PAINTED. FINAL HEIGHT OF WALL TO BE MINIMUM 12" TALLER THAN WALK-IN COOLER.
19. 6'-0" HIGH PANTED ALUMINUM PICKET FENCE. SEE SITE PLAN A1.1 FOR FULL FENCE EXTENTS.
20. APPROXIMATE SIZE AND LOCATION OF PAINTED WALL MURAL. FINAL PLACEMENT AND GRAPHICS TBD.
21. APPROXIMATE SIZE AND LOCATION OF AWNING SIGN ON SLOPING FACE. TALLEST LETTER HEIGHT WILL NOT EXCEED 2'-0" PER REQUESTED DIMENSIONAL VARIANCE. TOTAL SIGN AREA WILL NOT EXCEED 25% OF AWNING.



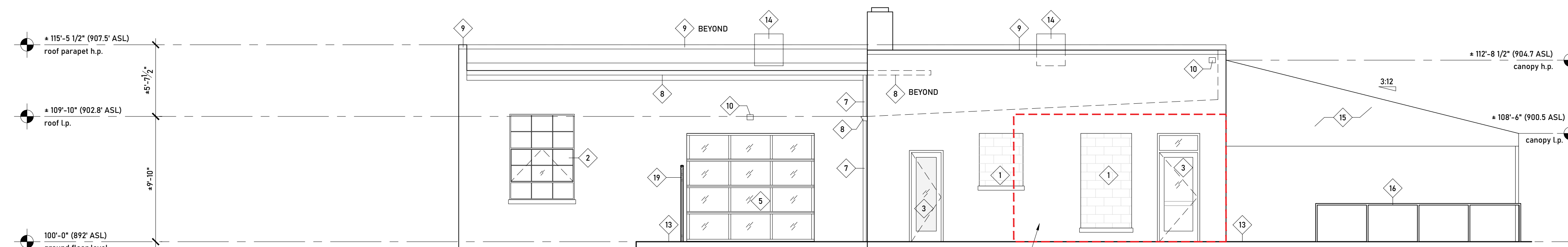
1 NEW WORK WEST ELEVATION
A6.0 3/16" = 1'-0"



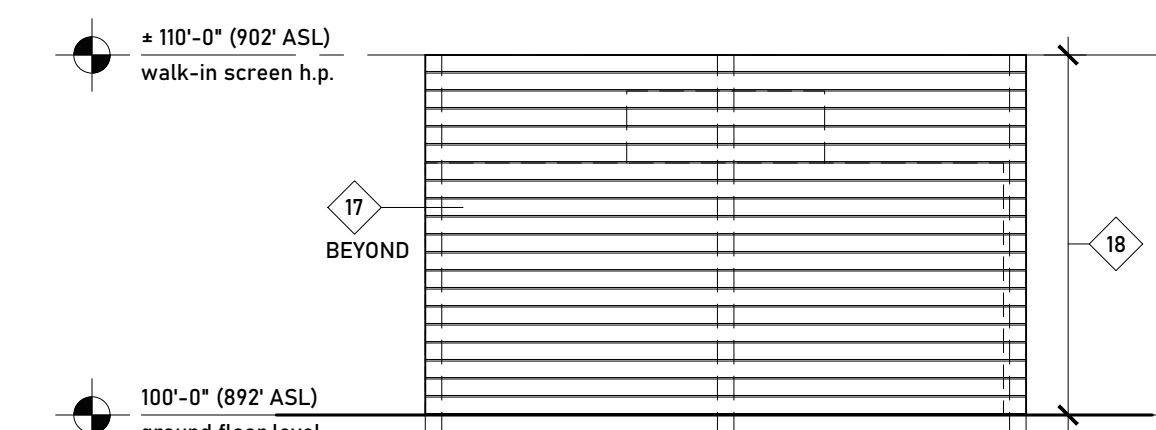
2 NEW WORK SOUTH ELEVATION
A6.0 3/16" = 1'-0"



3 NEW WORK EAST ELEVATION
A6.0 3/16" = 1'-0"



4 NEW WORK NORTH ELEVATION
A6.0 3/16" = 1'-0"



5 NORTH SCREEN WALL
A6.0 3/16" = 1'-0"

511/521/522

ALUMINUM DOOR SYSTEMS



MODELS 511/521/522

Glass Options for Models 511/521

Specialty Glass

- Laminated White – privacy
- Low E Glass** – thermal efficiency
- Tempered Glass – enhanced safety
- Tinted Glass** – color options: Green, Gray, Bronze

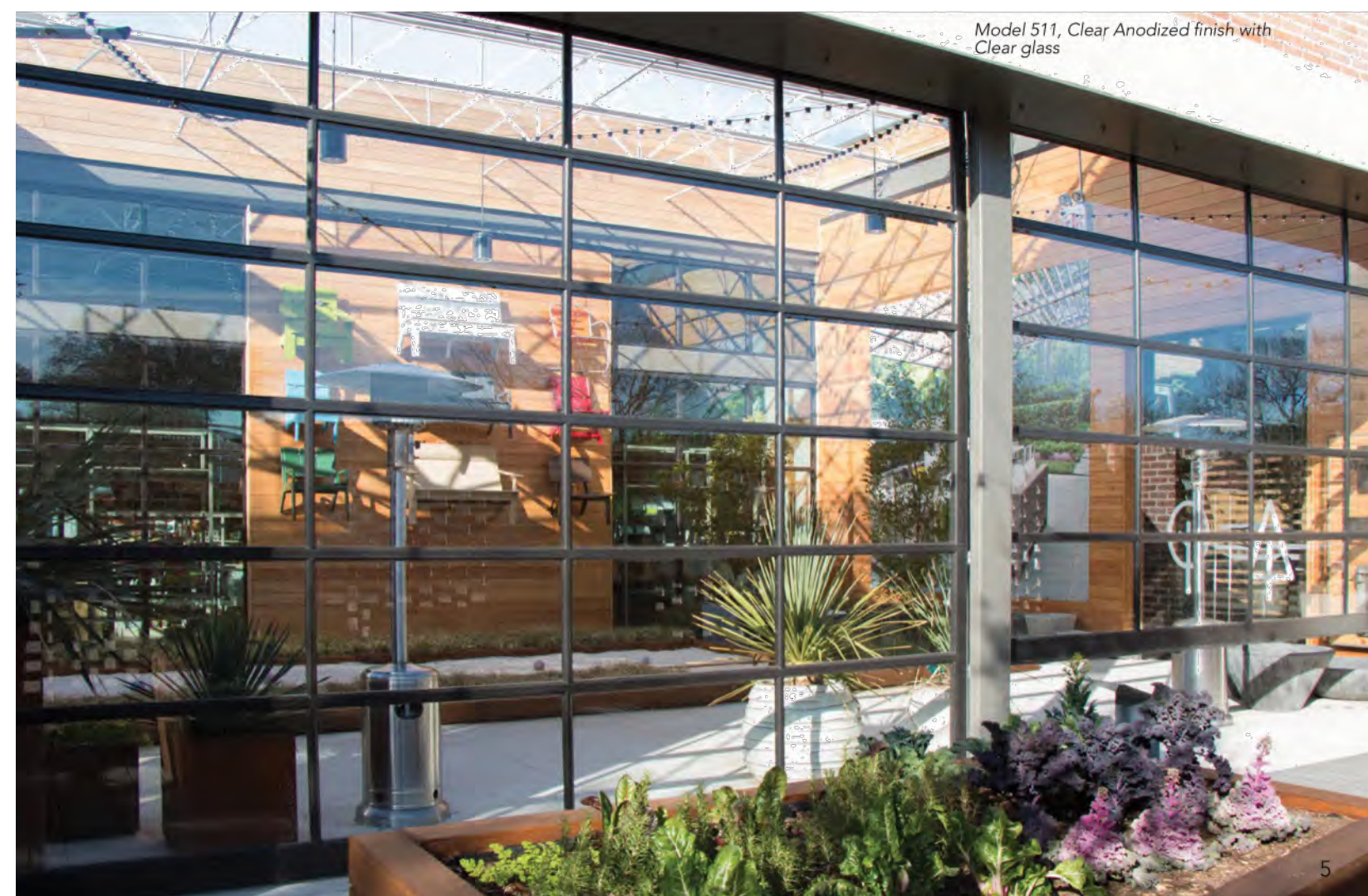
Glass Alternatives

- Clear Lexan® Polycarbonate** – shatter resistant
- Multi Wall Polycarbonate – superior strength with UV protection; color options: Clear, White, Bronze
- Plexiglas® Acrylic** – shatter resistant
- Impact Clear and Frosted Polycarbonate - 0.250" minimum



Actual glass may vary from brochure photos due to fluctuations in the printing process. Check with your Overhead Door™ Distributor to view a glass sample.

** Insulated options available.



ALUMINUM DOOR SYSTEMS ALUMINUM SECTIONAL DOORS



General Features and Benefits – Models 511/521

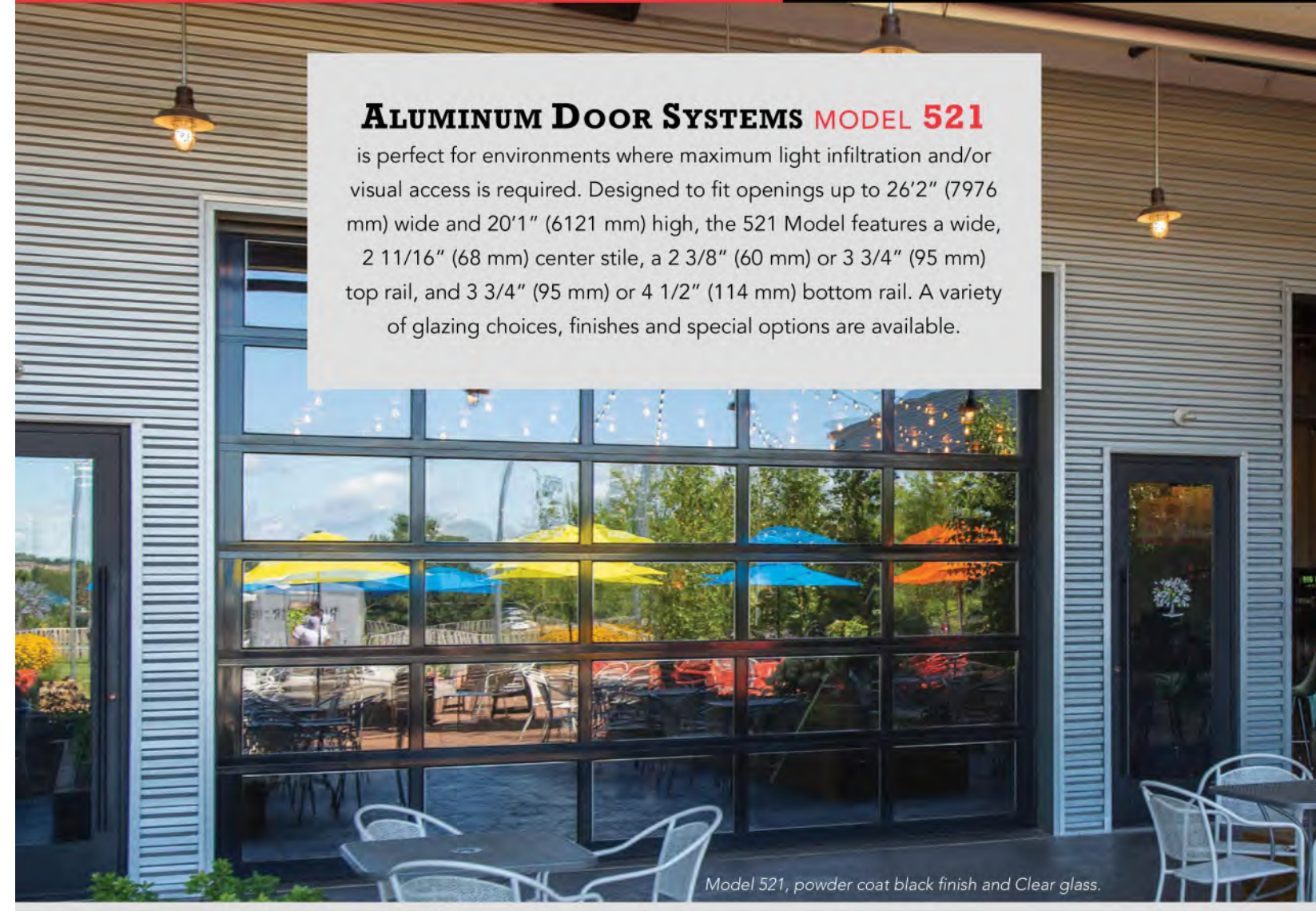
- 1 3/4" (45 mm) thick, corrosion-resistant 6063-T6 aluminum sections with galvanized fixtures and hinges promotes durability and trouble-free operation
- 1/4" (6 mm) diameter through-rods on all stiles and rails enhances strength and sturdiness
- Top-quality materials, excellent field service and optional maintenance program contribute to extended door life, low maintenance costs and maximum productivity
- Glazing choices include DSB glass, acrylic, tempered glass, clear polycarbonate, multi-wall polycarbonate, wire glass, Low E, Lexan and laminate
- Standard clear anodized finish for low-maintenance and corrosion-resistance
- Optional finishes include a wide range of powder coat colors offering an attractive and durable finish
- Manual pull rope operation with optional chain hoist or electric motor operator
- Available in approximately 200 RAL powder coat colors to match the aesthetic and design of your project. This color optional upgrade includes a hardening additive that provides an attractive and durable finish and easy-to-clean surface.

Cover image: Model 521, Custom powder coat with Clear glass



Overhead Door™ Brand participates in the DASMA Thermal Performance Verification Program. The program verifies the thermal performance of sectional doors. The lower the U-factor rating, the better the thermal performance.

ALUMINUM DOOR SYSTEMS MODEL 521 ALUMINUM SECTIONAL DOORS



ALUMINUM DOOR SYSTEMS MODEL 521

is perfect for environments where maximum light infiltration and/or visual access is required. Designed to fit openings up to 26'2" (7976 mm) wide and 20'1" (6121 mm) high, the 521 Model features a wide, 2 11/16" (68 mm) center stile, a 2 3/8" (60 mm) or 3 3/4" (95 mm) top rail, and 3 3/4" (95 mm) or 4 1/2" (114 mm) bottom rail. A variety of glazing choices, finishes and special options are available.

Optional Polyurethane Insulation for Stiles and Rails up to 18'2" Wide

1/2" Insulated Glazing Unit	Door U-factor ¹	Door R-value ²
DSB - Clear, Tempered, Obscure	0.30	2.87
Clear Polycarbonate		2.93
DSB - Solar Bronze		3.17
DSB - Low E coating	0.28	3.43
SolarBan 70XL Argon Filled		4.09
Multi-wall Polycarbonate	Door U-factor	Door R-value
1/4" Thick Unit		2.75
3/8" Thick Unit		3.21
5/8" Thick Unit		3.48
Insulated Panels	Door U-factor	Door R-value
3/8" EPS Solid Panels		2.60

1 - U-factor is independently tested and verified per ANSI/DASMA 105 using solid doors and specific product tests.
2 - Overhead Door Corporation uses a calculated door section R-value for our insulated doors.

Polyurethane filled rails and stiles

ALUMINUM DOOR SYSTEMS ALUMINUM SECTIONAL DOORS



ALUMINUM DOOR SYSTEMS
MODELS 511/521/522 offer an attractive solution for commercial and industrial applications where visual access, light infiltration and aesthetics are key design considerations.

MODEL 521

Standard Features at a Glance

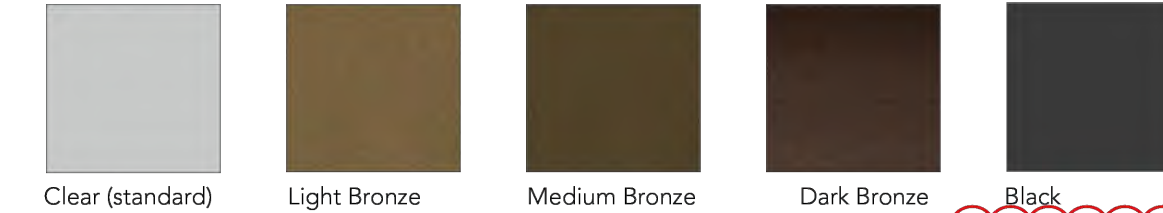
Section Thickness	1 3/4" (45 mm)
Maximum Standard Height	20'1" (6121 mm)
Maximum Standard Width	26'2" (7976 mm)
Material	Extruded 6061-T6 aluminum
Standard Finish	204R-1 clear anodized (painted white at no charge)
Center Stile Width	2 11/16" (68 mm)
End Stile Width	3 3/4" (95 mm)
Top Rail Width	2 1/2" (60 mm) or 3 3/4" (95 mm)
Top Intermediate Rail Width	2 1/2" (54 mm)
Bottom Intermediate Rail Width	1 1/2" (40 mm)
Bottom Rail Width	3 3/4" (95 mm) or 4 1/2" (114 mm)
Weatherseals	Bottom, flexible PVC
Standard Springs	10,000 cycle
Track	2" (51 mm)
Mounting	Angle
Operation	Manual pull rope
Hinges and Fixtures	Galvanized steel
Lock	Galvanized, interior-mounted single unit
Warranty	1-Year Limited; 3-Year Limited on powder coat finish

Options

Glazing Options: 1/8" (3 mm) DSB; 1/8" (3 mm) or 1/4" (6 mm) acrylic; 1/8" (3 mm) or 1/4" (6 mm) tempered; 1/8" (3 mm) or 1/4" (6 mm) clear polycarbonate; 1/4" (6 mm) and 3/8" twin-wall polycarbonate; 5/8" triple-wall polycarbonate; 1/4" (6 mm) 3/8" (10 mm) and 5/8" (16 mm) twin-wall polycarbonate; triple-wall polycarbonate 1/4" (6 mm) wire glass; 3/2" (12 mm) insulated glass
Electric operator or chain hoist
Bottom sensing edge
3" track
Bracket mounting (not available on full vertical door tracks)
Higher-cycle springs in 25k, 50k, 75k, 100k cycles
Exhaust ports
Four-section pass door
Wind load and impact rated door available
Posi-tension drums
Bronze anodization
Powder coat finish
Pass door

Structure Options

Anodized Finishes



Actual door colors may vary from brochure photos due to fluctuations in the printing process. Always request a color sample from your Overhead Door™ Distributor for accurate color matching.

Powder Coat Finishes
Select from approximately 200 RAL powder coat color options to best match your home.

*Wood grain availability dependent upon location.

Panel Layout		Section Stack	
Door Width	Number of Panels	Door Height	Number of Sections
to 9'2" (to 2794 mm)	2 or 3 (standard)	to 8'6" (2591 mm)	4
9'3" to 12'2" (2819 mm to 3708 mm)	3	8'7" to 10'1" (2616 mm to 3073 mm)	5
12'3" to 16'2" (3734 mm to 4953 mm)	4	10'2" to 12'1" (3099 mm to 3683 mm)	6
16'3" to 18'2" (4978 mm to 5537 mm)	4 or 5 (standard)	12'2" to 14'1" (3708 mm to 4293 mm)	7
18'3" to 19'2" (5642 mm to 5842 mm)	5	14'2" to 16'1" (4318 mm to 4902 mm)	8
19'3" to 20'11" (5867 mm to 6375 mm)	6**	16'2" to 18'1" (4928 mm to 5512 mm)	9
21'0" to 23'11" (6401 mm to 7290 mm)	6**	18'2" to 20'1" (5537 mm to 6121 mm)	10
24'0" to 26'2" (7315 mm to 7976 mm)	10**		

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Door Width	Number of Panels	Door Height	Number of Sections
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overheaddoor.com

chroma
architecture + design
1612 Dexter Ave.
Cincinnati, OH 45206
p: 513.504.2369

QUEEN CITY RADIO - COLLEGE HILL
6014 Hamilton Ave.
Cincinnati, OH 45224

submission / date:
• HCB Submission / 01.26.2024
• Revised HCB Submission / 02.22.2024

GARAGE DOOR BROCHURE

A7.0

CANOPY BROCHURE / MATERIAL

PRODUCT INDICATES BASIS OF DESIGN. AN EQUAL PRODUCT BY ANOTHER MANUFACTURER MAY BE USED.

GUARDIAN CANOPY SYSTEMS
by Queen City Awning

Your single source for:

- design
- fabrication
- installation

• POOLS/SWIM CLUBS •
• OFFICE BUILDINGS •
• HOTELS •
• COUNTRY CLUBS •
• EMPLOYEE BREAK AREAS •
• OUTDOOR DINING •
• LOADING DOCKS •
• ENCLOSURES •
• EXPANDED OUTDOOR SEATING FOR RESTAURANTS •

GUARDIAN FABRIC CANOPY SYSTEM
Create a weather protected outdoor environment with the Guardian Canopy System by Queen City Awning. Design flexibility to meet your requirements... Discover the possibilities with our innovative Guardian Canopy.

QUEEN CITY AWNING
7225 East Kemper Road
Cincinnati, Ohio 45249
513-530-9660
800-611-2800 • 513-530-0662 fax
info@QueenCityAwning.com • www.QueenCityAwning.com

THE GUARDIAN CANOPY

The Guardian fabric canopy by Queen City creates an all-weather protected environment outdoors. The Guardian Canopy provides protection from sun, rain and snow and is an ideal way to create outdoor break areas for employees and users of facilities that have "no smoking" policies. Optional sidewalls can act as windbreaks for the Guardian Canopy. Fabric Awnings have a natural inviting warmth which few other building materials can achieve. ProLine Fabric Awning are custom made to conform to most any building and feature rigid welded structural metal frames with architectural fabrics specifically designed for exterior use.

PROLINE SERIES FABRIC AWNINGS

QUEEN CITY AWNING
7225 East Kemper Road
Cincinnati Ohio 45249
local: 513-530-9660
Dayton: 937-222-7670
nationwide: 800-611-2800
fax: 513-530-0662
QueenCityAwning.com

SPECIFICATIONS:
Series: ProLINE
Style: Guardian fabric canopy
Size: Specify width, height, projection.
Fabric: Specify type and/or brand.
CANVAS: Woven acrylic fabric is U.V. and mildew resistant and water repellent. Available in solid colors and striped patterns. Some solids and patterns available in a flame resistant series.
VINYL: Laminated or coated polyester fabric is U.V. and mildew resistant and water repellent. Available in solid colors and with protective coatings. Also available in translucent colors for backlighting. Most vinyl fabrics are flame resistant, consult factory.
Frame:
STEEL: Galvanized square and rectangular ASTM A-500 steel tube with smooth, clear polymer finish. Connections are welded and coated with rust inhibitive paint to match galvanized finish. Fabric attaches to frame either by lacing, tec screws or C-molding.
Mounting: Awning and canopy frames are furnished with wall brackets for mounting to masonry, wood and E.I.F.S. Canopies are furnished with galvanized square steel tube posts.
Specify post flange or sleeve and footer.
Graphics: Lettering and signage can be applied to fabrics in a variety of methods. Surface applied graphics for non-backlit applications and translucent graphics for backlit applications.
Options:
EGGCRATE CEILING: Awnings and canopies can be furnished with a white styrene eggcrate ceiling.
PAINTED FRAMES: Awning and canopy frames can be electrostatically painted to match specified colors.
Specifications subject to change without notice. Consult factory for any unique requirements.

Coastline Plus® Duplex Patterns

857242 CP2742 TROPIC GREEN PREMIUM	857204 CP2704 ISLAND TURQUOISE PREMIUM	857202 CP2702 SEA PALM PREMIUM	857243 CP2743 TEAL PREMIUM	857201 CP2701 HARBOR GREEN PREMIUM
857211 CP2711 GLADE GREEN PREMIUM	857891 CP2791 DARK TAPE PREMIUM	857896 CP2796 TERRA COTTA PREMIUM	857209 CP2709 RUST PREMIUM	857205 CP2705 COBK BROWN PREMIUM
857225 CP2725 BARQUE BROWN PREMIUM	857245 CP2745 PIRATE BLACK PREMIUM			

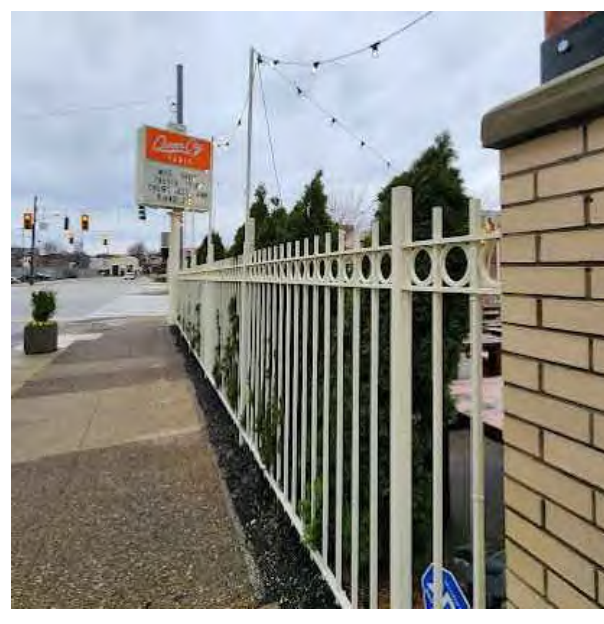
TOP **UNDERSIDE** **TOP** **UNDERSIDE**

857251 CP2751 GLADE GREEN	WHITE	857250 CP2750 COBK BROWN	SAND
857252 CP2752 RUST	IVORY		

Colors are representative only. Small variations in shade should be anticipated and are within commercial tolerances.

PAINTED ALUMINUM FENCE EXAMPLES

PERMITTER ALUMINUM PICKET FENCE STYLE WILL CLOSELY MATCH EXISTING FENCE AT QUEEN CITY RADIO IN OTR. ENTRANCE GATES WILL BE FLANKED WITH BRICK PIERS AND GATES WILL HAVE EXPANDED METAL MESH BACKING FOR SECURITY.



EXISTING FENCE AT QUEEN CITY RADIO OTR



EXISTING ENTRANCE GATE AT QUEEN CITY RADIO OTR



SIMILAR FENCE EXAMPLE PHOTO



SIMILAR FENCE EXAMPLE DRAWING

WOOD SLAT FENCE AND SCREEN WALL EXAMPLES

FENCING AND SCREEN WALL TO BE CONSTRUCTED OUT OF PRESSURE TREATED LUMBER. WOOD WILL BE STAINED OR PAINTED A DARKER COLOR



EXAMPLE OF SLAT CONFIGURATION / SPACING (UNFINISHED)



EXAMPLE OF DARKER STAIN



EXAMPLE OF DARKER STAIN WITH OUTSIDE CORNER CONFIGURATION

PROPOSED EXTERIOR COLORS



chroma
architecture + design
1612 Dexter Ave.
Cincinnati, OH 45206
p: 513.504.2369

QUEEN CITY RADIO - COLLEGE HILL
6014 Hamilton Ave.
Cincinnati, OH 45224

submission / date:
• HCB Submission / 01.26.2024
• Revised HCB Submission / 02.22.2024

CANOPY BROCHURE AND FENCE EXAMPLES

A7.1

APPLICATION FOR ZONING RELIEF AND CERTIFICATE OF APPROPRIATENESS HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

APPLICATION #: COA20240006/ ZH20240002
APPLICANT: Steven Ginter
OWNER: John & Betsy Martin
ADDRESS: **3732 Sachem Avenue**
PARCELS: 027-0002-0028
ZONING: SF-2
OVERLAYS: Columbia Tusculum Historic District and Hillside District
COMMUNITY: Columbia Tusculum
REPORT DATE: March 12, 2024
STAFF REVIEW: Douglas Owen, Urban Conservator

Details of Zoning Relief Required:

The applicant requires the following Zoning Relief:

1. **Section 1433-17(b)** – A **Hillside Review** is required for a left side yard setback of 2.39', short of the required average of 5.9'.
2. **Section 1433-17(b)** – A **Hillside Review** is required for a right side yard setback of 3.5', short of the required average of 8.4'.
3. **Section 1433-17(g)** – A **Hillside Review** is required for cumulative excavation and fill totaling 14', in excess of the 8' limit.

Existing Conditions:

The subject property is located on the north side of Sachem Avenue between its intersection with Stevens Place on the west and the eastern terminus of Sachem Avenue in the Columbia-Tusculum neighborhood. The existing building is a non-contributing single-family infill development built in 1997. The building features a front loaded garage atop a very steep driveway with a grade of approximately 30%.

Proposed Conditions:

The proposal for the property includes:

1. Construct a new front-loaded garage addition below the level of the existing garage with a green roof and replacing the existing driveway.
2. Replacement of existing garage with enclosed living space, a new porch and an elevator from the new garage level to the first floor.
3. Rebuilding side decks to extend 2' further into side yard.



Figure 1: Map of 3732 Sachem Av. Map provided by CAGIS.



Figure 2: Image of subject property. Image from Google.

Previous Review: The Historic Conservation Board approved the plans for the original house at the April 8, 1996 meeting (application 96-1642).

Applicable Zoning Code Sections:

Zoning District:	Section 1403	Residential
Variance Requests:	Section 1433	Hillside District
Variance Authority:	Section 1445-07	
HCB authority:	Section 1435-05-4	
Variance Standard:	Section 1445-13	General Standards: Public Interest
	Section 1445-15	Standards for Variances
Overlays:	Section 1435	Historic Preservation
Historic District/Reg:		Over the Rhine Historic District
COA Standard:	Section 1435-09-2	COA; Standard of Review

Zoning Analysis:

Below is analysis of the consideration factors for all of the requested zoning actions, utilizing Section 1445-13, General Standards; Public Interest. Staff is supportive of the requests for variances.

The primary reason for the addition is the 30% grade of the existing driveway. The 30% grade exceeds the current grade limit of 15% as defined in Section 1427-37 of the Zoning Code, as well as regulations for the Department of Transportation and Engineering. Additionally, the addition will help to correct existing site drainage issues, which have begun to undermine the existing driveway. The current owners do not use the driveway or garage for parking due to the excessive grade and drainage issues.

§ 1433-23. - Hillside Development Standards.

In addition to the Base Development Requirements of § 1433-19, the Zoning Hearing Examiner must consider the following standards to ensure harmonious relationships with adjacent buildings and the hillside environment:

- a) *Avoid cuts in the hillside if they would leave cliff-like vertical slopes and excessively high retaining walls.*

Cuts in the hillside are limited to the area of the proposed garage, which will be inset down into the hill, and the regrading of the driveway. The maximum direct cut at any one point is 13' at the front façade of the house and then the cut depth decreases to zero near the street.

- b) *Design buildings to fit into the hillside rather than altering the hillside to fit the buildings.*

The home is located in the middle of the slope. The proposed garage addition is in a similar location to the abutting homes. The new addition will be stepped into the hillside, consistent with the intent of the Hillside Overlay District.

- c) *Hillside development should be designed to minimize excavation required for foundations, parking and access drives.*

The proposal minimizes the cuts, fill and wall construction. There are small wing walls extending out from the garage approximately 10' and which range in height from 2' to 5' which helps preserve the existing slope on the sides of the garage. The elevator is within the footprint of the existing exterior stairway minimizing new excavation beyond the existing footprint. The proposal is the most practical way of achieving a reduction in the slope of the driveway.

- d) *Cluster new development to retain surrounding tree cover and minimize alterations to the existing topography.*

The garage addition is proposed in the area of the existing concrete driveway which is an area without tree cover and in the area of the existing house and meets this standard.

- e) *Maintain a clear sense of the hillside brow by locating buildings back from the brow of the hill.*

The existing building is back from the brow of the hill and the new addition will be below the main house.

- f) *Site buildings so as to respect views from public viewing places within the HS district identified in a community plan or other documentation approved by the City Planning Commission.*

There are no public viewing places noted in any relevant plans. As the addition is proposed to be inset into the hillside in front of the house, no additional height will be added to the site.

- g) *Where applicable, consider the guidelines contained in "Cincinnati Hillside Development Guidelines" report to evaluate development applications.*

The proposal substantially conforms to the hillside guidelines as noted above.

Certificate of Appropriateness Review

Staff recommends that the design substantially conforms to the Non-Contributing Buildings, Additions, and New Construction sections of the Columbia-Tusculum Historic Conservation District Guidelines. While the Conservation Guidelines do not specifically list this building as non-contributing, it was built after the guidelines went into effect and is considered to be non-contributing. Approval is required for the proposed garage addition, porch addition with elevator shaft, and rebuilt and extended side decks.

NON-CONTRIBUTING BUILDINGS

Additions, alterations, and rehabilitation of the above buildings should either be compatible with their own style and character or should cause the building to become more compatible with the district.

The proposed garage addition is compatible with the style and character of the existing building. The addition will feature similar cladding and design features of the main building, including a horizontal lap siding matching the exposure of the siding on the main building, paneling along the top element at the cornice line, and a front porch addition with a standing-seam metal roof.

ADDITIONS

1. COMPATIBILITY: CONSIDER THE ADDITION AS NEW CONSTRUCTION

In general, additions should follow the guidelines for new construction in terms of materials, form, scale, height, detailing and siting. (See the New Construction section of this booklet for specific guidelines.)

The proposed addition is compatible with the materials, form, scale, height, detailing and siting of the existing building and the surrounding development. See below for further discussion.

2. DESIGN: REFER TO THE ARCHITECTURE OF THE ORIGINAL BUILDING

The design of an addition should refer specifically to the architecture of the original building. While the addition should be sympathetic to and compatible with the existing building, it should not try to duplicate its style or appear to have been built at the same time as the original building. The design should also be compatible, in a more general way, with adjacent buildings.

The proposed design is compatible with the architecture of the original building, which references the Victorian houses in the district without being duplicative. As the existing building currently has a front-loaded garage and several 1930s-era houses in the district also have front-loaded garages, the garage addition is not a major change to the development patterns in the vicinity. Matching materials to the original house helps to connect the structures.

The proposed front porch addition creates a more compatible infill design by providing additional window openings and a front door. The side porches are currently deteriorated and need rebuilt. The rebuilds will include a 2' extension of the decks into the left side yard. This is proposed in part to provide clearance for the elevator addition, and also to provide additional outdoor living space in these areas. The 2' extension will not create a major difference in appearance from the original configuration.

3. IDENTITY: DO NOT OVERPOWER THE EXISTING BUILDING

If the original building is architecturally or historically significant, the addition should take a respectful "back seat" to it and not overpower the original. An addition may be taller than the original building if site considerations and careful design still allow the older building to remain dominant.

While the existing building is not historically significant, the addition will not overpower the building. The change may actually make the building more compatible with nearby contributing buildings by making the garage door less of a focal point on the house. The addition will include a new front porch with windows and doors on the front of the building, which is more in character with the district. While the addition will be highly visible from the front of the house, viewed from down the street, it will be largely hidden from view by being inset into the hillside.

4. CONNECTIONS: KEEP THEM SIMPLE

The connection of the addition to the original building should be designed so that it does not detract from either structure. Significant architectural features of the original building should not be destroyed, removed, or obscured by the addition.

A connection to the main house will be established by creating a new partially covered front porch which will extend out onto the green roof of the garage addition. The porch addition will include an elevator that extends from the new garage level to the current ground floor of the building. The elevator will be extended from the left side of the house and will be incorporated into the covered portion of the porch and will be partially screened by the staircase. The elevator shaft will include decorative features and does not appear as a blank wall, but is integrated into the design.

NEW CONSTRUCTION

The aim of the guidelines for new construction is to encourage compatibility with (but not replication of) the character and quality found in the district's 19th- and early 20th-century buildings. The compatibility of the proposed structure with its natural and built environment will be considered in review, as will the following:

1. MATERIALS: USE NATURAL MATERIALS WHEN POSSIBLE

Materials should be of a similar texture, scale, and style to building materials found in the district's contributing buildings. Most contributing buildings in the district are of frame construction and have exterior walls of wood siding and shingles. Stone and brick structures with stone and brick details also exist. The use of natural appearing materials is preferred. Materials that are synthetic in appearance or that are highly reflective are inappropriate. Roofs generally have the finished appearance of slate or metal shingles or standing-seam sheet metal. Asphalt shingles to match the colors of slate are encouraged.

The building uses lap-sided Hardie-plank siding on a frame building that will match the material, exposure and color of the main building. A standing-seam metal roof will be installed on the porch addition, and a cable rail system will provide the required guardrail of the garage roof deck.

The windows proposed for the addition are a Pella Lifestyle window. These windows are not appropriate for replacement windows in historic buildings but have been approved in new construction elsewhere in the city. While it is a wood window, the size of the bottom rail of double hung windows does not meet the historic standards for replacement windows. As an addition to an existing non-contributing infill building, Staff finds the proposed window appropriate.

2. SCALE AND MASSING: MATCH THE DISTRICT

The contributing buildings within the district are generally medium-sized residential and institutional structures situated on narrow lots. The scale and massing of a new building and its individual elements (i.e., windows, doors, roof, ornamentation) should be compatible with the forms found among the contributing buildings. The ratio of the wall surface to openings and of the width and height of windows and doors should be consistent with the district's contributing buildings. Glass curtain walls along the front facade should be avoided, and large, flat walls that are unbroken by openings or setbacks on the front facade also are discouraged.

The proposed addition will not greatly affect the scale and massing of the existing building. The primary visual massing will be related to the porch addition, as the proposed garage is inset into the hillside below the existing building. No additional height will be added.

3. HEIGHT: CONSIDER THE SURROUNDINGS

New construction should not differ significantly in height from nearby contributing buildings. New buildings should not exceed the height of the tallest abutting building by more than one story (not more than 12 feet). The contours of the building site may further restrict the height of the new building or may permit the construction of a larger building.

The height of the building will not be altered by the proposed addition.

4. DETAILING: DON'T BUILD FEATURELESS BOXES

The detailing of new buildings should be similar to detailing found on contributing buildings within the district. This can include the following:

- *A gable or hipped roof.*
 - The garage addition has a flat roof, which Staff finds appropriate for the proposed location in front of the main house. The porch addition will have a hipped roof.
- *A cornice or other form of definition at the roof line or gable end.*
 - The proposal includes molded trim that goes across the cornice line of the garage addition. The garage doors themselves have additional detailing including windows at the top, which is an improvement over the simple paneled garage door currently on the building. The porch addition will feature a central pediment with trim to create a closed gable form.
- *Distinctive detailing at the front door.*

- The double-entry front doors provide distinctive detailing through the central pediment on the porch addition. The existing house has no front door, making this an improvement to the current design.
- *Window sills and lintels and/or distinctive detailing at openings.*
 - New window openings at the porch level have simple detailing of wood trim around the windows.
- *Ornamental features such as banding, distinctive corner treatment, interior cornice and other decorative elements.*
 - Ornamental features are included in the form of paneling at the cornice line over the garage doors, decorative contemporary light fixtures, and the previously mentioned pediment over the front entry doors at the porch.
- *Changes in siding materials.*
 - In an effort to maintain consistency and compatibility with the original house, siding on the garage and porch will match the material and exposure of the existing lap siding on the remainder of the front facade.
- *A covered front porch with appropriately scaled supporting posts or columns.*
 - There is a covered front porch on the front face of the building. The supporting posts are appropriately scaled for the district. A simple cable railing of appropriate scale and code compliance is provided at the porch/patio above the garage green roof.
- *When applicable, as in mixed-use buildings with storefronts, a base at the ground floor or lower levels, employing a change of material or change of color and proportions from upper floors.*
 - N/A

5. *SITING: STAY IN LINE WITH THE NEIGHBORING BUILDINGS*

New structures should be sited with setbacks similar to those of adjacent buildings and should be sited to respect current topographic and neighborhood development patterns. Where applicable, they should be located to respect views and hillside constraints. Site improvements and changes should comply with the guidelines for site improvements and alterations. (Refer to the Site Improvements and Alterations section of this booklet for applicable guidelines.)

The new building is sited within the required front setback of the Maximum Building Envelope (MBE) of the Hillside district for setbacks. While the sides of the addition exceed the MBE, the addition is generally in line with the remainder of the main house. The averaging required by the Hillside Overlay generally provides for an appropriate siting. As can be seen by the proposed plot plan, the setback is between the existing setbacks of the properties to the west and east, providing a transition from the smaller setbacks of contributing buildings to the west to the larger setbacks of the non-contributing buildings further east.

Other Considerations:

Prehearing Results: A prehearing was held on March 6, 2024. The owner and applicant were in attendance. No members of the public attended.

Comments Provided to Staff: No letters of opposition have been received as of the publication of this report. The applicant submitted several letters of support with their application.

Recommendation:

Staff recommends the Historic Conservation Board take the following actions based on plans by Architects II Limited, dated 2.8.24

I. ZONING RELIEF

A. Section 1433-17(b) – APPROVE – A Hillside Review is required for a left side yard setback of 2.39’, short of the required average of 5.9’.

B. Section 1433-17(b) – APPROVE – A Hillside Review is required for a right side yard setback of 3.5’, short of the required average of 8.4’.

C. Section 1433-17(g) – APPROVE – A Hillside Review is required for cumulative excavation and fill totaling 14’, in excess of the 8’ limit.

D. FINDING: The Board makes the determination that:

1. The proposal allows for a garage to be constructed that is useful/functional given that the driveway slope will be reduced to a manageable and safe slope- compared to the existing driveway slope which renders the garage unusable for car storage.
2. The proposal adequately conforms to the hillside regulations and will not negatively impact the slope or other properties.

II. CERTIFICATE OF APPROPRIATENESS

A. APPROVE the application for a Certificate of Appropriateness for 3732 Sachem Avenue with the following conditions:

1. The building permits must be issued within two years of the decision date, or the Certificate of Appropriateness shall expire.

B. FINDING: The Board makes this determination per Section 1435-09-2:

1. That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.
2. The addition to a non-contributing building follows the guidelines for new construction, is compatible with the existing building and the surrounding contributing buildings, and does not overpower the existing building.

Historic Conservation Board

Hearing Application



II Centennial Plaza
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202
Monday- Friday 7:30 am- 4 pm
513-352-1559

Section 1. SUBJECT PROPERTY

ADDRESS 3732 SACHEM AVE COMMUNITY COLUMBIA TUSCULUM
PARCEL ID(S) 002700020028 HISTORIC DISTRICT COLUMBIA TUSCULUM
BASE ZONING CLASSIFICATION SF-2 HILLSIDE DISTRICT: Yes No
 Non-Residential Project Residential Project (RCO) One -, Two -, and Three- Family Dwelling

Section 2. APPLICANT

NAME STEVEN GINTER CONTACT PERSON (if legal entity) _____
ADDRESS 66 LOCUST AVENUE CITY LAKE SIDE PARK STATE KY ZIP 41017
EMAIL SGINTER@ARCHITECTS11.COM RELATIONSHIP TO OWNER (if not owner) ARCHITECT
TELEPHONE 513-32-3900

Section 3. OWNER

NAME JOHN & BETSY MARTIN CONTACT PERSON (if legal entity) _____
ADDRESS 3732 SACHEM AVE CITY CINCINNATI STATE OH ZIP 45226
EMAIL BETSY@VAYA.CONNECT.COM RELATIONSHIP TO OWNER (if not owner) _____
TELEPHONE 513 604 5634

Section 4. NATURE OF CERTIFICATE OF APPROPRIATENESS REQUESTED

A certificate of appropriateness is NOT being requested. (Proceed to Section 5.)

A certificate of appropriateness is being requested for:

New Construction Alteration Demolition

BRIEF DESCRIPTION OF PROJECT (Do not write "see attached" or leave blank.)

THE NEW ADDITION WILL INCLUDE A TWO CAR GARAGE W/ A LINE / GREEN ROOF, AN ELEVATOR, NEW PORCH ROOF, REBUILD OF EXISTING DECKS AND STAIR

Section 5. NATURE OF ZONING RELIEF REQUESTED

Zoning relief is NOT being requested, or select all that apply:

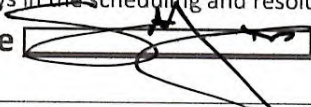
- Variance Special Exception Conditional Use Use Variance
 Expansion or Substitution of Non-Conforming Use Hillside Overlay District Permission
 Urban Design Overlay District Permission DD District Phased Development Approval

BRIEF DESCRIPTION OF ZONING RELIEF REQUESTED (Do not write "see attached" or leave blank.)

WE ARE LOOKING FOR RELIEF FROM THE RIGHT SIDE & LEFT SIDE REQUIRED SETBACKS. WE ARE ALSO LOOKING FOR RELIEF TO THE CUT/FILL MAX HEIGHT OF 8 FEET.

Section 6. SIGNATURE.

I certify that all statements and documents that I provide with reference to this application are accurate, complete, and true to the best of my knowledge and belief. I further acknowledge that my application shall be deemed incomplete for my failure to timely comply with any requirement of this application, which non-compliance may result in delays in the scheduling and resolution of my application.

Print Name STEVEN GINTER Signature  Date 2-8-2024

Section 7. DOCUMENTATION SUBMISSION REQUIREMENTS.

An application will not be deemed complete until all required documents listed below have been submitted and the application fee is paid in full. All transactions must be completed by 4:00pm. No exceptions. Applicants are strongly encouraged to submit as early as possible to allow time for review and revisions. Partial applications cannot be processed. Failure to submit a complete application prior to 4:00pm on a deadline date will result in delays to the assigned hearing date.

