

HISTORIC CONSERVATION BOARD

5th Floor Conference Room 805 Central Ave, II Centennial

AGENDA

Monday, December 16, 2024 at 3:00 pm

CALL TO ORDER

DISCUSSION ITEMS

-
- Item 1.** 75 PEETE ST
COA2024051
- The applicant is requesting a Certificate of Appropriateness to construct a new roof on an existing deck in the Dayton Street Historic District. Additionally, the applicant is requesting zoning relief regarding the placement of the new roof on top of the garage.
- Applicant:** HEATHER ESTRIGDE
Staff Report: DOUG OWEN
-
- Item 2.** 7 ANNWOOD LN
COA2024049
- The applicant is requesting a Certificate of Appropriateness to construct a new front porch addition in the East Walnut Hills Historic District.
- Applicant:** CCI DESIGN
Staff Report: DOUG OWEN
-
- Item 3.** 845 DAYTON ST
COA2024050
- The applicant is requesting a Certificate of Appropriateness to construct a rear garage addition with a rooftop deck in the Dayton Street Historic District.
- Applicant:** BAGGETT CEAIR J
Staff Report: DOUG OWEN
-
- Item 4.** 630 MAIN ST
COA2024052
- The applicant is requesting a Certificate of Appropriateness to convert an existing structure into 71 housing units within the Main Street Historic District. The project includes façade improvements, window replacements, new door openings, exterior signage, and the construction of a wall/fence. Additionally, the applicant seeks zoning relief concerning the height of the sign, the transparency of the wall/fence, and a special exception for commercial continuity.
- Applicant:** NEW REPUBLIC ARCHITECTURE
Staff Report: DOUG OWEN

Item 5. 1835 BAYMILLER ST
COA2024053

The applicant is requesting a Certificate of Appropriateness to convert an existing structure into a commercial social club with a single residential unit, along with the construction of a rear staircase within the Dayton Street Historic District. Additionally, the applicant seeks conditional use approval for the proposed club and lodge use.

Applicant: TANGENT ARCHITECTURAL GROUP
Staff Report: DOUG OWEN

OTHER BUSINESS

November 2024 Staff COA Approvals

ADJOURN

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS AND ZONING RELIEF HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

APPLICATION #: COA2024051/ ZH20240144
APPLICANT: Heather Estridge
OWNER: Brent Schwass
ADDRESS: **75 Peete Street**
PARCEL: 094-0005-0124
ZONING: RM-0.7-T
OVERLAY: Over the Rhine Historic District
COMMUNITY: Over-the-Rhine
REPORT DATE: December 9, 2024
STAFF REVIEW: Douglas Owen, Urban Conservator

Details of Zoning Relief Required:

The applicant requires the following Zoning Relief:

1. **Section 1421-01(a)** – A **Locational Variance** is required for the expansion of an existing legal nonconforming garage in the front yard.

Existing Conditions:

The subject property currently contains a single-family residential house built ca. 1870. The house faces Peete Street near its intersection with Frintz Street. The property is on a hillside sloping down from Peete Street toward E. Clifton Avenue to the south. The existing two-car garage fronts E. Clifton Avenue and is approximately 30 feet wide and 40 feet deep. Due to the slope of the hill, the rear of the garage roof sits at grade. The garage is a noncontributing, painted CMU structure built in 1959.

Proposed Conditions:

The existing accessory garage was renovated in 2016 and a roof top deck was added. The applicant proposes adding a privacy and shade structure on the southern end of the rooftop deck. The structure will be enclosed on three sides, extending back approximately 12' from the front face of the garage. A 3' tall CMU wall will extend the full depth of the building. Wooden louvered shutters will be placed on the front façade to mimic historic window openings.

Previous Reviews: The existing rooftop deck was approved by the Historic Conservation Board on April 16, 2016 (ZH20160020).



Figure 1: Location of subject property. Map provided by CAGIS.



Figure 2: Image of 75 Peete Street from E. Clifton Avenue, June 2024. Image from Google.

Applicable Zoning Code Sections:

Zoning District:	1405	Residential Multi-Family (RM-0.7)
Variance Request:	1421-19	Accessory Residential Structures
Variance Authority:	Section 1445-07	HCB authority: Section 1435-05-4
Variance Standard:	Section 1445-13 Section 1445-15	General Standards: Public Interest Standards for Variances
Historic District/Reg:	Over the Rhine Historic District	
COA Standard:	1435-09-2	Certificate of Appropriateness; Standard of Review

Zoning Analysis:

As residential accessory structures are not permitted in the front yard, a Locational Variance is required to expand the size of the existing legal nonconforming garage, which is located on a double-frontage lot and is built to the E. Clifton Avenue frontage. The requirements of the Hillside Overlay have been met. No excavation, fill, or retaining walls are proposed within the Hillside Overlay.

Standards for Variances per Section 1435-05-4

- a. *Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the Historic District of Historic Asset; or*

The location of the garage structure on the E. Clifton Avenue frontage is an existing condition. The garage was built in 1959. The proposed vertical expansion of the structure is appropriate in the interest of historic conservation, as it makes the noncontributing structure more compatible with the surrounding development. Adjacent buildings are 3.5-4 stories in height and adding a second floor façade to the existing single-story garage will bring the building closer to the 1-story height range required for new infill development.

- b. *Is necessary where the denial thereof would result in a deprivation of all economically viable uses of the property as viewed in its entirety. In making such a determination, the Historic Conservation Board may consider the factors set forth in Section 1435-09-2 (aa) to (ff).*

The denial will not result in the deprivation of all economically viable uses.

General Standards; Public Interest

Below is analysis of the consideration factors for all of the requested zoning actions, utilizing Section 1445-13, General Standards; Public Interest.

- a. **Zoning.** *The proposed work conforms to the underlying zone district regulations and is in harmony with the general purposes and intent of the Cincinnati Zoning Code.*

The underlying zone is RM-0.7-T. The proposal generally complies with the intent of the Zoning Code.

- b. **Guidelines.** *The proposed work conforms to any guidelines adopted or approved by Council for the district in which the proposed work is located.*

The proposed work substantially conforms to the guidelines for the OTR Historic District (refer to COA review below).

- h. **Neighborhood Compatibility.** The proposed work is compatible with the predominant or prevailing land use, building and structure patterns of the neighborhood surrounding the proposed development and will not have a material net cumulative adverse impact on the neighborhood.*

The proposed work is generally compatible with the neighborhood.

- i. **Proposed Zoning Amendments.** The proposed work is consistent with any proposed amendment to the zoning code then under consideration by the City Planning Commission or Council.*

There are no proposed amendments under consideration that would impact this proposed project.

- j. **Adverse Effects.** Any adverse effect on the access to the property by fire, police, or other public services; access to light and air from adjoining properties; traffic conditions; or the development, usefulness or value of neighboring land and buildings.*

There is no anticipated adverse effect for the proposed relief.

- p. **Public Benefits.** The public peace, health, safety or general welfare.*

There is no anticipated detriment to the public peace, health, safety or general welfare of the public or neighbors as a result of the requested relief.

Certificate of Appropriateness Review

Staff feels the proposed rehabilitation of this existing noncontributing structure is appropriate in the Over-the-Rhine Historic District. The new construction substantially meets the Over-the-Rhine Historic District guidelines with regard to scale, massing, materials and detailing.

This existing garage and proposed shade structure are on the rear of the property, detached from the principal structure on Peete Street and not visible from the principal façade as noted in the guidelines. However, the garage fronts E. Clifton Avenue and the deck is highly visible from the right-of-way on E. Clifton Avenue.

NON-CONTRIBUTING BUILDINGS

A. Intent and General Guidelines

- 1. A number of buildings in the district do not contribute to the historic character of the district. The Historic Conservation Board will review the proposed alteration or demolition of these buildings based on the guidelines in this section. These guidelines encourage changes in the district that will reinforce its historic and architectural character but acknowledge that some buildings are of a different age or architectural period.*

75 Peete Street (rear) is listed on the Non-Contributing Building List for the Over-the-Rhine Historic District. Built in 1959, the auto-oriented detached garage structure is outside the period of

significance for the district and differs from the surrounding historic structures in its massing, materials and height. The proposed addition will make the building more compatible by increasing the height and adding window openings to be more compatible in rhythm.

2. *Buildings that do not contribute to the historic character of the district fall into two general categories:*
3. *Newer Buildings: Most buildings that were built within the past fifty years do not fit the historic or architectural context of the neighborhood. Due to their more recent date of construction, these buildings did not contribute to the development of Over-the-Rhine as an urban, nineteenth-century neighborhood. The majority of these newer buildings differ architecturally from the district's historic buildings, especially in scale, building materials, and detailing.*

B. Specific Guidelines

1. *Rehabilitation: The rehabilitation of non-contributing buildings should comply with the guidelines for rehabilitation, as outlined in the "Rehabilitation" section of this document. These rehabilitation guidelines provide a framework for maintaining a building's basic architectural character; they do not suggest that a building be redesigned or altered to appear older than it is. Alterations to a newer building should be compatible with the original architectural character of that structure or should help the building to relate better architecturally to the surrounding historic district. The rehabilitation of an older, altered structure should restore elements of the building's historic character, whenever possible, based on remaining physical evidence, historic documentation, or similar buildings nearby. Alterations to non-contributing buildings should not create a false sense of history. In many cases it is preferable to rehabilitate and reuse a non-contributing building than to have a vacant parcel or parking lot.*
2. *Additions: Additions to non-contributing buildings should comply with the guidelines outlined in the "Additions" section of this document. Additions should be designed to relate architecturally to adjacent buildings and to the building of which they are a part. Additions should not overpower the original building.*

The proposed second story addition will increase the height of the building and will feature four window openings matching historic dimensions to better align with the rhythm of the block face and provide more vertical emphasis. The openings will not contain actual windows but will include salvaged wood shutters which will be operable. For the proposed use as a shade structure for an outdoor roof deck, Staff finds this proposed treatment appropriate. A cornice

with panels and wood corbels will create a new top element to the building, which provides a strong termination to the building.

The addition is proposed to be constructed of plain CMU material with a smooth stucco finish. While Staff is generally not supportive of CMU as an exterior cladding material, the existing non-contributing building is built of CMU. The smooth stucco finish will help to disguise the CMU on the second floor and set it apart from the original structure on the first floor.

Other Considerations:

Prehearing Results: A prehearing was held on November 27, 2024. The applicant and owner were in attendance.

Comments Provided to Staff: Staff received three letters of support for the proposed project.

Consistency with *Plan Cincinnati (2012)*:
“Sustain” Initiative Area “Preserve our built history”

Recommendation:

Staff recommends the Historic Conservation Board take the following actions based on plans dated 10.31.2024:

I. ZONING RELIEF

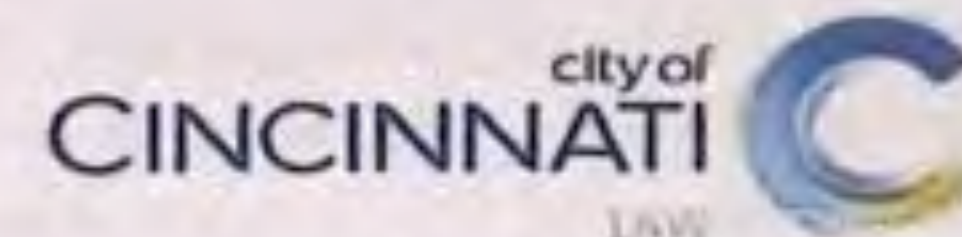
- A. Section 1421-01(a) – **APPROVE** – A **Locational Variance** for the expansion of an existing legal nonconforming garage in the front yard.
- B. **FINDING:** The Board makes the determination per Section 1435-05-4(a):
 - 1) That the proposed work is necessary and appropriate and in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the Historic District.

II. CERTIFICATE OF APPROPRIATENESS

- A. **APPROVE** a Certificate of Appropriateness for 75 Peete Street with the following conditions:
 - 1) The building permits must be issued within two years of the decision date or the Certificate of Appropriateness shall expire.
- B. **FINDING:** The Board makes this determination per Section 1435-09-2:
 - 1) That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

Historic Conservation Board

Hearing Application



II Centennial Plaza
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202
Monday- Friday 7:30 am- 4 pm
513-352-1559

Section 1. SUBJECT PROPERTY

ADDRESS 75 PEETE ST, CINCINNATI, OH 45202 COMMUNITY OTR HISTORIC DISTRICT
PARCEL ID(S) 094-0005-0124-00 HISTORIC DISTRICT OTR
BASE ZONING CLASSIFICATION RM-0.7-T HILLSIDE DISTRICT: Yes No
 Non-Residential Project Residential Project (RCO) One -, Two -, and Three- Family Dwelling

Section 2. APPLICANT

NAME HEATHER ESTRIDGE CONTACT PERSON (if legal entity) _____
ADDRESS 1615 DELL TERRACE CITY CINCINNATI STATE OH ZIP 45230
EMAIL HCEArchitect@gmail.com RELATIONSHIP TO OWNER (if not owner) ARCHITECT
TELEPHONE 513-708-3533

Section 3. OWNER

NAME BRENT SCHWASS CONTACT PERSON (if legal entity) _____
ADDRESS 75 PEETE ST. CITY CINCINNATI STATE OH ZIP 45202
EMAIL BRENT.SCHWASS@gmail.com RELATIONSHIP TO OWNER (if not owner) _____
TELEPHONE 859-547-8922

Section 4. NATURE OF CERTIFICATE OF APPROPRIATENESS REQUESTED

A certificate of appropriateness is NOT being requested. (Proceed to Section 5.)

A certificate of appropriateness is being requested for:

New Construction Alteration Demolition

BRIEF DESCRIPTION OF PROJECT (Do not write "see attached" or leave blank.)

ADDITION OF ROOF OVER EXISTING ROOF DECK OVER EXISTING GARAGE.

Section 5. NATURE OF ZONING RELIEF REQUESTED

Zoning relief is NOT being requested, or select all that apply:

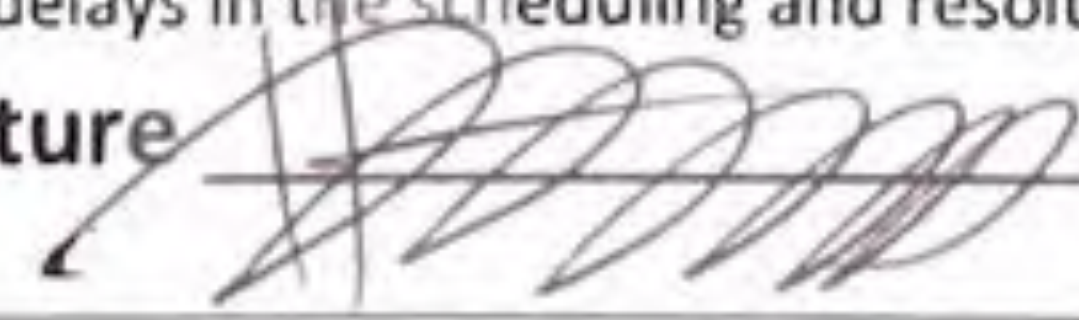
- Variance Special Exception Conditional Use Use Variance
 Expansion or Substitution of Non-Conforming Use Hillside Overlay District Permission
 Urban Design Overlay District Permission DD District Phased Development Approval

BRIEF DESCRIPTION OF ZONING RELIEF REQUESTED (Do not write "see attached" or leave blank.)

A LOCATIONAL VARIANCE FOR ACCESSORY RESIDENTIAL STRUCTURE PER 1421-01(a)

Section 6. SIGNATURE.

I certify that all statements and documents that I provide with reference to this application are accurate, complete, and true to the best of my knowledge and belief. I further acknowledge that my application shall be deemed incomplete for my failure to timely comply with any requirement of this application, which non-compliance may result in delays in the scheduling and resolution of my application.

Print Name HEATHER ESTRIDGE Signature  Date 10.31.24

Section 7. DOCUMENTATION SUBMISSION REQUIREMENTS.

Important Information: An application will not be deemed complete until all required documents listed below have been submitted and the application fee is paid in full. All transactions must be completed by 4:00pm. No exceptions. Applicants are strongly encouraged to submit as early as possible to allow time for review and revisions. Partial applications cannot be processed. Failure to submit a complete application prior to 4:00pm on a deadline date will result in delays to the assigned hearing date.

<input checked="" type="checkbox"/>	Submit two (2) paper copies collated, single sided and bound together of all the documents listed below, AND one (1) digital copy on a thumb/flash drive in PDF format of all documents listed below. <i>No emails.</i>
1 <input checked="" type="checkbox"/>	Historic Conservation Board hearing application; pages 1-2 only. The instruction pages should not be included in your submission.
2 <input checked="" type="checkbox"/>	Adjudication Letter AND worksheet issued by the Department of City Planning & Engagement – Urban Conservator’s Office. Provide all documents requested on the worksheet.
3 <input checked="" type="checkbox"/>	A written statement explaining how the proposed project meets the applicable Historic Conservation Guidelines and, if requested, Zoning relief. Separate instructions for preparing this statement are attached. <i>If you fail to follow the instructions for your type of request(s), your application may be denied.</i>
<input type="checkbox"/> N/A	Applications requesting development permission in a Hillside Overlay District must meet the additional requirements found in <u>Cincinnati Municipal Code 1433-15</u> . <i>Please ensure your application meets these requirements.</i>
<input checked="" type="checkbox"/>	All documents (forms, letters, etc.) must be formatted to 8.5x11. Font no smaller than size 11. Plans or drawings may be formatted to 11x17 or 12x18. <i>No larger sizes will be accepted.</i>
4 <input checked="" type="checkbox"/>	Accurate drawings, plans or surveys (including a graphic scale) of existing and proposed project showing parcel lines, boundaries, dimensions, areas, topography, and frontage of the property involved, as well as the location and dimensions of all primary and accessory structures from the nearest property lines. Provide all parcels and structures adjacent to the site. When landscaping is required by the zoning code, a landscaping plan must be provided.
<input checked="" type="checkbox"/>	Detailed information (such as drawings, elevations with measurements, specifications) fully depicting the exterior and/or interior appearance of the existing and proposed project, including parking and access, exterior lighting, landscaping, signs, roof and floor plans involved in the application. Provide labeled photographs of existing conditions of all sides/directions of the structure/property.
5 <input checked="" type="checkbox"/>	<u>The Hamilton County Auditor’s record showing ownership of the property.</u> If the Hamilton County Auditor’s official records do not list the applicant or owner as the owner of the property, please provide a lease, contract to purchase, or other agreement demonstrating the applicant or owner’s legal basis to seek the relief requested.
6 <input checked="" type="checkbox"/>	A list of witnesses, expert witnesses, or legal counsel who you expect to testify at the hearing on this application. Please provide names and email addresses.
<input type="checkbox"/>	Other documents or information you intend to introduce at the hearing on this application.
<input type="checkbox"/>	A non-refundable application fee - a check made payable to “City of Cincinnati.”

To help avoid delays, it is strongly suggested that you present your application to neighboring property owners and any interested neighborhood community groups prior to the hearing on your application. This will give you a prior opportunity to address your neighbors’ concerns or objections and can facilitate the approval of your application.

ADJUDICATION/DENIAL LETTER

Date: September 12, 2024

Location: 75 Peete Street

Request: COA

Zoning District: RM-0.7-T/ Over-the-Rhine Historic District

The City of Cincinnati appreciates receiving information regarding your proposed project. The purpose of this letter is to inform you that your proposed project requires a Certificate of Appropriateness and Zoning Relief from the Historic Conservation Board, as it is within a local historic district and involves exterior alterations to the building, specifically, an addition to the noncontributing garage fronting E. Clifton Ave.

All documents **that are checked** on the "Checklist for Historic Conservation Board" document are a required part of the submission, and the submission will not be considered complete unless all of these documents are included. When you submit the copies of the application, the "Checklist" Sheet must be submitted as well. The application can be found at this link: <https://www.cincinnati-oh.gov/sites/planning/assets/HCB%20Application%20Revised%202.2.22%20Hyperlink.pdf>.

All deadlines for upcoming Historic Conservation Board hearings can be found <https://www.cincinnati-oh.gov/planning/historic-conservation/historic-conservation-board/>. **Applications must be submitted no later than 3pm on the deadline date.**

Your request also does not comply with the City of Cincinnati Zoning Code for the following reason(s):

1. 1421-01(a): Accessory Residential Structures. A **Locational Variance** is required for the expansion of a legal nonconforming garage in the front yard.

The applications and documents required will be turned into the *Law Department- Office of Administrative Boards*. Their office is located on the 5th floor of 805 Central Avenue in the Permit Center. Applications can be turned in **no later than 3pm on the deadline date**. You must contact Kasandra Maynes at 513-352-1559 or Kasandra.Maynes@cincinnati-oh.gov for submittal.

You may also contact me at the information listed below with historic conservation or zoning questions, concerns or to make an appointment.

Sincerely,



Douglas Owen

Urban Conservator

(p): 513-352-4848

(e): douglas.owen@cincinnati-oh.gov

Checklist for Historic Conservation Board Hearing Application

The Historic Conservation Office will provide this list with the required items

checked off when an Adjudication letter is issued. All items checked must be submitted to the Law Department with submission or the application will not be accepted.

- 8 business days before the hearing date 10 hard copies and a digital copy in one pdf for the final board packet. Hard copies must be formatted and retain the proper scale on sheets no larger than 11x17 or 12x18.
- Non-Refundable Application Fee. Checks made payable to the City of Cincinnati. \$ 649.10

All Drawings and Plans must include the following

- ✓ A graphic scale required on all drawings
- ✓ North arrows on all site, context and floor plans
- ✓ Elevations labeled with North, South, East West, front, side and rear labels
- ✓ Street names labeled
- ✓ Date and/or revision dates

Architectural Drawings and Plans

- An index of drawings located on the first sheet
- Context Map showing the building within at least a block of context
- Existing site plans
- Proposed site plans
 - All site plans must have*
 - ✓ *Parcel/boundary lines*
 - ✓ *Building footprints and dimensions labeled*
 - ✓ *Setback dimensions from all property lines labeled*
 - ✓ *Existing and proposed principal and accessory buildings, including location, dimensions, and height labeled;*
 - ✓ *All properties and their structures immediately adjacent to the site*
 - ✓ *Location and placement of exterior utilities and vents*
- Existing elevation drawings (At minimum must provide photographs of existing conditions of all elevations)
- Proposed elevation drawings
 - All elevations (existing and proposed) must have*
 - ✓ *Total Height from grade to top of the building*
 - ✓ *Total height- ASL (Above Sea Level)*
 - ✓ *Materials labeled*
 - ✓ *Location and placement of exterior utilities and vents*
- Existing floor plans and roof plans (with chimney locations)
- Proposed floor plans and roof plans (with chimney locations)
 - All floor(existing and proposed) plans must have*
 - ✓ *Residential and Commercial Spaces labeled. Residential Spaces must be numbered.*
 - ✓ *Square feet of commercial spaces listed*
 - ✓ *Location of trash storage and Utilities*
 - ✓ *Location and placement of exterior utilities and vents*

- Site section and/or Site elevations including any adjacent properties
- Driveways, sidewalks, walkways, terraces, and other paved surfaces
- Existing and proposed accessory structures, including walls, fences, porches, lighting, signs, and other site improvements;
- Existing and proposed landscape areas and materials, if proposed to be altered;
- Proposed materials, textures, and colors. Include make, model and series for proposed materials
- Labeled photos of all sides of the building
- Labeled photos of 1 block streetscape context in all directions
- Site line drawings for any roof additions, roof decks, utilities.
- A color rendering, axonometric drawings and/or perspective of the proposed construction (required on infill projects)

Required if applicable to the project

- Historic Sanborn Maps of the site
- Window brochures and cut sheet
- Roof product information (brochure)
- Garage door brochures
- Sample materials or color samples. _____
- Fence drawings of style, fence brochures or photo of a sample fence
- Signs; drawings, photo showing the sign on the building, mounting info, materials, colors and illumination
- Mature tree removal requires a letter from an arborist stating its poor health
- All written correspondence submitted by the applicant and other affected persons
- Tentative project schedule
- Egress Plan/Route to Building Code Compliance (roof decks, multi-family developments)
- _____
- _____
- _____

Demolition (full or partial) for Historic Conservation Districts and Landmarks

- Demolition Case Sheet and all required information listed on the sheet unless otherwise not required by the Urban Conservator in writing and provided with application.
- Statement of plans for the property after demolition.

Hillside Overlay Zone (CZC § 1433)

- A development plan, accompanied by a property survey, showing existing vegetation and proposed development, and where applicable, streets, drives, parking areas, walkways, heights of structure(s), location of structures, elevation and setback of proposed buildings, drainage, existing contours and proposed grading and new landscaping plans, proposed uses and square footage of uses and recreational facilities;
- A preliminary geotechnical evaluation;
- A determination of the maximum building envelope;
- Average slope/grade of the property; and
- Graphic illustrations demonstrating that the proposed improvement or new structure has not exceeded the maximum building envelope

For additional questions about this checklist contact Urban Conservator at 513-352-4848 or urban.conservator@cincinnati-oh.gov

Note: The aforementioned information is general in nature. Additional information may be required by the Urban Conservator once the application is submitted. Please use this list to plan for the potential documents that could be required for a submission.

HEATHER ESTRIDGE, Architect
1615 Dell Terrace
Cincinnati, OH 45230
513-708-3533
HLEarchitect@gmail.com

DATE: October 31, 2024

TO: CITY OF CINCINNATI

FROM: HEATHER ESTRIDGE, ARCHITECT

RE: Certificate of Appropriateness
Location: 75 Peete St
Zone District: RM-0.7-T/Over-the-Rhine Historic District

The owner of the property at 75 Peete St, Cincinnati, OH, is requesting a Certificate of Appropriateness for a Locational Variance for the expansion of a legal nonconforming garage in the front yard, including:

- A roof addition over an existing roof deck over an existing garage.

The project meets the standards outlined in Cincinnati Municipal Code 1435-05-4 and is consistent with the general purposes and intent of the Historic District Guidelines as outlined below. The proposed changes will allow the owner to maximize the property's use. It should not negatively impact the value of surrounding property.

1. Massing, Height, and Scale: The alterations create a more contextual elevation for the existing garage building, which is currently a single story. The existing footprint shall remain unchanged.
2. Setback: The footprint of the existing building is not changing.
3. Composition: The composition of the street-facing elevation of the proposed building will be more in keeping with adjacent buildings by making the existing building more vertical.
4. Rhythm: The rhythm of the building will be more in keeping with adjacent buildings by adding smaller punched openings on the second floor. The top of the wall will be capped with trim boards to represent a cornice.
5. Openings: The 1st floor garage door opening sizes shall remain the same. New, smaller openings are proposed for the 2nd floor which are in keeping with adjacent multi-story buildings.
6. Roof: The roof is not visible from the street. The pitch is not greater than what is consistent within the district.
7. Materials: Materials are consistent with the existing building.

Additionally, the project meets the standards outlined in Cincinnati Municipal Code 1445-13 and 1445-15.

1445-13 Standards

The proposed addition conforms to the standards of 1445-13 and will not adversely affect the public interest.

1445-15 Standards

The owner purchased the property with the existing legal nonconforming garage. They were granted a variance to add a railing around the top of the garage in order to create a safe rooftop deck. They enjoy the use of the deck, but sun exposure makes it unusable during certain times of the day. Because the garage faces a front yard, expansion of such accessory buildings are not allowed, and therefore, a variance is needed for the addition of a roof structure that would allow the owners to enjoy their property to the fullest extent.



PROJECT DESCRIPTION

THE EXISTING RESIDENCE FACES PEETE STREET WITH A GARAGE THAT FACES CLIFTON AVE. THERE IS AN EXISTING ROOF DECK OVER THE GARAGE. THE OWNER WOULD LIKE TO ADD A ROOF STRUCTURE OVER A PORTION OF THE ROOF DECK.

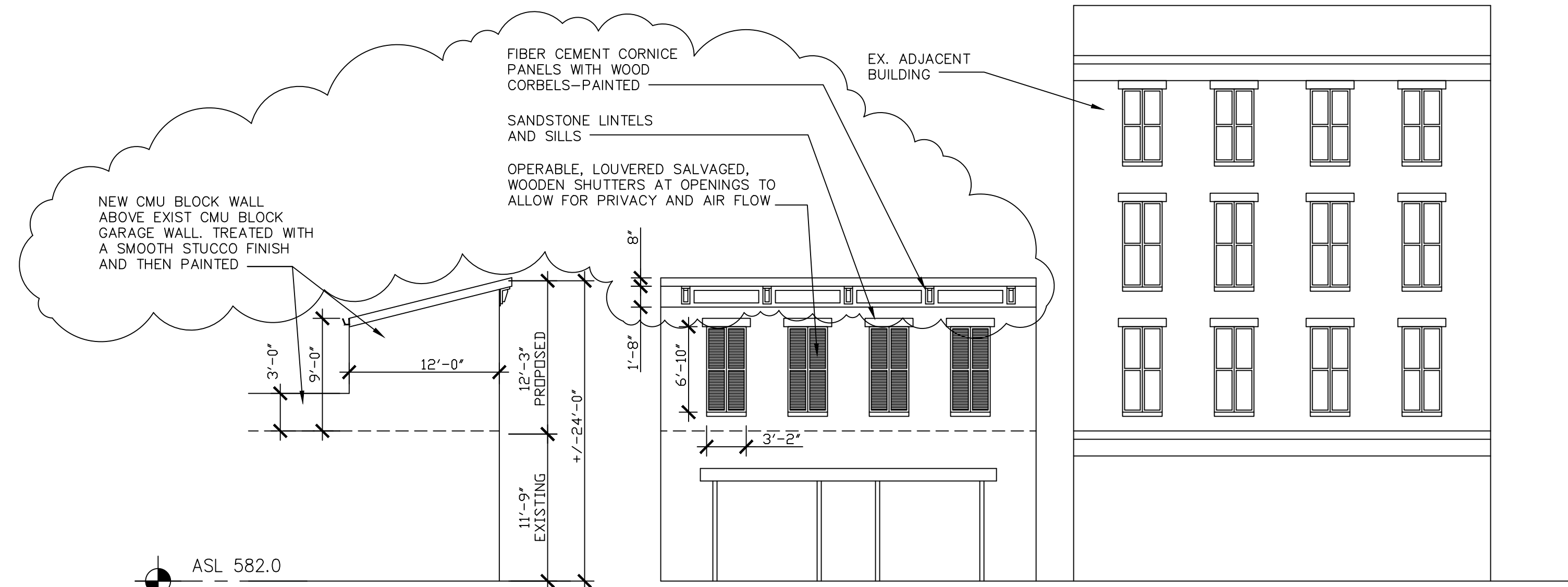


8 **EXISTING ELEVATION**
A101 NO SCALE

7 **LOOKING NORTH**
A101 NO SCALE

6 **LOOKING SOUTH**
A101 NO SCALE

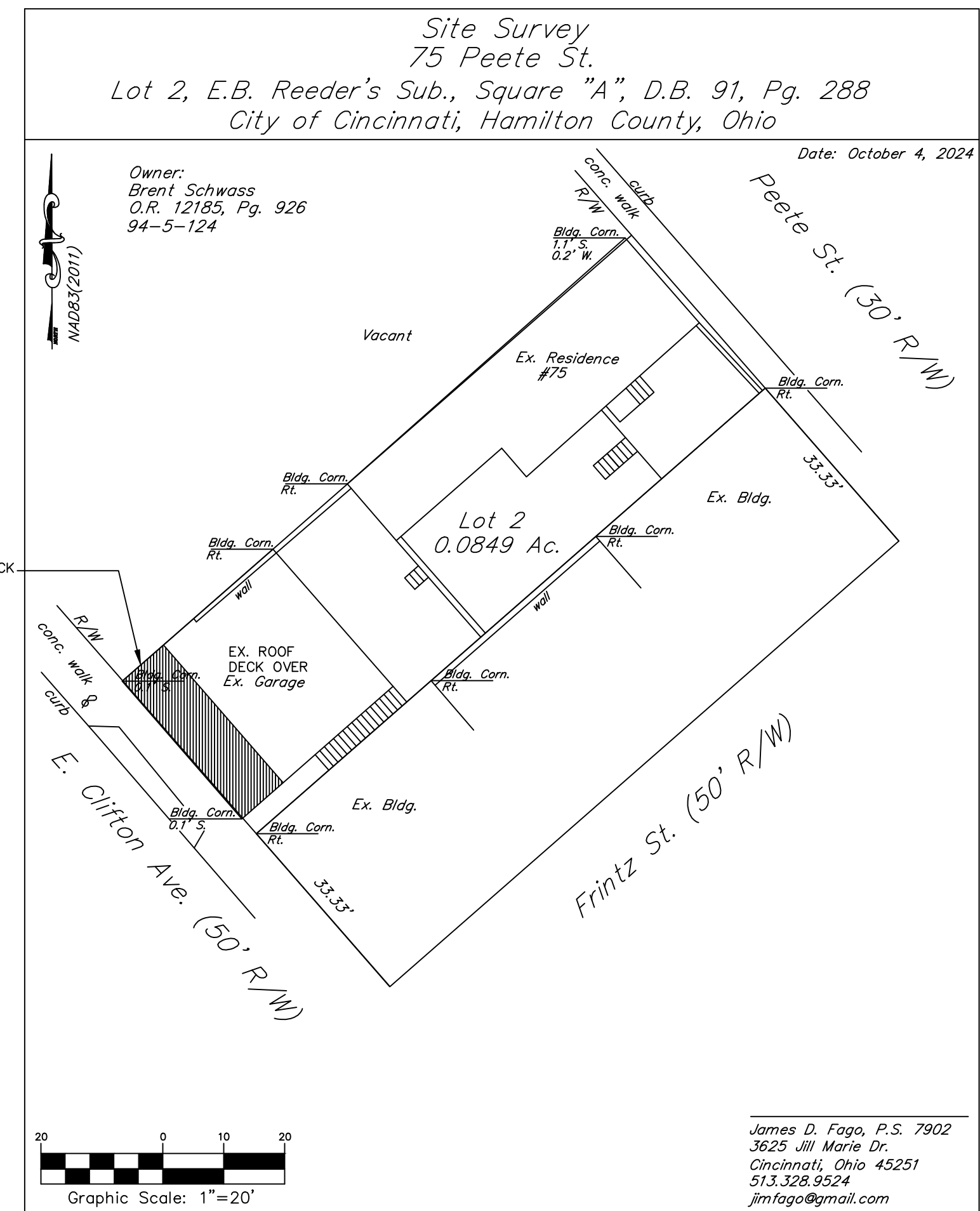
5 **CONTEXT MAP**
A101 NO SCALE



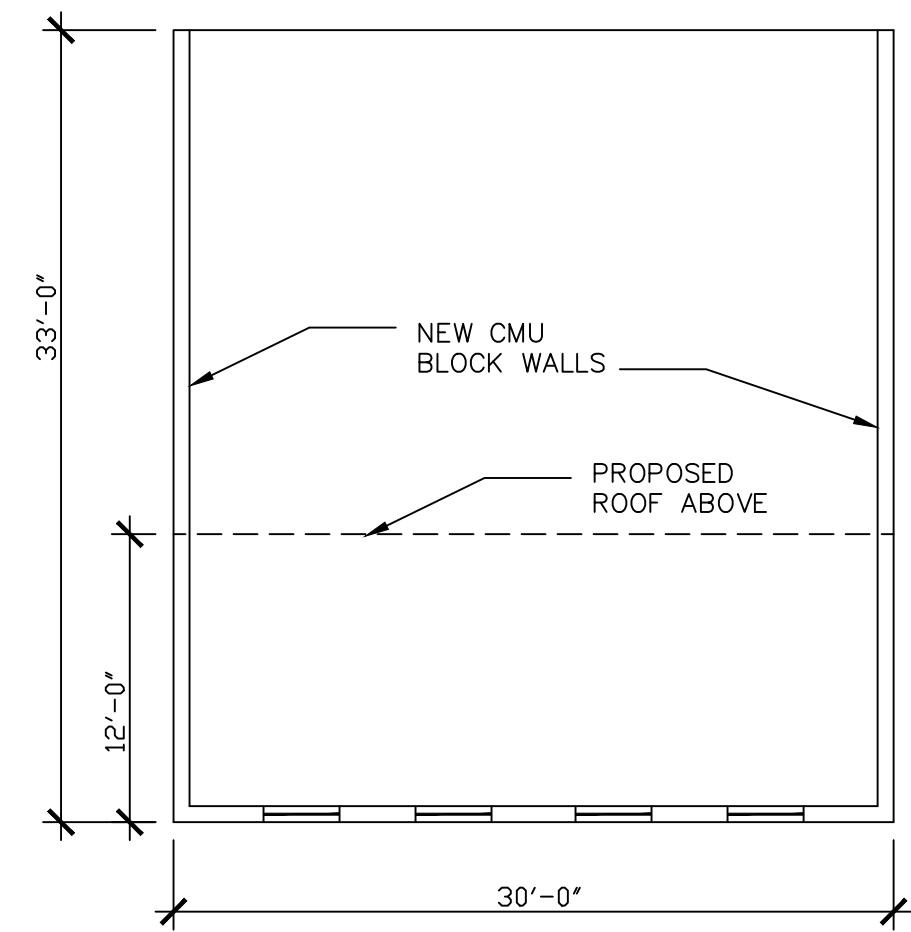
ASL 582.0
GRADE

4 **NORTH ELEVATION**
A101 SCALE: 1/8"=1'-0" (SHEET SIZE: 24X36)
SCALE: 1/16"=1'-0" (SHEET SIZE: 12X18)

3 **WEST ELEVATION**
A101 SCALE: 1/8"=1'-0" (SHEET SIZE: 24X36)
SCALE: 1/16"=1'-0" (SHEET SIZE: 12X18)



1 **SITE PLAN**
A101 SCALE: 1:20 (SHEET SIZE: 24X36)
SCALE: 1:40 (SHEET SIZE: 12X18)



2 **ROOF DECK PLAN**
A101 SCALE: 1/8"=1'-0" (SHEET SIZE: 24X36)
SCALE: 1/16"=1'-0" (SHEET SIZE: 12X18)

THIS DOCUMENT IS THE PRODUCT AND EXCLUSIVE PROPERTY OF HEATHER ESTRIDGE, ARCHITECT. NEITHER THE DOCUMENT NOR THE INFORMATION IT CONTAINS MAY BE COPIED OR USED FOR OTHER THAN THE SPECIFIC PROJECT FOR WHICH IT WAS PREPARED WITHOUT THE EXPLICIT CONSENT OF HEATHER ESTRIDGE, ARCHITECT.

1615 DELL TERRACE
Cincinnati, Ohio 45230
(513) 708-3533

PRELIMINARY

NOT FOR CONSTRUCTION

THIS DOCUMENT IS PARTIALLY COMPLETE. THE INFORMATION CONTAINED IS NOT NECESSARILY COORDINATED OR CORRECT. THIS DRAWING IS FOR REVIEW PURPOSES ONLY.

PROJECT NAME

**75 PEETE
CINCINNATI, OH**

DATE
10-31-24

TITLE
**PLANS +
ELEVATIONS**

SHEET
A101


Jessica E. Miranda, Hamilton County Auditor

generated on 10/30/2024 1:39:11 PM EDT

Property Report

Parcel ID 094-0005-0124-00	Address 75 PEETE ST	Index Order Parcel Number	Tax Year 2023 Payable 2024
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Property Information

Tax District 001 - CINTI CORP-CINTI CSD	School District CINCINNATI CSD	Images/Sketches 	
Appraisal Area 01801 - OVER THE RHINE 01 <u>Sales</u>	Auditor Land Use 510 - SINGLE FAMILY DWLG		
Owner Name and Address SCHWASS BRENT 75 PEETE ST CINCINNATI OH 45202 (Questions? 946-4015 or county.auditor@auditor.hamilton-co.org)	Tax Bill Mail Address SCHWASS BRENT 75 PEETE ST CINCINNATI OH 45202 (Questions? 946-4800 or treasurer.taxbills@hamilton-co.org)		
Assessed Value 25,390	Effective Tax Rate 69.301606	Total Tax \$1,628.39	
Property Description 75 PEETE ST 33.34 X 111 LOT 2 REEDERS SUB SQ A			

Appraisal/Sales Summary

Year Built	1870
Total Rooms	6
# Bedrooms	3
# Full Bathrooms	2
# Half Bathrooms	1
Last Transfer Date	12/10/2012
Last Sale Amount	\$10,000
Conveyance Number	43591
Deed Type	LW - Limited Warrant Deed (Conv)
Deed Number	274305
# of Parcels Sold	1
Acreage	0.087

Tax/Credit/Value Summary

Board of Revision	YES(13)
Rental Registration	No
Homestead	No
Owner Occupancy Credit	No
Foreclosure	No
Special Assessments	Yes
Market Land Value	50,460
CAUV Value	0
Market Improvement Value	248,950
Market Total Value	299,410
TIF Value	27,060
Abated Value	226,850
Exempt Value	0
Taxes Paid	\$1,628.39

Notes

** 4/25/18 - 10YR CRA Abatement - Max \$275,000 - Term TY2015 thru 2024, back to taxable 2025 payable 2026 (Filed in 2018 -Taxpayer benefit TY2018 thru 2024) ** 3/21/13 - BOR 12-600348 decrease to 10,000

HEATHER ESTRIDGE, Architect
1615 Dell Terrace
Cincinnati, OH 45230
513-708-3533
HLEarchitect@gmail.com

DATE: October 31, 2024

TO: CITY OF CINCINNATI, City Planning and Engagement

FROM: HEATHER ESTRIDGE, ARCHITECT

RE: Witnesses
Location: 75 Peete St
Zone District: RM-0.7-T/OTR Historic District

Owner:
Brent Schwass
75 Peete St
Cincinnati, OH 45202
Brent.Schwass@gmail.com

Architect:
Heather Estridge
1615 Dell Terrace
Cincinnati, OH 45230
HLEarchitect@gmail.com

11 November 2024

Cincinnati Historic Conservation Board
805 Central Avenue
Cincinnati, OH 45202

Dear Members of the Board,

I am writing to express my enthusiastic support for my neighbor Brent Schwass and his proposal to cover his existing patio at 75 Peete Street. This project will transform his patio into a covered porch making the space more functional and accessible for Brent and his family all year long.

Brent is a very dedicated supporter and investor in Over-the-Rhine, having already made strong contributions to the neighborhood's ongoing revitalization and preservation efforts. In my opinion, after carefully reviewing his proposed plans (Version A101), these changes align with the community's aesthetic while providing a practical enhancement that reflects his commitment to improving the area. Given the benefits of this project, I believe it is a thoughtful and sensible addition that will not detract from the historic character of the neighborhood.

I hope that you will vote to approve this project, as it represents a valuable improvement to Brent's property and the broader community.

Thank you for your consideration.

Sincerely,

Neil Marquardt
42 W. McMicken Avenue
Cincinnati, OH 45202

November 1st, 2024

Matt Jacob
Buckeye Street Ventures
201 E Clifton Ave, 45202

Dear members of the Historic Conservation Board,

I'm writing in support of the proposed changes to 75 Peete Street.

The existing 1-story non-contributing garage that front's E Clifton Ave currently detracts from the historic district with a non-conforming scale and massing even after attempts have been made to add more contextual garage doors.

The proposed changes will be an improvement for the district in a historically contextual way. Adding an additional faux story as a covered porch/screening will help this non-conforming building better reflect other 2-story structures in the area, especially with the shuttered faux windows incorporated that provide conforming fenestration patterns for the district. Additionally, the slanted side profile of the side walls and roof will give a more conforming profile for the building until infill development occurs next door.

For these reasons, I urge you to approve the proposed improvements to 75 Peete Street.

Sincerely,



Matt Jacob
Buckeye Street Ventures
201 E Clifton Ave,
Cincinnati, OH 45202

From: [John Wulsin](#)
Sent: Monday, December 9, 2024 9:25 AM
To: [Conservator, Urban](#)
Subject: [External Email] Fwd: Historic Conservation Board 12.16.24 Hearing
Attachments: [HCB 12.16.24 Agenda.pdf](#)

External Email Communication

Doug,
Regarding COA2024051 at 75 Peete St, I want to state my enthusiastic support for this project. The Schwass family have been incredible neighbors on E Clifton and they're committed stewards not only of their property but also the broader neighborhood. I'm supportive of their proposal to make their outdoor deck space more usable year round, and I believe it will both make their home more useful to them and also more attractive from the street. Due to the site's conditions, managing the hot summer sun is an important consideration for making the space enjoyable and usable during the warm months of the year. Their design solution will provide both shade and privacy. Operable shutters are both practical and aesthetically pleasing, harkening to the shutters which used to be more commonplace on historic structures in OTR (but sadly are mostly lost to history at this point). I hope you approve their proposal!

-John Wulsin
61 E Clifton Ave, Cincinnati, OH 45202

----- Forwarded message -----

From: **Maynes, Kasandra** <Kassandra.Maynes@cincinnati-oh.gov>
Date: Mon, Dec 9, 2024 at 8:54 AM
Subject: Historic Conservation Board 12.16.24 Hearing
To:

Good morning:

To keep you informed of applications received by the Historic Conservation Board, the agenda for the December 16, 2024, hearing is attached. Materials and staff reports are uploaded to the website no later than the Wednesday before the hearing at www.cincinnati-oh.gov/boards - select Historic Conservation Board.

Please be advised members of the public may attend Historic Conservation Board hearings in person at the Centennial II Building, Conference Room 508, 805 Central Ave, or may watch a live stream video at www.cincinnati-oh.gov/boards. No registration is required. Written correspondence for the Board's consideration is accepted and must be submitted seven calendar days before the hearing.

For specific information about applications, at any time, please contact the Urban Conservator at 513-352-4848 or by email at urban.conservator@cincinnati-oh.gov. You have the right to review the documents associated with this application, ask questions about this application, and indicate your approval or disapproval at the pre-hearing conference or at the hearing.

General questions about the hearing process can be directed to Kasandra Maynes in the Law Department or by visiting www.cincinnati-oh.gov/boards.

Respectfully,
Kasandra

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You received this message because you are subscribed to the Google Groups "OTRCCBOT" group.

To unsubscribe from this group and stop receiving emails from it, send an email to otrccbot+unsubscribe@googlegroups.com.

To view this discussion visit

<https://groups.google.com/d/msgid/otrccbot/BL0PR05MB5121E438815D6DBBDF6644B5B03C2%40BL0PR05MB5121.namprd05.prod.outlook.com>.

**APPLICATION FOR
CERTIFICATE OF APPROPRIATENESS
HISTORIC CONSERVATION BOARD PUBLIC HEARING
STAFF REPORT**

APPLICATION #: COA2024049
APPLICANT: CCI Design
OWNER: Thomas L. & Mary Elizabeth Finn
ADDRESS: **7 Annwood St**
PARCELS: 054-0002-0141
ZONING: SF-10-MH
OVERLAYS: East Walnut Hills Historic District
COMMUNITY: East Walnut Hills
REPORT DATE: November 27, 2024
STAFF REVIEW: Douglas Owen, Urban Conservator

Existing Conditions:

The subject property is located on the east side of Annwood Street between its northern terminus in the East Walnut Hills neighborhood. The property is a 2.5 story Colonial Revival building dating to ca. 1928. The symmetrical building has a front entry door that is slightly recessed from the building façade and features decorative scrollwork in a broken pediment in the wood door surround.

Proposed Conditions:

The proposal is the construction of a new covered porch addition on primary (west) façade of the existing structure. The addition will consist of a gabled roof extension over the entry door, extending approximately 5' from the face of the building.

Applicable Zoning Code Sections:

Zoning District: [Section 1403](#) Residential
HCB authority: [Section 1435-05-4](#)
HCB authority: [Section 1435-05-4](#)
Overlays: [Section 1435](#) Historic Preservation
Historic District/Reg: East Walnut Hills Historic District
COA Standard: [Section 1435-09-2](#) COA; Standard of Review



Figure 1: Image of subject property. Image from applicant.

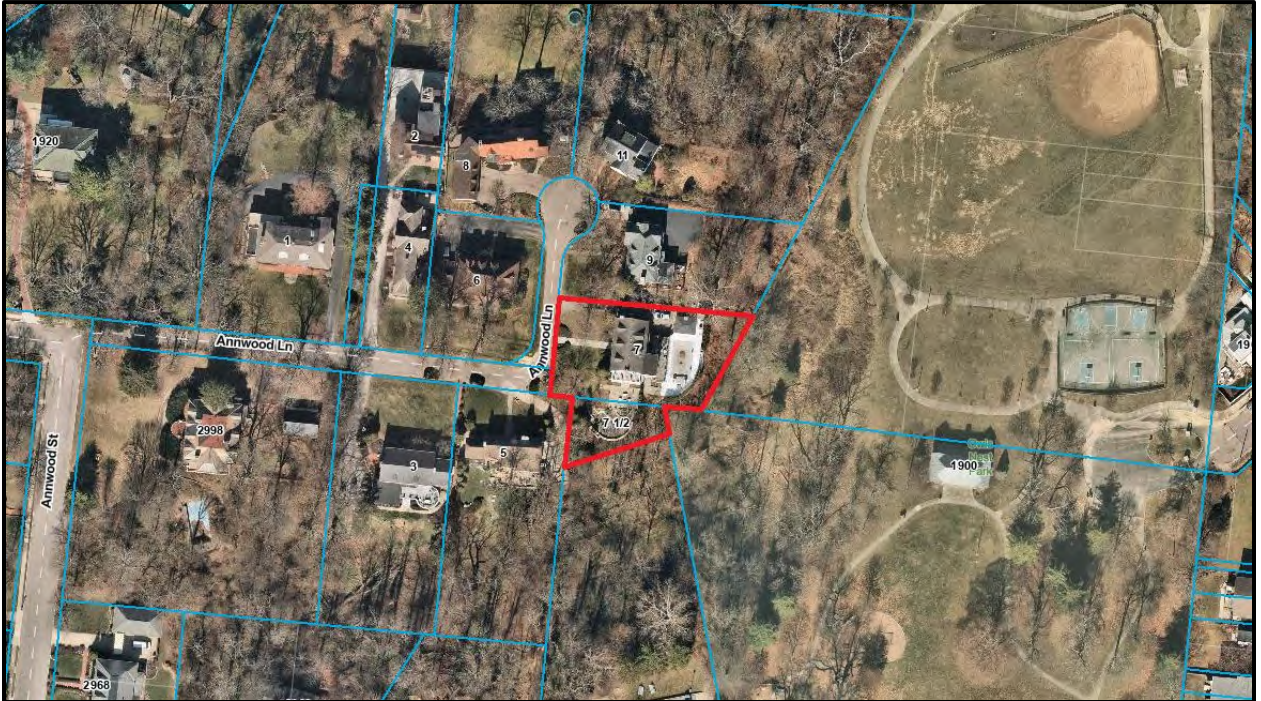


Figure 2: 2023 Aerial map of subject property. Map provided by Cagis Maps.

Zoning Analysis:

The proposed addition meets the setback and height requirements for the SF-10 District. No Zoning Relief is required.

Certificate of Appropriateness Review

A Certificate of Appropriateness is required for the proposed covered porch addition on an existing contributing building.

ADDITIONS

1) COMPATIBILITY: CONSIDER THE ADDITION AS NEW CONSTRUCTION

In general, additions should follow the guidelines for new construction in terms of materials, form, scale, height, detailing and siting. (See the New Construction section of this booklet for specific guidelines.)

The materials, form, scale and detailing proposed for the porch addition are generally compatible with the existing building. While the existing building currently does not feature a covered front porch, this is not an uncommon feature of the Colonial Revival style. Examples of covered front porches exist on other Colonial Revival buildings in the district. The applicant had initially proposed a closed gable; however, revised the drawings to an open gable at Staff's request to allow more visibility to the original broken pediment entry feature.

2) DESIGN: RESPOND TO THE ARCHITECTURE OF THE ORIGINAL BUILDING

The design of an addition should respond specifically to the architecture of the original building. While the addition should be sympathetic to and compatible with the existing building, it should not try to duplicate its style or appear to have been built at the same time as the original building, the design should also respond, in a more general way, to adjacent buildings.

The pedimented entry porch is designed with a gabled roof, inset wood panels, and fiberglass columns in a Colonial Revival style to be reflective of the main building.

3) IDENTITY: DO NOT OVERPOWER THE EXISTING BUILDING

If the original building is architecturally or historically significant, the addition should take a respectful "back seat" to it and not overpower the original, an addition may be taller than the original building if site considerations and careful design still allow the older building to remain dominant.

The entry porch will be a prominent feature on the building as it will frame the central entry door; however, it is designed to be harmonious with the original Colonial Revival architectural style. As such, it will blend in well with the original architecture and will not overpower the existing building.

4) CONNECTIONS: KEEP THEM SIMPLE

The connection of the addition to the original building should be designed so that it does not detract from either structure, Significant architectural features of the original building should not be destroyed, removed, or obscured by the addition,

The entry porch is designed around the existing entry features including the broken pediment and transom window. It will fit within the spacing between the two oval windows to either side of the entry. Painted wood paneling and a painted wood header are proposed beyond and beneath the broken pediment, which is the primary alteration of the original building materials.

Other Considerations:

Pre-Hearing: A prehearing was held on November 27, 2024. No one attended.

Comments Provided to Staff: No comments were received by Staff prior to the finalization of this report; however, the application includes signatures from eight nearby property owners on Annwood Lane noting their support of the project.

Recommendation:

Staff recommends the Historic Conservation Board take the following actions based on plans by CCI Design, Inc. dated 10.25.24:

I. CERTIFICATE OF APPROPRIATENESS

1. **APPROVE** a Certificate of Appropriateness for the addition at 7 Annwood Lane with the following condition:
 - a. The building permits must be issued within two years of the decision date, or the Certificate of Appropriateness shall expire.
2. **FINDING:** The Board makes this determination per Section 1435-09-2:
 - a. That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

Historic Conservation Board

Hearing Application



II Centennial Plaza
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202
Monday- Friday 7:30 am- 4 pm
513-352-1559

Section 1. SUBJECT PROPERTY

ADDRESS _____ COMMUNITY _____
PARCEL ID(S) _____ HISTORIC DISTRICT _____
BASE ZONING CLASSIFICATION _____ HILLSIDE DISTRICT: Yes No
 Non-Residential Project Residential Project (RCO) One -, Two -, and Three- Family Dwelling

Section 2. APPLICANT

NAME _____ CONTACT PERSON (if legal entity) _____
ADDRESS _____ CITY Cincinnati STATE _____ ZIP _____
EMAIL _____ RELATIONSHIP TO OWNER (if not owner) _____
TELEPHONE _____

Section 3. OWNER

NAME _____ CONTACT PERSON (if legal entity) _____
ADDRESS _____ CITY _____ STATE _____ ZIP _____
EMAIL _____ RELATIONSHIP TO OWNER (if not owner) _____
TELEPHONE _____

Section 4. NATURE OF CERTIFICATE OF APPROPRIATENESS REQUESTED

A certificate of appropriateness is NOT being requested. (Proceed to Section 5.)

A certificate of appropriateness is being requested for:

New Construction Alteration Demolition

BRIEF DESCRIPTION OF PROJECT (*Do not write "see attached" or leave blank.*)

Section 5. NATURE OF ZONING RELIEF REQUESTED

Zoning relief is NOT being requested, or select all that apply:
 Variance Special Exception Conditional Use Use Variance
 Expansion or Substitution of Non-Conforming Use Hillside Overlay District Permission
 Urban Design Overlay District Permission DD District Phased Development Approval

BRIEF DESCRIPTION OF ZONING RELIEF REQUESTED (*Do not write "see attached" or leave blank.*)

Section 6. SIGNATURE.

I certify that all statements and documents that I provide with reference to this application are accurate, complete, and true to the best of my knowledge and belief. I further acknowledge that my application shall be deemed incomplete for my failure to timely comply with any requirement of this application, which non-compliance may result in delays in the scheduling and resolution of my application.

Print Name _____ **Signature** _____ **Date** _____

Section 7. DOCUMENTATION SUBMISSION REQUIREMENTS.

Important Information: An application will not be deemed complete until all required documents listed below have been submitted and the application fee is paid in full. All transactions must be completed by 4:00pm. No exceptions. Applicants are strongly encouraged to submit as early as possible to allow time for review and revisions. Partial applications cannot be processed. Failure to submit a complete application prior to 4:00pm on a deadline date will result in delays to the assigned hearing date.

<input type="checkbox"/>	Submit two (2) paper copies collated, single sided and bound together of all the documents listed below, AND one (1) digital copy on a thumb/flash drive in PDF format of all documents listed below. <i>No emails.</i>
<input type="checkbox"/>	Historic Conservation Board hearing application; pages 1-2 only. The instruction pages should not be included in your submission.
<input type="checkbox"/>	Adjudication Letter AND worksheet issued by the Department of City Planning & Engagement – Urban Conservator’s Office. Provide all documents requested on the worksheet.
<input type="checkbox"/>	A written statement explaining how the proposed project meets the applicable Historic Conservation Guidelines and, if requested, Zoning relief. Separate instructions for preparing this statement are attached. <i>If you fail to follow the instructions for your type of request(s), your application may be denied.</i>
<input type="checkbox"/>	Applications requesting development permission in a Hillside Overlay District must meet the additional requirements found in Cincinnati Municipal Code 1433-15. <i>Please ensure your application meets these requirements.</i>
<input type="checkbox"/>	All documents (forms, letters, etc.) must be formatted to 8.5x11. Font no smaller than size 11. Plans or drawings may be formatted to 11x17 or 12x18. <i>No larger sizes will be accepted.</i>
<input type="checkbox"/>	Accurate drawings, plans or surveys (including a graphic scale) of existing and proposed project showing parcel lines, boundaries, dimensions, areas, topography, and frontage of the property involved, as well as the location and dimensions of all primary and accessory structures from the nearest property lines. Provide all parcels and structures adjacent to the site. When landscaping is required by the zoning code, a landscaping plan must be provided.
<input type="checkbox"/>	Detailed information (such as drawings, elevations with measurements, specifications) fully depicting the exterior and/or interior appearance of the existing and proposed project, including parking and access, exterior lighting, landscaping, signs, roof and floor plans involved in the application. Provide labeled photographs of existing conditions of all sides/directions of the structure/property.
<input type="checkbox"/>	The Hamilton County Auditor’s record showing ownership of the property. If the Hamilton County Auditor’s official records do not list the applicant or owner as the owner of the property, please provide a lease, contract to purchase, or other agreement demonstrating the applicant or owner’s legal basis to seek the relief requested.
<input type="checkbox"/>	A list of witnesses, expert witnesses, or legal counsel who you expect to testify at the hearing on this application. Please provide names and email addresses.
<input type="checkbox"/>	Other documents or information you intend to introduce at the hearing on this application.
<input type="checkbox"/>	A non-refundable application fee - a check made payable to “City of Cincinnati.”

To help avoid delays, it is strongly suggested that you present your application to neighboring property owners and any interested neighborhood community groups prior to the hearing on your application. This will give you a prior opportunity to address your neighbors’ concerns or objections and can facilitate the approval of your application.

ADJUDICATION/DENIAL LETTER

Date: October 25, 2024

Location: 7 Annwood Lane

Request: COA

Zoning District: SF-10-MH/ East Walnut Hills Historic District

The City of Cincinnati appreciates receiving information regarding your proposed project. The purpose of this letter is to inform you that your proposed project requires a Certificate of Appropriateness from the Historic Conservation Board, as it is within a local historic district and involves exterior alterations to the building, specifically, a new front porch addition.

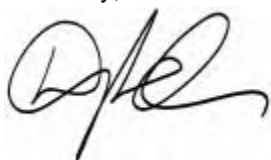
All documents **that are checked** on the “Checklist for Historic Conservation Board” document are a required part of the submission, and the submission will not be considered complete unless all of these documents are included. When you submit the copies of the application, the “Checklist” Sheet must be submitted as well. The application can be found at this link: <https://www.cincinnati-oh.gov/sites/planning/assets/HCB%20Application%20Revised%202.2.22%20Hyperlink.pdf>.

All deadlines for upcoming Historic Conservation Board hearings can be found <https://www.cincinnati-oh.gov/planning/historic-conservation/historic-conservation-board/>. **Applications must be submitted no later than 3pm on the deadline date.**

The applications and documents required will be turned into the *Law Department- Office of Administrative Boards*. Their office is located on the 5th floor of 805 Central Avenue in the Permit Center. Applications can be turned in **no later than 3pm on the deadline date**. You must contact Kasandra Maynes at 513-352-1559 or Kasandra.Maynes@cincinnati-oh.gov for submittal.

You may also contact me at the information listed below with historic conservation or zoning questions, concerns or to make an appointment.

Sincerely,



Douglas Owen

Urban Conservator

(p): 513-352-4848

(e): douglas.owen@cincinnati-oh.gov

Checklist for Historic Conservation Board Hearing Application

The Historic Conservation Office will provide this list with the required items

checked off when an Adjudication letter is issued. All items checked must be submitted to the Law Department with submission or the application will not be accepted.

- 8 business days before the hearing date 10 hard copies and a digital copy in one pdf for the final board packet. Hard copies must be formatted and retain the proper scale on sheets no larger than 11x17 or 12x18.
- Non-Refundable Application Fee. Checks made payable to the City of Cincinnati. \$ 649.10

All Drawings and Plans must include the following

- ✓ A graphic scale required on all drawings
- ✓ North arrows on all site, context and floor plans
- ✓ Elevations labeled with North, South, East West, front, side and rear labels
- ✓ Street names labeled
- ✓ Date and/or revision dates

Architectural Drawings and Plans

- An index of drawings located on the first sheet
- Context Map showing the building within at least a block of context
- Existing site plans
- Proposed site plans
 - All site plans must have*
 - ✓ *Parcel/boundary lines*
 - ✓ *Building footprints and dimensions labeled*
 - ✓ *Setback dimensions from all property lines labeled*
 - ✓ *Existing and proposed principal and accessory buildings, including location, dimensions, and height labeled;*
 - ✓ *All properties and their structures immediately adjacent to the site*
 - ✓ *Location and placement of exterior utilities and vents*
- Existing elevation drawings (At minimum must provide photographs of existing conditions of all elevations)
- Proposed elevation drawings
 - All elevations (existing and proposed) must have*
 - ✓ *Total Height from grade to top of the building*
 - ✓ *Total height- ASL (Above Sea Level)*
 - ✓ *Materials labeled*
 - ✓ *Location and placement of exterior utilities and vents*
- Existing floor plans and roof plans (with chimney locations)
- Proposed floor plans and roof plans (with chimney locations)
 - All floor(existing and proposed) plans must have*
 - ✓ *Residential and Commercial Spaces labeled. Residential Spaces must be numbered.*
 - ✓ *Square feet of commercial spaces listed*
 - ✓ *Location of trash storage and Utilities*
 - ✓ *Location and placement of exterior utilities and vents*

- Site section and/or Site elevations including any adjacent properties
- Driveways, sidewalks, walkways, terraces, and other paved surfaces
- Existing and proposed accessory structures, including walls, fences, porches, lighting, signs, and other site improvements;
- Existing and proposed landscape areas and materials, if proposed to be altered;
- Proposed materials, textures, and colors. Include make, model and series for proposed materials
- Labeled photos of all sides of the building
- Labeled photos of 1 block streetscape context in all directions
- Site line drawings for any roof additions, roof decks, utilities.
- A color rendering, axonometric drawings and/or perspective of the proposed construction (required on infill projects)

Required if applicable to the project

- Historic Sanborn Maps of the site
- Window brochures and cut sheet
- Roof product information (brochure)
- Garage door brochures
- Sample materials or color samples. _____
- Fence drawings of style, fence brochures or photo of a sample fence
- Signs; drawings, photo showing the sign on the building, mounting info, materials, colors and illumination
- Mature tree removal requires a letter from an arborist stating its poor health
- All written correspondence submitted by the applicant and other affected persons
- Tentative project schedule
- Egress Plan/Route to Building Code Compliance (roof decks, multi-family developments)
- _____
- _____
- _____

Demolition (full or partial) for Historic Conservation Districts and Landmarks

- Demolition Case Sheet and all required information listed on the sheet unless otherwise not required by the Urban Conservator in writing and provided with application.
- Statement of plans for the property after demolition.

Hillside Overlay Zone (CZC § 1433)

- A development plan, accompanied by a property survey, showing existing vegetation and proposed development, and where applicable, streets, drives, parking areas, walkways, heights of structure(s), location of structures, elevation and setback of proposed buildings, drainage, existing contours and proposed grading and new landscaping plans, proposed uses and square footage of uses and recreational facilities;
- A preliminary geotechnical evaluation;
- A determination of the maximum building envelope;
- Average slope/grade of the property; and
- Graphic illustrations demonstrating that the proposed improvement or new structure has not exceeded the maximum building envelope

For additional questions about this checklist contact Urban Conservator at 513-352-4848 or urban.conservator@cincinnati-oh.gov

Note: The aforementioned information is general in nature. Additional information may be required by the Urban Conservator once the application is submitted. Please use this list to plan for the potential documents that could be required for a submission.



October 30, 2024

Mr. Douglas Owen - Urban Conservator
City of Cincinnati Historic Conservation Office
Two Centennial Plaza
805 Central Avenue, Suite 500
Cincinnati, OH 45202

Dear Mr. Owen,

Our clients, Mr. & Mrs. Thomas Finn, would like to add a covered front porch to their home at 7 Annwood Lane in the East Walnut Hills Historic District. The home is a Colonial Revival design, and the front door is recessed less than two feet into the front wall of the house with a decorative wood surround including raised panels, pilasters, and scrollwork over the head of the door. This provides inadequate shelter from the elements.

The Finns are aging, and the front entrance is the only way into and out of the home that doesn't require navigating a flight of stairs. The proposed covered porch roof is the best means to provide shelter from rain, snow, and ice for their primary entrance. The Finns have invested significantly into the upkeep of the home, with the intention of aging in place. If this porch roof cannot be added, then safety and mobility concerns may require the Finns to find a new home.

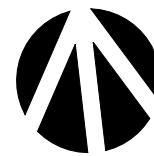
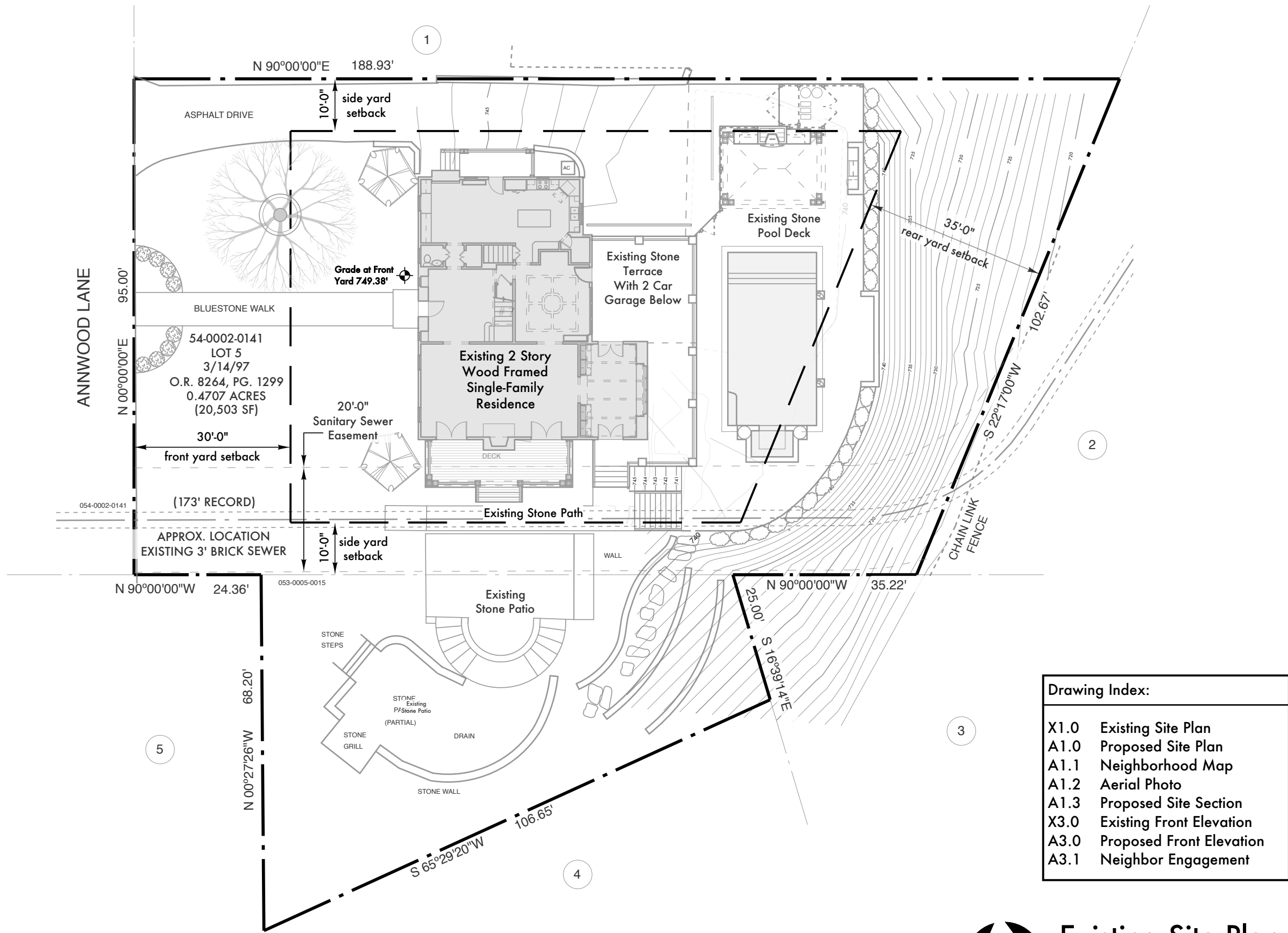
Our proposed porch design uses traditional Colonial Revival elements and proportions to achieve a look that is sympathetic to the home and is consistent with similar porches on other homes in the neighborhood, notably 3 Annwood Ln; 2999, 2969, 2963, & 2957 Annwood St; 1861 & 1920 Dexter Ave; 3048 & 2928 Wold Ave; 1890 Madison Rd; and 1854 Keys Crescent. Per email correspondence with you between 10/15/24 and 10/23/24, we are proposing a porch with an open-fronted pediment to allow the existing scrollwork above the door to remain visible. All neighbors on Annwood Lane were consulted (except #11 which is vacant and being remodeled), and they approve of the design proposal, see the notated plan drawing A3.1.

We feel that this approach addresses the life-safety concerns for the owners aging in place without adding undue economic hardship, while also respecting the integrity of the home and the East Walnut Hills Historic District's conservation guidelines. We appreciate your consideration and feedback, and we respectfully request that you and the Historic Conservation Board approve the submitted design.

Sincerely,

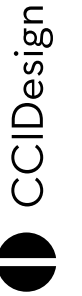
A handwritten signature in black ink that reads "Jeffrey B. Jakucyk".

Jeffrey B. Jakucyk
CCI Design, Inc.



Existing Site Plan

Scale: 1"=20'-0"

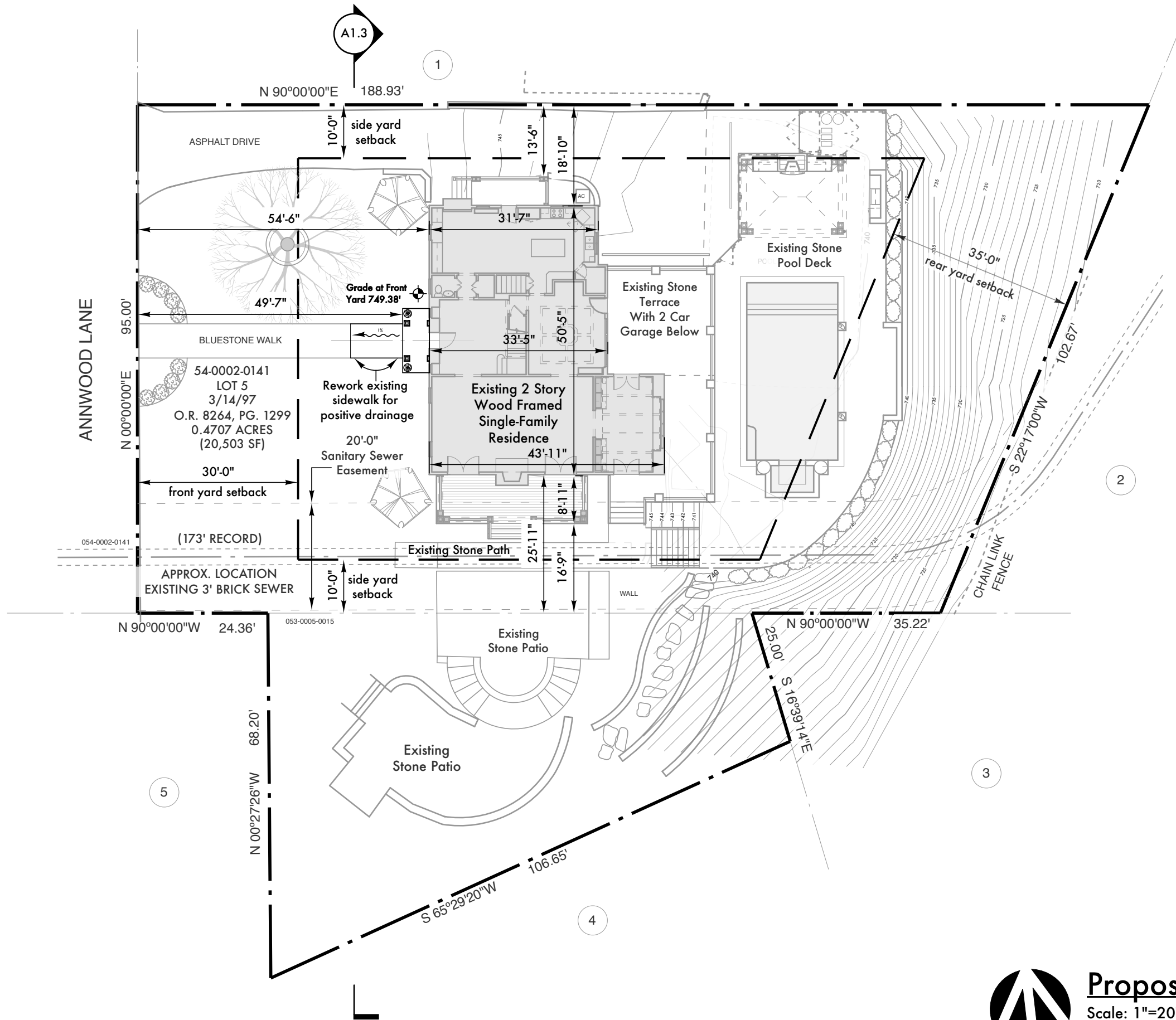


CCI Design, Inc.
 6658 Chestnut Street
 Cincinnati, Ohio 45227
 513 272 8776
 513 272 8777 fax
 www.cci-design.com

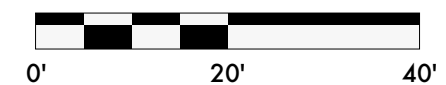
Issue date: 10/30/2024
Drawn by: TCG, JBJ
Checked by: DJC
Plotted: 10/29/24

Finn Front Porch
 7 Annwood Lane
 Cincinnati, Ohio 45206

X1.0



Proposed Site Plan
 Scale: 1"=20'-0"

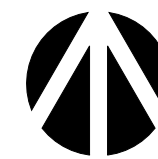
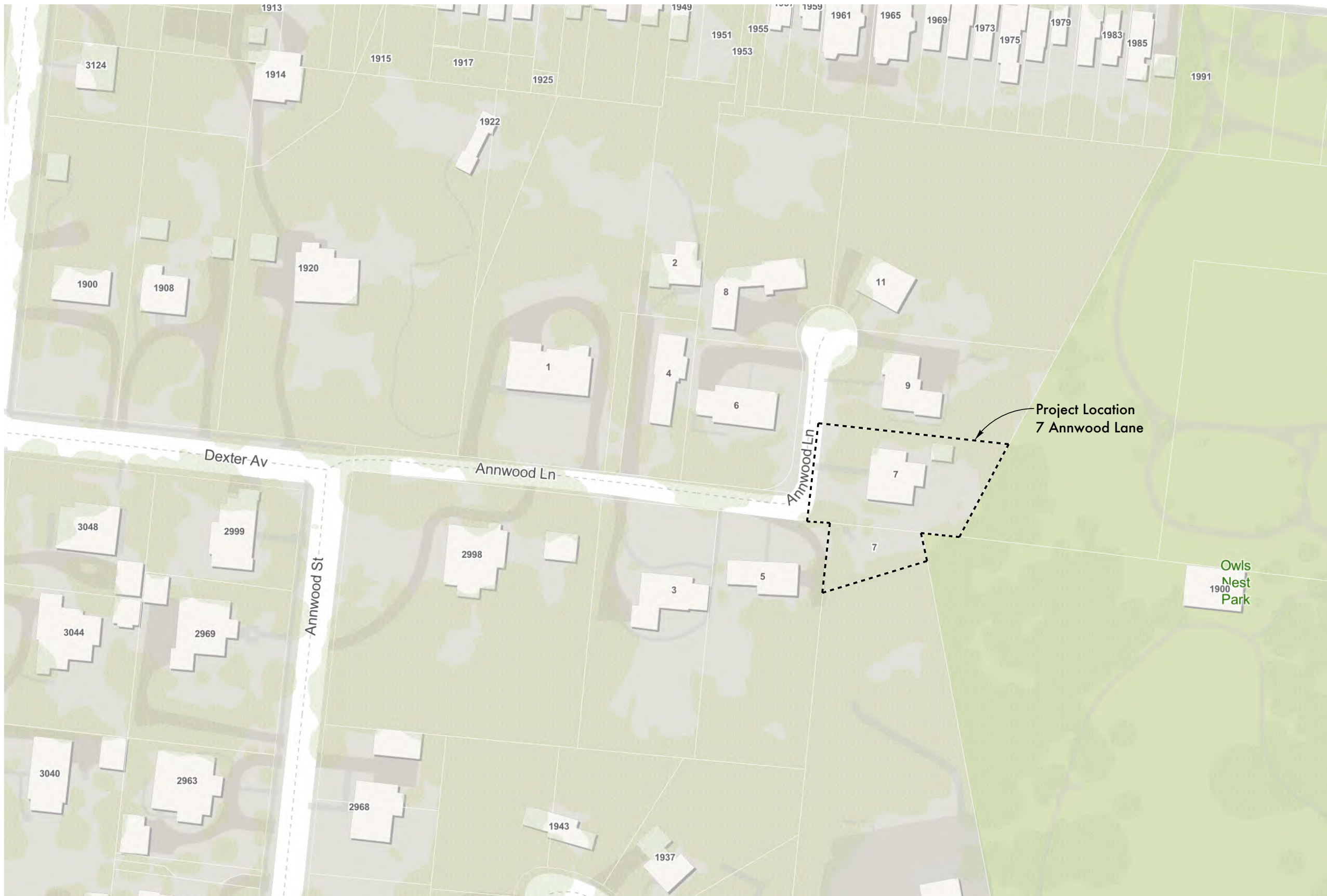


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Issue date: 10/14/2024
Drawn by: TCG, JBJ
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Plotted: 10/29/24

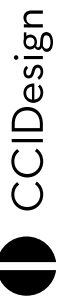
Finn Front Porch
 7 Annwood Lane
 Cincinnati, Ohio 45206

A1.0



Neighborhood Map

Scale: 1"=100'-0"



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 6658 Chestnut Street
 Cincinnati, Ohio 45227
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 513 272 8777 fax
 www.cci-design.com

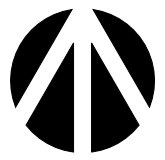
Issue date: 10/14/2024
Drawn by: TCG, JBJ
Checked by: DJC
Plotted: 10/29/24

Finn Front Porch
 7 Annwood Lane
 Cincinnati, Ohio 45206

A1.1



Project Location
7 Annwood Lane



Aerial Photo

Scale: 1"=40'-0"

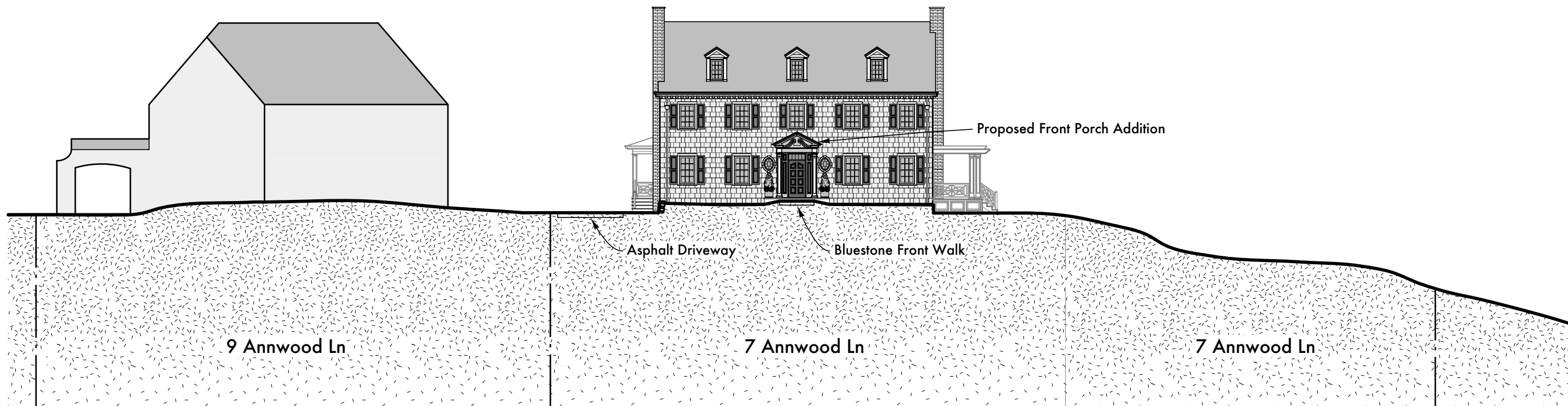


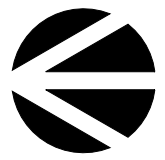

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Cincinnati, Ohio 45227
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Issue date: 10/14/2024
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Finn Front Porch
7 Annwood Lane
Cincinnati, Ohio 45206

A1.2




Proposed Site Section
 Scale: 1"=20'-0"


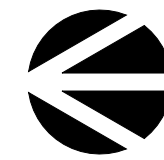
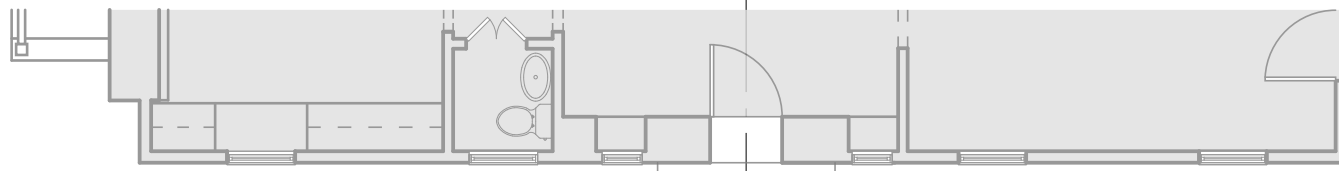
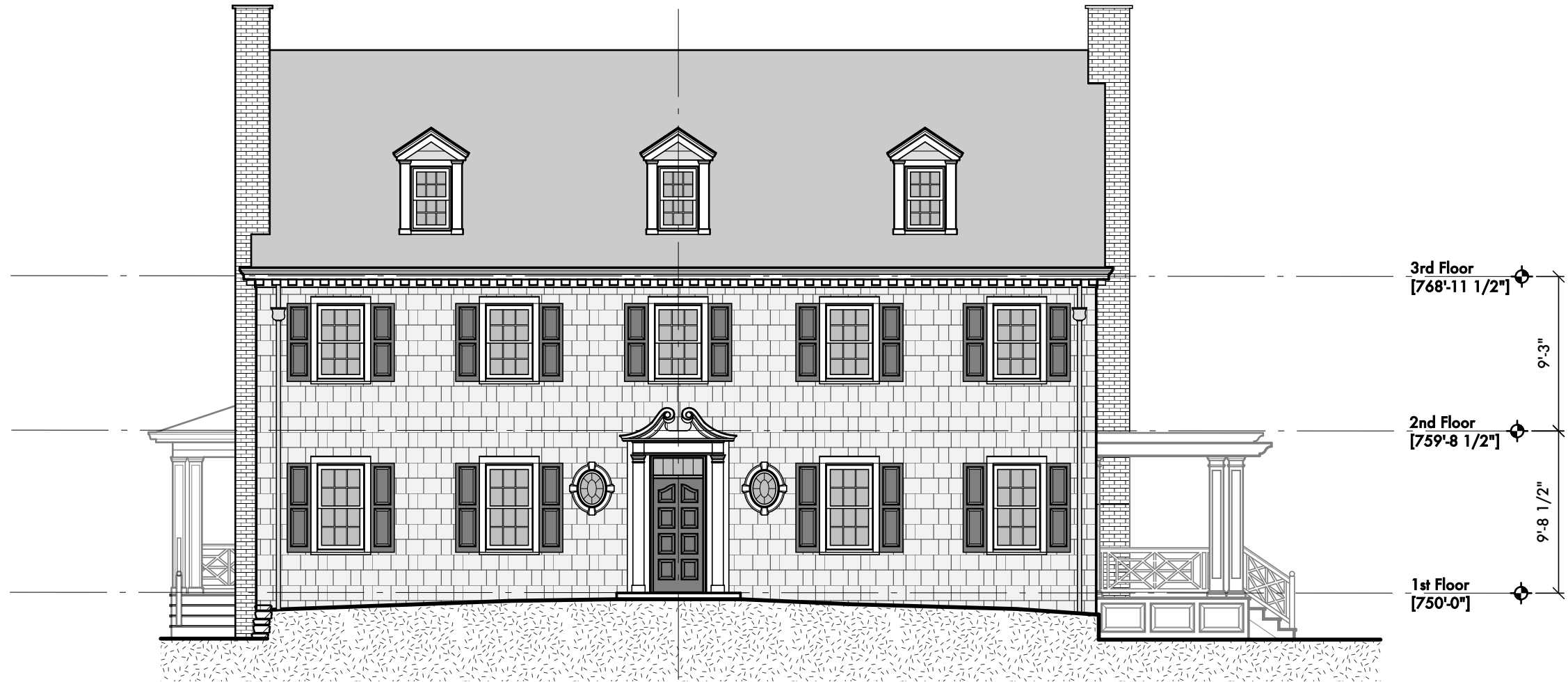


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Issue date: 10/30/2024
Drawn by: JBJ
Checked by: DJC
Plotted: 10/29/24

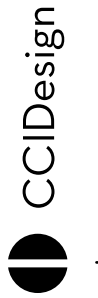
Finn Front Porch
 7 Annwood Lane
 Cincinnati, Ohio 45206

A1.3



Existing Front Elevation

Scale: 1/8"=1'-0"

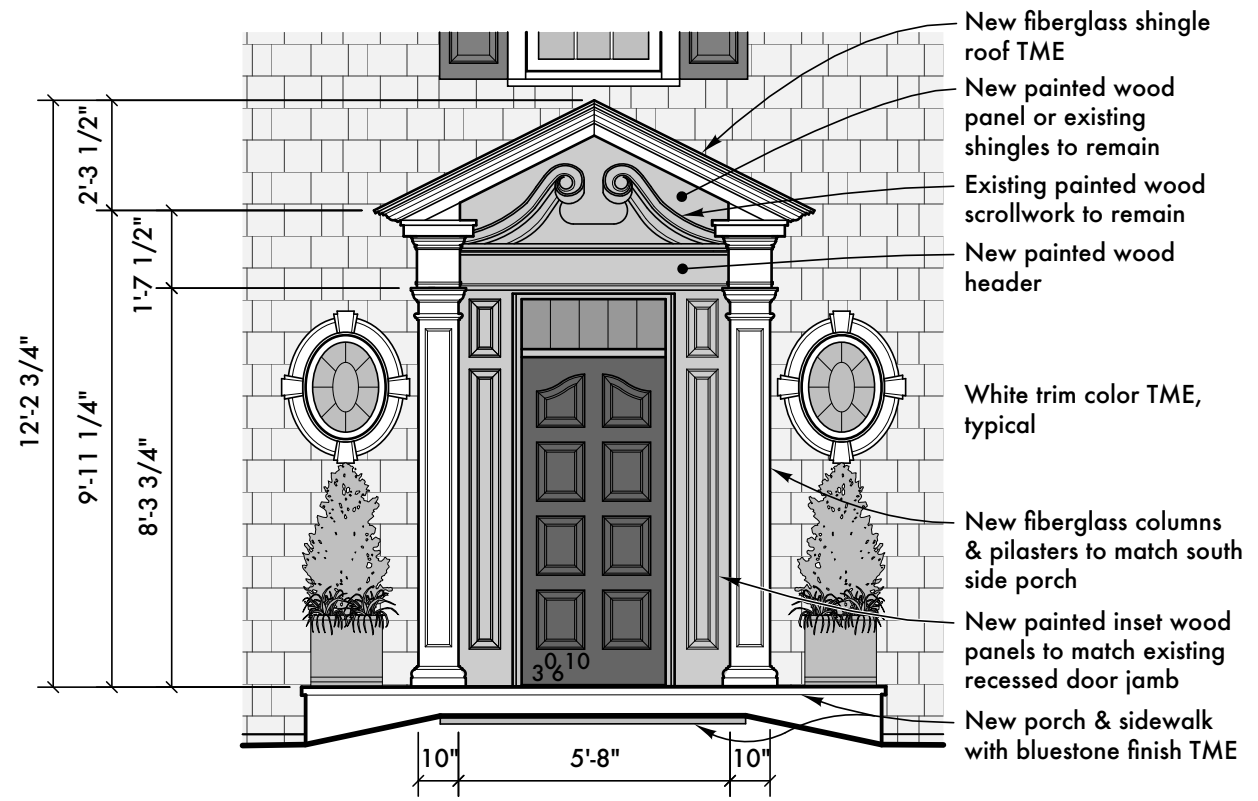
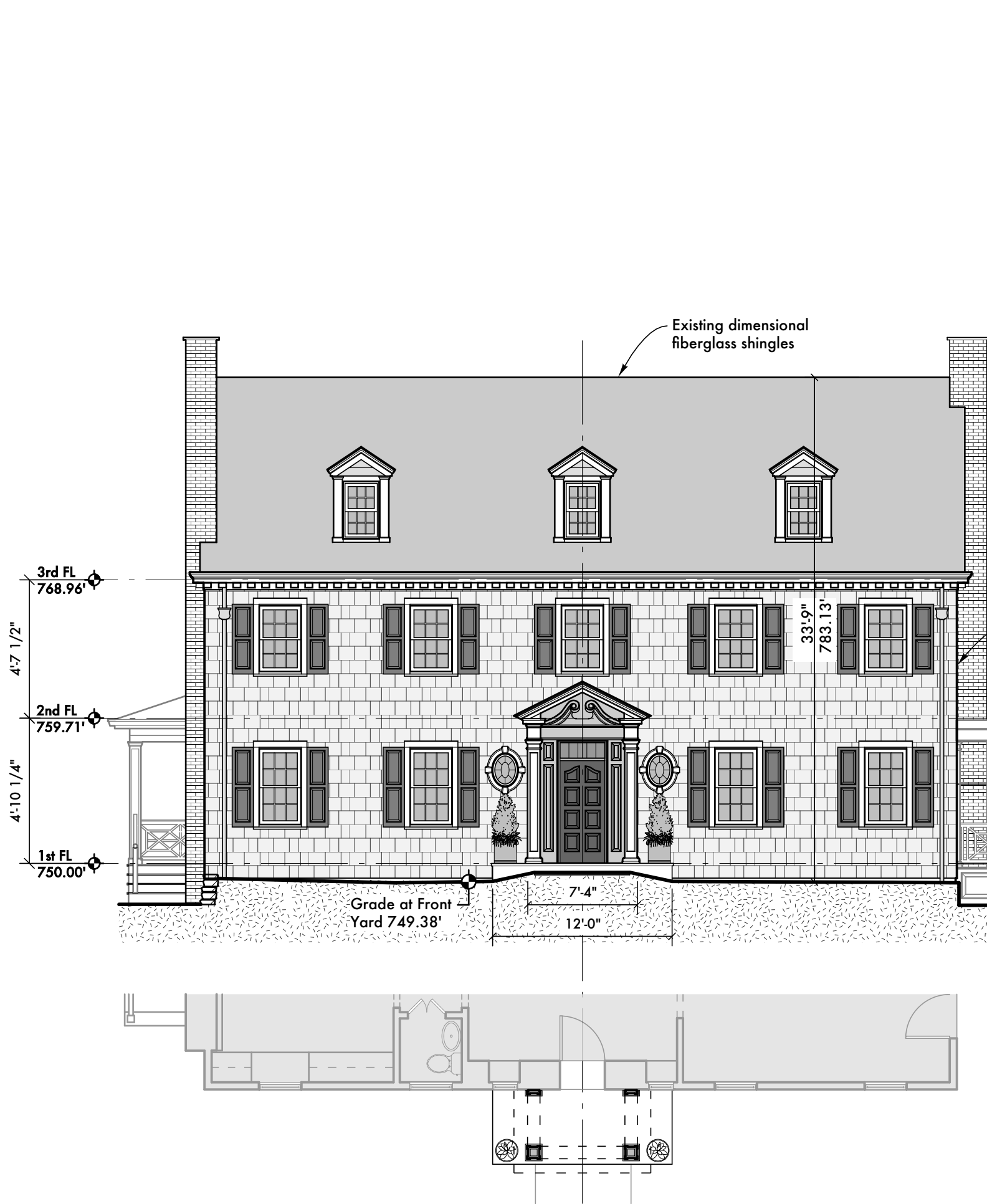


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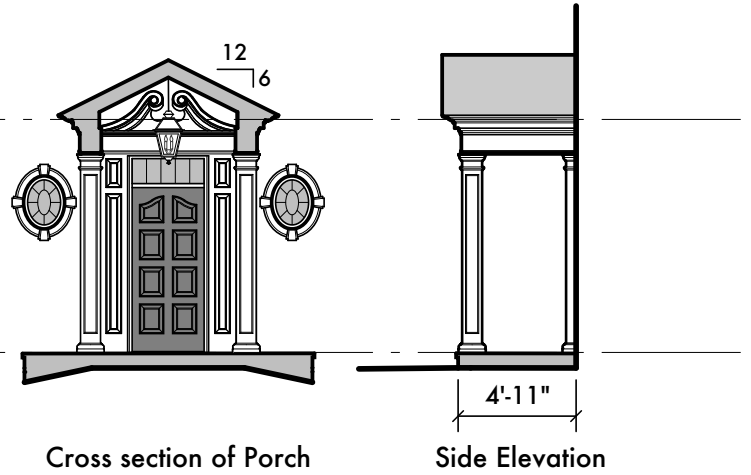
Issue date: 10/14/2024
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Finn Front Porch
 7 Annwood Lane
 Cincinnati, Ohio 45206

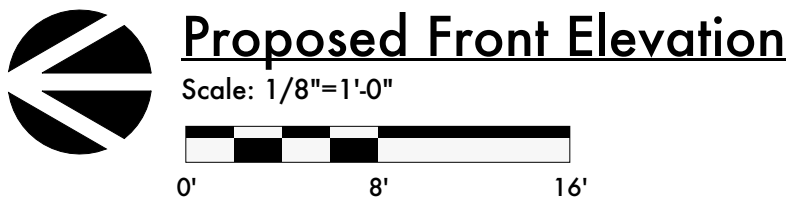
X3.0



Elevation Detail
Scale: 1/4"=1'-0"



Cross section of Porch Side Elevation



Proposed Front Elevation
Scale: 1/8"=1'-0"

- New fiberglass shingle roof TME
- New painted wood panel or existing shingles to remain
- Existing painted wood scrollwork to remain
- New painted wood header
- White trim color TME, typical
- New fiberglass columns & pilasters to match south side porch
- New painted inset wood panels to match existing recessed door jamb
- New porch & sidewalk with bluestone finish TME

CCIDesign

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Finn Front Porch
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A3.0

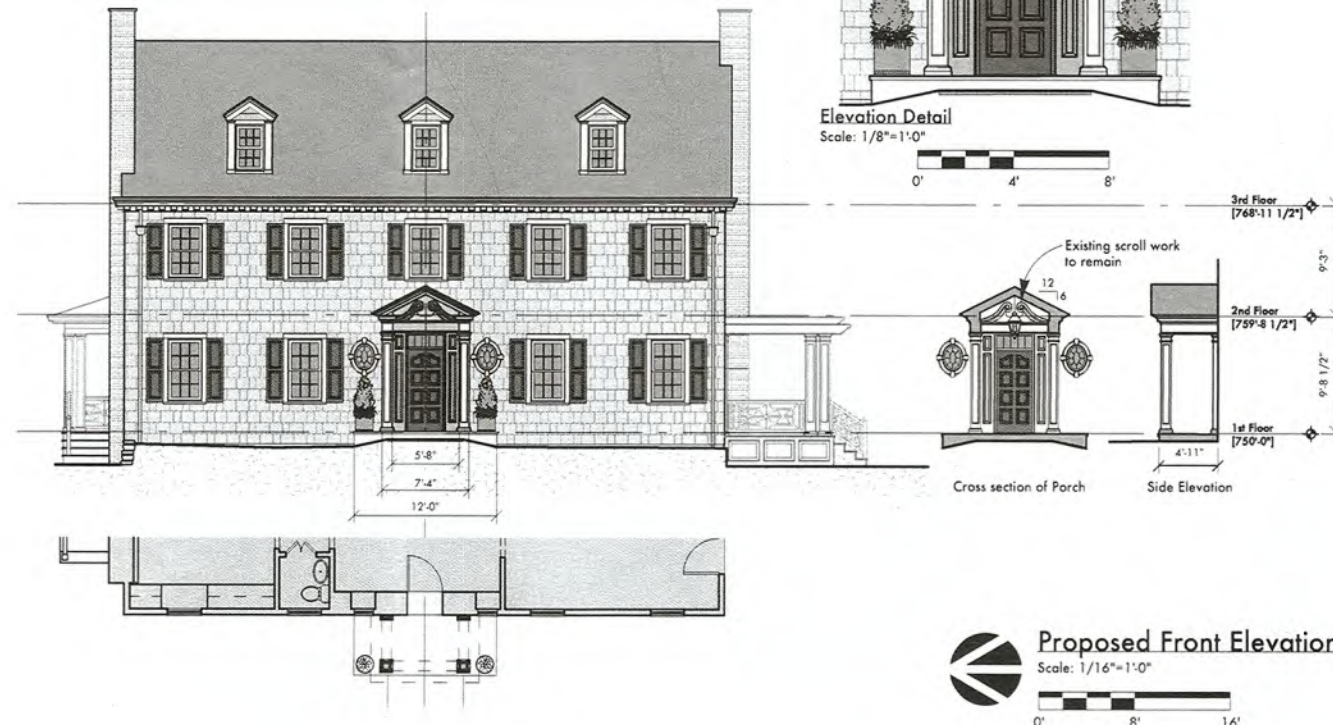
I/we are neighbors of the Finns. We have reviewed the proposed front porch addition and wish to indicate our support for the project as designed:

Denise Rizerny Printed Name	<i>[Signature]</i> Signature	9 Annwood Ln Cincy, OH 45206 Address	<i>[Date]</i> Date
STAN MASTERS Printed Name	<i>[Signature]</i> Signature	8 ANNWOOD LN CINCINNATI, OH 45206 Address	<i>[Date]</i> Date
Christopher M. Bell Printed Name	<i>[Signature]</i> Signature	3 Annwood Ln Address	10-26-24 Date
Anthony Perazza Printed Name	<i>[Signature]</i> Signature	4 Annwood Address	10/26/24 Date
Ryan Crane Printed Name	<i>[Signature]</i> Signature	1 Annwood Address	10/26/24 Date
JOHN HELMICK Printed Name	<i>[Signature]</i> Signature	5 Annwood Address	10-26-24 Date
Bernell Hill Printed Name	<i>[Signature]</i> Signature	2 Annwood Address	10-26-24 Date
Sonya Forgy Printed Name	<i>[Signature]</i> Signature	6 Annwood Address	10-26-24 Date

Mr. & Mrs. Finn would like to add a covered front porch to their home. They are aging, and the front entrance is the only way into and out of the home that doesn't require navigating a full flight of stairs. The existing front door alcove provides inadequate shelter from the elements, so a new porch is the best means to provide shelter from rain, snow, and ice for the entrance they use every day.

The proposed porch design uses traditional Colonial Revival elements and proportions to achieve a look that is sympathetic to the home and is consistent with similar porches on other homes in the neighborhood. We are proposing a porch roof with an open-fronted pediment to allow the existing scrollwork above the door to remain visible.

We feel that this approach addresses the life-safety concerns for the owners aging in place without adding undue economic hardship, while also respecting the integrity of the home and the East Walnut Hills Historic District's conservation guidelines.



CCIDesign
CCI Design, Inc.
6658 Chestnut Street
Cincinnati, Ohio 45227
513 272 8776
www.cci-design.com

Issue date: 10/25/2024
Drawn by: TCG, JBJ
Checked by: DJC
Plotted: 10/25/24

Finn Front Porch
7 Annwood Lane
Cincinnati, Ohio 45206

A3.1



7 Annwood Ln, Front (West) Side



7 Annwood Ln, Front (West) Side Detail



7 Annwood Ln, Left (North) Side



7 Annwood Ln, Rear (East) Side



7 Annwood Ln, Right (South) Side



9 Annwood Ln, Front (West) Side



11 Annwood Ln, Front (Southwest) Side



8 Annwood Ln, Front (Southeast) Side



6 Annwood Ln, Front (South) Side



6 Annwood Ln, Right (East) Side Facing 7 Annwood



5 Annwood Ln, Front (North) Side



3 Annwood Ln, Front (North) Side, With Front Porch



4 Annwood Ln Right (South) Side & Front (West) Side From Street, 2 Annwood Ln Behind



1 Annwood Ln, Front (South) Side



2998 Annwood St, Rear & Garage Looking South From Annwood Ln



2998 Annwood St, With Front Porch



2999 Annwood St, With Front Porch



2969 Annwood St, With Front Porch



2963 Annwood St, With Front Porch



2957 Annwood St, With Front Porch



1861 Dexter Ave, With Front Porch



1920 Dexter Ave, With Front Porch



3048 Wold Ave, With Front Porch



2928 Wold Ave, With Front Porch



1890 Madison Rd, With Front Porch



1854 Keys Crescent, With Front Porch

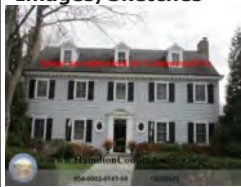
Jessica E. Miranda, Hamilton County Auditor

Property Report

generated on 10/29/2024 11:53:59 AM EDT

Parcel ID 054-0002-0141-00	Address 7 ANNWOOD LN	Index Order Parcel Number	Tax Year 2023 Payable 2024
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Property Information

Tax District 001 - CINTI CORP-CINTI CSD	School District CINCINNATI CSD	Images/Sketches	
Appraisal Area 00700 - EAST WALNUT HILLS <u>Sales</u>	Auditor Land Use 510 - SINGLE FAMILY DWLG		
Owner Name and Address FINN THOMAS L & MARY ELIZABETH 7 ANNWOOD LN CINCINNATI OH 452061419 (Questions? 946-4015 or county.auditor@auditor.hamilton-co.org)	Tax Bill Mail Address FINN THOMAS L & MARY ELIZABETH 7 ANNWOOD LN CINCINNATI OH 452061419 (Questions? 946-4800 or treasurer.taxbills@hamilton-co.org)		
Assessed Value 329,020	Effective Tax Rate 69.301606	Total Tax \$20,076.96	
Property Description 7 ANNWOOD LN 95 X 188.93 IRR LOT 5 ANNWOOD SUB			

Appraisal/Sales Summary

Year Built	1928
Total Rooms	11
# Bedrooms	4
# Full Bathrooms	4
# Half Bathrooms	1
Last Transfer Date	5/8/2000
Last Sale Amount	\$0
Conveyance Number	0
Deed Type	WE - Warranty Deed (EX)
Deed Number	905274
# of Parcels Sold	2
Acreage	0.412

Tax/Credit/Value Summary

Board of Revision	No
Rental Registration	No
Homestead	No
Owner Occupancy Credit	Yes
Foreclosure	No
Special Assessments	No
Market Land Value	112,400
CAUV Value	0
Market Improvement Value	827,650
Market Total Value	940,050
TIF Value	0
Abated Value	0
Exempt Value	0
Taxes Paid	\$20,076.96

Notes

1) 4-13-98 RENOVATION 100% FOR 1998 2) 4-14-98 10 YR CRA ABATEMENT - BEGAN TAX YR 1998 THRU 2007 3) 1-18-08 CRA ABATEMENT EXPIRES 2008 PAY 2009


Jessica E. Miranda, Hamilton County Auditor

generated on 10/29/2024 11:54:28 AM EDT

Property Report

Parcel ID 053-0005-0015-00	Address 7 ANNWOOD LN	Index Order Parcel Number	Tax Year 2023 Payable 2024
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Property Information

Tax District 001 - CINTI CORP-CINTI CSD	School District CINCINNATI CSD	Images/Sketches 
Appraisal Area 00700 - EAST WALNUT HILLS <u>Sales</u>	Auditor Land Use 500 - RESIDENTIAL VACANT LAND	
Owner Name and Address FINN THOMAS L & MARY ELIZABETH 7 ANNWOOD LN CINCINNATI OH 452061419 (Questions? 946-4015 or county.auditor@auditor.hamilton-co.org)	Tax Bill Mail Address FINN THOMAS L & MARY ELIZABETH 7 ANNWOOD LN CINCINNATI OH 452061419 (Questions? 946-4800 or treasurer.taxbills@hamilton-co.org)	
Assessed Value 990	Effective Tax Rate 69.301606	Total Tax \$62.66

Property Description
ANNWOOD LN 90.42 X 68.20 IRR SS DEXTER AVE 474 FT E OF ANNWOOD AVE

Appraisal/Sales Summary	
Year Built	
Total Rooms	
# Bedrooms	
# Full Bathrooms	
# Half Bathrooms	
Last Transfer Date	5/8/2000
Last Sale Amount	\$0
Conveyance Number	0
Deed Type	WE - Warranty Deed (EX)
Deed Number	905274
# of Parcels Sold	2
Acreage	0.105

Tax/Credit/Value Summary	
Board of Revision	No
Rental Registration	No
Homestead	No
Owner Occupancy Credit	No
Foreclosure	No
Special Assessments	No
Market Land Value	2,820
CAUV Value	0
Market Improvement Value	0
Market Total Value	2,820
TIF Value	0
Abated Value	0
Exempt Value	0
Taxes Paid	\$62.66

Notes

**APPLICATION FOR
CERTIFICATE OF APPROPRIATENESS
HISTORIC CONSERVATION BOARD PUBLIC HEARING
STAFF REPORT**

APPLICATION #: COA2024050
APPLICANT: Cear J. Baggett
OWNER: Cear J. Baggett
ADDRESS: **845 Dayton Street**
PARCELS: 132-0002-0048
ZONING: RM 1.2
OVERLAYS: Dayton Street Historic District
COMMUNITY: West End
REPORT DATE: November 27, 2024
STAFF REVIEW: Douglas Owen, Urban Conservator

Existing Conditions:

The property at 845 Dayton Street is located on the south side of Dayton Street between its intersection with Baymiller Street on the west and Linn Street on the east. Naeher Street is located directly behind the property to the south. The property contains a ca. 1880 two-story masonry building in the Italianate style, which is currently used as a single-family dwelling. A driveway currently extends from Dayton Street to Naeher Street and is used for surface parking.