<input checked="" type="checkbox"/>	Submit two (2) paper copies collated, single sided and bound together of all the documents listed below, <u>AND</u> one (1) digital copy on a thumb/flash drive in PDF format of all documents listed below. <i>No emails.</i>
<input checked="" type="checkbox"/>	Historic Conservation Board hearing application; pages 1-2 only. The instruction pages should not be included in your submission.
<input checked="" type="checkbox"/>	Adjudication Letter <u>AND</u> worksheet issued by the Department of City Planning & Engagement – Urban Conservator’s Office. Provide all documents requested on the worksheet.
<input checked="" type="checkbox"/>	A written statement explaining how the proposed project meets the applicable Historic Conservation Guidelines and, if requested, Zoning relief. Separate instructions for preparing this statement are attached. <i>If you fail to follow the instructions for your type of request(s), your application may be denied.</i>
<input checked="" type="checkbox"/>	Applications requesting development permission in a Hillside Overlay District must meet the additional requirements found in Cincinnati Municipal Code 1433-15. <i>Please ensure your application meets these requirements.</i>
<input checked="" type="checkbox"/>	All documents (forms, letters, etc.) must be formatted to 8.5x11. Font no smaller than size 11. Plans or drawings may be formatted to 11x17 or 12x18. <i>No larger sizes will be accepted.</i>
<input checked="" type="checkbox"/>	Accurate drawings, plans or surveys (including a graphic scale) of existing and proposed project showing parcel lines, boundaries, dimensions, areas, topography, and frontage of the property involved, as well as the location and dimensions of all primary and accessory structures from the nearest property lines. Provide all parcels and structures adjacent to the site. When landscaping is required by the zoning code, a landscaping plan must be provided.
<input checked="" type="checkbox"/>	Detailed information (such as drawings, elevations with measurements, specifications) fully depicting the exterior and/or interior appearance of the existing and proposed project, including parking and access, exterior lighting, landscaping, signs, roof and floor plans involved in the application. Provide labeled photographs of existing conditions of all sides/directions of the structure/property.
<input checked="" type="checkbox"/>	The Hamilton County Auditor’s record showing ownership of the property. If the Hamilton County Auditor’s official records do not list the applicant or owner as the owner of the property, please provide a lease, contract to purchase, or other agreement demonstrating the applicant or owner’s legal basis to seek the relief requested.
<input checked="" type="checkbox"/>	A list of witnesses, expert witnesses, or legal counsel who you expect to testify at the hearing on this application. Please provide names and email addresses.
<input checked="" type="checkbox"/>	Other documents or information you intend to introduce at the hearing on this application.
<input checked="" type="checkbox"/>	A non-refundable application fee - a check made payable to “City of Cincinnati.”

To help avoid delays, it is strongly suggested that you present your application to neighboring property owners and any interested neighborhood community groups prior to the hearing on your application. This will give you a prior opportunity to address your neighbors’ concerns or objections and can facilitate the approval of your application.

ADJUDICATION/DENIAL LETTER

Date: February 8, 2024

Location: 3732 Sachem Avenue

Request: COA/ Zoning Relief

Zoning District: SF-2/ Hillside/ Columbia Tusculum Historic District

The City of Cincinnati appreciates receiving information regarding your proposed project. The purpose of this letter is to inform you that your proposed project requires a Certificate of Appropriateness and Zoning Relief from the Historic Conservation Board, as it is within a local historic district and involves exterior alterations to the building, specifically, front garage and elevator additions.

All documents **that are checked** on the “Checklist for Historic Conservation Board” document are a required part of the submission, and the submission will not be considered complete unless all of these documents are included. When you submit the copies of the application, the “Checklist” Sheet must be submitted as well. The application can be found at this link: <https://www.cincinnati-oh.gov/sites/planning/assets/HCB%20Application%20Revised%202.2.22%20Hyperlink.pdf>.

All deadlines for upcoming Historic Conservation Board hearings can be found <https://www.cincinnati-oh.gov/planning/historic-conservation/historic-conservation-board/>. **Applications must be submitted no later than 3pm on the deadline date.**

Your request also does not comply with the City of Cincinnati Zoning Code for the following reason(s):

1. Sec. 1433-17 part B – **Hillside Review** – Left setback relief of 3.51’ from the average of 5.9’ to allow a 2.39’ left setback to the new deck.
2. Sec. 1433-17 part B – **Hillside Review** – Right setback relief of 4.9’ from the average of 8.4’ to allow a 3.5’ right setback.
3. Sec. 1433-19 part G – **Hillside Review** – Cut/fill relief of approximately 6’ from the 8’ limit -to allow 14’ of cumulative cut/fill from the existing grade at the existing garage façade.

The applications and documents required will be turned into the *Law Department- Office of Administrative Boards*. Their office is located on the 5th floor of 805 Central Avenue in the Permit Center. Applications can be turned in **no later than 3pm on the deadline date**. You must contact Kasandra Maynes at 513-352-1559 or Kasandra.Maynes@cincinnati-oh.gov for submittal.

You may also contact me at the information listed below with historic conservation or zoning questions, concerns or to make an appointment.

Sincerely,



Douglas Owen

Urban Conservator

(p): 513-352-4848

(e): douglas.owen@cincinnati-oh.gov

Checklist for Historic Conservation Board Hearing Application

The Historic Conservation Office will provide this list with the required items

checked off when an Adjudication letter is issued. All items checked must be submitted to the Law Department with submission or the application will not be accepted.

- 8 business days before the hearing date 10 hard copies and a digital copy in one pdf for the final board packet. Hard copies must be formatted and retain the proper scale on sheets no larger than 11x17 or 12x18.
- Non-Refundable Application Fee. Checks made payable to the City of Cincinnati. \$ 642.80

All Drawings and Plans must include the following

- ✓ A graphic scale required on all drawings
- ✓ North arrows on all site, context and floor plans
- ✓ Elevations labeled with North, South, East West, front, side and rear labels
- ✓ Street names labeled
- ✓ Date and/or revision dates

Architectural Drawings and Plans

- An index of drawings located on the first sheet
- Context Map showing the building within at least a block of context
- Existing site plans
- Proposed site plans
 - All site plans must have*
 - ✓ *Parcel/boundary lines*
 - ✓ *Building footprints and dimensions labeled*
 - ✓ *Setback dimensions from all property lines labeled*
 - ✓ *Existing and proposed principal and accessory buildings, including location, dimensions, and height labeled;*
 - ✓ *All properties and their structures immediately adjacent to the site*
 - ✓ *Location and placement of exterior utilities and vents*
- Existing elevation drawings (At minimum must provide photographs of existing conditions of all elevations)
- Proposed elevation drawings
 - All elevations (existing and proposed) must have*
 - ✓ *Total Height from grade to top of the building*
 - ✓ *Total height- ASL (Above Sea Level)*
 - ✓ *Materials labeled*
 - ✓ *Location and placement of exterior utilities and vents*
- Existing floor plans and roof plans (with chimney locations)
- Proposed floor plans and roof plans (with chimney locations)
 - All floor(existing and proposed) plans must have*
 - ✓ *Residential and Commercial Spaces labeled. Residential Spaces must be numbered.*
 - ✓ *Square feet of commercial spaces listed*
 - ✓ *Location of trash storage and Utilities*
 - ✓ *Location and placement of exterior utilities and vents*

- Site section and/or Site elevations including any adjacent properties
- Driveways, sidewalks, walkways, terraces, and other paved surfaces
- Existing and proposed accessory structures, including walls, fences, porches, lighting, signs, and other site improvements;
- Existing and proposed landscape areas and materials, if proposed to be altered;
- Proposed materials, textures, and colors. Include make, model and series for proposed materials
- Labeled photos of all sides of the building
- Labeled photos of 1 block streetscape context in all directions
- Site line drawings for any roof additions, roof decks, utilities.
- A color rendering, axonometric drawings and/or perspective of the proposed construction (required on infill projects)

Required if applicable to the project

- Historic Sanborn Maps of the site
- Window brochures and cut sheet
- Roof product information (brochure)
- Garage door brochures
- Sample materials or color samples. _____
- Fence drawings of style, fence brochures or photo of a sample fence
- Signs; drawings, photo showing the sign on the building, mounting info, materials, colors and illumination
- Mature tree removal requires a letter from an arborist stating its poor health
- All written correspondence submitted by the applicant and other affected persons
- Tentative project schedule
- Egress Plan/Route to Building Code Compliance (roof decks, multi-family developments)
- _____
- _____
- _____

Demolition (full or partial) for Historic Conservation Districts and Landmarks

- Demolition Case Sheet and all required information listed on the sheet unless otherwise not required by the Urban Conservator in writing and provided with application.
- Statement of plans for the property after demolition.

Hillside Overlay Zone (CZC § 1433)

- A development plan, accompanied by a property survey, showing existing vegetation and proposed development, and where applicable, streets, drives, parking areas, walkways, heights of structure(s), location of structures, elevation and setback of proposed buildings, drainage, existing contours and proposed grading and new landscaping plans, proposed uses and square footage of uses and recreational facilities;
- A preliminary geotechnical evaluation;
- A determination of the maximum building envelope;
- Average slope/grade of the property; and
- Graphic illustrations demonstrating that the proposed improvement or new structure has not exceeded the maximum building envelope

For additional questions about this checklist contact Urban Conservator at 513-352-4848 or urban.conservator@cincinnati-oh.gov

Note: The aforementioned information is general in nature. Additional information may be required by the Urban Conservator once the application is submitted. Please use this list to plan for the potential documents that could be required for a submission.

Property Report


Parcel ID
027-0002-0028-00

Address
3732 SACHEM AVE

Index Order
Parcel Number

Tax Year
2023 Payable 2024

Property Information

Tax District 001 - CINTI CORP-CINTI CSD	School District CINCINNATI CSD	Images/Sketches	
Appraisal Area 00405 - COLUMBIA TUSCULUM 05 Sales	Auditor Land Use 510 - SINGLE FAMILY DWLG		
Owner Name and Address MARTIN JOHN & BETSY 3732 SACHEM AVE CINCINNATI OH 45226 (call 946-4015 if incorrect)	Tax Bill Mail Address CORELOGIC ATTN: TAX DEPARTMENT 3001 HACKBERRY RD IRVING TX 750630156 (Questions? 946-4800 or treasurer.taxbills@hamilton-co.org)		
Assessed Value 181,910	Effective Tax Rate 69.301606	Total Tax \$11,094.10	
Property Description SACHEM AVE 40 X 125 LOT 50 LOGAN 1ST SUB			

Appraisal/Sales Summary	
Year Built	1997
Total Rooms	7
# Bedrooms	3
# Full Bathrooms	2
# Half Bathrooms	1
Last Transfer Date	5/10/2018
Last Sale Amount	\$440,000
Conveyance Number	170991
Deed Type	WD - Warranty Deed (Conv)
Deed Number	
# of Parcels Sold	1
Acreage	0.114

Tax/Credit/Value Summary	
Board of Revision	YES(95)
Rental Registration	No
Homestead	No
Owner Occupancy Credit	Yes
Foreclosure	No
Special Assessments	Yes
Market Land Value	255,080
CAUV Value	0
Market Improvement Value	312,110
Market Total Value	567,190
TIF Value	0
Abated Value	47,450
Exempt Value	0
Taxes Paid	\$5,553.30

Notes

1) 10/25/14 - 10 YR CRA - Remodeling - Max \$309,520 - Began Tax Yr 2014 thru 2023, back to taxable 2024 payable 2025 1) 5-4-98 NEW HOUSE 50% FOR 1998

Structure List

Structure Name	Finished Sq. Ft.	Year Built
Two Story	2,328	1997

Residential Appraisal Data

Attribute	Value	Attribute	Value
Style	Conventional	Stories	2.0
Grade	Very Good	Year Built	1997
Exterior Wall Type	Frame/Siding	Finished Square Footage	2,328
Basement Type	Full Basement	First Floor Area (sq. ft.)	1,148
Heating	Base	Upper Floor Area (sq. ft.)	1,180
Air Conditioning	Central	Half Floor Area (sq. ft.)	0
Total Rooms	7	Finished Basement (sq. ft.)	0
# of Bedrooms	3		
# of Full Bathrooms	2		
# of Half Bathrooms	1		
# of Fireplaces	1		
Basement Garage - Car Capacity	2.0		

Improvements

Improvement	Measurements	Year Built
Deck - Wood	56	
Deck - Wood	70	
Attached/Integral Garage	2	
Patio - Stone	192	

No Proposed Levies Found

No Passed Levies Found

This is an estimated levy payment based on the current value of your property. Actual tax amounts per tax year may vary based on changes in property valuation and based on whether a parcel receives any abatement, credit, or reduction during the levy period.

Effective for the tax year 2005, Ohio's biennial budget bill, Amended Substitute House Bill 66, signed by the Governor on June 30, 2005, terminates the 10 percent real property tax rollback for the commercial and industrial classes of property, and agricultural property used for the commercial production of timber.



**3732 Sachem Ave Garage Addition
Preliminary Geotechnical Report**

Prepared for

**Craig Construction
600 W. Loveland Avenue
Loveland, Ohio 45140**

November 15, 2023

Project No. CN230197



November 15, 2023

Craig Construction
600 W. Loveland Avenue
Loveland, Ohio 45140

Attention: Mr. Doug Craig
Sent via e-mail: craigconstruction13@gmail.com

**Subject: Preliminary Geotechnical Report for
3732 Sachem Ave Garage Addition
Cincinnati, Ohio
CSI Project No. CN230197**

Dear Mr. Craig,

Consulting Services Incorporated of Cincinnati (CSI) is pleased to present our geotechnical report for the 3732 Sachem Avenue Garage Addition in Cincinnati, Ohio. We provided our services in general accordance the CSI Proposal 8619, dated August 18, 2023.

Our report represents information provided to us, readily available published data relevant to the site and site area, our observations and subsurface conditions encountered and our opinion of primary geotechnical conditions (discussion and recommendations) affecting foundations and site work.

Again, we greatly appreciate the opportunity to provide our services and look forward to working with you and the project team on this (and hopefully) more projects in the future. Please do not hesitate to contact us for questions or comments about the information contained herein.

Cordially,

A handwritten signature in black ink, appearing to read "Graham Duncan".

Graham Duncan, EIT
Project Engineer

A handwritten signature in black ink, appearing to read "Joseph S. Burkhardt".

Joseph S. Burkhardt, P.E.
Principal Geotechnical Engineer



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Appendices

- Site Location Plan
- Boring Location Plan
- Geotechnical Boring Information Sheet
- Boring Log
- Field Testing Procedures
- Liquid And Plastic Limits Report
- Summary Of Laboratory Results
- Laboratory Testing Procedures

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INTRODUCTION

1 SCOPE OF THE GEOTECHNICAL EXPLORATION

As proposed, CSI conducted a geotechnical exploration for the proposed garage expansion at 3732 Sachem Avenue in Cincinnati, Ohio. Our services included a review of the project information provided, conducting a subsurface exploration that utilized a soil boring to obtain samples for modeling the soil conditions at the proposed addition, an analysis of data and information obtained, providing foundation type and corresponding recommendations for the site conditions and providing recommendations for site earth work. Due to access limitations due to the steep slope, the boring was drilled outside of the proposed footprint, downslope. Recommendations outlined in this report have been interpolated based upon the conditions encountered in the boring.

2 SITE AND PROJECT INFORMATION

As discussed, we understand the proposed project will include a new garage addition which will be located within the driveway of the existing home. At this time, specific details such as footprint and finished floor elevation have not been provided. A summary of the site and project information is summarized in Tables 1 and 2 below.

Table 1: Site Information

Item	Description
Site Location	The site is located at 3732 Sachem Avenue in Cincinnati, Ohio
Size of Site	The site is approximately a tenth of an acre in size.
Surrounding Area	The surrounding area is characterized by residential developments to the west and undeveloped wooded hillside to the north, east, and south.
Existing Conditions	The existing home is located along a relatively steep hillside which slopes down hill from north to south at an approximately 2.5H:1 configuration. The existing driveway is concrete paved.
Existing/Previous Structure(s)	The existing home was constructed around 1997. The site does not appear to have been previously developed. Prior to development, aerial images suggest the area was a wooded hillside.
Existing/Previous Utilities	Overhead power lines were observed along Sachem Avenue. Underground utilities including sewer, water, and gas were also present on site.

Table 2: Project Information

Item	Description
Proposed Structure & Site Layout	The proposed garage addition will be located to the front of the home within the existing driveway. The proposed garage will include a cut into the existing driveway and will connect with the existing home via a staircase to the rear of the structure.
Building Construction	Wood framed.
Finish Floor Elevation	Finished floor elevations have not been provided, however cuts of up to 8 feet are planned along the rear of the proposed garage.
Maximum Loads	The maximum foundations loads are assumed to be less than 2 kips per foot and 50 kips for wall and column pad foundations, respectively.
Proposed Grading	No grading is planned beyond cuts required for the rear of the garage.

3 AREA/SITE INFORMATION

3A AREA TOPOGRAPHY / PHYSIOGRAPHY

The site is located within the Outer Bluegrass Region of Ohio. This area is characterized by Ordovician and Silurian-age dolomites, limestones, and calcareous shales, thin pre-Wisconsinian drift on ridges in west, and silt-loam colluvium. Below is a figure of the location of the site with respect to the regional physiography. Topography in the area ranges from about 670 feet along the rear of the lot to about 634 feet along Sachem Avenue at the front of the lot.



Figure 1 - Ohio Physiographic Map (site vicinity shown with star)

3B SITE GEOLOGY

Review of the *Surficial Geology of the Ohio Portions of the Cincinnati and Falmouth 30 x 60 Minute Quadrangles* shown in **Figure 2** below indicates the site is located in an area where interbedded limestone and shale bedrock is present at a depth of about 10 feet or less below grade. Overburden soils in this area are typically comprised of clay with varying amounts of silt and rock fragments.

A review of the *Bedrock Geologic Map of Ohio* shown in **Figure 3** indicates the project site is located entirely within the Ordovician age rock deposits Kope Formation (Ok). The Kope formation is comprised of interbedded layers of shale and limestone where shale makes up about 75 percent of the total formation.



Figure 2: Ohio Surficial Site Geology Map (site vicinity shown)



Figure 3: Ohio Geological Survey Bedrock Map (site vicinity shown)

3C PUBLISHED SITE SOIL CONDITIONS

Review of the USDA Soil Survey of Hamilton County, Ohio (NRCS website) shows that soils directly underlying the site consist of the Urban Land-Alfic Udarents Complex (UcAXD). The Urban Land soils series is generally comprised of man made fills or otherwise disturbed soil and can vary greatly in composition based upon many factors, however it is typically deposited at 0 to 25 percent slopes with restrictive features present at depths greater than 80 inches below grade and ground water also present at depths greater than 80 inches below grade. USDA soil survey mapping is shown in Figure 4 below.

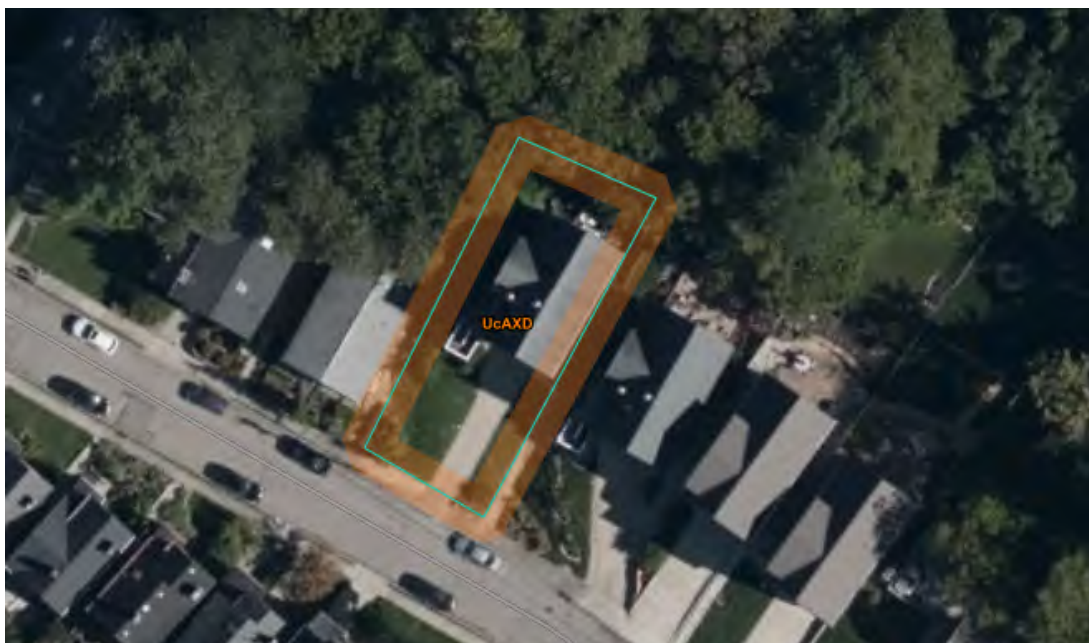


Figure 4: USDA Soil Survey Map

3D AERIAL PHOTOGRAPHS (GOOGLE EARTH)

Review of historical aerial images indicate that the existing home at 3732 Sachem Avenue was constructed at some point between 1993 and 2000. No apparent other changes are evident on the project site since 2000, however development of neighboring properties appears to have occurred between 2012 and 2013.



Figure 5: Google Earth Dated 4-9-93

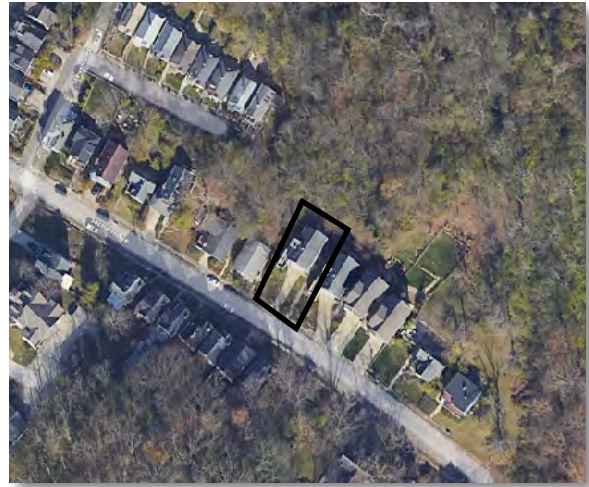


Figure 6: Google Earth Dated 11-9-22

4 SITE PHOTOS

Photos of the site from January 16, 2023 are shown below.



Photo 1: View of existing driveway



Photo 2: Additional view of existing driveway



Photo 3: View of Sachem Ave and existing driveway



Photo 4: View of gas and sewer utilities in side yard

FINDINGS

5 SUBSURFACE CONDITIONS

CSI performed one (1) soil boring to explore the subsurface conditions at the site. Due to the existing slope and overhead utilities, CSI was unable to locate our boring within the footprint of the proposed garage. CSI performed a boring within a flat area away from overhead and underground utilities approximately 10 feet in front of the proposed front of the garage. In general, our boring encountered previously placed fill material overlying weather shale bedrock.

5A STRATA INFORMATION

The subsurface conditions encountered at the boring locations are shown in the Boring Logs in the Appendix. These records represent our interpretation of the subsurface conditions based on the field logs, visual examination of field samples by an engineer, and tests of the samples collected. The letters in parentheses following the soil descriptions are the soil classifications in general accordance with the Unified Soil Classification System (USCS). Dashed stratification lines shown on the soil boring log represent approximate transitions between material types. In-situ stratum changes could occur gradually or at slightly different depths. Boring elevations and locations were determined using a Real Time Kinematic GPS unit.

SURFICIAL COVER

Concrete was encountered at the ground surface in the area of our boring location and was noted to be about 4 inches thick.

EXISTING FILL

Fill material was encountered in our boring underlying the concrete driveway at a depth of about 3½ feet below grade. The fill was described to be brown lean clay with trace silt, rock, and concrete fragments. A Standard Penetration Testing (SPT) N-Value of 9 blows per foot (bpf) was recorded within the fill, indicating a firm consistency. A natural moisture content within the sample recovered was reported to be 19.1 percent.

WEATHERED SHALE BEDROCK

Highly weathered clayey shale was encountered underlying the fill material at a depth of about 3½ feet below grade. The shale bedrock was described to be light brown clayey shale with trace rock fragments. An SPT N-Value of more than 50 blows per foot was recorded within the shale indicating a soft consistency shale bedrock. Laboratory testing indicates a Liquid Limit (LL) of 58 percent and a Plasticity Index (PI) of 25 percent. A natural moisture content of the sample recovered was 17.9 percent. Auger refusal was encountered on what has been assumed to be competent limestone at a depth of about 5 feet below grade.

5B GROUNDWATER CONDITIONS

No groundwater was present in our boring. In many areas of Southern Ohio with similar geology, water conditions that can affect construction and performance of projects is often related to trapped/perched water zones, which can be erratic, but often observed in granular soils. Perched water sources are typically not linked to the more continuous relatively stable ground water table that typically occurs at greater depths. In addition to perched water surfaces, groundwater may also be encountered at the existing fill/natural and soil/bedrock interfaces. Site excavation activities or ground disturbance can expose these features and the resulting seepage can vary greatly. Groundwater issues are also dependent upon recent rainfall activity and surface and subsurface drainage patterns in the area that may change depending on climatic conditions.

6 LABORATORY TESTING

Laboratory tests were performed on selected recovered samples from the borings to provide recommendations for earthwork and to determine index properties of the soils. Details for the test methods and results are shown in the Appendix. Tests performed included:

- 2 Moisture Content Tests
- 1 Grain Size Analysis (-200 Sieve)
- 1 Atterberg Limit Test

GEOTECHNICAL DISCUSSION AND RECOMMENDATIONS

7 DISCUSSION—GEOTECHNICAL ISSUES

Based on our experience with similar projects and the conditions observed during our subsurface exploration, we believe the site is suitable for the proposed garage expansion, provided the recommendations outlined in this report are followed. In general, the garage expansion can be supported atop shallow depth spread foundations; however, the presence of existing fill and location of the existing home/structure in relation to the new foundations will have an impact on foundation design and construction as discussed below:

- **BUILDING FOUNDATION SUPPORT**
- **CUTS ADJACENT TO EXISTING BUILDING**

7A BUILDING FOUNDATION SUPPORT

Based upon our understanding of the project the proposed garage will have a cut of about 8 feet along the rear foundation line and will connect with the existing home via a staircase. Cuts are expected to transition to about 1 foot or less along the front foundation line. Along the rear of the proposed garage, foundation bearing conditions are expected to consist of weathered shale and limestone, however along portions of the side and front foundations, clay bearing soils are anticipated where cuts of less than 3 feet are expected.

Where foundation excavations encounter both bedrock and soil support conditions, measures must be taken to modify the bearing medium to create a more uniform conditions. When foundations are partially supported by compressible material (soil) and more rigid material (rock), differential settlement with discrete structural cracking of foundations and floor slabs can occur often leading to aesthetic issues with drywall, doors/windows not operating properly among other issues.

7B CUTS ADJACENT TO EXISTING BUILDING

At the time of this report, plans are not available with respect to the final location/footprint of the proposed garage or finished floor elevations. It is our understanding that cuts of up to 8 feet are planned to create a level parking area within the garage. Depending upon proximity of the proposed garage in relation to the existing home, there is a possibility of undermining the existing home footings if collapse of the exposed cut occurs.

8 FOUNDATIONS

Due to the presence of existing fill and the potential for differential bearing conditions, we recommend that all new foundation elements for the proposed garage be extended to bear on or within the shale bedrock. Based upon the assumed cuts, foundations along the front of the garage will likely require undercuts of up to 3 feet below finished floor elevations. Foundations bearing on or within shale bedrock may be sized using a maximum net allowable bearing

pressure of 4,000 pounds per square foot (psf). Once a foundation plan has been developed, CSI should evaluate the foundation design for conformance with our recommendations.

Detailed settlement analysis was beyond the scope of this exploration. However, based on the estimated structure loads, the anticipated behavior of soil types encountered during field activities, and our experience with similar projects, we expect that total settlements will not exceed 1 inch, and that differential settlements will not exceed $\frac{3}{4}$ inch between columns or along continuous footing distances of 25 feet or less. We recommend the structures be designed to accommodate this magnitude of total and differential settlement. Settlement estimates are based upon the assumption that the foundations are constructed in accordance with the recommendations above. Additional design and construction considerations for project foundations are outlined as follows:

- Foundations should be a minimum of 18 inches wide.
- Loose soil, debris, and excess surface water should be removed from the bearing surface prior to concrete placement.
- Retain the geotechnical engineer to observe all foundation excavations.
- CSI recommends that the existing site topography remain the same within the general limits of the slope the south of the home. In general, the overall site grading near the slope should be limited to fill heights and excavation depths of less than 2 feet.
- Soils generated from foundation excavations should not be placed on the west side of the residence (temporarily or permanently) to create level areas along the slope.

9 TEMPORARY EXCAVATIONS

Normal earth excavation equipment should be suitable for excavation operations that are associated with the on-site soils. All excavations should comply with OSHA requirements. For below-grade excavations, the existing soils should be classified as an OSHA Type C soil with temporary slope excavations of 1.5H:1V.

CSI recommends the Geotechnical Engineer review all excavations that will be made adjacent to and extend below the existing structure foundations. Where possible, excavations made adjacent to an existing building foundation must provide a minimum temporary slope of 2H:1V or be properly braced to prevent lateral movement. Alternatively, if location of the proposed garage will not allow temporary excavations at a 2H:1V configuration for stability, underpinning of the existing home foundations along the excavation are recommended for stability. It is our opinion that a 'push pier' type of underpinning may be an economical way to provide support during excavations provided the depth to bedrock is not too great. Push piers are attached to the existing foundations and then are hydraulically driven into the ground to a suitable depth and would provide support to the existing home in the event of a collapse during construction of the proposed garage. The bedrock depth at the home will greatly affect the overall

recommendations with respect to stabilizing existing foundations prior to the planned cut. We recommend that at the time of construction, a test pit be excavated near one of the foundations of the existing garage to determine the bedrock depth such that any additional recommendations can be made with respect to stability.

11 BELOW GRADE & RETAINING WALLS

The basements for the proposed garage will be subjected to lateral earth pressures for the portion below grade. We recommend the basement walls be designed for the at-rest earth pressure condition since it is presumed they will be laterally restrained. Should wall backfill be placed before floor joists are constructed, it may be necessary to provide temporary bracing if the walls cannot accommodate construction phase stresses, or the walls should be designed for the active earth pressure condition as self-supporting cantilever walls.

The following table presents granular backfill earth pressure design parameters for Equivalent Fluid Density's (EFD's) and Earth Pressure coefficients. No cohesive soils should be used within 2 feet of the basement walls or within the retained zone of proposed retaining walls. The retained zone should be considered as an imaginary line drawn upward at a 45 degree angle from the top of the retaining wall footings. The values given in the tables below assume the backfill zone is level, drained, the zone of backfill conforms to the minimum zone size given above, and no surcharge is placed on the backfill. For retaining wall planned at the base of slopes the effects of the inclined backfill slope and fore slope should be considered. Extension of the retaining wall footing embedment should be expected when compared foundations/retaining walls with level backfill conditions.

Table 3: Equivalent Fluid Density (EFD) and Earth Pressure Coefficient - Level Backfill

Condition	Granular Backfill	
	EFD (pcf)	Coefficients
At-Rest	45	$K_0 = 0.35$
Active	30	$K_a = 0.22$
Passive	300	$K_p = 2.75$

10 NOTES ON THE REPORT AND RECOMMENDATIONS

We recommend that this complete report be provided to the various design team members, the contractors and the project Owner. Potential contractors should be informed of this report in the "Instructions to Bidders" section of the bid documents. A geotechnical exploration, such as the one we performed, used one boring to attempt to model the subsurface conditions at the site. Because no exploration contains complete data or a complete model, there is always a possibility that conditions between borings will be different from those at specific boring locations. Thus, it is possible that some subsurface conditions will not be as anticipated by the project team or contractor. If this report is included or referenced in the actual contract documents, it shall be explicitly understood that this report is for informational purposes only. CSI shall not be responsible for the opinions of, or conclusions drawn by others.

It has been our experience that the construction process often disturbs soil conditions and this process, no matter how much experience we use to anticipate construction methodology, is not completely predictable. Therefore, changes or modifications to our recommendations are likely needed due to these possible variances. Experienced CSI geotechnical personnel should be used to observe and document the construction procedures and the conditions encountered. Unanticipated conditions and inadequate procedures should be reported to the design team along with timely recommendations to solve the problems created. We recommend that the Owner retain CSI to provide this service based upon our familiarity with the project, the subsurface conditions and the intent of our recommendations.

This report is based on the supplied project information, the subsurface conditions observed at the time of the report, and our experience with similar conditions. As such, it cannot be applied to other project sites, types, or combinations thereof. If the Project Information section in this report contains incorrect information or if additional information is available, you should convey the correct or additional information to us and retain us to review our recommendations. Our recommendations may then require modification.

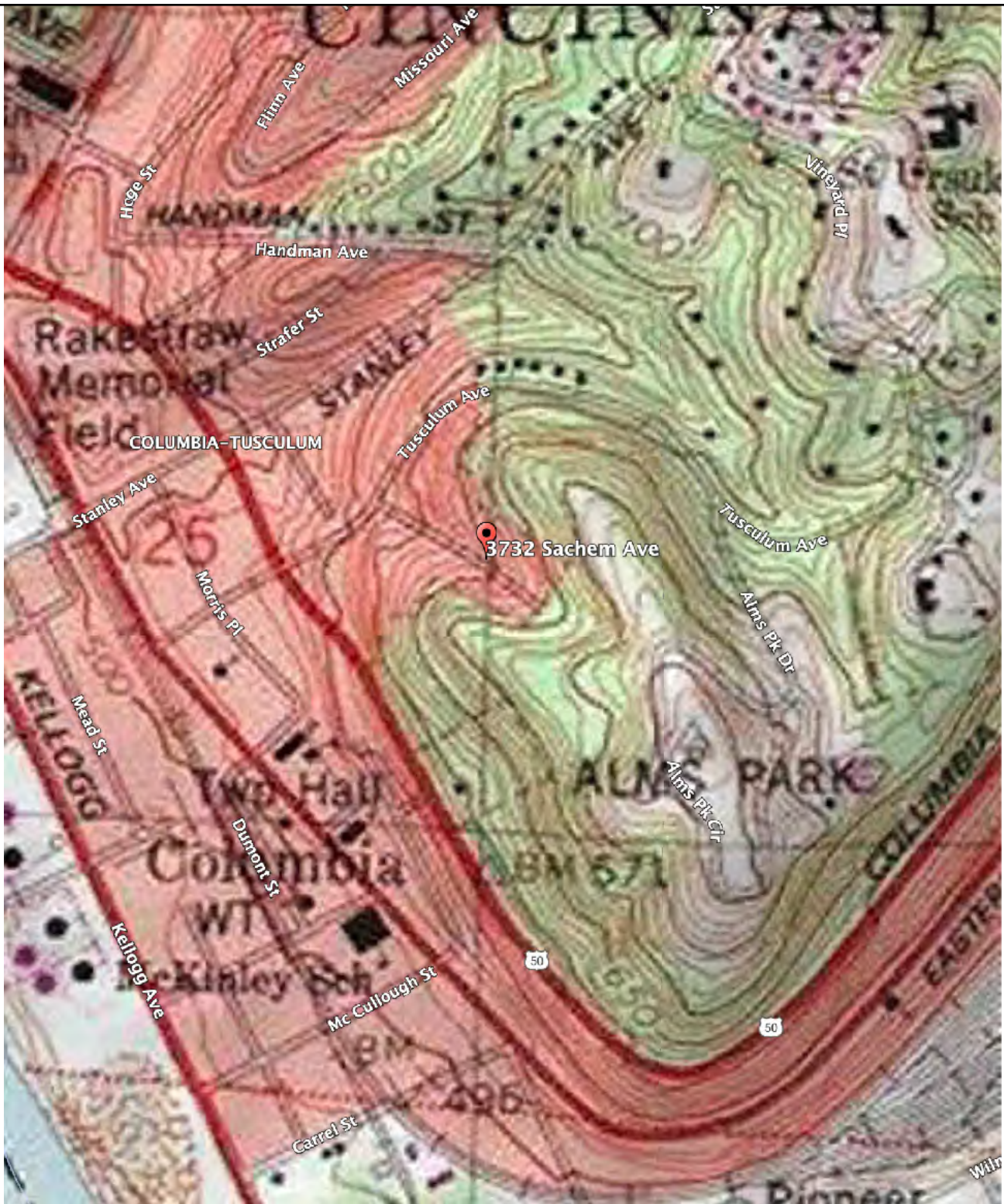
No section or portion of this report (including Appendix information) can be used as a stand alone article to make distinct changes or assumptions. The entire report and Appendix should be used together as one resource. We wish to remind you that our exploration services include storing the soil samples collected and making them available for inspection for 30 days. The soil samples are then discarded unless you request otherwise. Please inform us if you wish to keep any of the obtained samples.

While this report deals with samples of subsurface materials and some comments on water conditions at the site, no assessment of site environmental conditions or the presence of contaminants were performed.

We wish to remind you that our exploration services include storing the soil samples collected and making them available for inspection for 30 days. The samples are then discarded unless you request otherwise. Please inform us if you wish to keep any of the obtained samples

APPENDIX

**SITE LOCATION PLAN
BORING LOCATION PLAN
GEOTECHNICAL BORING INFORMATION SHEET
BORING LOG
FIELD TESTING PROCEDURES
LIQUID AND PLASTIC LIMITS REPORT
GRAIN SIZE DISTRIBUTION REPORT
SUMMARY OF LABORATORY RESULTS
LABORATORY TESTING PROCEDURES**



ADAPTED FROM TOPOGRAPHIC MAPPING
FOR ILLUSTRATION PURPOSES



CSI Cincinnati, LLC
11785 Highway Drive
Cincinnati, Ohio 45241
513.252.2059 Office | 888.792.3121 Fax
www.csiohio.com

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PROJECT NO:
CN230197

DRAWN BY:
GD

PROJECT: 3732 SACHEM AVE
CINCINNATI, OH

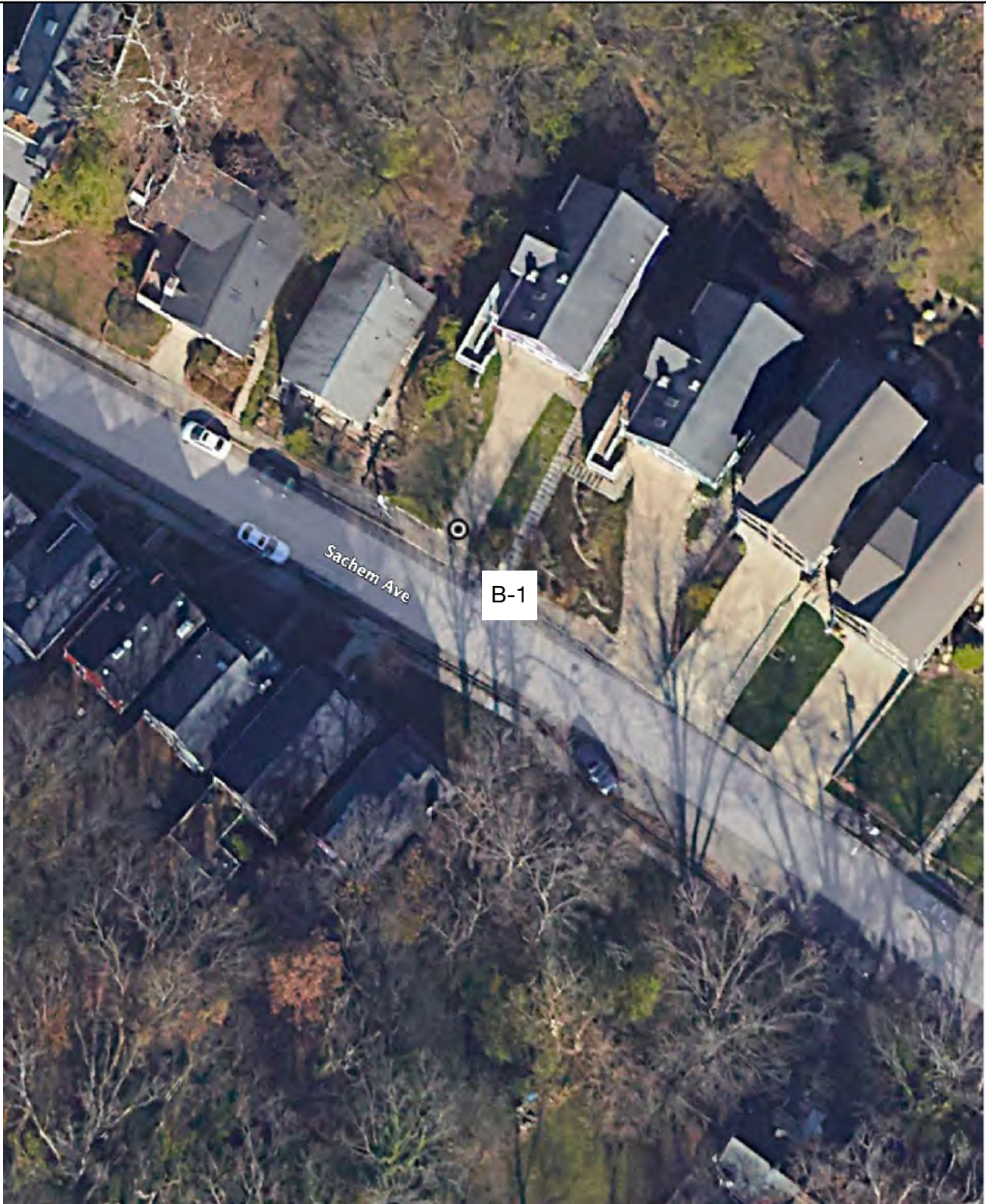
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6/26/23

CHECKED BY:
JB

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1 OF 2

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FOR ILLUSTRATION PURPOSES



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 11785 Highway Drive
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CHECKED BY:
JB


























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2 OF 2

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Geotechnical Boring Information Sheet



Sample Type Symbols	Definitions
Splitspoon (SPT)  Shelby Tube  Grab  Rock Core  Auger Cuttings 	<p>SPT-"Splitspoon" or standard penetration test. Blow counts are number of drops required for a 140 lb hammer dropping 30 inches to drive the sampler 6 inches.</p> <p>N-value is the addition of the last two intervals of the 18-inch sample.</p> <p>Shelby tubes are often called "undisturbed samples". They are directly pushed into the ground, twisted, allowed to rest for a small period of time and then pulled out of the ground. Tops and bottoms are cleaned and then sealed.</p> <p>Sample classification is done in general accordance with ASTM D2487 and 2488 using the Unified Soil Classification System (USCS) as a general guide.</p>
Surface Symbols	
Topsoil  Asphalt  Concrete  Lean Clay  Fat Clay  Glacial Till  Sandy Clay  Silt  Elastic Silt  Lean Clay to Fat Clay  Gravelly Clay  Sandy Silt  Gravelly Silt  Sand  Gravel  Fill  Limestone  Sandstone  Shale/Siltstone  Weathered Rock 	<p>Soil moisture descriptions are based on the recovered sample observations. The descriptors are dry, slightly moist, moist, very moist and wet. These are typically based on relative estimates of the moisture condition of a visual estimation of the soils optimum moisture content (EOMC). Dry is almost in a "dusty" condition usually 6 or more percent below EOMC. Slightly moist is from about 6 to 2 percent below EOMC at a point at which the soil color does not readily change with the addition of water. Moist is usually 2 percent below to 2 percent above EOMC and the point at which the soil will tend to begin forming "balls" under some pressure in the hand. Very moist is usually from about 2 percent to 6 percent above EOMC and also the point at which it's often considered "muddy". Wet soil is usually 6 or more percent above EOMC and often contains free water or the soil is in a saturated state.</p> <p>Silt or Clay is defined at material finer than a standard #200 US sieve (<0.075mm) Sand is defined as material between the size of #200 sieve up to #4 sieve. Gravel is from #4 size sieve material to 3". Cobbles are from 3" to 12". Boulders are over 12".</p> <p>Rock hardness is classified as follows: Very Soft: Easily broken by hand pressure Soft: Ends can be broken by hand pressure; easily broken with hammer Medium: Ends easily broken with hammer; middle requires moderate blow Hard: Ends require moderate hammer blow; middle requires several blows Very Hard: Many blows with a hammer required to break core</p> <p>Rock Quality Designation (RQD) is defined as total combined length of 4" or longer pieces of core divided by the total core run length; defined in percentage.</p>
Samples Strength Descriptors	
Cohesive Soils: Very Soft N 0-1 Soft 2-4 Firm 5-8 Stiff 9-15 Very Stiff 16-30 Hard 31+ Non-cohesive Soils: Very Loose 0-4 Loose 5-10 Firm 11-20 Very Firm 21-30 Dense 30-50 Very Dense 51+	<p>Water or cave-in observed in borings is at completion of drilling each boring unless otherwise noted.</p> <p>Strata lengths shown on borings represents a rough estimate. Transition may be more abrupt or gradual. Soil borings are representative of that estimated location at that time and are based on recovered samples. Conditions may be different between borings and between sample intervals. Boring information is not to be considered stand alone but should be taken in context with comments and information in the geotechnical report and the means by which the borings are logged, sampled and drilled.</p>

CLIENT Craig's Construction BORING # B-1
 PROJECT NAME 3732 Sachem Avenue JOB # CN230199
 PROJECT LOCATION Cincinnati, OH LOGGED BY GD
 APPROVED BY GD

DRILLING and SAMPLING INFORMATION

Date Started 9/22/23 Contractor EnviroCore
 Date Completed 9/22/23 Boring Size 8 in.
 Drill Rig Geoprobe Boring Method 3 1/4" HSA
 Weather Sunny, 80s Hammer Type Automatic

TEST DATA

SOIL CLASSIFICATION				Sample No.	Sample Type	Sample Graphics	Recovery (in)	Standard Penetration Test Blows per 6" [N-Value]	Qu- _{tsf} Unconfined (Pocket Pen.) Compressive Strength	Moisture Content %	Liquid Limit (LL)	Plasticity Index (PI)	Percent Passing #200 Sieve	Remarks
Elev. (ft)	Depth Scale	Water Level												
SURFACE ELEVATION: 638.0														
			FILL: Brown LEAN CLAY (CL) with trace silt, trace rock fragments, and trace concrete											
636	2			1	SS		10	2-4-5 [9]		19.1				
634	4		Light brown CLAYEY SHALE with trace rock fragments - moist , soft	2	SS		6	4-50/2- [50/2]		17.9	58	25	96	
632	6		Auger refusal at 5.0' Boring terminated											
630	8													

Depth to Groundwater

- Noted on Drilling Tools _____ ft.
- ▽ At Completion _____ ft.
- ▼ After _____ hours _____ ft.
- ⊠ Cave Depth _____ ft.

Sample Type

- SPT- Standard Penetration Test
- SS- Split Spoon
- ST- Shelby Tube
- RC- Rock Core
- CU- Auger Cuttings

Boring Method

- HSA- Hollow Stem Augers
- CFA- Continuous Flight Augers
- MD- Mud Drilling

FIELD TESTING PROCEDURES

Field Operations: The general field procedures employed by CSI are summarized in ASTM D 420 which is entitled "Investigating and Sampling Soils and Rocks for Engineering Purposes." This recommended practice lists recognized methods for determining soil and rock distribution and ground water conditions. These methods include geophysical and in situ methods as well as borings.