Proposed Conditions:

The applicant plans to build a three-car garage addition on the rear of the lot with access from Naeher Street. The garage will be connected to the principal structure by an enclosed breezeway, accessing the main house through an existing door. A roof deck is proposed for the top of the proposed garage addition with a wood guardrail.

Previous Reviews: N/A

Applicable Zoning Code Sections:

Zoning District:	Section 1405	Residential Multi-Family
Variance Request:	Section 1405-07	Development Regulations in RM districts
Variance Authority:	Section 1445-07	HCB authority: Section 1435-05-4
Variance Standard:	Section 1445-13	General Standards: Public Interest
	Section 1445-15	Standards for Variances
Overlays:	Section 1435	Historic Preservation
Historic District/Reg:	Dayton Street Historic District	
COA Standard:	Section 1435-09-2	Certificate of Appropriateness; Standard of Review



Figure 1. Location of subject property. Image from CAGIS.



Figure 2. Image of subject property from Naeh Street, June 2024. Image from Google.

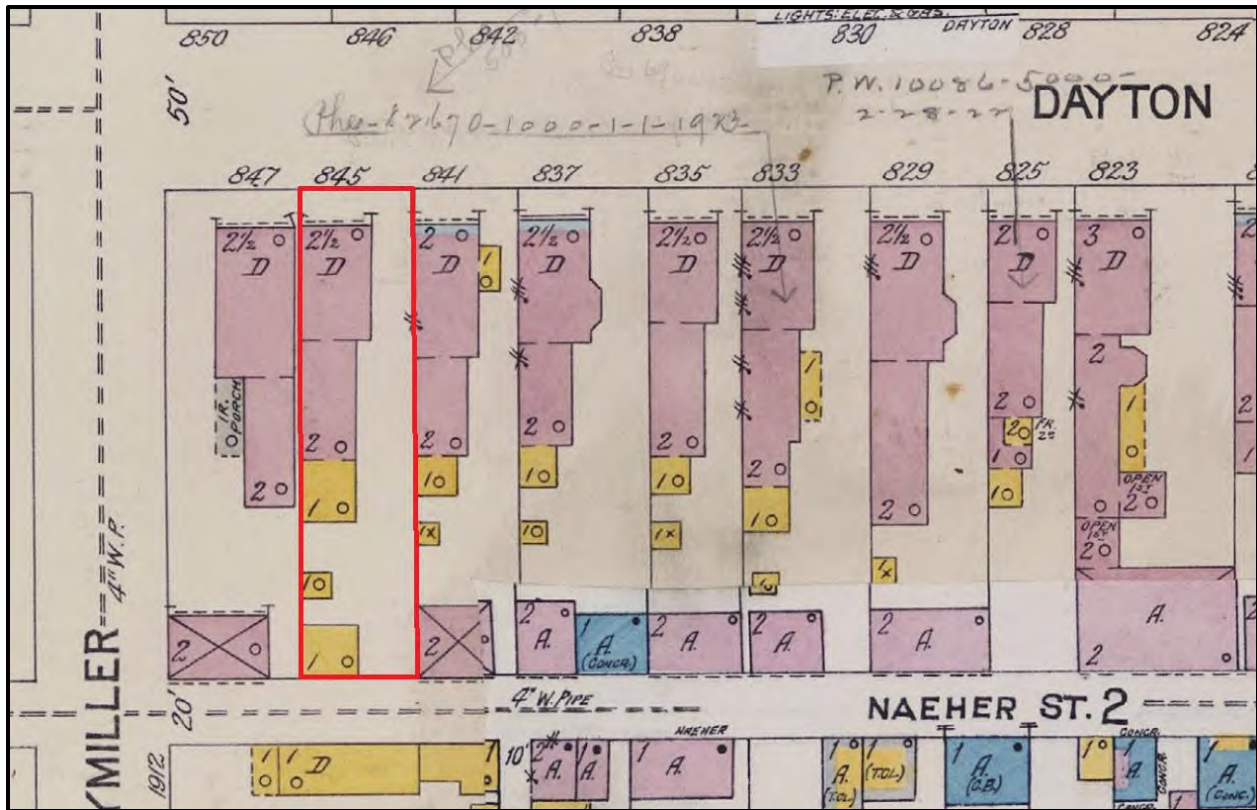


Figure 3. 1904 Sanborn Map corrected to 1929, showing property in red.

Variance Analysis:

Per Section 1435-05-7, “Within designated historic districts, setback and height regulations as prescribed by the underlying zoning district regulations shall not apply. The height and setbacks of structures within historic districts must substantially conform to the applicable Historic District guidelines.” As such, no Zoning Relief is required.

Certificate of Appropriateness Review:

A Certificate of Appropriateness is required for the proposed new rear addition and rooftop deck.

Applicable Guidelines

Guidelines for Additions:

Additions should follow the new construction guidelines. They should be compatible in character with the original building. They should be sympathetic but not imitative in design.

The proposed addition will be compatible with the original building through its massing, scale, siting, and materials.

Additions should be designed to relate architecturally to adjacent buildings in general and to the building they are a part of in particular.

The proposed addition will relate to adjacent buildings, which generally feature rear garages built at or near the rear and side property lines. Between the proposed garage and the original building, an enclosed breezeway will connect the structures, which is compatible with the general pattern of rear wood-frame additions in the vicinity. The property historically had a single-story wood-frame outbuilding in a similar location, as shown on the 1904 Sanborn map.

Additions should not overpower the original building.

The proposed addition will not overpower the original building, as it is one-story to the rear of the existing building and will not be highly visible from Dayton Street.

The appropriateness of design solutions will be based on balancing the program needs of the applicant with: (i) how well the proposed design relates to the original building and neighboring buildings; and (ii) how closely the proposal meets the intent of these general guidelines and the specific guidelines for new construction.

See analysis of New Construction guidelines below.

Guidelines for New Construction:

Composition: *New construction should respond to the traditional composition found in historic properties: a base, middle, and top. Most buildings in the District are built of brick with the principal façade parallel to the street it faces. The most important features of buildings in the District are the arrangement of openings on the building and an overall vertical emphasis of the whole design. Each building has its own variations, but collectively they share many features.*

Base: *New buildings should have a well-defined base. Within the district most buildings have a base that is distinguishable from the rest of the building. This is accomplished through a change in materials, a change of scale, and/or a lintel or other type of horizontal banding. In larger buildings the original base may include more than the first floor. The front entrance should be elevated a top front stairs and a stoop.*

Middle: *Buildings in the District often incorporate architectural details such as changes in plane or changes in materials on the upper floors. Decorative, horizontal bands indicating the floor lines, sill heights, or lintel heights should not overpower the vertical emphasis of the design.*

Top: *New construction shall employ a strong element that terminates the uppermost part of the building. Distinctive elements in the District are elaborate projecting cornices, decorative parapets, or expressive use of materials.*

The proposed addition includes a base, middle and top when viewed from Naeher Street to the rear. The base is primarily defined by the two garage openings, with the top defined by a fascia board along the roof edge and a railing for the roof deck.

Height: *Building heights vary across the District. New building heights shall not create a “jagged” effect in the district but rather relate to the surrounding structures and their proportions. Corner buildings tend to be three stories or taller.*

The proposed addition will be one-story in height. Existing historic carriage house structures along Naeher Street vary in height from one- to two-stories.

Accessory Structures: *Carriage Houses, garages, etc. should follow rehabilitation or new construction guidelines and should be detached from the main house.*

While the proposed garage will be attached to the main house and not be detached, Staff feels this is appropriate in this scenario, as the garage will be placed with a siting consistent with the existing historic and non-historic garages along Naeher Street. The addition will not be highly visible from Dayton Street, as it is placed directly behind the existing structure.

Proportion: *New construction should have a vertical emphasis, because in the District buildings are taller than they are wide, window openings are tall and narrow, and storefronts have slender columns, which emphasize verticality. Commercial and institutional buildings, which may have an overall horizontal emphasis, often incorporate vertical elements, such as pilasters or vertically oriented openings. Most buildings have 2 to 4 window bays.*

The addition will be wider than it is tall at the Naeher Street frontage. This is appropriate, as the addition is on the rear of the site and is consistent with the remaining garage structures in this block.

Rhythm: *New construction shall incorporate design features, such as window groupings, articulation of wall surfaces, and decorative elements such as columns or piers in an effort to maintain the rhythm that already exists in the district. New construction shall avoid creating long unrelieved expanses of wall along the street by maintaining the rhythm of bays found in the district. Building facades typically display vertical subdivisions that establish a visual rhythm. In dense areas such as Dayton Street, there are no setbacks, creating a solid wall along the street. This wall is articulated by the individual buildings, which in turn are divided by window groupings, changes in wall planes and decorative elements such as pilasters, columns or piers.*

The garage addition maintains a compatible rhythm along the rear Naeher Street frontage. The addition will feature a two-car garage door and an additional single-car garage door.

Setback: *The setback for new construction should be consistent with the buildings and nearby sites. Some buildings are set back from the street but retain an “edge” at the property line with a fence to provide public space and to add to their monumentality. In most cases new construction in the District should be built up near the property line parallel to the street, or both street property lines if on a corner site.*

The proposed setback is generally consistent. The addition will have a 1’ setback on the west property line, a 5’ setback from the east property line, and a 5’ setback from the rear (Naeher Street) property line. This placement is consistent with other garages existing along Naeher Street. While most similar structures have a zero setback along Naeher Street, the proposed 5’ setback is minimal.

Materials: *Materials used for exterior treatment of walls including exterior paint, shall be harmonious with the contributing buildings in the District. Clearly the dominant material in the District is brick, but other materials such as limestone, sandstone, cast-iron, slate, wood and are important as well. Materials such as stucco, synthetic stucco and plastic are not encouraged and shall not be considered as exposed finish materials for new construction in this district.*

The addition is proposed with a fiber cement lap siding cladding material. This material is appropriate for the rear of the building. Often, historic structures feature wood-frame rear additions on primarily brick principal structures. Historically, the building featured a single-story wood-frame outbuilding in this approximate location. The remnants of a former stone retaining wall will be removed for the proposed construction.

Design Elements:

Decks: *Wood decks should be stained or painted. Rooftop decks should not be highly visible from the street.*

The proposed roof deck will not be highly visible from Dayton Street, as it is proposed above the new garage addition directly behind the house.

Other Considerations:

N/A

Prehearing Results: A Prehearing was held on November 27, 2024. The applicant was in attendance. No members of the public attended.

Comments Provided to Staff: N/A.

Consistency with *Plan Cincinnati (2012):*
“Sustain” Initiative Area “Preserve our built history”

Recommendation:

Staff recommends the Historic Conservation Board take the following actions based on plans by JJ Drafting Service, LLC dated 8.1.2024:

I. Certificate of Appropriateness

1. **APPROVE** a Certificate of Appropriateness for 845 Dayton Street including any revisions submitted for permit subject to staff review and approval with the following conditions:
 - a. Fiber cement siding material shall be smooth sided with no faux wood grain.
 - b. The building permits must be issued within two years of the decision date, or the Certificate of Appropriateness shall expire.
2. **FINDING:** The Board makes this determination per Section 1435-09-2:
 - a. That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

ADJUDICATION/DENIAL LETTER

Date: October 28, 2024

Location: 845 Dayton Street

Request: COA

Zoning District: RM-1.2/ Dayton Street Historic District

The City of Cincinnati appreciates receiving information regarding your proposed project. The purpose of this letter is to inform you that your proposed project requires a Certificate of Appropriateness from the Historic Conservation Board, as it is within a local historic district and involves exterior alterations to the building, specifically, a rear garage addition with a rooftop deck.

All documents **that are checked** on the "Checklist for Historic Conservation Board" document are a required part of the submission, and the submission will not be considered complete unless all of these documents are included. When you submit the copies of the application, the "Checklist" Sheet must be submitted as well. The application can be found at this link: <https://www.cincinnati-oh.gov/sites/planning/assets/HCB%20Application%20Revised%202.2.22%20Hyperlink.pdf>.

All deadlines for upcoming Historic Conservation Board hearings can be found <https://www.cincinnati-oh.gov/planning/historic-conservation/historic-conservation-board/>. **Applications must be submitted no later than 3pm on the deadline date.**

The applications and documents required will be turned into the *Law Department- Office of Administrative Boards*. Their office is located on the 5th floor of 805 Central Avenue in the Permit Center. Applications can be turned in **no later than 3pm on the deadline date**. You must contact Kasandra Maynes at 513-352-1559 or Kasandra.Maynes@cincinnati-oh.gov for submittal.

You may also contact me at the information listed below with historic conservation or zoning questions, concerns or to make an appointment.

Sincerely,



Douglas Owen

Urban Conservator

(p): 513-352-4848

(e): douglas.owen@cincinnati-oh.gov

Checklist for Historic Conservation Board Hearing Application

The Historic Conservation Office will provide this list with the required items

checked off when an Adjudication letter is issued. All items checked must be submitted to the Law Department with submission or the application will not be accepted.

- 8 business days before the hearing date 10 hard copies and a digital copy in one pdf for the final board packet. Hard copies must be formatted and retain the proper scale on sheets no larger than 11x17 or 12x18.
- Non-Refundable Application Fee. Checks made payable to the City of Cincinnati. \$ 649.10

All Drawings and Plans must include the following

- ✓ A graphic scale required on all drawings
- ✓ North arrows on all site, context and floor plans
- ✓ Elevations labeled with North, South, East West, front, side and rear labels
- ✓ Street names labeled
- ✓ Date and/or revision dates

Architectural Drawings and Plans

- An index of drawings located on the first sheet
- Context Map showing the building within at least a block of context
- Existing site plans
- Proposed site plans
 - All site plans must have*
 - ✓ *Parcel/boundary lines*
 - ✓ *Building footprints and dimensions labeled*
 - ✓ *Setback dimensions from all property lines labeled*
 - ✓ *Existing and proposed principal and accessory buildings, including location, dimensions, and height labeled;*
 - ✓ *All properties and their structures immediately adjacent to the site*
 - ✓ *Location and placement of exterior utilities and vents*
- Existing elevation drawings (At minimum must provide photographs of existing conditions of all elevations)
- Proposed elevation drawings
 - All elevations (existing and proposed) must have*
 - ✓ *Total Height from grade to top of the building*
 - ✓ *Total height- ASL (Above Sea Level)*
 - ✓ *Materials labeled*
 - ✓ *Location and placement of exterior utilities and vents*
- Existing floor plans and roof plans (with chimney locations)
- Proposed floor plans and roof plans (with chimney locations)
 - All floor(existing and proposed) plans must have*
 - ✓ *Residential and Commercial Spaces labeled. Residential Spaces must be numbered.*
 - ✓ *Square feet of commercial spaces listed*
 - ✓ *Location of trash storage and Utilities*
 - ✓ *Location and placement of exterior utilities and vents*

- Site section and/or Site elevations including any adjacent properties
- Driveways, sidewalks, walkways, terraces, and other paved surfaces
- Existing and proposed accessory structures, including walls, fences, porches, lighting, signs, and other site improvements;
- Existing and proposed landscape areas and materials, if proposed to be altered;
- Proposed materials, textures, and colors. Include make, model and series for proposed materials
- Labeled photos of all sides of the building
- Labeled photos of 1 block streetscape context in all directions
- Site line drawings for any roof additions, roof decks, utilities.
- A color rendering, axonometric drawings and/or perspective of the proposed construction (required on infill projects)

Required if applicable to the project

- Historic Sanborn Maps of the site
- Window brochures and cut sheet
- Roof product information (brochure)
- Garage door brochures
- Sample materials or color samples. _____
- Fence drawings of style, fence brochures or photo of a sample fence
- Signs; drawings, photo showing the sign on the building, mounting info, materials, colors and illumination
- Mature tree removal requires a letter from an arborist stating its poor health
- All written correspondence submitted by the applicant and other affected persons
- Tentative project schedule
- Egress Plan/Route to Building Code Compliance (roof decks, multi-family developments)
- _____
- _____
- _____

Demolition (full or partial) for Historic Conservation Districts and Landmarks

- Demolition Case Sheet and all required information listed on the sheet unless otherwise not required by the Urban Conservator in writing and provided with application.
- Statement of plans for the property after demolition.

Hillside Overlay Zone (CZC § 1433)

- A development plan, accompanied by a property survey, showing existing vegetation and proposed development, and where applicable, streets, drives, parking areas, walkways, heights of structure(s), location of structures, elevation and setback of proposed buildings, drainage, existing contours and proposed grading and new landscaping plans, proposed uses and square footage of uses and recreational facilities;
- A preliminary geotechnical evaluation;
- A determination of the maximum building envelope;
- Average slope/grade of the property; and
- Graphic illustrations demonstrating that the proposed improvement or new structure has not exceeded the maximum building envelope

For additional questions about this checklist contact Urban Conservator at 513-352-4848 or urban.conservator@cincinnati-oh.gov

Note: The aforementioned information is general in nature. Additional information may be required by the Urban Conservator once the application is submitted. Please use this list to plan for the potential documents that could be required for a submission.

Historic Conservation Board

Hearing Application



II Centennial Plaza
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202
Monday- Friday 7:30 am- 4 pm
513-352-1559

Section 1. SUBJECT PROPERTY

ADDRESS 845 Dayton Street COMMUNITY West End
PARCEL ID(S) 132-0002-0048-00 HISTORIC DISTRICT Dayton Street
BASE ZONING CLASSIFICATION RM-1.2 HILLSIDE DISTRICT: Yes No
 Non-Residential Project Residential Project (RCO) One -, Two -, and Three- Family Dwelling

Section 2. APPLICANT

NAME Cear J Baggett CONTACT PERSON (if legal entity) _____
ADDRESS 845 Dayton Street CITY Cincinnati STATE OH ZIP 45214
EMAIL ceairb513@gmail.com RELATIONSHIP TO OWNER (if not owner) _____
TELEPHONE (513) 604-1124

Section 3. OWNER

NAME Cear J Baggett CONTACT PERSON (if legal entity) _____
ADDRESS 845 Dayton Street CITY Cincinnati STATE OH ZIP 45214
EMAIL ceairb513@gmail.com RELATIONSHIP TO OWNER (if not owner) _____
TELEPHONE (513) 604-1124

Section 4. NATURE OF CERTIFICATE OF APPROPRIATENESS REQUESTED

A certificate of appropriateness is NOT being requested. (Proceed to Section 5.)

A certificate of appropriateness is being requested for:

New Construction Alteration Demolition

BRIEF DESCRIPTION OF PROJECT (Do not write "see attached" or leave blank.)

Construction of a 3-car garage with rooftop deck and enclosed breezeway that's attached to garage and existing house.

Section 5. NATURE OF ZONING RELIEF REQUESTED

Zoning relief is NOT being requested, or select all that apply:

- Variance Special Exception Conditional Use Use Variance
 Expansion or Substitution of Non-Conforming Use Hillside Overlay District Permission
 Urban Design Overlay District Permission DD District Phased Development Approval

BRIEF DESCRIPTION OF ZONING RELIEF REQUESTED (Do not write "see attached" or leave blank.)

To be granted 5' rear yard setback in lieu of 20' rear setback required by zoning for new 3-car garage with rooftop deck and breezeway.

Historic Conservation guidelines for accessory structures (i.e. carriage houses, garages, etc.) located in Historic District are to no more than 5' from rear property line.

Section 6. SIGNATURE.

I certify that all statements and documents that I provide with reference to this application are accurate, complete, and true to the best of my knowledge and belief. I further acknowledge that my application shall be deemed incomplete for my failure to timely comply with any requirement of this application, which non-compliance may result in delays in the scheduling and resolution of my application.

Print Name Cear J Baggett Signature  Date _____

Section 7. DOCUMENTATION SUBMISSION REQUIREMENTS.

Important Information: An application will not be deemed complete until all required documents listed below have been submitted and the application fee is paid in full. All transactions must be completed by 4:00pm. No exceptions. Applicants are strongly encouraged to submit as early as possible to allow time for review and revisions. Partial applications cannot be processed. Failure to submit a complete application prior to 4:00pm on a deadline date will result in delays to the assigned hearing date.

<input checked="" type="checkbox"/>	Submit two (2) paper copies collated, single sided and bound together of all the documents listed below, <u>AND</u> one (1) digital copy on a thumb/flash drive in PDF format of all documents listed below. <i>No emails.</i>
<input checked="" type="checkbox"/>	Historic Conservation Board hearing application; pages 1-2 only. The instruction pages should not be included in your submission.
<input checked="" type="checkbox"/>	Adjudication Letter <u>AND</u> worksheet issued by the Department of City Planning & Engagement – Urban Conservator’s Office. Provide all documents requested on the worksheet.
<input checked="" type="checkbox"/>	A written statement explaining how the proposed project meets the applicable Historic Conservation Guidelines and, if requested, Zoning relief. Separate instructions for preparing this statement are attached. <i>If you fail to follow the instructions for your type of request(s), your application may be denied.</i>
<input type="checkbox"/>	Applications requesting development permission in a Hillside Overlay District must meet the additional requirements found in Cincinnati Municipal Code 1433-15. <i>Please ensure your application meets these requirements.</i>
<input checked="" type="checkbox"/>	All documents (forms, letters, etc.) must be formatted to 8.5x11. Font no smaller than size 11. Plans or drawings may be formatted to 11x17 or 12x18. <i>No larger sizes will be accepted.</i>
<input checked="" type="checkbox"/>	Accurate drawings, plans or surveys (including a graphic scale) of existing and proposed project showing parcel lines, boundaries, dimensions, areas, topography, and frontage of the property involved, as well as the location and dimensions of all primary and accessory structures from the nearest property lines. Provide all parcels and structures adjacent to the site. When landscaping is required by the zoning code, a landscaping plan must be provided.
<input checked="" type="checkbox"/>	Detailed information (such as drawings, elevations with measurements, specifications) fully depicting the exterior and/or interior appearance of the existing and proposed project, including parking and access, exterior lighting, landscaping, signs, roof and floor plans involved in the application. Provide labeled photographs of existing conditions of all sides/directions of the structure/property.
<input checked="" type="checkbox"/>	The Hamilton County Auditor’s record showing ownership of the property. If the Hamilton County Auditor’s official records do not list the applicant or owner as the owner of the property, please provide a lease, contract to purchase, or other agreement demonstrating the applicant or owner’s legal basis to seek the relief requested.
<input type="checkbox"/>	A list of witnesses, expert witnesses, or legal counsel who you expect to testify at the hearing on this application. Please provide names and email addresses.
<input type="checkbox"/>	Other documents or information you intend to introduce at the hearing on this application.
<input checked="" type="checkbox"/>	A non-refundable application fee - a check made payable to “City of Cincinnati.”

To help avoid delays, it is strongly suggested that you present your application to neighboring property owners and any interested neighborhood community groups prior to the hearing on your application. This will give you a prior opportunity to address your neighbors’ concerns or objections and can facilitate the approval of your application.

Written Statement: Compliance with Historic Conservation Guidelines

845 Dayton St Project Overview:

We propose the construction of a 28' 11" (L) x 24' 10" (W) attached three-car garage with a rooftop deck to enhance our existing two-story brick veneer single-family home.

Background:

Our initial proposal for an attached garage was denied due to the historical significance of our property. Taking this feedback into account, we revised our plans to better align with the Historic Conservation Guidelines.

Design Modifications:

To minimize visual impact and maintain the character of our neighborhood, we have repositioned the garage towards the alley. Additionally, we are incorporating a breezeway that connects the garage to our home, ensuring safe and convenient access for our family, especially during nighttime.

Rooftop Deck:

The addition of a rooftop deck is designed to maximize our limited outdoor space in a downtown setting. This feature not only enhances our living area but also allows us to enjoy the scenic views of our neighborhood while respecting the historical context of our property.

Materials and Compatibility:

The garage will be constructed using fiber cement siding, a material that complements the existing architecture of our home and aligns with the character of neighboring structures. We are committed to ensuring that the garage is visually compatible with other garages in the area and will provide vehicle access from the alley, further preserving the streetscape.

In summary, our revised project adheres to the Historic Conservation Guidelines while enhancing our family's safety and enjoyment of our home. We appreciate your consideration of this proposal.

GENERAL PROJECT NOTES

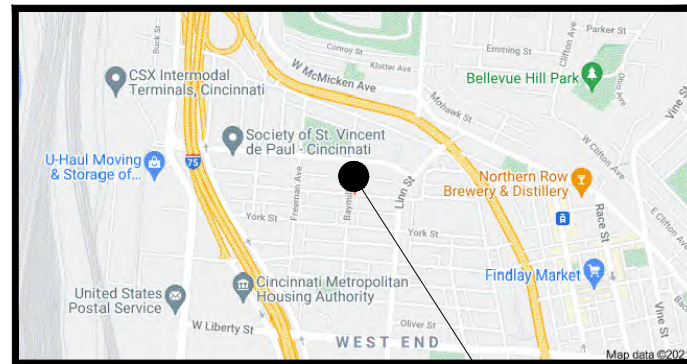
1. ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE LATEST/CURRENT/REVISED EDITION INCLUDING ALL ADDENDUMS OF THE 2019 OHIO RESIDENTIAL CODE (ORC), INTERNATIONAL RESIDENTIAL CODE (IRC), AND CITY OF CINCINNATI BUILDING DEPARTMENT RULES AND REGULATIONS.
2. ALL PLANS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT "RULES AND REGULATION" OF CITY OF CINCINNATI BUILDING DEPARTMENT.
3. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.
4. FORTY-EIGHT HOURS BEFORE DIGGING/EXCAVATION IS COMMENCE, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES: THE OHIO UTILITY PROTECTION SERVICES (OUPS), AND ALL OTHER AGENCIES WHICH MAY HAVE UNDER GROUND UTILITIES INVOLVING THIS PROJECT AND ARE NON-MEMBERS OF OHIO UNDER GROUND PROTECTION, INC.
5. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION OR EARTH MOVING OPERATION.
6. CONTRACTOR SHALL IMPLEMENT ALL SOIL AND EROSION CONTROL PRACTICES REQUIRED BY CITY OF CINCINNATI BUILDING DEPARTMENT AND THE OHIO EPA.
7. THE INFORMATION GIVEN HEREIN IS AS EXACT AS COULD BE SECURED FOR BIDDING PURPOSES. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS PRIOR TO BIDDING.
8. CONTRACTOR MUST EXAMINE THE JOB CONDITIONS AND VERIFY ALL MEASUREMENTS, DISTANCES, ELEVATIONS, CLEARANCES, ETC. AND BASE THEIR BID AND WORK ON VERIFIED CONDITIONS.
9. ALL WORK SHALL FOLLOW THE CONTRACT DOCUMENTS AND SPECIFICATIONS WHERE CONFLICTS EXIST AMONG DRAWINGS AND SPECIFICATIONS NOTIFY THE OWNER OF ALL CONFLICTS FOR RESOLUTION OR INTERPRETATION.
10. ANY EXISTING CONDITION DISCOVERED DURING THE DEMOLITION OR CONSTRUCTION PROCESS WHICH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, SHOULD BE REMEDIATED, SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER IMMEDIATELY IN WRITING.
11. EXCEPT WHERE MODIFIED BY SPECIFIC NOTATION, THE INDICATION OR DESCRIPTION OF ANY ITEM IN THE DRAWINGS, SPECIFICATION OR BOTH CARRIES WITH THE INSTRUCTION TO FURNISH AND INSTALL THE ITEM, REGARDLESS OR WHETHER OR NOT THIS INSTRUCTION IS EXPLICITLY STATED AS PART OF THE INDICATION OR DESCRIPTION.
12. DO NOT SCALE THE DRAWINGS. THE DRAWINGS ARE DIAGRAMMATIC AND SHOW THE GENERAL INTENT OF THE WORK. THEY ARE NOT INTENDED TO SHOW EVERY OFFSET, COMPONENT, LOCATION, ETC. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS.
13. THE CONTRACTOR MAY STORE MATERIALS ON SITE AS INSTRUCTED BY THE OWNER. IT WILL BE THE CONTRACTOR RESPONSIBILITY TO PROTECT AND SECURE ALL MATERIALS AND EQUIPMENT STORED ON SITE. THE OWNER ASSUMES NO LIABILITY FOR THESE MATERIALS AND EQUIPMENT.
14. CONDUCT DEMOLITION ACTIVITIES IN A MANNER THAT DOES NOT CAUSES DISRUPTION TO THE ADJACENT/PERPENDICULAR SITE PROPERTY OR UTILITIES.
15. THE CONTRACTOR IS RESPONSIBLE FOR BALANCING THE SITE EARTHWORK BY IMPORTING AND EXPORTING AS NECESSARY TO ACHIEVE DESIGN GRADE AS SPECIFIED.
16. ALL GROUND SURFACE AREA THAT HAVE BEEN EXPOSED OR LEFT BARE AS RESULT OF CONSTRUCTION AND ARE THE FINAL GRADE AND ARE TO REMAIN SO, SHALL BE SEEDED AND MULCHED AS SOON PRACTICAL IN ACCORDANCE WITH ODOT ITEM 659.
17. ALL LUMBER TOUCHING CONCRETE SHALL BE PRESSURE TREATED ACQ, HDO OR OTHER AWP APPROVED PRODUCTS FOR RESIDENTIAL USE.
18. LUMBER GRADE SHALL BE NO.2 OR BETTER SOUTHERN YELLOW PINE.
19. MINIMUM SOIL BEARING CAPACITY 1500 PSF.
20. MINIMUM CONCRETE COMPRESSION STRENGTH SHALL BE 4000 PSI.
21. LIVE LOAD ON RAISE DECK IS 40 PSF & CONCRETE SLAB IS 100 PSF.
22. THE CONTRACTOR AND OWNER SHALL BE RESPONSIBLE FOR THE SELECTION OF ALL MATERIALS AND PRODUCTS (WINDOWS, DOORS, PAINT, ELECTRICAL PRODUCTS, ETC.) USE ON THIS PROJECT (ASSUMED VIA A OWNER/CONTRACTOR AGREEMENT).
23. BASIC WIND SPEED (3 SEC. GUST) - 90 MPH; BLDG CAT. I; WIND EXPOSURE B; CLADDING DESIGN WIND PRESSURE = 19.5 PSF. WIND IMPORTANCE FACTOR: $I_w = 1.00$; MAIN WIND DESIGN PRESSURE = 17.8 PSF.
24. FASTENERS USED IN PRESSURE TREATED WOOD SHALL HAVE THE APPROPRIATE FACTORY COATINGS TO PREVENT CORROSION DUE TO MOISTURE AND/OR THE WOOD'S CHEMICAL PRESERVATIVES. ALL EXPOSED BOLTS & FASTENERS SHALL BE GALVANIZED OR STAINLESS STEEL.
25. THE CONTRACTOR IS TO CAULK ALL TRANSITIONS BETWEEN DISSIMILAR MATERIALS IN ALL AREAS.
26. ALL EXTERIOR WOOD SHALL BE PRESSURE TREATED.
27. ALL "SHEET METAL" (S.M.) WOOD CONNECTOR SHALL BE MFR'ED BY SIMPSON STRONG-TIE OR APPROVED EQUAL.
28. NOTES AND DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL SIMILAR CASES UNLESS OTHERWISE NOTED ON THE DRAWINGS AND/OR OWNER.
29. ELECTRICAL NOTES: DESIGN/PERMIT TO BE APPLIED FOR UNDER A SEPARATE APPLICATION.

SCOPE OF WORK

CONSTRUCT A 28'-11"± (L) X 24'-10"± (W) ATTACH 3-CAR GARAGE W/ ROOFTOP DECK TO AN EXISTING 2-STORY BRICK VENEER SINGLE FAMILY HOUSE.



FRONT PHOTO ELEVATION
SCALE: N.T.S



VICINITY MAP
SCALE: NONE
PLAN NORTH
SITE LOCATION:
845 DAYTON ST.
CINCINNATI, OH 45214

DRAWING INDEX	
DWG NO.	DRAWING NAME
	ARCHITECTURAL
A-1	COVER SHEET
A-2	SITE PLAN & FOOTER/FOUNDATION PLAN
A-3	GARAGE & ROOFTOP PLAN
A-4	FOOTER/FOUNDATION & WALL SECTION
A-5	ELEVATIONS
A-6	ISOMETRIC OF ROOFTOP DECK & DETAILS
A-7	DECK DETAILS
A-8	DECK DETAILS
A-9	DECK TABLES
	ATTACHMENT
SHT #: 1-4	UL DESIGN NO. U914 - 3 HR FIRE RESISTANCE
	CMU FOR WALL ASSEMBLY

DRAFTER/DESIGNER:
JJ DRAFTING SERVICE, LLC
CAD DESIGN & DRAFTING

P.O. BOX 6744
CINCINNATI, OH 45206
TEL: (513) 487-9612
FAX: (513) 297-7903
JJAMISON@JJDRAFTINGSERVICE.COM

CONTRACTOR:
TBD

OWNER:
CEAIR BAGGETT
845 DAYTON ST
CINCINNATI, OH 45214

PROPOSED
**DETACH
3-CAR GARAGE W/
ROOFTOP DECK &
ENCLOSE
BREEZEWAY**
845 DAYTON ST.
CINCINNATI, OH 45214

REVISIONS:

DRAWING TITLE:

**COVER
SHEET**

PROJECT #: 2020-028
SCALE: AS NOTED
DRAWN BY:
SHEET NO:

CHECK BY:

DATE:
08/01/2024

A-1

THE DESIGN AND DRAFTING COMPANY SHALL NOT BE HELD RESPONSIBLE FOR ANY CONSTRUCTION PRACTICES WHICH DEVIATE FROM THESE CONSTRUCTION DOCUMENTS OR THE NORM OF SOUND CONSTRUCTION PRINCIPLES, PRACTICE, SAFETY AND METHODS.

PROPOSED
**DETACH
 3-CAR GARAGE W/
 ROOFTOP DECK &
 ENCLOSE
 BREEZEWAY**
 845 DAYTON ST.
 CINCINNATI, OH 45214

REVISIONS:

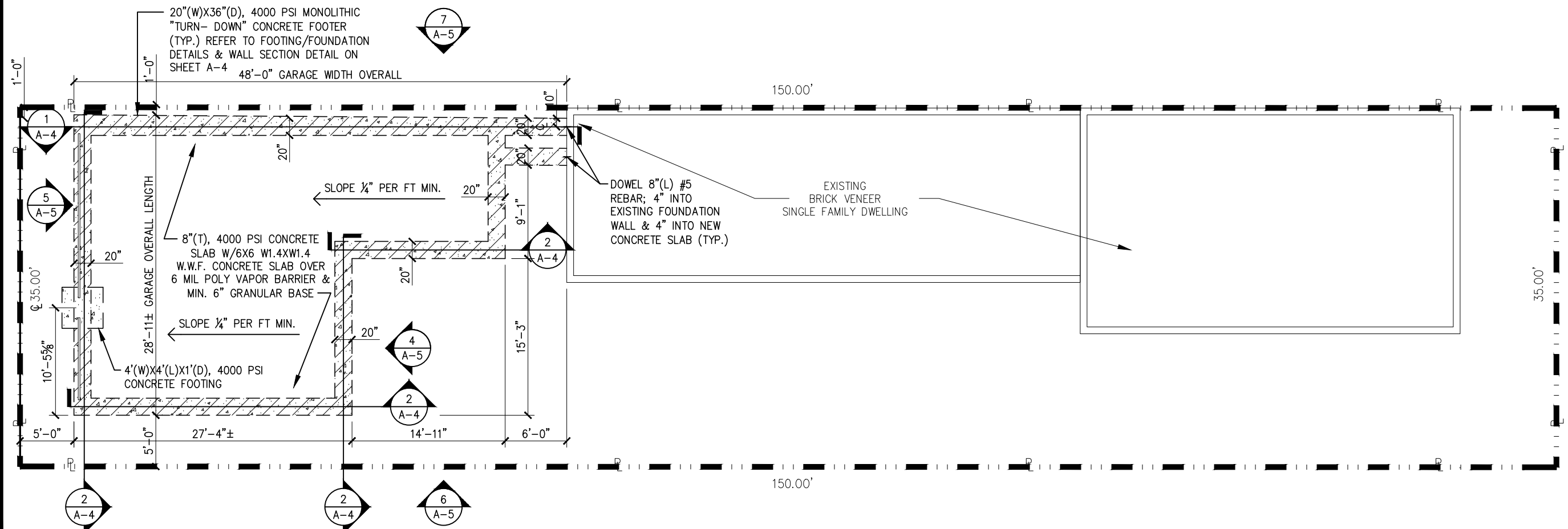
DRAWING TITLE:
**MONOLITHIC
 FOOTER/SLAB
 PLAN**

PROJECT #: 2020-028
 SCALE: AS NOTED
 DRAWN BY: SHEET NO:

CHECK BY:

DATE: 08/01/2024

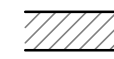
A-2



MONOLITHIC "TURN-DOWN"
 CONCRETE FOOTER & SLAB PLAN
 SCALE: 3/32" = 1'-0"



WALL LEGEND

 TYPICAL EXTERIOR WALL ASSEMBLY (UNLESS OTHERWISE NOTED ON PLAN):
 8"(W) CMU W/ #5 VERTICAL WALL REINFORCEMENT @ 4'0" O.C. FILLED W/GROUT; P.T. 2"(T)X4"(W)X10"(H) HORIZONTAL & VERTICAL FURRING STRIPS (SCREWS PLACED EVERY 16") W/ INSULATION & FIBER CEMENT LAP SIDING (SHALL BEAR UL CERTIFICATION MARK ON FIRE RESISTANCE WALL - REFER TO SHEET A-3) ON EXTERIOR; 25(T) GAUGE X 7/8"(D) METAL FURRING CHANNEL @ 24" O.C. PERPENDICULAR TO FLOOR W/ 1/2" GYPSUM WALL BOARD (GWB) ON INTERIOR.

KEY PROJECT NOTES:

- 1 4"x4"x5/16" ANGLE STEEL THROUGH BOLT OR EPOXY ANCHOR INTO EXISTING HOUSE BRICK/BLOCK STRUCTURE.
- 2 2X BAND BOARD JOIST THAT'S END NAILED TOGETHER AND HOUSED IN SIMPSON STRONG-TIE HURRICANE CLIPS THAT'S SECURE TO EXTERIOR WALL STRUCTURE TOP PLATE.
- 3 CEILING/FLOOR ASSEMBLY: 16" TJI 360 SERIES @ 16" O.C. W/ GLUE & NAIL 2 1/2 OSB TONGUE & GROOVE (T&G) SHEATHING ON TOP.
- 4 16" TJI RIM BOARD END NAILED INTO TJI FLOOR JOIST WITH 10D NAILS (1-NAIL INTO EACH TJI JOIST FLANGE) & TOE NAILED (3" NAILS @ 6" O.C.) INTO TOP SOLE PLATE WRAPPED RIM BOARD IN ALUMINUM CLADDING.
- 5 4X4 P.T. GUARD POST (TYP.) SPACE @ 6'0" MAX. & THRU BOLT FROM INSIDE OF 16" TJI RIM BOARD USING (2) 1/2" THRU BOLTS & WASHER SPACE @ 5" MAX. REFER TO DECK DETAIL 17/A-7, 19/A-7 & 20/A-7.
- 6 EPDM ROOF SYSTEM & ASSEMBLY: (REFER TO ISOMETRIC ROOFTOP DECK ILLUSTRATION DRAWING & DETAILS ON SHEET A-6).
- 7 1. SECURE TAPERED RIPS OF 1X AND/OR 2X FRAMING STRIPS GLUED & SCREWED TO JOISTS TO ACHIEVE MINIMUM ROOF SLOPE OF 3/16" PER FOOT FOR DRAINAGE.
2. ROOF SHEATHING.
3. FIBERGLASS-FACED POLYISO INSULATION, MECHANICALLY FASTENED.
4. 1/2" HIGH-DENSITY PROTECTION BOARD ADHERE TO POLISO W/ POLYURETHANE GEL FORM.
5. TPO MEMBRANE FULLY ADHERED W/ HEAT-WELDED SEAMS. POSTS TYPICALLY ATTACHED TO DECK FRAMING, POSTS FLASHED W/ TPO SLEEVE FLASHING.
- 8 EPDM PROTECTION SHEET (WHITE), LOOSE-LAID.
- 9 TAPERED 2X PT SLEEPERS REST ON ROOFING. BLOCKING RECOMMENDED WHEN SLEEPER HEIGHT EXCEEDS 4".
- 10 LINEAL DECKING INSTALLED LEVEL, FASTENED W/ APPROPRIATE LENGTH DECK SCREWS.
- 11 36"(H) P.T. WOOD GUARDRAIL (AROUND ENTIRE DECK) W/ 2X4 TOP/ BOTTOM RAIL, 2X4 OR 3/4" TOP RAIL CAP NAIL/SCREW INTO 2X4 TOP RAIL & 2X2 PICKETS W/ 3/8" MAX. SPACING BETWEEN (TYP.). OPENING SHALL NOT ALLOW THE PASSAGE OF A 4" SPHERE. REFER TO DECK DETAIL 18/A-7.
- 12 3/4" P.T. WOOD DECKING NAILED INTO 2X PT SLEEPERS THATS REST ON ROOFING. REFER TO ISOMETRIC ROOFTOP DECK DRAWING & DETAILS ON SHEET A-6.
- 13 PREFINISHED SEAMLESS ALUMINUM GUTTER NAILED INTO TJI RIM BOARD (TYP.).
- 14 PREFINISHED ALUMINUM DOWNSPOUT TIE DISCHARGE PIPE INTO STORM WATER SYSTEM (TYP.).
- 15 NEW SET OF STAIRS. CONTRACTOR IS TO FIELD VERIFY # OF STAIR TREADS AND RISERS HEIGHT. MAXIMUM RISER HEIGHT IS 8 1/4" & TREAD WIDTH IS 9" MINIMUM. REFER TO DECK DETAIL 21/A-7 & 22/A-8.
- 16 1 1/2" WOOD HANDRAIL W/ MITERED RETURNED TO POSTS, 36" ABOVE STAIR NOSING & (5±) HANDRAIL BRACKETS (EVENLY SPACED) SECURED INTO 1 1/2" WOOD GUARDRAIL. REFER TO DECK DETAILS 23-25/A-8.
- 17 2X8 P.T. RIM JOIST SECURED INTO CMU 1/2" BOLT WITH WASHER @ 24" O.C. & ACRYLIC ANCHOR THAT'S EMBEDDED INTO 3 1/2"(D) MIN. APPROVED EPOXY.
- 18 2X8 P.T. FLOOR JOISTS @ 16" O.C. THAT'S SECURE IN SIMPSON STRONG-TIE FLOOR JOIST HANGER THAT'S NAILED INTO RIM JOISTS. REFER TO DECK DETAIL 20/A-13.
- 19 3/4" P.T. WOOD DECKING NAILED INTO 2X8 FLOOR JOISTS. REFER TO DECK DETAIL 15-16/A-6.

DRAFTER/DESIGNER:
 JJ DRAFTING SERVICE, LLC
 CAD DESIGN & DRAFTING
 P.O. BOX 6744
 CINCINNATI, OH 45206
 TEL: (513) 487-9612
 FAX: (513) 297-7903
 JJAMISON@JJDRAFTINGSERVICE.COM
 CONTRACTOR:
 TBD

OWNER:
 CEAIR BAGGETT
 845 DAYTON ST
 CINCINNATI, OH 45214

PROPOSED
 DETACH
 3-CAR GARAGE W/
 ROOFTOP DECK &
 ENCLOSE
 BREEZEWAY
 845 DAYTON ST.
 CINCINNATI, OH 45214

REVISIONS:

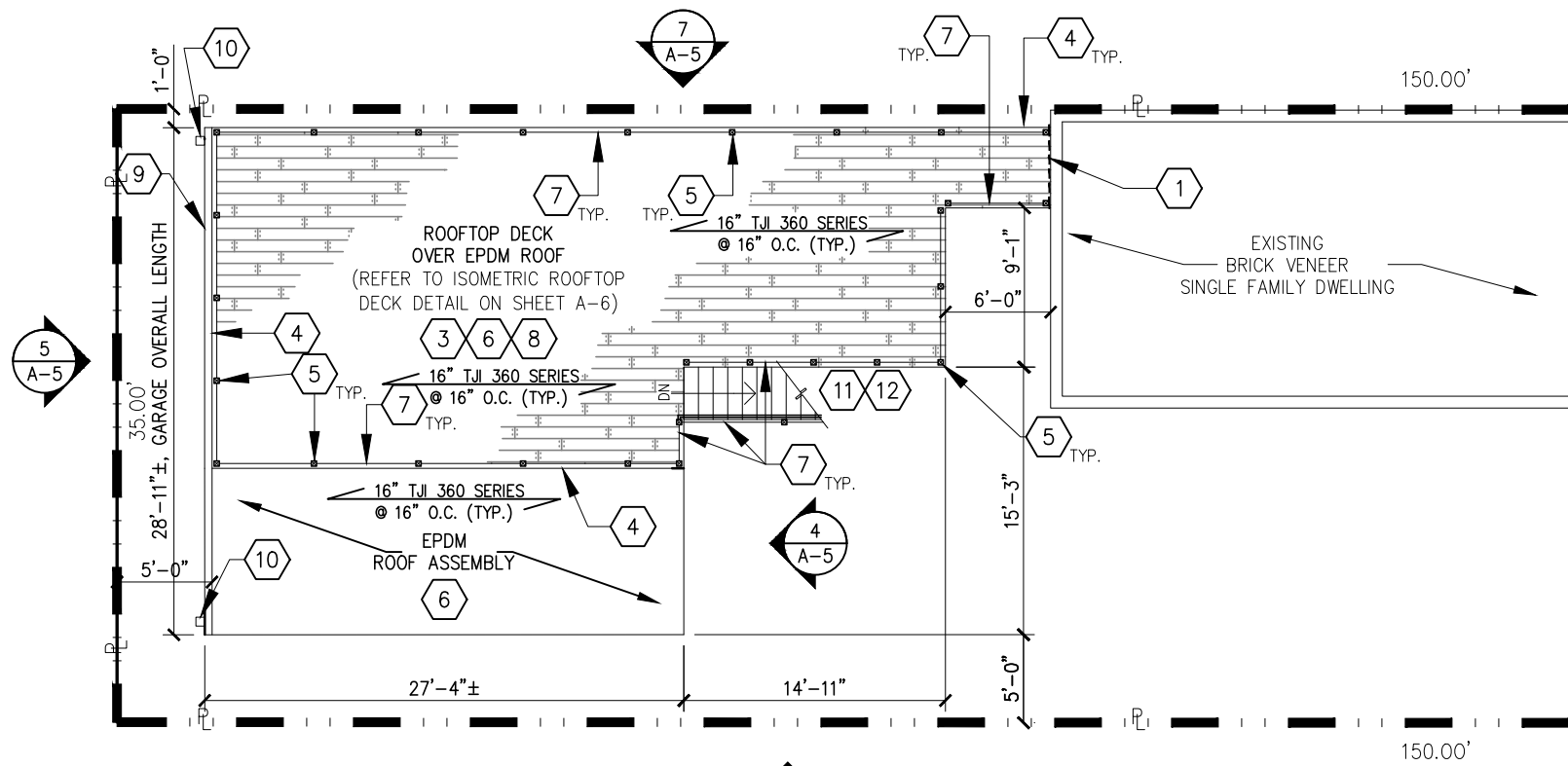
DRAWING TITLE:
 GARAGE &
 ROOFTOP DECK
 FLOOR PLAN

PROJECT #: 2020-028
 SCALE: AS NOTED
 DRAWN BY: SHEET NO:

CHECK BY:

DATE: 08/01/2024

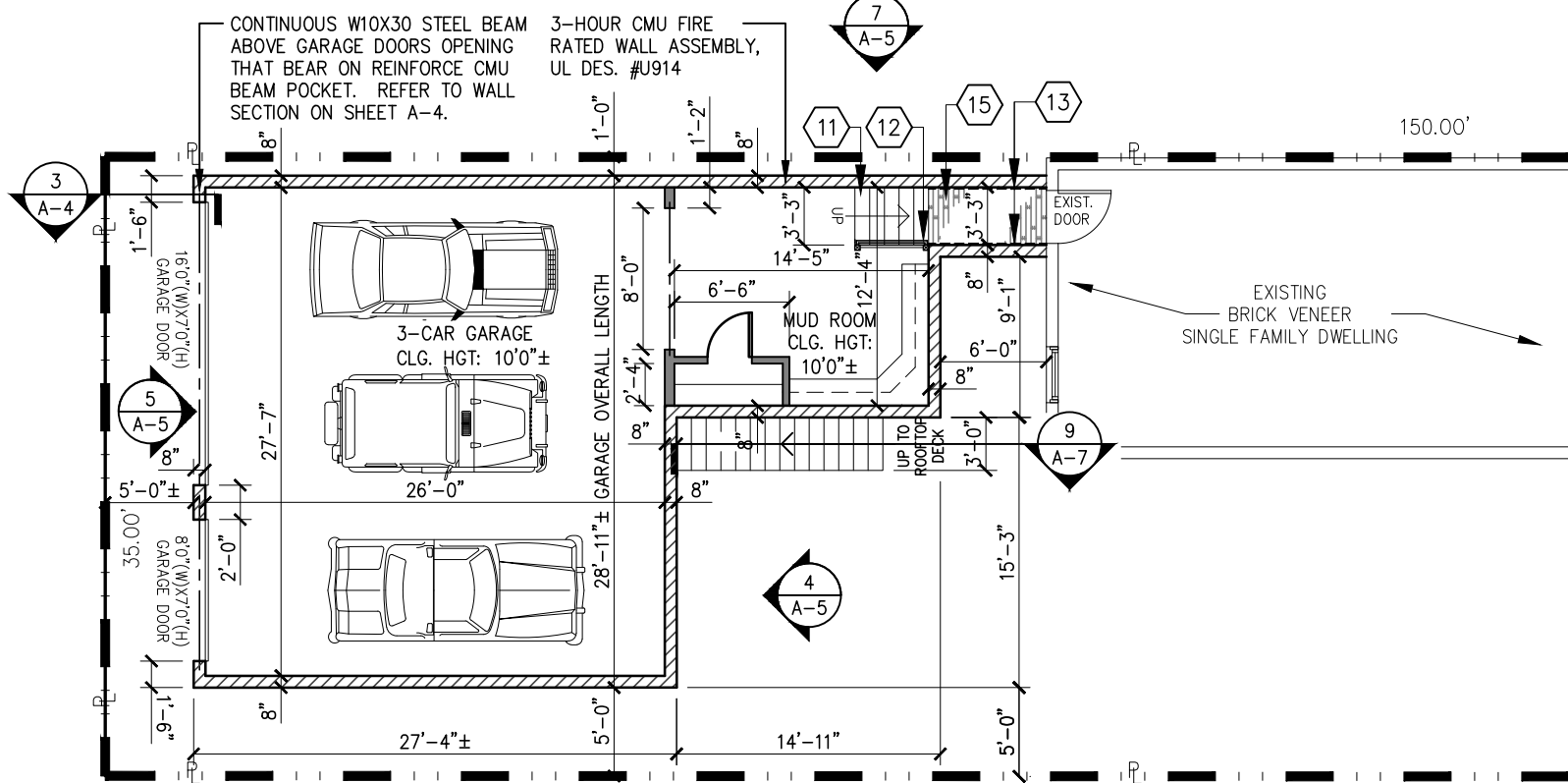
A-3



ROOFTOP DECK PLAN

SCALE: 3/32" = 1'-0"

PLAN NORTH



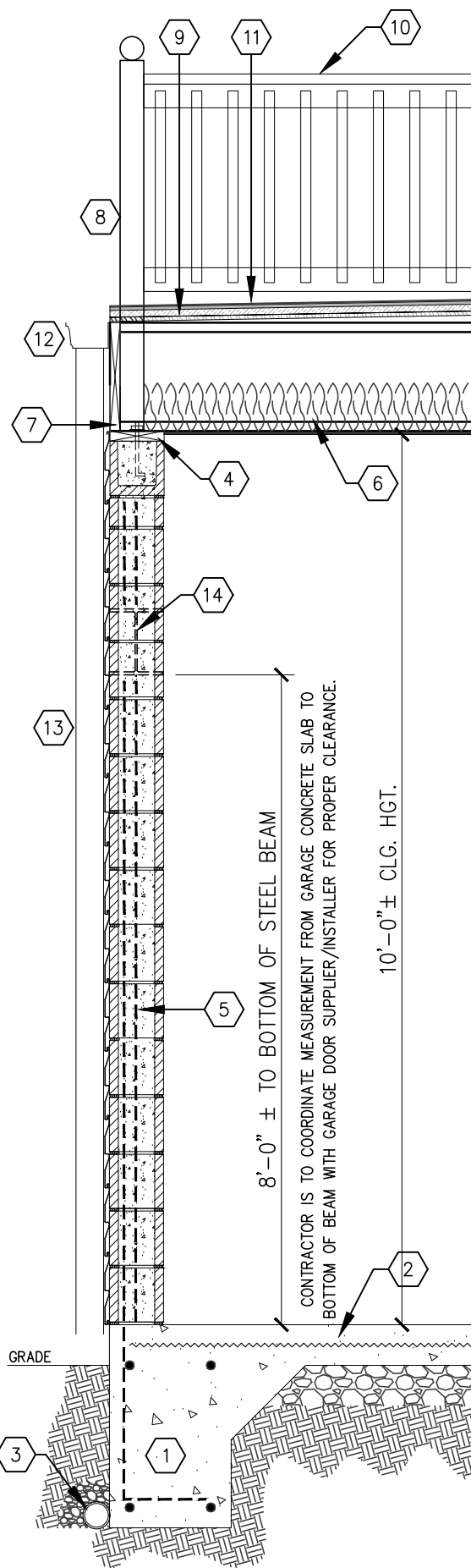
GARAGE FLOOR PLAN

SCALE: 3/32" = 1'-0"

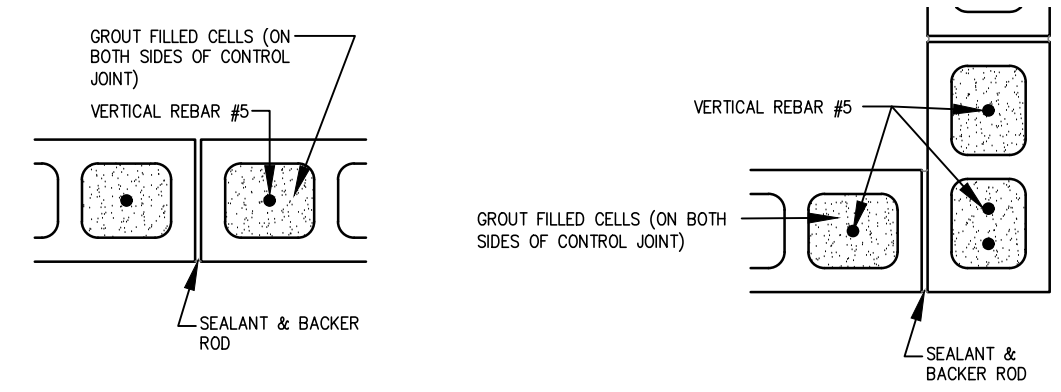
PLAN NORTH

WALL SECTION KEY PROJECT NOTES:

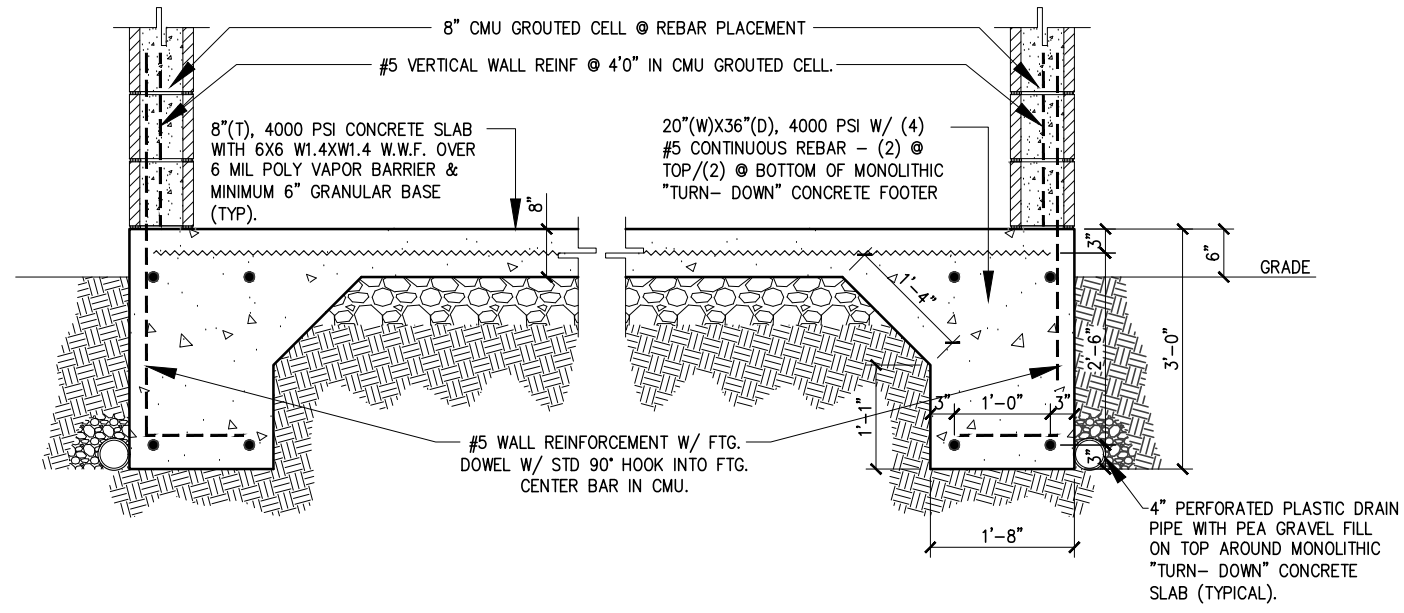
- 1 CONCRETE FOOTER/FOUNDATION: 20"(W)X36"(D), 4000 PSI W/ (4) #5 CONTINUOUS REBAR - (2) @ TOP/(2) BOTTOM OF MONOLITHIC "TURN-DOWN" CONCRETE FOOTER. & #5 WALL REINFORCEMENT W/ FTG. DOWEL & STD 90° HOOK INTO FTG. CENTER BAR IN CMU.
- 2 CONCRETE SLAB: 8"(T), 4000 PSI CONCRETE SLAB W/ 6X6 W1.4XW1.4 W.W.F. OVER 6 MIL POLY VAPOR BARRIER & MIN. 6" GRANULAR BASE.
- 3 FOOTER DRAINAGE: 4"Ø PERFORATED PLASTIC DRAIN PIPE W/ FILTER (SOCK) FABRIC ON 2" (MIN.) WASH (COURSE/PEA) GRAVEL OR CRUSH STONE AROUND THE PERIMETER HOUSE FOOTER(S). TOP OF OPEN JOINTS OF DRAIN PIPE SHALL BE COVERED W/ STRIPS OF BUILDING PAPER (IF APPLICABLE) UNLESS OTHERWISE RECOMMENDED BY DRAIN MANUFACTURER. WASH (COURSE/PEA) GRAVEL OR CRUSHED STONE SHALL EXTEND NOT LESS THAN 12" BEYOND THE OUTSIDE EDGE OF FOOTING & 6" ABOVE THE TOP OF FOOTING W/ FILTER FABRIC.
- 4 TOP PLATE: 2X8 P.T. TOP PLATE W/ 1/2" Ø ANCHOR BOLT.
- 5 TYPICAL EXTERIOR WALL ASSEMBLY (UNLESS OTHERWISE NOTED ON PLAN): 8"(W) CMU W/ #5 VERTICAL WALL REINFORCEMENT @ 4'0" O.C. FILLED W/GROUT; P.T. 2"(T)X4"(W)X8"(H) HORIZONTAL & VERTICAL FURRING STRIPS (SCREWS PLACED EVERY 16") W/ INSULATION & VINYL SIDING (SHALL BEAR UL CERTIFICATION MARK ON FIRE RESISTANCE WALL - REFER TO SHEET A-3) ON EXTERIOR; 25(T) GAUGE X 3/8"(D) METAL FURRING CHANNEL @ 24" O.C. PERPENDICULAR TO FLOOR W/ 1/2" GYPSUM WALL BOARD (GWB) ON INTERIOR.
- 6 CEILING/FLOOR ASSEMBLY: 16" TJI 360 SERIES @ 16" O.C. W/ GLUE & NAIL 2 3/2 OSB TONGUE & GROOVE (T&G) SHEATHING ON TOP.
- 7 16" TJI RIM BOARD END NAILED INTO TJI FLOOR JOIST WITH 10D NAILS (1-NAIL INTO EACH TJI JOIST FLANGE) & TOE NAILED (3" NAILS @ 6" O.C.) INTO TOP SOLE PLATE WRAPPED RIM BOARD IN ALUMINUM CLADDING.
- 8 4X4 P.T. GUARD POST (TYP.) SPACE @ 6'0" MAX. & THRU BOLT FROM INSIDE OF 16" TJI RIM BOARD USING (2) 1/2" Ø THRU BOLTS & WASHER SPACE @ 5" MAX. REFER TO DECK DETAIL 17/A-7, 19/A-7 & 20/A-7.
- 9 EPDM ROOF SYSTEM & ASSEMBLY: (REFER TO ISOMETRIC ROOFTOP DECK ILLUSTRATION DRAWING & DETAILS ON SHEET A-6).
 1. SECURE TAPERED RIPS OF 1X AND/OR 2X FRAMING STRIPS GLUED & SCREWED TO JOISTS TO ACHIEVE MINIMUM ROOF SLOPE OF 3/16" PER FOOT FOR DRAINAGE.
 2. ROOF SHEATHING.
 3. FIBERGLASS-FACED POLYISO INSULATION, MECHANICALLY FASTENED.
 4. 1/2" HIGH-DENSITY PROTECTION BOARD ADHERE TO POLISO W/ POLYURETHANE GEL FORM.
 5. TPO MEMBRANE FULLY ADHERED W/ HEAT-WELDED SEAMS. POSTS TYPICALLY ATTACHED TO DECK FRAMING, POSTS FLASHED W/ TPO SLEEVE FLASHING.
 6. EPDM PROTECTION SHEET (WHITE), LOOSE-LAID.
 7. TAPERED 2X PT SLEEPERS REST ON ROOFING. BLOCKING RECOMMENDED WHEN SLEEPER HEIGHT EXCEEDS 4".
 8. LINEAL DECKING INSTALLED LEVEL, FASTENED W/ APPROPRIATE LENGTH DECK SCREWS
- 10 36"(H) P.T. WOOD GUARDRAIL (AROUND ENTIRE DECK) W/ 2X4 TOP/ BOTTOM RAIL, 2X4 OR 5/4 TOP RAIL CAP NAIL/SCREW INTO 2X4 TOP RAIL & 2X2 PICKETS W/ 3/8" MAX. SPACING BETWEEN (TYP.). OPENING SHALL NOT ALLOW THE PASSAGE OF A 4"Ø SPHERE. REFER TO DECK DETAIL 18/A-7.
- 11 5/4" P.T. WOOD DECKING NAILED INTO 2X PT SLEEPERS THATS REST ON ROOFING. REFER TO ISOMETRIC ROOFTOP DECK DRAWING & DETAILS ON SHEET A-6..
- 12 PREFINISHED SEAMLESS ALUMINUM GUTTER NAILED INTO TJI RIM BOARD (TYP.).
- 13 PREFINISHED ALUMINUM DOWNSPOUT TIE DISCHARGE PIPE INTO STORM WATER SYSTEM (TYP.).
- 14 STEEL BEAM ABOVE GARAGE DOOR OPENING THAT BEAR ON REINFORCE CMU BEAM POCKET - REFER TO SHEET A-3 FOR LOCATION & SIZE. PROVIDE REINFORCE BEAM POCKET USING #5 REBAR AS REQUIRED.



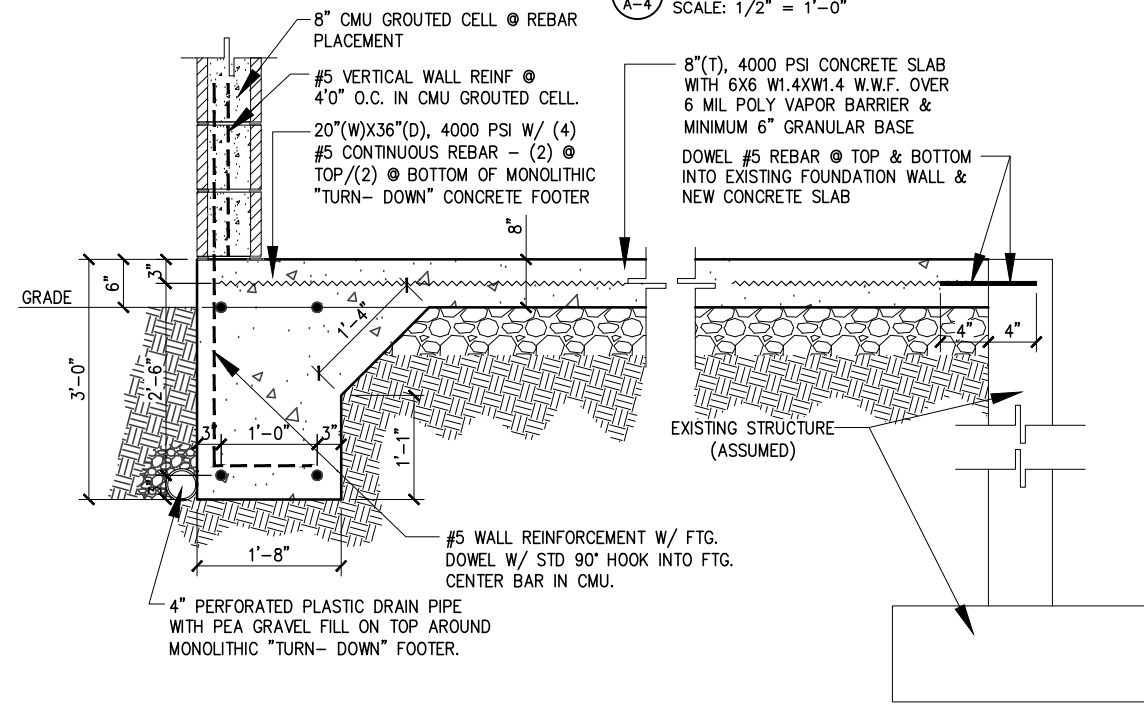
3 WALL SECTION
 A-4 SCALE: 1/2" = 1'-0"



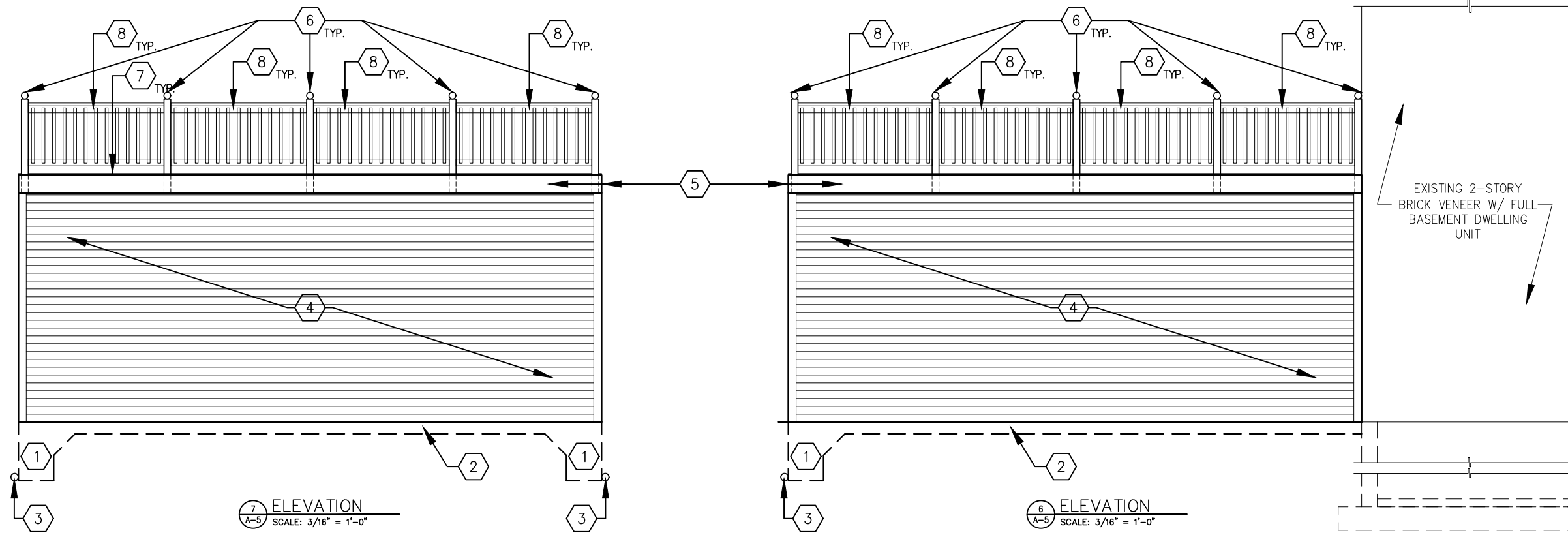
CMU CONTROL JOINT - PLAN SCALE: 1" = 1'-0"
 CMU CORNER - PLAN SCALE: 1" = 1'-0"



2 MONOLITHIC "TURN-DOWN" CONCRETE FOOTER & SLAB SECTION
 A-4 SCALE: 1/2" = 1'-0"

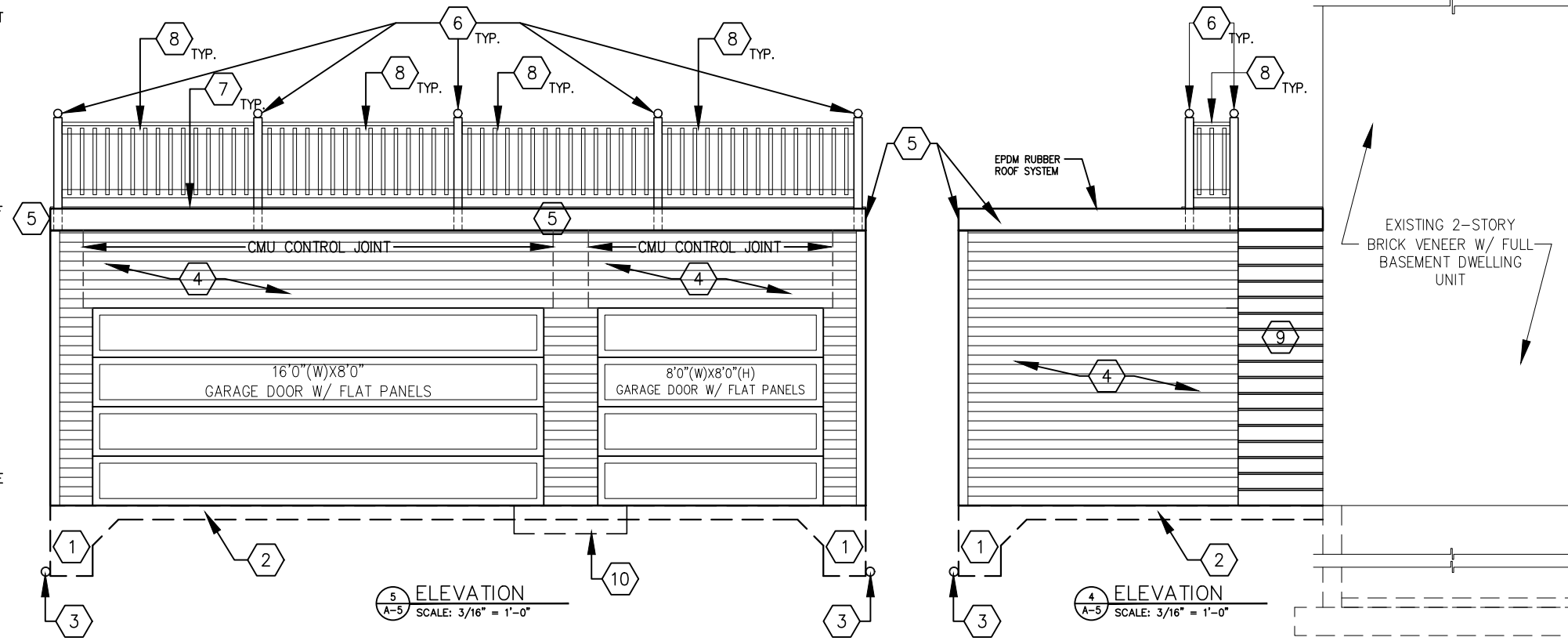


1 MONOLITHIC "TURN-DOWN" CONCRETE FOOTER & SLAB SECTION
 A-4 SCALE: 1/2" = 1'-0"



ELEVATIONS KEY PROJECT NOTES:

- 1 CONCRETE FOOTER/FOUNDATION: 20"(W)X36"(D), 4000 PSI W/ (4) #5 CONTINUOUS REBAR - (2) @ TOP/(2) BOTTOM OF MONOLITHIC "TURN-DOWN" CONCRETE FOOTER & #5 WALL REINFORCEMENT W/ FTG. DOWEL & STD 90° HOOK INTO FTG. CENTER BAR IN CMU. REFER TO DETAIL ON SHEET A-4.
- 2 CONCRETE SLAB: 8"(T), 4000 PSI CONCRETE SLAB W/ 6X6 W1.4XW1.4 W.W.F. OVER 6 MIL POLY VAPOR BARRIER & MIN. 6" GRANULAR BASE
- 3 FOOTER DRAINAGE: 4"Ø PERFORATED PLASTIC DRAIN PIPE W/ FILTER (SOCK) FABRIC ON 2" (MIN.) WASH (COURSE/PEA) GRAVEL OR CRUSH STONE AROUND THE PERIMETER HOUSE FOOTER(S). TOP OF OPEN JOINTS OF DRAIN PIPE SHALL BE COVERED W/ STRIPS OF BUILDING PAPER (IF APPLICABLE) UNLESS OTHERWISE RECOMMENDED BY DRAIN MANUFACTURER. WASH (COURSE/PEA) GRAVEL OR CRUSHED STONE SHALL EXTEND NOT LESS THAN 12" BEYOND THE OUTSIDE EDGE OF FOOTING & 6" ABOVE THE TOP OF FOOTING W/ FILTER FABRIC.
- 4 TYPICAL EXTERIOR WALL ASSEMBLY (UNLESS OTHERWISE NOTED ON PLAN): 8"(W) CMU W/ #5 VERTICAL WALL REINFORCEMENT @ 4'0" O.C. FILLED W/ GROUT; P.T. 2"(T)X4"(W)X8"(H) HORIZONTAL & VERTICAL FURRING STRIPS (SCREWS PLACED EVERY 16") W/ INSULATION & FIBER CEMENT LAP SIDING (SHALL BEAR UL CERTIFICATION MARK ON FIRE RESISTANCE WALL - REFER TO SHEET A-3) ON EXTERIOR; 25(T) GAUGE X 7/8"(D) METAL FURRING CHANNEL @ 24" O.C. PERPENDICULAR TO FLOOR W/ 1/2" GYPSUM WALL BOARD (GWB) ON INTERIOR.
- 5 16" TJI RIM BOARD END NAILED INTO TJI FLOOR JOIST WITH 10D NAILS (1-NAIL INTO EACH TJI JOIST FLANGE) & TOE NAILED (3" NAILS @ 6" O.C.) INTO TOP SOLE PLATE WRAPPED RIM BOARD IN ALUMINUM CLADDING.
- 6 4X4 P.T. GUARD POST (TYP.) SPACE @ 6'0" MAX. & THRU BOLT FROM INSIDE OF 16" TJI RIM BOARD USING (2) 1/2"Ø THRU BOLTS & WASHER SPACE @ 5" MAX. REFER TO DECK DETAIL 17/A-7, 19/A-7 & 20/A-7.
- 7 3/4" P.T. WOOD DECKING NAILED INTO 2X PT SLEEPERS THATS REST ON ROOFING. REFER TO ISOMETRIC ROOFTOP DECK DRAWING & DETAILS ON SHEET A-6.
- 8 36"(H) P.T. WOOD GUARDRAIL (AROUND ENTIRE DECK) W/ 2X4 TOP/ BOTTOM RAIL, 2X4 OR 3/4" TOP RAIL CAP NAIL/SCREW INTO 2X4 TOP RAIL & 2X2 PICKETS W/ 3/8" MAX. SPACING BETWEEN (TYP.). OPENING SHALL NOT ALLOW THE PASSAGE OF A 4"Ø SPHERE. REFER TO DECK DETAIL 18/A-7.
- 9 NEW SET OF STAIRS. CONTRACTOR IS TO FIELD VERIFY # OF STAIR TREADS AND RISERS HEIGHT. MAXIMUM RISER HEIGHT IS 8 1/4" & TREAD WIDTH IS 9" MINIMUM. REFER TO DECK DETAIL 21/A-7 & 22/A-8.
- 10 4"(W)X4"(L)X1"(D), 4000 PSI CONCRETE FOOTING.



PROPOSED
**DETACH
 3-CAR GARAGE W/
 ROOFTOP DECK &
 ENCLOSE
 BREEZEWAY**
 845 DAYTON ST.
 CINCINNATI, OH 45214

REVISIONS:

DRAWING TITLE:
**GARAGE &
 ROOFTOP DECK
 ELEVATIONS**

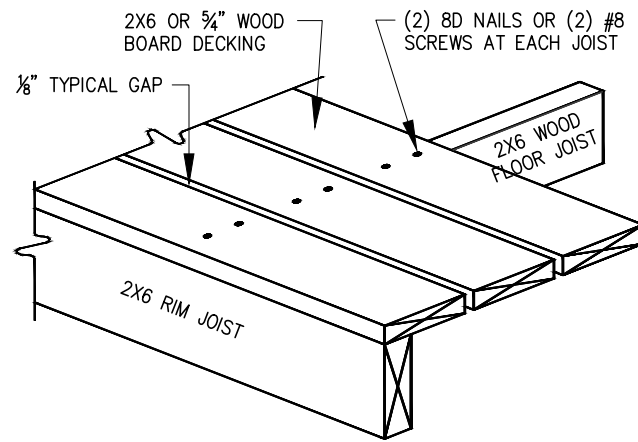
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 2020-028
 SCALE:
 AS NOTED

DRAWN BY:
 SHEET NO:

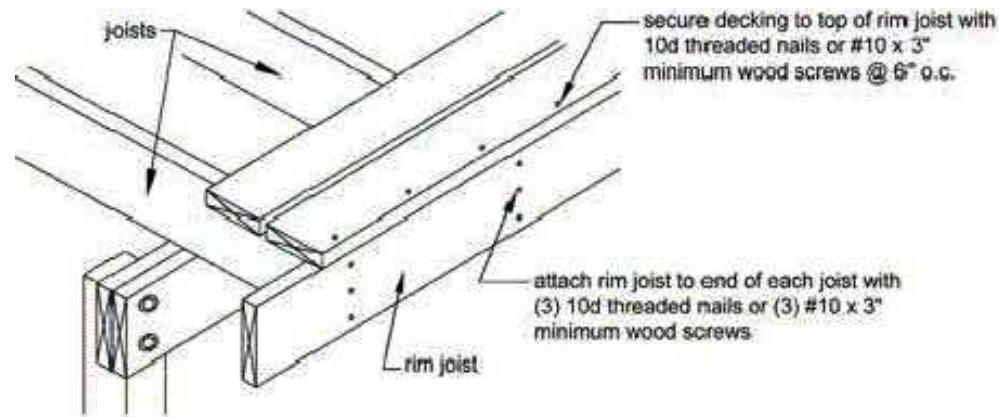
CHECK BY:

DATE:
 08/01/2024

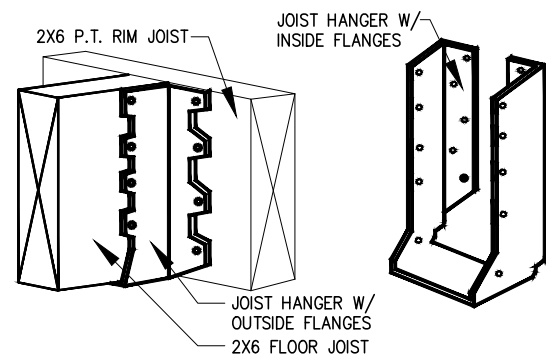
A-5



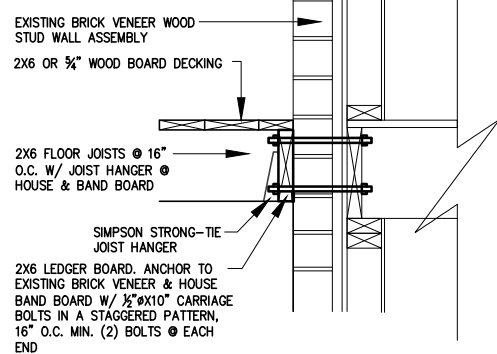
16 TYPICAL WOOD DECKING
 A-6 SCALE: NONE



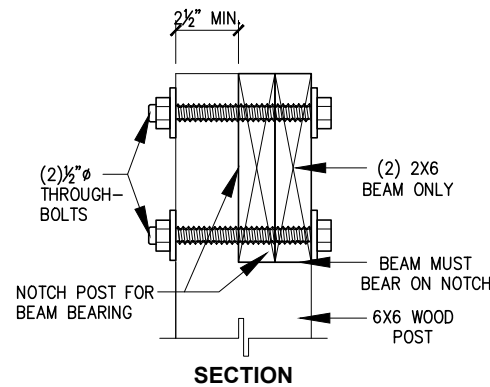
15 RIM JOIST-TO-FLOOR JOIST CONNECTION DETAIL
 A-6 SCALE: NONE



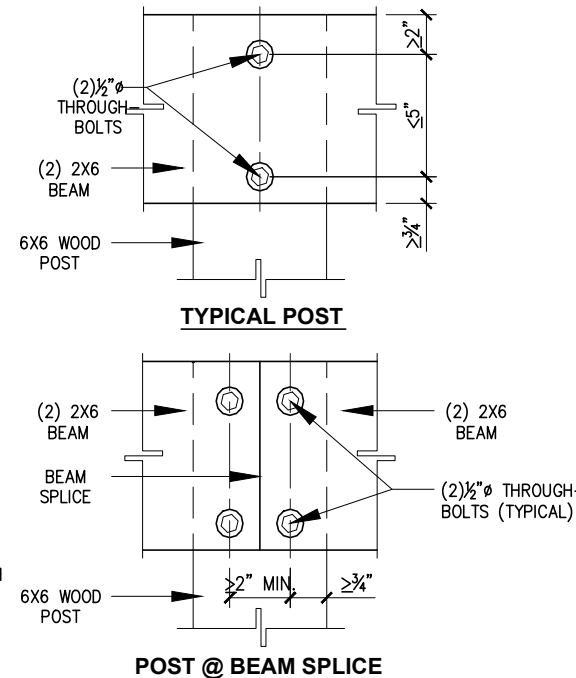
13 FLOOR JOIST HANGER
 A-6 SCALE: NONE



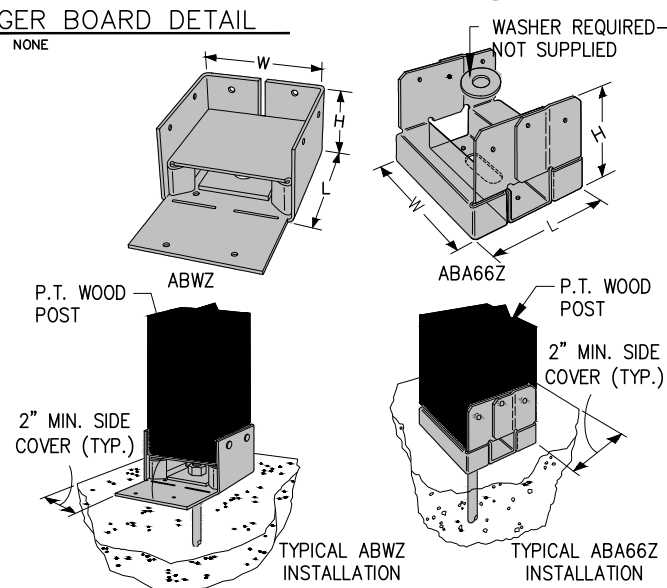
12 LEDGER BOARD DETAIL
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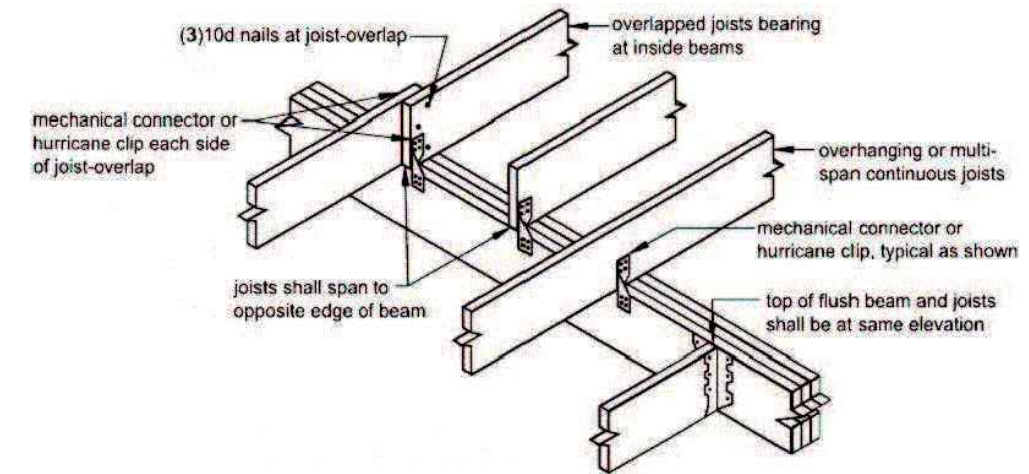
11 NOTCH 6X6 POST-TO-BEAM CONNECTION DETAILS
 A-6 SCALE: NONE



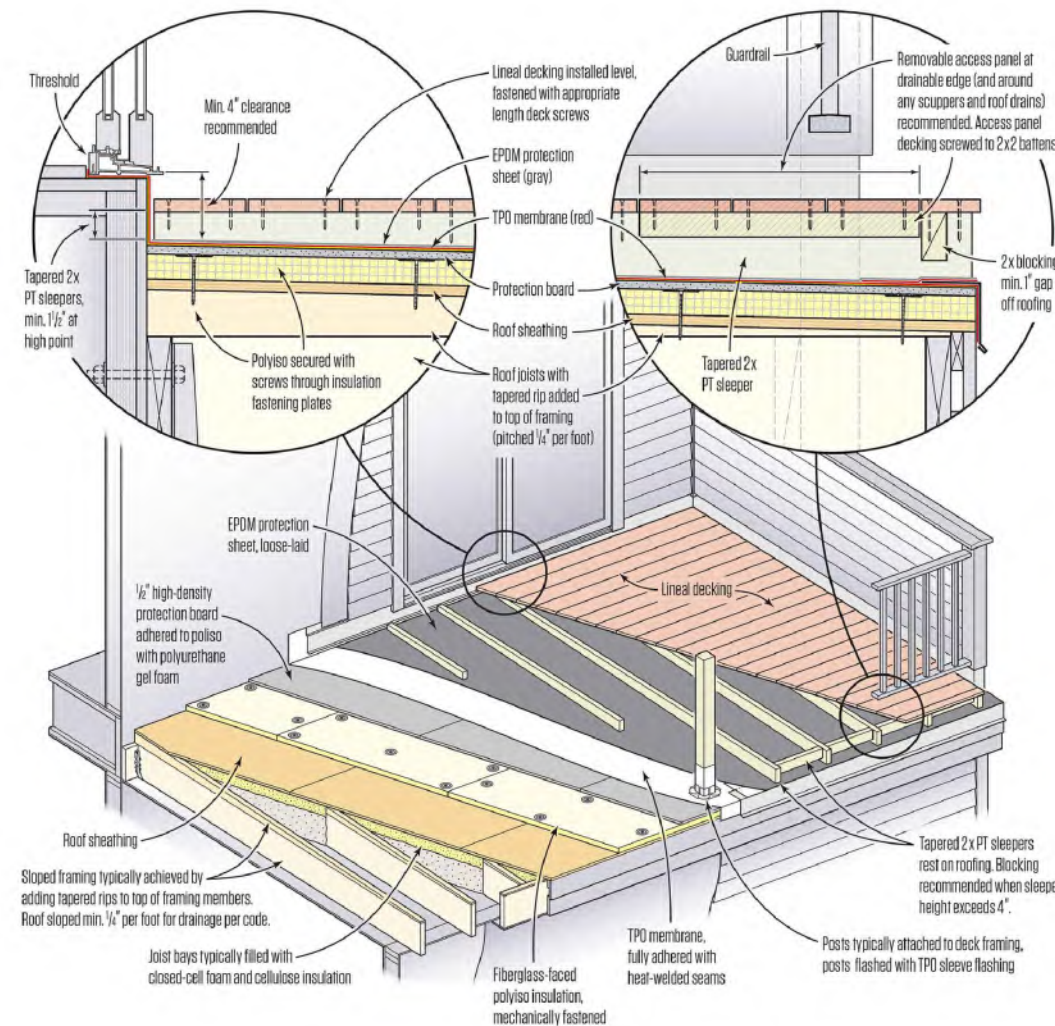
9 CONCRETE PIER FOOTING W/ REBAR
 A-6 SCALE: NONE



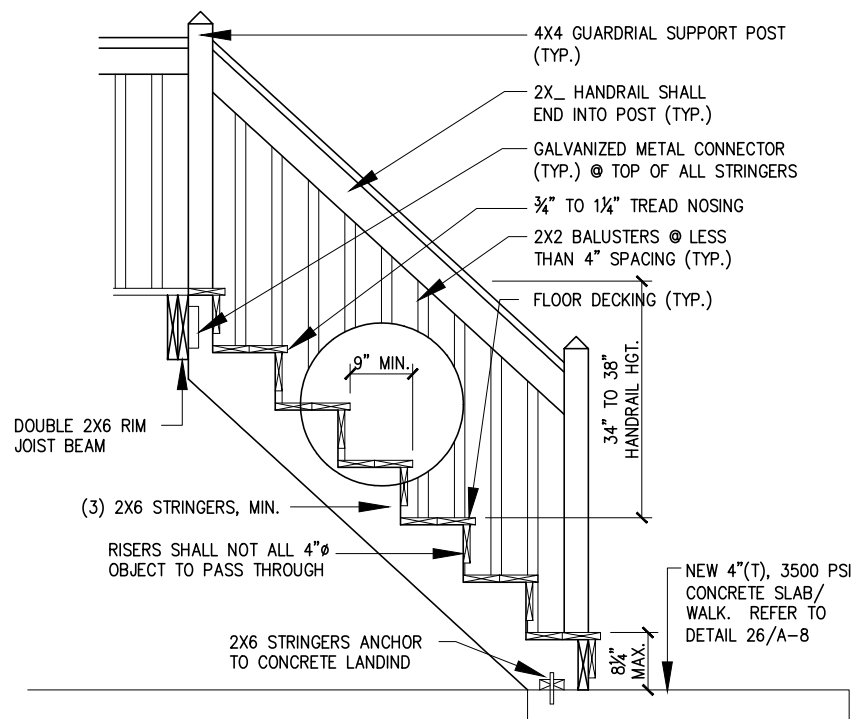
10 SIMPSON STRONG-TIE POST BASE DETAILS
 A-6 SCALE: NONE



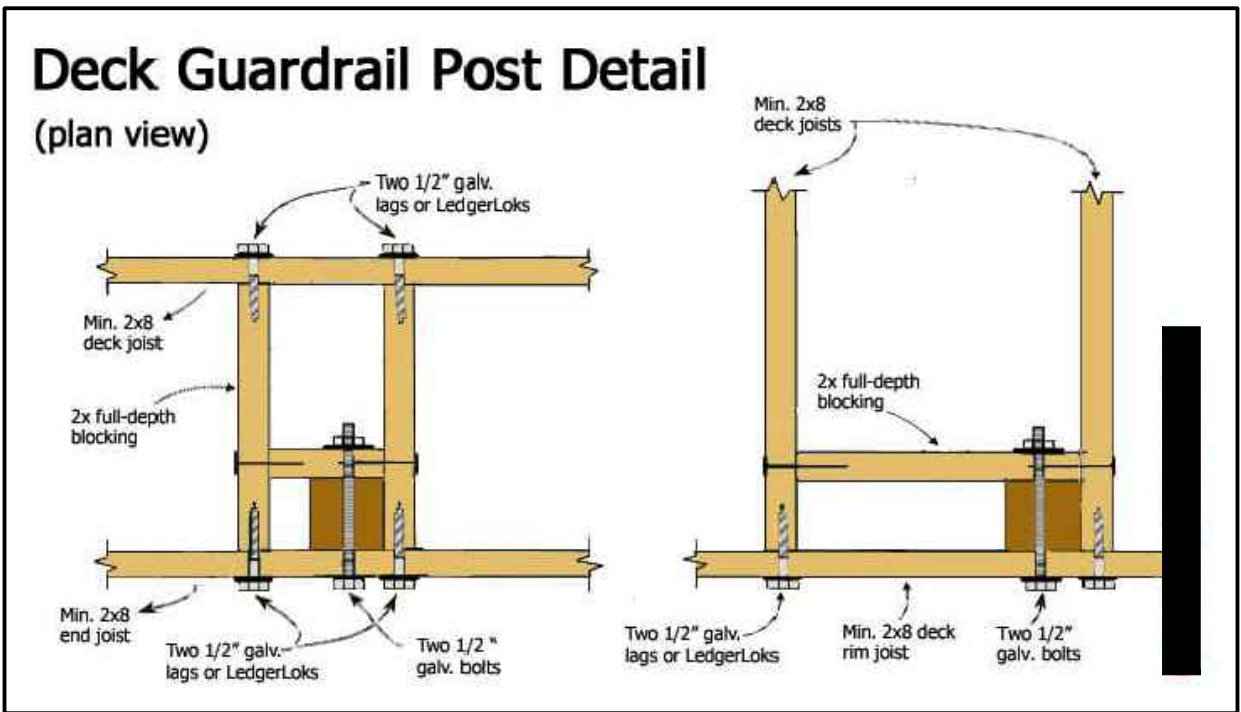
14 JOIST-TO-BEAM CONNECTION DETAIL
 A-6 SCALE: NONE



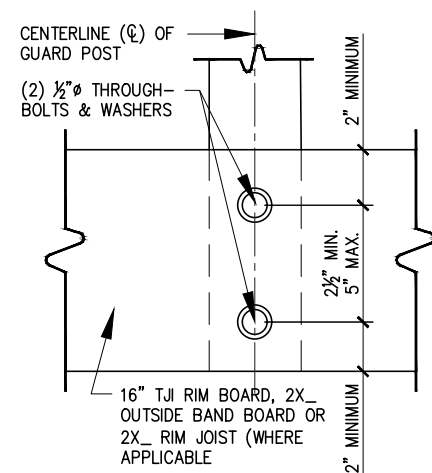
8 ISOMETRIC ILLUSTRATION OF ROOFTOP DECK
 A-6 SCALE: NONE



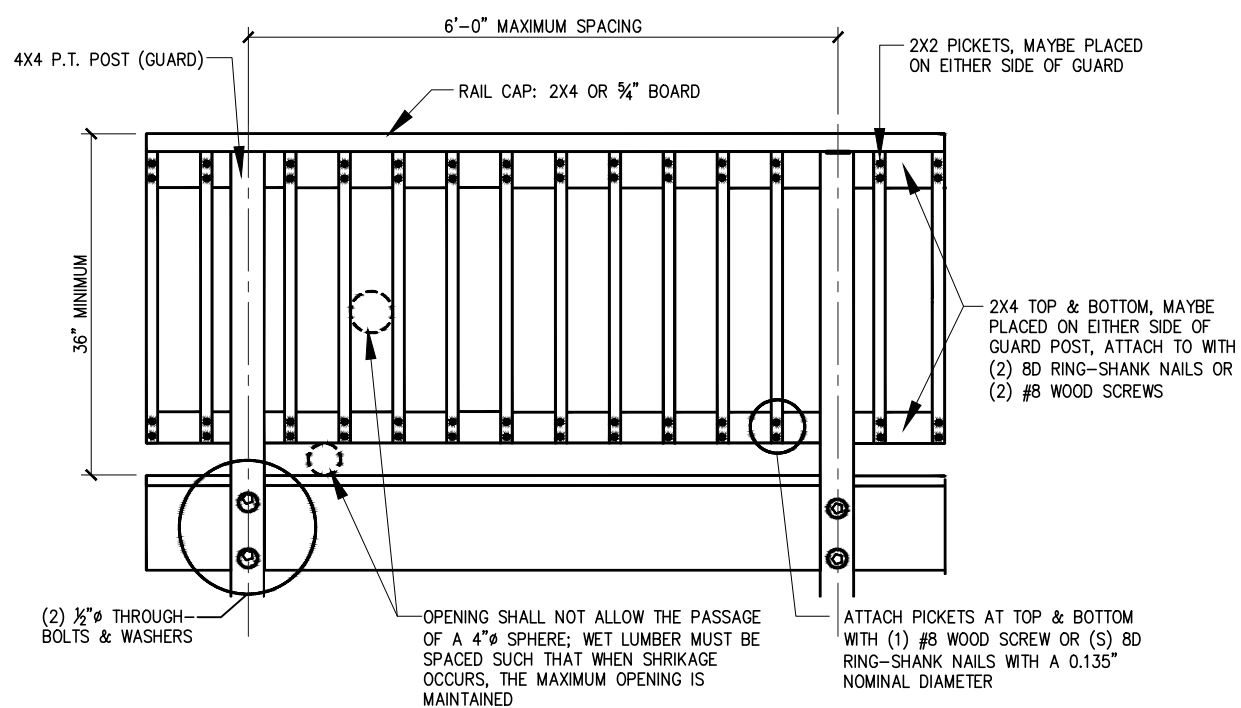
21 STAIR SECTION
A-7 SCALE: NONE



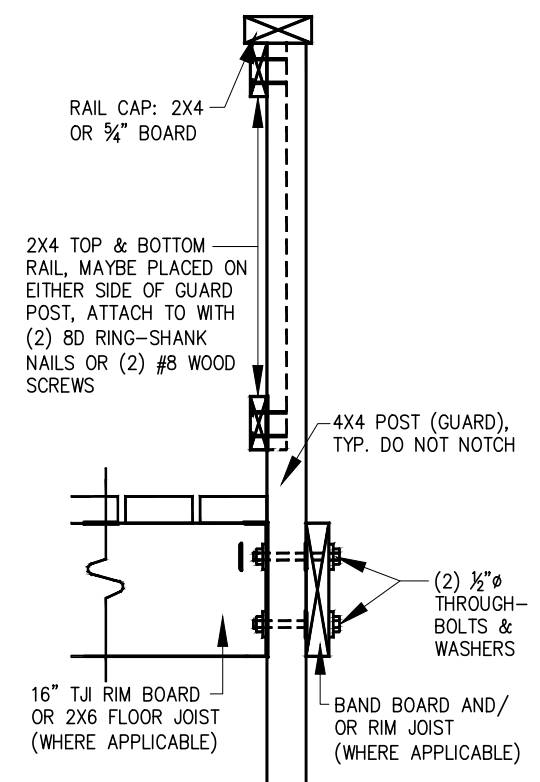
20 GUARDRAIL POST REINFORCED DETAIL
A-7 SCALE: NONE



19 GUARD POST ATTACHMENT DETAIL
A-7 SCALE: NONE



18 GUARDRAIL DETAIL
A-7 SCALE: NONE



17 GUARD POST-TO-RIM JOIST DETAIL
A-7 SCALE: NONE

DRAFTER/DESIGNER:
JJ DRAFTING SERVICE, LLC
 CAD DESIGN & DRAFTING
 P.O. BOX 6744
 CINCINNATI, OH 45206
 TEL: (513) 487-9612
 FAX: (513) 297-7903
 JJAMISON@JJDRAFTINGSERVICE.COM

CONTRACTOR:
 TBD

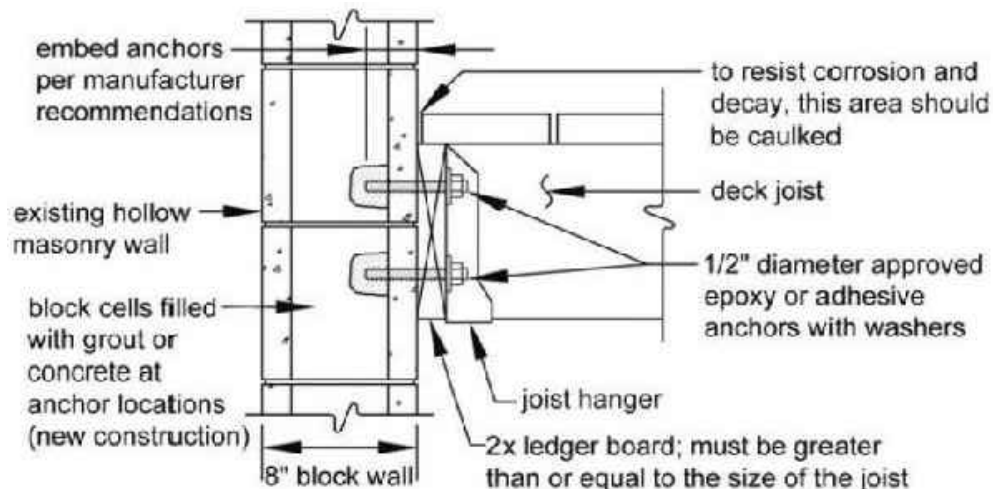
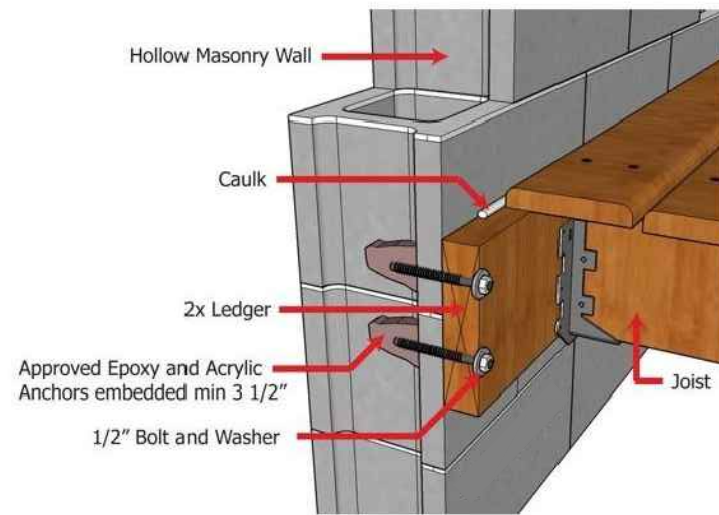
OWNER:
 CEAIR BAGGETT
 845 DAYTON ST
 CINCINNATI, OH 45214

PROPOSED
 DETACH
 3-CAR GARAGE W/
 ROOFTOP DECK &
 ENCLOSE
 BREEZEWAY
 845 DAYTON ST.
 CINCINNATI, OH 45214

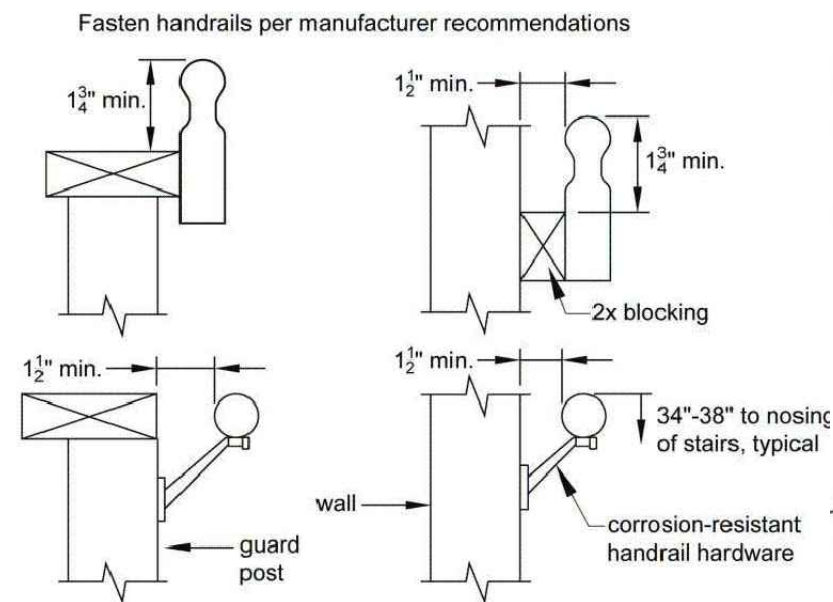
REVISIONS:

DRAWING TITLE:
**DECK
 DETAILS**

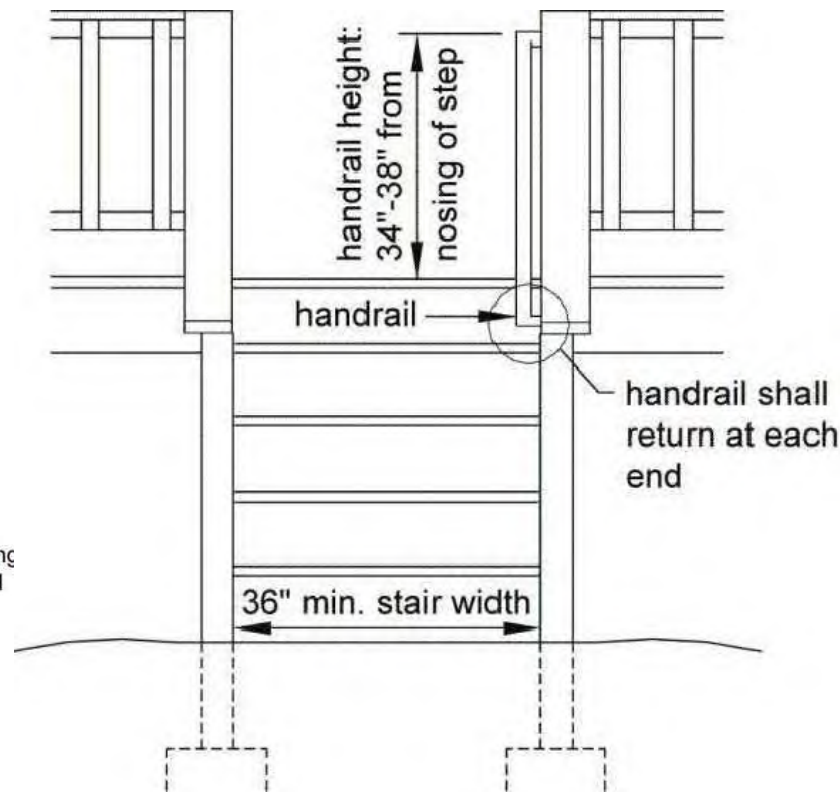
PROJECT #: 2020-028	SCALE: AS NOTED
DRAWN BY:	SHEET NO:
CHECK BY:	A-7
DATE: 08/01/2024	



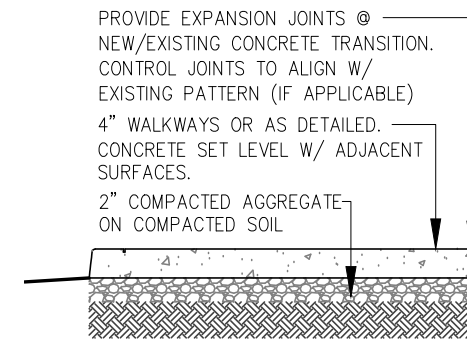
26 LEDGER BOARD TO FOUNDATION WALL (HOLLOW MASONRY)
SCALE: NONE



24 HANDRAIL ATTACHMENT TO GUARD POST
SCALE: NONE

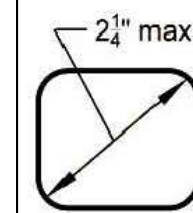


23 HANDRAIL & STAIR REQUIREMENT
SCALE: NONE

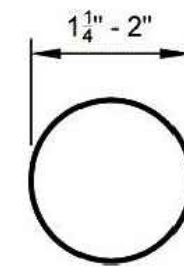


- NOTES:
- 3500 P.S.I. CONCRETE WITH 6% AIR ENTRAINMENT
 - PROVIDE CONTROL JOINTS @ 15'-0" O.C. MAX.
 - PROVIDE TOOLED JOINTS @ 5'-0" MAX. U.O.N.
 - CONCRETE SLABS TO BE 4" THICK @ WALKS & 6" THICK AT DRIVE.