Borings are drilled to obtain subsurface samples using one of several alternate techniques depending upon the subsurface conditions. These techniques are:

- a. Continuous 2-1/2 or 3-1/4 inch I.D. hollow stem augers;
- b. Wash borings using roller cone or drag bits (mud or water);
- c. Continuous flight augers (ASTM D 1425).

These drilling methods are not capable of penetrating through material designated as "refusal materials." Refusal, thus indicated, may result from hard cemented soil, soft weathered rock, coarse gravel or boulders, thin rock seams, or the upper surface of sound continuous rock. Core drilling procedures are required to determine the character and continuity of refusal materials.

The subsurface conditions encountered during drilling are reported on a field test boring record by the chief driller. The record contains information concerning the boring method, samples attempted and recovered, indications of the presence of various materials such as coarse gravel, cobbles, etc., and observations between samples. Therefore, these boring records contain both factual and interpretive information. The field boring records are on file in our office.

The soil and rock samples plus the field boring records are reviewed by a geotechnical engineer. The engineer classifies the soils in general accordance with the procedures outlined in ASTM D 2488 and prepares the final boring records which are the basis for all evaluations and recommendations.

The final boring records represent our interpretation of the contents of the field records based on the results of the engineering examinations and tests of the field samples. These records depict subsurface conditions at the specific locations and at the particular time when drilled. Soil conditions at other locations may differ from conditions occurring at these boring locations. Also, the passage of time may result in a change in the subsurface soil and ground water conditions at these boring locations. The lines designating the interface between soil or refusal materials on the records and on profiles represent approximate boundaries. The transition between materials may be gradual. The final boring records are included with this report.

The detailed data collection methods used during this study are discussed on the following pages.

Soil Test Borings: Soil test borings were made at the site at locations shown on the attached Boring Plan. Soil sampling and penetration testing were performed in accordance with ASTM D 1586.

The borings were made by mechanically twisting a hollow stem steel auger into the soil. At regular intervals, the drilling tools were removed and soil samples obtained with a standard 1.4 inch I.D., 2 inch O.D., split tube sampler. The sampler was first seated 6 inches to penetrate any loose cuttings, then driven an additional foot with blows of a 140-pound hammer falling 30 inches. The number of hammer blows required to drive the sampler the final foot was recorded and is designated the "penetration resistance". The penetration resistance, when properly evaluated, is an index to the soil strength and foundation supporting capability.

Representative portions of the soil samples, thus obtained, were placed in glass jars and transported to the laboratory. In the laboratory, the samples were examined to verify the driller's field classifications. Test Boring Records are attached which graphically show the soil descriptions and penetration resistances.

Core Drilling: Refusal materials are materials that cannot be penetrated with the soil drilling methods employed. Refusal, thus indicated, may result from hard cemented soil, soft weathered rock, coarse gravel or boulders, thin rock seams or the upper surface of sound continuous rock. Core drilling procedures are required to determine the character and continuity of refusal materials.

Prior to coring, casing is set in the drilled hole through the overburden soils, if necessary, to keep the hole from caving. Refusal materials are then cored according to ASTM D 2113 using a diamond-studded bit fastened to the

end of a hollow double tube core barrel. This device is rotated at high speeds, and the cuttings are brought to the surface by circulating water. Core samples of the material penetrated are protected and retained in the swivel-mounted inner tube. Upon completion of each drill run, the core barrel is brought to the surface, the core recovered is measured, the samples are removed and the core is placed in boxes for storage.

The core samples are returned to our laboratory where the refusal material is identified and the percent core recovery and rock quality designation is determined by a soils engineer or geologist. The percent core recovery is the ratio of the sample length obtained to the depth drilled, expressed as a percent. The rock quality designation (RQD) is obtained by summing up the length of core recovered, including only the pieces of core which are four inches or longer, and dividing by the total length drilled. The percent core recovery and RQD are related to soundness and continuity of the refusal material. Refusal material descriptions, recoveries, and RQDs are shown on the "Test Boring Records".

Hand Auger Borings and Dynamic Cone Penetration Testing: Hand auger borings are performed manually by CSI field personnel. This consists of manually twisting hand auger tools into the subsurface and extracting "grab" or baggie samples at intervals determined by the project engineer. At the sample intervals, dynamic cone penetration (DCP) testing is performed. This testing involves the manual raising and dropping of a 20 pound hammer, 18 inches. This "driver" head drives a solid-1 $\frac{3}{4}$ inch diameter cone into the ground. DCP "counts" are the number of drops it takes for the hammer to drive three 1 $\frac{3}{4}$ inch increments, recorded as X-Y-Z values.

Test Pits: Test pits are excavated by the equipment available, often a backhoe or trackhoe. The dimensions of the test pits are based on the equipment used and the power capacity of the equipment. Samples are taken from the spoils of typical buckets of the excavator and sealed in jars or "Ziplock" baggies. Dynamic Cone Penetration or hand probe testing is often performed in the upper few feet as OSHA standards allow. Refusal is deemed as the lack of advancement of the equipment with reasonable to full machine effort.

Water Level Readings: Water table readings are normally taken in conjunction with borings and are recorded on the "Test Boring Records". These readings indicate the approximate location of the hydrostatic water table at the time of our field investigation. Where impervious soils are encountered (clayey soils) the amount of water seepage into the boring is small, and it is generally not possible to establish the location of the hydrostatic water table through water level readings. The ground water table may also be dependent upon the amount of precipitation at the site during a particular period of time. Fluctuations in the water table should be expected with variations in precipitation, surface run-off, evaporation and other factors.

The time of boring water level reported on the boring records is determined by field crews as the drilling tools are advanced. The time of boring water level is detected by changes in the drilling rate, soil samples obtained, etc. Additional water table readings are generally obtained at least 24 hours after the borings are completed. The time lag of at least 24 hours is used to permit stabilization of the ground water table which has been disrupted by the drilling operations. The readings are taken by dropping a weighted line down the boring or using an electrical probe to detect the water level surface.

Occasionally the borings will cave-in, preventing water level readings from being obtained or trapping drilling water above the caved-in zone. The cave-in depth is also measured and recorded on the boring records.

LABORATORY TESTING PROCEDURES

Soil Classification: Soil classifications provide a general guide to the engineering properties of various soil types and enable the engineer to apply past experience to current problems. In our investigations, samples obtained during drilling operations are examined in our laboratory and visually classified by an engineer. The soils are classified according to consistency (based on number of blows from standard penetration tests), color and texture. These classification descriptions are included on our "Test Boring Records."

The classification system discussed above is primarily qualitative and for detailed soil classification two laboratory tests are necessary: grain size tests and plasticity tests. Using these test results the soil can be classified according to the AASHTO or Unified Classification Systems (ASTM D 2487). Each of these classification systems and the in-place physical soil properties provides an index for estimating the soil's behavior. The soil classification and physical properties obtained are presented in this report.

Rock Classification: Rock classifications provide a general guide to the engineering properties of various rock types and enable the engineer to apply past experience to current situations. In our explorations, rock core samples obtained during drilling operations are examined in our laboratory and visually classified by an engineer. The rock cores are classified according to relative hardness and RQD (see Guide to Rock Classification Terminology), color, and texture. These classification descriptions are included on our Test Boring Records.

Atterberg Limits: Portions of the samples are taken for Atterberg Limits testing to determine the plasticity characteristics of the soil. The plasticity index (PI) is the range of moisture content over which the soil deforms as a plastic material. It is bracketed by the liquid limit (LL) and the plastic limit (PL). The liquid limit is the moisture content at which the soil becomes sufficiently "wet" to flow as a heavy viscous fluid. The plastic limit is the lowest moisture content at which the soil is sufficiently plastic to be manually rolled into tiny threads. The liquid limit and plastic limit are determined in accordance with ASTM D 4318.

Moisture Content: The Moisture Content is determined according to ASTM D 2216.

Percent Finer Than 200 Sieve: Selected samples of soils are washed through a number 200 sieve to determine the percentage of material less than 0.074 mm in diameter.

Rock Strength Tests: To obtain strength data for rock materials encountered, unconfined compression tests are performed on selected samples. In the unconfined compression test, a cylindrical portion of the rock core is subjected to increasing axial load until it fails. The pressure required to produce failure is recorded, corrected for the length to diameter ratio of the core and reported.

Compaction Tests: Compaction tests are run on representative soil samples to determine the dry density obtained by a uniform compactive effort at varying moisture contents. The results of the test are used to determine the moisture content and unit weight desired in the field for similar soils. Proper field compaction is necessary to decrease future settlements, increase the shear strength of the soil and decrease the permeability of the soil.

The two most commonly used compaction tests are the Standard Proctor test and the Modified Proctor test. They are performed in accordance with ASTM D 698 and D 1557, respectively. Generally, the Standard Proctor compaction test is run on samples from building or parking areas where small compaction equipment is anticipated. The Modified compaction test is generally performed for heavy structures, highways, and other areas where large compaction equipment is expected. In both tests a representative soil sample is placed in a mold and compacted with a compaction hammer. Both tests have three alternate methods.

Test	Method	Hammer Wt./Fall	Mold Diam.	Run on Material Finer Than	No. of Layers	No. of Blows/Layer
Standard D 698	A	5.5 lb./12"	4"	No. 4 sieve	3	25
	B	5.5 lb./12"	4"	3/8" sieve	3	25
	C	5.5 lb./12"	6"	3/4" sieve	3	56

Test	Method	Hammer Wt./Fall	Mold Diam.	Run on Material Finer Than	No. of Layers	No. of Blows/Layer
Modified D 1557	A	10 lb./18"	4"	No. 4 sieve	5	25
	B	10 lb./18"	4"	3/8" sieve	5	25
	C	10 lb./18"	6"	3/4" sieve	5	56

The moisture content and unit weight of each compacted sample is determined. Usually 4 to 5 such tests are run at different moisture contents. Test results are presented in the form of a dry unit weight versus moisture content curve. The compaction method used and any deviations from the recommended procedures are noted in this report.

Laboratory California Bearing Ratio Tests: The California Bearing Ratio, generally abbreviated to CBR, is a punching shear test and is a comparative measure of the shearing resistance of a soil. It provides data that is a semi-empirical index of the strength and deflection characteristics of a soil. The CBR is used with empirical curves to design pavement structures.

A laboratory CBR test is performed according to ASTM D 1883. The results of the compaction tests are utilized in compacting the test sample to the desired density and moisture content for the laboratory California Bearing Ratio test. A representative sample is compacted to a specified density at a specified moisture content. The test is performed on a 6-inch diameter, 4.58-inch-thick disc of compacted soil that is confined in a cylindrical steel mold. The sample is compacted in accordance with Method C of ASTM D 698 or D 1557.

CBR tests may be run on the compacted samples in either soaked or unsoaked conditions. During testing, a piston approximately 2 inches in diameter is forced into the soil sample at the rate of 0.05 inch per minute to a depth of 0.5 inch to determine the resistance to penetration. The CBR is the percentage of the load it takes to penetrate the soil to a 0.1 inch depth compared to the load it takes to penetrate a standard crushed stone to the same depth. Test results are typically shown graphically.

ARCHITECTS II LTD

COMMERCIAL, RESIDENTIAL AND RESORT ARCHITECTURE



66 LOCUST AVENUE
LAKESIDE PARK
KENTUCKY 41017
PHONE: 859.331.8700
FAX: 859.341.8875

REGISTERED ARCHITECTS
KENTUCKY
MICHIGAN
OHIO

1201 M-66 SOUTH
EAST JORDAN
MICHIGAN 49727
PHONE: 231.675.5763
FAX: 859.341.8875



February 8, 2024

Historic Conservation Board

805 Central Avenue
Suite 720
Two Centennial Plaza
Cincinnati, Ohio 45202

RE: 3732 Sachem

Historical Conservation Board,

We are proposing to add a new two car garage in front of the existing residence recessed into the existing grade. This will replace the existing two car garage at a lower elevation allowing for a less severe slope to access the new garage vs. the existing. The new garage addition is also intended to fix existing failing site conditions. The existing site drainage has undermined the existing driveway causing cracking and pulling away for the existing residence. The new garage will serve as new support for the hillside and reinforce the existing house structure. The new garage will have a green roof reducing the impervious surface on the site and allowing for better control of drainage. We are also proposing a new elevator from the new garage up to the existing level of the existing garage and entry.

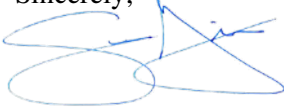
The Architecture of the new garage is intended to be compatible with and sympathetic to the existing Architecture. At the same time the new garage addition is not intended to overpower the existing residence in any way. We have recessed it into the hillside reducing its presence from the sides and especially from above by introducing a green roof with planting and lawn area.

The project will include a new two-stop elevator. The new elevator will be placed under a new roof construction that ties it together with the existing residence. The new roof will provide protection from the weather while accessing the entry door to the lower level.

The construction finish materials used will match the materials used on the existing house. The horizontal siding will have the same exposure as the existing siding. The trim boards will be wood and the same scale as the existing residence. The panels introduced above the doors are intended to break down the scale of the garage and to reflect the Victorian Architecture of the neighborhood.

Please let me know if I can be of any further assistance.

Sincerely,

A handwritten signature in blue ink, appearing to read 'S. Ginter', with a stylized flourish at the end.

Steven A. Ginter RA
Architects II Ltd.

ARCHITECTS II LTD

COMMERCIAL, RESIDENTIAL AND RESORT ARCHITECTURE



66 LOCUST AVENUE
LAKESIDE PARK
KENTUCKY 41017
PHONE: 859.331.8700
FAX: 859.341.8875

REGISTERED ARCHITECTS
KENTUCKY
MICHIGAN
OHIO

1201 M-66 SOUTH
EAST JORDAN
MICHIGAN 49727
PHONE: 231.675.5763
FAX: 859.341.8875



February 8, 2024

City of Cincinnati Zoning Hearing Examiner

11 Centennial Plaza
805 Central Ave Suite 500
Cincinnati, OH 45202

RE: 3732 Sachem

Zoning Board,

We are submitting plans for your review with a request for a dimensional variance to the left side, right side setbacks for SF-2 Zoning District per section 1433-17 parts B and C. We are also looking for relief from the 8'-0" cut/fill limit per section 1433-10 part G.

The existing residence is a two-story residence with a two-car garage below. There is a steep incline to get into the two-car garage which is impractical especially during the winter months. We are proposing the addition of a two-car garage to the front of the house that is closer to the road elevation thus reducing the severity of the slope of the driveway. The garage will have a live roof with grass and plantings on it to reduce the visual impact on the neighbors. We are also proposing a new elevator to provide access from the new garage to the lower level of the existing residence.

Variations Requested per Chapter 1433 Hillside Overlay District

Left Side Setback relief of **0.9'** from the average of 5.8' to allow a **4.9'** left side setback to the new elevator as per Section 1433-17 part B.

Right Side Setback relief of **4.9'** from the average of 8.4' to allow a **3.5'** right side setback to the new elevator as per Section 1433-17 part B.

Cut / Fill relief of **6'** from the 8.0' limit to allow a **14.0'** cumulative cut / fill from the existing grade of the existing garage façade which is approximately 652 ASL to the proposed garage façade and driveway that starts at approximately 638 ASL. The new garage slab elevation is set at 639 ASL.

1445-15 Standards for Variations

Subject to the other provisions of this Chapter, the Zoning Hearing Examiner may grant a variance from the requirements of the Cincinnati Zoning Code or the Land Development Code, provided the condition giving rise to the request for the variance was not created by the owner or any predecessor in title. In order to grant approval, the examiner has to find that

the requested variance is not contrary to the intent and purpose of this Code or the Land Development Code, as applicable, and the zone district nor detrimental or injurious to the public health, safety and general welfare based on either of the following:

Owing to special circumstances or conditions pertaining to a specific piece of property, the strict application of the provisions or requirements of this Code or the Land Development Code, as applicable, are unreasonable and would result in practical difficulties.

The existing residence as built would not allow for an addition to the existing residence without requiring a variance to the side yard setbacks. Owing to special circumstances or conditions the strict application of the provisions or requirements of the Code and Land Development Code would be unreasonable and would result in practical difficulties.

- (a) The variance is necessary for the preservation and enjoyment of a substantial property right of the applicant possessed by owners of other properties in the same district or vicinity.

The variance is necessary for the preservation and enjoyment of the substantial property right of the applicant possessed by owners of the properties in the same district and vicinity. The neighboring houses of the same scale have two car garages. The proposed new garage is allows for a more reasonable driveway slope which is more practical.

(Ordained by Ord. No. 15-2004, eff. Feb. 13, 2004; Emer. Ord. No. 244-2015, § 6, eff. July 1, 2015)**1433-19 Base Development Requirements.**

(a) *Maximum Building Envelope.* A new building or a building alteration, addition or repair must be contained within the maximum building envelope.

The proposed garage addition and elevator do not fit within the maximum building envelope based on the averaging of the setbacks. We are looking for dimensional variances to the left side and right side setbacks.

(b) *Height Versus Width.* Buildings proposed on top of the hillside must be taller than wider to accentuate the vertical dimension.

The existing house is taller than wider and the new addition helps accentuate the vertical dimension that already exists.

(c) *Stepping.* Buildings proposed below or above the brow of the hill must be staggered or stepped in depth and width to match topography and slope.

The lot slopes aggressively from the rear of the lot down to the street. The new garage addition follows this language by stepping down toward the street.

(d) *Maximum Retaining Wall Height.* Retaining walls may not exceed eight feet in height.

We do not have retaining walls that are greater than eight feet in height.

(e) *Rooftop Utilities.* Rooftop utilities and mechanical equipment should be avoided. If rooftop utilities and mechanical equipment are necessary, screening and sound control must be provided to integrate them into the rooftop.

We do not have rooftop utilities.

(f) *Landscaping of Pervious Surfaces.* All pervious surfaces remaining after completion of construction must be landscaped in trees, shrubs, grass or other ground covers to promote hillside stability and reduce excessive water runoff.

The new garage addition is proposed to be constructed in the existing concrete driveway space and will have a green rooftop with grass and plantings. This will increase the pervious surface amount and work well to reduce the amount of runoff that currently exists.

(g) Excavation and fills should not exceed eight feet in cumulative height. Excavation and/or fill of any height or cumulative amount that is not tied to a specific development is expressly prohibited. Regardless of height, documentation must be provided to show the excavation and/or fill is necessary to support a specific development and a staff review is required to determine conformance with all requirements of this chapter.

The new garage addition will need a 14'-0" cumulative cut / fill from the existing grade of the existing garage façade which is approximately 652 ASL to the proposed garage façade and driveway that starts at approximately 638 ASL. The new garage slab elevation is set at 639 ASL.

(h) The preliminary geotechnical evaluation should address relative hillside stability.

We have provided a preliminary geotechnical evaluation.

1433-23. - Hillside Development Standards.

In addition to the Base Development Requirements of [§ 1433-19](#), the Zoning Hearing Examiner must consider the following standards to ensure harmonious relationships with adjacent buildings and the hillside environment:

(a) Avoid cuts in the hillside if they would leave cliff-like vertical slopes and excessively high retaining walls.

The new garage addition does not leave cliff-like vertical slopes and excessively high retaining walls.

(b) Design buildings to fit into the hillside rather than altering the hillside to fit the buildings.

The new garage addition fits into the hillside slope and does not interrupt the grades to the left and right sides.

(c) Hillside development should be designed to minimize excavation required for foundations, parking and access drives.

The new garage is designed in balance with the existing grades to allow for a functional driveway.

(d) Cluster new development to retain surrounding tree cover and minimize alterations to the existing topography.

The new garage is designed and will be constructed in the existing concrete driveway space and will have a green rooftop with grass and plantings. We are not removing any trees.

(e) Maintain a clear sense of the hillside brow by locating buildings back from the brow of the hill.

The new garage is to be built in front of the existing residence which is well below the brow of the hill.

(f) Site buildings so as to respect views from public viewing places within the HS District identified in a community plan or other documentation approved by the City Planning Commission.

The new garage addition does not impact any public viewing places within the HS District.

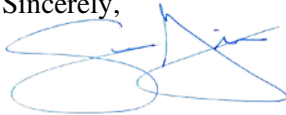
(g) Where applicable, consider the guidelines contained in the "Cincinnati Hillside Development Guidelines" report to evaluate development applications.

These guidelines have been read and considered.

We feel that the spirit and intent behind the zoning requirement would be observed, and substantial justice done by granting the variances requested. The addition of the new two car garage will be built into the hillside to reduce the impact on the streetscape. The addition of the proposed garage and elevator will not have an adverse effect or be detrimental to the public welfare of injurious to property in the District of Vicinity in which the property is located.

Please let me know if I can be of any further assistance.

Sincerely,



Steven A. Ginter RA
Architects II Ltd.

ARCHITECTS II LTD

COMMERCIAL, RESIDENTIAL AND RESORT ARCHITECTURE



66 LOCUST AVENUE
LAKESIDE PARK
KENTUCKY 41017
PHONE: 859.341.8700
FAX: 859.341.8875

REGISTERED ARCHITECTS
KENTUCKY
MICHIGAN
OHIO

1201 M-66 SOUTH
EAST JORDAN
MICHIGAN 49727
PHONE: 231.675.5763
FAX: 859.341.8875



February 8, 2024

Historic Conservation Board

805 Central Avenue
Suite 720
Two Centennial Plaza
Cincinnati, Ohio 45202

RE: 3732 Sachem List of Witnesses

Steven A. Ginter RA
Architect
66 Locust Ave Lakeside Park, KY 41017
EMAIL: sginter@architectsii.com

Betsy Martin
Owner
3732 Sachem Cincinnati, OH 45226
EMAIL: betsy@vayaconnect.com

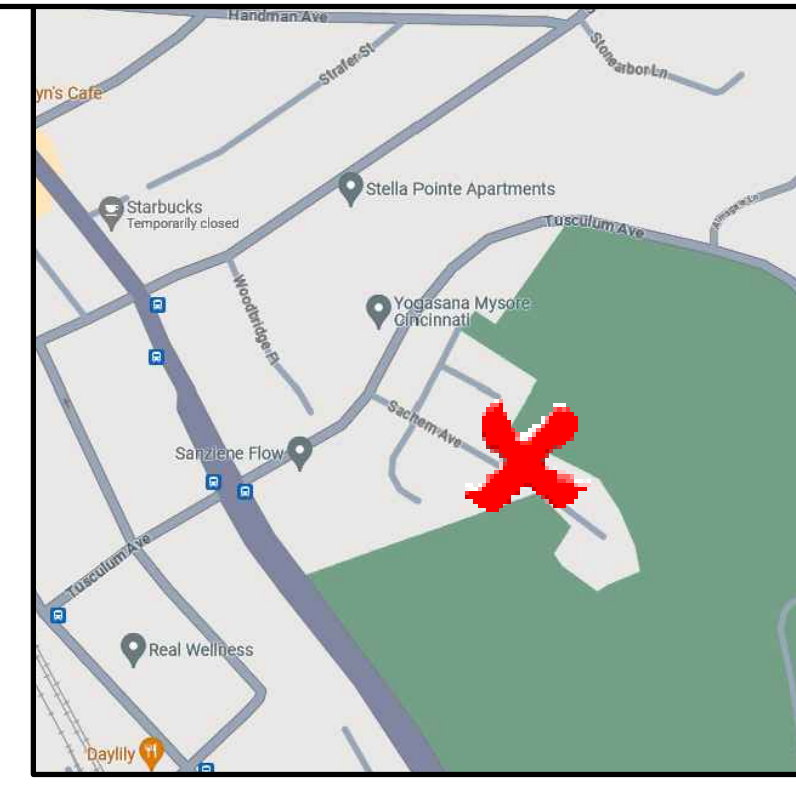
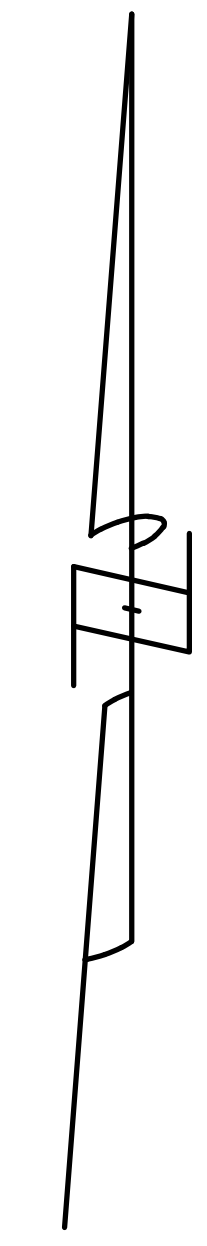
John Martin
Owner
1890 Madison Road Cincinnati, OH 45206
3732 Sachem Cincinnati, OH 45226
EMAIL: martin.cincinnati@gmail.com

Doug Craig
Builder
600 W. Loveland Ave, Loveland OH 45140
EMAIL: dtc6490@yahoo.com

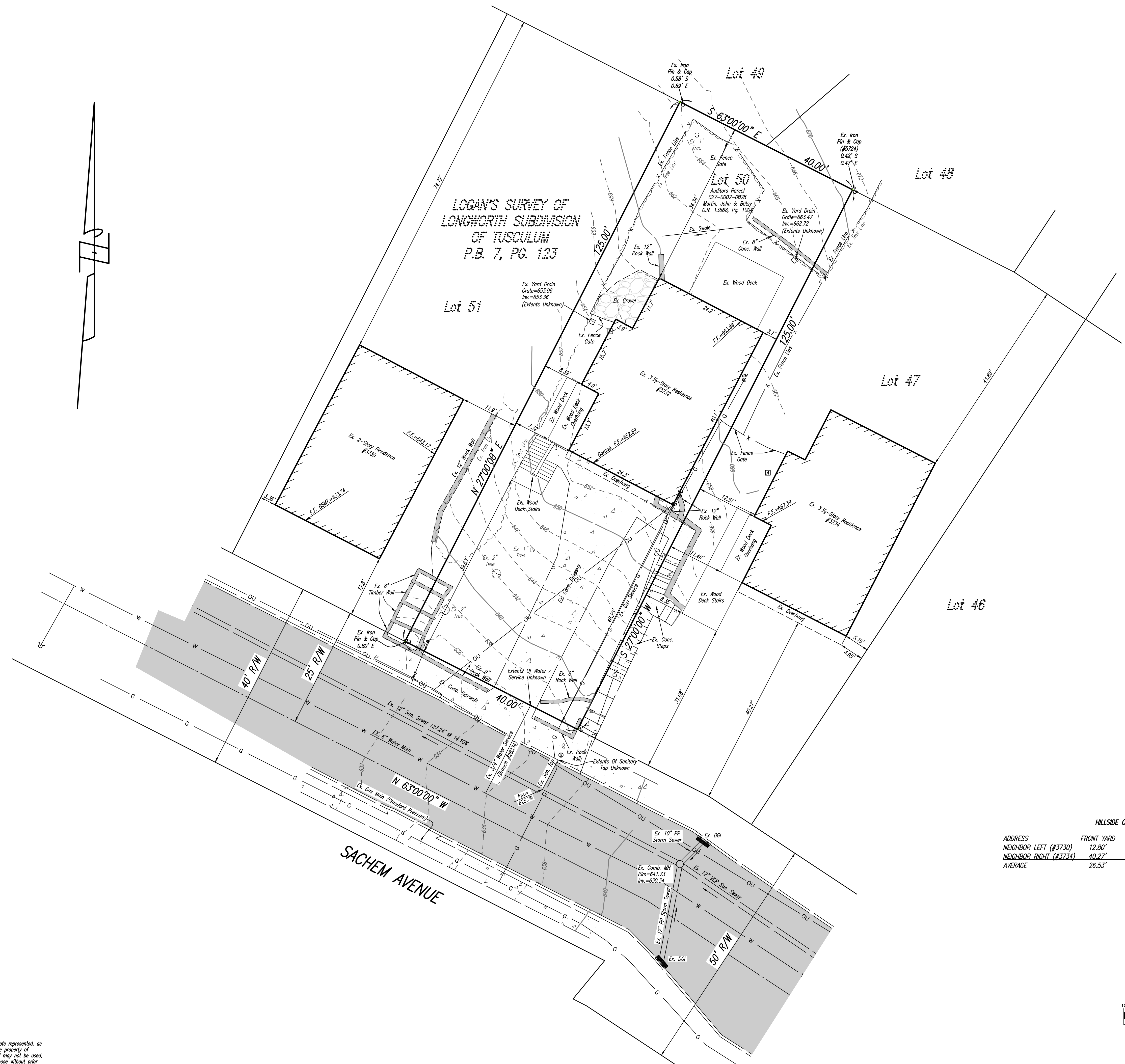
Please let me know if I can be of any further assistance.

Sincerely,

Steven A. Ginter RA
Architects II Ltd.



VICINITY MAP



LEGEND

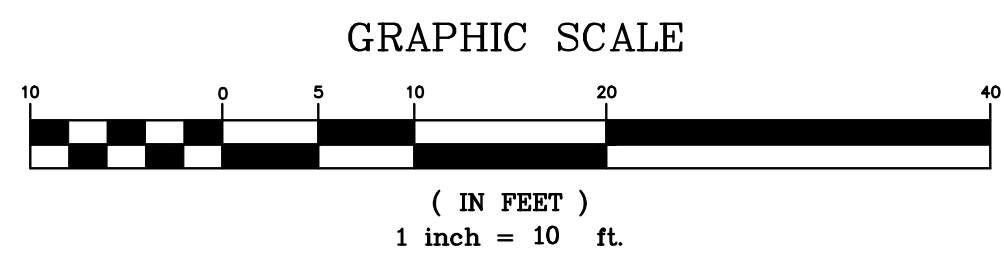
⊕	Ex. Utility Pole
—	Ex. Guy Wire
⊖	Ex. Electric Meter
⊠	Ex. A.C. Unit
⊠	Ex. Fire Hydrant
⊠	Ex. Water Valve
⊠	Ex. Water Meter
⊠	Ex. Gas Meter
⊠	Ex. Gas Valve
⊠	Ex. Clean Out
⊠	Ex. San. MH
⊠	Ex. Sanitary Sewer Manhole
⊠	Ex. Y.D.
⊠	Ex. Yard Drain
⊠	Ex. Double Gutter Inlet
—	Ex. Overhead Utility Lines

EXISTING UNDERGROUND UTILITIES REPRESENTED ON THIS DRAWING ARE APPROXIMATE LOCATION ONLY BASED ON FIELD OBSERVATIONS AND AVAILABLE RECORDS. CONTACT THE LOCAL UTILITY PROTECTION SERVICES AND AGENCIES PRIOR TO ANY EXCAVATION, CONSTRUCTION OR DESIGN.

ELEVATION DATUM SHOWN IS RELATIVE TO NAVD 88 BASED ON VRS GPS OBSERVATION.

HILLSIDE OVERLAY DISTRICT MAXIMUM BUILDING ENVELOPE MATRIX

ADDRESS	FRONT YARD	SIDE YARD LEFT	SIDE YARD RIGHT	REAR YARD	FRONT HEIGHT	REAR HEIGHT
NEIGHBOR LEFT (#3730)	12.80'	3.36'	11.90'	74.72'		
NEIGHBOR RIGHT (#3734)	40.27'	4.95'	11.46'	41.88'		
AVERAGE	26.53'	7.41'	8.42'	58.30'		



3732 SACHEM AVENUE

Date	10-2-23
Drawn By	R.B.
Checked By	M.P.
Scale	1" = 10'

REVISIONS

No.	Description

Sheet Title: **TOPOGRAPHIC & UTILITY SURVEY**

Project Title: **3732 SACHEM AVENUE**
LOGAN'S SURVEY OF LONGWORTH SUBDIVISION OF TUSCULUM
SECTION-35, TOWN-4, RANGE-2
CITY OF CINCINNATI, HAMILTON COUNTY, OHIO

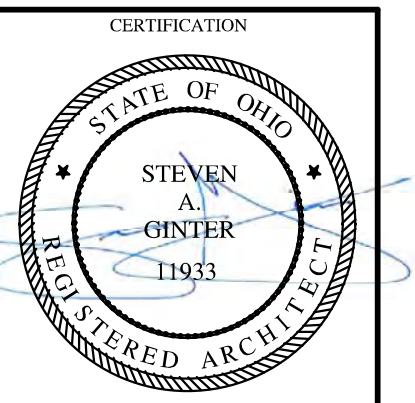
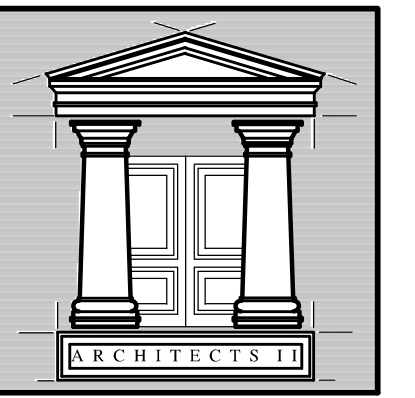
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EXPIRATION DATE 12/31/2024

ARCHITECTS II
L I M I T E D

66 LOCUST AVENUE
LAKESIDE PARK, KENTUCKY 41017
PHONE 859-331-8700 FAX 859-341-8875

REVISED AS OF: FEBRUARY 8, 2024

John & Betsy Martin
3732 Sachem Avenue
Cincinnati, Ohio 45226

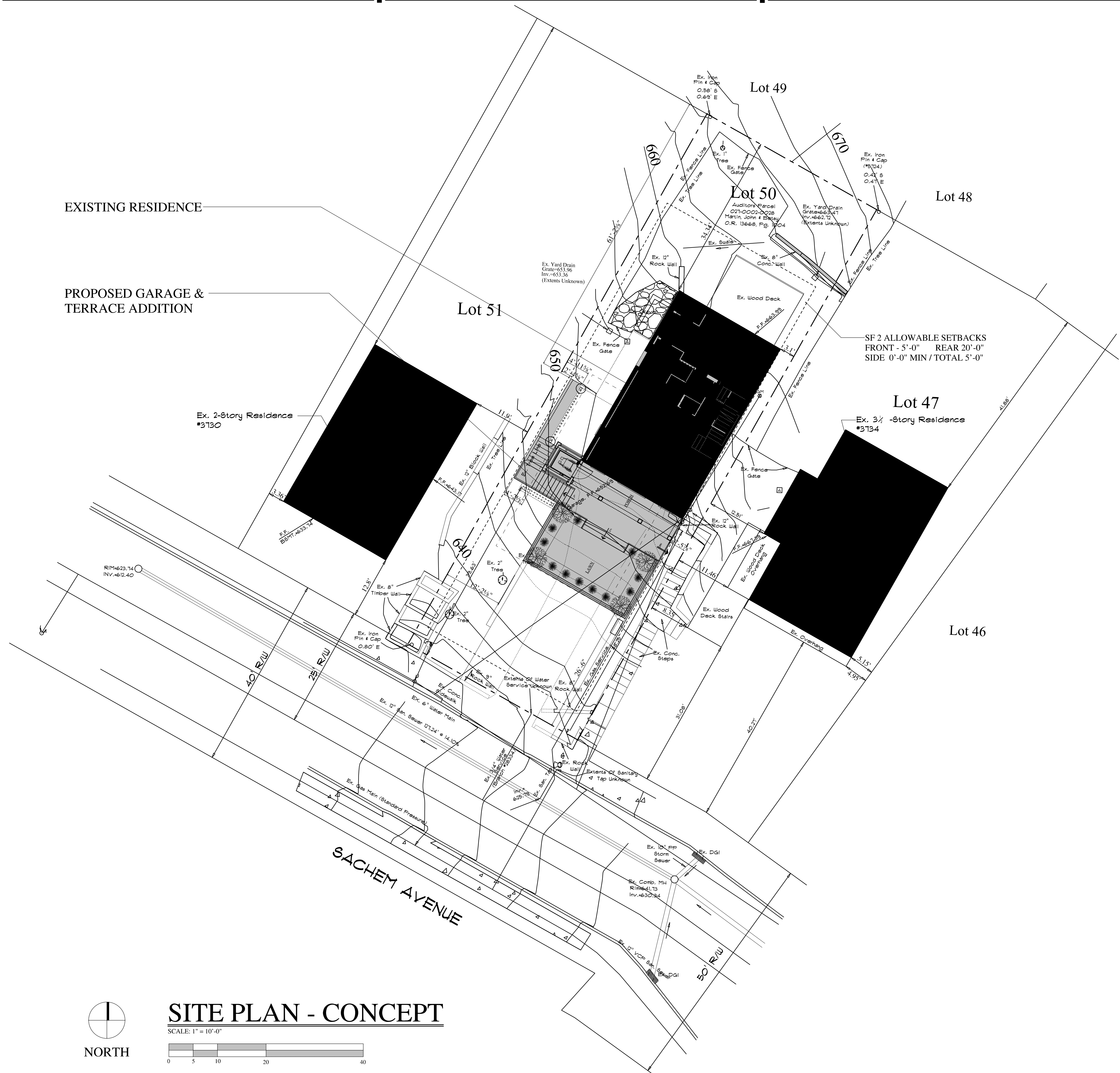
REVISIONS

DATE	COMM
2-8-2024	22529

DRAWN BY: SAG/EAG AUTH: SAG

S100

SHEET OF



SF 2 ALLOWABLE SETBACKS
FRONT - 5'-0" REAR 20'-0"
SIDE 0'-0" MIN / TOTAL 5'-0"

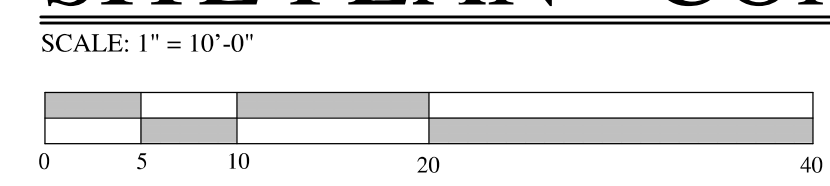
3732 SACHEM AVENUE ALLOWABLE SETBACKS

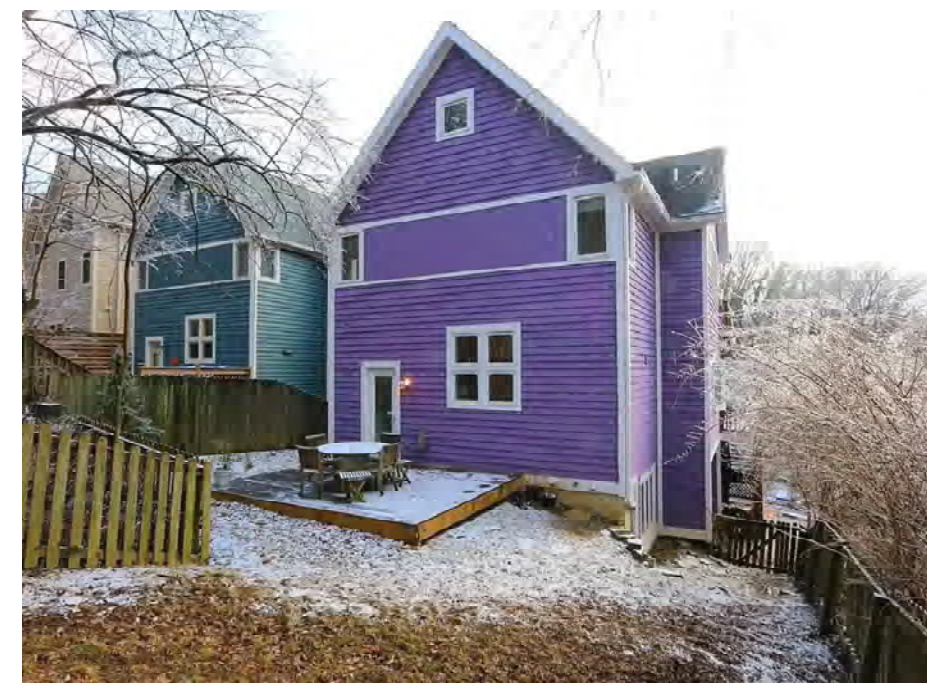
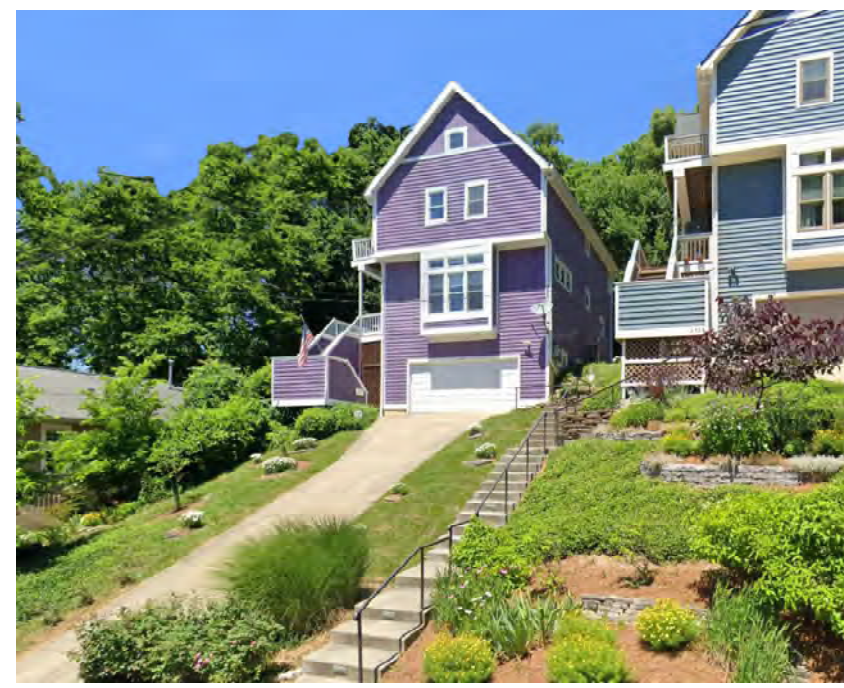
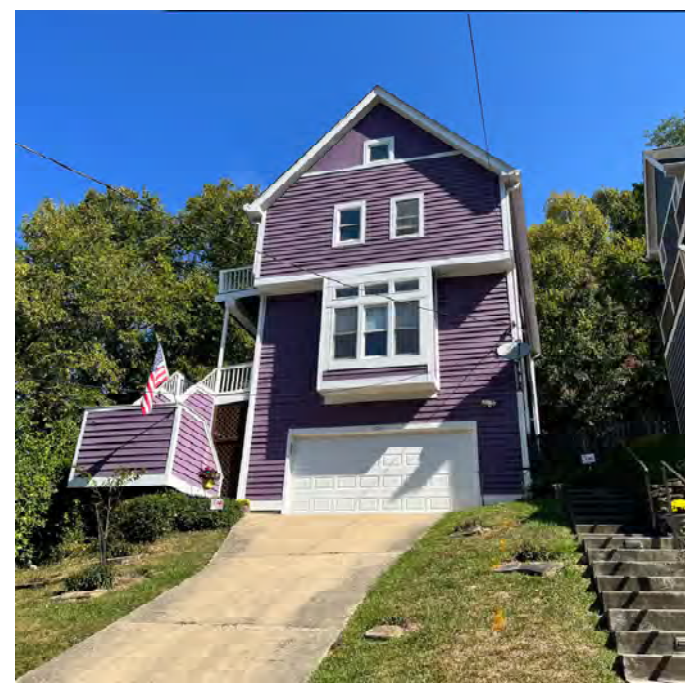
1433-IT - DETERMINATION OF MAXIMUM BUILDING ENVELOPE

HOUSE#	CURRENTLY	SF-2 ALLOWED	HILLSIDE OVERLAY ALLOWED	PROPOSED	VARIANCE
(A) HS REAR YARD SETBACK					
HOUSE#	CURRENTLY	SF-2 ALLOWED	HILLSIDE OVERLAY ALLOWED	PROPOSED	VARIANCE
*3730	14.17'	20'	58.30'	61.25'	NONE
*3732	34.34'	20'			
*3734	41.88'	20'			
(B) HS RIGHT SIDE YARD SETBACK					
HOUSE#	CURRENTLY	SF-2 ALLOWED	HILLSIDE OVERLAY ALLOWED	PROPOSED	VARIANCE
*3730	11.90'	0/8'	8.42'	3.48'	4.93'
*3732	3.10'	0/8'			
*3734	4.95'	0/8'			
(C) HS LEFT SIDE YARD SETBACK					
HOUSE#	CURRENTLY	SF-2 ALLOWED	HILLSIDE OVERLAY ALLOWED	PROPOSED	VARIANCE
*3730	3.36'	0/8'	5.86'	2.45'	3.41'
*3732	4.51'	0/8'			
*3734	8.35'	0/8'			
(D) HS FRONT YARD SETBACK					
HOUSE#	CURRENTLY	SF-2 ALLOWED	HILLSIDE OVERLAY ALLOWED	PROPOSED	VARIANCE
*3730	12.80'	5'	26.5'	26.5'	NONE
*3732	25.63'	5'			
*3734	40.71'	5'			
(E) HS HEIGHT OF FRONT, MAXIMUM HEIGHT OF THE FRONT OF THE STRUCTURE; EITHER THE MAXIMUM HEIGHT OF THE UNDERLYING ZONING DISTRICT OR THE AVERAGE HEIGHT OF THE FRONT OF ABUTTING STRUCTURES HAVING THE SAME STREET FRONTAGE AS MEASURED FROM THE FINISHED GRADE OF THE FRONT OF EACH ABUTTING STRUCTURE, WHICHEVER IS GREATER.					
HOUSE#	CURRENTLY	SF-2 ALLOWED	HILLSIDE OVERLAY ALLOWED	PROPOSED	VARIANCE
*3730	21.73'	35'	35.00'	38.42'	3.42'
*3732	38.07'	35'			
*3734	35.07'	35'			
(F) HS HEIGHT OF REAR, MAXIMUM HEIGHT OF THE FRONT OF THE STRUCTURE; EITHER THE MAXIMUM HEIGHT OF THE UNDERLYING ZONING DISTRICT OR THE AVERAGE HEIGHT OF THE REAR OF ABUTTING STRUCTURES HAVING THE SAME STREET FRONTAGE AS MEASURED FROM THE FINISHED GRADE OF THE FRONT OF EACH ABUTTING STRUCTURE, WHICHEVER IS GREATER.					
HOUSE#	CURRENTLY	SF-2 ALLOWED	HILLSIDE OVERLAY ALLOWED	PROPOSED	VARIANCE
*3730	11.96'	35'	35.00'	11.42'	NONE
*3732	26.04'	35'			
*3734	26.04'	35'			