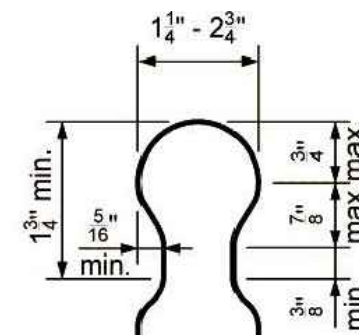
27 CONCRETE WALKS & PAD DETAIL
SCALE: NONE



NONCIRCULAR
[R311.7.7.3 Type I]
Perimeter: 4" - 6 1/4"



CIRCULAR
[R311.7.7.3 Type I]
Perimeter: 4" - 6 1/4"



RECESSED
[R311.7.7.3 Type II]
Perimeter: >6 1/4"

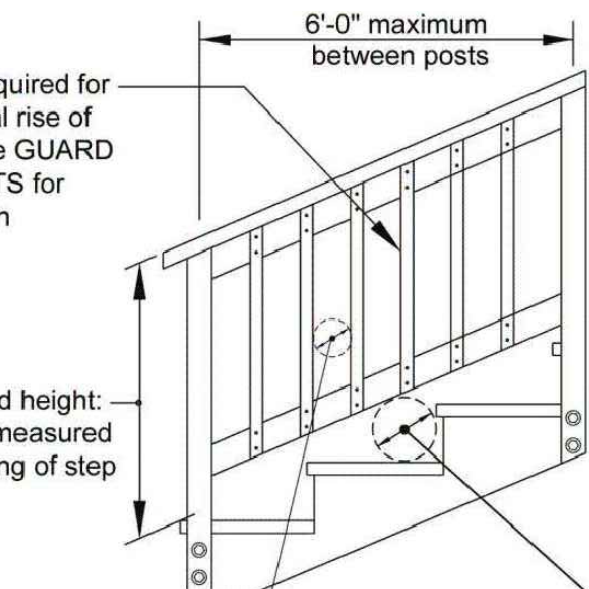
25 HANDRAIL GRIP SIZE
SCALE: NONE

stair guard is required for stairs with a total rise of 30" or more; see GUARD REQUIREMENTS for more information

stair guard height: 36" min. measured from nosing of step

Openings for required guards on the sides of stair treads shall not allow a sphere to pass through.

4"



22 GUARDRAIL DETAIL @ STAIR
SCALE: NONE

PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS & BAND JOISTS
(REFERENCE IRC TABLE R507.9.1.3(2))

MINIMUM END & EDGE DISTANCE & SPACING BETWEEN ROWS				
	TOP EDGE	BOTTOM EDGE	ENDS	ROW SPACING
LEDGER(a)	2"(d)	¾"	2"(b)	1½"(b)
BAND JOIST(c)	¾"	2"	2"(b)	1½"(b)

- LAG SCREWS OR BOLTS MUST BE STAGGERED FROM THE TOP AND BOTTOM ALONG THE HORIZONTAL RUN. SEE FIGURE BELOW.
- MAXIMUM 5 INCHES.
- FOR ENGINEERED RIM JOISTS, THE MANUFACTURER'S RECOMMENDATIONS GOVERN.
- THE MINIMUM DISTANCE FROM THE BOTTOM ROW TO THE TOP EDGE OF THE LEDGER MUST BE IN ACCORDANCE WITH FIGURE BELOW.

DECK JOIST SPAN FOR COMMON LUMBER SPECIES (ft.-in.)
(REFERENCE IRC TABLE R507.6)

SPECIES(a)	SIZE	ALLOWABLE JOIST SPAN(b)			MAXIMUM CANTILEVER(c,f)		
		SPACING OF DECK JOISTS (INCHES)			SPACING OF DECK W/ CANTILEVERS(c)		
SOUTHERN PINE		12	16	24	12	16	24
	2X6	9-11	9-0	7-7	1-3	1-4	1-6
	2X8	13-1	11-10	9-8	2-1	2-3	2-5
	2X10	16-2	14-0	11-5	3-4	3-6	2-10
DOUGLAS FIR-LARCH(d), HEM-FIR(d), SPRUCE-PINE-FIR(d)	2X6	9-6	8-8	7-2	1-2	1-3	1-5
	2X8	12-6	11-1	9-1	1-11	2-1	2-3
	2X10	15-8	13-7	11-1	3-1	3-5	2-9
	2X12	18-0	15-9	12-10	4-6	3-11	3-3
DOUGLAS FIR-LARCH(d), HEM-FIR(d), SPRUCE-PINE-FIR(d)	2X6	8-10	8-0	7-0	1-0	1-1	1-2
	2X8	11-8	10-7	8-8	1-8	1-10	2-0
	2X10	14-11	13-0	10-7	2-8	2-10	2-8
	2X12	17-5	15-1	12-4	3-10	3-9	3-1

- NO. 2 GRADE WITH WET SERVICE FACTOR.
- GROUND SNOW LOAD, LIVE LOAD = 40 PSF, DEAD LOAD L/Δ = 360.
- GROUND SNOW LOAD, LIVE LOAD = 40 PSF, DEAD LOAD 10 PSF L/Δ = 360 AT MAIN, L/Δ = 180 AT CANTILEVER WITH A 220-POUND POINT LOAD APPLIED TO END.
- INCLUDES INCISING FACTOR.
- NORTHERN SPECIES WITH NO INCISING FACTOR.
- CANTILEVERED SPANS NOT EXCEEDING THE NOMINAL DEPTH OF THE JOIST ARE PERMITTED.

MAXIMUM JOIST SPACING FOR DECKING
(REFERENCE IRC TABLE R507.7)

DECKING MATERIAL TYPE AND NOMINAL SIZE	MAXIMUM ON-CENTER JOIST SPACING	
	DECKING PERPENDICULAR TO JOIST	DECKING DIAGONAL TO JOIST(a)
1¼-INCH-THICK WOOD	16 INCHES	12 INCHES
2-INCH-THICK WOOD	24 INCHES	16 INCHES

- MAXIMUM ANGLE OF 45 DEGREES FROM PERPENDICULAR FOR WOOD DECK BOARDS.

DECK POST HEIGHT(a)
(REFERENCE IRC TABLE R507.4)

DECK POST SIZE	MAXIMUM HEIGHT(a, b) (feet-inches)
4X4	6-9(c)
4X6	8
6X6	14
8X8	14

- MEASURE TO THE UNDERSIDE OF THE BEAM.
- BASED ON 40 PSF LIVE LOAD.
- THE MAXIMUM PERMITTED HEIGHT IS 8 FEET FOR ONE-PLY AND TWO-PLY BEAM. THE MAXIMUM PERMITTED HEIGHT FOR THREE-PLY BEAMS ON POST CAP IS 6 FEET 9 INCHES.

DECK LEDGER CONNECTION BAND JOIST (a,b)
(REFERENCE IRC TABLE R507.9.1.3(1) DECK LIVE LOAD = 40 PSF, DECK DEAD LOAD = 10 PSF, SNOW LOAD 40 PSF)

CONNECTION DETAILS	JOIST SPAN						
	6' & LESS	6'1" TO 8'0"	8'1" TO 10'0"	10'1" TO 12'0"	12'1" TO 14'0"	14'1" TO 16'0"	16'1" TO 18'0"
½"Ø LAG SCREW WITH ½" MAXIMUM SHEATHING (c,d)	30	23	18	15	13	11	10
½"Ø LAG SCREW WITH ½" MAXIMUM SHEATHING (d)	36	36	34	29	24	21	19
½"Ø LAG SCREW WITH ½" MAXIMUM SHEATHING (e)	36	36	29	24	21	18	16

- LEDGERS SHALL BE FLASHED TO PREVENT WATER FROM CONTACTING THE HOUSE BAND JOIST.
- SNOW LOAD SHALL NOT BE ASSUMED TO ACT CONCURRENTLY WITH LIVE LOAD.
- THE TIP OF THE LAG SCREW SHALL FULLY EXTEND BEYOND THE INSIDE FACE OF THE BAND JOIST
- SHEATHING SHALL BE WOOD STRUCTURAL PANEL OR SOLID SAWN LUMBER.
- SHEATHING SHALL BE PERMITTED TO BE WOOD STRUCTURAL PANEL, GYPSUM BOARD, FIBERBOARD, LUMBER OR FOAM SHEATHING. UP TO ½" THICKNESS OF STACKED WASHERS SHALL BE PERMITTED TO SUBSTITUTE FOR UP TO ½" OF ALLOWABLE SHEATHING THICKNESS WHERE COMBINED WITH WOOD STRUCTURAL PANEL OR LUMBER SHEATHING.

DECK BEAM SPAN LENGTHS (a, b, g) (ft.-in.)
(REFERENCE IRC TABLE R507.5)

SPECIES(c)	SIZE(d)	DECK JOIST SPAN LESS THAN OR EQUAL TO: (feet)						
		6	8	10	12	14	16	18
SOUTHERN PINE	1 - 2X6	4-11	4-0	3-7	3-3	3-0	2-10	2-8
	1 - 2X8	5-11	5-1	4-7	4-2	2-10	3-7	3-5
	1 - 2X10	7-0	6-0	5-5	4-11	4-7	4-3	4-0
	1 - 2X12	8-3	7-1	6-4	5-10	5-5	5-0	4-9
	2 - 2X6	6-11	5-11	5-4	4-10	4-6	4-3	4-0
	2 - 2X8	8-9	7-7	6-9	6-2	5-9	5-4	5-0
	2 - 2X10	10-4	9-0	8-0	7-4	6-9	6-4	6-0
	2 - 2X12	12-2	10-7	9-5	8-7	8-0	7-6	7-0
	3 - 2X6	8-2	7-5	6-8	6-1	5-8	5-3	5-0
	3 - 2X8	10-10	9-6	8-6	7-9	7-2	6-8	6-4
DOUGLAS FIR-LARCH(e), HEM-FIR(e), SPRUCE-PINE-FIR(e), REDWOOD, WESTERN CEDARS, PONDEROSA PINE(f), RED PINE(f)	3 - 2X10	13-0	11-3	10-0	9-2	8-6	7-11	7-6
	3 - 2X12	15-3	13-3	11-10	10-9	10-0	9-4	8-10
	3X6 OR 2 - 2X6	5-5	4-8	4-2	3-10	3-6	3-1	2-9
	3X8 OR 2 - 2X8	6-10	5-11	5-4	4-10	4-6	4-1	3-8
	3X10 OR 2 - 2X10	8-4	7-3	6-6	5-11	5-6	5-1	4-8
	3X12 OR 2 - 2X12	9-8	8-5	7-6	6-10	6-4	5-11	5-7
	4X6	6-5	5-6	4-11	4-6	4-2	3-11	3-8
	4X8	8-5	7-3	6-6	5-11	5-6	5-2	4-10
	4X10	9-11	8-7	7-8	7-0	6-6	6-1	5-8
	4X12	11-5	9-11	8-10	8-1	7-6	7-0	6-7
3 - 2X6	7-4	6-8	6-0	5-6	5-1	4-9	4-6	
3 - 2X8	9-8	8-6	7-7	6-11	6-5	6-0	5-8	
3 - 2X10	12-0	10-5	9-4	8-6	7-10	7-4	6-11	
3 - 2X12	13-11	12-1	10-9	9-10	9-1	8-6	8-1	

- GROUND SNOW LOAD, LIVE LOAD = 40 PSF, DEAD LOAD = 10 PSF, L/Δ = 360 AT MAIN SPAN, L/Δ = 180 AT CANTILEVER WITH A 220-POUND POINT LOAD APPLIED AT THE END.
- BEAMS SUPPORTING DECK JOISTS FROM ONE SIDE ONLY.
- NO. 2 GRADE, WET SERVICE FACTOR.
- BEAM DEPTH SHALL BE GREATER THAN OR EQUAL TO DEPTH OF JOISTS WITH A FLUSH BEAM CONDITION.
- INCLUDING INCISING FACTOR.
- NORTHERN SPECIES. INCISING FACTOR NOT INCLUDED.
- BEAM CANTILEVERS ARE LIMITED TO THE ADJACENT BEAM'S SPAN DIVIDED BY 4.

CONTRACTOR:
TBD

OWNER:
CEAIR BAGGETT
845 DAYTON ST
CINCINNATI, OH 45214

PROPOSED
**DETACH
3-CAR GARAGE W/
ROOFTOP DECK &
ENCLOSE
BREEZEWAY**
845 DAYTON ST.
CINCINNATI, OH 45214

REVISIONS:

DRAWING TITLE:

**DECK
TABLES**

PROJECT #: 2020-028
SCALE: AS NOTED
DRAWN BY: SHEET NO:

CHECK BY:

DATE: 08/01/2024

A-9

BASIS OF BEARINGS:

O.R. 12949, PG. 1651 AND THE NORTH LINE OF DAYTON STREET BEING N 84°00'00"W

DEED OF RECORD

O.R. 12949, PG. 1651

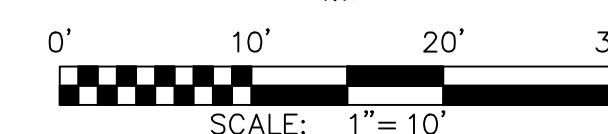
LEGEND

STANDARD SYMBOLS THAT MAY APPEAR ON THIS DRAWING:

- IP FOUND-5/8"
IP FOUND-1"
IP SET - 5/8"
IP SET - 1"
IRON PIPE FOUND
PK FOUND
MAG NAIL SET
RR SPIKE FOUND
RR SPIKE SET
CONC. MON. FOUND
HUB & TACK SET
STONE FOUND
CROSS NOTCH SET
BENCH MARK
LATH SET ON-LINE

- GAS LINE
WATER LINE
SANITARY SEWER
FENCE
ELECTRIC UTILITY
GAS METER (GM)
FIRE HYDRANT (FH)
CLEANOUT (CO)
MANHOLE (MH)
PHONE BOX (PB)
UTILITY POLE (UP)
ELECTRIC METER (EM)
DRAIN
STONE PATH
WATER VALVE (WV)
VENT PIPE (VP)
CATCH BASIN (CB)
DOWNSPOUT (DS)
GAS VALVE (GV)
HOSE BIBB (HB)
(TBR) TO BE REMOVED

AREA: 0.1205 ACRES (SURVEY)
CEAIR J. BAGGETT
O.R. 12949, PG. 1651 (0.123 ACRES)
AUDITOR'S PARCEL: 132-0002-0048



SCALE: 1"=10'
PLOT PLAN
FOR DETACHED
GARAGE w/ROOFTOP DECK
SITUATED IN
SECTION 19, TOWN 3, F.R. 2
MIAMI PURCHASE
CITY OF CINCINNATI
HAMILTON COUNTY, OHIO

05/30/2024

J. T. KING & CO., INC.
CIVIL ENGINEERS • LAND SURVEYORS
9200 MONTGOMERY ROAD • SUITE "21b"
CINCINNATI, OHIO 45242
TELEPHONE: (513) 793-7687 FACSIMILE: (513) 793-7687

CEAIR J. BAGGETT
845 DAYTON STREET
CINCINNATI, OHIO 45214

APPROVED BY: J. T. K. DRAWN BY: NORDLOH DATE: 05/29/2024 CRD. NAME: BAGGETT.CRD

SCALE: 1"=20' DWG. NAME: BAGGETT_A FILE No. 24101-S

- NOTES
1) EROSION CONTROL SHALL BE IN PLACE BEFORE STARTING CONSTRUCTION.
2) SANITARY LATERAL SHALL BE 6" SDR 35 PVC @ 2% MIN. GRADE.
3) ALL BARE SOIL SHALL BE SEEDED & MULCHED.
4) FACE OF FOUNDATION WILL NOT SHOW MORE THAN THREE (3) FEET OF EXPOSED CONCRETE AT FRONT OF HOUSE.
5) ZONING = RM-1.2 - RESIDENTIAL MULTI-FAMILY SITE LIES WITHIN THE CITY'S HISTORIC DISTRICT.
6) TAP PERMIT AND FEES ARE REQUIRED FROM MSD

- 7) A PLUMBING PERMIT, FEES AND INSPECTION ARE REQUIRED FROM THE CITY OF CINCINNATI PLUMBING SECTION FOR ALL PLUMBING WORK.
8) IF LOWEST LEVEL ELEVATION IS BELOW RIM ELEVATION OF UPSTREAM MANHOLE, THEN TAP MUST INCLUDE BACKFLOW PREVENTION OR BE PUMPED TO GRAVITY.
9) FOOTERS ARE TO REST ON UNDISTURBED SOIL.
10) DRIVE APRON AND WALK SHALL BE 7" THICK, CLASS 'C' CONCRETE, 4,000 PSE.

- 1 SHARON R. COOK
O.R. 6780, PG. 1314 (0.14 ACRES)
AUDITOR'S PARCEL: 132-0002-0047
2 ANTOINETTE MEATCHEM
O.R. 8148, PG. 1897 (0.10 ACRES)
AUDITOR'S PARCEL: 132-0002-0049

SILT FENCE PLACEMENT DETAILS

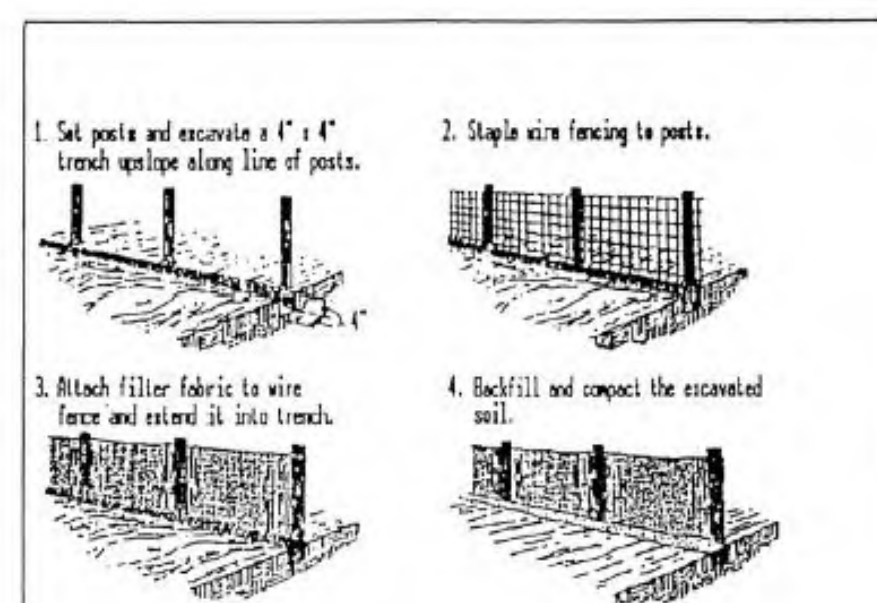


Figure 1 POSTED SILT FENCE CONSTRUCTION

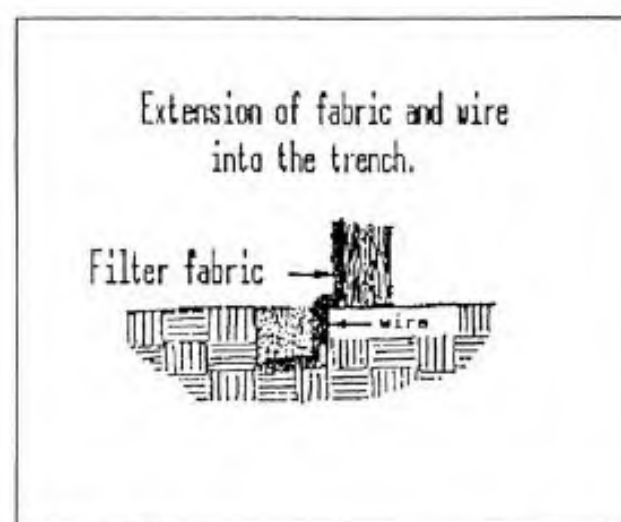


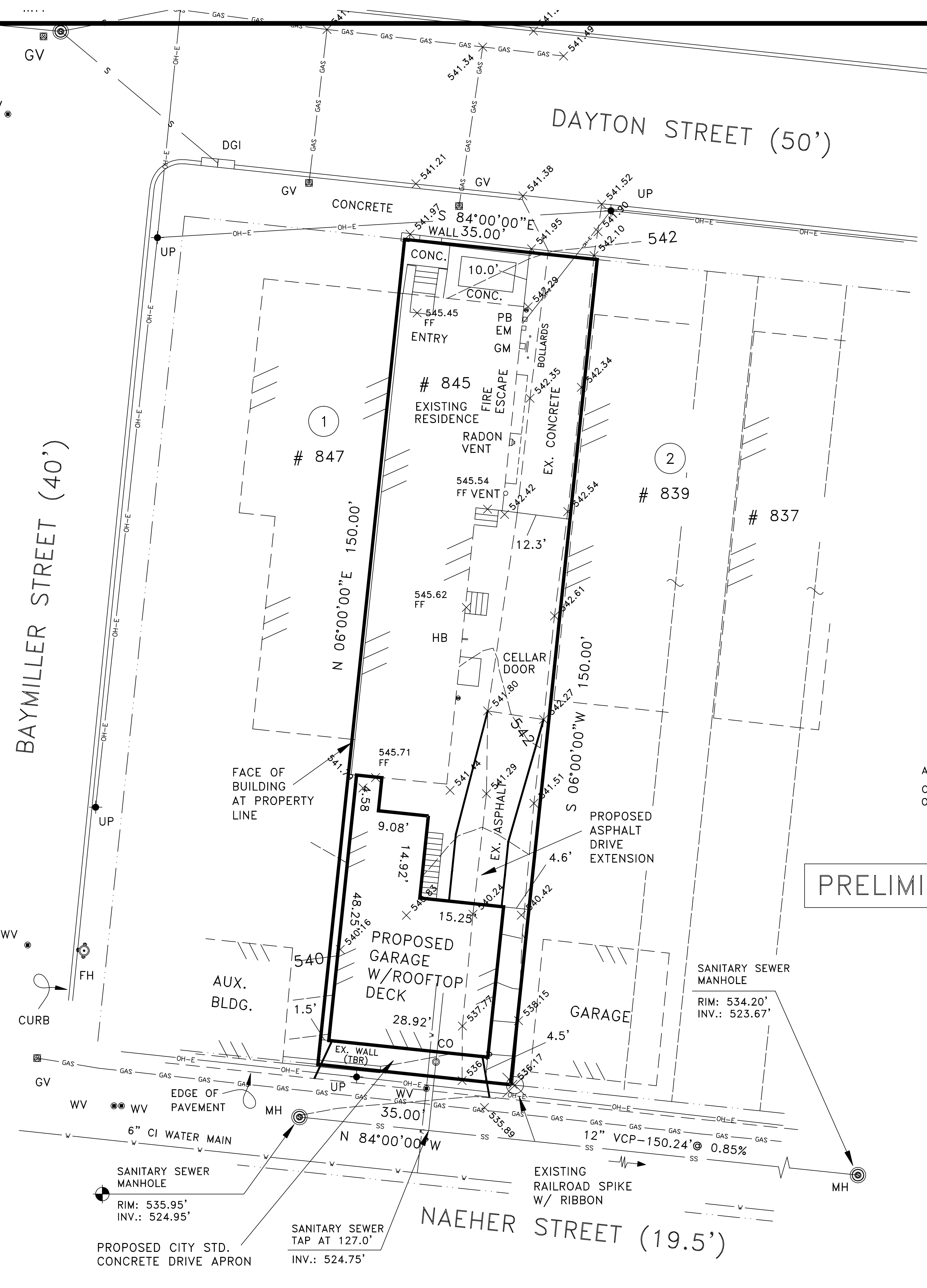
Figure 2 SECTION THROUGH TRENCH

Silt Fence: This sediment barrier utilizes standard strength or extra strength synthetic filter fabrics. It is designed for situations in which only sheet or overland flows are expected.

- 1. The height of a silt fence shall not exceed 36 inches (higher fences may impound volumes of water sufficient to cause failure of the structure).
2. The filter fabric shall be purchased in a continuous roll cut to the length of the barrier to avoid the use of joints.
3. Posts shall be spaced a maximum of 10 feet apart at the barrier location and driven securely into the ground (minimum of 12 inches).
4. A trench shall be excavated approximately 4 inches wide and 4 inches deep along the line of posts and upslope from the barrier.
5. When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy duty wire staples at least 1 inch long.
6. The Standard Strength Filter fabric shall be stapled or wired to the fence, and 8 inches of the fabric shall be extended into the trench.
7. When extra strength filter fabric and closer post spacing are used, the wire mesh support fence may be eliminated.
8. The trench shall be backfilled and soil compacted over the filter fabric.
9. Silt fences shall be removed when they have served their useful purpose, but not before the upslope area has been permanently stabilized.

Maintenance

- 1. Silt fences and filter barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall.
2. Should the fabric on a silt fence of filter barrier decompose or become ineffective prior to the end of the expected usable life and the barrier is still necessary, the fabric shall be replaced promptly.
3. Sediment deposits should be removed after each storm event.
4. Any sediment deposits remaining in place after the silt fence of filter barrier is no longer required shall be dressed to conform with the existing grade, prepared and seeded.



PRELIMINARY

R/W

CURB

PROPOSED CITY STD. CONCRETE DRIVE APRON

SANITARY SEWER TAP AT 127.0' INV.: 524.75'

EXISTING RAILROAD SPIKE W/ RIBBON

SANITARY SEWER MANHOLE RIM: 534.20' INV.: 523.67'

NAEHER STREET (19.5')

BAYMILLER STREET (40')

DAYTON STREET (50')

To Whom It May Concern,

I am writing in support of the proposed garage addition at 845 Dayton St. After reviewing the plans, I am confident that this development will be a positive addition to the neighborhood. It is always encouraging to see progress and improvements in our area, and this project aligns well with the ongoing changes and developments on our street. The design and flow of the addition blend seamlessly with the character of the neighborhood.

I have been a resident of Dayton Street since the 1980s, and I currently serve as the President of the Dayton Street Preservation Foundation.

Thank you for considering my support of this proposal.

Sincerely,
Gerald J. Bates
President, Dayton Street Preservation Foundation

**APPLICATION FOR
CERTIFICATE OF APPROPRIATENESS AND ZONING RELIEF
HISTORIC CONSERVATION BOARD PUBLIC HEARING
STAFF REPORT**

APPLICATION #: COA2023052/ ZH20240145
APPLICANT: New Republic Architecture
OWNER: Drea 7-Main Place Acquisition, LLC
ADDRESS: **626-630 Main Street**
PARCELS: 079-0004-0010
ZONING: DD-B
OVERLAYS: Main Street Historic District
COMMUNITY: Downtown
REPORT DATE: November 27, 2024
STAFF REVIEW: Douglas Owen, Urban Conservator

Details of Zoning Relief Required:

The applicant requires the following Zoning Relief:

1. **Section 1411-17** – A **Special Exception** is required for no ground-floor commercial space, below the minimum 60% required.
2. **Section 1411-39** – A **Dimensional Variance** of 13' is required for a projecting sign 21' in height, in excess of the 8' limit.

Existing Conditions:

The subject property is located on the east side of Main Street between its intersection with E. 6th Street on the south and E. 7th Street on the north in the Downtown neighborhood and the Main Street Historic District. The building is noted as “incompatible” in the Main Street Conservation Guidelines, which is the equivalent of a non-contributing building. The building is a 4-story structure built in 1960 as an office building. It has been vacant for several years.

Proposed Conditions:

The proposal at 630 Main Street consists of the conversion of the former office building to a multi-family residential housing development. Work includes:

1. Expanding the size of existing window openings;
2. New window openings on west, south and east elevations;
3. New canopies above primary façade windows and entry doors;
4. New projecting sign;
5. Removal of interior portion of flat roof to create a light well.



Figure 1: Map of subject property. Image provided by Cagis.



Figure 2: Street view of subject property, July 2024. Image from Google.

Applicable Zoning Code Sections:

Zoning District:	Section 1411	Downtown Development (DD)
Variance Requests:	Section 1411	Development Standards
Variance Authority:	Section 1445-07	
HCB authority:	Section 1435-05-4	
Variance Standard:	Section 1445-13	General Standards: Public Interest
	Section 1445-15	Standards for Variances
Overlays:	Section 1435	Historic Preservation
Historic District/Reg:		Main Street Historic District
COA Standard:	Section 1435-09-2	COA; Standard of Review

Previous Review: N/A

Zoning Analysis:

The applicant requires zoning relief to allow residential use on the ground floor and for the size of the proposed projecting sign. The Commercial Continuity Overlay in this area requires a minimum of 60% of ground-floor frontage on W. 4th Street to be dedicated to commercial use. The applicant is proposing no commercial uses in the building. Projecting signs are limited to 8’ in height, with a proposed 21’ tall projecting sign.

The sign height was reduced from the initial review from 34’ to the current 21’. Staff had also identified a variance for fence height in the initial review. The current plans show planters 2.58’ in height with 8” spacing between. This complies with the Zoning regulations for height and opacity and no relief is needed.

Standards for Zoning Relief per Section 1435-05-4

- a. *Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the Historic District of Historic Asset; or*

Staff finds that the Special Exception to allow ground-floor residential use is generally appropriate at this location. While located in a strong commercial corridor, the existing building was originally designed as an office building without true ground-floor commercial storefronts. The proposed exterior alterations will increase transparency on the street and the proposed ground-floor residential uses will not be wholly dissimilar to the previous lightly-used office space.

The variance for the height of the proposed projecting sign is significant at more than double the allowable height; however, the sign, combined with additional proposed window openings provides detail and interest to the otherwise largely blank wall face in this part of the building. Additionally, the projection somewhat lessens the effect of an incompatible 6’ setback, as it will be built within this void. Staff finds the proposed relief to be in the interest of historic preservation due to the unique nature of the non-contributing building. The sign is discussed further in the COA discussion below.

- b. *Is necessary where the denial thereof would result in a deprivation of all economically viable uses of the property as viewed in its entirety. In making such a determination, the Historic Conservation Board may consider the factors set forth in Section 1435-09-2 (aa) to (ff).*

The denial will not result in the deprivation of all economically viable uses.

General Standards; Public Interest

Below is analysis of the consideration factors for all of the requested zoning actions, utilizing Section 1445-13, General Standards; Public Interest.

- a. **Zoning.** *The proposed work conforms to the underlying zone district regulations and is in harmony with the general purposes and intent of the Cincinnati Zoning Code.*

The underlying zone is DD-B. The proposal generally complies with the intent of the Zoning Code.

- b. **Guidelines.** *The proposed work conforms to any guidelines adopted or approved by Council for the district in which the proposed work is located.*

The proposed work substantially conforms to the guidelines for the Main Street Historic District (refer to COA review below).

- h. **Neighborhood Compatibility.** *The proposed work is compatible with the predominant or prevailing land use, building and structure patterns of the neighborhood surrounding the proposed development and will not have a material net cumulative adverse impact on the neighborhood.*

The proposed work is generally compatible with the neighborhood.

- i. **Proposed Zoning Amendments.** *The proposed work is consistent with any proposed amendment to the zoning code then under consideration by the City Planning Commission or Council.*

There are no proposed amendments under consideration that would impact this proposed project.

- j. **Adverse Effects.** *Any adverse effect on the access to the property by fire, police, or other public services; access to light and air from adjoining properties; traffic conditions; or the development, usefulness or value of neighboring land and buildings.*

There is no anticipated adverse effect for the proposed relief.

- p. **Public Benefits.** *The public peace, health, safety or general welfare.*

There is no anticipated detriment to the public peace health, safety or general welfare of the public or neighbors as a result of the requested relief.

Certificate of Appropriateness Review:

Staff finds that the proposed work substantially conforms to the Main Street Historic Conservation District Guidelines as discussed below.

REHABILITATION AND ALTERATION

630 Main Street is listed as an “Incompatible” or non-contributing building in the Main Street Conservation Guidelines. The guidelines include the following notes on the incompatible aspects of the building:

- The main bulk of the building is “too wide and not compatible with the street’s pattern of narrow facades;”
- The “building setback is inconsistent with other buildings on the street;”
- There are “no openings or details in [the southern bay] of the building (incompatible with the rest of the street);”
- The “recessed opening creates [a] void at street level;”
- The building has “small window openings [and a] low proportion of glass to wall.”

There are no specific guidelines listed for non-contributing buildings in the Main Street Guidelines. In most districts, non-contributing buildings generally must adhere to the rehabilitation guidelines for the district and must either make the building more compatible with the surrounding district, or make alterations that are in character with the features of the existing building. Analysis is included below based on the Main Street Rehabilitation Guidelines.

SPECIFIC GUIDELINES

1. *Upper Floor Windows:*

- a. *Openings: Closing in window openings makes the face of a building appear to have lost its "Eyes." Reducing or enlarging window openings makes the "eyes" appear too small or too large for the face of the building wall.*

Guideline – *Original openings should not be altered.*

- b. *Trim: Removing window trim such as window heads removes the sense of depth and definition a window has and is like removing the eye brows over the "eyes" (windows) of the building face.*

Guideline – *Original window trim should not be removed.*

- c. *Type: Replacing original windows with an entirely different type of window (casement replacing double-hung for example), can appear out-of-place given the type of window commonly found buildings of particular styles and particular time periods.*

Guideline – *Window replacements should match the character of the original.*

Existing windows are aluminum casement windows that are not as tall as typical window openings in the district and have no trim. As the Guidelines note, the existing windows are small and have a low ratio of glass to wall area. The applicant is proposing to enlarge the existing openings vertically and replace the sash with fiberglass casement windows from Pella. The vertically enlarged openings will increase the light infiltration for the newly proposed residential units in the building and will also help to increase the vertical emphasis of the otherwise horizontally oriented building.

New punched window openings will be installed in the southern bay of the west elevation, which will match the sizes and rhythm of the other proposed window opening alterations on the façade. It will also help to break up this large blank portion of wall, which is noted as incompatible in the guidelines. Additional new window openings are proposed for the south and east elevations, which currently have few windows.

Staff finds that the proposed window openings and replacement sash are compatible with the district and the individual building itself and will help improve some of the primary incompatible features of the building including the low ratio of glass to wall area and the overall horizontal emphasis of the building.

2. ***Cornice:*** *Reducing the depth of a cornice or parapet or removing the cornice makes the building look like it has lost its top.*

Guideline – *Cornices should not be removed.*

The building currently has no cornice. The existing limestone coping will remain in place. No changes are proposed to the top of the building.

3. ***Ornamentation:*** *Removing ornamentation or replacing it with substitutes which are of a different scale and design from the original leave a building looking stripped and bare. New ornament should match the original (if you have any left as a model) in size, shape, scale and general design character.*

Guideline – *Replacement ornamentation should match the character of the original.*

The building currently has little ornamentation. The primary ornamentation includes vertical limestone ribs framing the window openings and running from the sidewalk to the roof. The ribs will remain in place. The recessed entry also features a simple limestone surround, which will also be retained.

5. ***Storefronts:***

- a. ***Materials:*** *Introducing designs and materials not found in the district or in buildings of a particular time period appears incongruous and often creates a hodgepodge of building materials and a mixture of images.*

Guideline – *The design of storefronts should be in character with the building.*

- b. ***Setback:*** *Significantly setting back the storefront from the face of the building (not to be confused with recessed entrances which are common) as in an arcade is out of keeping with the historic character of the building and alters the continuity and storefront rhythm of the street.*

Guideline – *Arcading storefronts (setting them back from the face of the building) is inappropriate.*

- c. *Openings: Reducing the size of window openings, often by raising the window sill or filling in the transom, cuts down on transparency which is important to store windows and eliminates the vertical emphasis to the 1st floor.*

Guideline – *Maintain transparency.*

- d. *Features: Covering or removing significant elements such as piers, lintels, transom, panels below store windows, or original doors results in a substantial loss of historic character.*

Guideline – *Retain original storefront features.*

The existing building does not have a true commercial storefront, but a recessed entry to the former office building. The remainder of the ground-floor frontage consists of regular punched window openings matching the upper floors.

The storefront system in the recessed main entry will be replaced with a modern aluminum storefront system in the same configuration as the existing. An aluminum entry canopy will be installed within the limestone surround and is discussed below under “Awnings.” Individual window openings on the ground-floor will be extended downward for larger window openings as well as entry doors to ground-floor units. The proposed changes are keeping with the character of the existing building and will improve the ground-floor area by increasing transparency.

6. **Signs:**

- a. *Location: Signs are most successful visually when they work with, not against, the architecture. They are usually attached to or at the height of the storefront lintel. Signs should not project above the 2nd floor window sills or above the roof line where it would overpower the building. Signs should not cover up or require the removal of significant architectural elements.*

Guideline – *Signs should be located at the top of the storefront and should not cover up the special features of the building.*

- b. *Size and Number: Simple, bold designs on a minimal number of signs communicate more clearly than many competing signs. Signs should not significantly reduce storefront transparency or overpower the architecture of the building in terms of size and number of signs or in the ornateness of the design.*

Guideline – *Signs should not overwhelm, oversize or clutter the storefront.*

- c. *Character: Signs should capitalize on the special character of the building and district and reflect the nature of the business they are identifying. Small projecting signs such as symbol signs are appropriate. Signs painted on windows and signs on awnings are also appropriate.*

Guideline – *Signs should be as distinctive as the businesses they identify.*

- d. *Prohibited Signs: Billboards; Standardized, internally illuminated signs with brand names; Sandwich boards which obstruct pedestrian traffic; Temporary illuminated signs.*

One large projecting sign is proposed for the building. The sign is approximately 21' x 2.5' and is proposed for the taller southern bay of the west elevation, near the southwest corner, essentially spanning the third and fourth floors. While the proposed sign is larger than the "small projecting signs such as symbol signs" contemplated by the guidelines, Staff finds that the larger size is generally appropriate on this non-contributing building. The southern bay is noted in the Guidelines as being incompatible due to its lack of detail or openings, essentially presenting as a large blank wall. The additional window openings proposed for this area help to break up the massing, and the large projecting sign adds additional interest, detail and verticality. This bay is approximately 63' tall and is the most vertically oriented portion of the building. The 21' tall projecting sign, while large, fits well within this bay and further helps to add vertical emphasis.

The sign is proposed to be illuminated. The majority of the sign area will be solid aluminum background with individual illuminated letters standing off from the aluminum backing. While the guidelines prohibit internally illuminated signs with brand names, business and building names have previously been permitted in the district.

7. **Awnings:**

- a. *Materials: Fabric awnings are appropriate on most district buildings and add color to the area. Awnings and canopies made of plastic, wood, or metal are generally inappropriate. Decorative metal canopies may be appropriate on early 20th century buildings.*

Guideline – *Fabric awnings are encouraged.*

- b. *Location: Awnings can be installed so that they do not cover significant architectural features or alter the character of the original building.*

Guideline – *Awning installation should not require the removal of or cover significant architectural features. Storefront awnings should not cover 2nd floor window sills.*

Canopies are proposed on the primary (west) elevation above the main entry and window openings. The fourth floor openings will have a continuous canopy that runs the length of the façade, while lower floor openings have individual window canopies. All canopies will be aluminum. The awnings will not require the removal of significant architecture features, and will not significantly cover any features. While the Guidelines state that fabric awnings are encouraged and metal is generally inappropriate, Staff finds that the aluminum awnings are in character with the 1960 non-contributing building and are more appropriate than fabric awnings considering the era from which the building dates.

SITE IMPROVEMENTS

Specific Guidelines

2. **Sidewalks/ Parks/ Plazas and their Furnishings:** *Paving materials, screen walls, landscaping, lighting, seating, and other "street furnishings" have an impact on district character. The design and placement of these elements should respond to the historic and architectural character of the district.*

Guideline – *Paving materials should have the appearance of individual units to give the surface scale. Appropriate materials include brick, scored concrete, and unit pavers. The pattern of the paving should respond to the architectural setting by relating to elements of abutting buildings such as piers, entrances, columns. The furnishings in these spaces should relate to the character of the district.*

The building currently has a 6’ setback from the front property line, a condition noted as “incompatible” in the Conservation Guidelines. The applicant is proposing to activate this setback area by installing door openings to individual residential units in certain existing window openings and placing cast stone planters along the property line to create a semi-private terrace area for residents on the ground floor. Staff finds that the cast stone planters are in character with the building and will help to soften the existing setback and transition from the sidewalk to the building façade by creating a defined edge at the front property line.

Other Considerations:

Prehearing Results: A prehearing was held on November 27, 2024. The applicant was in attendance. No members of the public joined.

Comments Provided to Staff: No comments were received at the time of the finalization of the Staff Report.

Recommendation:

Staff recommends the Historic Conservation Board take the following actions based on the undated plans submitted with this application by New Republic Architecture:

I. ZONING RELIEF

- A. Section 1411-17 – **APPROVE** – A **Special Exception** for no ground-floor commercial space, below the minimum 60% required.
- B. Section 1411-39 – **APPROVE** – A **Dimensional Variance** of 13’ is required for a projecting sign 21’ in height, in excess of the 8’ limit
- C. **FINDING:** The Board makes the determination per Section 1435-05-4(a):
 - i. That the proposed work is necessary and appropriate and in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the Historic District.

II. **CERTIFICATE OF APPROPRIATENESS**

A. APPROVE the application for a Certificate of Appropriateness for 626-630 Main Street with the following conditions:

- i. The building permits must be issued within two years of the decision date or the Certificate of Appropriateness shall expire.

B. FINDING: The Board makes this determination per Section 1435-09-2:

- i. That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

Historic Conservation Board

Hearing Application



11 Centennial Plaza
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202
Monday- Friday 7:30 am- 4 pm
513-352-1559

Section 1. SUBJECT PROPERTY

ADDRESS _____ COMMUNITY _____
PARCEL ID(S) _____ HISTORIC DISTRICT _____
BASE ZONING CLASSIFICATION _____ HILLSIDE DISTRICT: Yes No
 Non-Residential Project Residential Project (RCO) One -, Two -, and Three- Family Dwelling

Section 2. APPLICANT

NAME _____ CONTACT PERSON (if legal entity) _____
ADDRESS _____ CITY _____ STATE _____ ZIP _____
EMAIL _____ RELATIONSHIP TO OWNER (if not owner) _____
TELEPHONE _____

Section 3. OWNER

NAME _____ CONTACT PERSON (if legal entity) _____
ADDRESS _____ CITY _____ STATE _____ ZIP _____
EMAIL _____ RELATIONSHIP TO OWNER (if not owner) _____
TELEPHONE _____

Section 4. NATURE OF CERTIFICATE OF APPROPRIATENESS REQUESTED

A certificate of appropriateness is NOT being requested. (Proceed to Section 5.)

A certificate of appropriateness is being requested for:

New Construction Alteration Demolition

BRIEF DESCRIPTION OF PROJECT (*Do not write "see attached" or leave blank.*)

Section 5. NATURE OF ZONING RELIEF REQUESTED

Zoning relief is NOT being requested, or select all that apply:
 Variance Special Exception Conditional Use Use Variance
 Expansion or Substitution of Non-Conforming Use Hillside Overlay District Permission
 Urban Design Overlay District Permission DD District Phased Development Approval

BRIEF DESCRIPTION OF ZONING RELIEF REQUESTED (*Do not write "see attached" or leave blank.*)

Section 6. SIGNATURE.

I certify that all statements and documents that I provide with reference to this application are accurate, complete, and true to the best of my knowledge and belief. I further acknowledge that my application shall be deemed incomplete for my failure to timely comply with any requirement of this application, which non-compliance may result in delays in the scheduling and resolution of my application.

Print Name _____ Signature  Date _____

Section 7. DOCUMENTATION SUBMISSION REQUIREMENTS.

Important Information: An application will not be deemed complete until all required documents listed below have been submitted and the application fee is paid in full. All transactions must be completed by 4:00pm. No exceptions. Applicants are strongly encouraged to submit as early as possible to allow time for review and revisions. Partial applications cannot be processed. Failure to submit a complete application prior to 4:00pm on a deadline date will result in delays to the assigned hearing date.

<input type="checkbox"/>	Submit two (2) paper copies collated, single sided and bound together of all the documents listed below, AND one (1) digital copy on a thumb/flash drive in PDF format of all documents listed below. <i>No emails.</i>
<input type="checkbox"/>	Historic Conservation Board hearing application; pages 1-2 only. The instruction pages should not be included in your submission.
<input type="checkbox"/>	Adjudication Letter AND worksheet issued by the Department of City Planning & Engagement – Urban Conservator’s Office. Provide all documents requested on the worksheet.
<input type="checkbox"/>	A written statement explaining how the proposed project meets the applicable Historic Conservation Guidelines and, if requested, Zoning relief. Separate instructions for preparing this statement are attached. <i>If you fail to follow the instructions for your type of request(s), your application may be denied.</i>
<input type="checkbox"/>	Applications requesting development permission in a Hillside Overlay District must meet the additional requirements found in Cincinnati Municipal Code 1433-15. <i>Please ensure your application meets these requirements.</i>
<input type="checkbox"/>	All documents (forms, letters, etc.) must be formatted to 8.5x11. Font no smaller than size 11. Plans or drawings may be formatted to 11x17 or 12x18. <i>No larger sizes will be accepted.</i>
<input type="checkbox"/>	Accurate drawings, plans or surveys (including a graphic scale) of existing and proposed project showing parcel lines, boundaries, dimensions, areas, topography, and frontage of the property involved, as well as the location and dimensions of all primary and accessory structures from the nearest property lines. Provide all parcels and structures adjacent to the site. When landscaping is required by the zoning code, a landscaping plan must be provided.
<input type="checkbox"/>	Detailed information (such as drawings, elevations with measurements, specifications) fully depicting the exterior and/or interior appearance of the existing and proposed project, including parking and access, exterior lighting, landscaping, signs, roof and floor plans involved in the application. Provide labeled photographs of existing conditions of all sides/directions of the structure/property.
<input type="checkbox"/>	The Hamilton County Auditor’s record showing ownership of the property. If the Hamilton County Auditor’s official records do not list the applicant or owner as the owner of the property, please provide a lease, contract to purchase, or other agreement demonstrating the applicant or owner’s legal basis to seek the relief requested.
<input type="checkbox"/>	A list of witnesses, expert witnesses, or legal counsel who you expect to testify at the hearing on this application. Please provide names and email addresses.
<input type="checkbox"/>	Other documents or information you intend to introduce at the hearing on this application.
<input type="checkbox"/>	A non-refundable application fee - a check made payable to “City of Cincinnati.”

To help avoid delays, it is strongly suggested that you present your application to neighboring property owners and any interested neighborhood community groups prior to the hearing on your application. This will give you a prior opportunity to address your neighbors’ concerns or objections and can facilitate the approval of your application.

ADJUDICATION/DENIAL LETTER

Date: October 28, 2024

Location: 630 Main Street

Request: COA/ Zoning Relief

Zoning District: DD-B/ Main Street Historic District

The City of Cincinnati appreciates receiving information regarding your proposed project. The purpose of this letter is to inform you that your proposed project requires a Certificate of Appropriateness and Zoning Relief from the Historic Conservation Board, as it is within a local historic district and involves exterior alterations to the building, specifically, alterations to the primary and secondary façades.

All documents **that are checked** on the “Checklist for Historic Conservation Board” document are a required part of the submission, and the submission will not be considered complete unless all of these documents are included. When you submit the copies of the application, the “Checklist” Sheet must be submitted as well. The application can be found at this link: <https://www.cincinnati-oh.gov/sites/planning/assets/HCB%20Application%20Revised%202.2.22%20Hyperlink.pdf>.

All deadlines for upcoming Historic Conservation Board hearings can be found <https://www.cincinnati-oh.gov/planning/historic-conservation/historic-conservation-board/>. **Applications must be submitted no later than 3pm on the deadline date.**

Your request also does not comply with the City of Cincinnati Zoning Code for the following reason(s):

1. 1411-17: Commercial Continuity. A **Special Exception** is required to eliminate the 60% commercial continuity requirement for ground-floor residential.
2. 1411-39: Sign Regulations. A **Dimensional Variance** of 26’ for a projecting sign 34’ in height, in excess of the 8’ limit.
3. 1421-33(b): Fences and Walls. A **Variance** is required for less than 50% transparency.

The applications and documents required will be turned into the *Law Department- Office of Administrative Boards*. Their office is located on the 5th floor of 805 Central Avenue in the Permit Center. Applications can be turned in **no later than 3pm on the deadline date**. You must contact Kasandra Maynes at 513-352-1559 or Kasandra.Maynes@cincinnati-oh.gov for submittal.

You may also contact me at the information listed below with historic conservation or zoning questions, concerns or to make an appointment.

Sincerely,



Douglas Owen

Urban Conservator

(p): 513-352-4848

(e): douglas.owen@cincinnati-oh.gov

Checklist for Historic Conservation Board Hearing Application

The Historic Conservation Office will provide this list with the required items

checked off when an Adjudication letter is issued. All items checked must be submitted to the Law Department with submission or the application will not be accepted.

- 8 business days before the hearing date 10 hard copies and a digital copy in one pdf for the final board packet. Hard copies must be formatted and retain the proper scale on sheets no larger than 11x17 or 12x18.
- Non-Refundable Application Fee. Checks made payable to the City of Cincinnati. \$ 649.10

All Drawings and Plans must include the following

- ✓ A graphic scale required on all drawings
- ✓ North arrows on all site, context and floor plans
- ✓ Elevations labeled with North, South, East West, front, side and rear labels
- ✓ Street names labeled
- ✓ Date and/or revision dates

Architectural Drawings and Plans

- An index of drawings located on the first sheet
- Context Map showing the building within at least a block of context
- Existing site plans
- Proposed site plans
 - All site plans must have*
 - ✓ *Parcel/boundary lines*
 - ✓ *Building footprints and dimensions labeled*
 - ✓ *Setback dimensions from all property lines labeled*
 - ✓ *Existing and proposed principal and accessory buildings, including location, dimensions, and height labeled;*
 - ✓ *All properties and their structures immediately adjacent to the site*
 - ✓ *Location and placement of exterior utilities and vents*
- Existing elevation drawings (At minimum must provide photographs of existing conditions of all elevations)
- Proposed elevation drawings
 - All elevations (existing and proposed) must have*
 - ✓ *Total Height from grade to top of the building*
 - ✓ *Total height- ASL (Above Sea Level)*
 - ✓ *Materials labeled*
 - ✓ *Location and placement of exterior utilities and vents*
- Existing floor plans and roof plans (with chimney locations)
- Proposed floor plans and roof plans (with chimney locations)
 - All floor(existing and proposed) plans must have*
 - ✓ *Residential and Commercial Spaces labeled. Residential Spaces must be numbered.*
 - ✓ *Square feet of commercial spaces listed*
 - ✓ *Location of trash storage and Utilities*
 - ✓ *Location and placement of exterior utilities and vents*

- Site section and/or Site elevations including any adjacent properties
- Driveways, sidewalks, walkways, terraces, and other paved surfaces
- Existing and proposed accessory structures, including walls, fences, porches, lighting, signs, and other site improvements;
- Existing and proposed landscape areas and materials, if proposed to be altered;
- Proposed materials, textures, and colors. Include make, model and series for proposed materials
- Labeled photos of all sides of the building
- Labeled photos of 1 block streetscape context in all directions
- Site line drawings for any roof additions, roof decks, utilities.
- A color rendering, axonometric drawings and/or perspective of the proposed construction (required on infill projects)

Required if applicable to the project

- Historic Sanborn Maps of the site
- Window brochures and cut sheet
- Roof product information (brochure)
- Garage door brochures
- Sample materials or color samples. _____
- Fence drawings of style, fence brochures or photo of a sample fence
- Signs; drawings, photo showing the sign on the building, mounting info, materials, colors and illumination
- Mature tree removal requires a letter from an arborist stating its poor health
- All written correspondence submitted by the applicant and other affected persons
- Tentative project schedule
- Egress Plan/Route to Building Code Compliance (roof decks, multi-family developments)
- _____
- _____
- _____

Demolition (full or partial) for Historic Conservation Districts and Landmarks

- Demolition Case Sheet and all required information listed on the sheet unless otherwise not required by the Urban Conservator in writing and provided with application.
- Statement of plans for the property after demolition.

Hillside Overlay Zone (CZC § 1433)

- A development plan, accompanied by a property survey, showing existing vegetation and proposed development, and where applicable, streets, drives, parking areas, walkways, heights of structure(s), location of structures, elevation and setback of proposed buildings, drainage, existing contours and proposed grading and new landscaping plans, proposed uses and square footage of uses and recreational facilities;
- A preliminary geotechnical evaluation;
- A determination of the maximum building envelope;
- Average slope/grade of the property; and
- Graphic illustrations demonstrating that the proposed improvement or new structure has not exceeded the maximum building envelope

For additional questions about this checklist contact Urban Conservator at 513-352-4848 or urban.conservator@cincinnati-oh.gov

Note: The aforementioned information is general in nature. Additional information may be required by the Urban Conservator once the application is submitted. Please use this list to plan for the potential documents that could be required for a submission.

November 01, 2024
Mr. Doug Owen
Urban Conservator
Historic Conservation Board
805 Central Avenue, Suite 500
Cincinnati, OH 45202

Re: 630 (626) Main Street (The Hartford Building), Certificate of Appropriateness & Zoning Relief

Project Information and Existing Conditions

This letter addresses the proposed alterations to the existing Hartford Building, having an address of 626 Main Street and 630 Main Street, with respect to the Main Street Historic District guidelines for rehabilitation. The building is listed as a **NON_CONTRIBUTING** building to the historic district and will be referenced as 630 Main Street.

The building is a four-story concrete structure with limestone and brick veneer consisting of four floors that are fully above grade and a basement that is completely below grade. The building is approximately 113 feet wide and 152 feet long. Its west, primary elevation, fronts Main Street, its east elevation fronts Leslie Alley, its south elevation fronts an open drive and parking lot, and its north wall abuts a three-story masonry building. The west façade, along Main Street, is uniquely set back from adjacent properties and sidewalks approximately six (6) feet.

The original structure was completed in 1960 and occupied by various business tenants and is currently vacant.

630 Main Street was not constructed with traditional storefront at the ground floor along Main Street, nor was the use on the ground floor ever directly accessed or utilized as on-street commercial retail space, as evidenced by the reference images enclosed with this submission. Instead, punched openings, serving the previously intended business (office) occupancy are carried repetitiously to the ground floor and seen sparingly at the southern and eastern facades as well. The façade along Main Street is clad in a limestone panel veneer with 4" deep (exposed) vertical limestone ribs that frame the punched openings, running vertically from a limestone coping at the roof to the sidewalk below. A similar exposed rib assembly frames the primary entry along Main Street.

Proposed Conformance to Applicable Historic Guidelines

The proposed project would adaptively reuse the **NON-CONTRIBUTING** building to accommodate multi-family housing. The project will include seventy-one new dwelling units in total, which are a

mix of one-bedroom and studio apartments. Each dwelling unit consists of a bedroom/living area, kitchen area, and bathroom. Resident common areas are proposed at the first-floor level and fourth-floor levels.

The existing aluminum (operable casement) windows on all floors of the west façade, along Main Street, shall be removed, and wall openings made larger by removing the limestone veneer below the existing windowsill(s). New operable fiberglass windows shall be installed in the enlarged openings. This will enable more natural light and ventilation into the interior dwelling units. The western façade windows will consist of an operable (casement) window, reminiscent of the size of the existing window, along with a fixed window below (where the veneer is to be removed at the windowsill) At the ground floor units along Main Street and Leslie Alley, one window per each dwelling unit shall be converted to a glazed aluminum door for direct access to the unit and semi-private terraces at sidewalk level.

New punched openings, like those proposed along Main Street, shall be introduced to the south and east facades to provide adequate natural light and ventilation to the proposed dwelling units. Existing windows on the south and east shall be in-filled and/or replaced with new windows and/or brick to match the existing.

The introduction of increased window sizes (residential in nature), leading to increased transparency, will help to reinforce the vertical nature of the architectural elements, both punched windows and limestone rib placement. The vertical exposed limestone ribs and limestone veneer façade shall remain in place except for the removal of veneer panels at the windowsill locations along Main street.

Often found in adaptive reuse projects, within the dichotomy of proposed use vs. existing use, is the challenge of utilizing floor plate depth, window opening sizes and locations, structural layout, etc., that meet the expectations and needs of the proposed adaptive occupancy. The 630 Main Street design intent is to retain as much of the existing character of the original office building while adapting it slightly to serve a new community of multifamily tenants and meet their needs of light, ventilation, and enjoyable urban living. Where possible, in accordance with the **Conservation Guidelines for Main Street Historic District**, this project substantially conforms to the applicable guidelines for rehabilitation and alteration in the preservation and rehabilitation efforts of retaining original cornices, copings, limestone ornamental panels and ribs, replacement of operable windows (casement operation to match existing casement operation), the cleaning and repair of existing stone and masonry veneers, and maintaining simple minimal number of building signs. Site improvements, specifically the ground floor planter screen walls, are within character of the district, and respond accordingly to the colors, textures, and materials and sense of scale in the

area and provide an extension of the street face facades of adjacent buildings, respond to the unique building setback, and provide defensible space as well as a “soft” transition from the sidewalk to the building.

Request for Special Exception Zoning Relief + Variances

Commercial Continuity (Special Exception)

As identified in the enclosed adjudication letter, 630 Main Street is located along a Commercial Continuity Overlay (§1411-17), which requires that a minimum 60% of the first-floor building frontage be devoted to commercial uses. The existing architecture of the building does not lend itself to ground-floor commercial uses, and any manipulation of the façade to create such openings for a commercial use (i.e. large storefront architecture) and the limestone façade would not easily lend itself to such reconfiguration. The configuration of spaces includes a residential entrance vestibule and amenity space, and tenant dwelling units along Main Street.

The design intends to utilize the 6'-0" setback of the building to create a buffering terrace for ground floor residential units, to differentiate the building's base.

In accordance with §1435-05-04 630 Main Street seeks a Special Exception to the Continuity Overlay, §1411-17, due to the buildings original design and exclusion of broad storefront and commercial use on the ground floor. Relief and Special Exception will not be materially detrimental to public health, safety, and welfare or injurious to property in the district or vicinity, as described above, where the property is located and is necessary where the denial thereof would result in a deprivation of all economically viable use of the property in its entirety.

Sign Regulations (Variance)

As identified in the enclosed adjudication letter, 630 Main Street is regulated by §1411-39, Sign Regulations, and restricts building signage to eight (8) feet in height. Due to the vertical nature of the overall design, and the unique nature of the façade being set back from adjacent properties and walks, a vertical blade sign has been proposed to balance the weight of, and proportionally complement, the existing and proposed architectural elements and setback. The signage proposed works with the architecture (Conservation Guidelines – Main Street) Signage letters and graphics shall be integrally lit and not extend beyond the property line into the public right-of-way and seeks a variance to allow for an increase in the regulated size from eight (8) feet tall to twenty-eight (28) feet in height.

According to §1445-15, the variance is necessary for the preservation and enjoyment of a substantial property right of the applicant possessed by owners of other properties in the same district or vicinity. (*Corner of 658 Main Street*)

According to §1411-39, Signs, the proposed signage would comply with the following regulations:

- a. The sign would not be classified as a “Prohibited Sign”
- b. Maximum width: 3.5 feet (*proposed width to be approx. 5-6 inches*)
- c. Required clearance: A ten-foot clearance above the sidewalk must be maintained
- d. Lighting: Lighting must be integrated with the sign design and must complement the building
- e. Signs may not conceal any ornamental architectural elements (*the proposed sign responds to and reinforces the architectural elements of the building façade*)
- f. The signage would not project into the public right-of-way due to building setback

Fences and Walls (Variance – if deemed necessary)

As identified in the enclosed adjudication letter, 630 Main Street is regulated by §1421-33(b), Fences and Walls, and requires 50% Transparency. Due to the creation of semi-private dwelling unit terraces at the ground floor units, along with the six (6) foot setback of the primary façade from the sidewalk, cast stone planters no taller than thirty-two (32) inches above grade, spaced out to align with existing building elements, with vegetation no taller than sixty (60) inches above grade are proposed to act as defensible space barriers, identify the boundaries of the terraces, and soften the transition from the streetscape to the building while attempting to reduce heat island effect. Anticipated transparency – depending on vegetated growth, season, climate, etc., is ~50%. The overall height of the vegetated planter / screen shall be maintained at five (5) feet above grade, below allowable six (6) foot tall fences per §1421-33(b).

In accordance with §1445-15 630 Main Street seeks a variance to §1411-39, Sign Regulations and §1421-33(b), Fences and Walls. The request comes due to the special circumstances and conditions pertaining to this specific piece of property (being set back from the adjacent street facades and sidewalk). The requested variances demonstrate the following (IAW §1445-16)

- a. The variance requested stems from a condition that is unique to the property at issue and not ordinarily found in the same zone or district
- b. The granting variance will not adversely affect the rights of adjacent property owners or residents
- c. The granting of the variance will not adversely affect the community character, public health, safety or general welfare.
- d. The variance will be consistent with the general spirit and intent of the Zoning Code or the Land Development Code, as applicable.
- e. The variance sought is the minimum that will afford relief to the applicant

630 Main Street project requests a special exception to the Commercial Continuity requirement, a variance in the Sign Regulations §1411-39, and a variance in the Fences and Walls regulation §1421-33(b) – if so needed - for the proposed work, and believes it constitutes a public interest based on the factors enumerated in §1445-13, among others:

- A. *Hours of Operation:* As there is no commercial use proposed, hours of operation is not an issue.
- B. *Neighborhood Compatibility:* The proposed work is compatible with the predominant land use, and consistent with the pattern of the neighborhood development surrounding the property. Adapting a vacant building into multifamily housing inherently provides a positive impact on the neighborhood. The proposed 630 Main development seeks to be compatible with and strengthen community plans approved by City Planning Commission, more specifically aligning with Plan Cincinnati by creating:
 - a. A welcoming atmosphere
 - b. Contributing to a walkable community
 - c. Stabilizing the downtown neighborhood
 - d. Providing quality healthy housing
 - e. Incentivizing housing options of varied sizes and types
- C. *Blight:* The proposed rehabilitation of a vacant, inactivated building would contribute to a livelier streetscape and would improve the architectural character of the neighborhood.
- D. *Economic Benefits:* The proposed housing provides additional residents who will patronize Main Street and downtown businesses. These localized benefits are, by nature, shared with the broader Downtown community.
- E. *Job Creation:* Staffing the proposed development would create several jobs, in addition to the work brought about by construction.
- F. *Tax Valuation:* Developing the vacant building would increase the real property tax value.
- G. *Public Benefits:* The proposed work contributes to the peace, health, safety and general welfare of residents who might occupy the building, as well as neighbors and visitors to the Downtown District.

Thank you for your consideration.

Sincerely,
Joshua Perez AIA, NCARB
Senior Architect
New Republic Architecture

November 01, 2024
Mr. David Sturkey
Hearing Examiner
Zoning Division
805 Central Avenue, Suite 500
Cincinnati, OH 45202

Re: 630 (626) Main Street (The Hartford Building), Certificate of Appropriateness + Zoning Relief

The following witnesses are expected to testify at the hearing, related to this application:

Sonya Jindal Tork, Esq. Partner, Taft Stettinius & Hollister LLP jindal@taftlaw.com

Graham Kalbli Owner, New Republic Architecture graham@newrepublicarchitecture.com

Sincerely,

Joshua Perez AIA, NCARB
Senior Architect
New Republic Architecture



24-043

630 (626) Main Street
Cincinnati, OH 45201

OWNER:
Confidential

XXXXXX
Cincinnati, OH 45202
XXXXXX XXXXX

ARCHITECT
New Republic Architecture

1936 Race Street
Cincinnati, OH 45202
513.800.1581

GENERAL CONTRACTOR
TBD

1936 Race Street
Cincinnati, OH 45202
513.800.1581

STRUCTURAL ENGINEER
TBD

1936 Race Street
Cincinnati, OH 45202
513.800.1581

MEP ENGINEER
TBD

1936 Race Street
Cincinnati, OH 45202
513.800.1581

PROJECT DESCRIPTION

This project encompasses the interior and exterior rehabilitation, renovation, and change of use to the Hartford Building, built in 1960. The project will completely remove all interior partitions, finishes and equipment and enlarge the windows on the west facade as well as create new window openings on the south and east facades. The existing structure shall maintain the current means of egress and include a new open-air central atrium that seeks to introduce natural light and ventilation deep into the floorplate. The intended occupancy will be 71 dwelling units consisting of a mix of studio and one bedroom units. Amenity spaces shall include a fitness center, mailroom, sun deck, and clubhouse (community room). The existing structure is constructed as a I-A construction type and will be fully covered by an automatic fire suppression system.

The project is designed to abide by the regulations and guidelines set forth by the City of Cincinnati Historic/Zoning Board.

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INDEX TO DRAWINGS

ARCHITECTURAL

SHEET #	TITLE
A010	ARCHITECTURAL SITE PLAN
A011	EXISTING / DEMOLITION PLANS
A012	EXISTING / DEMOLITION PLANS
A013	EXISTING / DEMOLITION PLANS
A014	EXISTING / DEMOLITION PLANS
A015	EXISTING / DEMOLITION PLANS
A016	EXISTING / DEMOLITION ELEVATIONS
A017	EXISTING / DEMOLITION ELEVATIONS
A101	PROPOSED FIRST FLOOR PLAN
A102	PROPOSED SECOND FLOOR PLAN
A103	PROPOSED THIRD FLOOR PLAN
A104	PROPOSED FOURTH FLOOR PLAN
A105	PROPOSED ROOF PLAN
A106	PROPOSED BUILDING ELEVATIONS
A107	PROPOSED BUILDING ELEVATIONS & AXONOMETRICS
A108	SITE AND ARCHITECTURAL ELEMENTS
A109	CONTEXT PHOTOS
A110	CONTEXT PHOTOS
A111	PROPOSED PROJECT RENDERINGS
A112	PROPOSED PROJECT RENDERINGS

CODE INFORMATION SUMMARY

GOVERNING REGULATIONS

Building Code	OBC - 2024 Edition - Ohio Building Code - (IBC - 2021 Edition - International Building Code) OIBC - 2024 Edition - Ohio Existing Building Code - (IEBC - 2021 Edition - International Existing Building Code)
Energy Efficiency	IECC - 2017 Edition, International Energy Code / Ohio Energy Code
Fire Safety	NFPA - Latest Edition, National Fire Protection Association
Accessibility	ANSI - American National Standards Institute ICC A117.1 - Accessible and Usable Buildings and Facilities

BUILDING CLASSIFICATION

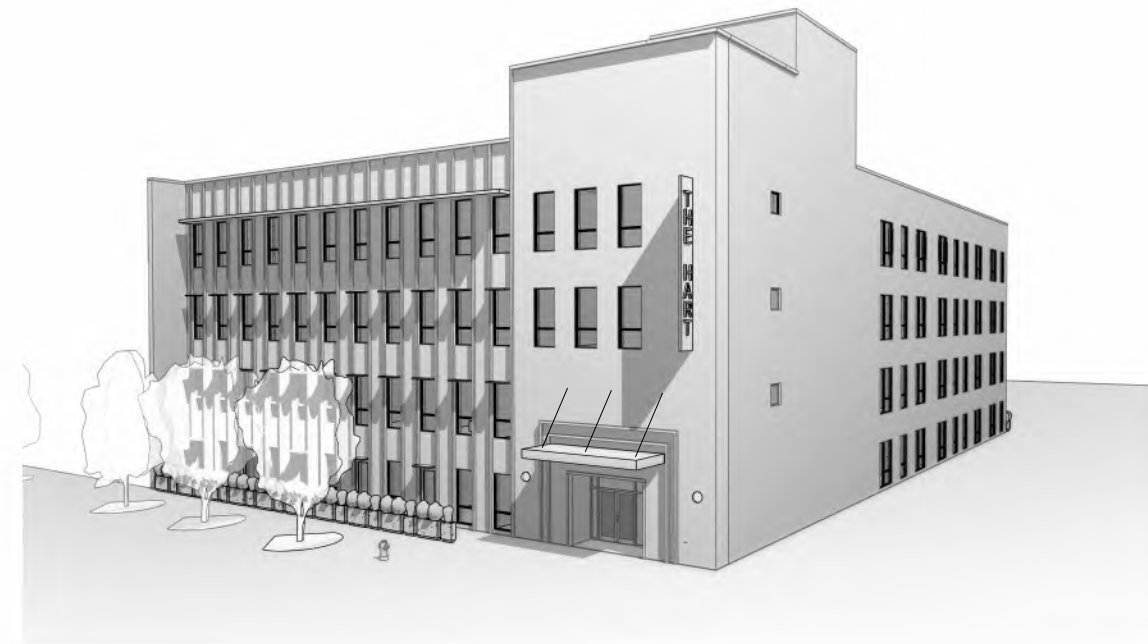
Type of Construction	IA (Protected, Non-Combustible)	
Fire Protection, Detection, and Alarm systems	Fully covered by an Automatic Fire and Smoke Detection and Annunciation System. Fully covered by an Automatic Fire Suppression System. Partially covered by a Carbon Monoxide Detection and Annunciation System.	
Building Area	Existing: 17,138 GSF 17,087 GSF First Floor 17,138 GSF Second Floor 17,138 GSF Third Floor 17,138 GSF Fourth Floor 68,501 GSF TOTAL (NOT incl. Basement) 85,639 GSF TOTAL (incl. Basement)	Proposed: 17,138 GSF Basement 17,087 GSF First Floor 16,292 GSF Second Floor 15,292 GSF Third Floor 15,388 GSF Fourth Floor 66,069 GSF TOTAL (NOT incl. Basement) 82,197 GSF TOTAL (incl. Basement)
Use Group and Occupancy	Single-Use R2 - Residential	

PROPERTY INFORMATION

Parcel ID: 007900040010

Zoning	15-2004
Form District	Downtown Development District (DD)
Flood Plain	NO
Parking	NO
Historic Preservation Overlay Zone	Main Street

Legal Description (10):	MAIN ST 113.45 X 192.02 IRR PT IN LOTS 98-99 PRS 1 0 TH 14 CONS
Legal Description (09):	MAIN ST 18.98 X 192.10 IRR PT IN LOT 98 (No build easement / fire separation)



NEW REPUBLIC
architecture

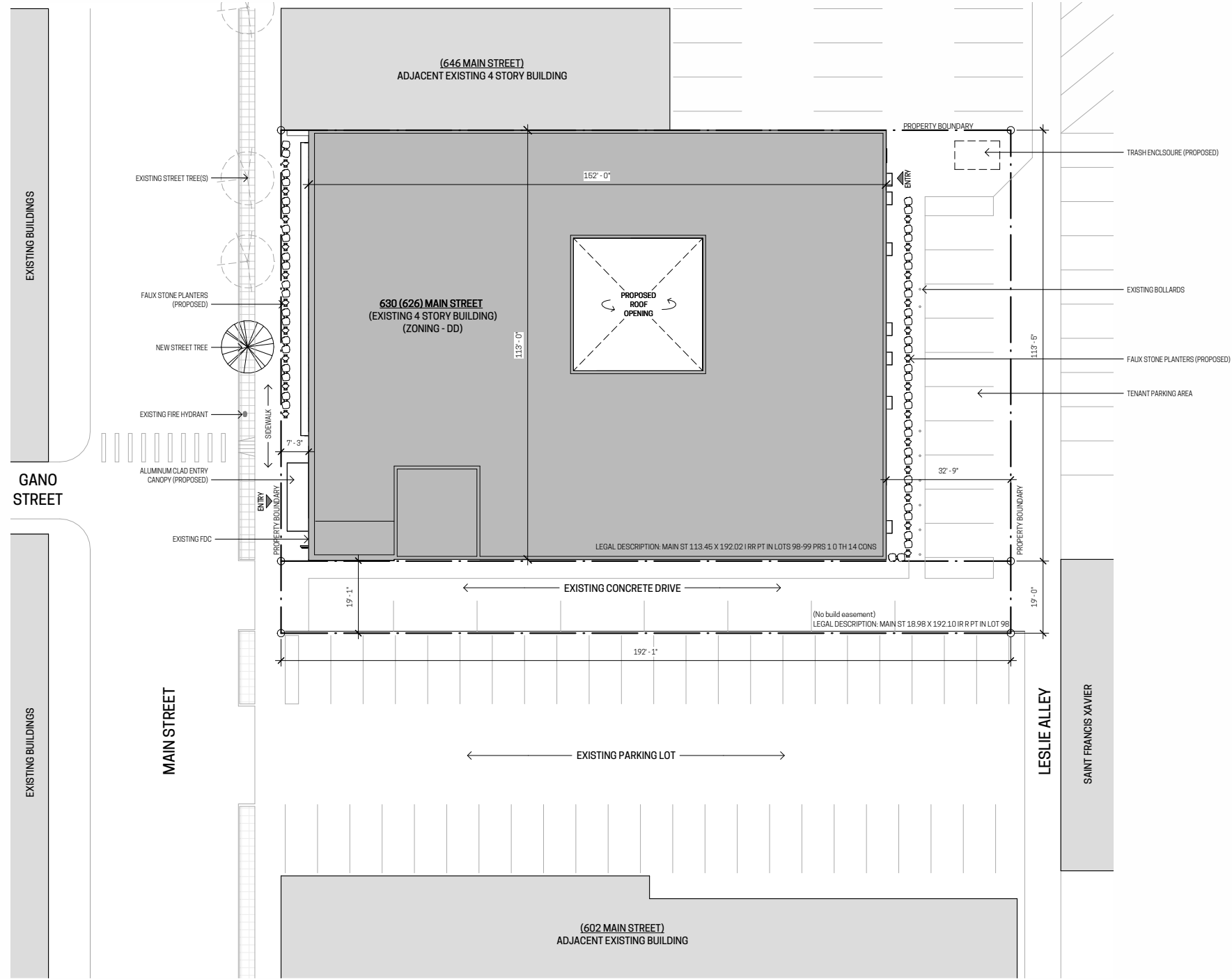


Cincinnati, OH 513.800.1581
Information@newrepublicarchitecture.com

HCB APPLICATION

MULTIFAMILY (CHANGE OF USE) + ADAPTIVE REUSE
630 (626) Main Street

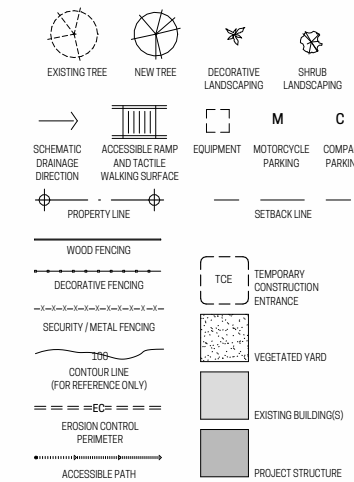
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GENERAL SITE PLAN NOTES

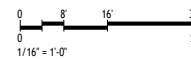
- REFERENCE GENERAL PROJECT NOTES SHEET FOR COMPLETE LISTING OF GENERAL NOTES.
 REFERENCE GENERAL ACCESSIBILITY STANDARDS SHEET FOR COMPLETE ACCESSIBILITY REQUIREMENTS.
- REFER TO SITE PLAN KEYED NOTES FOR SPECIFIC INSTRUCTIONS. REFER TO SITE PLAN LEGEND FOR STANDARD INDICATIONS.
 - REFER TO THE SPECIFICATION SECTIONS AS DENOTED BY THE KEYED NOTES.
 - REFER TO ENGINEER DRAWINGS WHEN KEYED NOTES DENOTE THE DISCIPLINE'S ABBREVIATION AND SEQUENCE (IE, MECH.A.1).
 - ALL ENTRANCES SHALL BE BARRIER-FREE FOR ACCESSIBILITY. SLOPE WALKING SURFACES AWAY FROM THRESHOLDS FOR POSITIVE DRAINAGE.
 - LANDSCAPING AND PARKING LAYOUTS SHOWN FOR CONTEXT ONLY.
 - CIVIL COORDINATION: REFER TO CIVIL ENGINEERING DRAWINGS AND SPECIFICATIONS FOR MATERIALS BELOW SLABS. COORDINATE CIVIL, STRUCTURAL, AND ARCHITECTURAL DETAILING WITH RESPECT TO PERIMETER FOUNDATION DRAINAGE SYSTEMS, RAINLEADER, AND DOWNSPOUTS LOCATIONS, AND CONNECTIONS.
 - TOP OF SLAB ELEVATIONS: COORDINATE TOP OF SLAB FLOOR ELEVATIONS WITH CIVIL FINISHED GRADES.

SITE PLAN LEGEND



01 ARCHITECTURAL SITE PLAN

1/16" = 1'-0"



ARCHITECTURAL SITE PLAN

630 (626) Main Street
 Cincinnati, OH 45201

No.	ISSUANCE / REVISION	DATE
01	HCB SUBMISSION	11.01.24

Not for Construction

PROJECT # 24-043

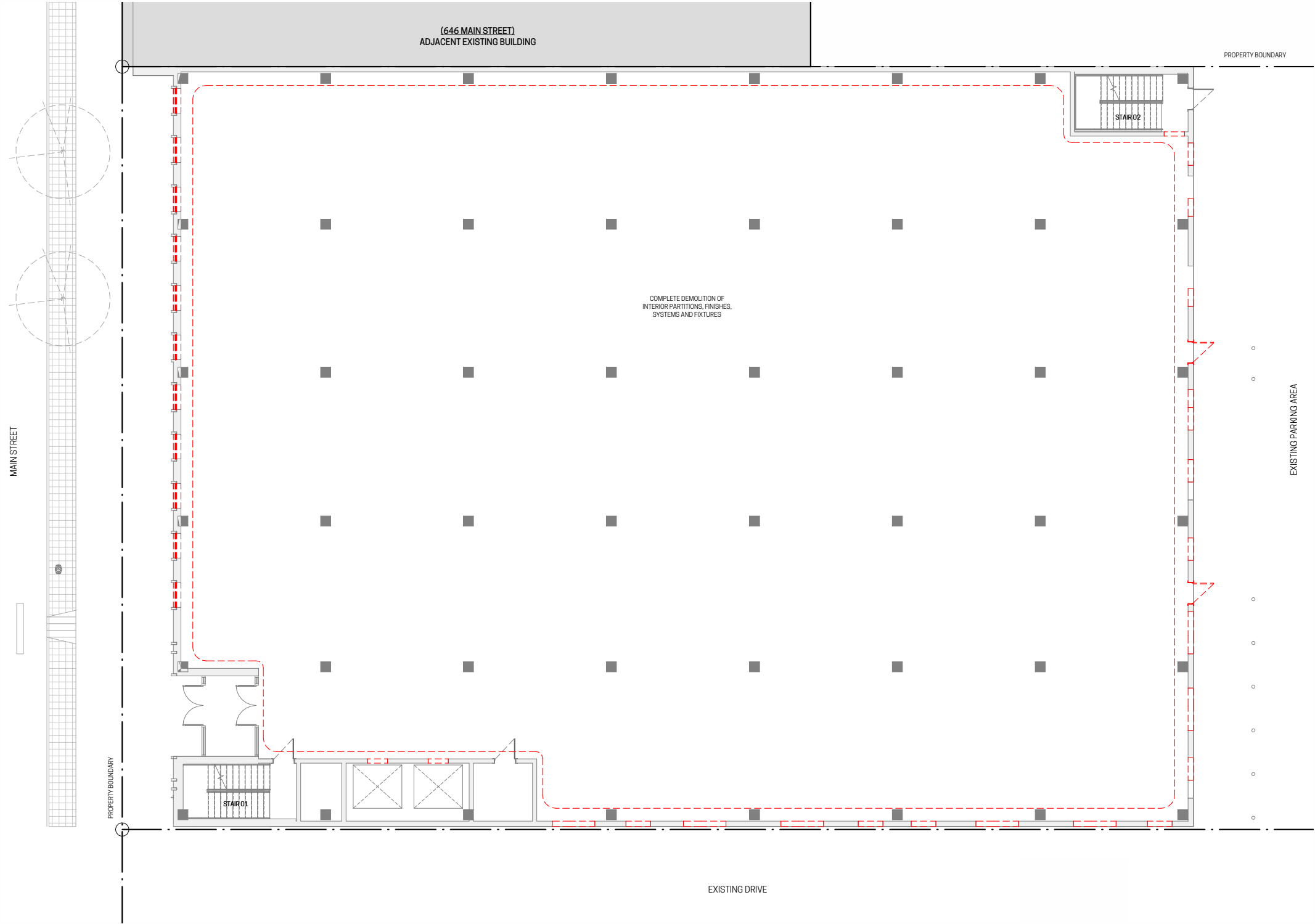
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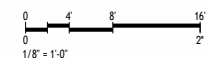
HCB APPLICATION

MULTIFAMILY (CHANGE OF USE) + ADAPTIVE REUSE
630 (626) Main Street

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01 FIRST FLOOR EXISTING / DEMO PLAN
1/8" = 1'-0"



GENERAL DEMOLITION NOTES

- SHEET IS INTENDED TO BE PRINTED IN FULL COLOR ONLY. REFERENCE GENERAL PROJECT NOTES SHEETS FOR COMPLETE LISTING OF GENERAL NOTES AND CONVENTIONS.
1. THIS DRAWING REPRESENTS A DESIGN DIAGRAM AND DOES NOT REPRESENT A DEFINITIVE PLAN FOR THE LOCATION AND EXTENT OF THE DEMOLITION SCOPE. THE COMPLETE DELINEATION OF WORK AS DEFINED BY THE PROPOSED DESIGN SHALL DETERMINE THE EXACT LOCATION AND EXTENT OF THE DEMOLITION SCOPE OF WORK.
 2. REFER TO DEMOLITION KEYED NOTES FOR SPECIFIC INSTRUCTIONS. REFER TO DEMOLITION LEGEND FOR STANDARD INDICATIONS.
 3. REFER TO THE SPECIFICATION SECTIONS AS DENOTED BY THE KEYED NOTES.
 4. REFER TO ENGINEER DRAWINGS WHEN KEYED NOTES DENOTE THE DISCIPLINE'S ABBREVIATION AND SEQUENCE (IE, MECH/E/L).
 5. DEMOLITIONS SHEETS ARE INTENDED TO BE PRINTED IN FULL COLOR ONLY. NEW REPUBLIC ARCHITECTURE OR ITS CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR ERRORS RESULTING FROM THE REPROGRAPHIC PROCESS.
 6. SOLID RED DASHED LINES INDICATE ITEMS TO BE REMOVED.
 7. DENOTED EXISTING (E) ELEMENTS, ARE DEPICTED FOR REFERENCE ONLY AND ARE FROM EXISTING RECORD DOCUMENTS, BUT DO NOT REPRESENT EXACT LOCATION OF INSTALLATION BUT INSTEAD FOR REFERENCE ONLY.
 8. INFORMATION REGARDING MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS TO BE REMOVED HAS BEEN INCLUDED FOR REFERENCE ONLY. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR COMPLETE INSTRUCTIONS ON THE REMOVAL OF THESE ITEMS.
 9. EXISTING MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS MUST CONTINUE TO OPERATE AS REQUIRED TO SATISFY OWNER THROUGHOUT THE CONSTRUCTION PERIOD.
 10. ADJACENT SURFACES TO THE AREAS OF DEMOLITION WHICH ARE SCHEDULED TO REMAIN AND ARE IN ANY MANNER AFFECTED BY THE WORK SHALL BE PATCHED AS REQUIRED TO MATCH THE ADJACENT FINISHED SURFACES.
 11. CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONFIGURATIONS SHOWN IN THE CONSTRUCTION DRAWINGS.
 12. SURFACES AFFECTED SHALL BE PATCHED UPON COMPLETION OF MECHANICAL, PLUMBING AND ELECTRICAL WORK AS REQUIRED TO ADJACENT FINISHED SURFACES.
 13. LOCATIONS OF DUCTWORK AND PIPING REMOVAL THROUGH EXISTING WALL CONSTRUCTION SCHEDULED TO REMAIN SHALL BE PATCHED WITH MATERIALS IDENTICAL TO ADJACENT CONSTRUCTION AS REQUIRED FOR UNIFORM TRANSITIONS TO ADJACENT FINISHED SURFACES.
 14. DEMOLITION WORK MAY INVOLVE THE HANDLING OF ASBESTOS AND/OR LEAD BASED MATERIALS. AN ASBESTOS AND LEAD INSPECTION SHALL BE CONDUCTED AND A SURVEY REPORT SHALL BE ISSUED FOR ALL TO REFERENCE PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION WORK. IF ASBESTOS AND/OR LEAD ABATEMENT IS REQUIRED, THEY SHALL BE PERFORMED BY QUALIFIED PERSONNEL LICENSED IN THE APPLICABLE JURISDICTION. ARCHITECTURAL DRAWINGS ISSUED BY NEW REPUBLIC ARCHITECTURE, IN NO WAY INDICATE LOCATION, SCOPE, PRESENCE OR ABSENCE OF ASBESTOS OR LEAD-BASED MATERIALS.
 15. PROTECT ADJACENT AREAS OF DEMOLITION WORK FROM DAMAGE.
 16. CLEAN EXISTING EXPOSED EXTERIOR & INTERIOR BRICK AND TILE WALLS OF ALL UNREFERRED PAINT AND APPLIED FINISHES. USE METHODS ACCEPTABLE TO DEPARTMENT OF INTERIORS STANDARDS FOR HISTORIC RENOVATION.

DEMOLITION KEYED NOTES

DEMOLITION LEGEND



HCB APPLICATION

EXISTING / DEMOLITION PLANS

630 (626) Main Street
Cincinnati, OH 45201

No.	ISSUANCE / REVISION	DATE
01	HCB SUBMISSION	11.01.24

Not for Construction

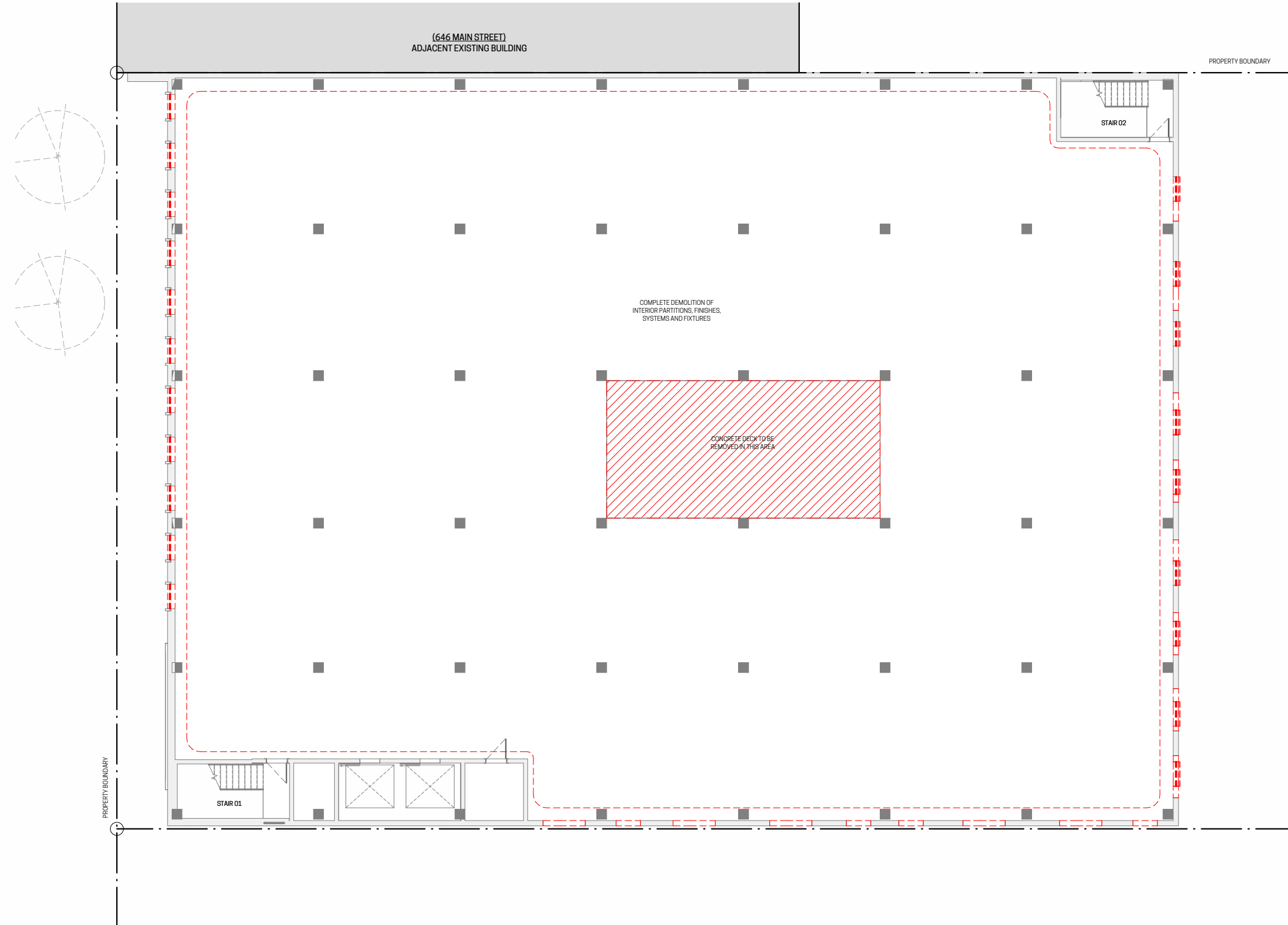
PROJECT # 24-043

A011

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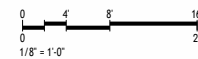
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630 (626) Main Street

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01 SECOND FLOOR EXISTING / DEMO PLAN

1/8" = 1'-0"

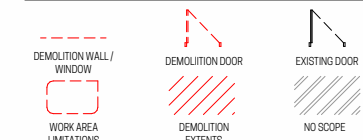


GENERAL DEMOLITION NOTES

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DEMOLITION KEYED NOTES

DEMOLITION LEGEND



HCB APPLICATION

EXISTING / DEMOLITION PLANS

630 (626) Main Street
Cincinnati, OH 45201

No.	ISSUANCE / REVISION	DATE
01	HCB SUBMISSION	11.01.24

Not for Construction

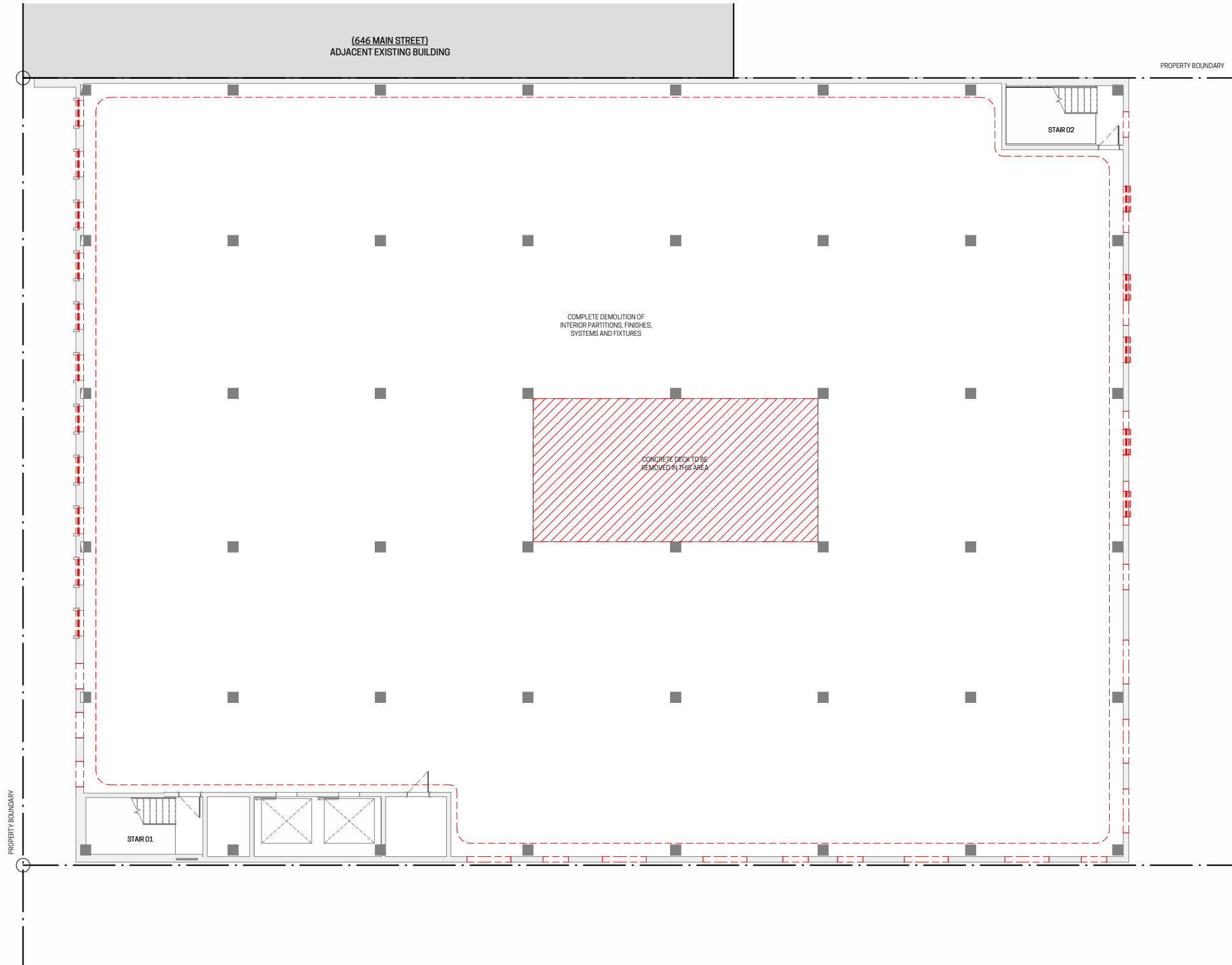
PROJECT # 24-043

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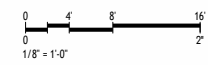
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01 THIRD FLOOR EXISTING / DEMO PLAN

1/8" = 1'-0"



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DEMOLITION KEYED NOTES

DEMOLITION LEGEND



HCB APPLICATION

EXISTING / DEMOLITION PLANS

630 (626) Main Street
Cincinnati, OH 45201

No.	ISSUANCE / REVISION	DATE
01	HCB SUBMISSION	11.01.24

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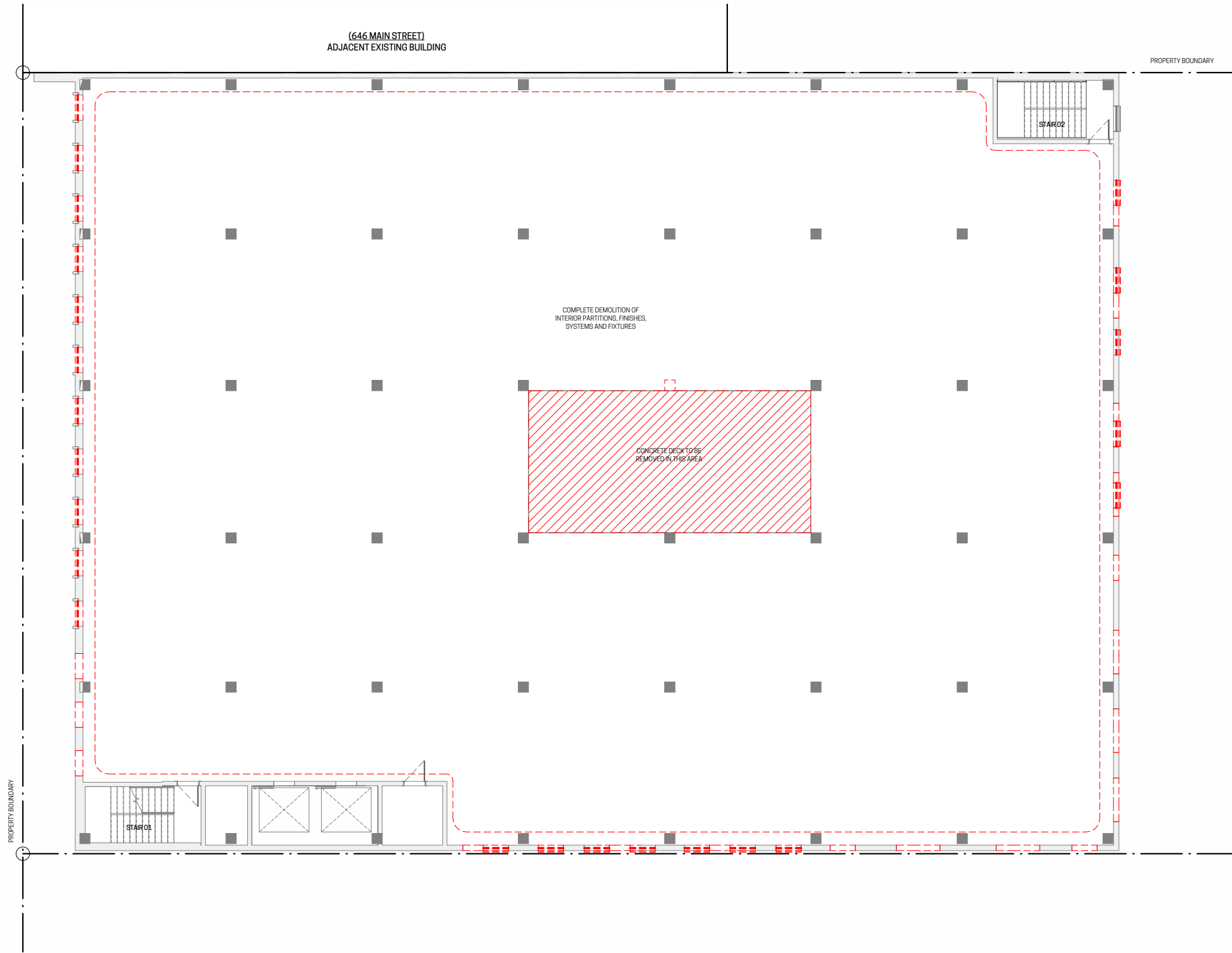
PROJECT # 24-043

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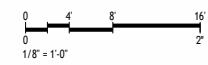
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01 FOURTH FLOOR PLAN EXISTING / DEMO PLAN

1/8" = 1'-0"



GENERAL DEMOLITION NOTES

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DEMOLITION KEYED NOTES

DEMOLITION LEGEND



NEW REPUBLIC
architecture

EXISTING / DEMOLITION PLANS

630 (626) Main Street
Cincinnati, OH 45201

No.	ISSUANCE / REVISION	DATE
01	HCB SUBMISSION	11.01.24

Not for Construction

PROJECT # 24-043

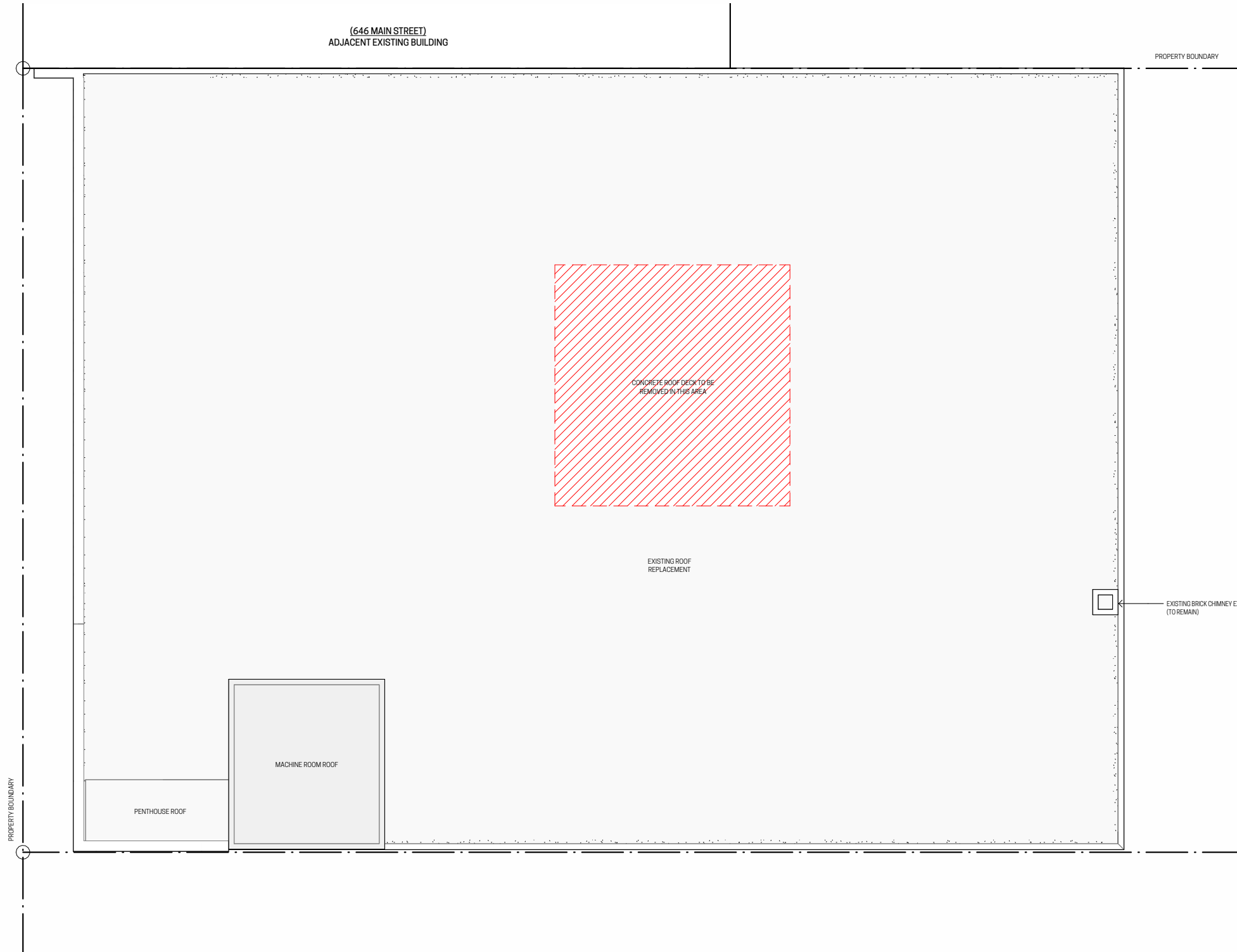
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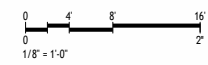
HCB APPLICATION

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01 EXISTING / DEMO ROOF PLAN

1/8" = 1'-0"



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DEMOLITION KEYED NOTES

DEMOLITION LEGEND

- DEMOLITION WALL / WINDOW
- DEMOLITION DOOR
- EXISTING DOOR
- WORK AREA LIMITATIONS
- DEMOLITION EXTENTS
- NO SCOPE



HCB APPLICATION

EXISTING / DEMOLITION PLANS

630 (626) Main Street
Cincinnati, OH 45201

No.	ISSUANCE / REVISION	DATE
01	HCB SUBMISSION	11.01.24

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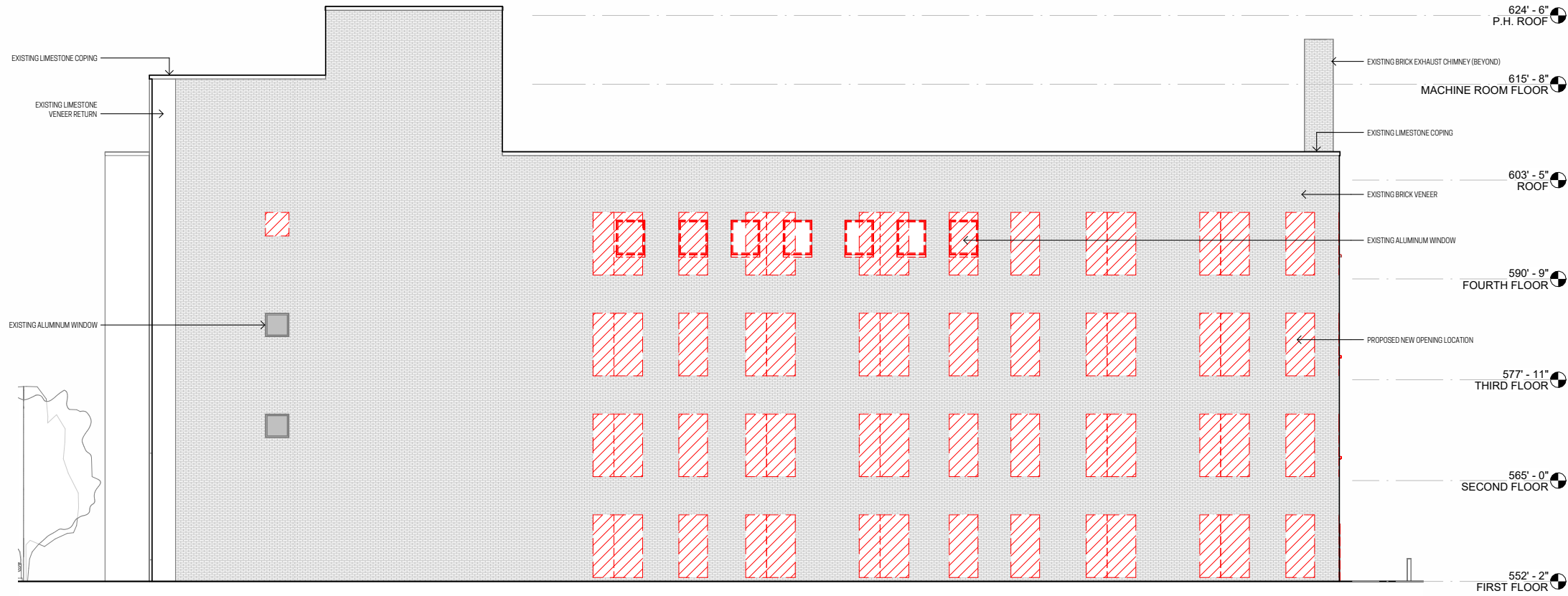
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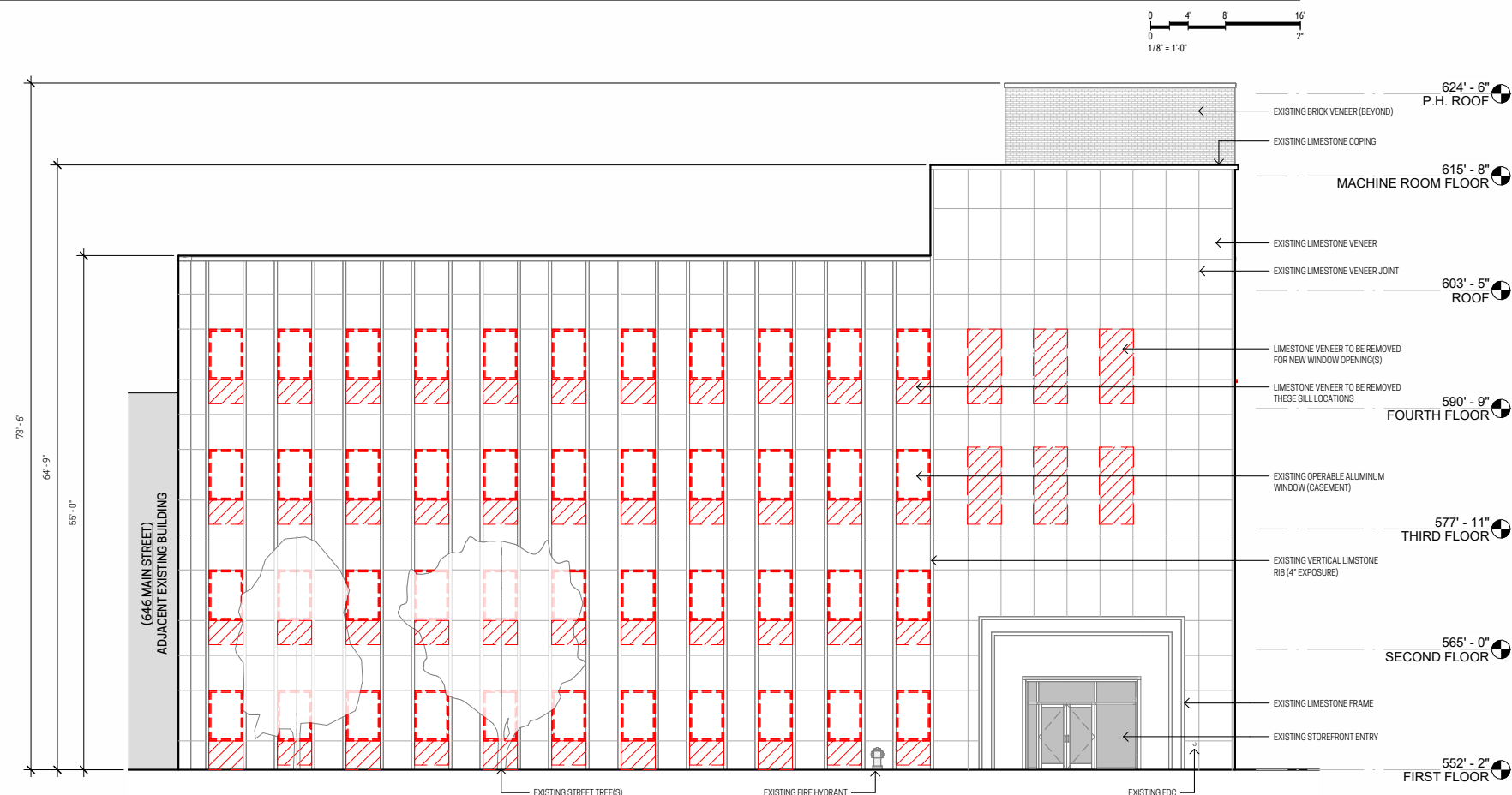