SITE PLAN - CONCEPT





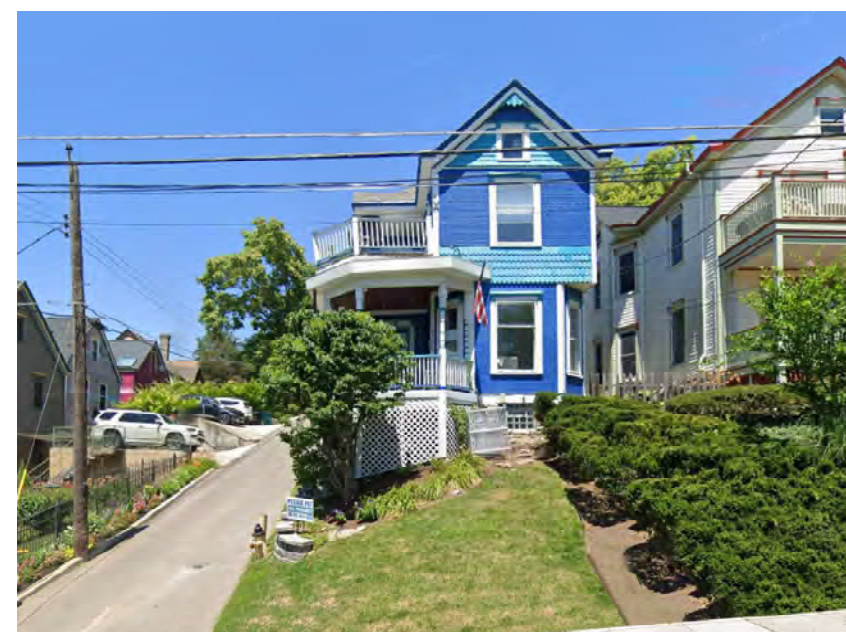
SOUTH ELEVATION

NORTH ELEVATION

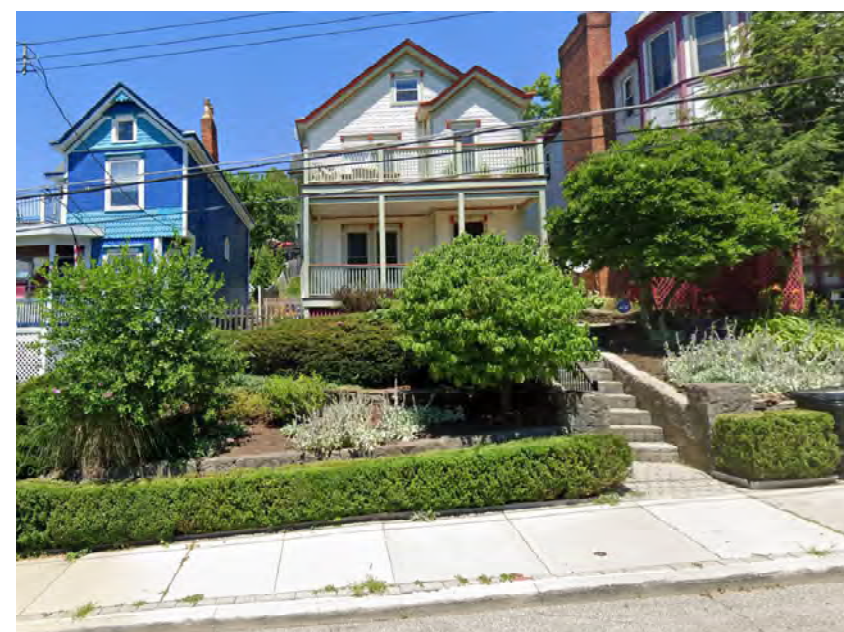
3732 SACHEM AVENUE EXISTING ELEVATION PHOTOS



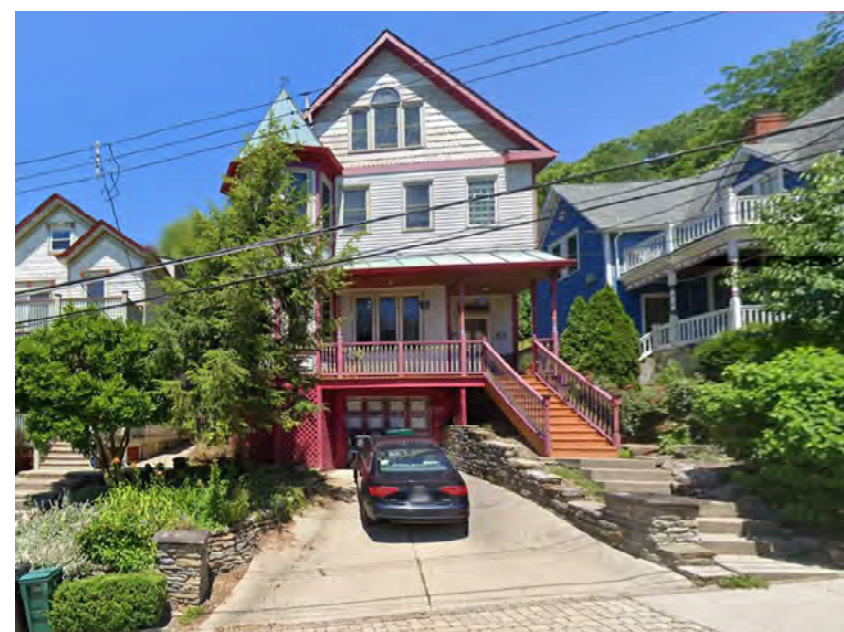
189 STEVENS PLACE



3708 SACHEM AVENUE



3712 SACHEM AVENUE



3716 SACHEM AVENUE



3720 SACHEM AVENUE



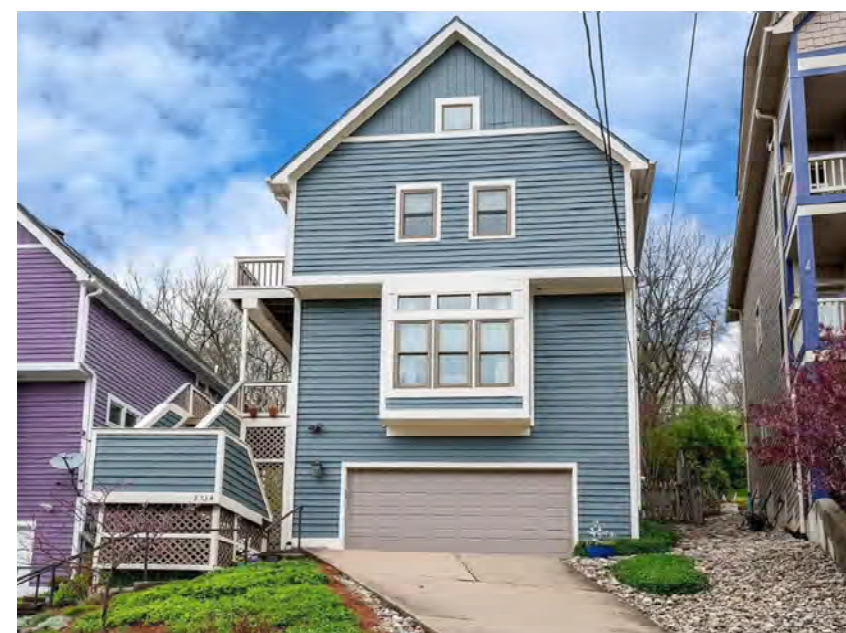
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3726 SACHEM AVENUE



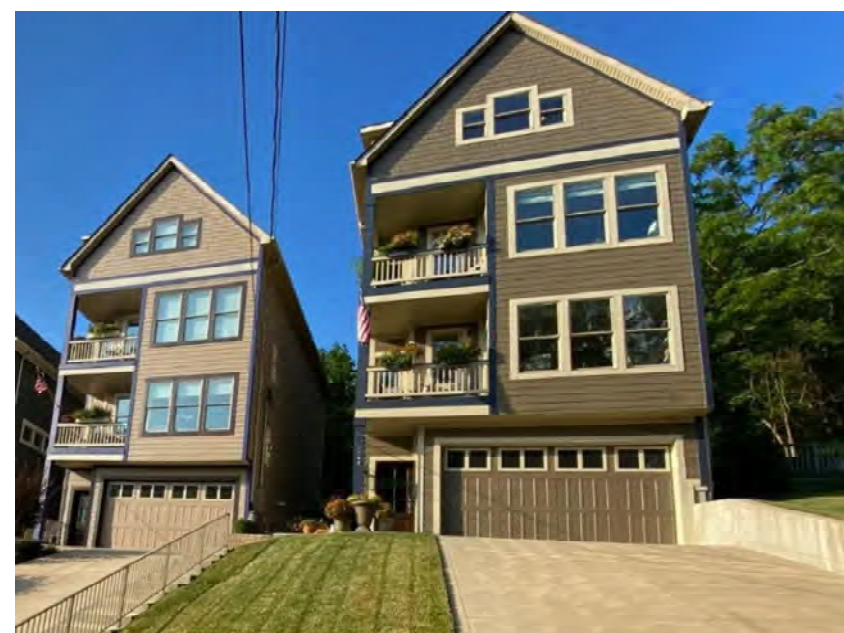
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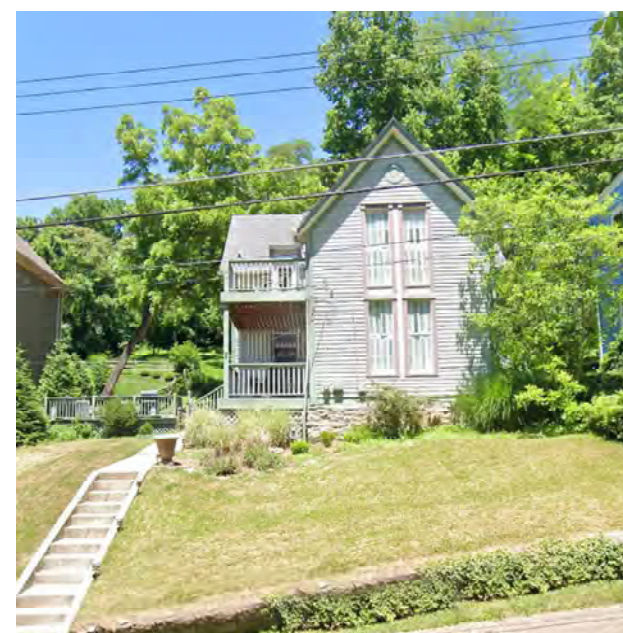
3734 SACHEM AVENUE



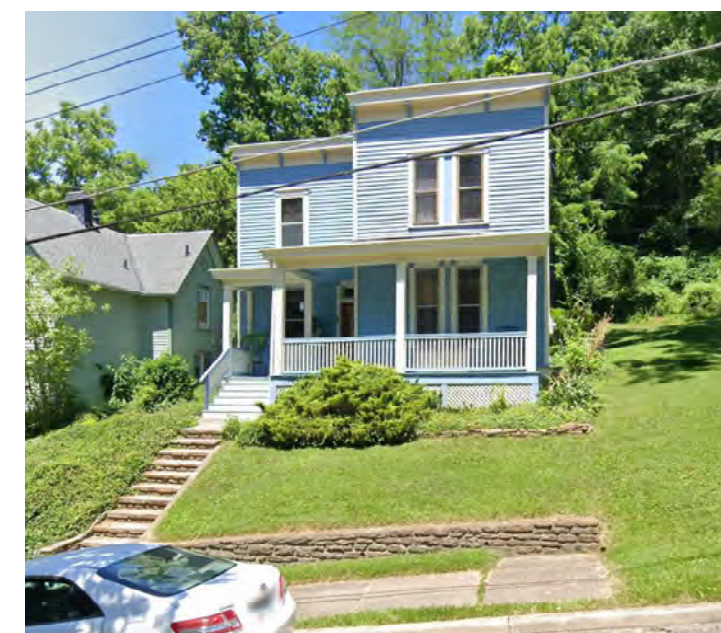
3742 SACHEM AVENUE



3744 SACHEM AVENUE



3748 SACHEM AVENUE



3752 SACHEM AVENUE

SACHEM AVENUE NORTH SIDE STREETSCAPE



438 TUSCULUM AVENUE



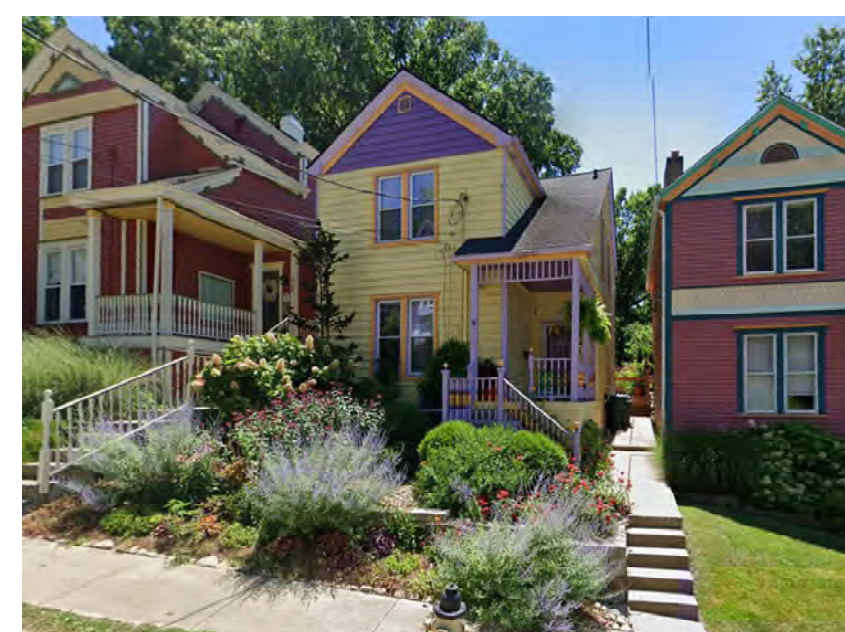
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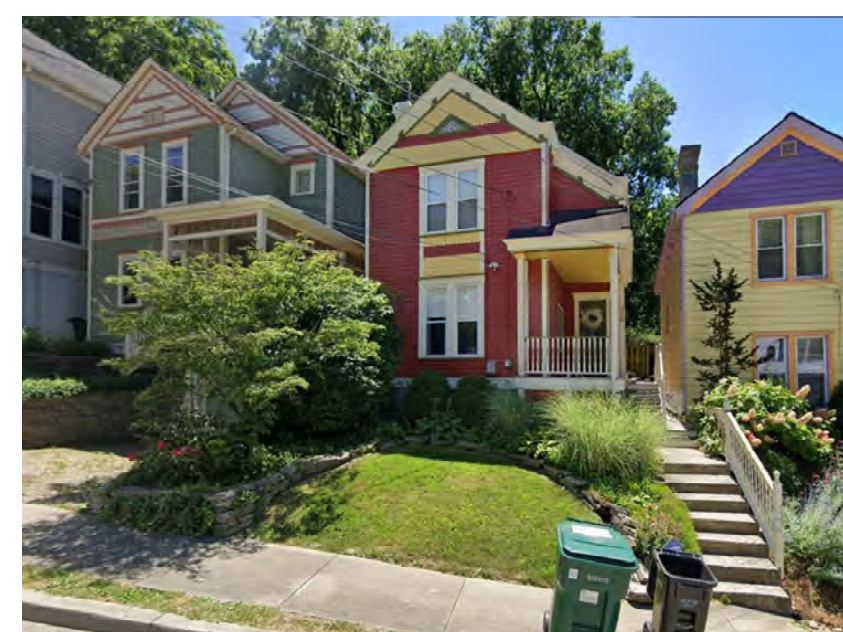
3723 SACHEM AVENUE



3725 SACHEM AVENUE



3727 SACHEM AVENUE



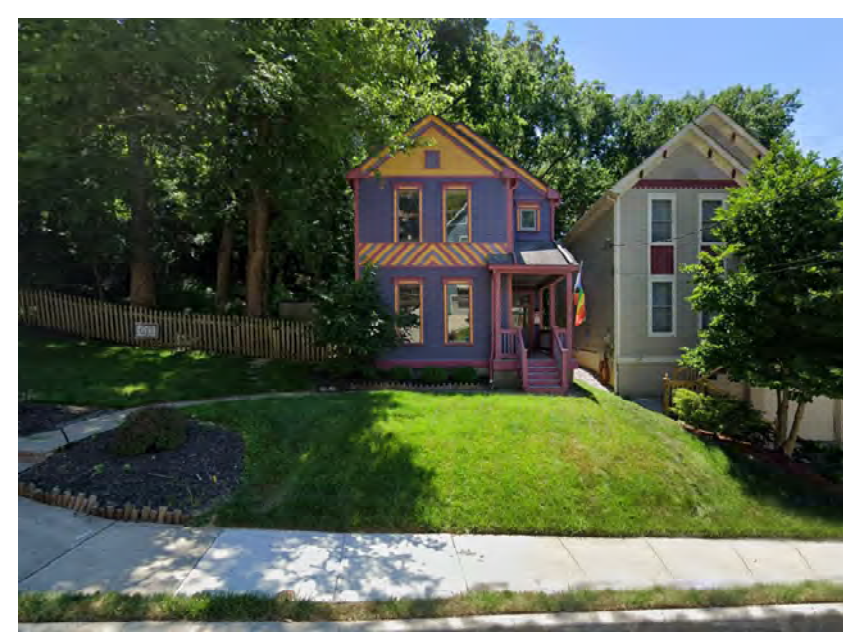
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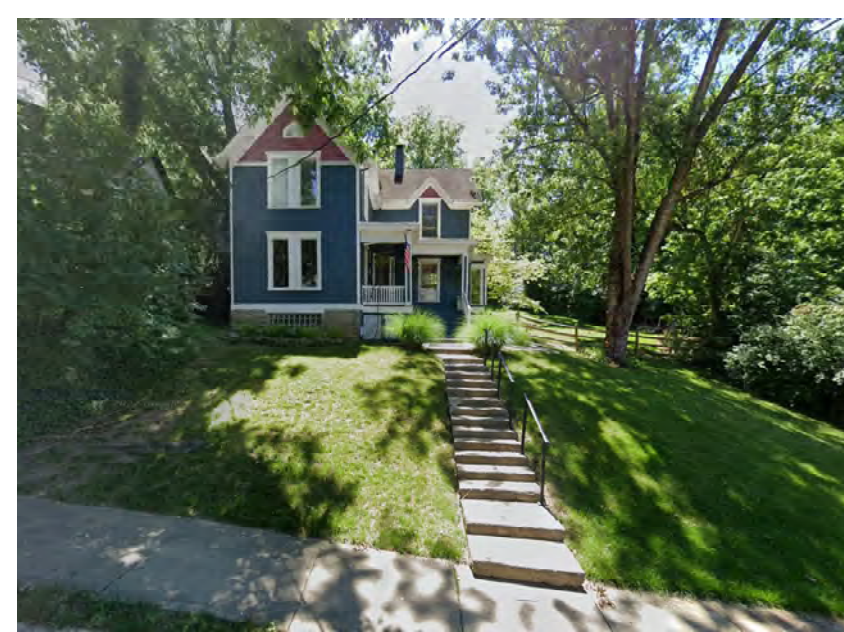
3731 SACHEM AVENUE



3733 SACHEM AVE.



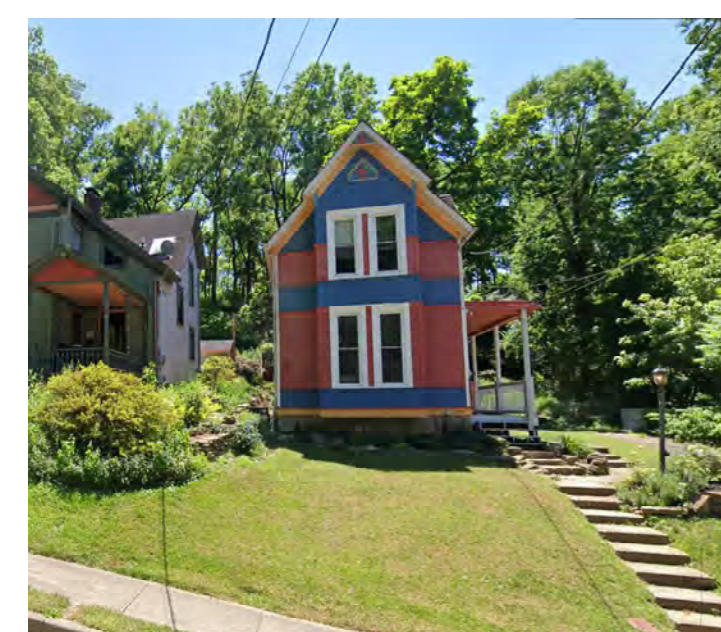
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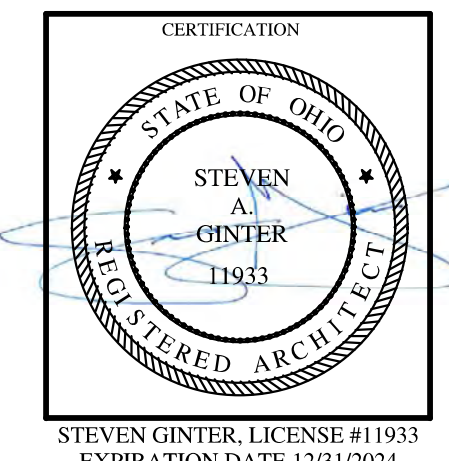
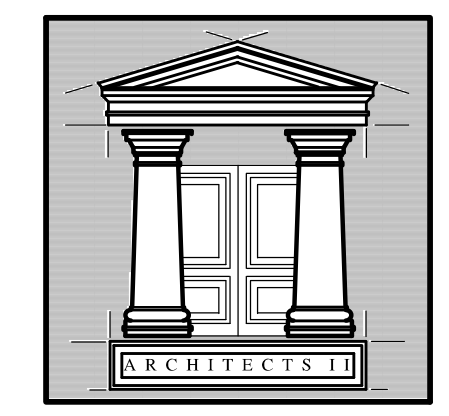


3757 SACHEM AVENUE



3761 SACHEM AVENUE

SACHEM AVENUE SOUTH SIDE STREETSCAPE

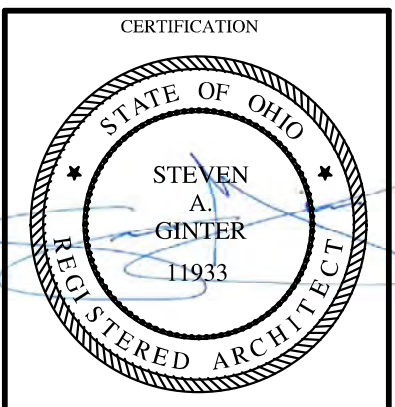


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Additional / Remodel for
Martin
John & Betsy
3732 Sachem Avenue Cincinnati, Ohio 45226

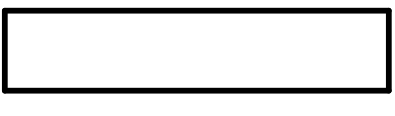
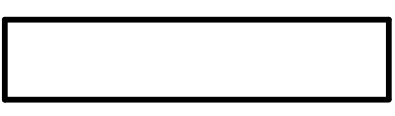
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REGISTERED ARCHITECT



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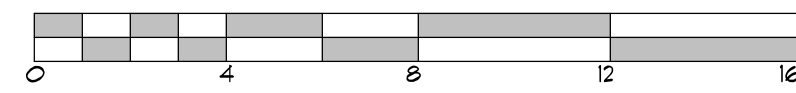
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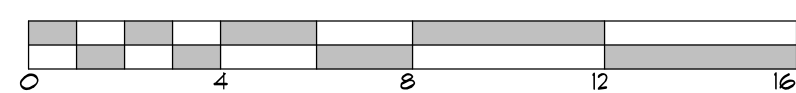
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SOUTH WEST ELEVATION - AS BUILT
SCALE: 1/4" = 1'-0"
FRONT ELEVATION



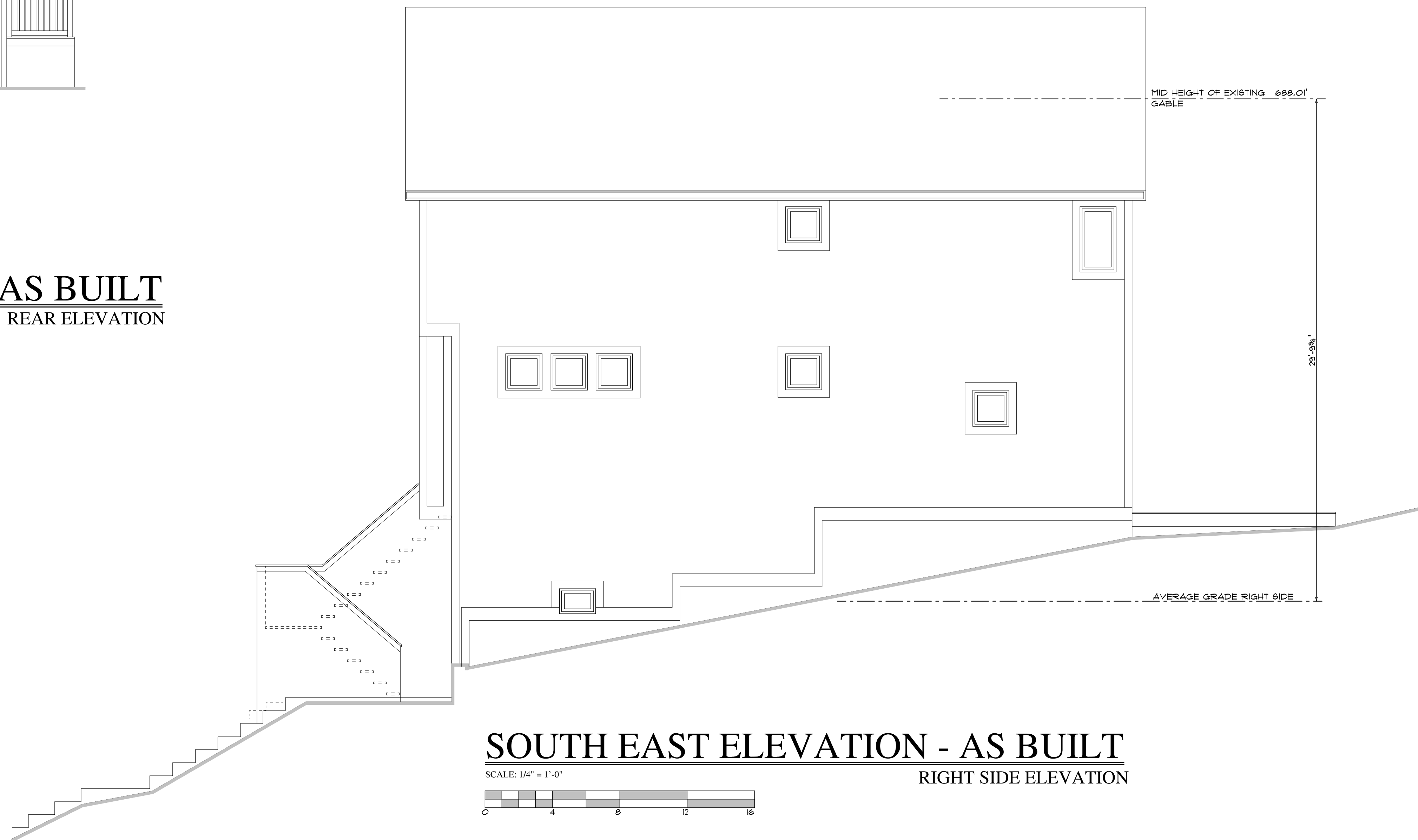
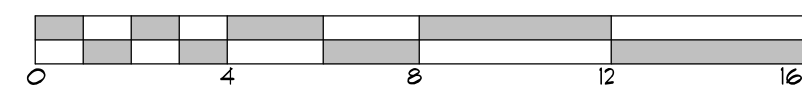
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SCALE: 1/4" = 1'-0"
LEFT SIDE ELEVATION





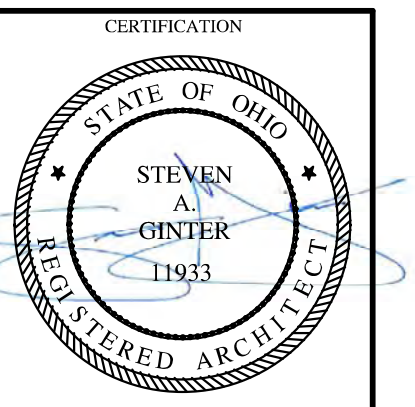
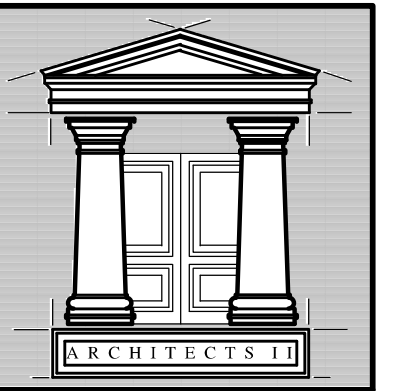
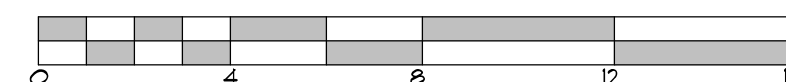
NORTH EAST ELEVATION - AS BUILT
REAR ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH EAST ELEVATION - AS BUILT
RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



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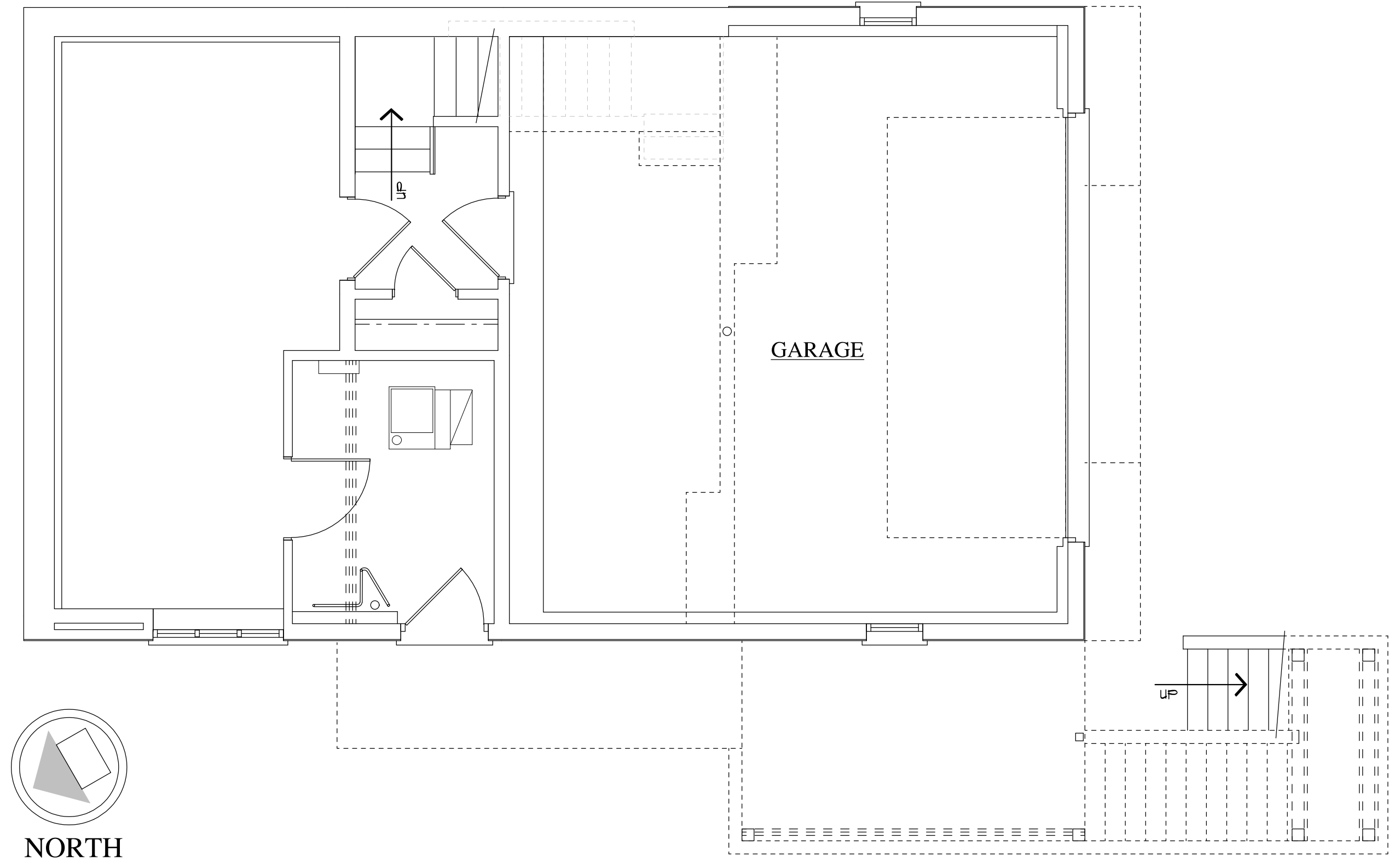


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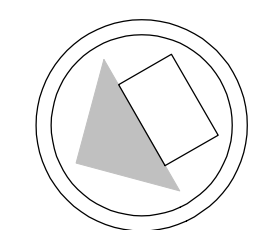
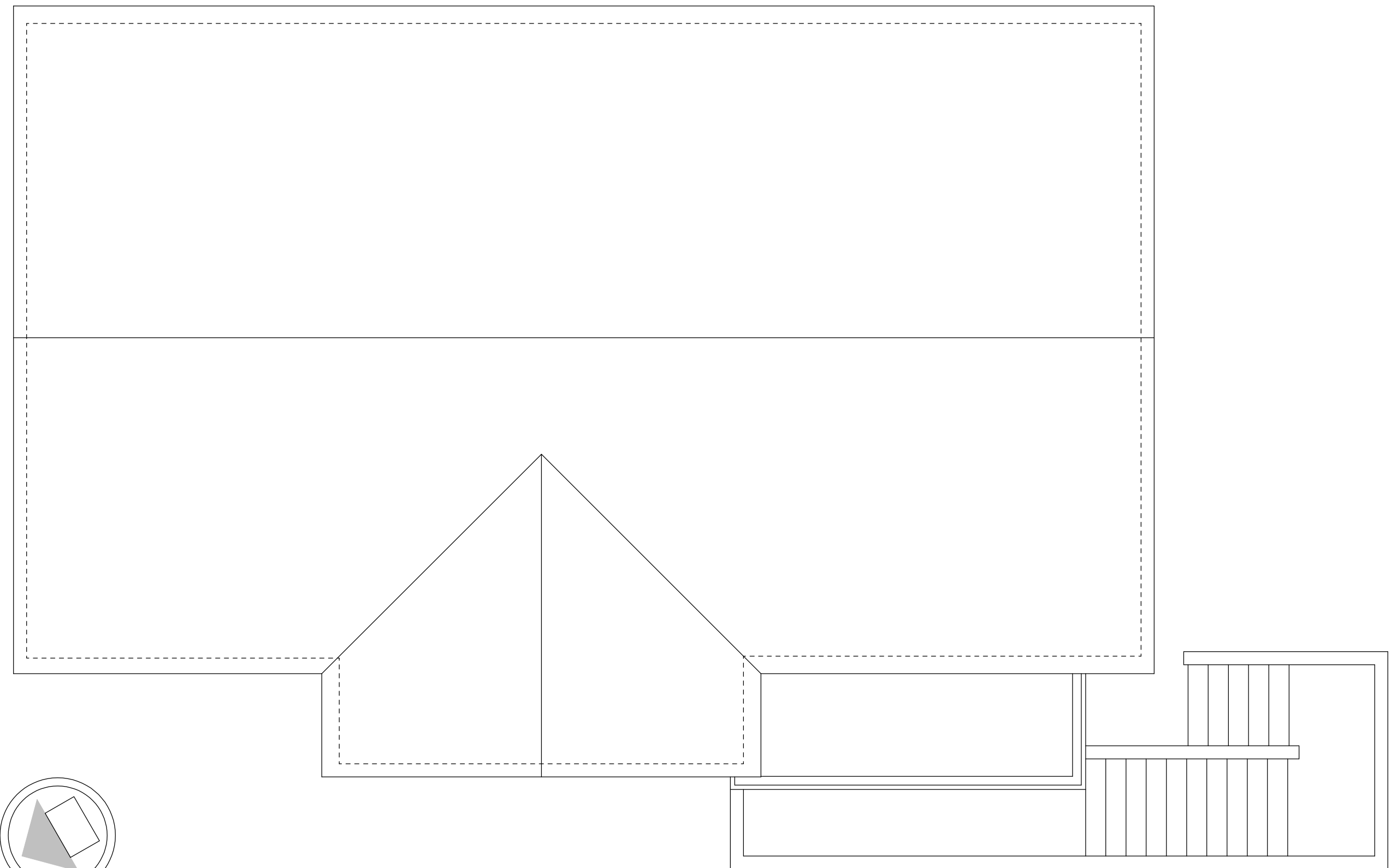
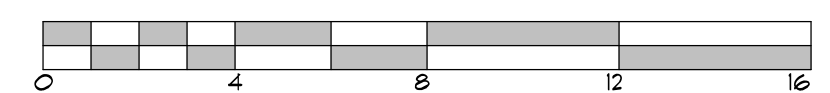
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NORTH

LOWER LEVEL PLAN - AS BUILT

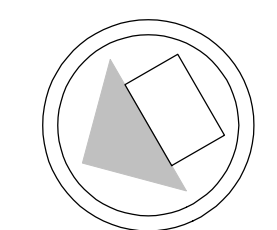
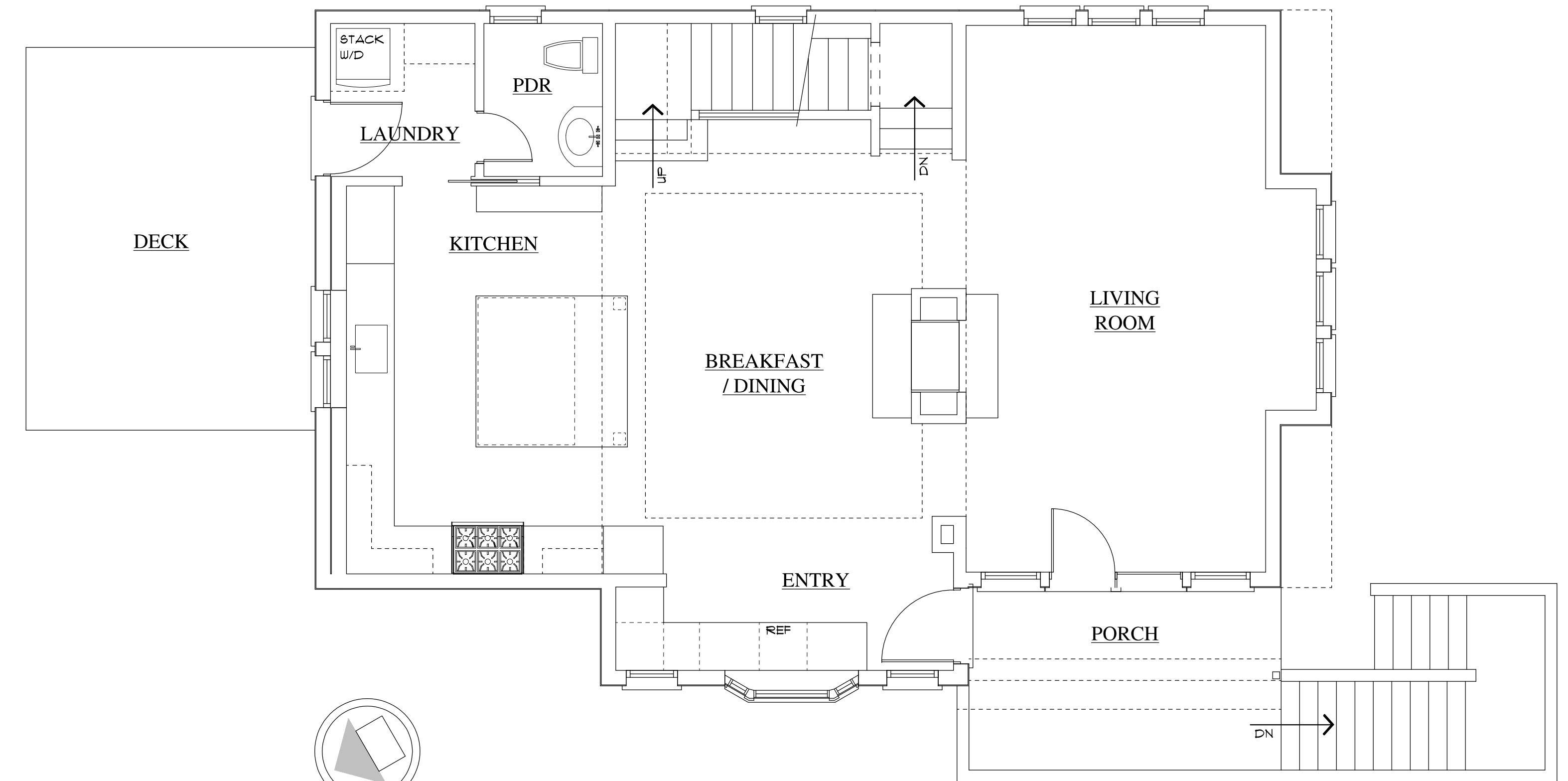
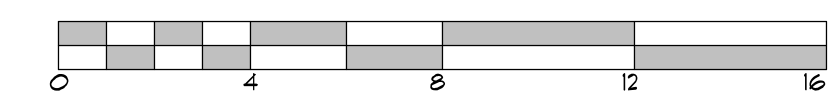
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NORTH

ROOF PLAN - AS BUILT

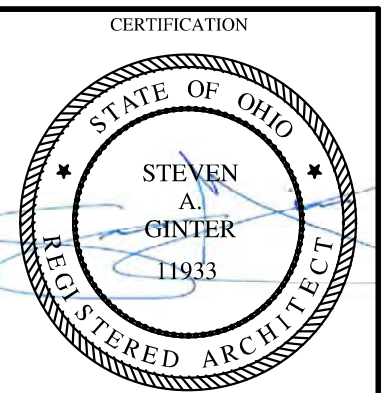
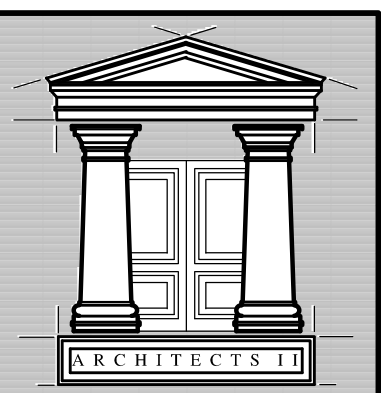
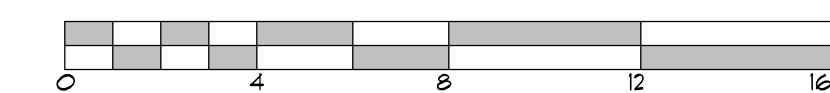
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NORTH

FIRST FLOOR PLAN - AS BUILT

SCALE: 1/4" = 1'-0"



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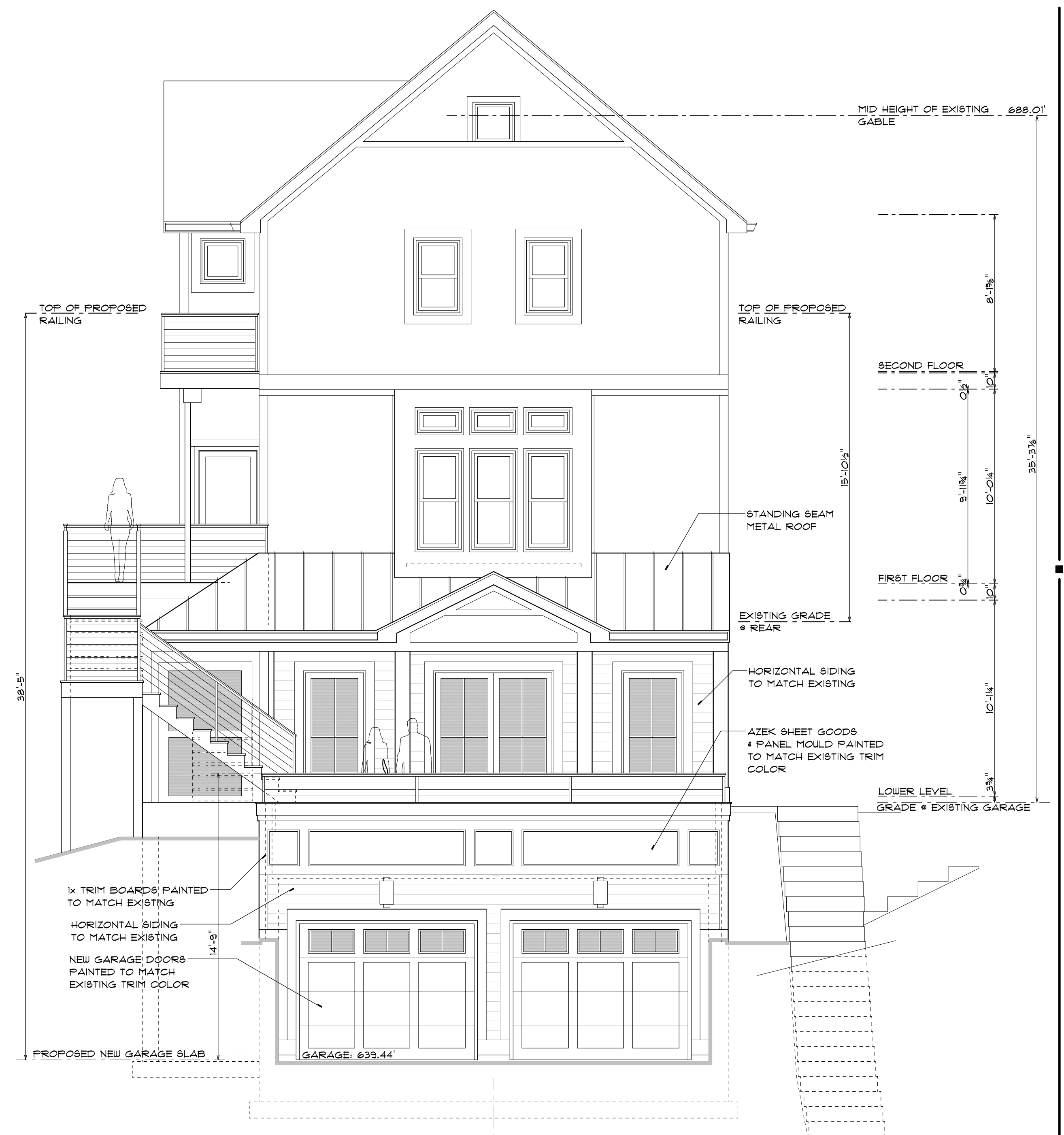
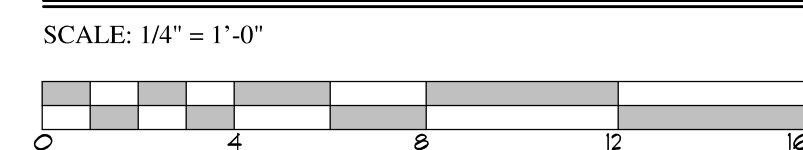
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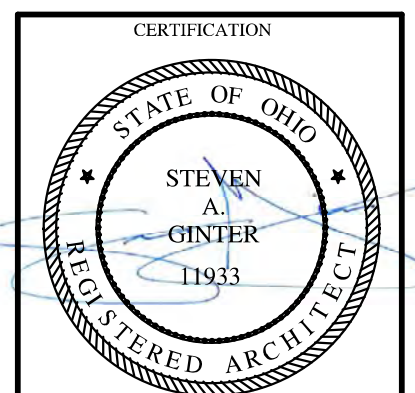
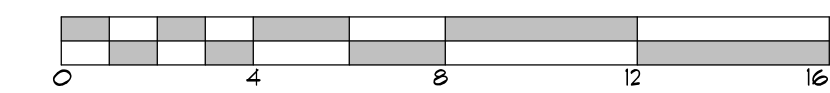
NORTH WEST ELEVATION - CONCEPT