02 EXISTING / DEMO - SOUTH ELEVATION
1/8" = 1'-0"

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DEMOLITION KEYED NOTES



01 EXISTING / DEMO - WEST ELEVATION
1/8" = 1'-0"

DEMOLITION LEGEND



EXISTING / DEMOLITION ELEVATIONS

630 (626) Main Street
Cincinnati, OH 45201

No.	ISSUANCE / REVISION	DATE
01	HCB SUBMISSION	11.01.24

Not for Construction

PROJECT # 24-043

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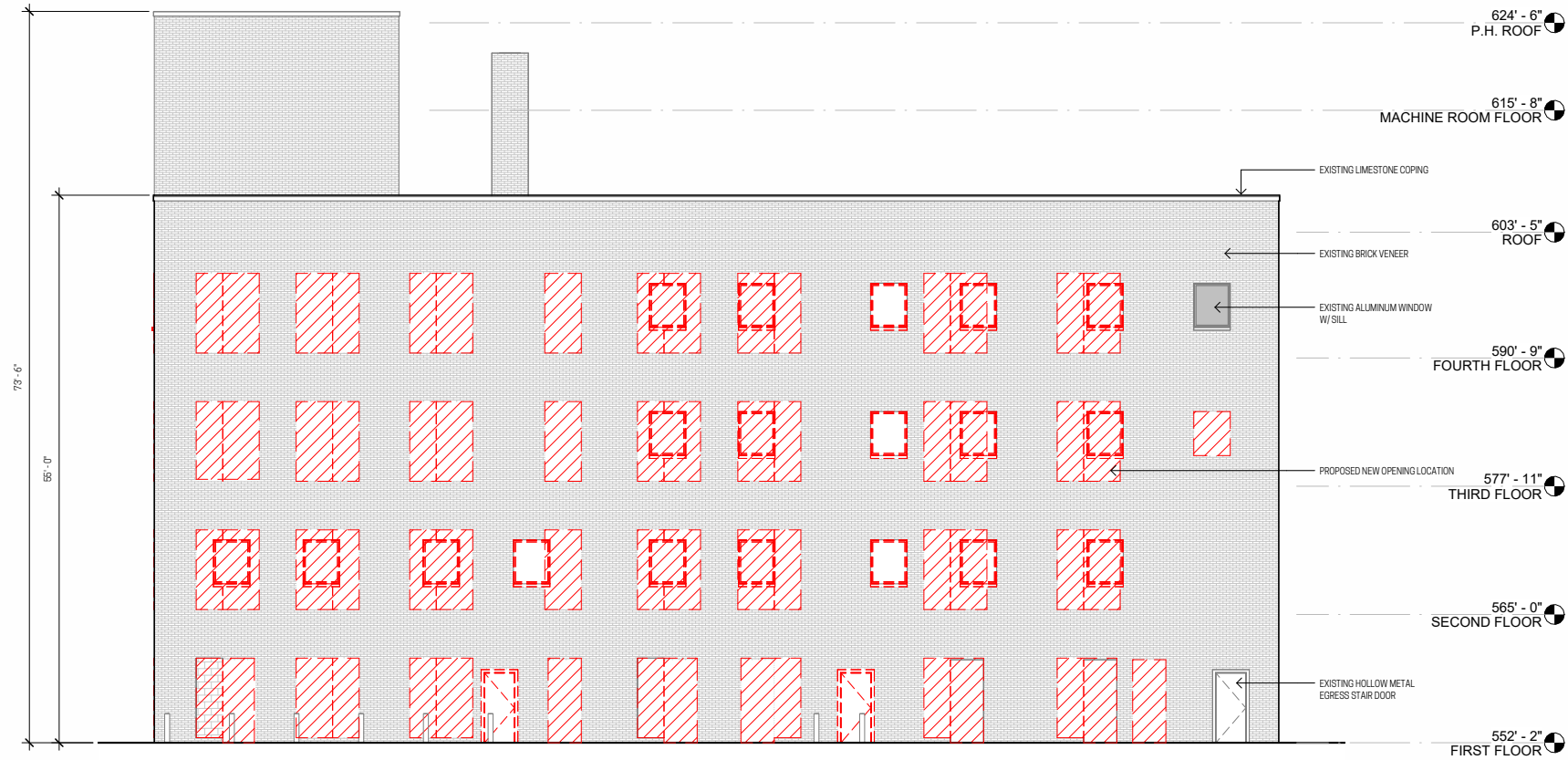
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HCB APPLICATION

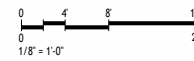
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01 EAST EXTERIOR ELEVATION - DEMO

1/8" = 1'-0"



GENERAL DEMOLITION NOTES

- SHEET IS INTENDED TO BE PRINTED IN FULL COLOR ONLY. REFERENCE GENERAL PROJECT NOTES SHEETS FOR COMPLETE LISTING OF GENERAL NOTES AND CONVENTIONS.
- THIS DRAWING REPRESENTS A DESIGN DIAGRAM AND DOES NOT REPRESENT A DEFINITIVE PLAN FOR THE LOCATION AND EXTENT OF THE DEMOLITION SCOPE. THE COMPLETE DELINEATION OF WORK AS DEFINED BY THE PROPOSED DESIGN SHALL DETERMINE THE EXACT LOCATION AND EXTENT OF THE DEMOLITION SCOPE OF WORK.
 - REFER TO DEMOLITION KEYED NOTES FOR SPECIFIC INSTRUCTIONS. REFER TO DEMOLITION LEGEND FOR STANDARD INDICATIONS.
 - REFER TO THE SPECIFICATION SECTIONS AS DENOTED BY THE KEYED NOTES.
 - REFER TO ENGINEER DRAWINGS WHEN KEYED NOTES DENOTE THE DISCIPLINE'S ABBREVIATION AND SEQUENCE (IE, MECH-1).
 - DEMOLITIONS SHEETS ARE INTENDED TO BE PRINTED IN FULL COLOR ONLY. NEW REPUBLIC ARCHITECTURE OR ITS CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR ERRORS RESULTING FROM THE REPROGRAPHIC PROCESS.
 - SOLID RED DASHED LINES INDICATE ITEMS TO BE REMOVED.
 - DENOTED EXISTING (E) ELEMENTS, ARE DEPICTED FOR REFERENCE ONLY AND ARE FROM EXISTING RECORD DOCUMENTS, BUT DO NOT REPRESENT EXACT LOCATION OF INSTALLATION BUT INSTEAD FOR REFERENCE ONLY.
 - INFORMATION REGARDING MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS TO BE REMOVED HAS BEEN INCLUDED FOR REFERENCE ONLY. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR COMPLETE INSTRUCTIONS ON THE REMOVAL OF THESE ITEMS.
 - EXISTING MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS MUST CONTINUE TO OPERATE AS REQUIRED TO SATISFY OWNER THROUGHOUT THE CONSTRUCTION PERIOD.
 - ADJACENT SURFACES TO THE AREAS OF DEMOLITION WHICH ARE SCHEDULED TO REMAIN AND ARE IN ANY MANNER AFFECTED BY THE WORK SHALL BE PATCHED AS REQUIRED TO MATCH THE ADJACENT FINISHED SURFACES.
 - CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONFIGURATIONS SHOWN IN THE CONSTRUCTION DRAWINGS.
 - SURFACES AFFECTED SHALL BE PATCHED UPON COMPLETION OF MECHANICAL, PLUMBING AND ELECTRICAL WORK AS REQUIRED TO ADJACENT FINISHED SURFACES.
 - LOCATIONS OF DUCTWORK AND PIPING REMOVAL THROUGH EXISTING WALL CONSTRUCTION SCHEDULED TO REMAIN SHALL BE PATCHED WITH MATERIALS IDENTICAL TO ADJACENT CONSTRUCTION AS REQUIRED FOR UNIFORM TRANSITIONS TO ADJACENT FINISHED SURFACES.
 - DEMOLITION WORK MAY INVOLVE THE HANDLING OF ASBESTOS AND/OR LEAD BASED MATERIALS. AN ASBESTOS AND LEAD INSPECTION SHALL BE CONDUCTED AND A SURVEY REPORT SHALL BE ISSUED FOR ALL TO REFERENCE PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION WORK. IF ASBESTOS AND/OR LEAD ABATEMENT IS REQUIRED, THEY SHALL BE PERFORMED BY QUALIFIED PERSONNEL LICENSED IN THE APPLICABLE JURISDICTION. ARCHITECTURAL DRAWINGS ISSUED BY NEW REPUBLIC ARCHITECTURE, IN NO WAY INDICATE LOCATION, SCOPE, PRESENCE OR ABSENCE OF ASBESTOS OR LEAD-BASED MATERIALS.
 - PROTECT ADJACENT AREAS OF DEMOLITION WORK FROM DAMAGE.
 - CLEAN EXISTING EXPOSED EXTERIOR & INTERIOR BRICK AND TILE WALLS OF ALL UNREFERRED PAINT AND APPLIED FINISHES. USE METHODS ACCEPTABLE TO DEPARTMENT OF INTERIORS STANDARDS FOR HISTORIC RENOVATION.

DEMOLITION KEYED NOTES

DEMOLITION LEGEND



HCB APPLICATION

EXISTING / DEMOLITION ELEVATIONS

630 (626) Main Street
Cincinnati, OH 45201

No.	ISSUANCE / REVISION	DATE
01	HCB SUBMISSION	11.01.24

Not for Construction

PROJECT # 24-043

A017

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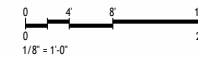
MULTIFAMILY (CHANGE OF USE) + ADAPTIVE REUSE
630 (626) Main Street

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01 PROPOSED FIRST FLOOR PLAN

1/8" = 1'-0"



GENERAL FLOOR PLAN NOTES

- REFERENCE GENERAL PROJECT NOTES SHEETS FOR COMPLETE LISTING OF GENERAL NOTES AND CONVENTIONS.
- EXISTING FLOOR SYSTEMS TO REMAIN THROUGHOUT. INSPECT, CLEAN, PATCH, AND PREPARE FOR APPLICATION OF NEW FINISHES. REPAIR OR REPLACE ALL DAMAGED, INSUFFICIENT, OR INCONSISTENT AREAS OR PORTIONS THEREOF. REFERENCE FINISH FLOOR PLANS.
 - LIGHT HATCH REPRESENTS EXISTING WALLS TO REMAIN.

PLAN KEYED NOTES

PLAN LEGEND

- NEW DOOR / DOOR NUMBER
- EXISTING DOOR
- SUSPENDED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- EQUIPMENT
- WORK AREA
- CASEWORK BELOW
- CASEWORK ABOVE
- WALL/SOFFT ABOVE
- NOT IN SCOPE



PROPOSED FIRST FLOOR PLAN

630 (626) Main Street
Cincinnati, OH 45201

No.	ISSUANCE / REVISION	DATE
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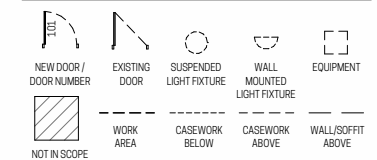


GENERAL FLOOR PLAN NOTES

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 1. EXISTING FLOOR SYSTEMS TO REMAIN THROUGHOUT. INSPECT, CLEAN, PATCH, AND PREPARE FOR APPLICATION OF NEW FINISHES. REPAIR OR REPLACE ALL DAMAGED, INSUFFICIENT, OR INCONSISTENT AREAS OR PORTIONS THEREOF. REFERENCE FINISH FLOOR PLANS.
 2. LIGHT HATCH REPRESENTS EXISTING WALLS TO REMAIN.

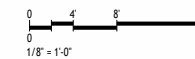
PLAN KEYED NOTES

PLAN LEGEND



01 PROPOSED SECOND FLOOR PLAN

1/8" = 1'-0"



No.	ISSUANCE / REVISION	DATE
01	HCB SUBMISSION	11.01.24

Not for Construction

PROJECT # 24-043

A102

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PROPOSED SECOND FLOOR PLAN

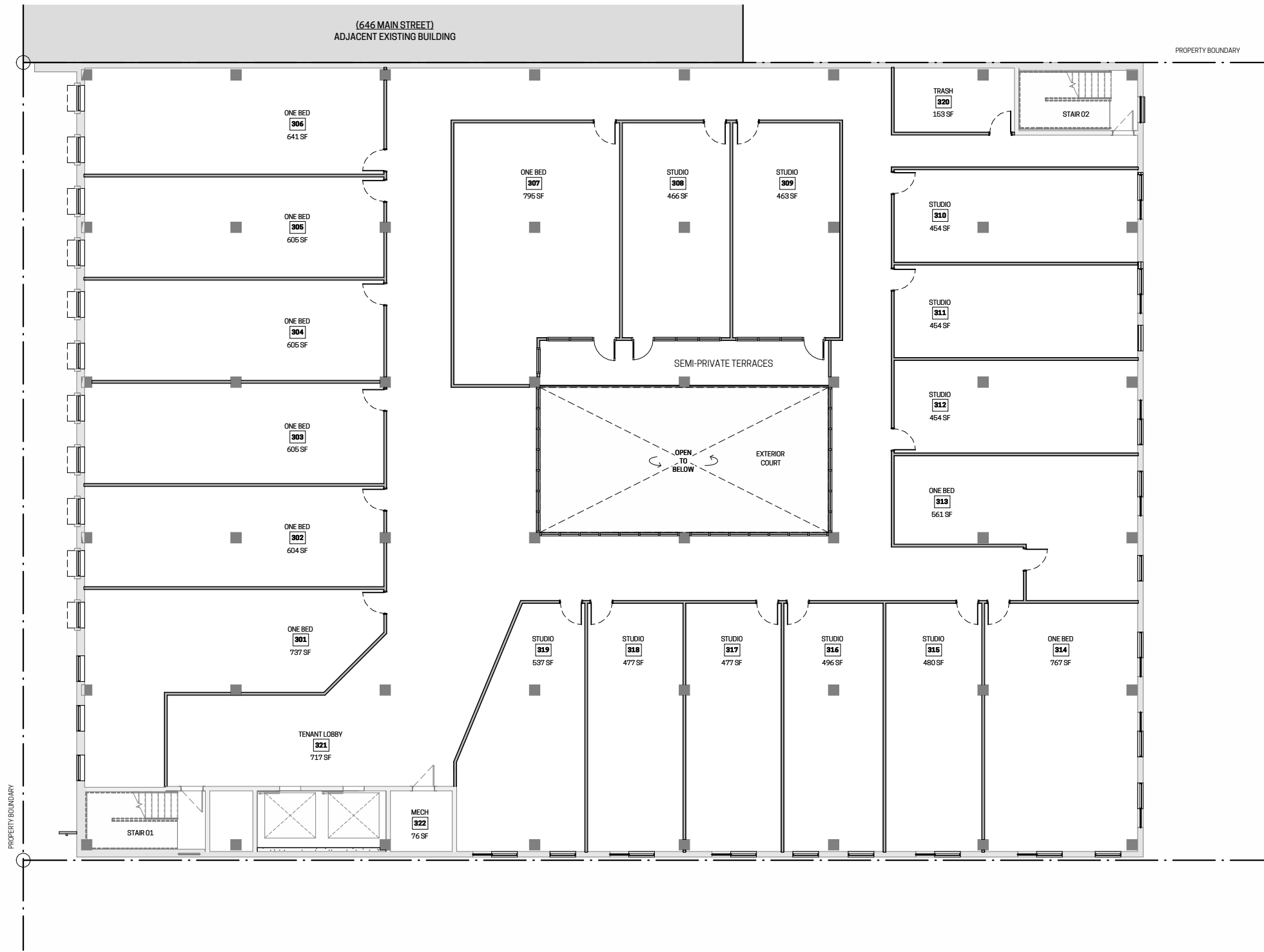
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Cincinnati, OH 45201



HCB APPLICATION

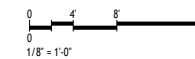
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01 PROPOSED THIRD FLOOR PLAN

1/8" = 1'-0"



GENERAL FLOOR PLAN NOTES

REFERENCE GENERAL PROJECT NOTES SHEETS FOR COMPLETE LISTING OF GENERAL NOTES AND CONVENTIONS.
 1. EXISTING FLOOR SYSTEMS TO REMAIN THROUGHOUT. INSPECT, CLEAN, PATCH, AND PREPARE FOR APPLICATION OF NEW FINISHES. REPAIR OR REPLACE ALL DAMAGED, INSUFFICIENT, OR INCONSISTENT AREAS OR PORTIONS THEREOF. REFERENCE FINISH FLOOR PLANS.
 2. LIGHT HATCH REPRESENTS EXISTING WALLS TO REMAIN.

PLAN KEYED NOTES

PLAN LEGEND

	NEW DOOR / DOOR NUMBER		EXISTING DOOR		SUSPENDED LIGHT FIXTURE		WALL MOUNTED LIGHT FIXTURE		EQUIPMENT
	NOT IN SCOPE		WORK AREA		CASEWORK BELOW		CASEWORK ABOVE		WALL/SOFFT ABOVE



PROPOSED THIRD FLOOR PLAN

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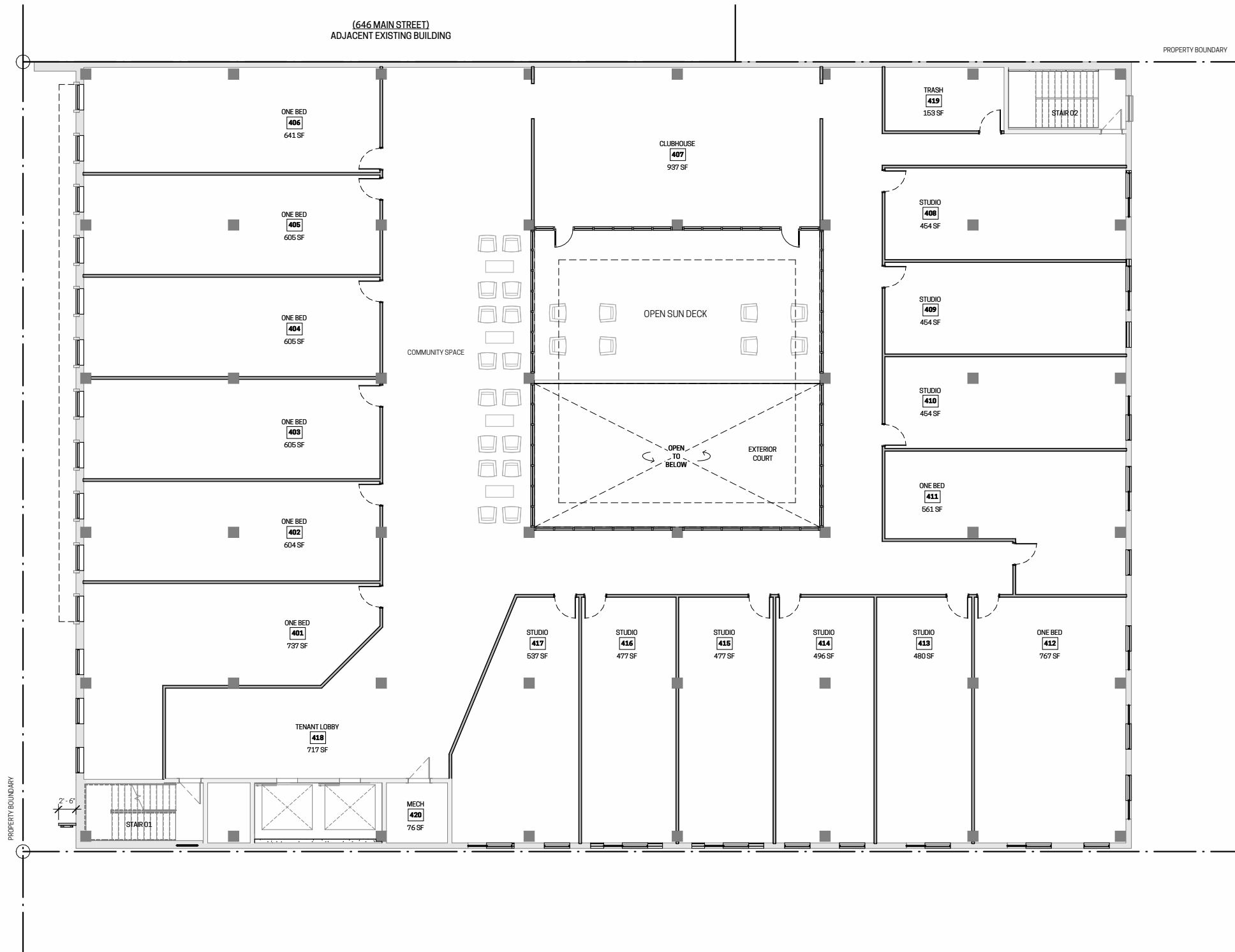
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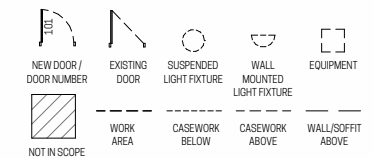


GENERAL FLOOR PLAN NOTES

REFERENCE GENERAL PROJECT NOTES SHEETS FOR COMPLETE LISTING OF GENERAL NOTES AND CONVENTIONS.
 1. EXISTING FLOOR SYSTEMS TO REMAIN THROUGHOUT. INSPECT, CLEAN, PATCH, AND PREPARE FOR APPLICATION OF NEW FINISHES. REPAIR OR REPLACE ALL DAMAGED, INSUFFICIENT, OR INCONSISTENT AREAS OR PORTIONS THEREOF. REFERENCE FINISH FLOOR PLANS.
 2. LIGHT HATCH REPRESENTS EXISTING WALLS TO REMAIN.

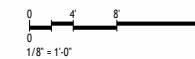
PLAN KEYED NOTES

PLAN LEGEND



01 PROPOSED FOURTH FLOOR PLAN

1/8" = 1'-0"



PROPOSED FOURTH FLOOR PLAN

630 (626) Main Street
Cincinnati, OH 45201

No.	ISSUANCE / REVISION	DATE
01	HCB SUBMISSION	11.01.24

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PROJECT # 24-043

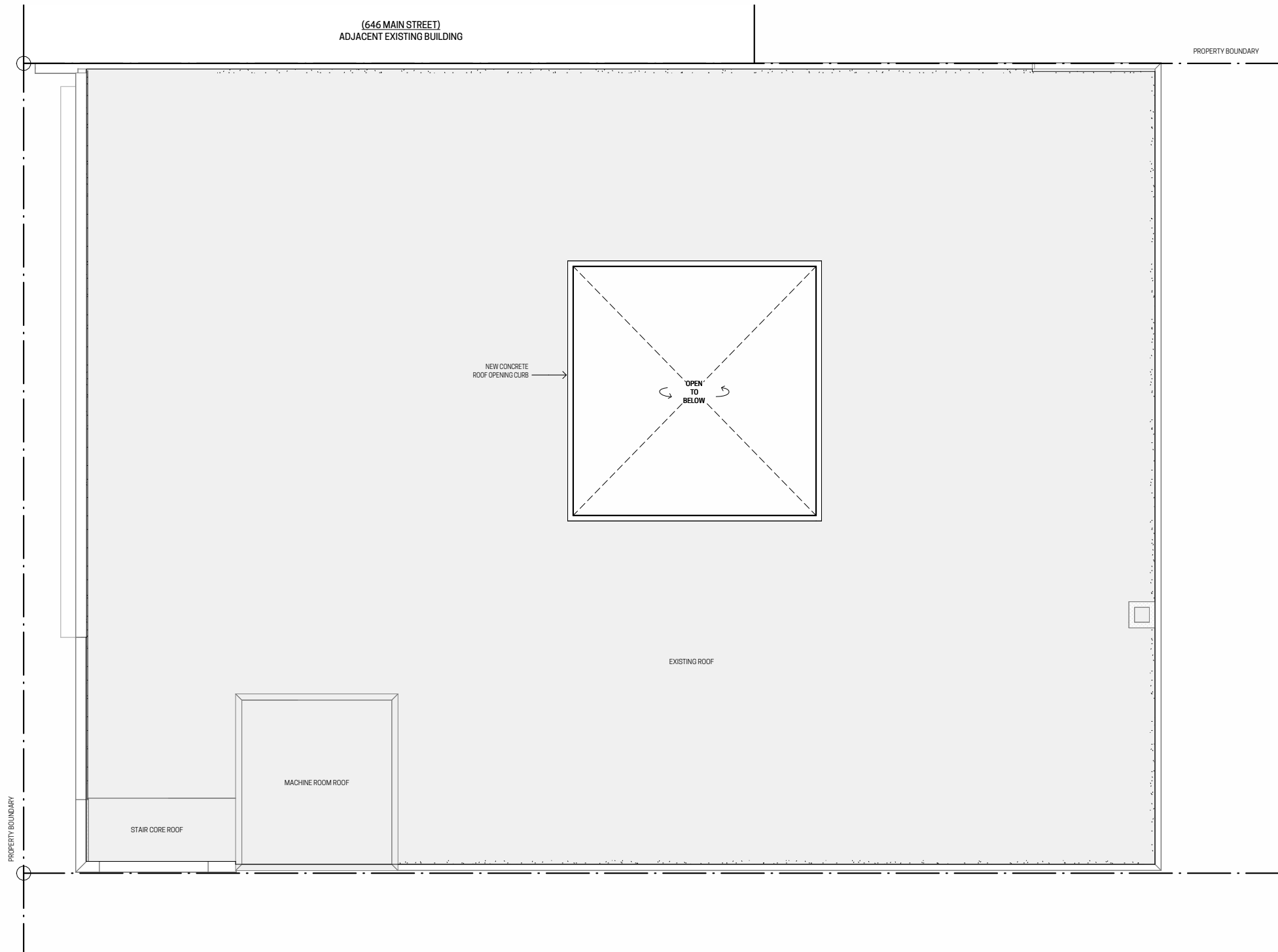
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HCB APPLICATION

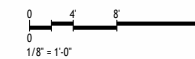
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01 PROPOSED ROOF PLAN

1/8" = 1'-0"



PLAN LEGEND

NEW DOOR / DOOR NUMBER	EXISTING DOOR	SUSPENDED LIGHT FIXTURE	WALL MOUNTED LIGHT FIXTURE	EQUIPMENT
NOT IN SCOPE	WORK AREA	CASEWORK BELOW	CASEWORK ABOVE	WALL/SOFFIT ABOVE

GENERAL FLOOR PLAN NOTES

REFERENCE GENERAL PROJECT NOTES SHEETS FOR COMPLETE LISTING OF GENERAL NOTES AND CONVENTIONS.

- EXISTING FLOOR SYSTEMS TO REMAIN THROUGHOUT. INSPECT, CLEAN, PATCH, AND PREPARE FOR APPLICATION OF NEW FINISHES. REPAIR OR REPLACE ALL DAMAGED, INSUFFICIENT, OR INCONSISTENT AREAS OR PORTIONS THEREOF. REFERENCE FINISH FLOOR PLANS.
- LIGHT HATCH REPRESENTS EXISTING WALLS TO REMAIN.

GENERAL ROOF PLAN NOTES

REFERENCE GENERAL PROJECT NOTES SHEETS FOR COMPLETE LISTING OF GENERAL NOTES AND CONVENTIONS.

- REFER TO ROOF KEYED NOTES FOR SPECIFIC INSTRUCTIONS. REFER TO LIFE SAFETY LEGEND FOR STANDARD INDICATIONS.
- REFER TO THE SPECIFICATION SECTIONS AS DENOTED BY THE KEYED NOTES.
- REFER TO ENGINEER DRAWINGS WHEN KEYED NOTES DENOTE THE DISCIPLINE'S ABBREVIATION AND SEQUENCE (E, MECH.1).
- DETAILS INDICATED ARE TYPICAL FOR ALL SIMILAR ROOFING CONDITIONS. U.N.D. DETERMINATIONS AND IMPLEMENTATION OF APPROVED AND COMPLIANT FALL ARREST AND/OR PROTECTION SYSTEMS IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- MINIMUM THICKNESS OF ROOF INSULATION SHALL BE 2" AT ROOF DRAINS.
- SHADED AREAS INDICATE 1/2" / 12" MINIMUM ROOF SLOPE UNLESS NOTED OTHERWISE.
- PROVIDE CRICKETS AT ALL OBSTRUCTIONS TO MAINTAIN POSITIVE DRAINAGE.
- ALL BLOCKING SHALL BE PRESSURE TREATED. PROVIDE FLEXIBLE FLASHING THAT IS COMPATIBLE WITH SPECIFIED ROOF MEMBRANE AS A SEPARATION FROM STEEL DECKING.
- ALL ROOF-MOUNTED MECHANICAL EQUIPMENT THAT REQUIRES SERVICE SHALL BE LOCATED MORE THAN 10 FEET FROM EDGE OF ROOF. IF ANY MECHANICAL EQUIPMENT REQUIRING SERVICE CANNOT BE LOCATED 10 FEET FROM EDGE OF ROOF, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE PROCEEDING.
- PROVIDE WALKWAY PADS/PROTECTION TO ROOF ACCESS SERVICE POINTS AND TO ROOF-MOUNTED MECHANICAL UNITS.
- COORDINATE ALL ROOF PENETRATIONS W/ MECH, PLUMB, ELEC, AND STRUCTURAL DRAWINGS. SEE M.E.P. DRAWINGS FOR ADDITIONAL ROOF PENETRATIONS NOT SHOWN.
- FLASH AND SEAL ALL PENETRATIONS AND CURBS PER ROOFING MANUFACTURER'S RECOMMENDED DETAILS AND APPLICABLE NRCA PLATES.
- PROVIDE CONTINUOUS ROOF MEMBRANE OVER CURBS AND EQUIPMENT PADS. PAD AND CURB SIZES ARE TO BE DETERMINED BY EQUIPMENT REQUIREMENTS.
- PROVIDE CONTINUOUS FLASHING AND COUNTER FLASHING AT ALL ROOF TO WALL CONDITIONS AND PARAPET CONDITIONS.
- COORDINATE HEIGHTS OF FLASHINGS, JOINTS, AND PENETRATION CAPS WITH ROOF THICKNESS AND SLOPE TO MAINTAIN MINIMUM DIMENSIONS DETAILED.
- PENETRATIONS AND ACCESSORIES (DRAINS, VENTS, ETC) SHALL BE INSTALLED AND FLASHED IN COMPLIANCE WITH THE CURRENT EDITIONS OF N.R.C.A. ROOFING AND WATERPROOFING MANUAL AND S.M.A.C.N.A. (ARCHITECTURAL SHEET METAL MANUAL).
- CONTRACTOR SHALL PROVIDE EQUIPMENT CURBS FOR MECHANICAL EQUIPMENT. COORDINATE FLASHING AND BLOCKING REQUIREMENTS.
- ROOF DRAIN LOCATIONS SHOWING ARE APPROXIMATE. COORDINATE WITH MECHANICAL AND PLUMBING DRAWINGS FOR EXACT LOCATIONS.
- ROOF TOP EQUIPMENT (EXCLUDING PREFINISHED ITEMS SHALL BE FIELD PAINTED).

SUPPLEMENTAL REFERENCE DIRECTORY

- REFERENCE PLUMBING DRAWINGS FOR PENETRATIONS AND DETAILS.
- REFERENCE MECHANICAL DRAWINGS FOR ROOF TOP MECHANICAL EQUIPMENT.

PLAN KEYED NOTES

No.	ISSUANCE / REVISION	DATE
01	HCB SUBMISSION	11.01.24

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Construction

PROJECT # 24-043

A105

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PROPOSED ROOF PLAN

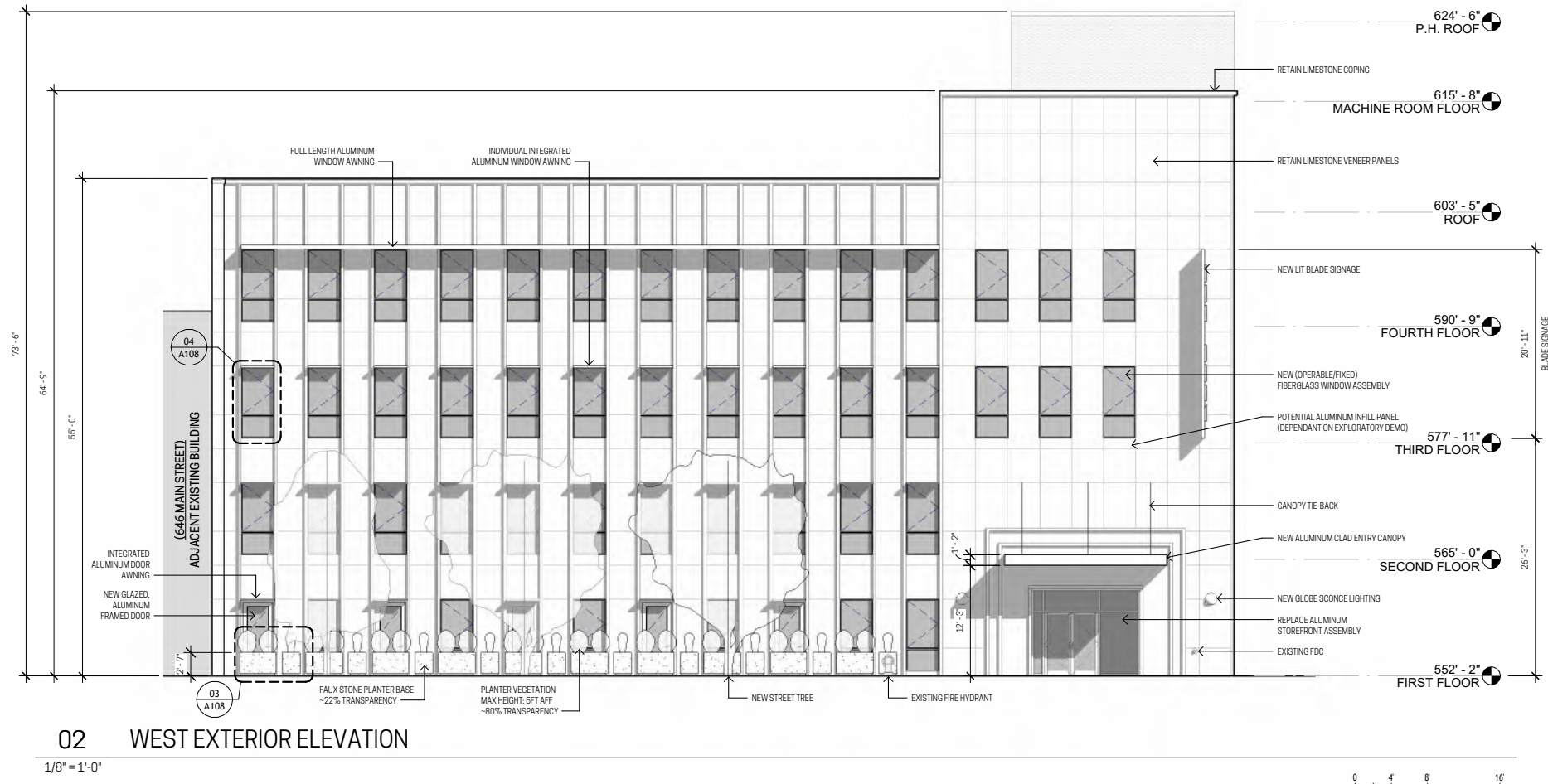
630 (626) Main Street
Cincinnati, OH 45201



HCB APPLICATION

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630 (626) Main Street

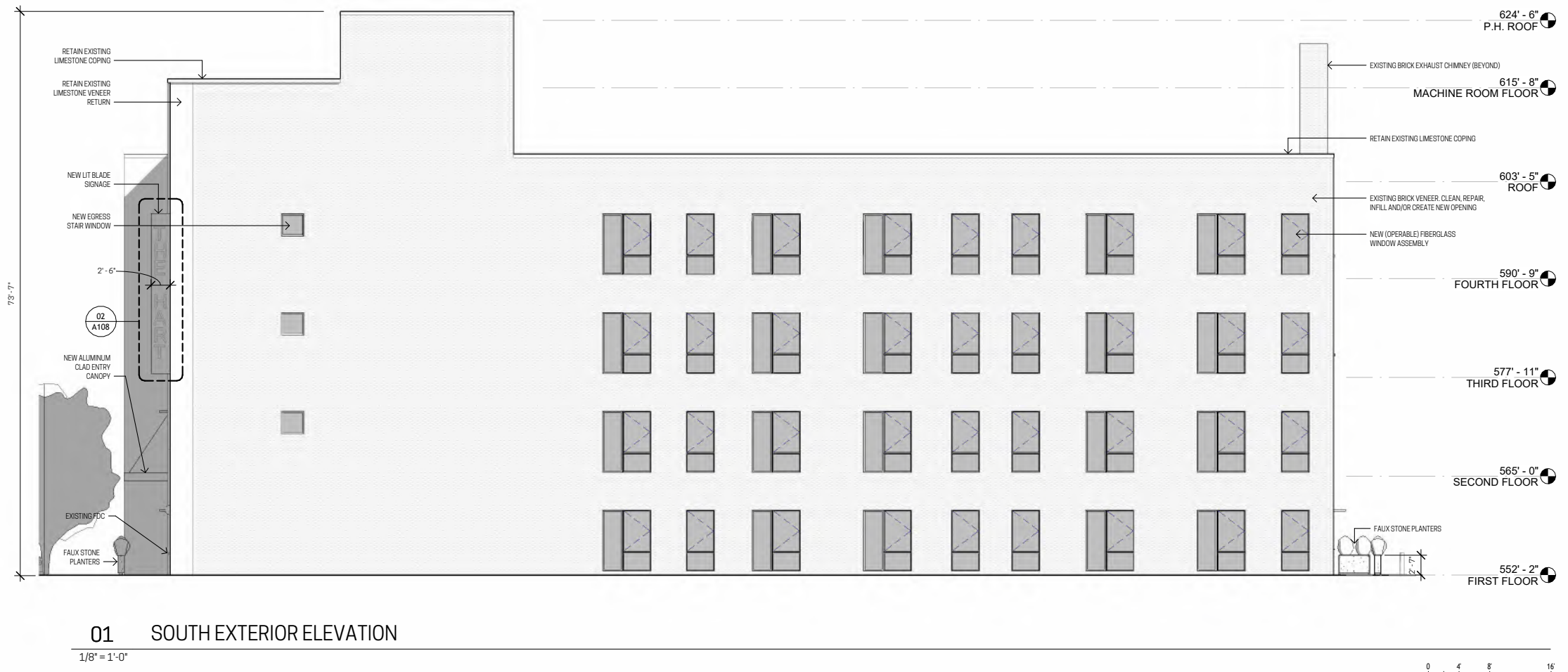
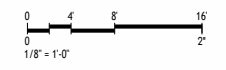
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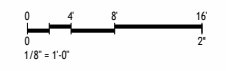
02 WEST EXTERIOR ELEVATION

- GENERAL ELEVATION NOTES**
- REFERENCE GENERAL PROJECT NOTES SHEETS FOR COMPLETE LISTING OF GENERAL NOTES AND CONVENTIONS.
1. REFER TO THE SPECIFICATION SECTIONS AS DENOTED BY THE KEYED NOTES.
 2. REFER TO ENGINEER DRAWINGS WHEN KEYED NOTES DENOTE THE DISCIPLINES ABBREVIATION AND SEQUENCE (E, M, E, C, H, A, L).
 3. REFER TO ELEVATION KEYED NOTES FOR SPECIFIC INSTRUCTIONS. REFER TO ELEVATION LEGEND FOR STANDARD INDICATIONS.
 4. DIMENSIONS SHOWN ARE NOMINAL, AND/OR ROUGH OPENING. CONTRACTOR TO ACCOUNT FOR JOISTS, SHIMS, SEALANT, ETC.
 5. OPENINGS DIMENSIONS ARE PROVIDED FOR DESIGN INTENT ONLY. CONTRACTOR SHALL FIELD VERIFY PRIOR TO FABRICATION OF OPENINGS ASSEMBLIES.
 6. WHERE DIMENSIONS ARE NOT SPECIFICALLY INDICATED FOR POWER AND SYSTEMS OUTLETS, ALIEN OUTLETS HORIZONTALLY ON CENTERLINE OF SURROUND ASSOCIATED ELEMENTS AS SHOWN.
 7. PROVIDE SEALANT AT ALL INTERSECTIONS OF DISSIMILAR MATERIALS IN ACCORDANCE WITH THE SPECIFICATIONS. ALL EXTERIOR SEALANTS TO BE A CUSTOM COLOR AND TEXTURE AS SELECTED BY THE ARCHITECT. MORE THAN ONE SEALANT COLOR MAY BE SELECTED FOR USE ALONG THE RUN OF THE SAME JOINT TO MATCH ADJOINING SURFACES.
 8. PROVIDE HIGH PERFORMANCE COATINGS AT ALL EXTERIOR FERROUS METALS (STRUCTURAL AND DECORATIVE) U.O.N.
 9. ARCHITECTURAL DRAWINGS DO NOT ILLUSTRATE ALL MECHANICAL AND ELECTRICAL ITEMS AND DEVICES. THOSE SHOWN ARE FOR COORDINATION AND LOCATING PURPOSES ONLY. REFER TO RESPECTIVE DISCIPLINE FOR COMPLETE DELINEATION OF WORK.
 10. GRADING SHOWN IS ILLUSTRATIVE OF FINAL GRADING PER CIVIL DRAWINGS.
 11. COORDINATE PLACEMENT OF ALL CONTROL, CONSTRUCTION, AND/OR EXPANSION JOISTS WITH ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 12. CONTRACTOR SHALL VERIFY FINAL CONFIGURATION OF ALL EQUIPMENT, INCLUDING CONTRACTOR FURNISHED CIVIL, STRUCTURAL, ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS ASSOCIATED WITH EQUIPMENT, WITH OWNER AND ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

ELEVATION KEYED NOTES



01 SOUTH EXTERIOR ELEVATION



HCB APPLICATION

PROPOSED BUILDING ELEVATIONS

630 (626) Main Street
Cincinnati, OH 45201

No.	ISSUANCE / REVISION	DATE
01	HCB SUBMISSION	11.01.24

Not for Construction

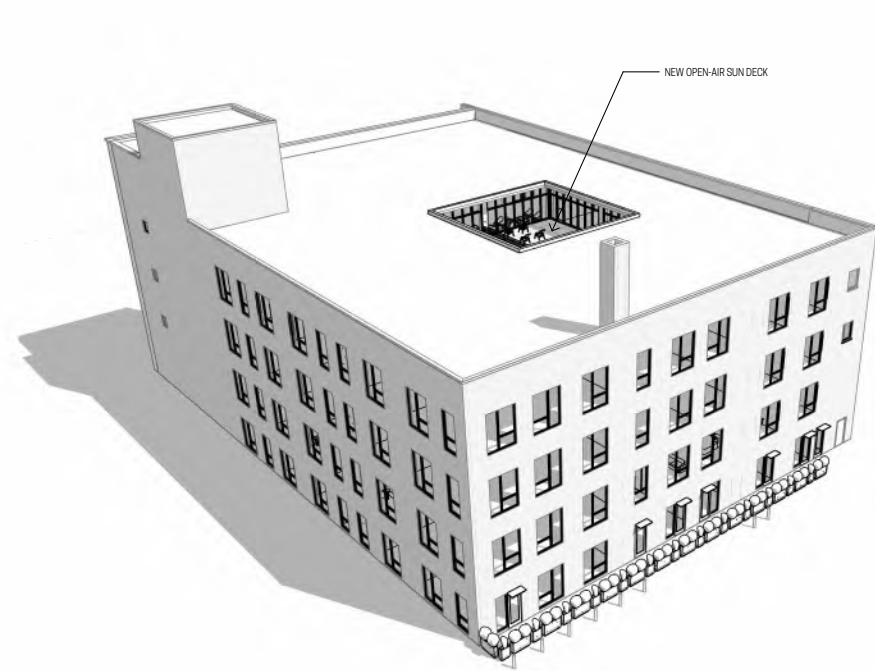
PROJECT # 24-043

A106

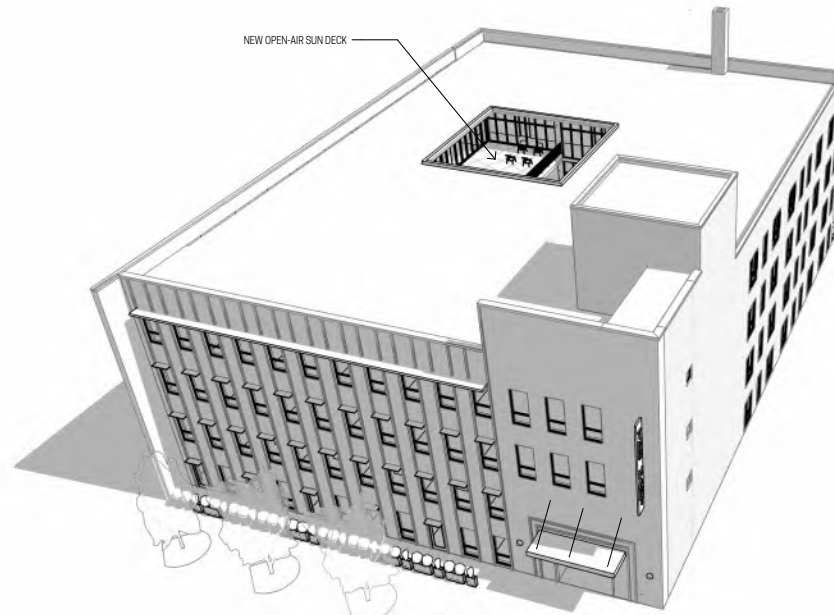
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03
BUILDING AXO 02



02
BUILDING AXO 01



01 EAST EXTERIOR ELEVATION
1/8" = 1'-0"

GENERAL ELEVATION NOTES

- REFERENCE GENERAL PROJECT NOTES SHEETS FOR COMPLETE LISTING OF GENERAL NOTES AND CONVENTIONS.
1. REFER TO THE SPECIFICATION SECTIONS AS DENOTED BY THE KEYED NOTES.
 2. REFER TO ENGINEER DRAWINGS WHEN KEYED NOTES DENOTE THE DISCIPLINES ABBREVIATION AND SEQUENCE (E. MECH.).
 3. REFER TO ELEVATION KEYED NOTES FOR SPECIFIC INSTRUCTIONS. REFER TO ELEVATION LEGEND FOR STANDARD INDICATIONS.
 4. DIMENSIONS SHOWN ARE NOMINAL AND/OR ROUGH OPENING. CONTRACTOR TO ACCOUNT FOR JOISTS, SHIMS, SEALANT, ETC.
 5. OPENINGS DIMENSIONS ARE PROVIDED FOR DESIGN INTENT ONLY. CONTRACTOR SHALL FIELD VERIFY PRIOR TO FABRICATION OF OPENINGS ASSEMBLIES.
 6. WHERE DIMENSIONS ARE NOT SPECIFICALLY INDICATED FOR POWER AND SYSTEMS OUTLETS, ALLEN OUTLETS HORIZONTALLY ON CENTERLINE OF SURROUND ASSOCIATED ELEMENTS AS SHOWN.
 7. PROVIDE SEALANT AT ALL INTERSECTIONS OF DISSIMILAR MATERIALS IN ACCORDANCE WITH THE SPECIFICATIONS. ALL EXTERIOR SEALANTS TO BE A CUSTOM COLOR AND TEXTURE AS SELECTED BY THE ARCHITECT. MORE THAN ONE SEALANT COLOR MAY BE SELECTED FOR USE ALONG THE RUN OF THE SAME JOINT TO MATCH ADJOINING SURFACES.
 8. PROVIDE HIGH PERFORMANCE COATINGS AT ALL EXTERIOR FERROUS METALS (STRUCTURAL AND DECORATIVE) U.O.N.
 9. ARCHITECTURAL DRAWINGS DO NOT ILLUSTRATE ALL MECHANICAL AND ELECTRICAL ITEMS AND DEVICES. THOSE SHOWN ARE FOR COORDINATION AND LOCATING PURPOSES ONLY. REFER TO RESPECTIVE DISCIPLINE FOR COMPLETE DELINEATION OF WORK.
 10. GRADING SHOWN IS ILLUSTRATIVE OF FINAL GRADING PER CIVIL DRAWINGS.
 11. COORDINATE PLACEMENT OF ALL CONTROL, CONSTRUCTION, AND/OR EXPANSION JOISTS WITH ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 12. CONTRACTOR SHALL VERIFY FINAL CONFIGURATION OF ALL EQUIPMENT, INCLUDING CONTRACTOR FURNISHED CIVIL, STRUCTURAL, ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS ASSOCIATED WITH EQUIPMENT, WITH OWNER AND ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

ELEVATION KEYED NOTES



HCB APPLICATION

PROPOSED BUILDING ELEVATIONS & AXONOMETRICS

630 (626) Main Street
Cincinnati, OH 45201

No.	ISSUANCE / REVISION	DATE
01	HCB SUBMISSION	11.01.24

Not for Construction

PROJECT # 24-043

A107

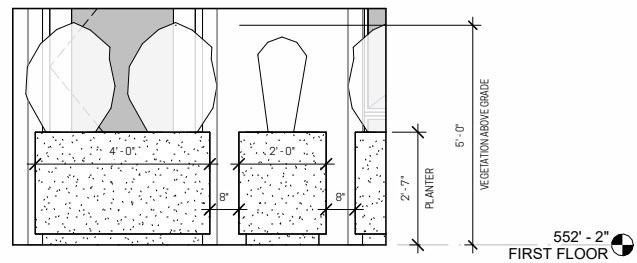
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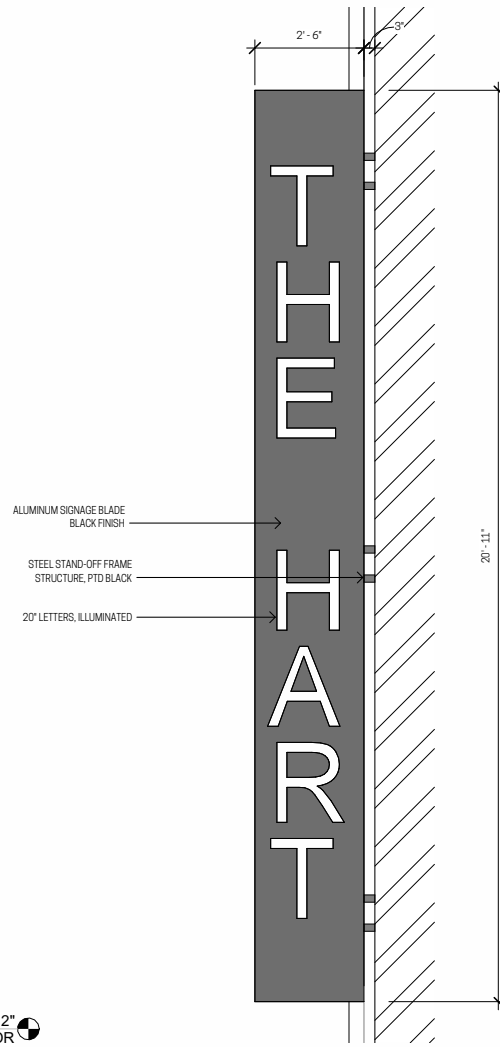


CAST STONE PLANTERS



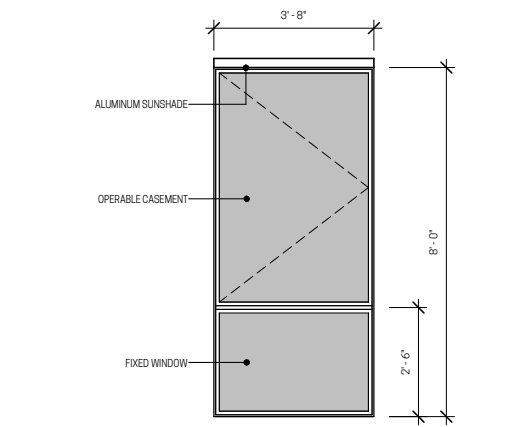
03 TYPICAL PLANTER ELEVATION

1/2" = 1'-0"



02 BLADE SIGNAGE ELEVATION

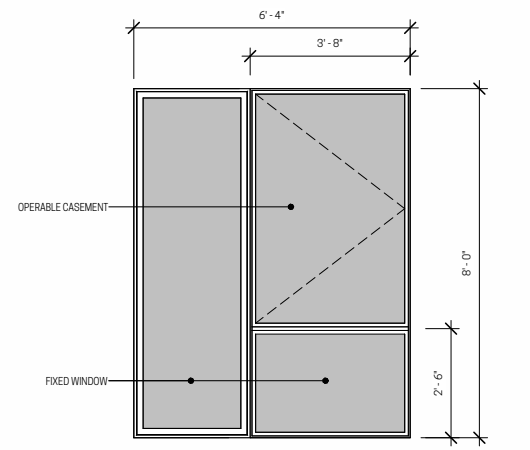
1/2" = 1'-0"



04 PROPOSED WEST WINDOW

1/2" = 1'-0"

PELLA IMPERVIA FIBERGLASS | BLACK



01 PROPOSED WINDOW

1/2" = 1'-0"

PELLA IMPERVIA FIBERGLASS | BLACK

GENERAL OPENINGS NOTES

REFERENCE GENERAL PROJECT NOTES SHEETS FOR COMPLETE LISTING OF GENERAL NOTES AND CONVENTIONS. REFERENCE ELEVATIONS DRAWINGS FOR COMPLETE LISTING OF GENERAL ELEVATIONS NOTES AND CONVENTIONS.