LEFT SIDE ELEVATION



SOUTH WEST ELEVATION - CONCEPT

FRONT ELEVATION



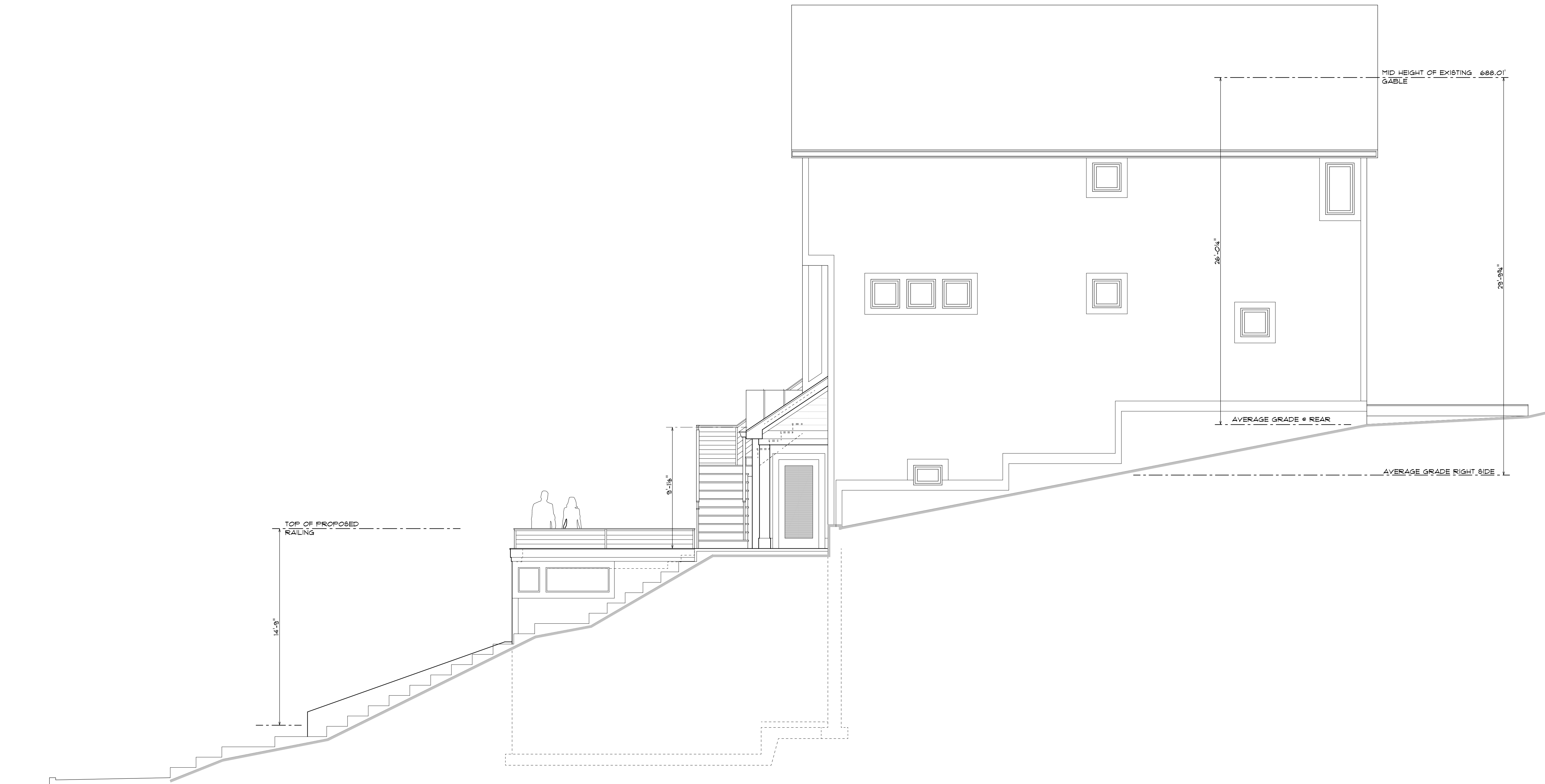
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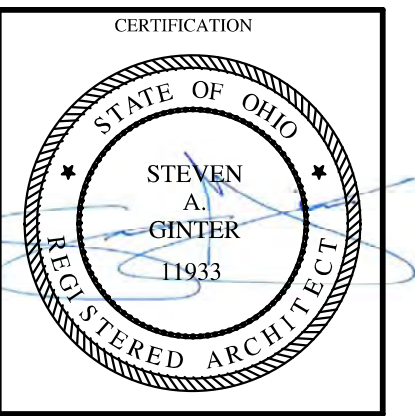
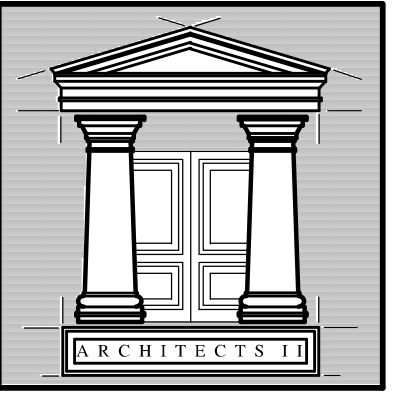
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SOUTH EAST ELEVATION - CONCEPT
 RIGHT SIDE ELEVATION



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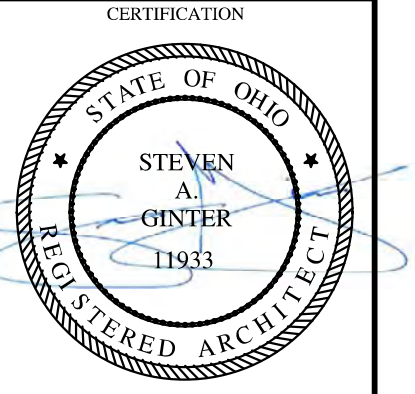
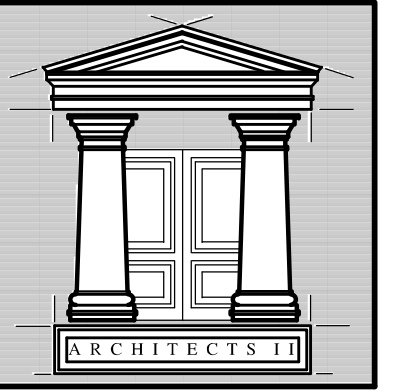


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John & Betsy
 Addition / Remodel
 for
Martin
 3732 Sachem Avenue Cincinnati, Ohio 45226

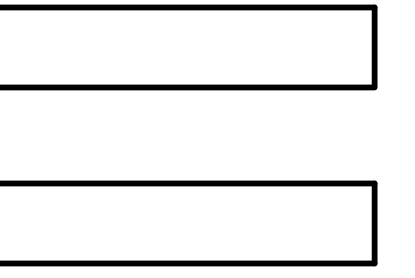
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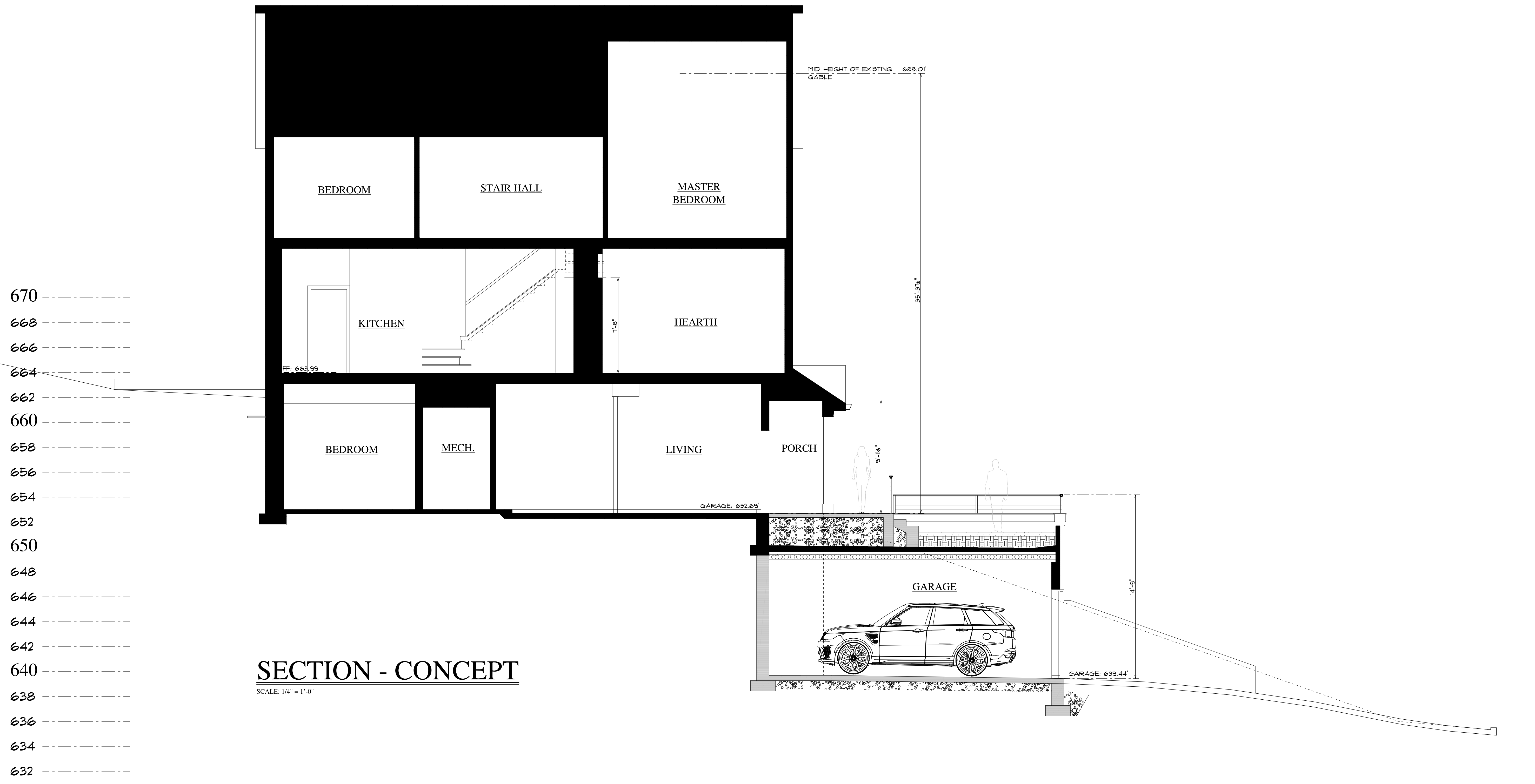


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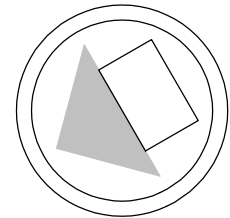
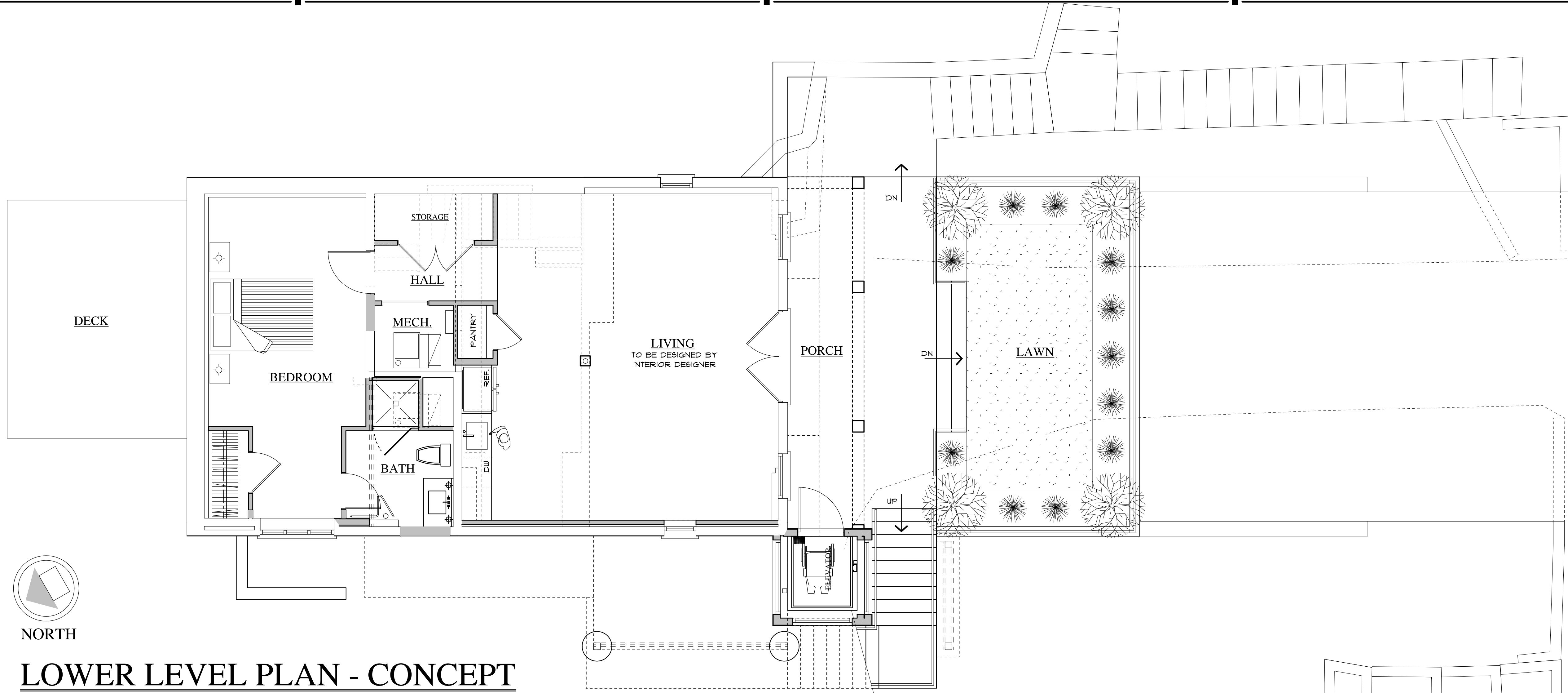
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SECTION - CONCEPT

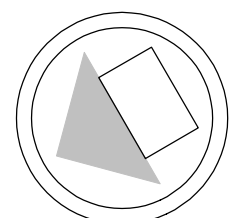
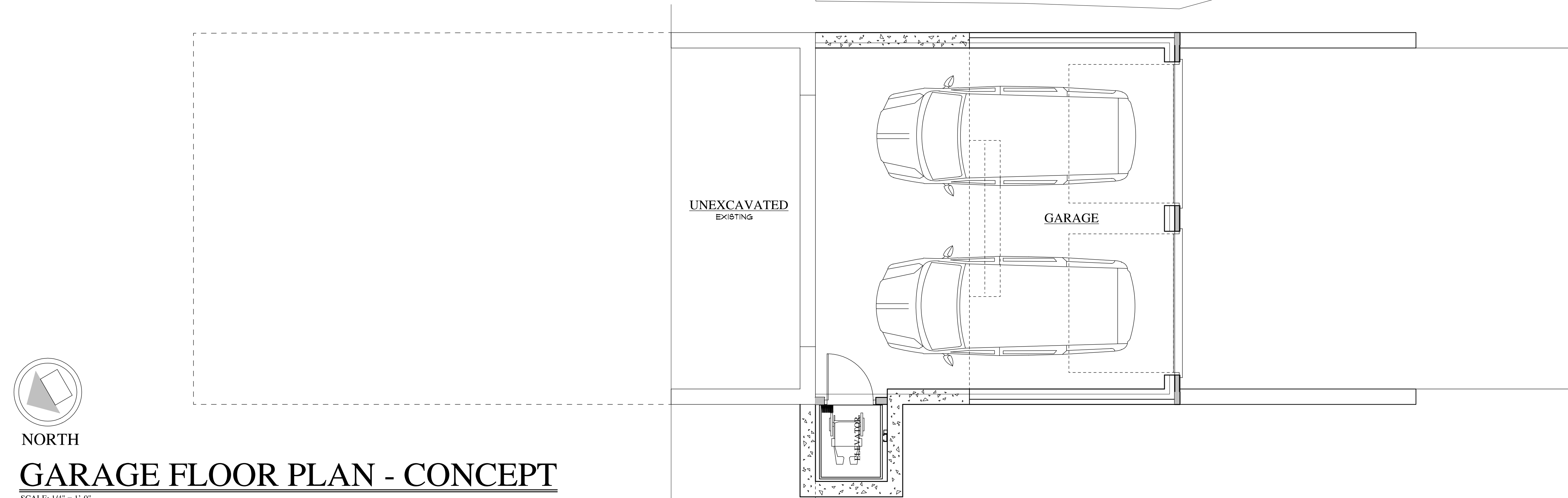
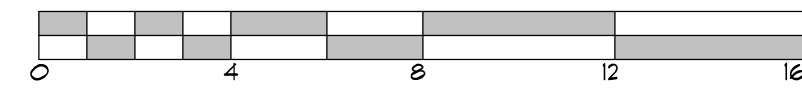
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NORTH

LOWER LEVEL PLAN - CONCEPT

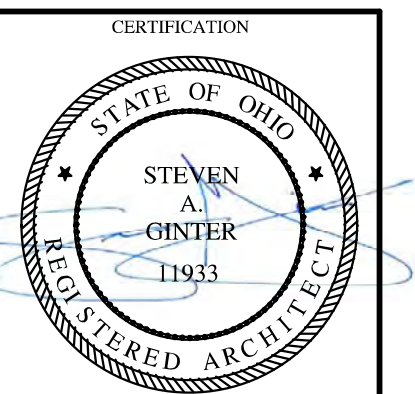
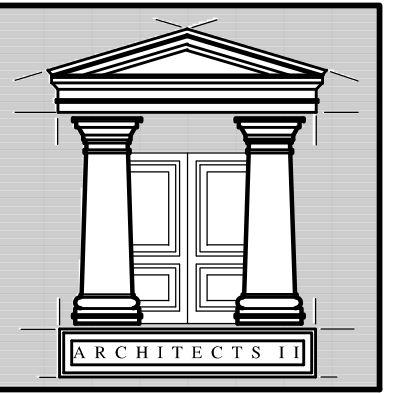
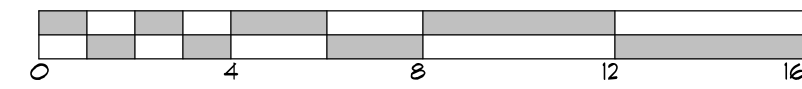
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NORTH

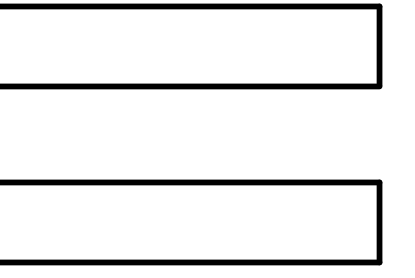
GARAGE FLOOR PLAN - CONCEPT

SCALE: 1/4" = 1'-0"



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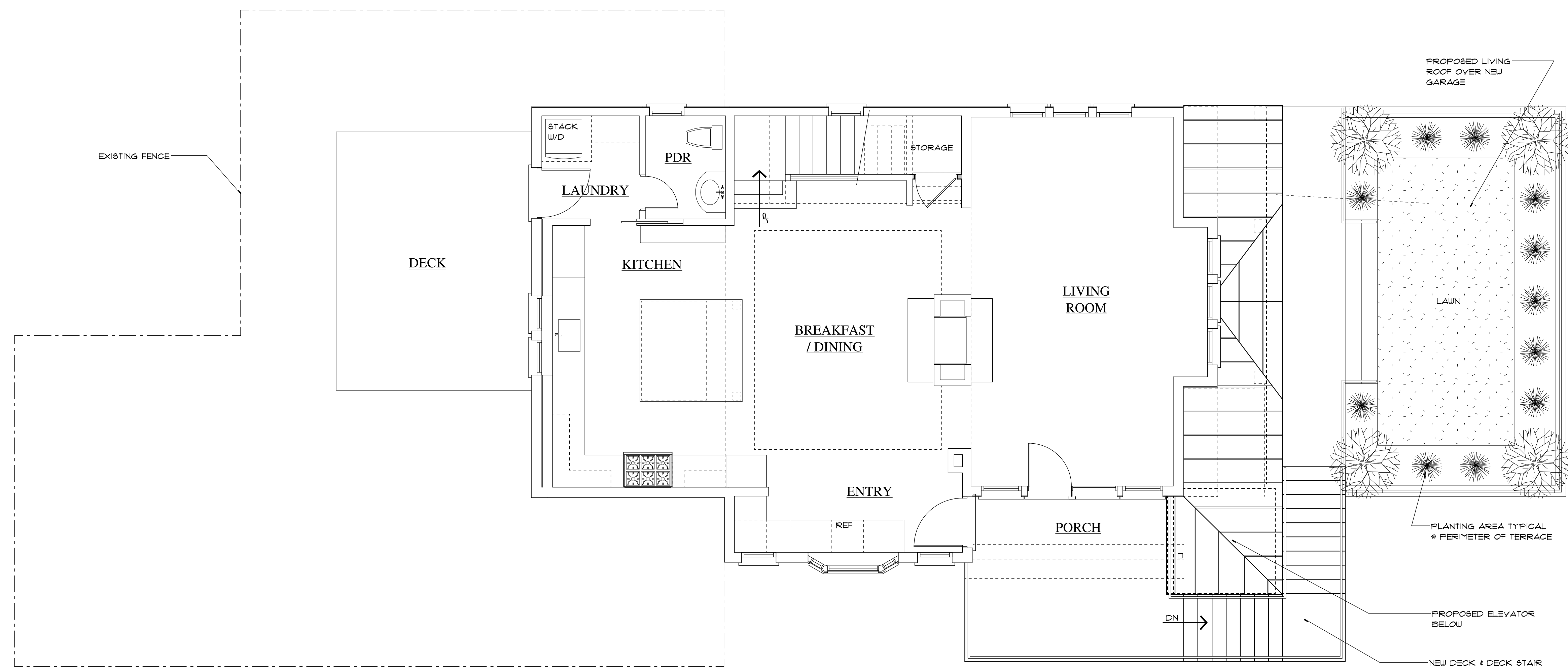


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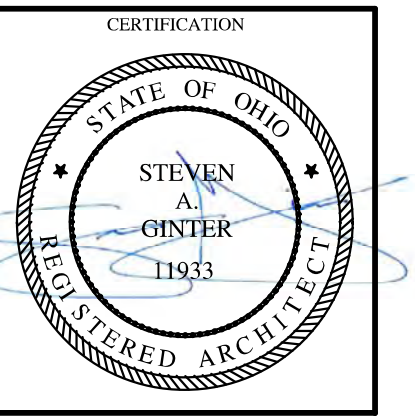
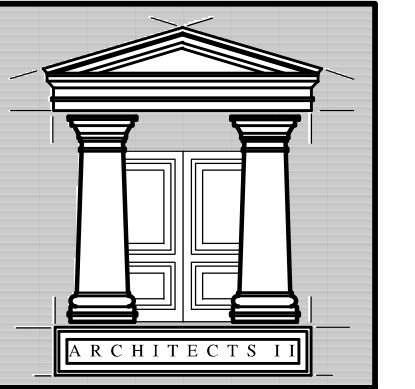
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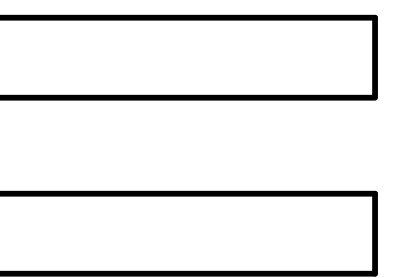
FIRST FLOOR PLAN - CONCEPT

SCALE: 1/4" = 1'-0"



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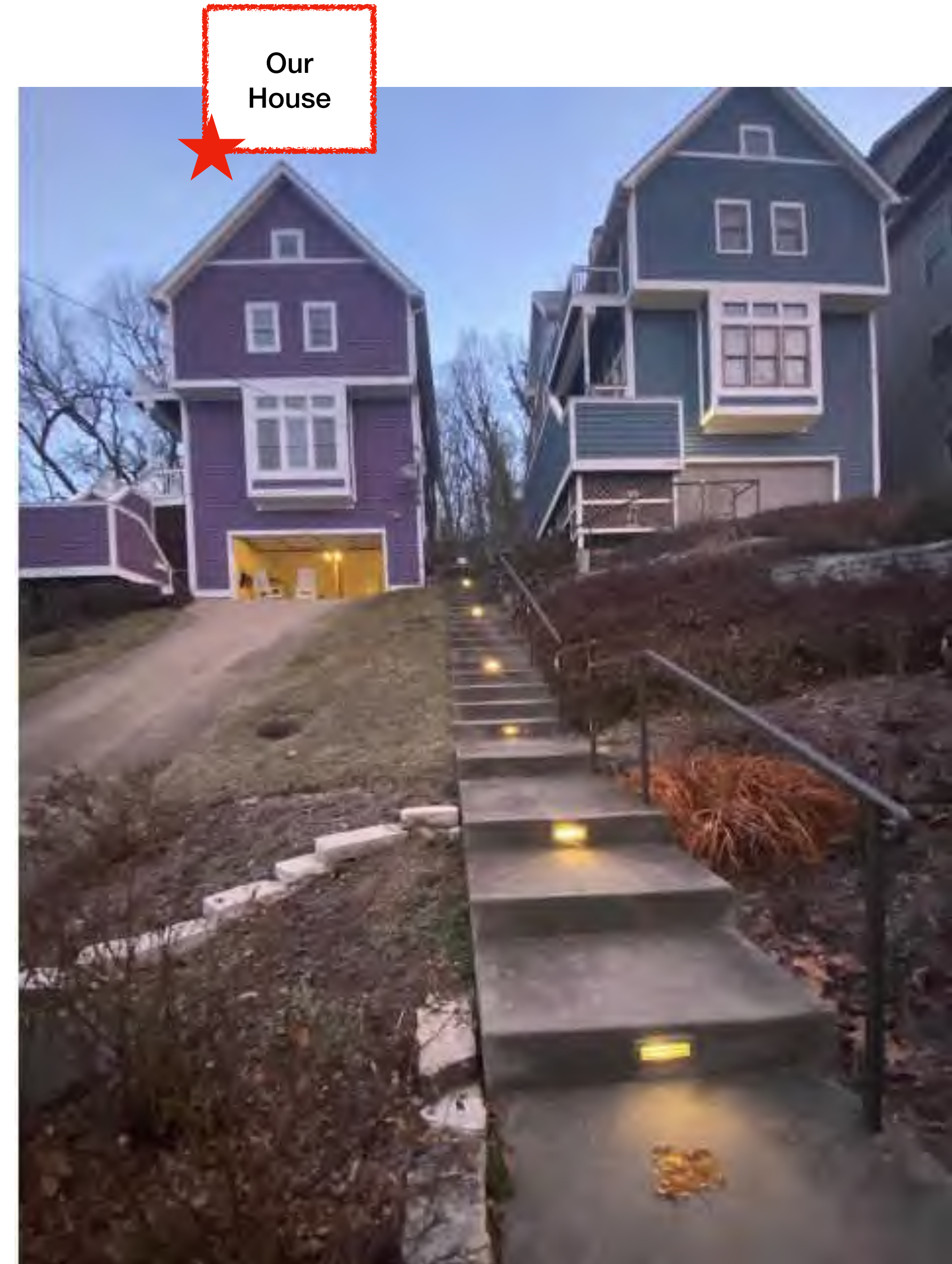
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3732 Sachem

Proposed Project Overview
by
Betsy & John Martin, Owner
2 - 6 - 2024



Project Overview

Our proposed project is designed to remediate existing issues with the structure of our driveway and side porches as well as enhance our home. These issues impact the structural support of our hillside and water drainage, impacting integrity of our home foundation as well neighboring properties. The plan also enhances accessibility and functionality of our home for our long-term living & retirement years.

Project Summary:

- New Front Porch with Garage Underneath
- Replace Existing Side Porches
- Enhance Structural Support of Hillside
- Enhance Water Drainage
- Convert Existing Garage to Living Space
- Living Space: Ground floor family room with added bedroom and bathroom in back of house. We are configuring this space to accommodate Betsy's mother (who is 84) coming to live with us. We are configuring the space for accessible living which will support our long term residence & retirement.



Existing Home Driveway Grade

- Our driveway is currently approximately 27% grade creating safety issues due to speed required to attempt to drive into garage.
- Standard driveway slope is 10 - 12% with 15-18% maximum
- We are unable to drive our car into our driveway & currently park on street.
- This issue was on our priority list when we purchased our home 5 years ago and we have researched solutions extensively. Current cement cracking, sinking, and pulling away from the home require that this issue is resolved as soon as possible.



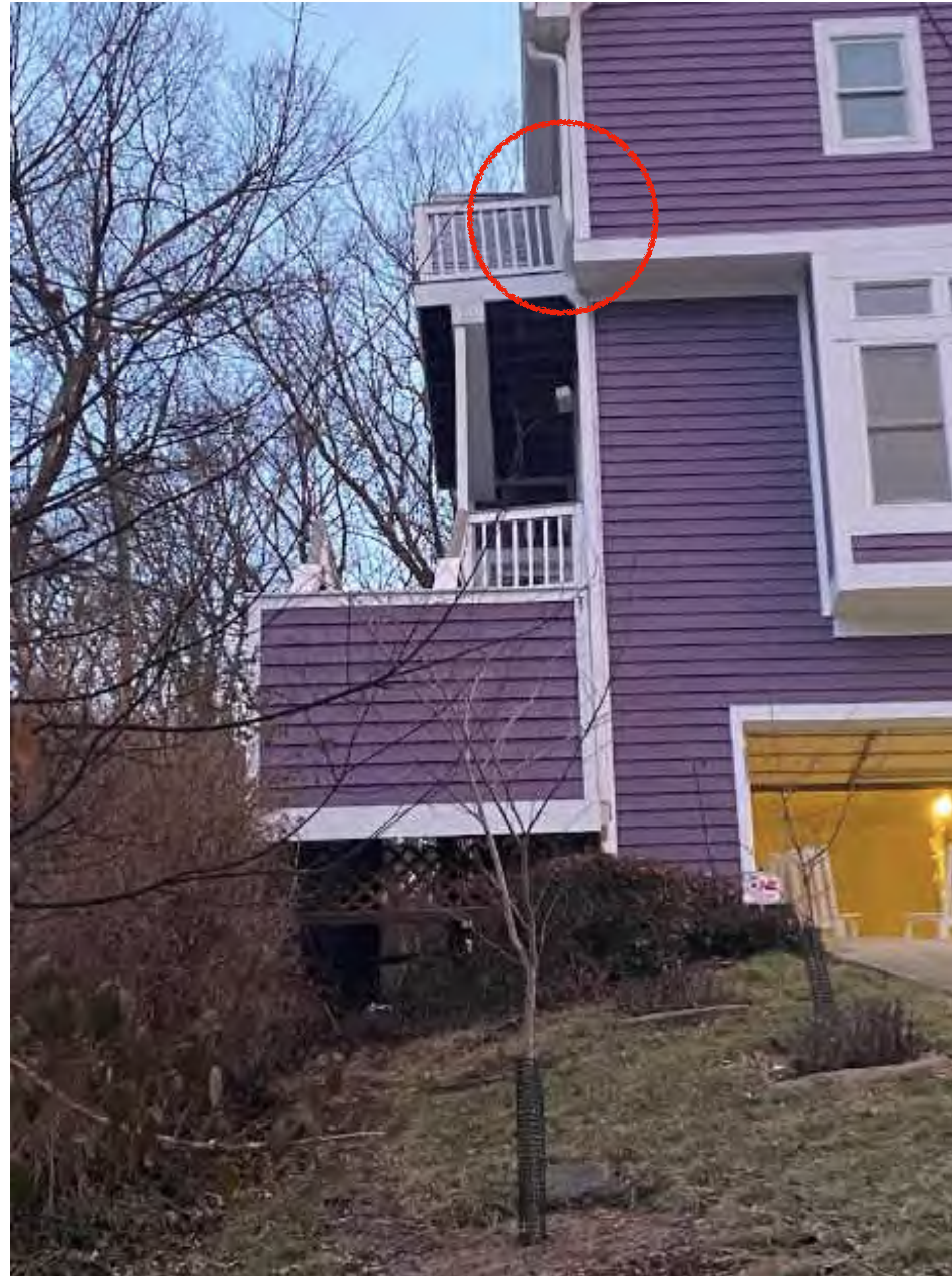
Existing Home Driveway Grade



Existing Home Issues:

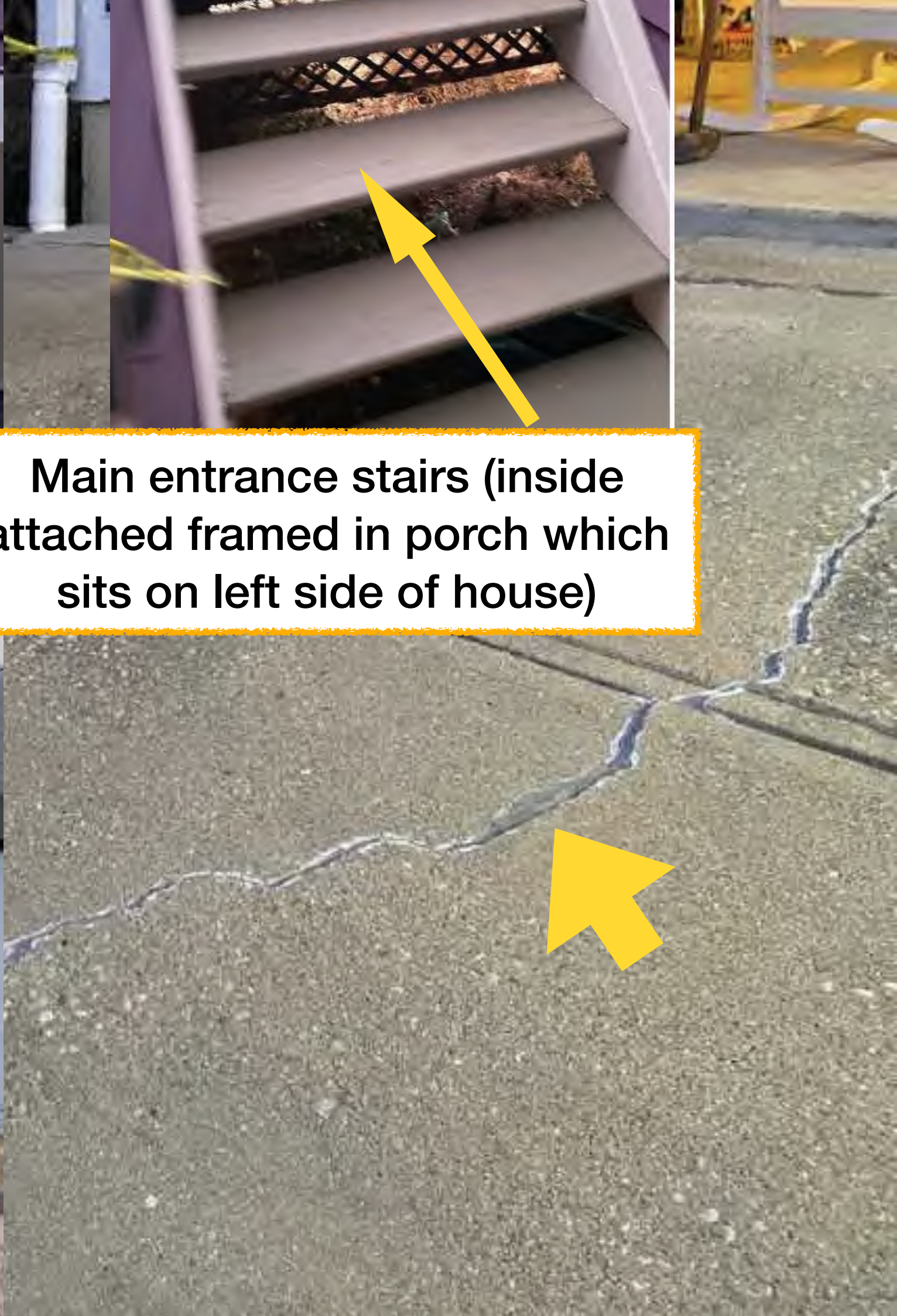
Existing home side porch & driveway have issues which must be addressed.

- 1) Existing side porch footers have sunk into hillside resulting in porch pulling away from home.
- 2) Original porch is not built to current building code standards.
- 3) Current water routing on left side of house does not properly drain hillside water, resulting in increased erosion and drainage under current driveway.
- 4) Water drainage under driveway has resulted in cement cracking, sinking of current driveway, and driveway cement pulling away from home





Main entrance stairs (inside attached framed in porch which sits on left side of house)



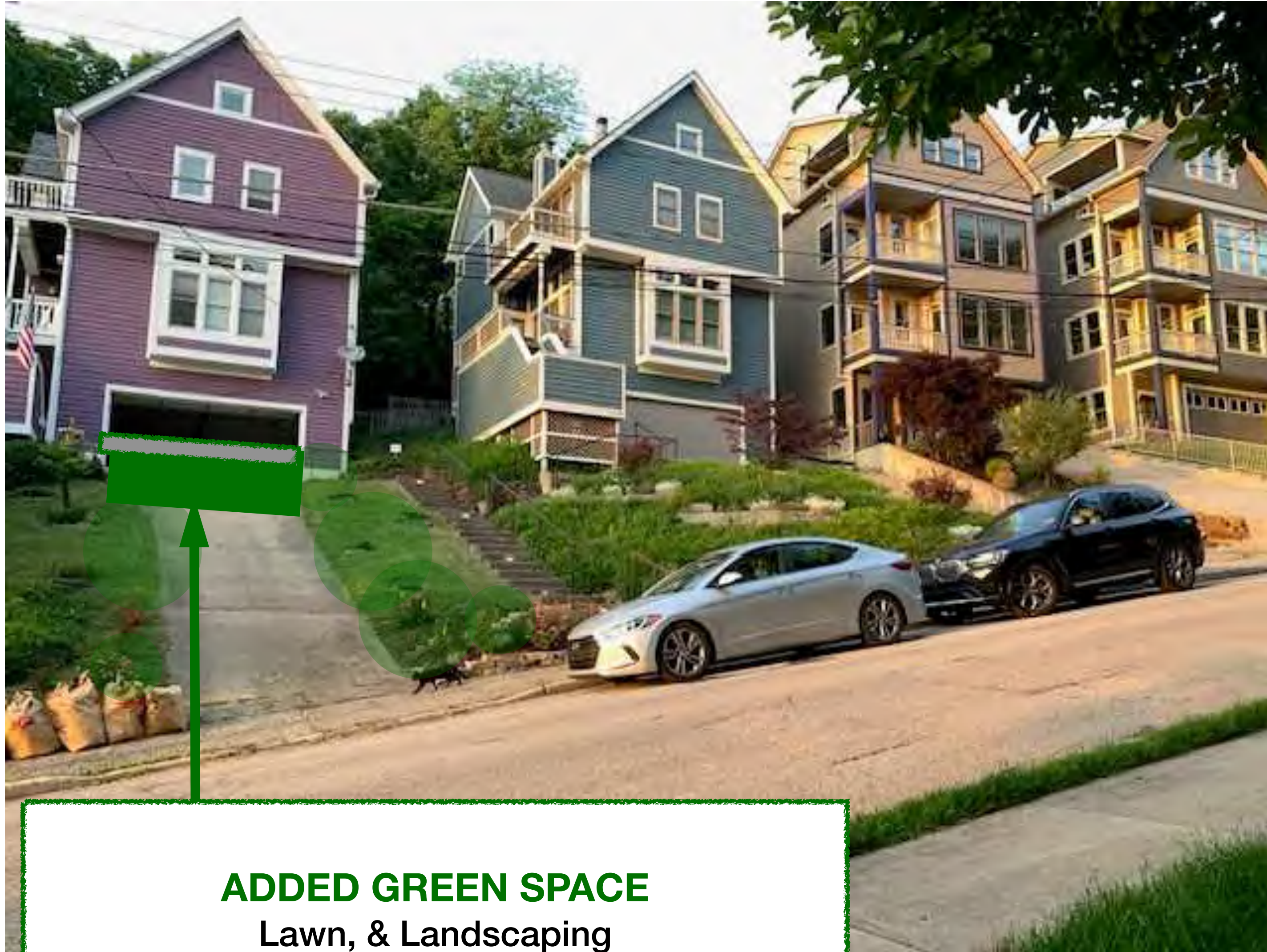
Item 1: Proposed New Front Porch with Garage Under:



SOUTH WEST ELEVATION - CONCEPT
FRONT ELEVATION

ARCHITECTURE





PROJECT INSPIRATION:

Our goal is to enhance the visual look & feel of our home and street with an added green, garden space which replaces our current long cement driveway.



ADDED GREEN SPACE

Lawn, & Landscaping
(Reduce cement driveway length & slope)

Item 2: Proposed Replacement of Existing Side Porches



Side Porch Replacement:

- **FOOTERS:** SAME POSITION AS CURRENT - BUT SUNK DEEPER FOR ADDED STRUCTURAL SUPPORT.
- **DESIGN:** “OPEN STRUCTURE” VS. “ENCLOSED FRAMED IN STRUCTURE.” This will make porch less prominent in front view of house & open up the visual space of our beautiful hillside (which borders Alms Park).
- Porch floor extends into left side “AIR SPACE” past the current porch. Due to “OPEN” vs. “BOXED IN” porch design, the porch will appear less prominent from street (no longer blocking views of nature).
- It is our understanding that the planned porch meets setback guidelines for side porch replacements.



Item 1: Proposed New Front Porch with Garage Under:



ADDED GREENSPACE & FUNCTION

- **New Garage Depth meets setback guidelines:** Our architecture drawings show a depth of planned garage which is compliant with setback guidelines.
- **Garage Embedded in Hillside:** for added structural support of hillside, water drainage, and visual continuity of street.
- **Added Greenspace (Lawn & Landscaping.** Top of garage features a porch with railing and greenspace (Lawn on top plus landscaping on top and sides)

* See architecture plans for detail

Setback Compliance

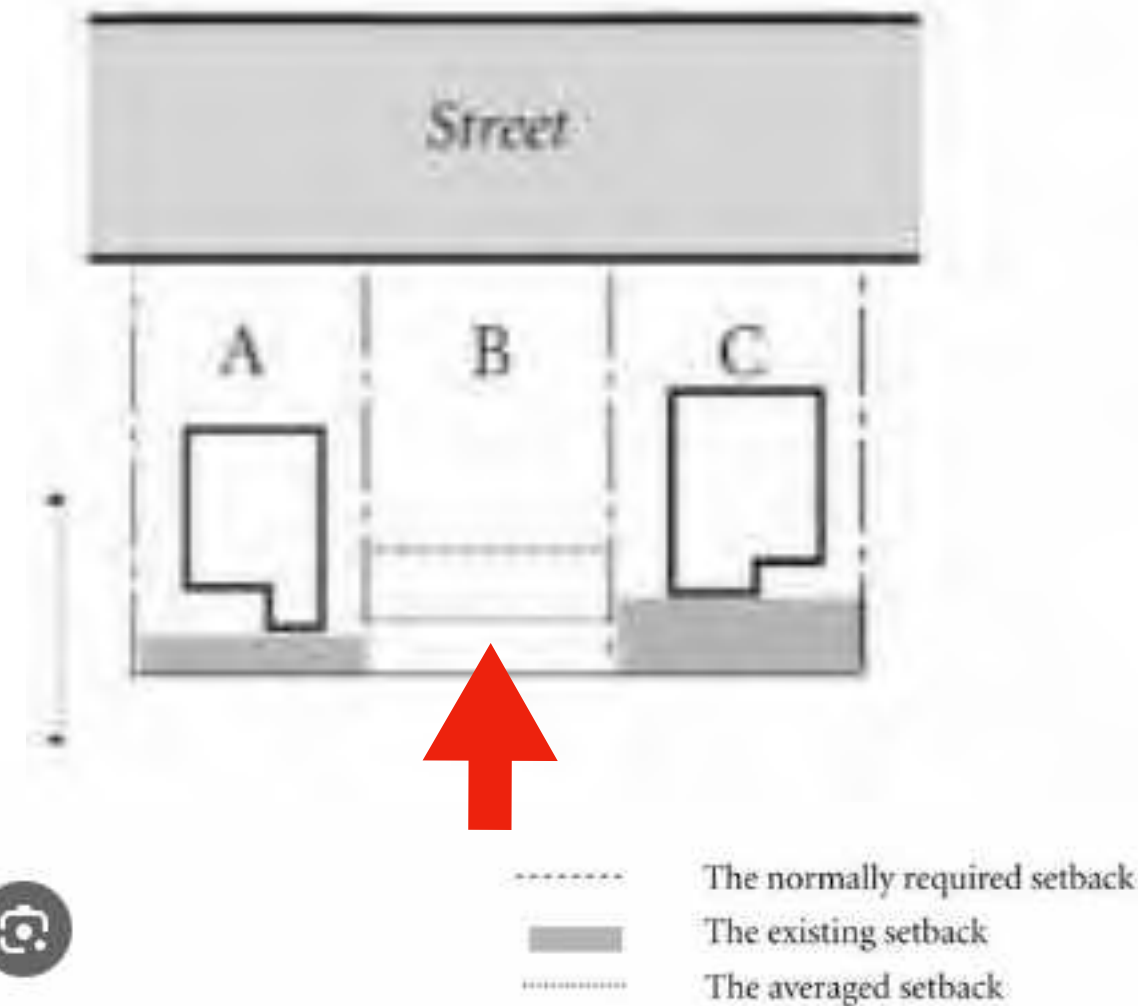
2) Our house currently has the largest setback on the street. Our neighbors up and down the hill sit closer to the street.

Our planned project adds a new covered porch with garage underneath. The garage is embedded in the hillside with lawn & landscaping on top. This adds greenspace to our hillside.

This design is planned to enhance functional use of our garage, reinforced structural support for our hillside, remediate water drainage, meet setback guidelines, and enhance visual look & feel for our street.

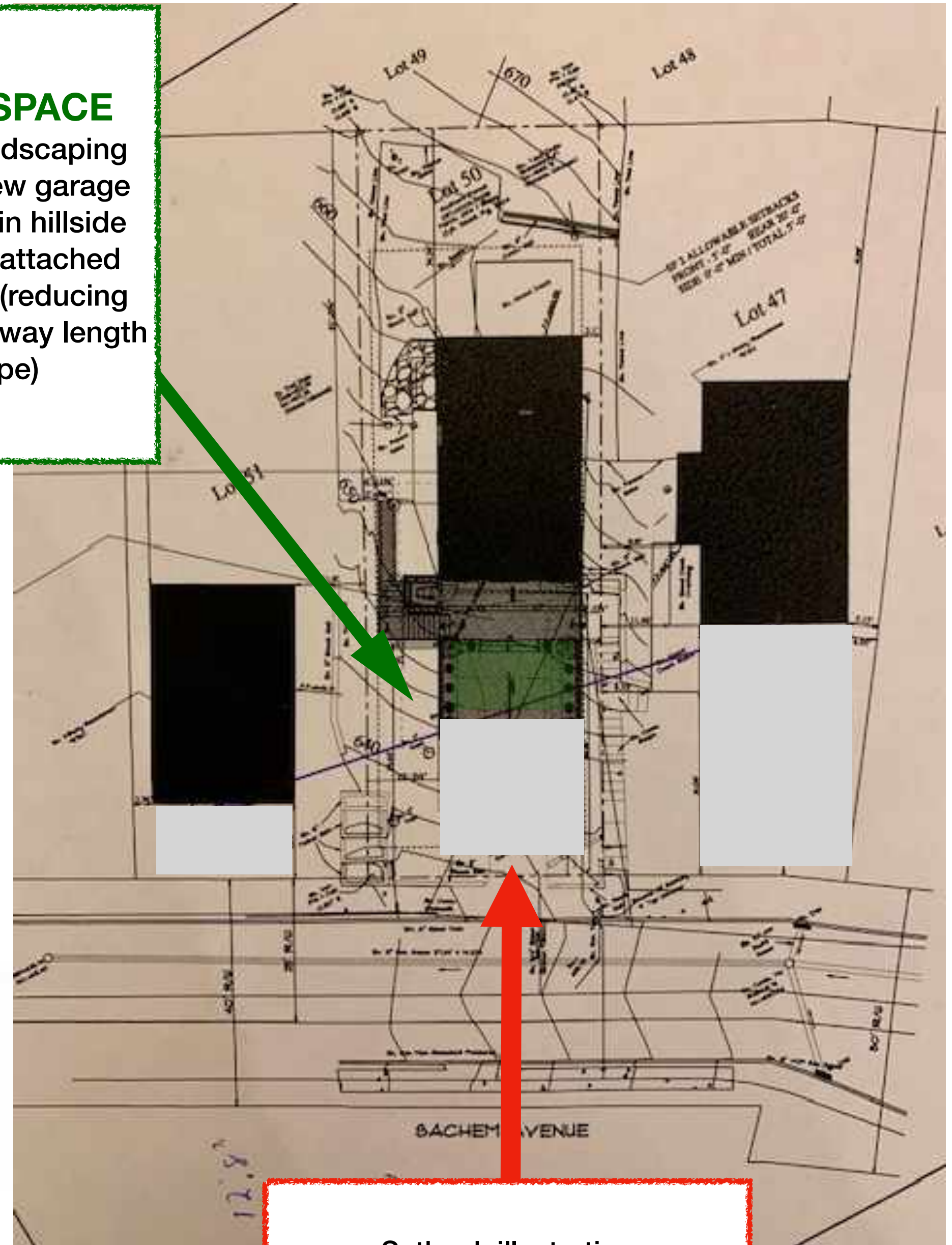
Chapter 14 Ordinance

Setback for lot B is the average of the existing setbacks for lots A and C



Chapter 1421 - GENERAL SITE STANDARDS | Code of Ordinances | Cincinnati, OH | Municode Library

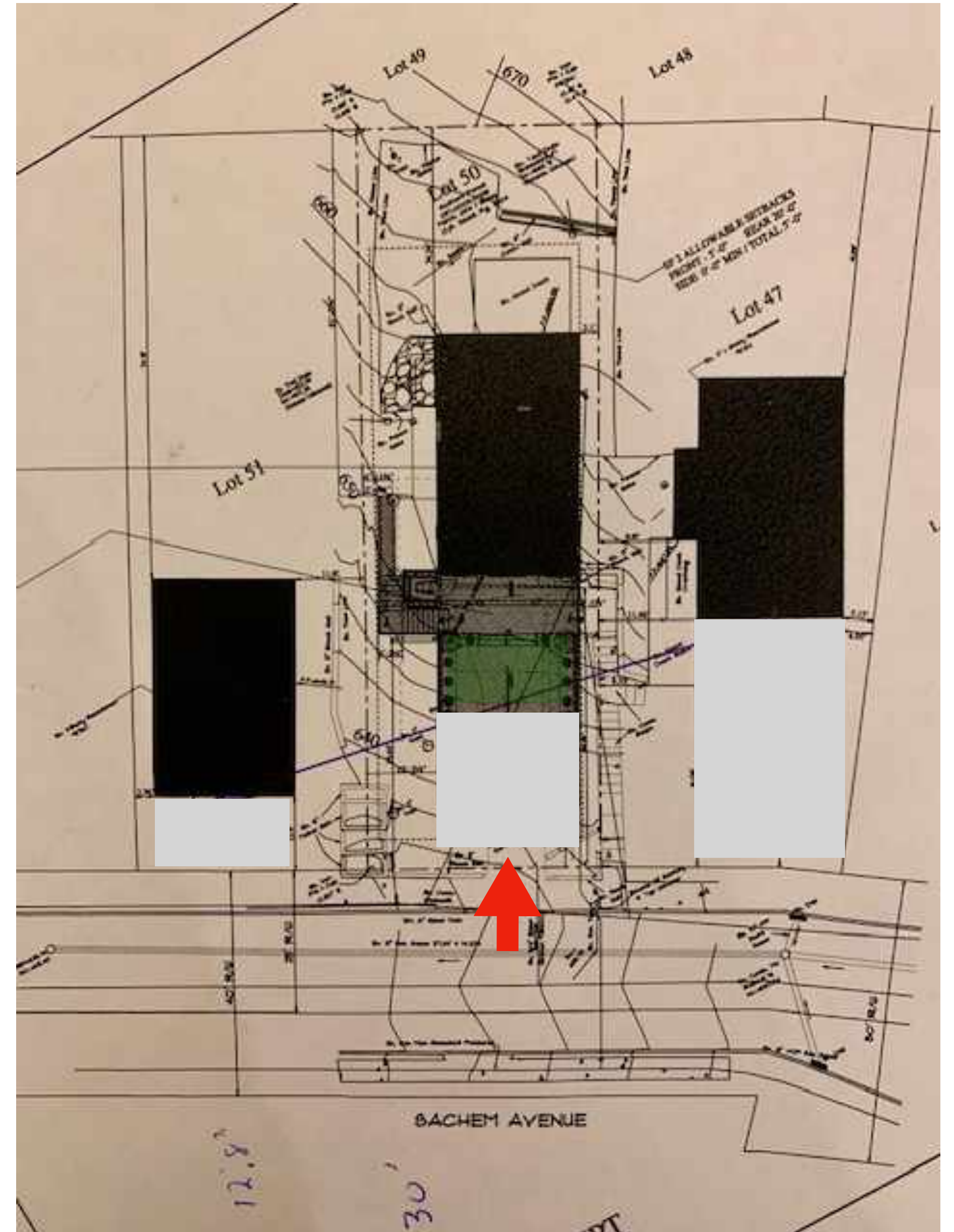
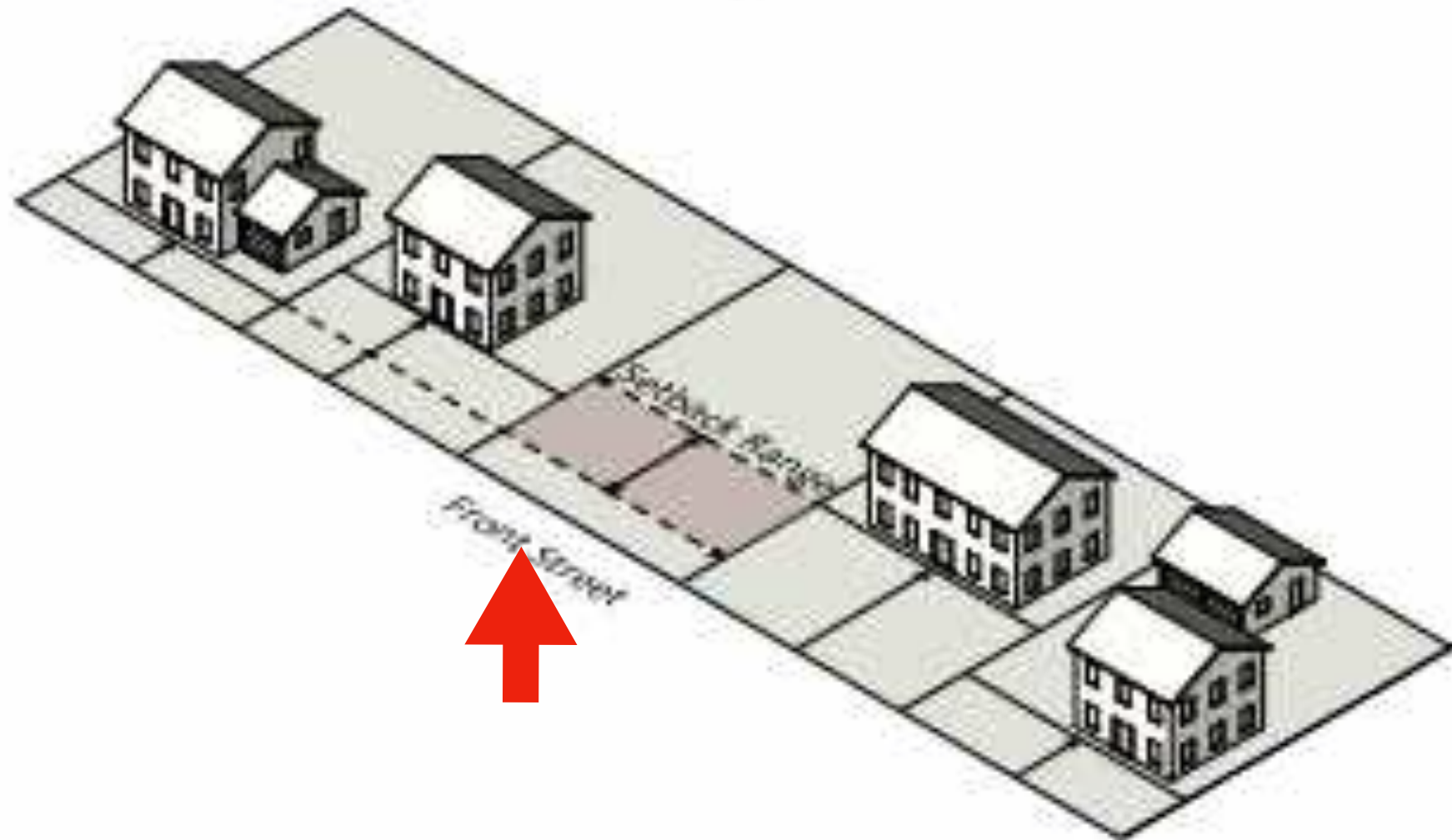
GREENSPACE
Lawn & Landscaping on top of new garage embedded in hillside under new attached front porch (reducing cement driveway length & slope)

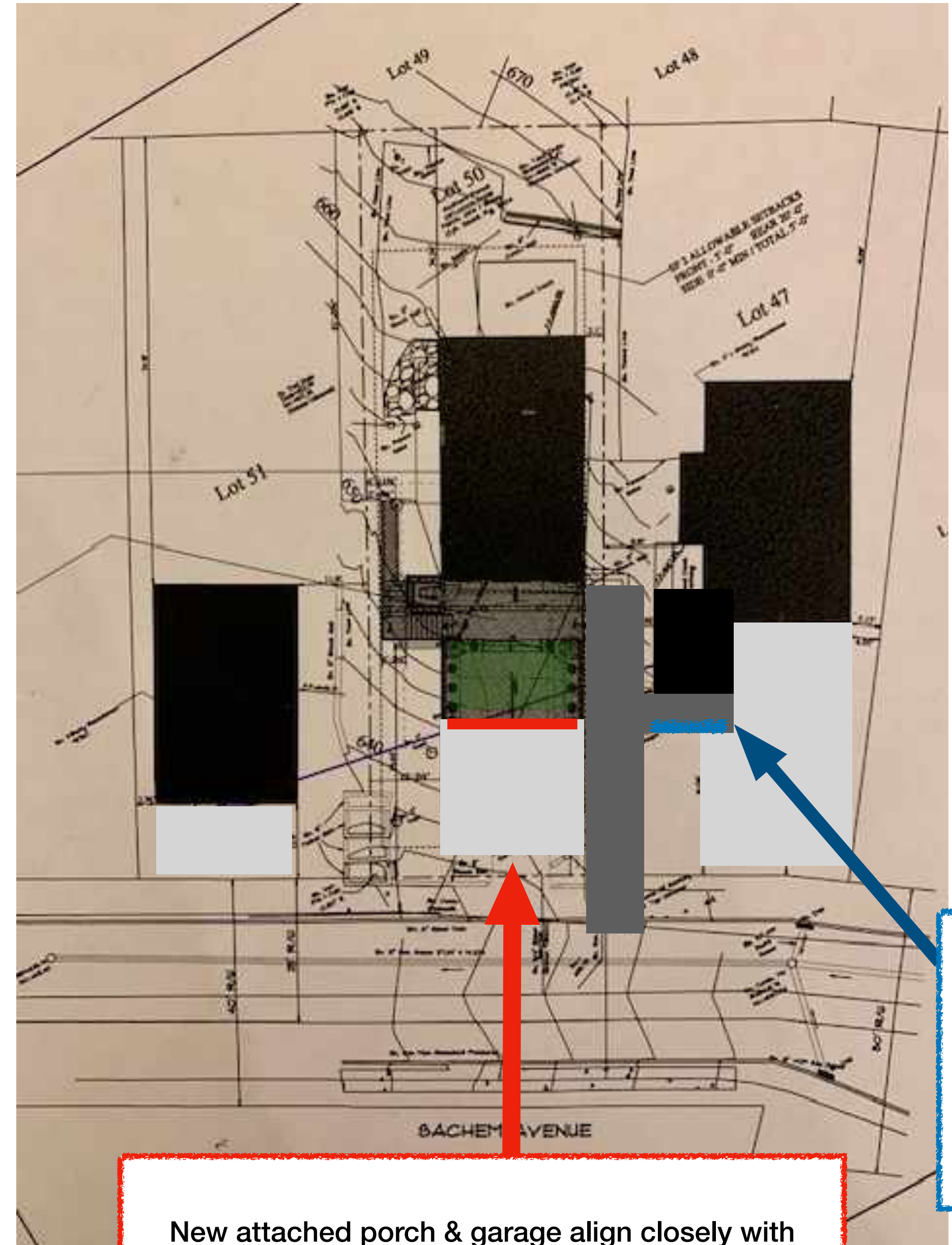


Setback illustration

Setback Compliance

2. The proposed building must be located within the range of front setbacks, no closer than the smallest setback in the range and no further than the largest setback in the range.
3. On an interior lot, the range of setbacks is measured on the basis of the 2 closest lots in either direction along the block face.





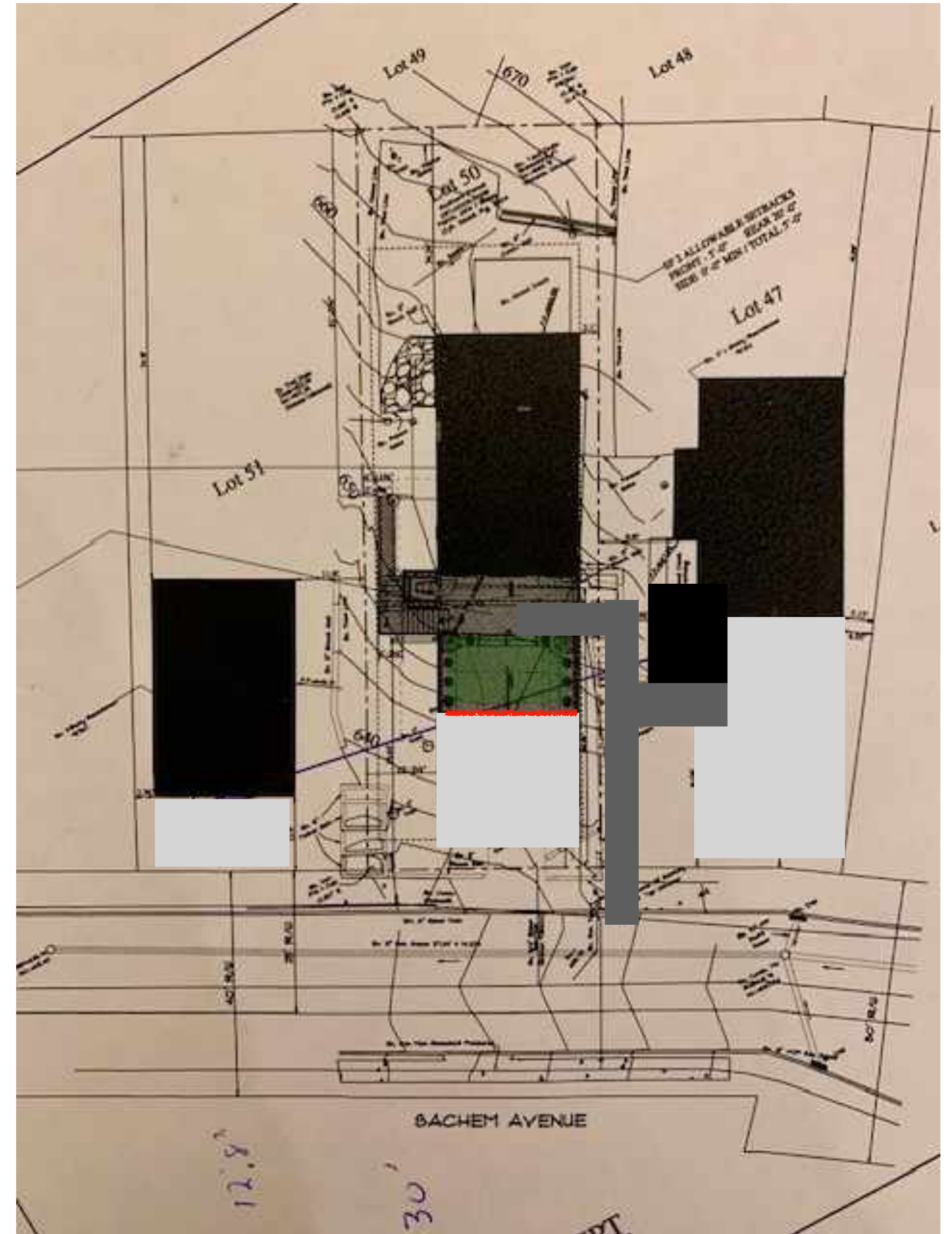
New attached porch & garage align closely with neighbors attached porched existing shared walkway.

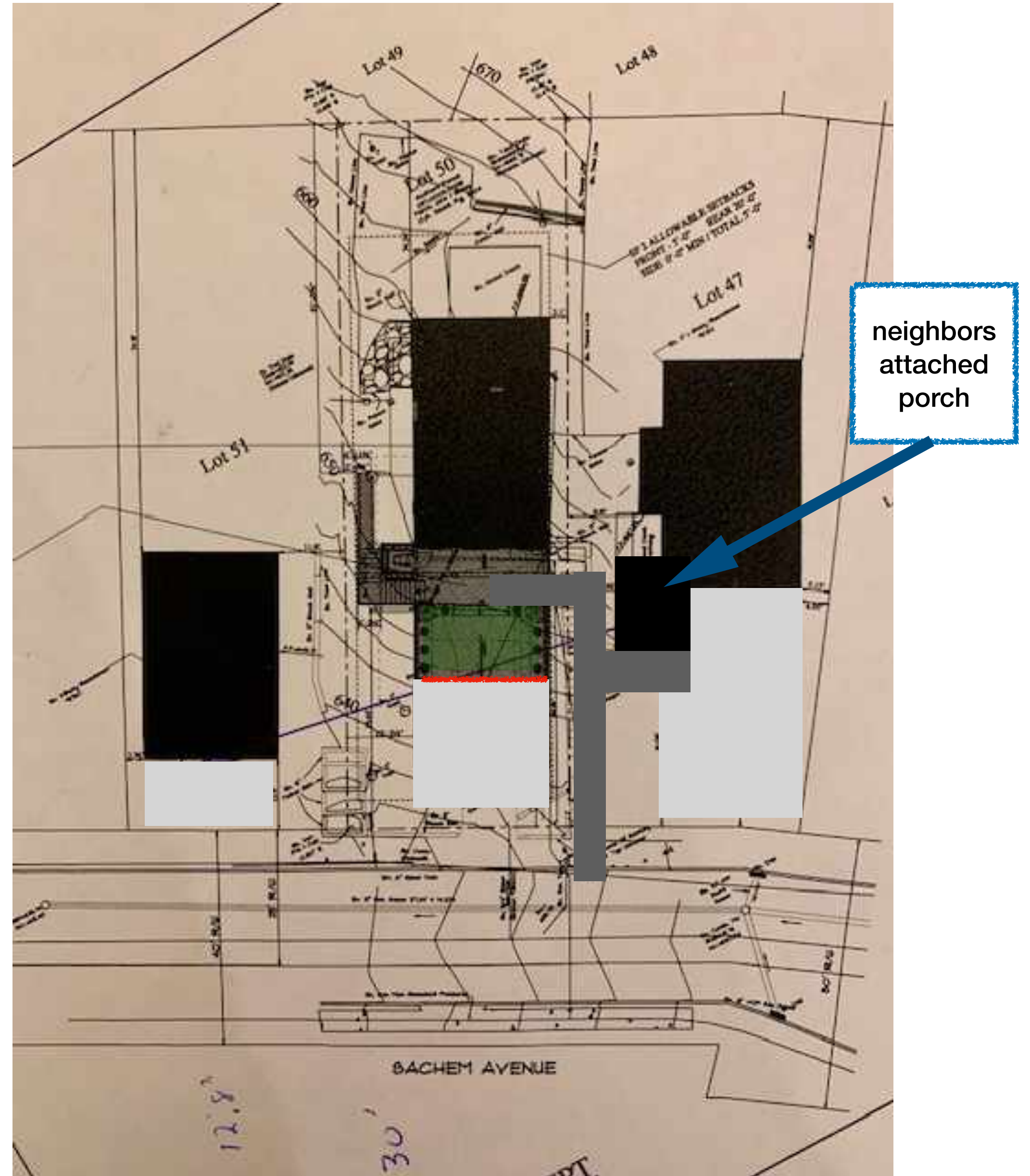
neighbors attached porch & walkway

Visual Continuity with Neighbors



ADDED GREENSPACE
Does not obstruct views of cityscape & river.





Our Street

Our house: 3732 Sachem Avenue
Our house is currently the deepest setback on our street. Our street is filled with houses close to the street & shorter driveways leading to garages. Most garages are incorporated under an attached porch



Our Street



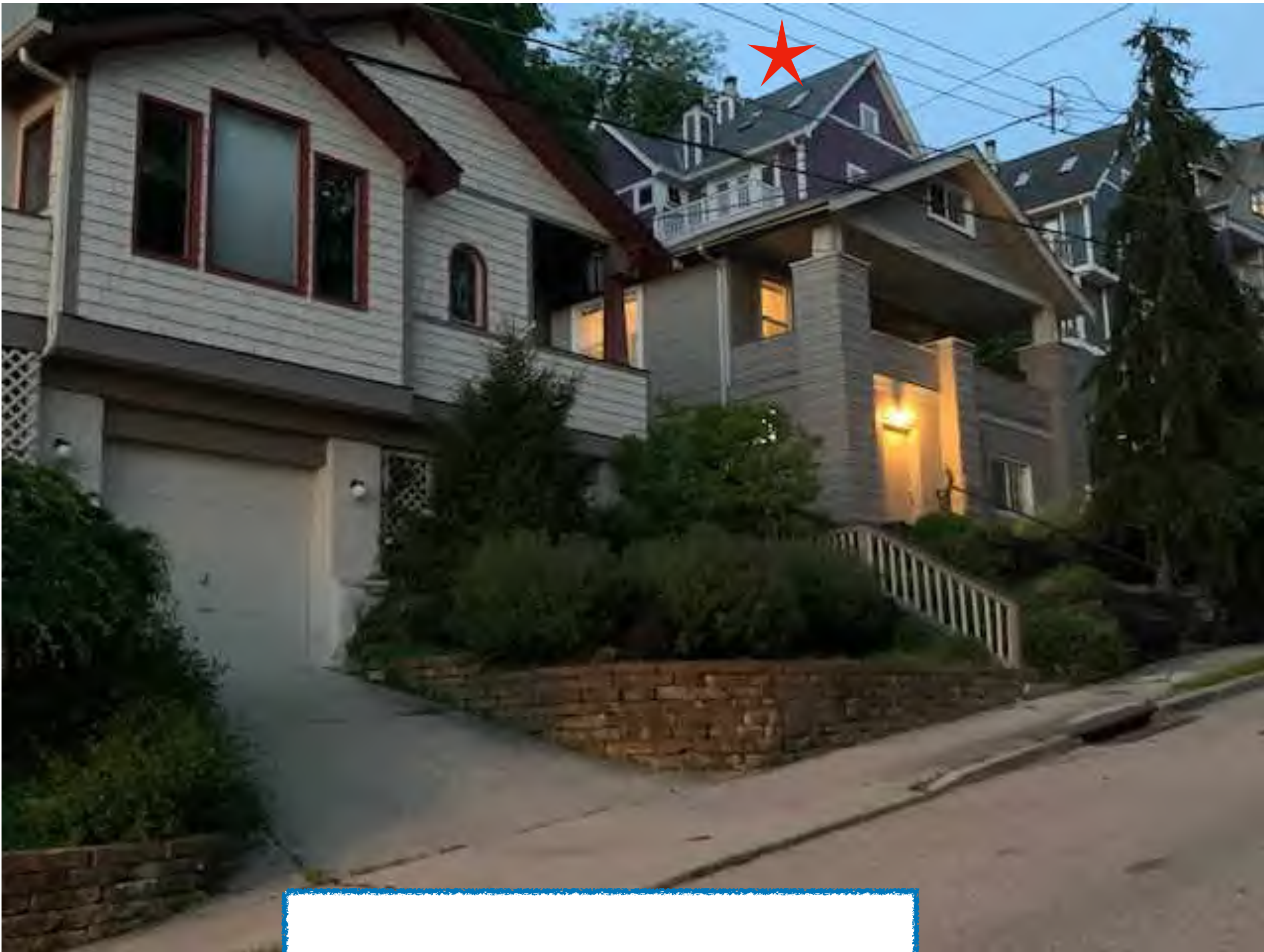
Our House

Example of Garages on our street

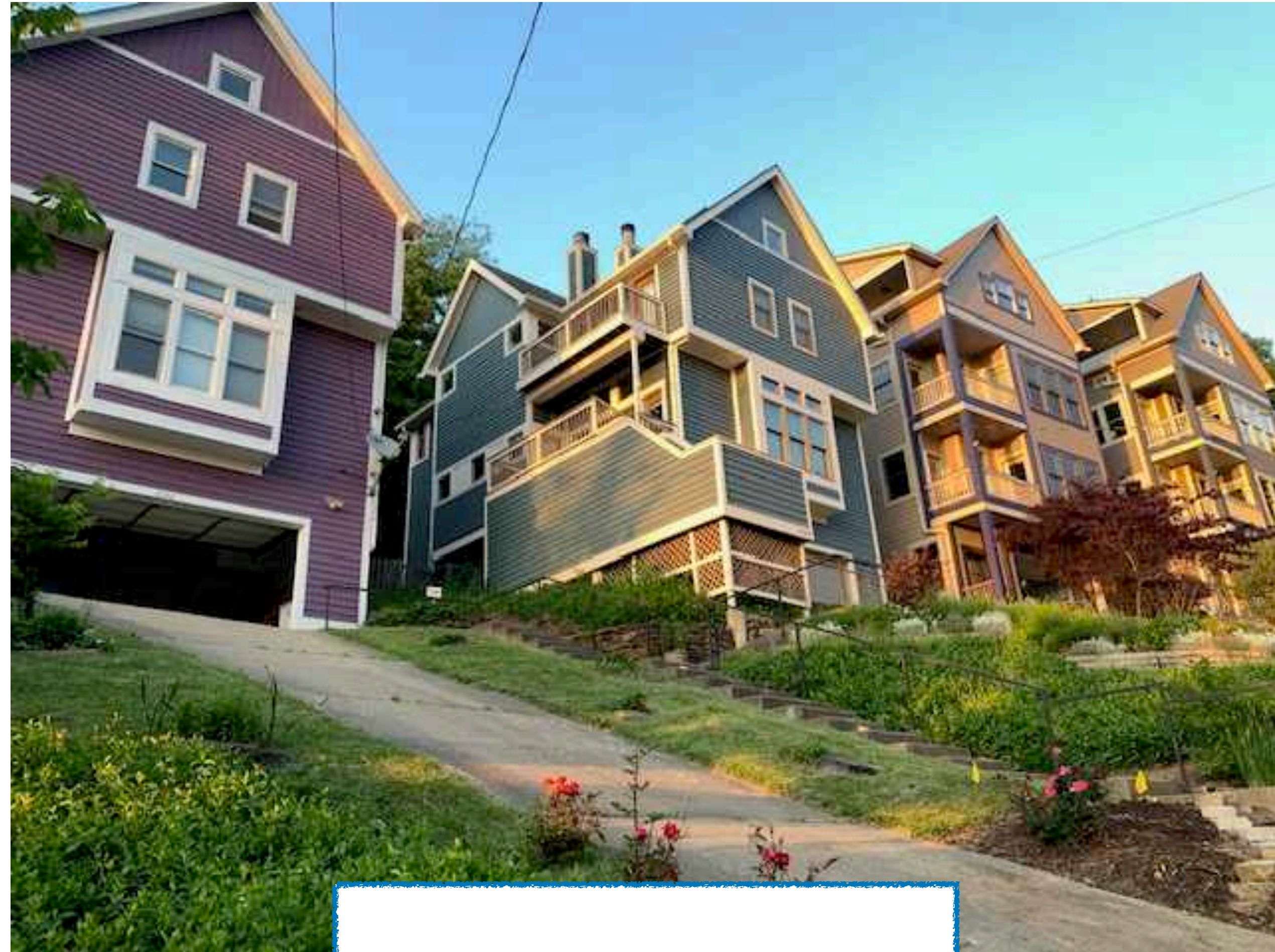
Our Street



Our Street

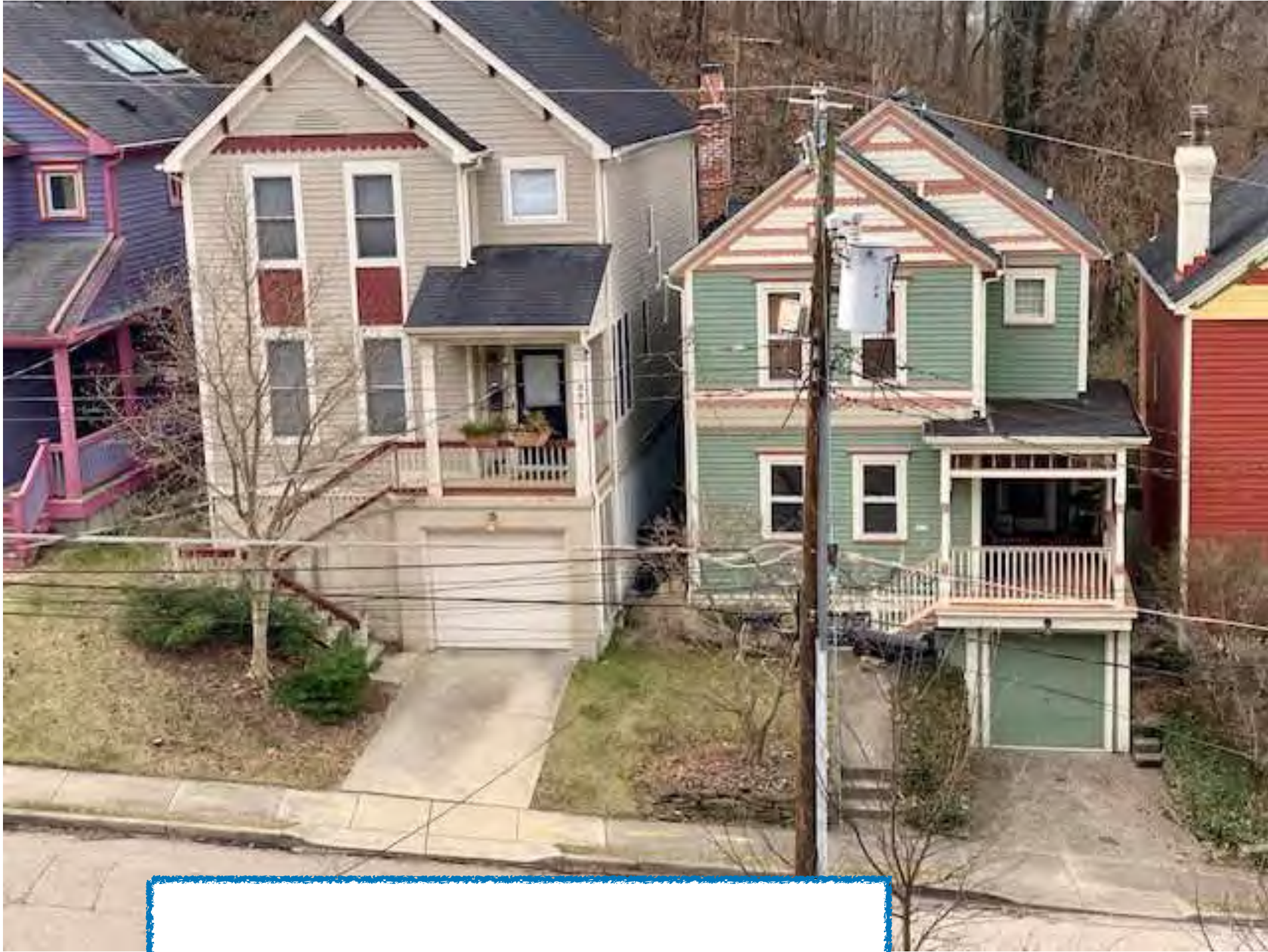


Neighbors down the hill
(to left of our house when facing our house)



Neighbors up the hill
(to right of our house when facing our house)

Our Street



Across the Street Neighbors



3724 Sachem



3816 Sachem



**3620 Woodbridge
(Neighboring Street)**



**3736 - 38 Sachem
(3rd & 4th house up the hill from our house)**



COLUMBIA TUSCLUM PRECEDENCE THEMES

- Setback of existing garages are much closer to the street than the proposed garage
- Precedence exists whereby existing properties have a porch over the garage and the structure is built partially below ground
- Architecture style is similar to other structures in the neighborhood

3568 Handman



508 Hoge Avenue



3568 Handman



413 Strafer



3728-3730 Sachem Avenue



425 Strafer



417-423 Stanley



610 Athens



418 McDowell





CANYON RIDGE[®]

— garage doors —



CARRIAGE HOUSE ■ ELEMENTS ■ CHEVRON ■ LOUVER ■ MODERN



Canyon Ridge® Carriage House 5-Layer Design 11; Shown Custom Painted with Clear Cypress Cladding, Clear Cypress Overlays and REC14 Window Design (Model CAN211CCREC14) Photography: Laurey W. Glenn



modern durability with
the timeless look of wood



Canyon Ridge® Louver Design 52; Shown in Walnut Finish with Louver Mahogany Cladding, Mahogany Overlays and REC13 Window Design (Model CAN252LMREC13)

INTELLIGENT BEAUTY

Canyon Ridge® garage doors give you the best of both worlds — the luxurious look of authentic wood and the practical functionality of steel and composite materials.

Durable, low-maintenance steel with Intellicore® polyurethane insulation ensures your home is well-protected, warm and comfortable.

The composite cladding and overlays that make up the designs are molded from actual wood pieces for a truly realistic look and feel.

Choose from a wide range of design options, color finishes, hardware and windows to suit your style.



Canyon Ridge® Carriage House 5-Layer
Design 13; Shown in Dark Finish with Mahogany
Cladding, Mahogany Overlays and REC13 Window
Design (Model CAN213MMREC13)



CANYON RIDGE®

CARRIAGE HOUSE

Inspired by coach houses of a bygone era, Canyon Ridge® Carriage House garage doors add character and charm to any style home — from traditional exteriors to modern farmhouses. Designed to look like genuine swing out carriage house doors, but built to suit the modern-day lifestyle with modern upward operation.

CARRIAGE HOUSE 5-LAYER CONSTRUCTION

- 5-layer, faux-wood doors with Intellicore® polyurethane insulation. 20.4 R-value.
- Multiple door designs and window options. Many custom designs also available. See your Clopay Dealer for more information.
- Insulated glass options include clear, frosted, seeded, rain and obscure. See page 28 for specialty glass options.
- Attractive beveled edge, clip-in window grilles are removable for easy cleaning.
- Replaceable vinyl bottom weatherseal in a corrosion-resistant retainer helps seal out the elements.
- 10-ball nylon rollers for quiet operation.
- Heavy-duty 14 gauge steel hinges for long-lasting performance.
- Clopay's Safe-T-Bracket® prevents serious injury that could occur if the bottom bracket were removed with the garage door closed and under tension.
- Comes complete with spade lift handles and step plates. See page 29 for details.

Doors designs shown in Dark Finish with Clear Cypress cladding and Clear Cypress overlay. Design 01 does not have an overlay.



Design 01



Design 22



Design 34



5
LAYER
CONSTRUCTION

- 1 COMPOSITE OVERLAY
- 2 COMPOSITE CLADDING
- 3 STEEL
- 4 2" INTELLICORE® POLYURETHANE INSULATION
- 5 STEEL



2"
POLYURETHANE
INSULATION

COMPOSITE OVERLAY
DELAMINATION
**LIMITED
5 YR
WARRANTY**

R-VALUE
20.4

HARDWARE
**LIMITED
5 YR
WARRANTY**

Calculated door section R-value is in accordance with DASMA TDS-163.

COLORS



*Bronze, Charcoal, Black and White Finish available only on Mahogany cladding and overlays. Two-tone doors are available. To see all available options go to: dis.clopay.com. Doors can be ordered primed for those homeowners wishing to custom paint or stain their doors. Door stain color will vary slightly within a door due to finishing process. Due to the printing process, above colors may vary. To request a color sample, visit www.clopaydoor.com/requestcoloursamples.



Color Blast® finish offers more than 1,500 Sherwin-Williams® color options to complement your home. Clopay's durable two-part paint system has been thoroughly tested and is backed by a five-year warranty.



Design 11



Design 12



Design 13



Design 21



Design 23



Design 31



Design 32



Design 33



Design 35



Design 36



Design 37



Design 38

WINDOW/TOP SECTIONS



REC11



REC13



SQ23



ARCH3



ARCH13



ARCH1



REC14



SQ24



ARCH4



ARCH14



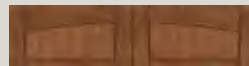
TOP11



TOP12



TOP13



ARCH1

Window grilles are Clear Cypress texture. Windows not available on Designs 31, 32, 33, 34, 35, 36, 37 and 38.

Standard windows available on the following widths only: 6'2", 8'0", 9'0", 10'0", 10'2", 12'0", 12'2", 13'6", 15'0", 15'2", 15'6", 15'8", 16'0", 16'2", 18'0", 18'2", 20'0", 20'2".

Impact windows available on the following widths only: 8'0", 9'0", 10'0", 12'2", 16'2", 18'2". To view additional designs, windows and top sections available, please visit www.clopaydoor.com.

MATERIAL DESIGN OPTIONS

COMPOSITE CLADDING MATERIALS



Clear Cypress (C)

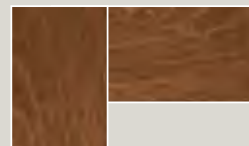


Mahogany (M)



Pecky Cypress (P)

COMPOSITE OVERLAY MATERIALS



Clear Cypress (C)



Mahogany (M)

Note: Cladding and overlay material options may be mixed and matched.

CARRIAGE HOUSE 4-LAYER CONSTRUCTION

- 4-layer, faux-wood doors with Intellicore® polyurethane insulation. 18.4 R-value.
- Multiple door designs and window options. Many custom designs also available. See your Clopay Dealer for more information.
- Insulated glass options include clear, frosted, seeded, rain and obscure. See page 28 for specialty glass options.
- Attractive beveled edge, clip-in window grilles are removable for easy cleaning.
- Replaceable vinyl bottom weatherseal in a corrosion-resistant retainer helps seal out the elements.
- 10-ball nylon rollers for quiet operation.
- Heavy-duty 14 gauge steel hinges for long-lasting performance.
- Clopay's Safe-T-Bracket® prevents serious injury that could occur if the bottom bracket were removed with the garage door closed and under tension.
- Comes complete with spade lift handles and step plates. See page 29 for details.

All doors designs shown in Medium Finish with Clear Cypress overlay.



Design 11



Design 23



Design 35



4
LAYER
CONSTRUCTION

1 COMPOSITE
OVERLAY

2 STEEL WITH
ULTRA-GRAIN®
PAINT FINISH
(SHOWN) OR
SOLID COLOR
STEEL

3 2" INTELLICORE®
POLYURETHANE
INSULATION

4 STEEL

STEEL
PAINT SYSTEM
**LIMITED
LIFE
WARRANTY**



2"
POLYURETHANE
INSULATION

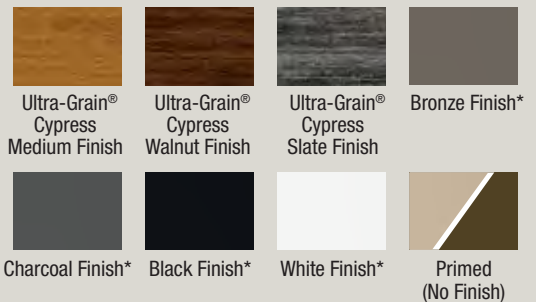
COMPOSITE OVERLAY
DELAMINATION
**LIMITED
5YR
WARRANTY**

R-VALUE
18.4

HARDWARE
**LIMITED
5YR
WARRANTY**

Calculated door section R-value is in accordance with DASMA TDS-163.

COLORS



*Bronze, Charcoal, Black and White Finish available only on Mahogany overlays. Two-tone doors are available. To see all available options go to: dis.clopay.com. Steel surfaces have woodgrain texture. Doors can be ordered primed for those homeowners wishing to custom paint their doors. Note: Primed solid steel base is a brown color. Door stain color will vary slightly within a door due to finishing process. Due to the printing process, above colors may vary. To request a color sample, visit www.clopaydoor.com/requestcolorssamples.



Color Blast® finish offers more than 1,500 Sherwin-Williams® color options to complement your home. Clopay's durable two-part paint system has been thoroughly tested and is backed by a five-year warranty.



Design 12



Design 13



Design 21



Design 22



Design 31



Design 32



Design 33



Design 34



Design 36



Design 37

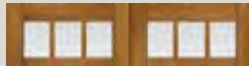


Design 38

WINDOW/TOP SECTIONS



REC11



REC13



SQ23



ARCH3



ARCH13



ARCH1



REC14



SQ24



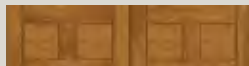
ARCH4



ARCH14



TOP11



TOP12



TOP13



ARCH1

Window grilles are Clear Cypress texture. Windows not available on Designs 31, 32, 33, 34, 35, 36, 37 and 38.

Standard windows available on the following widths only: 6'2", 8'0", 9'0", 10'0", 10'2", 12'0", 12'2", 13'6", 15'0", 15'2", 15'6", 15'8", 16'0", 16'2", 18'0", 18'2", 20'0", 20'2".

Impact windows available on the following widths only: 8'0", 9'0", 10'0", 12'2", 16'2", 18'2". To view additional designs, windows and top sections available, please visit www.clopaydoor.com.

MATERIAL DESIGN OPTIONS

STEEL BASE DOOR MATERIALS



Ultra-Grain® Finish Clear Cypress or Solid Color Steel (N)

COMPOSITE OVERLAY MATERIALS



Mahogany (M)



Clear Cypress (C)

Composite cladding is not present on Carriage House 4-Layer doors.



Canyon Ridge® Elements Design 12;
Shown in Black Finish with REC13
Window Design (Model CED112RSREC13)

CANYON RIDGE®

ELEMENTS

A modern update to our classic carriage house, Canyon Ridge Elements pairs textured overlays with clean, square edges and durable, insulated steel to give you the look of painted wood without the upkeep.

ELEMENTS

4-LAYER CONSTRUCTION

- 4-layer, 1-3/8" bonded polystyrene insulation. 6.5 R-value.
- Multiple door designs and window options available. See your Clopay Dealer for more information.
- Glass options include clear, frosted, seeded, rain and obscure. See page 28 for specialty glass options.
- Seven factory finish paint and overlay colors. Overlay and base colors can be mixed to achieve desired look.
- Clip-in window grilles are removable for easy cleaning.
- Replaceable vinyl bottom weatherseal in a corrosion-resistant retainer helps seal out the elements.
- 10-ball nylon rollers for quiet operation.
- Heavy-duty 14 gauge steel hinges for long-lasting performance.
- Clopay's Safe-T-Bracket® prevents serious injury that could occur if the bottom bracket were removed with the garage door closed and under tension.
- Comes complete with spade lift handles and step plates. See page 29 for details.

All doors designs shown in Charcoal with woodgrain classic steel base and overlays.



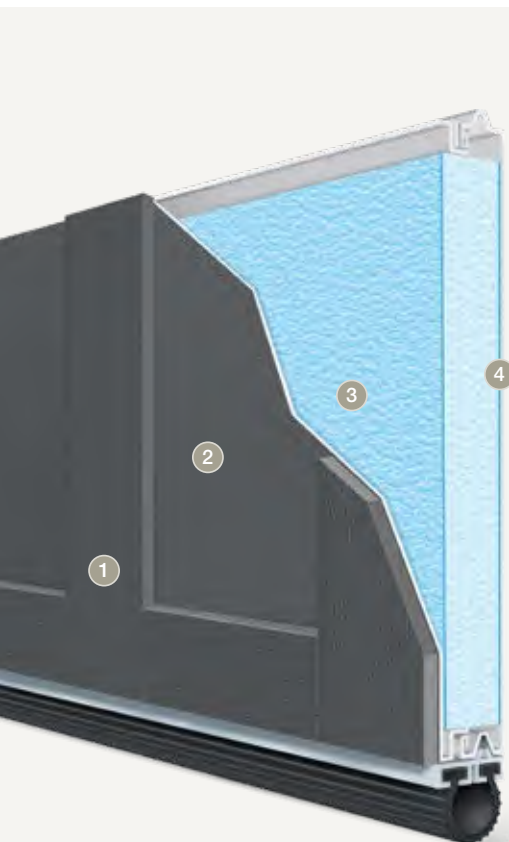
Design 11



Design 23



Design 35



4
LAYER
CONSTRUCTION

- 1 COMPOSITE OVERLAY
- 2 STEEL
- 3 BONDED POLYSTYRENE INSULATION
- 4 STEEL

STEEL
PAINT SYSTEM
**LIMITED
LIFE
WARRANTY**

1-3/8"
POLYSTYRENE
INSULATION

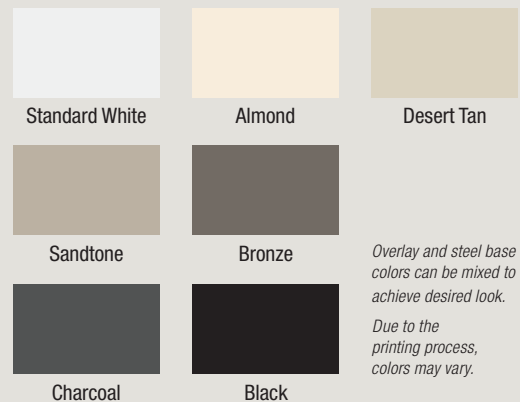
COMPOSITE OVERLAY
DELAMINATION
**LIMITED
5YR
WARRANTY**

R-VALUE
6.5

HARDWARE
**LIMITED
5YR
WARRANTY**

Calculated door section R-value is in accordance with DASMA TDS-163.

COLORS



Color Blast® finish offers more than 1,500 Sherwin-Williams® color options to complement your home. Clopay's durable two-part paint system has been thoroughly tested and is backed by a five-year warranty.



Design 12



Design 13



Design 21



Design 22



Design 31



Design 32



Design 33



Design 34



Design 36



Design 38

WINDOW/TOP SECTIONS



REC11



REC13



SQ23



ARCH3



ARCH13



ARCH1



REC14



SQ24



ARCH4



ARCH14



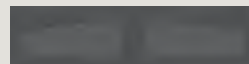
TOP11



TOP12



TOP13



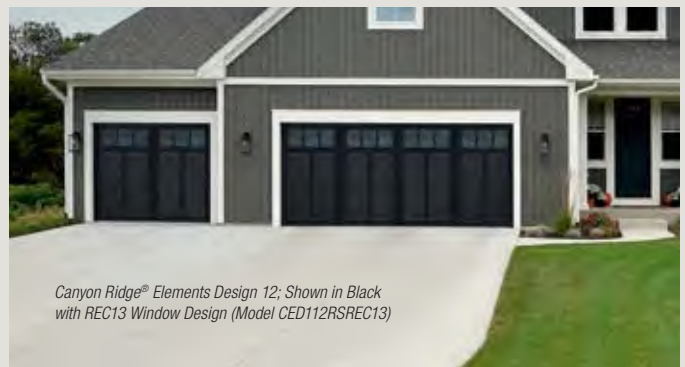
ARCH1

Window grilles are Woodgrain Classic texture. Insulated glass not available. Windows not available on Designs 31, 32, 33, 34, 35, 36 and 38. Standard windows available on the following widths only: 8'0", 9'0", 10'0", 12'0", 13'0", 13'6", 16'0", 17'0", 18'0". To view additional designs, windows and top sections available, please visit www.clopaydoor.com.

MATERIAL DETAIL



Woodgrain Classic surface texture on base steel and composite overlay.



Canyon Ridge® Elements Design 12; Shown in Black with REC13 Window Design (Model CED112RSREC13)



Canyon Ridge® Chevron Design 12A; Shown Custom Painted with Mahogany Cladding, Mahogany Overlays and REC14 Window Design (Model CAN212AMMREC14)

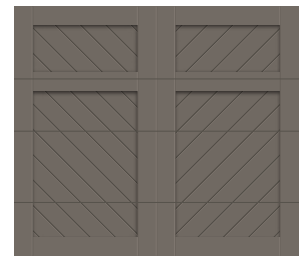
CANYON RIDGE®

CHEVRON

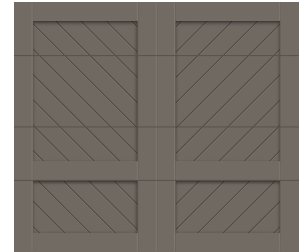
Charming and elegant, the exceptional style of Canyon Ridge Chevron garage doors makes an exquisite addition to any homeowner's exterior. With its unique cladding design options, it will give your home that extra charm it was longing for.

CHEVRON 5-LAYER CONSTRUCTION

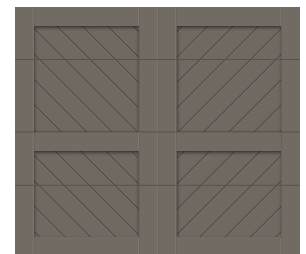
- 5-layer, faux-wood doors with Intellicore® polyurethane insulation. 20.4 R-value.
- Multiple door designs and window options. Many custom designs also available. See your Clopay Dealer for more information.
- Insulated glass options include clear, frosted, seeded, rain and obscure. See page 28 for specialty glass options.
- Attractive beveled edge, clip-in window grilles are removable for easy cleaning.
- Replaceable vinyl bottom weatherseal in a corrosion-resistant retainer helps seal out the elements.
- 10-ball nylon rollers for quiet operation.
- Heavy-duty 14 gauge steel hinges for long-lasting performance.
- Clopay's Safe-T-Bracket® prevents serious injury that could occur if the bottom bracket were removed with the garage door closed and under tension.
- Comes complete with spade lift handles and step plates. See page 29 for details.



Design 11V



Design 31V



Design 36V

Canyon Ridge® Chevron Design 11V; Shown in Bronze Finish with Mahogany Cladding, Mahogany Overlays and REC13 Window Design (Model CAN211VMMREC13)



5
LAYER
CONSTRUCTION

- 1 COMPOSITE OVERLAY
- 2 COMPOSITE CLADDING
- 3 STEEL
- 4 2" INTELLICORE® POLYURETHANE INSULATION
- 5 STEEL



2"
POLYURETHANE
INSULATION

R-VALUE
20.4

COMPOSITE OVERLAY
DELAMINATION
**LIMITED
5 YR
WARRANTY**

HARDWARE
**LIMITED
5 YR
WARRANTY**

Calculated door section R-value is in accordance with DASMA TDS-163.

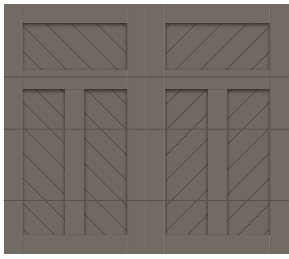
COLORS



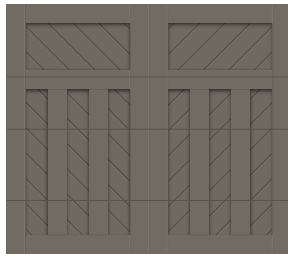
*Bronze, Charcoal, Black and White Finish available only on Mahogany cladding and overlays. Two-tone doors are available. To see all available options go to: dis.clopay.com. Doors can be ordered primed for those homeowners wishing to custom paint or stain their doors. Door stain color will vary slightly within a door due to finishing process. Due to the printing process, above colors may vary. To request a color sample, visit www.clopaydoor.com/requestcolorsamples.



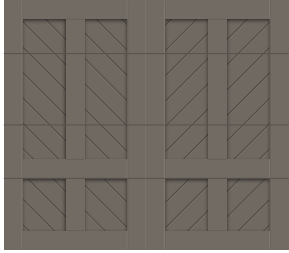
Color Blast® finish offers more than 1,500 Sherwin-Williams® color options to complement your home. Clopay's durable two-part paint system has been thoroughly tested and is backed by a five-year warranty.



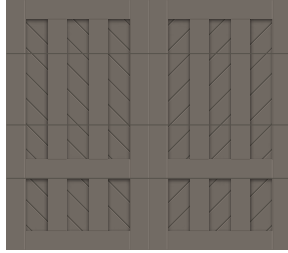
Design 12V



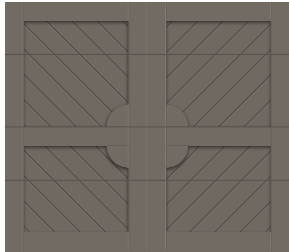
Design 13V



Design 32V

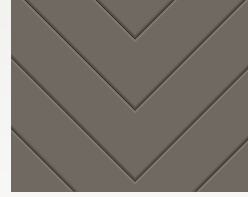


Design 33V

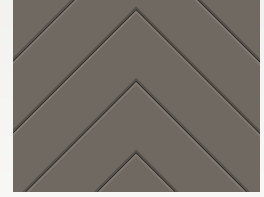


Design 37V

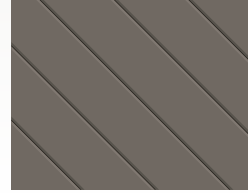
CLADDING DESIGN OPTIONS



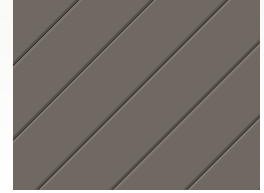
Option V



Option A



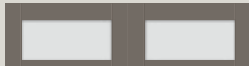
Option D



Option U



WINDOW/TOP SECTIONS



REC11



REC13



SQ23



ARCH3



ARCH13



ARCH1



REC14



SQ24



ARCH4



ARCH14



TOP11



TOP12



TOP13



ARCH1

Window grilles are Mahogany texture. Windows not available on Designs 31, 32, 33, 36, 37.

Standard windows available on the following widths only: 6'2", 8'0", 9'0", 10'0", 10'2", 12'0", 12'2", 13'6", 15'0", 15'2", 15'6", 15'8", 16'0", 16'2", 18'0", 18'2", 20'0", 20'2".

Impact windows available on the following widths only: 8'0", 9'0", 10'0", 12'2", 16'2", 18'2". To view additional designs, windows and top sections available, please visit www.clopaydoor.com.

MATERIAL DESIGN OPTIONS

COMPOSITE CLADDING MATERIALS



Clear Cypress (C)

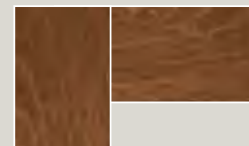


Mahogany (M)



Pecky Cypress (P)

COMPOSITE OVERLAY MATERIALS



Clear Cypress (C)



Mahogany (M)

Note: Cladding and overlay material options may be mixed and matched.



Canyon Ridge® Louver Design 52; Shown Custom Painted with Louver Mahogany Cladding, Mahogany Overlays and REC14 Window Design (Model CAN252LMREC14)

CANYON RIDGE®

LOUVER

Versatile and unique, the plantation shutter style Canyon Ridge Louver garage doors are a perfect complement to coastal beach homes or colonial estates. They can also be a standout piece on traditional exteriors or modern farmhouses. Whatever your style, these doors add wow factor to your home.

LOUVER GARAGE DOORS

- Faux-wood doors with Intellicore® polyurethane insulation. 18.4–20.4 R-value.
- Multiple door designs and window options. Many custom designs also available. See your Clopay Dealer for more information.
- Insulated glass options include clear, frosted, seeded, rain and obscure. See page 28 for specialty glass options.
- Attractive beveled edge, clip-in window grilles are removable for easy cleaning.
- Replaceable vinyl bottom weatherseal in a corrosion-resistant retainer helps seal out the elements.
- 10-ball nylon rollers for quiet operation.
- Heavy-duty 14 gauge steel hinges for long-lasting performance.
- Clopay's Safe-T-Bracket® prevents serious injury that could occur if the bottom bracket were removed with the garage door closed and under tension.
- Comes complete with spade lift handles and step plates. See page 29 for details.



Design 41



Design 46



Design 54

Canyon Ridge® Louver Design 52; Shown in Walnut Finish with Louver Mahogany Cladding, Mahogany Overlays and REC11 Window Design (Model CAN252LMREC11)



5
LAYER
CONSTRUCTION

- 1 COMPOSITE OVERLAY
- 2 COMPOSITE CLADDING
- 3 STEEL
- 4 2" INTELLICORE® POLYURETHANE INSULATION
- 5 STEEL



2"
POLYURETHANE
INSULATION

COMPOSITE OVERLAY
DELAMINATION
**LIMITED
5 YR
WARRANTY**

R-VALUE
**UP TO
20.4**

HARDWARE
**LIMITED
5 YR
WARRANTY**

Calculated door section R-value is in accordance with DASMA TDS-163.

COLORS



*Dark Finish not available as a Base Steel color on Designs 41, 42, 43, 44, 45, 46 and 47.
†Bronze, Charcoal, Black and White Finish available only on Mahogany cladding and overlays. Two-tone doors are available.
To see all available options go to: dis.clopay.com. Steel surfaces have woodgrain texture. Doors can be ordered primed for those homeowners wishing to custom paint or stain their doors. Note: Primed solid steel base is a brown color. Door stain color will vary slightly within a door due to finishing process. Due to the printing process, above colors may vary. To request a color sample, visit www.clopaydoor.com/requestcolorssamples.



Color Blast® finish offers more than 1,500 Sherwin-Williams® color options to complement your home. Clopay's durable two-part paint system has been thoroughly tested and is backed by a five-year warranty.



Design 42



Design 43



Design 44



Design 45



Design 47



Design 51



Design 52



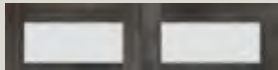
Design 53



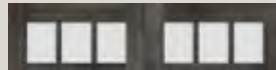
Design 55



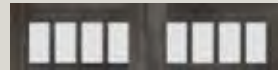
WINDOW/TOP SECTIONS



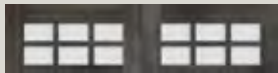
REC11



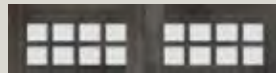
REC13



REC14



SQ23



SQ24



TOP11

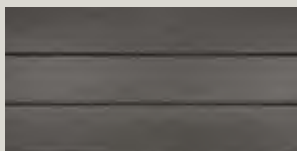
Window grilles are Mahogany texture. Windows available only on Louver Design 52.
Standard windows available on the following widths only: 6'2", 8'0", 9'0", 10'0", 10'2", 12'0",
12'2", 13'6", 15'0", 15'2", 15'6", 15'8", 16'0", 16'2", 18'0", 18'2", 20'0", 20'2".
Impact windows available on the following widths only: 8'0", 9'0", 10'0", 12'2", 16'2", 18'2".



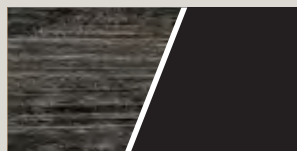
Design 52 with REC11 Windows

MATERIAL DESIGN OPTIONS

COMPOSITE CLADDING/BASE MATERIALS

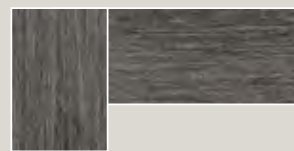


Louver Mahogany (L)

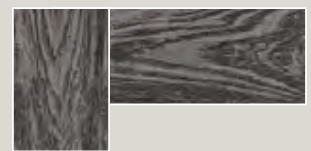


Ultra-Grain® Finish Clear Cypress
or Solid Color Steel (N)

COMPOSITE OVERLAY MATERIALS



Mahogany (M)



Clear Cypress (C)

Note: Cladding and overlay material options may be mixed and matched.



Canyon Ridge® Modern Plank Design; Shown in Walnut Finish with Mahogany Cladding and 35" x 6" Windows Down Left and Right Side (from inside garage looking out) (Model CRM2M6)

CANYON RIDGE®

MODERN

Statement-making and sophisticated, Canyon Ridge Modern garage doors combine the interesting textures of wood with key elements of contemporary architecture: clean, horizontal lines with mid-century appeal, sleek windows and metallic accents.

MODERN GARAGE DOORS

- Plank design: Faux-wood doors with Intellicore® polyurethane insulation. 20.4 R-value.
- Metal Inlay design: Faux-wood doors with Intellicore® polyurethane insulation. 18.4 R-value.
- Full-View design: Faux-wood doors with Intellicore® polyurethane insulation. 6.3 R-value.
- Multiple window configurations available for Plank doors. See your Clopay Dealer for more information.
- Many insulated glass options available including clear, frosted, rain and obscure. See page 28 for specialty glass options.
- Replaceable vinyl bottom weatherseal in a corrosion-resistant retainer helps seal out the elements.
- 10-ball nylon rollers for quiet operation.
- Heavy-duty 14 gauge steel hinges for long-lasting performance.
- Clopay's Safe-T-Bracket® prevents serious injury that could occur if the bottom bracket were removed with the garage door closed and under tension.
- Comes complete with spade lift handles and step plates. Optional aluminum grip handles are also available. See page 29 for details.



Plank Design



3" Plank



6" Plank



4
LAYER
CONSTRUCTION

- 1 COMPOSITE OVERLAY
- 2 STEEL
- 3 2" INTELLICORE® POLYURETHANE INSULATION
- 4 STEEL



2"
POLYURETHANE
INSULATION

COMPOSITE OVERLAY
DELAMINATION
**LIMITED
5 YR
WARRANTY**

R-VALUE
**UP TO
20.4**

HARDWARE
**LIMITED
5 YR
WARRANTY**

Calculated door section R-value is in accordance with DASMA TDS-163.

Weighted average calculations using insulated glass windows in all sections, all panels.



Metal (Aluminum)
Inlay Design

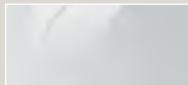


Full-View Design

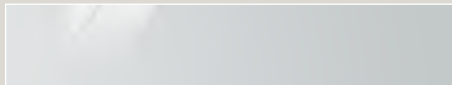


Canyon Ridge® Modern Metal (Aluminum) Inlay Design; Shown in Walnut Finish with Mahogany Cladding (Model CRM2MAI)

WINDOWS / PLANK CONFIGURATION OPTIONS



14" × 6"



35" × 6"

Both window sizes are available on single car and double car Plank door designs.

Note: Configurations are illustrated from outside garage. When ordering, window locations are identified from inside garage looking out. Please keep in mind to avoid windows ordered in incorrect location.



14" × 6"

Windows down right side

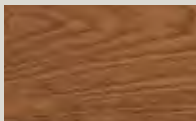


35" × 6"

Windows in all panel locations

MATERIAL DESIGN OPTIONS

PLANK CLADDING



Clear Cypress (C)



Mahogany (M)

METAL (ALUMINUM) INLAY CLADDING

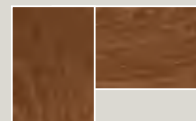


Clear Cypress (C)



Mahogany (M)

FULL-VIEW OVERLAY



Clear Cypress (C)



Mahogany (M)

COLORS



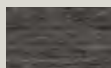
Medium Finish



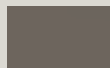
Dark Finish



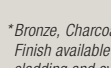
Walnut Finish



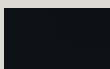
Slate Finish



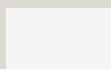
Bronze Finish*



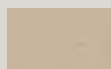
Charcoal Finish*



Black Finish*



White Finish*



Primed
(No Finish)

*Bronze, Charcoal, Black and White Finish available only on Mahogany cladding and overlays.

Doors can be ordered primed for those homeowners wishing to custom paint or stain their doors. Door stain color will vary slightly within a door due to finishing process. Due to the printing process, above colors may vary. To request a color sample, visit www.clopaydoor.com/requestcolorssamples.

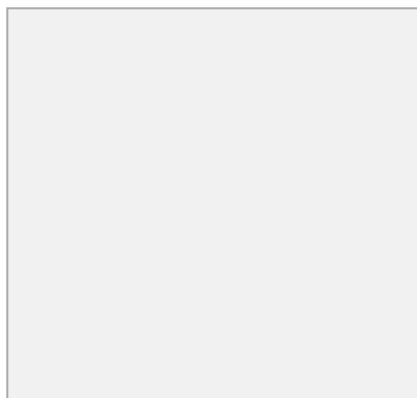


Color Blast® finish offers more than 1,500 Sherwin-Williams® color options to complement your home. Clopay's durable two-part paint system has been thoroughly tested and is backed by a five-year warranty.

specialty GLASS OPTIONS

Windows are available in rectangular, square and arched designs. Insulated tempered glass is standard. Insulated frosted, seeded, obscure and rain glass is also available on select door models.

Attractive beveled edge, clip-in grilles are removable for easy cleaning.



Clear



Frosted



Seeded*



Obscure



Rain

**Seeded is not available on Canyon Ridge® Modern window options.*

Canyon Ridge® Elements is not available with insulated glass options.

Additional charges for optional glass apply.

decorative HARDWARE

STANDARD



Spade Step Plate



Spade Lift Handles

Attractive black powder-coated grip handles and step plates are provided standard to further enhance the Canyon Ridge® design. Optional hardware, including handles, operable L-keylocks and strap hinges, is also available.

OPTIONAL



Spear Lift Handles



Colonial Lift Handles



Spade Strap Hinge*
*Complements Standard Spade Lift Handles
and Spade Step Plate*



Twisted
"L" Handles

Escutcheon
Plates



Spear
Step Plate



Colonial
Step Plate



Decorative Handles
with Keyholes



Spear Strap Hinge*



Colonial Strap Hinge*



Ring Door
Knocker



Aluminum Grip
Handles
(Modern)

*Door may not open properly if installed near the top depending on opening dimensions and lift type. See your Clopay Dealer for more details.

Aluminum Grip Handles are available in the following colors: Clear Aluminum (Anodized), Standard White (Painted), Bronze (Painted), Bronze (Anodized), Black (Anodized) and Dark Bronze (Anodized).



Canyon Ridge® Carriage House 5-Layer Design 35;
Shown Custom Painted with Mahogany Cladding,
Mahogany Overlays (Model CAN235MM)



the perfect complement
to any home

DESIGNING YOUR DOOR

Use the information below to select the appropriate model number.

CANYON RIDGE® CARRIAGE HOUSE 5-LAYER

Canyon Ridge Door Insulation Thickness Design Cladding Material Overlay Material Window Design/Top Section

CAN 2 13 P C REC13

CANYON RIDGE® CARRIAGE HOUSE 4-LAYER

Canyon Ridge Door Insulation Thickness Design Cladding Material (Does Not Apply) Overlay Material Window Design/Top Section

CAN 2 34 N C TOP11

CANYON RIDGE® ELEMENTS

Canyon Ridge Door Insulation Thickness Design Overlay Material Window Design/Top Section

CED 1 22 RS ARCH1

CANYON RIDGE® CHEVRON

Canyon Ridge Door Insulation Thickness Design Cladding Design Cladding Material Overlay Material Window Design/Top Section

CAN 2 11 V M M REC14

CANYON RIDGE® LOUVER

Canyon Ridge Door Insulation Thickness Design Cladding Material Overlay Material Window Design/Top Section

CAN 2 52 L M SQ24

CANYON RIDGE® MODERN

PLANK DESIGN

Canyon Ridge Door Insulation Thickness Cladding Material Design

CRM 2 C 6

METAL (ALUMINUM) INLAY DESIGN

Canyon Ridge Door Insulation Thickness Cladding Material Design

CRM 2 M AI

FULL-VIEW DESIGN

Canyon Ridge Door Insulation Thickness Overlay Material Design

CRM 2 C OV

ORDERING CODE KEY TERMS:

2 = 2" Polyurethane Insulation L = Louver Mahogany
 1 = 1-3/8" Polystyrene Insulation M = Mahogany
 P = Pecky Cypress N = No Cladding
 C = Clear Cypress RS = Woodgrain Classic



Visit clopaydoor.com or call 1-800-2CLOPAY (225-6729) for more information on Clopay, America's Favorite Garage Doors.

Follow us on



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RSDR-CANYONRIDGEBR-20_REV1023

DESIGN CONSIDERATIONS

- Two-tone color options available. To see all available options go to: dis.clopay.com.
- Custom designs available. See your Clopay Dealer for more information. To see all standard available options go to: dis.clopay.com.
- Product complies with 2015 IECC air infiltration requirement of 0.40 cfm/ft² or less (IECC, Section C402.5.2).
- WindCode® product available to meet wind load related building code requirements. More information at: www.clopaydoor.com/residential/windcode-residential-information.
- Canyon Ridge® garage doors are not applicable for new construction in California areas designated as "Fire Hazard Severity Zones".

FINISHING AND CARE

Proper care and maintenance are imperative for long-term performance and appearance of Canyon Ridge® garage doors. Periodic inspection and maintenance of the composite cladding and overlays are required. Minor expansion and contraction is normal for exterior building materials exposed to direct sunlight and is not considered a defect. Complete finishing and maintenance instructions are provided with the door and are also available from your Clopay Dealer or online at www.clopaydoor.com.

ENVIRONMENTAL ASSURANCE

Clopay doors are compliant with environmental laws and regulations. Clopay doors do not contain HFCs. All Clopay doors are compliant with:

- California SB 1013
- New Jersey A-5583/S-3919 – Greenhouse Gas Bill
- Washington HB 1112 – Hydrofluorocarbon Greenhouse Gas Emissions
- Canadian regulations amending the ozone-depleting substances and halocarbon alternatives regulations

imagine



DESIGN YOUR DOOR
OPEN CAMERA
AND POINT!

Pella® Lifestyle Series



#1 performing wood window and patio door
for the combination of energy, sound and value!

Aluminum-Clad Wood Windows & Patio Doors



Pella® Lifestyle Series

Floor-to-ceiling black casement and picture windows create a wall of glass and fill this modern home with natural light.



Why You Can Trust Pella.

At Pella, we don't just create windows and doors. We innovate with purpose, design with passion, build with integrity and deliver with pride.

Rated #1

by homeowners for innovation²

We are continually striving to improve what we do and how we do it. That drive has earned us 150 patents and counting for amazing innovations. In 1925 we opened our doors with the patented Rolscreen® retractable screen, a time-tested innovation that is still one of our most desired features today.

Rated #1

by homeowners for highest quality²

We make products specifically for you and your comfort with meticulous care and attention. Our wood craftsmen have been honing their skills, on average, for over 14 years — that's longer than it takes most to earn their PhD. And it doesn't stop there. Our product designs are tested beyond industry standards, so you can trust them to perform. Door designs are tested to 100,000 open and close cycles, and double-hung and casement window designs are tested at least 6,000 times.

The Best Limited Lifetime Warranty for wood windows and patio doors³

You can feel confident in your investment. We pride ourselves on providing exceptional quality, exceeding expectations and going beyond requirements. That's why we stand behind all of our products with a limited lifetime warranty⁴

¹ Performance solutions require upgrades to triple-pane, AdvancedComfort Low-E and mixed glass thickness. Based on comparing product quotes and published STC/OITC and U-Factor ratings of leading national wood window and patio door brands.

² Study of homeowner perceptions of leading national brands. Study commissioned by Pella, 2021.

³ Based on comparing written limited warranties of leading national wood window and wood patio door brands. See written limited warranties for complete details, including exceptions and limitations, at pella.com/warranty, or contact Pella Customer Service.

⁴ See written warranties for complete details, including exceptions and limitations, at pella.com/warranty, or contact Pella Customer Service.

Beautiful Wood Designs

Pella Lifestyle Series picture windows with a white interior finish and Simulated-Divided-Light grilles complete this laundry room and office combination.



Why Choose Wood?

Get the beauty and warmth of natural wood, our most customizable designs and exceptional energy efficiency. All Pella wood products are made with high-quality wood, metal and manufacturing processes, regardless of the product line.

Exclusive Wood Protection

Pella's exclusive EnduraGuard® wood protection is applied after the pieces have been cut and milled, but prior to final assembly, providing advanced protection against the elements.

Designed for Long-Lasting Durability

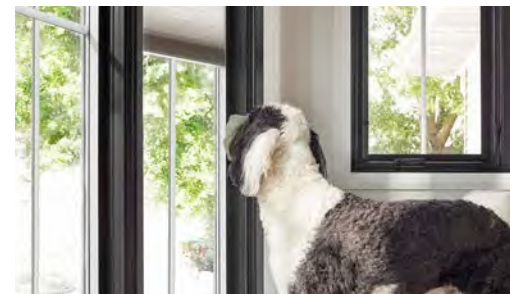
Intentional jamb-on-sill design helps seal the end grain of the wood and elevates it off the rough opening, reducing the potential to absorb moisture. For added strength and durability, our three-way corner joints are made up of mortise-and-tenon, metal fasteners and commercial adhesive.

Quality Exterior and Interior Finishes

EnduraClad® finish is a tough, protective aluminum finish for the exterior of your home. The overlapping, watershed cladding resists chalking and fading. Interiors can be factory prefinished to save time. The interior finish is applied prior to final assembly and kiln-cured for a quality aesthetic.

Solutions for Real Life

- Four optional performance packages
- Integrated blinds and shades for added privacy
- Backed by the best limited lifetime warranty for wood windows and patio doors¹



Why Choose Pella® Lifestyle Series?

Pella Lifestyle Series products are the #1 performing wood window and patio door for the combination of energy, sound and value.²

Style Flexibility

No matter the style of your home, these beautiful wood windows and patio doors offer the most desired features and options. With your choice of beautiful interior and exterior paints or stains, you have the style flexibility to match other finishes throughout your home.

Redefining Performance

Make your home more comfortable and help keep outside noises out and inside noises in. To make things easier, we've created performance packages to highlight what's most important to you. Upgrade from a dual- to a triple-pane glass design with the available packages to meet the unique needs of each room in your home.³

Room-by-Room Solutions

Packed with 37 time-tested innovations, you can create solutions for your home, room-by-room. Choose optional integrated security sensors that come factory-installed to preserve the beauty and warranty of your windows and patio doors. Personalize with motorized integrated blinds and shades for added privacy and convenience.



The Best Limited Lifetime Warranty for Wood Windows and Patio Doors¹

You can be confident in your investment. At Pella, we are committed to designing and building wood products with exceptional quality and durability. This is supported by:

EnduraGuard® Wood Protection
Advanced protection for wood against the effects of moisture, decay, stains from mold and mildew — as well as termite damage.

Exterior Aluminum Cladding
Exceptionally durable aluminum cladding with EnduraClad exterior finish helps protect windows and patio doors for years.

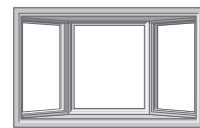
Insulating Glass Seal
A long-lasting insulating seal provides a clear view and exceptional energy efficiency.

Available in these window & patio door styles:

Special shapes also available.



Awning Window



Bay and Bow Windows



Casement Window



Double-Hung Window³



Fixed Window



Picture Window



Sliding Patio Door



Hinged Patio Door

¹ Based on comparing written limited warranties of leading national wood window and wood patio door brands. See Pella written Limited Warranty for details, including exceptions and limitations, at pella.com/warranty or contact Pella Customer Service at 877-473-5527.

² Performance solutions require upgrades to triple-pane, AdvancedComfort Low-E and mixed glass thickness. Based on comparing product quotes and published STC/OITC and U-Factor ratings of leading national wood window and patio door brands.

³ Double-hung window available only with dual-pane glass.

Designed for Real Life.

The best limited lifetime warranty.¹

Pella wood products are covered by the best limited lifetime warranty for wood windows and patio doors.

Patented triple-pane design.

Pella's patented triple-pane glass design gets you products that provide excellent energy efficiency and sound reduction.

Superior energy efficiency.

Our patented triple-pane design helps make your home more comfortable. Available performance options deliver 79% more energy efficiency than standard single-pane windows.²



¹Based on comparing written limited warranties of leading national wood window and wood patio door brands. See Pella written Limited Warranty for details, including exceptions and limitations, at pella.com/warranty, or contact Pella Customer Service at 877-473-5527.

²Window energy efficiency calculated in a computer simulation using RESFEN 6.0 default parameters for a 2000 sq. foot new construction single-story home when Pella Lifestyle Series windows with the respective performance package are compared to a single-pane wood or vinyl window. Double-hung windows are not available with triple-pane glass. The energy efficiency and actual savings will vary by location. The average window energy efficiency is based on a national average of 94 modeled cities across the country and weighting based on population. For more details see pella.com/methodology.

³Reduction in sound based on OITC ratings of Pella Lifestyle Series windows with respective performance package compared to a single-pane wood or vinyl window with an OITC of 19. Calculated by using the sound transmission loss values in the 80 to 4000 Hz range as measured in accordance with ASTM E-90(09). Actual results may vary.

⁴Available on triple-pane products only.



Noise reducing windows for a healthier home.

Varying glass thicknesses disrupt sound waves and help give you exceptional sound control. With available performance options, they cancel 52% more indoor and outdoor noise than standard single-pane windows.³

Increased privacy and security.

Integrated blinds and shades were intentionally designed to be accessible.⁴ They are tucked between panes of insulating glass and protected from dust, pets and little hands. Available manual or motorized with Pella Insynctive® technology.

Trusted innovations.

Pella® Lifestyle Series windows and patio doors with integrated blinds and shades have been recognized by Parents for Window Blind Safety and have been certified as Best for Kids.



Bright Natural Light
Fixed windows above double-hung windows and a hinged patio door, all in White, allow light to stream into the home.



Colors & Finishes

Wood Type

Wood species for complementing your home's interior.



Pine

Prefinished Pine Interior Colors

We can prefinish in a wide variety of paints and stains. Unfinished or primed and ready-to-paint are also available.



Aluminum-Clad Exterior Colors

Our low-maintenance EnduraClad® exterior finish resists fading and helps protect your windows and patio doors for years.



Glass¹

InsulShield® Low-E Glass



Advanced Low-E insulating dual- and triple-pane glass with argon²



AdvancedComfort Low-E insulating dual- and triple-pane glass with argon²



NaturalSun Low-E insulating dual- and triple-pane glass with argon²



NaturalSun+ Low-E insulating dual- or triple-pane glass with argon

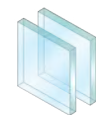


SunDefense™ Low-E insulating dual- and triple-pane glass with argon

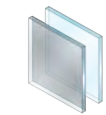


SunDefense+ Low-E insulating dual- or triple-pane glass with argon

Additional Glass Options



Tempered glass available on dual- and triple-pane products



Obscure and frosted obscure glass available on dual- and triple-pane products

¹ Double-hung window available with dual-pane glass only.

² Optional high-altitude Low-E insulating glass does not contain argon in most products. Please see your local Pella sales representative for more information.

Performance Packages

To make things easier, we've created performance packages that highlight what's most important to you.

Performance solutions offer an unbeatable combination of energy efficiency, sound control and value!¹ Upgrade from a dual- to a triple-pane glass design with the packages below to meet the unique needs of each room in your home.

All values below are averages compared with single-pane windows.



Performance

Improved energy efficiency and sound performance.

71%

More Energy Efficient²

+

34%

Noise Reduction³



Sound Control

Exceptional noise control for a quieter home.

52%

Noise Reduction³



Energy Efficiency

Superior energy efficiency for a more comfortable home.

83%

More Energy Efficient²



Ultimate Performance

The best combination of energy efficiency and noise control.

79%

More Energy Efficient²

+

52%

Noise Reduction³



Scan the QR code with your smartphone camera to learn more about how each performance package can benefit your home.

¹ Performance solutions require upgrades to triple-pane, AdvancedComfort Low-E and mixed glazing thickness glass. Based on comparing product quotes and published STC/OITC and U-Factor ratings of leading national wood window and patio door brands.

² Window energy efficiency calculated in a computer simulation using RESFEN 6.0 default parameters for a 2000 sq. foot new construction single-story home when Pella Lifestyle Series windows with the respective performance package are compared to a single-pane wood or vinyl window. The energy efficiency and actual savings will vary by location. The average window energy efficiency is based on a national average of 94 modeled cities across the country and weighting based on population. For more details see pella.com/methodology.

³ Reduction in sound based on OITC ratings of Pella Lifestyle Series windows with respective performance package compared to a single-pane wood or vinyl window with an OITC of 19. Calculated by using the sound transmission loss values in the 80 to 4000 Hz range as measured in accordance with ASTM E-90(09). Actual results may vary.

Grilles

Grille Types

Choose the look of true divided light or make cleaning easier with grilles-between-the-glass.

Dual-Pane:



Simulated-Divided-Light with Spacer 7/8"

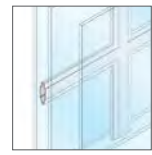


Simulated-Divided-Light without Spacer 7/8"



Aluminum Grilles-Between-the-Glass 3/4"

Triple-Pane:



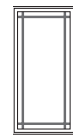
Aluminum Grilles-Between-the-Glass 3/4"

Grille Patterns

In addition to the patterns shown here, custom grille patterns are available.



Traditional



9-Lite Prairie



Top Row



Cross



Custom

Screens²

Rolscreen[®]

Rolscreen soft-closing retractable screens roll out of sight when not in use. Available on casement windows and sliding patio doors.

Flat

InView[™] screens are clearer than conventional screens and come standard.



InView[™]

Added Peace of Mind

Integrated Security Sensors

Optional integrated wireless security sensors maintain aesthetics, streamline security installation and ensure no warranty loss is caused by post-installation drilling. Sensors can be monitored via the free Pella[®] Insynctive[®] App and are compatible with major security panel systems.³ For more information, go to connectpella.com.

¹ Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.

² Warning: Screen will not stop child or pet from falling out of window or door. Keep child or pet away from open window or door.

³ Requires the Pella Insynctive App on a smart device, an Insynctive Bridge and a wireless home internet router with internet connection.

Integrated Blinds & Shades

Integrated Blinds^{*}

Raise blinds up for an unobstructed view or tilt to let in just the right amount of light. Our best integrated and accessible blinds are available with or without motorization powered by Pella Insynctive[®] technology.



Integrated Shades^{*}

Our best integrated fabric shades are available with or without motorization powered by Pella Insynctive[®] technology. They feature a white exterior fabric for a uniform look from the street.

Light-Filtering:



Room-Darkening:



Haven't landed on your final blind or shade color yet? No problem.

With our patented triple-pane design, you can make the decision later in the process. Our triple-pane products come with all of the hardware to add blinds or shades before they arrive to your home or later in the building or remodeling process.



Scan the QR code with your smartphone camera to learn more about our Insynctive motorized blinds and shades.

Window Hardware

Essential Collection

Our most popular design with finishes to suit every style.

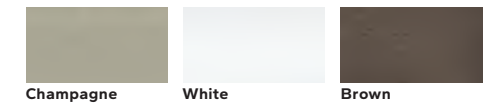


Fold-Away Crank



Cam-Action Lock

Finishes:



Champagne

White

Brown



Matte Black

Satin Nickel

Satin Brass

Patio Door Hardware

Essential Collection

Elevate your style and transform your home with elegant selections.

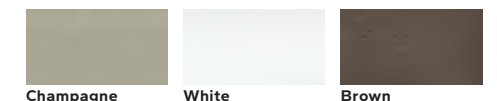


Hinged Patio Door Handle



Sliding Patio Door Handle

Finishes:



Champagne

White

Brown



Matte Black

Satin Nickel

Satin Brass

^{*} Available on triple-pane products only.



THE CONFIDENCE OF A STRONG WARRANTY.

Pella® Lifestyle Series products are backed by the best limited lifetime warranty for wood windows and patio doors.* See written limited warranty for details, including exceptions and limitations, at pella.com/warranty.

NOTE: Product specifications may change without notice.

Actual colors may vary from those shown and products may vary slightly from illustrations and photos.

WANT TO LEARN MORE? CALL US AT 833-44-PELLA OR VISIT PELLA.COM

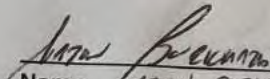
* Based on comparing written limited warranties of leading national wood window and wood patio door brands. See Pella written Limited Warranty for details, including exceptions and limitations, at pella.com/warranty, or contact Pella Customer Service at 877-473-5527.



To Whom it May Concern / City of Cincinnati:

This is to verify I am in support of the Martin Home project at 3732 Sachem Avenue

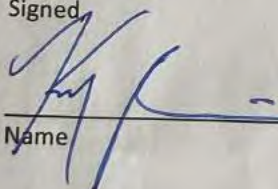
Signed,

	<u>2-9-2024</u>	<u>3733 SACHEM AVE</u>
Name	Date	Address

To Whom it May Concern / City of Cincinnati:

This is to verify I am in support of the Martin Home project at 3732 Sachem Avenue

Signed

 - 2/9/24 3735 SACHEM AVE

Name

Date

Address

To Whom it May Concern / City of Cincinnati:

This is to verify I am in support of the Martin Home project at 3732 Sagem Avenue

Signed,

<u>Cine Floth</u>	<u>2/10/24</u>	<u>3742 Sagem</u>
Name	Date	Address

To Whom it May Concern / City of Cincinnati:

This is to verify I am in support of the Martin Home project at 3732 Sachem Avenue

Signed,

Name	Date	Address
Verbal from	2/7	Carol Roberts 3749 Sachem

8:58

79



CB

Chip >

Text Message
Today 8:57 AM

To whom it may concern: as owners of 3730 Sachem we are agreeable to the proposed renovation of our neighbors to our right contingent to all permitting and structural & drainage requirements being complied with regarding said renovation and hopefully subject to a review with neighbors for assurances. Walter & Cheryl Eberle.

Thank you



Text Message



1:31

◀ Sonos

📶 55

🔍 🗨️ 📎 📧



+1 (513) 405-3072 >

Today 1:15 PM

Hi, is John Martin, 3732
Sachem

Are you still willing to send
us a note stating you have
no objection to our house
addition? We need to turn
in all of the neighbor
testimonies tomorrow.

Regards, John

Hi John
I looked at the drawings and
I think your plans will
enhance the Sachem
streetscape.
I support your addition.
Linda Cooper
3731 Sachem Ave

Thank you

Delivered



iMessage



APPLICATION FOR CERTIFICATE OF APPROPRIATENESS AND ZONING RELIEF HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

APPLICATION #: COA2024009/ ZH20240020
APPLICANT: Alexandra Jameson
OWNER: Crystal Kendrick
ADDRESS: **931 Dayton Street**
PARCELS: 184-0003-0166
ZONING: RM 1.2
OVERLAYS: Dayton Street Historic District
COMMUNITY: West End
REPORT DATE: March 8, 2024
STAFF REVIEW: Douglas Owen, Urban Conservator

Details of Zoning Relief Required:

The applicant requires the following Zoning Relief:

1. **Section 1421-01(f) – Dimensional Variance** of three (3) feet for a 0' east side yard setback, short of the required three (3) feet.
2. **Section 1421-01(f) – Dimensional Variance** of three (3) feet for a 0' west side yard setback, short of the required three (3) feet.
3. **Section 1421-01(f) – Dimensional Variance** of three (3) feet for a zero rear yard setback, short of the required three (3) feet.

Existing Conditions:

The property at 931 Dayton Street is a ca. 1877 three-story masonry building. The building is currently used as a single-family dwelling. The property includes a badly deteriorated concrete block accessory structure at the rear off Naehar Street.

Proposed Conditions:

The applicant plans to demolish the existing concrete block structure and build a new structure at the rear of the property at the general location of the existing concrete block building. The structure will be placed at the rear lot line and will consist of an elevated deck with a carport below, enclosed with wire fencing.



Figure 1. Location of subject property. Image from CAGIS.



Figure 2. Image of subject property from Naehar Street. Image from applicant.

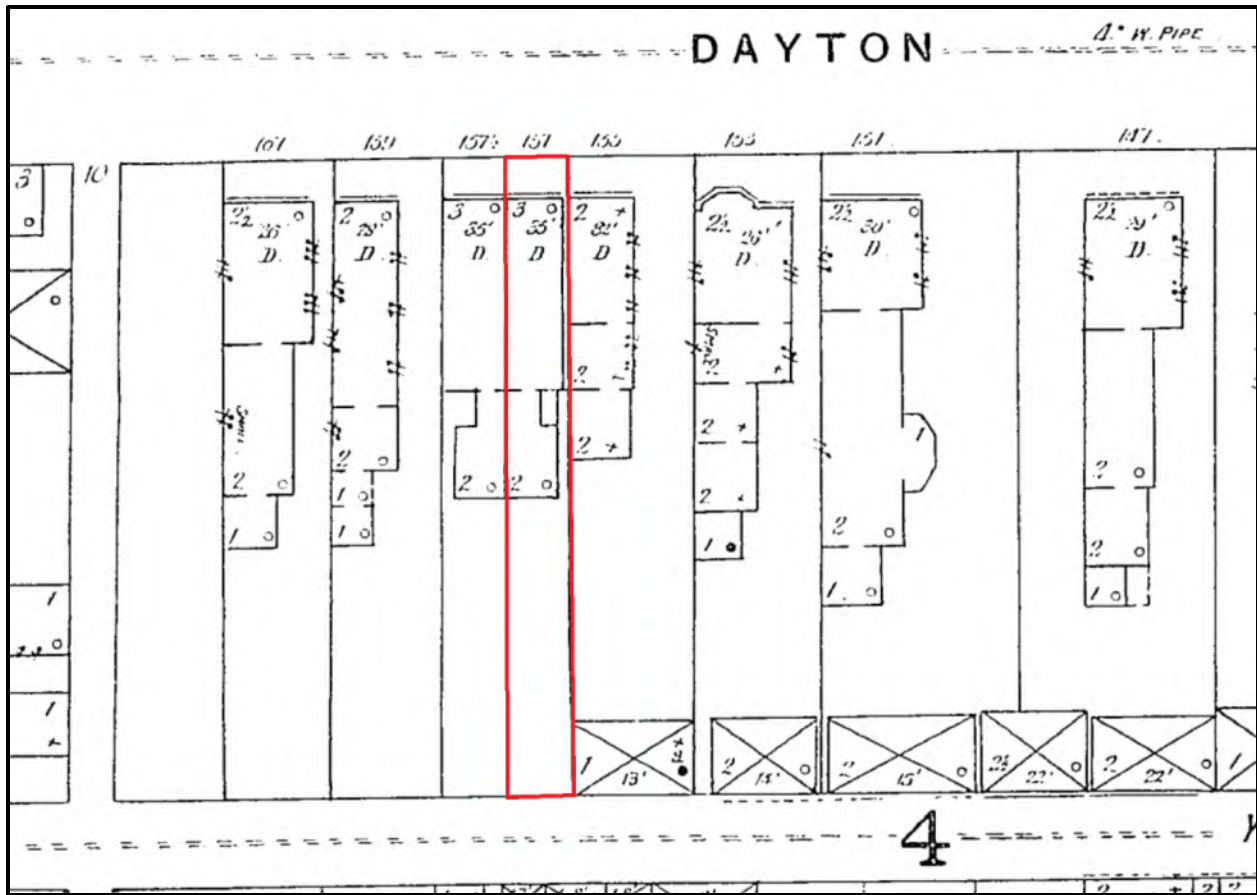


Figure 3. 1890 Sanborn Map, showing property in red.

Previous Reviews: N/A

Applicable Zoning Code Sections:

Zoning District:	Section 1405	Residential Multi-Family
Variance Request:	Section 1405-07	Development Regulations in RM districts
Variance Authority:	Section 1445-07	HCB authority: Section 1435-05-4
Variance Standard:	Section 1445-13	General Standards: Public Interest
	Section 1445-15	Standards for Variances
Overlays:	Section 1435	Historic Preservation
Historic District/Reg:	Dayton Street Historic District	
COA Standard:	Section 1435-09-2	Certificate of Appropriateness; Standard of Review

Variance Analysis:

The proposed The proposed new accessory residential structure requires side and rear setbacks of 3'. With zero setbacks proposed on the east and west and zero on the south (rear), Zoning Relief is required for the proposed building placement.

Standards for Variances per Section 1435-05-4

- (a) *Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the Historic District of Historic Asset; or*

The proposed zero lot line side and rear yard setbacks are appropriate in the interest of historic conservation. The existing concrete block structure on the site is built to the side and rear lot lines. The majority of the existing garages, carriage houses, parking pads and other accessory structures along the alley have similar siting and the proposed placement is contextual with the surroundings.

- (b) *Is necessary where the denial thereof would result in a deprivation of all economically viable uses of the property as viewed in its entirety. In making such a determination, the Historic Conservation Board may consider the factors set forth in Section 1435-09-2 (aa) to (ff).*

A denial of the variances may not result in the deprivation of all economically viable uses but would prevent the proposed structure from being built, requiring 3' setbacks on the sides and rear, which are not common features of the existing built environment. As 1435-05-4 only requires either (a) or (b) to be met, the application meets standard (a) as noted above.

General Standards

Below is analysis of the consideration factors for the requested zoning actions, utilizing Section 1445-13, General Standards; Public Interest.

- a. **Zoning.** *The proposed work conforms to the underlying zone district regulations and is in harmony with the general purposes and intent of the Cincinnati Zoning Code.*

The underlying zoning is RM-1.2. Zoning Relief is required for the proposed setbacks. The proposal otherwise substantially conforms to the Zoning requirements and is in harmony with the general intent of the Code.

- d. **Traffic.** *Streets or other means of access to the proposed development are suitable and adequate to carry anticipated traffic and will not overload the adjacent streets and the internal circulation system is properly designed.*

Traffic will not be adversely impacted by the establishment of the proposed structure.

- h. **Neighborhood Compatibility.** *The proposed work is compatible with the predominant or prevailing land use, building and structure patterns of the neighborhood surrounding the proposed development and will not have a material net cumulative adverse impact on the neighborhood.*

The proposed work is compatible with the use and patterns of the neighborhood and will not have an adverse impact on the neighborhood. Rear accessory structures along the alley are a common feature in the vicinity.

- j. **Adverse Effects.** *Any adverse effect on the access to the property by fire, police, or other public services; access to light and air from adjoining properties; traffic conditions; or the development, usefulness or value of neighboring land and buildings.*

There are no adverse impacts anticipated as the proposed structure's placement will be similar to the conditions of surrounding development.

- p. **Public Benefits.** *The public peace, health, safety or general welfare.*

Replacing the badly dilapidated concrete block structure will benefit the public peace, health, safety and general welfare by providing off-street covered parking for the residents.

Certificate of Appropriateness Review:

A Certificate of Appropriateness is required for the proposed new rear accessory structure. The structure is essentially an elevated deck with storage and parking below, which is secured by metal grid fencing for security. As the structure is intended to mimic the historic massing of carriage houses along Naeher Alley, the New Construction guidelines were utilized in the analysis below.

Applicable Guidelines

GUIDELINES FOR NEW CONSTRUCTION:

Composition: *New construction should respond to the traditional composition found in historic properties: a base, middle, and top. Most buildings in the District are built of brick with the principal façade parallel to the street it faces. The most important features of buildings in the District are the arrangement of openings on the building and an overall vertical emphasis of the whole design. Each building has its own variations, but collectively they share many features.*

Base: *New buildings should have a well-defined base. Within the district most buildings have a base that is distinguishable from the rest of the building. This is accomplished through a change in materials, a change of scale, and/or a lintel or other type of horizontal banding. In larger buildings the original base may include more than the first floor. The front entrance should be elevated atop front stairs and a stoop.*

Middle: *Buildings in the District often incorporate architectural details such as changes in plane or changes in materials on the upper floors. Decorative, horizontal bands indicating the floor lines, sill heights, or lintel heights should not overpower the vertical emphasis of the design.*

Top: *New construction shall employ a strong element that terminates the uppermost part of the building. Distinctive elements in the District are elaborate projecting cornices, decorative parapets, or expressive use of materials.*

The proposed accessory structure has a base and middle defined by a metal grid between support posts with the top defined by horizontal cedar screen fencing forming a parapet guardrail for the rooftop deck. While the division between the

base and middle sections is not strong, this is not uncommon for rear accessory structures.

Height: *Building heights vary across the District. New building heights shall not create a “jagged” effect in the district but rather relate to the surrounding structures and their proportions. Corner buildings tend to be three stories or taller.*

The proposed structure will be similar in height to the historic carriage houses and non-contributing garage structures remaining along Naher Street.

Accessory Structures: *Carriage Houses, garages, etc. should follow rehabilitation or new construction guidelines and should be detached from the main house.*

The proposed structure will be detached from the main house at the rear of the property.

Proportion: *New construction should have a vertical emphasis, because in the District buildings are taller than they are wide, window openings are tall and narrow, and storefronts have slender columns, which emphasize verticality. Commercial and institutional buildings, which may have an overall horizontal emphasis, often incorporate vertical elements, such as pilasters or vertically oriented openings. Most buildings have 2 to 4 window bays.*

The structure will be taller than it is wide at the Naeher Street frontage.

Rhythm: *New construction shall incorporate design features, such as window groupings, articulation of wall surfaces, and decorative elements such as columns or piers in an effort to maintain the rhythm that already exists in the district. New construction shall avoid creating long unrelieved expanses of wall along the street by maintaining the rhythm of bays found in the district. Building facades typically display vertical subdivisions that establish a visual rhythm. In dense areas such as Dayton Street, there are no setbacks, creating a solid wall along the street. This wall is articulated by the individual buildings, which in turn are divided by window groupings, changes in wall planes and decorative elements such as pilasters, columns or piers.*

The structure is not a fully enclosed accessory structure, but serves as more of an elevated deck with a storage area and parking pad below, which is secured by wire fencing. Privacy fencing and wire fencing are permitted at the rear of the property. In addition to secure outdoor storage and parking, the applicant desires additional outdoor living space on the narrow lot. The proposed plan allows for an elevated deck with storage and parking below.

While the construction type means that typical door and window openings are not present, the form and height of the structure is compatible with other accessory structures along the alley and will mimic the siting and massing of the existing garages as well as carriage houses that historically occupied similar locations on

nearby properties. As many original carriage houses have been lost over time, often replaced with concrete block garages, parking pads or chain link and privacy fencing, the proposed metal grid structure is intended to match the original form of typical historic structures along Naeher Alley with a more modern design and use of materials to allow for flexibility of the space. The owner intends to use the structure for storage and parking.

Setback: *The setback for new construction should be consistent with the buildings and nearby sites. Some buildings are set back from the street but retain an “edge” at the property line with a fence to provide public space and to add to their monumentality. In most cases new construction in the District should be built up near the property line parallel to the street, or both street property lines if on a corner site.*

The proposed setback is consistent. The structure will be built on the approximate footprint of the existing concrete block garage, built to the east, west and south lot lines. Other accessory structures in the vicinity match the proposed building placement, especially in regards to the zero rear yard setback along Naeher Street.

Materials: *Materials used for exterior treatment of walls including exterior paint, shall be harmonious with the contributing buildings in the District. Clearly the dominant material in the District is brick, but other materials such as limestone, sandstone, cast-iron, slate, wood and are important as well. Materials such as stucco, synthetic stucco and plastic are not encouraged and shall not be considered as exposed finish materials for new construction in this district.*

While some original brick carriage houses remain extant along Naeher Alley, many others have been demolished and replaced with exposed concrete block structures, open parking pads, or chain link and/or wood privacy fencing. The proposed metal grid material surrounding the carport will be enhanced with landscaping in the form of climbing vines on the side elevations that will grow around the mesh and provide additional opacity to the structure. The deck will include horizontal wood fencing to provide the required guardrail for the deck. Similar fencing will be installed along the side yard.

Decks: *Wood decks should be stained or painted. Rooftop decks should not be highly visible from the street.*

The proposed deck will be composed of steel supports with composite decking material and wood fencing above. Black metal wire fencing will enclose the ground-level area for secure storage and parking. The deck will not be visible from primary streets.

Fences and Walls: *Wrought-iron or cast-iron fences are encouraged along the sidewalks of vacant lots or where buildings are setback from the sidewalk. Fencing may be set between wrought iron and cast-iron posts, natural stone posts or pre-cast concrete posts. Fencing may also be set on a concrete curb or on top of a retaining wall. Landscaping in*

front of a fence is encouraged. Plain board fences (vertical boards nailed side-by-side on horizontal stringers) or wire fences are appropriate at the rear of the property or along the side of the property. Wood fences should be painted or stained but not left to weather naturally. Chain link, stockade, shadow board, basket weave, vinyl and lattice designs are not encouraged.

Proposed fencing includes horizontal wood privacy fencing along the side yard and atop the proposed deck. Black metal wire fencing will enclose the storage/ carport area at ground level off Naehar Alley.

GUIDELINES FOR NON-CONTRIBUTING BUILDINGS

Non-contributing buildings may be demolished if the demolition will not adversely affect the character of the District. The Historic Conservation Board's review of an application to demolish a non-contributing building will include an evaluation of plans for the redevelopment of the cleared site based on the "New Construction" and "Site Improvements" sections of this document. Generally it is not acceptable to demolish a building to build a parking lot.

The existing concrete block structure is badly deteriorated and is not original to the property. While the exact construction date is unknown, the garage does not appear on the original 1890 Sanborn map, with no accessory structure shown on the property. By the 1950 update, the existing concrete block structure is present. Because of its age and construction type, the concrete block garage is considered to be non-contributing to the district. Demolition of the severely deteriorated structure will not adversely affect the character of the district.

Other Considerations:

N/A

Prehearing Results: A Prehearing was held on March 8, 2024. The applicant/ owner was in attendance. No members of the public attended.

Comments Provided to Staff: N/A.

Consistency with *Plan Cincinnati (2012)*:
"Sustain" Initiative Area "Preserve our built history"

Recommendation:

Staff recommends the Historic Conservation Board take the following actions based on undated plans submitted with this application:

I. Zoning Relief

1. Section 1421-01(f) – **APPROVE – Dimensional Variance** of three (3) feet for a 0' east side yard setback, short of the required three (3) feet.

2. Section 1421-01(f) – **APPROVE – Dimensional Variance** of three (3) feet for a 0' west side yard setback, short of the required three (3) feet.
3. Section 1421-01(f) – **APPROVE – Dimensional Variance** of three (3) feet for a zero rear yard setback, short of the required three (3) feet.
4. **FINDING:** The Board makes this determination that per Section 1435-05-4:
 - a. Such relief from literal implication of the Zoning Code will not be materially detrimental to the public health, safety and welfare or injurious to property within the district or vicinity where property is located; and
 - b. Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the district.

II. Certificate of Appropriateness

1. **APPROVE** a Certificate of Appropriateness for 931 Dayton Street including any revisions submitted for permit subject to staff review and approval with the following condition:
 - a. The building permits must be issued within two years of the decision date, or the Certificate of Appropriateness shall expire.
2. **FINDING:** The Board makes this determination per Section 1435-09-2:
 - a. Such relief from literal implication of the Zoning Code will not be materially detrimental to the public health, safety and welfare or injurious to property within the district or vicinity where property is located; and
 - b. Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the district.

Historic Conservation Board

Hearing Application



II Centennial Plaza
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202
Monday- Friday 7:30 am- 4 pm
513-352-1559

Section 1. SUBJECT PROPERTY

ADDRESS _____ COMMUNITY West End
PARCEL ID(S) 184-0003-0166-00 HISTORIC DISTRICT _____
BASE ZONING CLASSIFICATION RM-1.2 - Residential Multiple-Family (1-2 or 3 Unit) Yes No
 Non-Residential Project Residential Project (RCO) One -, Two -, and Three- Family Dwelling

Section 2. APPLICANT

NAME _____ CONTACT PERSON (if legal entity) _____
ADDRESS _____ CITY Cincinnati STATE _____ ZIP _____
EMAIL _____ RELATIONSHIP TO OWNER (if not owner) _____
TELEPHONE _____

Section 3. OWNER

NAME _____ CONTACT PERSON (if legal entity) _____
ADDRESS _____ CITY _____ STATE _____ ZIP _____
EMAIL _____ RELATIONSHIP TO OWNER (if not owner) _____
TELEPHONE _____

Section 4. NATURE OF CERTIFICATE OF APPROPRIATENESS REQUESTED

A certificate of appropriateness is NOT being requested. (Proceed to Section 5.)

A certificate of appropriateness is being requested for:

New Construction Alteration Demolition

BRIEF DESCRIPTION OF PROJECT (*Do not write "see attached" or leave blank.*)

Section 5. NATURE OF ZONING RELIEF REQUESTED

Zoning relief is NOT being requested, or select all that apply:

- Variance Special Exception Conditional Use Use Variance
 Expansion or Substitution of Non-Conforming Use Hillside Overlay District Permission
 Urban Design Overlay District Permission DD District Phased Development Approval

BRIEF DESCRIPTION OF ZONING RELIEF REQUESTED (*Do not write "see attached" or leave blank.*)

Zoning request is for variance to allow construction of new structure.

Section 6. SIGNATURE.

I certify that all statements and documents that I provide with reference to this application are accurate, complete, and true to the best of my knowledge and belief. I further acknowledge that my application shall be deemed incomplete for my failure to timely comply with any requirement of this application, which non-compliance may result in delays in the scheduling and resolution of my application.

Print Name Alexandra Jameson **Signature**  **Date** 1/9/24

Section 7. DOCUMENTATION SUBMISSION REQUIREMENTS.

Important Information: An application will not be deemed complete until all required documents listed below have been submitted and the application fee is paid in full. All transactions must be completed by 4:00pm. No exceptions. Applicants are strongly encouraged to submit as early as possible to allow time for review and revisions. Partial applications cannot be processed. Failure to submit a complete application prior to 4:00pm on a deadline date will result in delays to the assigned hearing date.

<input type="checkbox"/>	Submit two (2) paper copies collated, single sided and bound together of all the documents listed below, AND one (1) digital copy on a thumb/flash drive in PDF format of all documents listed below. <i>No emails.</i>
<input type="checkbox"/>	Historic Conservation Board hearing application; pages 1-2 only. The instruction pages should not be included in your submission.
<input type="checkbox"/>	Adjudication Letter AND worksheet issued by the Department of City Planning & Engagement – Urban Conservator’s Office. Provide all documents requested on the worksheet.
<input type="checkbox"/>	A written statement explaining how the proposed project meets the applicable Historic Conservation Guidelines and, if requested, Zoning relief. Separate instructions for preparing this statement are attached. <i>If you fail to follow the instructions for your type of request(s), your application may be denied.</i>
<input type="checkbox"/>	Applications requesting development permission in a Hillside Overlay District must meet the additional requirements found in Cincinnati Municipal Code 1433-15. <i>Please ensure your application meets these requirements.</i>
<input type="checkbox"/>	All documents (forms, letters, etc.) must be formatted to 8.5x11. Font no smaller than size 11. Plans or drawings may be formatted to 11x17 or 12x18. <i>No larger sizes will be accepted.</i>
<input type="checkbox"/>	Accurate drawings, plans or surveys (including a graphic scale) of existing and proposed project showing parcel lines, boundaries, dimensions, areas, topography, and frontage of the property involved, as well as the location and dimensions of all primary and accessory structures from the nearest property lines. Provide all parcels and structures adjacent to the site. When landscaping is required by the zoning code, a landscaping plan must be provided.
<input type="checkbox"/>	Detailed information (such as drawings, elevations with measurements, specifications) fully depicting the exterior and/or interior appearance of the existing and proposed project, including parking and access, exterior lighting, landscaping, signs, roof and floor plans involved in the application. Provide labeled photographs of existing conditions of all sides/directions of the structure/property.
<input type="checkbox"/>	The Hamilton County Auditor’s record showing ownership of the property. If the Hamilton County Auditor’s official records do not list the applicant or owner as the owner of the property, please provide a lease, contract to purchase, or other agreement demonstrating the applicant or owner’s legal basis to seek the relief requested.
<input type="checkbox"/>	A list of witnesses, expert witnesses, or legal counsel who you expect to testify at the hearing on this application. Please provide names and email addresses.
<input type="checkbox"/>	Other documents or information you intend to introduce at the hearing on this application.
<input type="checkbox"/>	A non-refundable application fee - a check made payable to “City of Cincinnati.”

To help avoid delays, it is strongly suggested that you present your application to neighboring property owners and any interested neighborhood community groups prior to the hearing on your application. This will give you a prior opportunity to address your neighbors’ concerns or objections and can facilitate the approval of your application.

ADJUDICATION/DENIAL LETTER

Date: January 5, 2024

Location: 931 Dayton Street

Request: COA/ Zoning Relief

Zoning District: RM-1.2/ Over-the-Rhine Historic District

The City of Cincinnati appreciates receiving information regarding your proposed project. The purpose of this letter is to inform you that your proposed project requires a Certificate of Appropriateness and Zoning Relief from the Historic Conservation Board, as it is within a local historic district and involves exterior alterations to the building, specifically, demolition of a rear concrete block garage and construction of a new deck and fencing.

All documents **that are checked** on the "Checklist for Historic Conservation Board" document are a required part of the submission, and the submission will not be considered complete unless all of these documents are included. When you submit the copies of the application, the "Checklist" Sheet must be submitted as well. The application can be found at this link: <https://www.cincinnati-oh.gov/sites/planning/assets/HCB%20Application%20Revised%202.2.22%20Hyperlink.pdf>.

All deadlines for upcoming Historic Conservation Board hearings can be found <https://www.cincinnati-oh.gov/planning/historic-conservation/historic-conservation-board/>. **Applications must be submitted no later than 3pm on the deadline date.**

Your request also does not comply with the City of Cincinnati Zoning Code for the following reason(s):

1. 1421-01(f): Accessory Residential Structures. Side and Rear Setbacks of 3' are required. **Dimensional Variances** of 3' are required for the proposed 0' setbacks on the east, west and south.

The applications and documents required will be turned into the *Law Department- Office of Administrative Boards*. Their office is located on the 5th floor of 805 Central Avenue in the Permit Center. Applications can be turned in **no later than 3pm on the deadline date**. You must contact Kasandra Maynes at 513-352-1559 or Kasandra.Maynes@cincinnati-oh.gov for submittal.

You may also contact me at the information listed below with historic conservation or zoning questions, concerns or to make an appointment.

Sincerely,



Douglas Owen

Urban Conservator

(p): 513-352-4848

(e): douglas.owen@cincinnati-oh.gov

Checklist for Historic Conservation Board Hearing Application

The Historic Conservation Office will provide this list with the required items

checked off when an Adjudication letter is issued. All items checked must be submitted to the Law Department with submission or the application will not be accepted.

- 8 business days before the hearing date 10 hard copies and a digital copy in one pdf for the final board packet. Hard copies must be formatted and retain the proper scale on sheets no larger than 11x17 or 12x18.
- Non-Refundable Application Fee. Checks made payable to the City of Cincinnati. \$ 642.80

All Drawings and Plans must include the following

- ✓ A graphic scale required on all drawings
- ✓ North arrows on all site, context and floor plans
- ✓ Elevations labeled with North, South, East West, front, side and rear labels
- ✓ Street names labeled
- ✓ Date and/or revision dates

Architectural Drawings and Plans

- An index of drawings located on the first sheet
- Context Map showing the building within at least a block of context
- Existing site plans
- Proposed site plans
 - All site plans must have*
 - ✓ *Parcel/boundary lines*
 - ✓ *Building footprints and dimensions labeled*
 - ✓ *Setback dimensions from all property lines labeled*
 - ✓ *Existing and proposed principal and accessory buildings, including location, dimensions, and height labeled;*
 - ✓ *All properties and their structures immediately adjacent to the site*
 - ✓ *Location and placement of exterior utilities and vents*
- Existing elevation drawings (At minimum must provide photographs of existing conditions of all elevations)
- Proposed elevation drawings
 - All elevations (existing and proposed) must have*
 - ✓ *Total Height from grade to top of the building*
 - ✓ *Total height- ASL (Above Sea Level)*
 - ✓ *Materials labeled*
 - ✓ *Location and placement of exterior utilities and vents*
- Existing floor plans and roof plans (with chimney locations)
- Proposed floor plans and roof plans (with chimney locations)
 - All floor(existing and proposed) plans must have*
 - ✓ *Residential and Commercial Spaces labeled. Residential Spaces must be numbered.*
 - ✓ *Square feet of commercial spaces listed*
 - ✓ *Location of trash storage and Utilities*
 - ✓ *Location and placement of exterior utilities and vents*

- Site section and/or Site elevations including any adjacent properties
- Driveways, sidewalks, walkways, terraces, and other paved surfaces
- Existing and proposed accessory structures, including walls, fences, porches, lighting, signs, and other site improvements;
- Existing and proposed landscape areas and materials, if proposed to be altered;
- Proposed materials, textures, and colors. Include make, model and series for proposed materials
- Labeled photos of all sides of the building
- Labeled photos of 1 block streetscape context in all directions
- Site line drawings for any roof additions, roof decks, utilities.
- A color rendering, axonometric drawings and/or perspective of the proposed construction (required on infill projects)

Required if applicable to the project

- Historic Sanborn Maps of the site
- Window brochures and cut sheet
- Roof product information (brochure)
- Garage door brochures
- Sample materials or color samples. _____
- Fence drawings of style, fence brochures or photo of a sample fence
- Signs; drawings, photo showing the sign on the building, mounting info, materials, colors and illumination
- Mature tree removal requires a letter from an arborist stating its poor health
- All written correspondence submitted by the applicant and other affected persons
- Tentative project schedule
- Egress Plan/Route to Building Code Compliance (roof decks, multi-family developments)
- _____
- _____
- _____

Demolition (full or partial) for Historic Conservation Districts and Landmarks

- Demolition Case Sheet and all required information listed on the sheet unless otherwise not required by the Urban Conservator in writing and provided with application.
- Statement of plans for the property after demolition.

Hillside Overlay Zone (CZC § 1433)

- A development plan, accompanied by a property survey, showing existing vegetation and proposed development, and where applicable, streets, drives, parking areas, walkways, heights of structure(s), location of structures, elevation and setback of proposed buildings, drainage, existing contours and proposed grading and new landscaping plans, proposed uses and square footage of uses and recreational facilities;
- A preliminary geotechnical evaluation;
- A determination of the maximum building envelope;
- Average slope/grade of the property; and
- Graphic illustrations demonstrating that the proposed improvement or new structure has not exceeded the maximum building envelope

For additional questions about this checklist contact Urban Conservator at 513-352-4848 or urban.conservator@cincinnati-oh.gov

Note: The aforementioned information is general in nature. Additional information may be required by the Urban Conservator once the application is submitted. Please use this list to plan for the potential documents that could be required for a submission.

Demolition Case Sheet

Documentation for the Demolition of Historic Properties

Historic Conservation Office

Section 1:

A property owner who wishes to demolish a local landmark or a building located in a local historic district must demonstrate to the Historic Conservation Board that they meet one of the following conditions.

1. Emergency Demolition
 - a. Must have a letter from the Director of Buildings and Inspections declaring it a Emergency Demolition in accordance with section 1435-09-5 of the City of Cincinnati Zoning Code.
2. Demolition of a Non-Contributing building or addition
 - a. Must be listed in the applicable guidelines as non-contributing or if not listed as non-contributing, must provide justification why the building should be considered non-contributing; and
 - b. The demolition will not adversely affect the streetscape.
3. The Demolition is for inappropriate addition or a non-significant portion of a building.
 - a. The demolition does not adversely affect significant parts of the building; and
 - b. The addition or non-significant portion highly is not highly visible from the street; or
 - c. The demolition will not adversely affect the streetscape.
4. The Demolition is due to an Economic Hardship. *If claiming Economic Hardship the applicant must answer all questions in Section 2.*
5. The demolition may be permitted through other conditions set forth in the applicable guidelines for the property.

Section 2:

A property owner who wishes to demolish a local landmark or a building located in a local historic district with claims of Economic Hardship must demonstrate to the Historic Conservation Board that there is no feasible and prudent alternative that would conform to the conservation guidelines and the applicant must also show that the strict application of the guidelines would deny the owner a reasonable rate of return on the real property and would amount to an economic hardship.

When an applicant claims that the strict application of the conservation guidelines would amount to an economic hardship, the applicant must submit answers to the following questions, in written form, to the Urban Conservator.

1. The amount paid for the property, the date of purchase and the party from whom purchased, including a description of the relationship, if any, between the owner and the person from whom the property was purchased;
2. Annual gross (pre-tax minus maintenance and other costs) income from the property for the previous three (3) years;
3. Itemized operating and maintenance expenses for the previous three (3) years;
4. An itemized statement of the annual costs of all insurance on the property;
5. The value of significant interior and exterior improvements made after purchase;
6. Real estate taxes for the previous three (3) years;

7. Remaining balance on the mortgage of other financing secured by the property and annual debt service, if any, for the previous three (3) years;
8. The assessed value of the land and improvements thereon according to the three (3) most recent assessments;
9. All appraisals obtained within the previous two (2) years by the owner or applicant in connection with his purchase, financing or ownership of the property;
10. Form of ownership or operation of the property, whether sole proprietorship, for-profit or not-for-profit corporation, limited partnership, joint venture, or other.
11. Any state or federal income tax returns relating to the property for the last two years.
12. Any listing of the property for sale or rent, price asked and offers received if any;
13. Any real estate broker or firm engaged to sell or lease the property;
14. Proof of reasonableness of price or rent sought by the applicant;
15. Any advertisements placed for the sale or rent of the property;
16. The condition of the property when purchased;
17. All available reports, if any, on the structural condition of the property.
18. Any consideration by the owner as to profitable adaptive uses for the property;
19. Whether or not the property was occupied when purchased, and any income from the property at the time it was purchased immediately or prior thereto.
20. Annual cash flow, if any, for the previous two (2) years.
21. For vacant, semi-vacant and under-utilized buildings, or buildings in need of rehabilitation, owner is required to submit a statement of estimated market value and potential return on investment based on existing or all potential legal new uses, including cost estimates of rehabilitation, and supplementary new construction, The applicants must use fair market value for the property, a "reasonable" rate of return on investment, and prevailing rehabilitation and rental rates in the area (including floor area per floor and total).
22. Consideration if partial use of the building would be able to gain a reasonable economic return on the building.
23. Consideration of economic incentives and/or funding available through the federal, state, city or private programs on the pro-formas for rehabilitation that would affect the potential return on investment the property.
24. Estimated market value and/or income from the property after the demolition of the structure or structures.
25. Statement from the owner of knowledge of landmark designation or potential designation at the time of acquisition.
26. Credentials of all professionals providing evidence including but not limited to structural engineering report, market values, rental rates, appraisals, construction cost estimates, and pro-formas.

Alex Jameson
931 Dayton Street
Cincinnati, OH 45202
910.691.3253
alexandra.linn.jameson@gmail.com

Dear Members of the Historic Conservation Board,

I hope this letter finds you well. My name is Alex Jameson, and I am the proud owner of a home within the Dayton Street Historic District. I am writing to submit my application for a Certificate of Appropriateness regarding proposed renovations to my property, specifically the backyard area.

My proposed renovation plans have been carefully designed to respect and enhance the historical character of the area, ensuring that the new elements blend harmoniously with the traditional aspects of the district.

The scope of the renovation includes the demolition of the existing garage, which is currently in a state of disrepair and poses a safety risk. In its place, I plan to construct a new deck situated over an enclosed parking pad, improving the functionality of the space while maintaining aesthetic coherence with the surrounding environment. To further enhance the property, new fencing will be added, designed to complement the proposed structure.

Thank you for your time and consideration. I am available at your convenience for any further discussions or clarifications needed regarding my application.

Warmest regards,

Alex Jameson

931 Dayton Street

Proposal for demolition of non-contributing structure
+ construction of new structure



Online Property Access

< First << Prev Next >> Last >

[RETURN TO SEARCH LIST](#)

Property 1 of 3

Parcel ID 184-0003-0166-00	Address 931 DAYTON ST	Index Order Parcel Number	Tax Year 2023 Payable 2024
--------------------------------------	---------------------------------	-------------------------------------	--------------------------------------

Property Information		
Tax District 001 - CINTI CORP-CINTI CSD	School District CINCINNATI CSD	Images/Sketches 
Appraisal Area 02300 - WEST END Sales	Auditor Land Use 510 - SINGLE FAMILY DWLG	
Owner Name and Address JAMESON ALEXANDRA L 931 DAYTON ST CINCINNATI OH 45214 (call 946-4015 if incorrect)	Tax Bill Mail Address CINCINNATI FEDERAL SAVINGS & LOAN 6581 HARRISON AVE CINCINNATI OH 45247 (Questions? 946-4800 or treasurer.taxbills@hamilton-co.org)	
Assessed Value 74,990	Effective Tax Rate 69.301606	Total Tax \$4,580.98
Property Description 931 DAYTON ST 15 X 150 SS DAYTON 201 FT E OF		

Appraisal/Sales Summary	
Year Built	1877
Total Rooms	7
# Bedrooms	4
# Full Bathrooms	1
# Half Bathrooms	0
Last Transfer Date	9/15/2015
Last Sale Amount	\$73,000
Conveyance Number	92436
Deed Type	WD - Warranty Deed (Conv)
Deed Number	355720
# of Parcels Sold	1
Acreage	0.053

Tax/Credit/Value Summary	
Board of Revision	No
Rental Registration	No
Homestead	No
Owner Occupancy Credit	Yes
Foreclosure	No
Special Assessments	Yes
Market Land Value	23,000
CAUV Value	0
Market Improvement Value	191,250
Market Total Value	214,250
TIF Value	141,250
Abated Value	0
Exempt Value	0
Taxes Paid	\$0.00

Notes

I Want To...

- Start a New Search
- Email the Auditor
- View the Online Help
- Auditor's Home

View:

- Property Summary**
- Appraisal Information
- Levy Information
- Transfer
- Value History
- Board of Revision
- Payment Detail
- Tax Distributions
- Images
- Special Assessment/Payoff
- Tax Lien Certificates
- CAGIS Online Maps
- Aerial Imagery
- Owner Names

Print:

- Current Page
- Property Report

Index of Drawings

Page 1	Proposal overview, Context Map + Parcel/Boundary Lines
Page 2	Existing Site + Demolition Case Sheet
Page 3	Existing Site Demo Structure Front + Back
Page 4	Existing Site Demo Structure Side Views
Page 5	One Block Streetscape from Structure 1
Page 6	One Block Streetscape from Structure 2
Page 7	Proposed Site Plans
Page 8	Proposed Site Plans

Proposal Overview, Context Map + Parcel/Boundary Lines

Outer posts of new structure to be placed at exact corners of current structure. No change in footprint between existing and proposed structures.

Proposal

- Demo current structure
- New steel frame structure to create elevated deck porcelain tile deck floor
- Shou Sugi Ban treated cedar railing on deck + fence in yard
- Lower level enclosed by metal grid trellis trimmed in matching wood
- Manual swing gate for vehicle entrance to parking pad (space under deck)



- Property Summary
- Appraisal Information
- Levy Information
- Transfer
- Value History
- Board of Revision
- Payment Detail
- Tax Distributions
- Images
- Special Assessment/Payoff
- Tax Lien Certificates
- CAGIS Online Maps
- Aerial Imagery
- Owner Names

Print:

- Current Page
- Property Report



Existing Site Demo View From House + Demolition Case Sheet/Justification

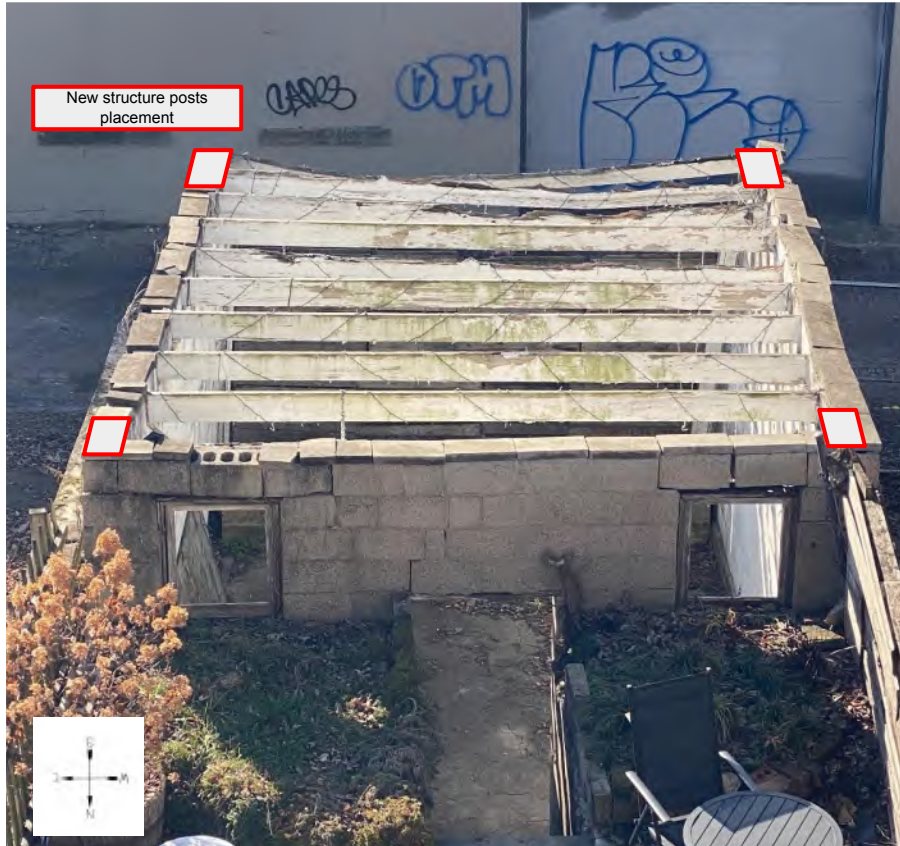
my property
"Garage" to demo
neighbors

Demo Justification:

This is a non-contributing structure within the historic district, and has been listed accordingly by the Urban Conservator in the adjudication letter accompanying this document. Additionally, it is non-functional and unstable as shown in the next two pages. It is not contributing to the value of the property or district, and is a potential liability. I believe replacing this structure would add to the value of the individual property and neighborhood.



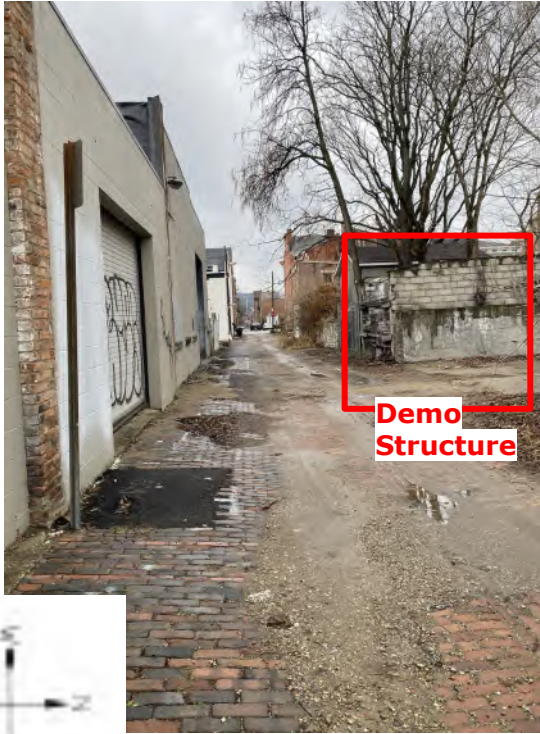
Existing Site Demo Structure Front + Back



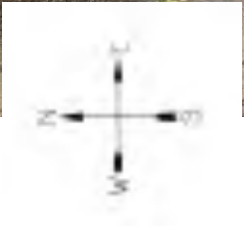
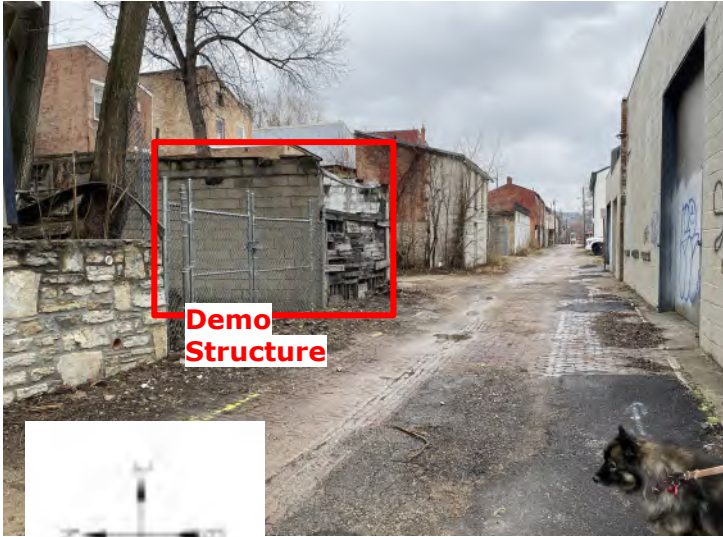
Existing Site Demo Structure Side Views



One Block Streetscape Context 1
Looking West towards Freeman



One Block Streetscape Context 2
Looking East towards Baymiller



931 Dayton Street

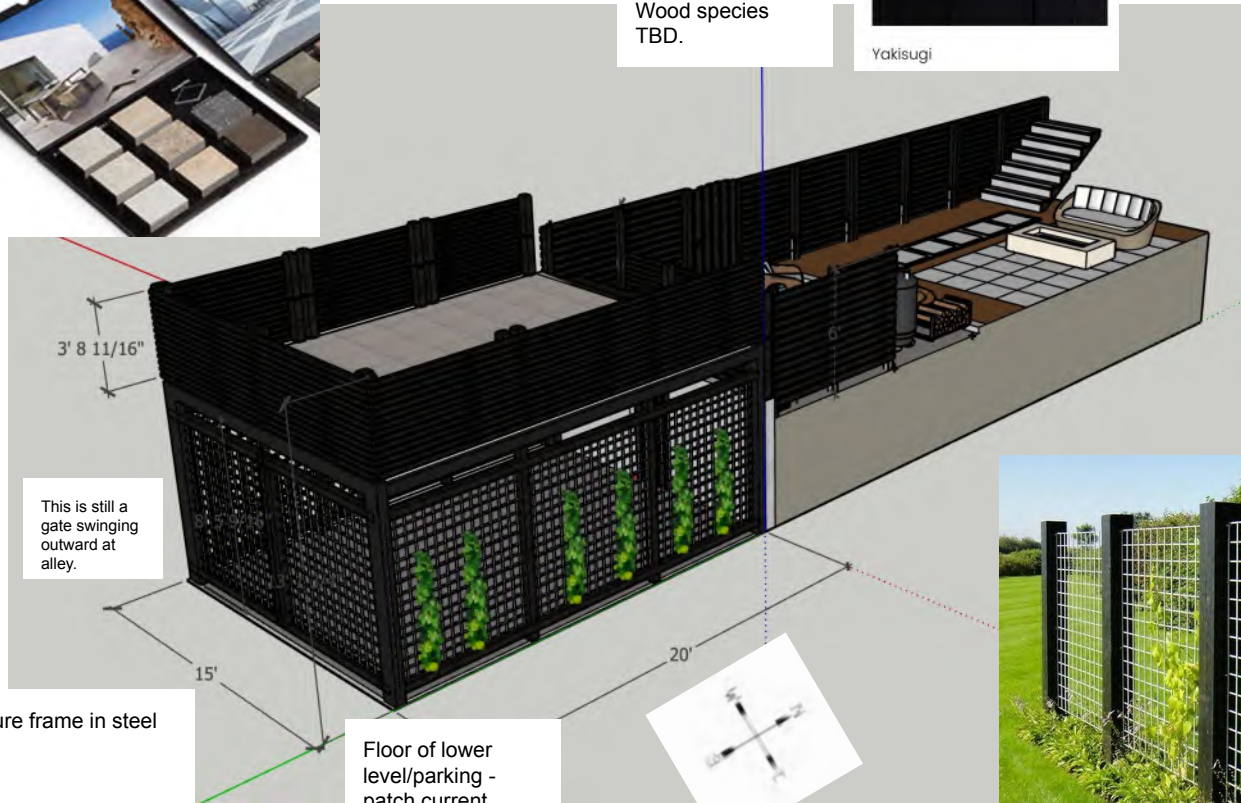
Porcelain tile deck



Shou Sugi Ban plank fencing.
Wood species
TBD.



Yakisugi



This is still a gate swinging outward at alley.

Structure frame in steel

Floor of lower level/parking - patch current concrete

- Heavy duty metal grids as modern take on lattice between support posts.

- Framed as panels with Shou Sugi Ban finish Cedar

- Plants to grow from containers inside structure. Will be evergreen, non-invasive.



February 2024 Staff COA Approvals

NUMBER KEY	REVIEW DATE	COMP TYPE	ADDRESS	DESCRIPTION	ENTRY COMMENTS
2023P08155	2/1/2024	CBPCBCP	116 W ELDER ST	HVAC	Staff COA - Rooftop mechanical equipment setback from front and not visible from street - replacement storefront panels meet guidelines
2023P08164	2/26/2024	CBPCBCP	1809 FREEMAN AV	HVAC	Staff COA - Quaker aluminum clad wood windows and replacement fence gate meet Conservation Guidelines
2023P09044	2/14/2024	CBPCBCP	3114 WARSAW AV	Alteration	Staff COA - new door opening on east (side) elevation, not highly visible from street
2023P10856	2/8/2024	CBPCBCP	1912 FREEMAN AV	Alteration	Staff COA - Existing non-historic windows to remain - no new windows may be installed without approval from Historic Conservation Office - Vinyl windows and siding not permitted - Infilled window and door openings must be infilled with brick set back at least 1" from wall plane
2024P00920	2/6/2024	CBPCMCH	550 E 4TH ST	HVAC	Charge staff COA fee. Property is located in the Lytle Park HD. A new salon will be added at the first floor, with a louvered opening on the exterior wall for ventilation, along with a rooftop vent. The louvered opening will be painted to match the brick and screened by trees. Rooftop vent will be located in an open area of the roof that is shielded from any street view.
2023P06859	2/26/2024	CBPCBCP	2035 DUNLAP ST	Misc. Structures	Staff COA - Accessory 120 sf shed placed at rear of building, not highly visible from street - LP Smart Side pre-engineered wood siding to be painted
2024P00930	2/8/2024	CBPCBCP	36 E HOLLISTER ST	Alteration	Staff COA - replacement front door to match adjacent unit door; removal of non-historic side stoop
2024P01249	2/26/2024	CBPCSGN	635 MAIN ST	Signs	Staff COA - Internally illuminated channel letter sign placed on storefront lintel - meets Main Street Guidelines
2024P01457	2/26/2024	CBPCBCP	1600 PLEASANT ST	Alteration	Staff COA - Existing entry doors shifted within existing storefront - New storefront window infill and doors to match existing
2024P01909	2/29/2024	COA	1315 Laidlaw Av	Fence	Staff COA - 4' black metal fence in side yard - Privacy fence in side and rear yard - Parking pad in rear off alley