1. REFER TO THE SPECIFICATION SECTIONS AS DENOTED BY THE KEYED NOTES.
2. REFER TO ENGINEER DRAWINGS WHEN KEYED NOTES DENOTE THE DISCIPLINES ABBREVIATION AND SEQUENCE (E-MECH-A1).
3. REFER TO ELEVATION KEYED NOTES FOR SPECIFIC INSTRUCTIONS. REFER TO ELEVATION LEGEND FOR STANDARD INDICATIONS.
4. REFERENCE OPENINGS ELEVATIONS AND SECTION DRAWINGS AS DENOTED BY THE STANDARD INDICATORS AND KEYED NOTES.
5. REFER TO SPECIFIC HEAD, JAMB, AND SILL DETAILS FOR TYPICAL CONDITIONS.
6. COORDINATE AND PROVIDE DOOR HARDWARE AS SCHEDULED IN THE SPECIFICATIONS OR HARDWARE SCHEDULE. IF NOT SPECIFIED, PROVIDE HARDWARE REQUIRED OR DOORS TO OPERATE AND APPEAR AS INTENDED OF EQUAL QUALITY TO THAT SPECIFIED IN MOST SIMILAR FUNCTION.
7. PROVIDE CONTINUOUS WEATHERSTRIPPING, HEAD RAIN DEFLECTOR, THRESHOLD, AND DOOR BOTTOM SEALS AT EXTERIOR DOORS.
8. PROVIDE ACOUSTIC GASKETING AND DOOR BOTTOM SEAL AT AREAS REQUIRING ACOUSTIC CONSIDERATIONS.
9. VERIFY IN FIELD DOOR SWINGS AND CONFIGURATIONS PRIOR TO INSTALLING DOORS TO ENSURE INTENDED DOOR OPERATION.
10. CONTINUOUSLY SEAL ALL SIDES OF HOLLOW METAL FRAMES ABUTTING DISSILULAR MATERIALS.
11. FRAME SECTION DEPTHS VARY IN WIDTH WITH THEIR RESPECTIVE WALL TYPE. COORDINATE IN FIELD.
12. FILL HOLLOW METAL FRAMES ABUTTING MASONRY SOLID WITH GROUT. FILL HOLLOW METAL FRAMES AT EXTERIOR LOCATIONS WITH THERMAL INSULATION, U.O.N.
13. PROVIDE GALVANIZED HOLLOW METAL DOOR SYSTEMS AT EXTERIOR CONDITIONS.
14. CONTINUOUSLY SEAL ALL SIDES OF ALUMINUM FRAMES AND SUBFRAMES ABUTTING DISSILULAR MATERIALS.
15. AS REQUIRED FOR DESIGN LOADING, MANUFACTURER SHALL PROVIDE MULLION REINFORCING, VERTICAL EXTENSIONS, AND STRUCTURAL ATTACHMENTS.

SUPPLEMENTAL REFERENCE DIRECTORY

- 1.) REFER TO WINDOW AND OPENINGS ELEVATIONS AND SCHEDULES FOR COMPLETE DELINEATION OF WORK.



HCB APPLICATION

SITE AND ARCHITECTURAL ELEMENTS

630 (626) Main Street
Cincinnati, OH 45201

No.	ISSUANCE / REVISION	DATE
01	HCB SUBMISSION	11.01.24

Not for Construction

PROJECT # 24-043

A108

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MULTIFAMILY (CHANGE OF USE) + ADAPTIVE REUSE
630 (626) Main Street

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630 Main St (Looking east)
Existing West Facade



630 Main St (Looking north)
Existing South Facade



630 Main St (Looking west)
Existing East Facade



630 Main St (Looking south)
Existing North Wall + Rear of 646 Main St



HCB APPLICATION

CONTEXT PHOTOS

630 (626) Main Street
Cincinnati, OH 45201

No.	ISSUANCE / REVISION	DATE
01	HCB SUBMISSION	11.01.24

Not for
Construction

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Across from West 630 Main St (Looking west)
Facades of 625, 627, 629, 631, 633, 635, 637, and 639 Main St



630 Main St + 646 Main St West Facade(s) (Looking east)
Facades of 652, 654, and 658, Main St (RE: Signage on 658)



630 Main St + 602 Main St West Facade(s) (Looking east)
West facade and South Wall of 630 Main St + West Facade and North Wall of 602 Main St



HCB APPLICATION

CONTEXT PHOTOS

630 (626) Main Street
Cincinnati, OH 45201

No.	ISSUANCE / REVISION	DATE
01	HCB SUBMISSION	11.01.24

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Proposed Southwest Perspective



PROPOSED PROJECT RENDERINGS

630 (626) Main Street
Cincinnati, OH 45201

No.	ISSUANCE / REVISION	DATE
01	HCB SUBMISSION	11.01.24

**Not for
Construction**

PROJECT # 24-043

A111

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630 (626) Main Street

HCB APPLICATION

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Proposed West Elevation



PROPOSED PROJECT RENDERINGS

630 (626) Main Street
Cincinnati, OH 45201

No.	ISSUANCE / REVISION	DATE
01	HCB SUBMISSION	11.01.24

**Not for
Construction**

PROJECT # 24-043

A112

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MULTIFAMILY (CHANGE OF USE) + ADAPTIVE REUSE

630 (626) Main Street

HCB APPLICATION

Extrudeck® series

The gold-standard of extruded aluminum canopies

Extrudeck's® unique "J channel" water capture system makes this a functional yet attractive choice for any building. Its lightweight design provides protection from the elements and its easy hanger capability makes installation a snap. Extrudeck® is available pre-engineered in a wide variety of widths and lengths, a choice of finishing options will highlight your buildings facade.

Features and Benefits:

- Unique built-in drainage system
- Superior durability and lightweight design
- A variety of mounting options:
 - hanger rod, cantilever, post mount
- Pre-engineered
- Wide selection of fascia profiles, compliments any design
- Modular design and construction
- Weather protection
- Adjustable pitch
- Floating internal structure
- Surprisingly affordable

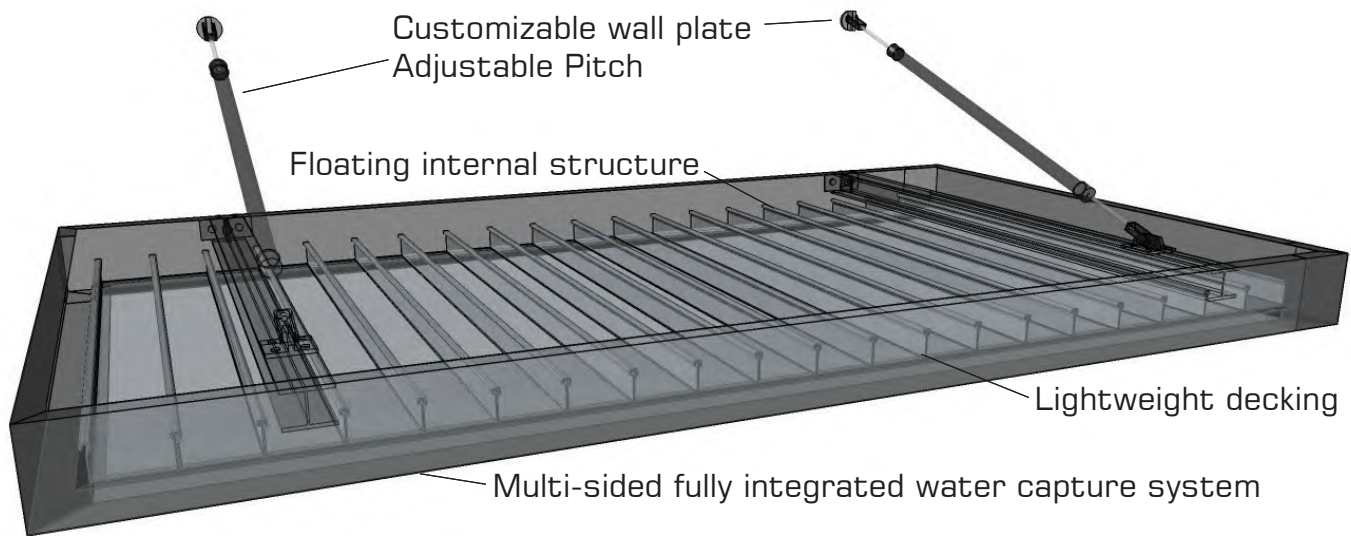
***MASA Architectural Canopies Ecoshade® and Extrudeck® systems can help you achieve LEED Credits.**

Innovative environmental control through creative design



Extrudeck® series

The gold-standard of extruded aluminum canopies



Applications: Doorways / Windows / Loading Docks / Walkways / Handicap ramps

Technical Data:

- All extrusions meet criteria for ASTM B221 and ASTM B429
- All products are engineered to meet standards of ASCE for design loads
- All channel framing is .125 6063-T5 high strength extruded aluminum

For PDF or AutoCAD Drawings go to: www.architecturalcanopies.com and click on downloads

Finishes:

- Standard finish super-durable Tiger Drylac Series 39 or 49 polyester resin based powder coating.

Other Finishes Available:

- Matthews/ppg Eurothane wet application
- Kynar Liquid Fluoropolymer

Full color palettes are also available for download at www.architecturalcanopies.com

All finishes are AAMA rated for excellent outdoor durability

Contact your Authorized Dealer



Unmatched strength and lasting durability

Achieve commercial-grade strength and lasting durability for your customers' long-term return on investment. Pella Impervia products are made from our proprietary fiberglass material, the strongest material for windows and patio doors, engineered for lasting durability!

Revolutionary hardware

The patent-pending Easy-Slide Operator simply slides to open, without the effort of cranking, on casement and awning windows.

- **100x more impact resistant²**

Pella's fiberglass is 100x more impact-resistant than Andersen's Fibrex windows. You can trust our fiberglass products to be better equipped to stand up to a hammer misfire and other jobsite conditions.

- **Proven performance**

Engineered for the rigorous performance requirements of a commercial building, Pella Impervia products provide outstanding resistance to water, wind and outside noise.³

- **Installation solutions and expertise**

With nearly 100 years in business, we've got you covered with products and installation solutions for your exact situation.

- **Exceptional mulling capabilities**

With both interior and exterior accessory grooves on all Pella fiberglass products, you can create larger, unique combinations specifically for your remodel or new construction project. Our extensive factory-mulled options will come preassembled, saving you time on the jobsite.

Pella® Impervia®

Fiberglass windows and patio doors

Sleek profiles and more glass

Create bold designs from sleek profiles and more glass with our intentionally-designed products made from our exceptionally strong proprietary fiberglass.

- **Up-to-date color palette**

Achieve your design style with up-to-date frame color options, including Black.

- **Tested beyond requirements**

Tested beyond industry standards and to extremes from -40°F to 180°F, our proprietary fiberglass can handle the most extreme heat and sub-zero cold.⁴ Our products are tested beyond industry standards to help ensure less maintenance with fewer callbacks.

- **Durable three-way corner joints**

For added strength, durability and reliable water performance, Pella Impervia products feature corner locks and sashes injected with sealant and fastened with screws.

- **The confidence of a strong warranty⁵**

We know your reputation matters, so we have one of the strongest warranties in the business.

Available in these window and patio door styles:



Special shape windows also available.

^{1,2,3,4,5} See back cover for disclosures.



Delivering unmatched strength, engineered for lasting durability.¹

Pella's proprietary fiberglass vs. Andersen Fibrex^{2, 6, 7}
 Pella Impervia products won't dent, bend or break as much as the competition.

Won't dent.
100x
more impact-resistant

Won't bend.
10x
stronger

Won't break.
20x
the tensile strength

Product Specifications

Window & Patio Door Styles	Min. Width	Min. Height	Max. Width	Max. Height	Design Pressure	Performance Values			FL #
						U-Factor	SHGC	HVHZ	
Vent Awning	20"	17-1/2"	59-1/2"	59-1/2"	+50/-50	0.18-0.48	0.16-0.55	No	35281
Fixed Awning	13-1/2"	11-1/2"	71-1/2"	79-1/2"	+50/-50	0.16-0.49	0.18-0.63	No	35284
Vent Casement	17-1/2"	20"	37-1/2" ⁸	79-1/2"	+50/-50	0.26-0.45	0.18-0.55	No	35278
Fixed Casement	13-1/2"	11-1/2"	71-1/2"	79-1/2"	+50/-50	0.22-0.48	0.20-0.62	No	35284
Vent Double-Hung	17-1/2"	29-1/2"	47-1/2"	77-1/2"	LC30-LC50	0.25-0.49	0.19-0.58	No	12600
Vent Single-Hung	17-1/2"	23-1/2"	47-1/2"	77-1/2"	LC40-LC50	0.24-0.51	0.19-0.59	No	12602
Sliding Window (OX, XO)	23-1/2"	11-1/2"	71-1/2"	71-1/2"	LC30-LC50	0.25-0.50	0.19-0.59	No	12604
Sliding Window (XOX)	47-1/2"	17-1/2"	107-1/2"	71-1/2"	LC30-LC50	0.25-0.50	0.19-0.59	No	12604
Fixed Frame Direct Set	11-1/2"	11-1/2"	143-1/2"	143-1/2"	+50/-55	0.14-0.46	0.18-0.69	No	26584
Sliding Patio Door (One Panel)	27"	71-1/2"	50.-5/8"	119-1/2"	+50/-50	0.17-0.48	0.19-0.59	No	39352
Sliding Patio Door (Two Panel)	59-1/4"	71-1/2"	95-1/4"	119-1/2"	+50/-50	0.17-0.48	0.19-0.59	No	39352
Sliding Patio Door (Three Panel)	91-7/8"	71-1/2"	145-7/8"	119-1/2"	+50/-50	0.17-0.48	0.19-0.59	No	39352

Window sizes available in 1/8" increments

Maximum square footage rules apply. Maximum width and height cannot exceed the maximum square footage. Special shapes available.
 Two and three-panel sliding patio door configurations that are greater than or equal to 95.5" in height will come knock-down and require field assembly.
 Knock-down will be optional for two and three-panel configurations until 95.5" in height.

Glass & Additional Energy Efficiency Upgrades

InsulShield® Low-E Glass⁹ Pella Impervia products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states.¹⁰



Advanced Low-E insulating dual- or triple-pane glass with argon



Advanced Comfort Low-E insulating dual-pane glass with argon



Natural Sun Low-E insulating dual- or triple-pane glass with argon



Natural Sun+ Low-E insulating dual-pane glass with argon

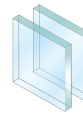


SunDefense™ Low-E insulating dual- or triple-pane glass with argon

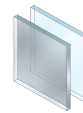


SunDefense+™ Low-E insulating dual-pane glass with argon

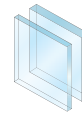
Additional Glass Options



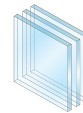
Tempered glass



Laminated (non-impact-resistant)¹¹ tinted¹² or obscure glass also available on select products



STC (Sound Transmission Class) dual-pane sound control glass¹³



Triple Pane¹⁴



Impact-resistant glass¹⁵

Foam Insulation Options



Optional foam-insulated frame and sash are available to increase energy efficiency.

Color & Finishes

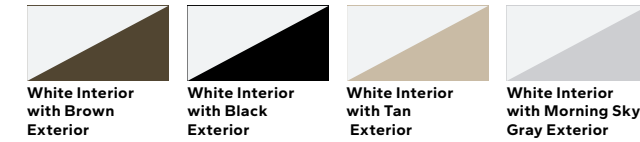
Frame Colors

Our long-lasting powder-coat finish resists chipping and fading and meets AAMA 624, which is a highly-rated fiberglass finish that will never need to be repainted or refinished.

Solid-Color:



Dual-Color:



Window Hardware

Casement & Awning

The patent-pending Easy-Slide Operator is a revolutionary way to operate casement and awning windows. Simply slide to open, without the effort of cranking. With precision venting technology, the window will open to an exact location. Or select the fold-away crank, that folds neatly away, against the window frame. Neither solution will interfere with roomside window treatments.



Easy-Slide Operator



Fold-Away Crank

Color-Matched Finishes:



Additional Finish:¹⁶



Satin Nickel

Sliding, Single & Double-Hung

Pella's cam-action lock pulls the sashes against the weatherstripping on single-hung, double-hung and sliding windows for a tighter seal.

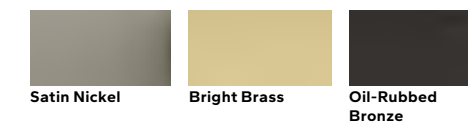


Cam-Action Lock

Color-Matched Finishes:



Additional Finishes:



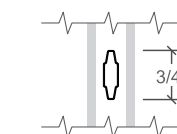
Satin Nickel

Bright Brass

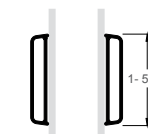
Oil-Rubbed Bronze

Grilles

Grilles are color-matched to window or patio door interior and exterior frame color.



Aluminum Grilles-Between-the-Glass 3/4"¹⁷



Applied Grilles¹⁸

Patio Door Hardware

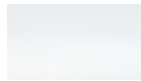
Sliding Patio Door

Elevate a home's style with sleek hardware selections.



Sliding Patio Door Handle

Color-Matched Finishes:



White



Brown



Matte Black



Tan



Morning Sky Gray

Additional Finish:



Satin Nickel

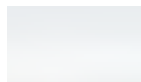
Secure Vent Lock

A secure vent lock comes standard on all Pella Impervia sliding doors and provides security in both the closed and venting positions. Secure vent lock is color-matched to the interior of the frame.



Secure Vent Lock

Color-Matched Finishes:



White



Brown



Matte Black



Tan



Morning Sky Gray

Patio Door Blinds

Blinds-Between-the-Glass¹⁹

Give your homeowners more privacy by adding blinds-between-the-glass. Located between panes of glass, blinds are protected from dust, dirt and damage.



White



Slate Gray



Espresso

NOTE: Product specifications may change without notice.

Actual colors may vary from those shown and products may vary slightly from illustrations and photos.

¹ Pella's proprietary fiberglass material has displayed superior strength over wood, vinyl, aluminum, wood/plastic composites, and other fiberglass materials used by leading national brands in tensile and 3-point bend tests performed in accordance with ASTM D638 and D790 testing standards.

² Impact testing performance based on testing 10 samples of each material using ASTM D256, Method C.

³ Pella® Impervia® windows and patio doors have a performance class of LC or higher. For information on product ratings see www.pella.com/performance.

⁴ In testing performed in accordance with ASTM testing standards, Pella's fiberglass has displayed superior performance in strength, ability to withstand extreme heat and cold and resistance to dents and scratches. Special shape windows are made from a fiberglass resin material.

⁵ See written limited warranty for details, including exceptions and limitations, at installpella.com/warranties

⁶ Tensile testing performance based on testing 7 samples of each material using ASTM D638 test methodology.

⁷ 3-point bend testing performance based on testing 10 samples of each material using ASTM D790 test methodology.

⁸ Vent casement with impact glass max width is 35-1/2".

⁹ Optional high-altitude Low-E insulating glass available with or without argon on select products.

¹⁰ Some Pella products may not meet ENERGY STAR® guidelines in Canada. For more information, contact your local Pella sales representative or go to energystar.gc.ca.

¹¹ For best performance, the laminated glass may be in the interior or exterior pane of the insulating glass, depending on the product.

¹² Available with Advanced Low-E insulating glass with argon with bronze, gray or green tint on select products.

¹³ Sound control glass consists of dissimilar glass thickness (3mm/5mm or 5mm/3mm).

¹⁴ Available on direct set, awning and casement windows and sliding patio doors. Not available with Advanced Comfort Low-E glass.

¹⁵ Available on direct set, casement and awning windows and sliding patio doors only. Not available with grilles-between-the-glass.

¹⁶ Only available for fold-away crank.

¹⁷ Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.

¹⁸ Available on direct set windows only.


¹⁹ Available on all two-panel and select sizes for three-panel sliding patio doors only.

Jessica E. Miranda, Hamilton County Auditor

generated on 10/28/2024 2:51:32 PM EDT

Property Report

Parcel ID 079-0004-0010-00 **Address** 626 MAIN ST **Index Order** Parcel Number **Tax Year** 2023 Payable 2024

Property Information		
Tax District	001 - CINTI CORP-CINTI CSD	Images/Sketches 
School District	CINCINNATI CSD	
Appraisal Area	01700 - CENTRAL BUSINESS DISTRICT Sales	Auditor Land Use 449 - OFFICE - ELEVATOR - 3+ ST
Owner Name and Address	DREA 7-MAIN PLACE ACQUISITION LLC P O BOX 36381 CINCINNATI OH 45236 (Questions? 946-4015 or county.auditor@auditor.hamilton-co.org)	Tax Bill Mail Address SCOTT STREET PARTNERS 7755 MONTGOMERY RD, SUITE 190 CINCINNATI OH 45236 (Questions? 946-4800 or treasurer.taxbills@hamilton-co.org)
Assessed Value	1,075,760	Effective Tax Rate 82.074213
Property Description MAIN ST 113.45 X 192.02 IRR PT IN LOTS 98-99 PRS 10 TH 14 CONS		Total Tax \$91,663.26

Appraisal/Sales Summary	
Year Built	1960
Total Rooms	0
# Bedrooms	0
# Full Bathrooms	0
# Half Bathrooms	0
Last Transfer Date	3/1/2016
Last Sale Amount	\$2,800,000
Conveyance Number	103052
Deed Type	LW - Limited Warrant Deed (Conv)
Deed Number	
# of Parcels Sold	2
Acreage	0.509

Tax/Credit/Value Summary	
Board of Revision	YES(17)
Rental Registration	No
Homestead	No
Owner Occupancy Credit	No
Foreclosure	No
Special Assessments	Yes
Market Land Value	2,036,620
CAUV Value	0
Market Improvement Value	1,036,980
Market Total Value	3,073,600
TIF Value	0
Abated Value	0
Exempt Value	0
Taxes Paid	\$91,663.26

Notes
**10/6/17 BOR #16-010529 DECREASE TO 2,443,640 KYM **9/16/98 - N.C. 100% FOR 98

Structure List			
Structure Name	Use Code	Finished Sq. Ft.	Year Built
Structure 1	449 OFFICE - ELEVATOR - 3+ ST	67,648	1960

Commercial Appraisal Data				
Section	Occupancy	Finished Area (sq. ft.)	Story Height	Stories
Section 1	344 Office Building	16,912	14	1
Section 2	344 Office Building	16,912	12	1
Section 3	344 Office Building	33,824	10	2

Proposed Levies					
Levy	Levy Type	Mills	Current Annual Tax	Estimated Annual Tax	Note
Hamilton County - Family Services & Treatment	Renew .34	0.34	\$297.72	\$297.72	B
Hamilton County-Developmental Disabilities Services	Renew 4.13	4.13	\$3,616.45	\$3,616.45	B

No Passed Levies Found

This is an estimated levy payment based on the current value of your property. Actual tax amounts per tax year may vary based on changes in property valuation and based on whether a parcel receives any abatement, credit, or reduction during the levy period.

Effective for the tax year 2005, Ohio's biennial budget bill, Amended Substitute House Bill 66, signed by the Governor on June 30, 2005, terminates the 10 percent real property tax rollback for the commercial and industrial classes of property, and agricultural property used for the commercial production of timber.

Effective for the tax year 2013, Ohio's biennial budget bill, House Bill 59, signed by the Governor on June 30, 2013, terminates the 10 percent real property tax rollback and the 2.5 percent homestead credit on all additional or replacement levies passed at the November 5, 2013 election or after. As a result of this legislation, those same levies will not qualify for the stadium tax credit.

Existing and renewal levies, as well as levies passed at the May 7, 2013 and August 6, 2013 elections will qualify for the credits. Residential and most agricultural properties with qualifying levies will receive what is now the Non-Business Credit Rollback Factor. Owner occupied residential dwellings with qualifying levies will receive what is now the Owner Occupancy Credit Rollback Factor, as well as the stadium tax credit.

Transfer History					
Year	Conveyance #	Selling Price	Transfer Date	Previous Owner	Current Owner
2016	103052	2,800,000	3/1/2016	VULCAN PROPERTY MANAGEMENT CO VULCAN PROPERTY MANAGEMENT CO	DREA 7 - MAIN PLACE ACQUISITION LLC
2005		0	1/18/2005	HAMILTON COUNTY COMMRS BOARD OF	VULCAN PROPERTY MANAGEMENT CO
2002	0	0	8/22/2002	CFC INVESTMENT CO	HAMILTON COUNTY COMMRS BD OF HAMILTON COUNTY COMMRS BOARD OF
1987	0	0	3/1/1987	SEE OWNERSHIP CARD	CFC INVESTMENT CO

Value History						
Tax Year	Assessed Date	Land	Improvements	Total	CAUV	Reason for Change
2023	7/29/2023	2,036,620	1,036,980	3,073,600	0	120 Reappraisal, Update or Annual Equalization
2020	8/22/2020	2,158,820	423,720	2,582,540	0	120 Reappraisal, Update or Annual Equalization
2017	11/16/2017	2,036,620	399,740	2,436,360	0	120 Reappraisal, Update or Annual Equalization
2017	11/3/2017	1,995,890	447,750	2,443,640	0	40 Changes by Board of Revision, Tax Appeals, Courts
2016	9/21/2017	1,995,890	447,750	2,443,640	0	40 Changes by Board of Revision, Tax Appeals, Courts

Value History						
2014	9/20/2014	1,995,890	663,660	2,659,550	0	120 Reappraisal, Update or Annual Equalization
2011	8/28/2011	2,036,620	677,200	2,713,820	0	120 Reappraisal, Update or Annual Equalization
2008	9/27/2008	2,352,500	601,270	2,953,770	0	120 Reappraisal, Update or Annual Equalization
2007	9/28/2007	2,352,500	601,270	2,953,770	0	40 Changes by Board of Revision, Tax Appeals, Courts
2007	8/29/2007	2,352,500	1,578,670	3,931,170	0	30 New Construction - Full Value
2006	9/28/2007	2,352,500	562,700	2,915,200	0	40 Changes by Board of Revision, Tax Appeals, Courts
2006	8/8/2006	2,352,500	1,540,100	3,892,600	0	30 New Construction - Full Value
2006	8/1/2006	2,352,500	650,800	3,003,300	0	70 All ReClassified Real Property
2005	11/3/2005	2,352,500	650,800	3,003,300	0	50 Changes to/from Exempt Property
2005	11/3/2005	2,352,500	650,800	3,003,300	0	120 Reappraisal, Update or Annual Equalization
2005	11/3/2005	2,483,200	850,500	3,333,700	0	120 Reappraisal, Update or Annual Equalization
2003	11/16/2004	2,396,020	819,180	3,215,200	0	50 Changes to/from Exempt Property
2003	6/30/2003	2,396,020	819,180	3,215,200	0	40 Changes by Board of Revision, Tax Appeals, Courts
2002	10/8/2002	2,880,700	1,071,900	3,952,600	0	120 Reappraisal, Update or Annual Equalization
1999	11/6/1999	2,722,800	1,013,100	3,735,900	0	120 Reappraisal, Update or Annual Equalization
1998	10/7/1998	1,960,400	1,854,700	3,815,100	0	30 New Construction - Full Value
1996	1/1/1996	1,960,400	1,712,600	3,673,000	0	110 Miscellaneous

Board of Revision Case History								
Case Number	Date Filed	Withdrawn	**Counter Complaint Filed	*Hearing Date/Time	Value Challenged	Value Requested	Value Decided by BOR	***Date Resolved
2016010529	2/3/2017	No		7/12/2017 2:00 PM	2,659,550	2,469,150	2,443,640	11/9/2017
2006090438	4/11/2007	No	4/11/2007	8/29/2007 8:40 AM	3,892,600	0	2,915,200	9/28/2007
2002051606	4/4/2003	No		6/27/2003 1:00 PM	3,952,600	0		

*Once your hearing has been scheduled, you will receive a **Notice of Hearing** by certified mail, and the Scheduled Hearing Date and Time will be populated on this page.
 **A counter-complaint may be filed by a party with interest in the value of your property, such as the Board of Education, if you request a decrease of \$50,000 or more in market value.
 ***Please allow four to six weeks to receive your **Notice of Result** by certified mail and to see your result on this page. Your Notice will contain basic facts about appealing your Board of Revision decision, should you wish to do so.

Payment Information

JILL A. SCHILLER, TREASURER		Tax Overview	
Mail Payments to:	Hamilton County Treasurer 138 E. Court Street, Room 402 Cincinnati, Ohio 45202	Tax Lien Pending	No
Tax District:	001 - CINTI CORP-CINTI CSD	Tax Lien Sold	No
Current Owner(s)	DREA 7-MAIN PLACE ACQUISITION LLC	Full Rate	106.660000
Tax Bill Mail Address	SCOTT STREET PARTNERS 7755 MONTGOMERY RD, SUITE 190 CINCINNATI OH 45236	Effective Rate	82.074213
		Non Business Credit	0.087768
		Owner Occupancy Credit	0.021942
		Certified Delinquent Year	
		Delinquent Payment Plan	No
		TOP (Treasurer Optional Payment)	\$0.00
		Note: May represent multiple parcels	
Taxable Value			
Land	712,820		
Improvements	362,940		
Total	1,075,760		

Current Year Tax Detail						
	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Real Estate			\$57,370.28		\$57,370.28	
Credit			\$13,224.20		\$13,224.20	
Subtotal			\$44,146.08		\$44,146.08	
Non Business Credit			\$0.00		\$0.00	
Owner Occupancy Credit			\$0.00		\$0.00	
Homestead			\$0.00		\$0.00	
Sales CR			\$0.00		\$0.00	
Subtotal	\$0.00	\$0.00	\$44,146.08	\$0.00	\$44,146.08	\$0.00
Interest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Real Estate Paid	\$0.00		\$44,146.08		\$44,146.08	
Real Estate Owed	\$0.00		\$0.00		\$0.00	
Special Assess Paid	\$0.00		\$1,722.31		\$1,648.79	
Special Assess Owed	\$0.00		\$0.00		\$0.00	
Total Due	\$0.00		\$45,868.39		\$45,794.87	
Total Paid	\$0.00		\$45,868.39		\$45,794.87	
Unpaid Delq Contract	\$0.00		\$0.00		\$0.00	
Total Owed	\$0.00		\$0.00		\$0.00	

Special Assessment Detail for 55-060 CINCINNATI - Urban Forestry						
	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Charge	\$0.00	\$0.00	\$73.51	\$0.00	\$0.00	\$0.00
Interest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Paid	\$0.00		\$73.51		\$0.00	
Owed	\$0.00		\$0.00		\$0.00	

Special Assessment Detail for 55-605 CINCINNATI - DCI/Special Imp. Dist.						
	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Charge	\$0.00	\$0.00	\$1,648.80	\$0.00	\$1,648.79	\$0.00
Interest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Paid	\$0.00		\$1,648.80		\$1,648.79	
Owed	\$0.00		\$0.00		\$0.00	

Special Assessment Detail for 34-672 CINCINNATI - DCI/Special Imp. Dist.

	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Charge	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Interest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Paid	\$0.00		\$0.00		\$0.00	
Owed	\$0.00		\$0.00		\$0.00	

Special Assessment Detail for 34-753 CINCINNATI - DCI/Special Imp. Dist.

	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Charge	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Interest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Paid	\$0.00		\$0.00		\$0.00	
Owed	\$0.00		\$0.00		\$0.00	

Special Assessment Detail for 34-999 #34-999 URBAN FORESTRY CITY

	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Charge	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Interest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Paid	\$0.00		\$0.00		\$0.00	
Owed	\$0.00		\$0.00		\$0.00	

Special Assessment Detail for 54-645 CINCINNATI - DCI/Special Imp. Dist.

	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Charge	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Interest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Paid	\$0.00		\$0.00		\$0.00	
Owed	\$0.00		\$0.00		\$0.00	

Special Assessment Detail for 55-310 CINCINNATI - Street Lights

	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Charge	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Interest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Paid	\$0.00		\$0.00		\$0.00	
Owed	\$0.00		\$0.00		\$0.00	

Payment Information for Current And Prior Year

Date	Half	Prior	1st Half	2nd Half	Surplus
6/13/2024	2 - 2023	\$0.00	\$0.00	\$45,794.87	\$0.00
1/31/2024	1 - 2023	\$0.00	\$45,868.39	\$0.00	\$0.00
6/13/2023	2 - 2022	\$0.00	\$2,159.93	\$42,482.24	\$0.00
2/2/2023	2 - 2022	\$0.00	\$43,198.37	\$0.00	\$0.00
6/17/2022	2 - 2021	\$0.00	\$0.00	\$41,770.89	\$0.00
1/25/2022	1 - 2021	\$0.00	\$42,463.33	\$0.00	\$0.00
6/17/2021	2 - 2020	\$0.00	\$0.00	\$42,074.16	\$0.00
1/29/2021	1 - 2020	\$0.00	\$42,766.61	\$0.00	\$0.00
7/9/2020	2 - 2019	\$0.00	\$0.00	\$42,939.86	\$0.00
1/31/2020	1 - 2019	\$0.00	\$42,989.19	\$0.00	\$0.00
6/20/2019	2 - 2018	\$0.00	\$0.00	\$42,840.36	\$0.00
1/31/2019	1 - 2018	\$0.00	\$42,889.69	\$0.00	\$0.00

Information believed accurate but not guaranteed. Treasurer disclaims liability for any errors or omissions

Contact the County Treasurer with your tax bill questions at county.treasurer@hamilton-co.org or 513-946-4800

Current Year
 2023 Payable 2024
 Prior Year
 2022 Payable 2023

Tax Distribution Information

Market Value		Assessed Value (35%)		Tax Rate Information	
Land	2,036,620	Land	712,820	Full Tax Rate (mills)	106.660000
Building	1,036,980	Building	362,940	Reduction Factor	0.230507
Total	3,073,600	Total	1,075,760	Effective Tax Rate (mills)	82.074213
				Non Business Credit	0.087768
				Owner Occupancy Credit	0.021942

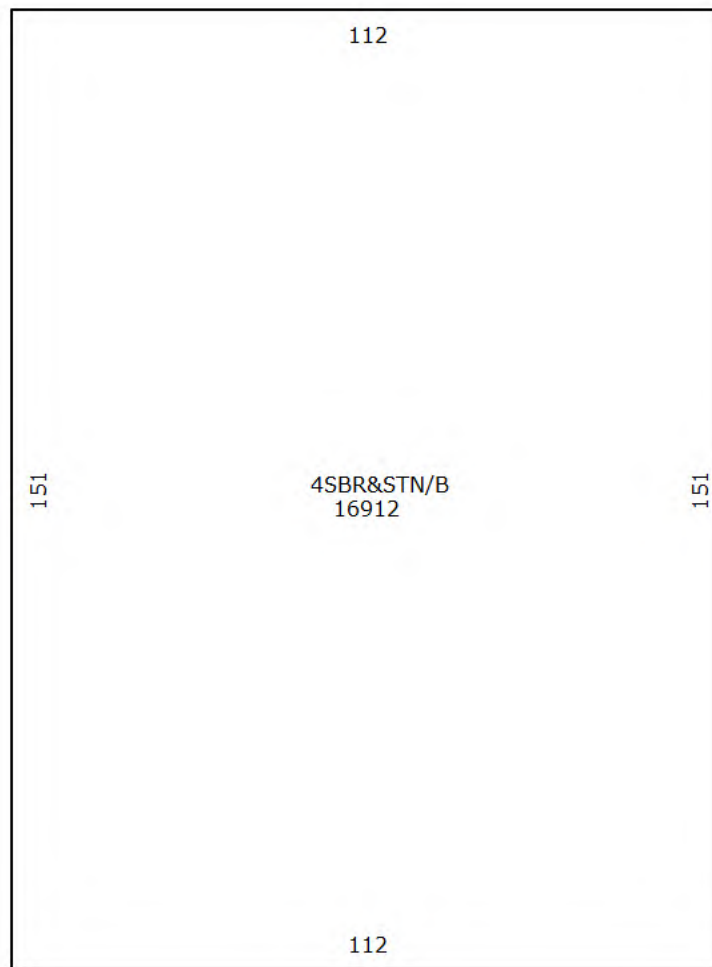
Tax Calculations		Half Year Tax Distributions	
Gross Real Estate Tax	\$114,740.56	School District	\$26,434.72
- Reduction Amount	\$26,448.40	Township	\$0.00
- Non Business Credit	\$0.00	City/Village	\$7,315.17
- Owner Occupancy Credit	\$0.00	Joint Vocational School	\$0.00
- Homestead	\$0.00	County General Fund	\$1,215.59
Half Year Real Taxes	\$44,146.08	Public Library	\$885.77
- Sales Tax Credit	\$0.00	Family Service/Treatment	\$148.86
+ Current Assessment	\$1,722.31	HLTH/Hospital Care-Indigent	\$1,191.63
+ Delinquent Assessment	\$0.00	Mental Health Levy	\$1,202.13
+ Delinquent Real Estate	\$0.00	Developmental Disabilities	\$1,808.22
Semi Annual Net	\$45,868.39	Park District	\$909.88
		Crime Information Center	\$132.55
		Children Services	\$2,015.86
		Senior Services	\$688.91
		Zoological Park	\$196.79

This shows the most recent tax bill calculation which normally occurs in early December and May. However, adjustments or corrections may have been applied to the tax bill after the initial tax calculation. Go to the Payment Detail tab to view any corrections or adjustments occurring after the initial tax calculation.

Parcel Photo

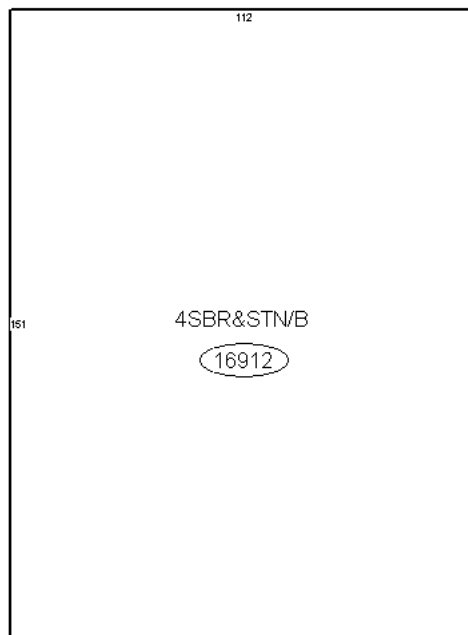


Current Parcel Sketch



Sketch by Apex Sketch

Legacy Parcel Sketch



Special Assessments

Project	Ord/Res	Description	Certified	End Year	Payoff Amount
34-672		CINCINNATI - DCI/Special Imp. Dist.		2012	\$0.00
34-753		CINCINNATI - DCI/Special Imp. Dist.		2016	\$0.00
34-999		# 34-999 URBAN FORESTRY CITY		2019	\$0.00

Special Assessments

54-645		CINCINNATI - DCI/Special Imp. Dist.	11/22/2017	2020	\$0.00
55-060		CINCINNATI - Urban Forestry	10/11/2024	2099	\$0.00
55-310	171-2020	CINCINNATI - Street Lights	8/28/2020	2022	\$0.00
55-605	362-2021	CINCINNATI - DCI/Special Imp. Dist.	10/1/2021	2024	\$3,201.54

Related Names

Name	Relationship	Status
DREA 7-MAIN PLACE ACQUISITION LLC	Parcel Owner	Current

OWNER AFFIDAVIT

The undersigned, Max Davis ("Affiant"), being a Director of the Owner (defined below), personally knows the facts that relate to the matters attested to in this Affidavit. Affiant attests that he is empowered by the Owner to bind the Owner to the representations and undertakings made herein. As of the date hereof, the Affiant being first duly sworn, deposes, states, and warrants on behalf of the Owner as follows:

1. **DREA 7 - MAIN PLACE ACQUISITION LLC**, an Ohio limited liability company (hereinafter referred to as the "Owner") is the owner of that certain land commonly known as Hamilton County, Ohio Auditor's Parcel No. 079-0004-0010-00 and the building located thereon, commonly known as the Hartford Building, having an address of 626 Main Street and 630 Main Street, Cincinnati, Hamilton County, Ohio 45202, and approximately depicted in **Exhibit A** attached hereto (the "Property").

2. The parties listed below have been granted authorization by and from the Owner to file a Historic Conservation Board Hearing Application (the "Application") with the City of Cincinnati Historic Conservation Board regarding the Property, seek and obtain a Certificate of Appropriateness and other zoning relief with respect to the Property, and participate as a party of record in any proceeding related to the Application.

New Republic Architecture
Graham Kalbi
Joshua Perez
1936 Race St.
Cincinnati, Ohio 45202
graham@newrepublicarchitecture.com
joshua@newrepublicarchitecture.com

Taft Stettinius & Hollister LLP
Sonya Jindal Tork, Esq.
425 Walnut Street, Suite 1800
Cincinnati, Ohio 45202
jindal@taftlaw.com

[SIGNATURE PAGE FOLLOWS]

EXHIBIT A

10/31/24, 9:40 AM

wedge1.hcauditor.org/viewira/0790004001000/2023/cagis_map



Online Property Access

|< First << Prev Next >> Last >| [RETURN TO SEARCH LIST](#) Property 5 of 57

Parcel ID 079-0004-0010-00	Address 626 MAIN ST	Index Order Parcel Number	Tax Year 2023 Payable 2024
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I Want To...

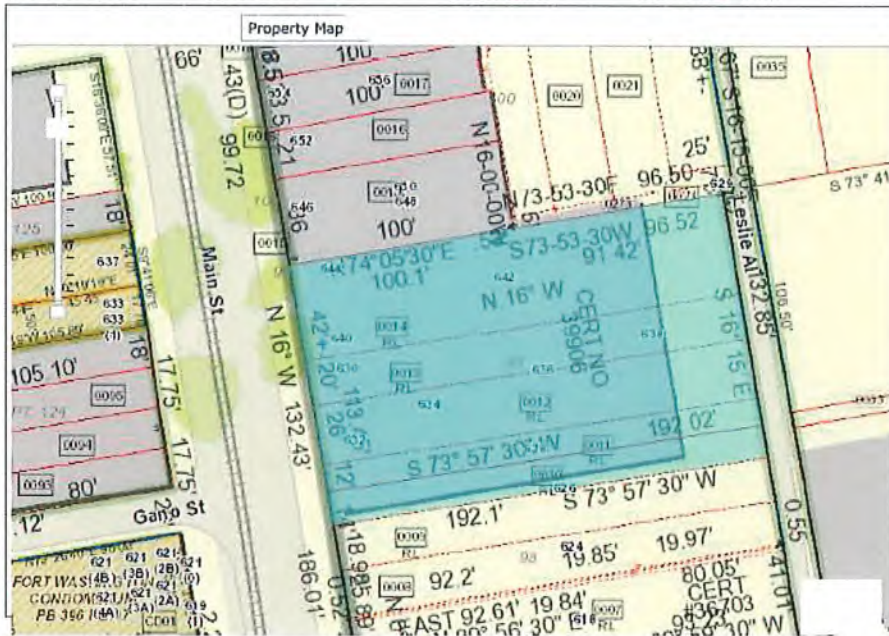
- Start a New Search
- Email the Auditor
- View the Online Help
- Auditor's Home

View:

- Property Summary
- Appraisal Information
- Levy Information
- Transfer
- Value History
- Board of Revision
- Payment Detail
- Tax Distributions
- Images
- Special Assessment/Payoff
- Tax Lien Certificates
- CAGIS Online Maps
- Aerial Imagery
- Owner Names

Print:

- Current Page
- Property Report



https://wedge1.hcauditor.org/viewira/0790004001000/2023/cagis_map

1/2

APPLICATION FOR
CERTIFICATE OF APPROPRIATENESS AND ZONING RELIEF
HISTORIC CONSERVATION BOARD PUBLIC HEARING
STAFF REPORT

APPLICATION #: COA2024053/ ZH20240146
APPLICANT: Tangent Architectural Group
OWNER: 1835 Baymiller, LLC
ADDRESS: 1835 Baymiller Street
PARCELS: 184-0003-0122-90; 184-0003-0121; 184-0003-0175
ZONING: RM-0.7
OVERLAYS: Dayton Street Historic District
COMMUNITY: West End
REPORT DATE: December 6, 2024
STAFF REVIEW: Douglas Owen, Urban Conservator

Details of Zoning Relief Required:

- 1. Section 1405-05 – Conditional Use approval is required for the proposed Club and Lodge use.

Existing Conditions:

The existing building is a two-story former church building located at the southwest corner of Baymiller Street and York Street in the West End neighborhood and the Dayton Street Historic District. The building was converted to residential use in 2021.

Proposed Conditions:

The applicant is proposing to renovate the existing building into a mixed-use building with a single-family residence on the ground floor and a Club and Lodge on the upper level. The Club and Lodge use is intended to host coworking and meeting space during the day and assembly space on the weekends. All events will be hosted by a member of the proposed Club and Lodge. Exterior alterations include a new rear egress stair and door opening, infill of two windows on the south elevation adjacent to the stair, a ventilation opening on the primary façade, and a parking pad and fence modifications.

Applicable Zoning Code Sections:

Zoning District: Section 1411-39
Variance Authority: Section 1445-07
HCB authority: Section 1435-05-4
Variance Standard: Section 1445-13 General Standards: Public Interest
Section 1445-15 Standards for Variances
Overlays: Section 1435 Historic Preservation
Historic District/Reg: Court Street Historic District
COA Standard: Section 1435-09-2 COA; Standard of Review



Figure 1. Location of 1835 Baymiller Street. Image courtesy of CAGIS.



Figure 2. View of 1835 Baymiller Street. Image from applicant.



Figure 3. View of 1835 Baymiller Street. Image from Google.

Previous Reviews: The Historic Conservation Board approved a variance for a parking reduction on October 11, 2021 related to the previous conversion to residential use (ZH20210133).

Zoning Analysis:

The proposed conversion of the building from a single-family dwelling to a mixed-use building requires Conditional Use approval for the proposed Club and Lodge use. Per Section 1425-19(c), no additional parking is required for the change of use of an existing building.

Standards for Variances per Section 1435-05-4

- (a) *Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the Historic District of Historic Asset; or*

Former religious assembly buildings are typically difficult to adaptively reuse due to the specific programmatic nature of their original construction. This building sat vacant for decades prior to the recent conversion to a single-family dwelling, which is currently used as a short-term rental property. The applicant notes the high cost of utilities for the building as a single-family dwelling.

As a single-family dwelling, the property is underutilized. Retaining the dwelling unit, while adding the Club and Lodge use will allow for more efficient utility

usage and will provide a gathering space in the community. The previous use of the church functioned in this way to some extent with Sunday services and other events held throughout the week and weekend. Staff does not expect the proposed Club and Lodge use to have significant adverse effects on the surrounding properties. Events hosted by members will occur inside the building, as no outdoor assembly space is proposed, which will contain the noise.

Street parking is generally available in the area currently, so no major impacts to traffic are not likely to occur. The applicants have noted that options exist to handle parking, including future agreements with nearby property owners for remote parking with shuttles or valet service. If these arrangements are not sufficient to handle parking concerns, the applicants may return to the HCB in the future to create a dedicated surface parking lot on a nearby lot. No parking agreements are currently executed.

Staff finds that the proposed Club and Lodge use is appropriate and in the interest of historic preservation for the full utilization and continued occupancy of the building.

- (b) *Is necessary where the denial thereof would result in a deprivation of all economically viable uses of the property as viewed in its entirety. In making such a determination, the Historic Conservation Board may consider the factors set forth in Section 1435-09-2 (aa) to (ff).*

The denial of the requested variances may not deprive the property of all economically viable uses, as it was recently converted to residential use. It should be noted that it was originally approved as a two-family dwelling; however, the final Certificate of Occupancy is for a single-family dwelling. The applicant notes that utility bills are quite high for a single-family use in the large building. While no specific numbers have been provided for utility costs, Staff finds this argument reasonable in that utility costs are likely to be much higher than a typical single-family use in this large building with vast interior open spaces.

General Standards; Public Interest

Below is analysis of the relevant consideration factors for the requested zoning actions, utilizing Section 1445-13, General Standards; Public Interest.

- (a) **Zoning.** *The proposed work conforms to the underlying zone district regulations and is in harmony with the general purposes and intent of the Cincinnati Zoning Code.*

The underlying zoning is RM-0.7. Club and Lodge uses require Conditional Use approval. The proposed work is in harmony with the intent of the Zoning Code.

- (b) **Guidelines.** *The proposed work conforms to any guidelines adopted or approved by Council for the district in which the proposed work is located.*

The proposed use conforms to the guidelines for the district.

- (d) **Traffic.** *Streets or other means of access to the proposed development are suitable and adequate to carry anticipated traffic and will not overload the adjacent streets and the internal circulation system is properly designed.*

Streets are adequate to carry the anticipated traffic. Parking is not required for the redevelopment of an existing building. Street parking is readily available on surrounding streets. The owners have also noted the potential for future parking arrangements through shuttles and/or valet service to nearby businesses and properties with available parking. The parking generated by the proposed use is not expected to create significant adverse effects.

- (h) **Neighborhood Compatibility.** *The proposed work is compatible with the predominant or prevailing land use, building and structure patterns of the neighborhood surrounding the proposed development and will not have a material net cumulative adverse impact on the neighborhood.*

The proposed use is compatible with the RM-0.7 district and will not have an adverse impact on the neighborhood.

- (j) **Adverse Effects.** *Any adverse effect on the access to the property by fire, police, or other public services; access to light and air from adjoining properties; traffic conditions; or the development, usefulness or value of neighboring land and buildings.*

There are no adverse impacts anticipated for the proposed use. Access by public services will not be impacted. The value and usefulness of neighboring properties are not expected to be impacted as the Club and Lodge use will be contained within the building with no outdoor assembly space proposed.

- (l) **Economic Benefits.** *The promotion of the Cincinnati economy.*

The proposed Club and Lodge use will generate additional tax revenue.

- (p) **Public Benefits.** *The public peace, health, safety or general welfare.*

There is no measurable detriment to public peace, health, safety or welfare as a result of this proposed project.

Certificate of Appropriateness Review:

A Certificate of Appropriateness is required for the exterior alterations including a rear egress stair and door opening, infilling of two rear windows, a 6" square vent on the primary façade, installation of a new parking pad, and modifications to the existing fence. The applicant is also proposing a small ramp on the northern sidewalk, which will be located in the Right-of-Way and is subject to Department of Transportation and Engineering approval. If this approval is not granted, the ramp will likely be relocated to the south elevation. The ramp will be behind the privacy fence in this secondary location and will not be highly visible from the street.

REHABILITATION

Materials: *Missing or deteriorated materials shall be replaced with recycled or new materials that match the original as closely as possible with regard to the following: type, color, style, shape, and texture of material. The composition, type of joint, size of units, placement and detailing shall be appropriate for the building. Synthetic materials such as aluminum or vinyl siding, imitation brick or plastic are inappropriate.*

New materials on the existing building at 1835 Baymiller are primarily limited to the new wood stair proposed for the rear elevation. The stair will be setback approximately 22.3' from the York Street property line and will be behind the proposed parking pad and existing 6' wood fence. The stair will feature a covering to protect it from weather, as required by the Building Code. While visible, the stair will not detract from any significant architectural features, being located on the rear elevation. The stair will be stained after construction.

Door and Window Openings: *Among the most important features of any building are its openings – its windows and doors. The size and location of openings are an essential part of the overall design and an important element in the building's architecture. Do not alter or fill-in original openings. Roll down shutters and metal bar systems installed on the exterior of the building that cover door and window openings are not encouraged.*

Existing window and door openings will remain in their current locations and sizes with the exception of the two windows on the south elevation at the rear bump out. These window openings are not visible from any surrounding street and one was previously infilled with glass block. The applicant proposes brick infill set back 1" from the façade to denote the original window locations.

A new egress door opening is proposed for the southern bay of the rear (west) elevation at the second floor level. The new door will be a flush metal door painted to match the surrounding brick, and as such will not be highly noticeable from York Street.

Ornamentation: *Significant architectural features such as window hoods, decorative piers, quoins, bay windows, door and window surrounds, porches, and other ornamental elements shall be preserved. These distinctive features help identify and distinguish the buildings in the District. Do not remove or replace ornamentation with substitutes that are of a different scale or design or an incompatible material. Make replacement ornamentation match the character of the existing feature closely as possible with respect to type, color, style, shape and texture of material.*

No significant ornamentation will be removed from the building as part of the redevelopment. The only work proposed for the primary (east) façade is a small 6" square vent for the kitchenette in the Club and Lodge space. The location of the vent contains plain brick and no ornamental features. The vent will be painted to match the color of the painted brick. The only work proposed for the north elevation is a low ramp, approximately 6" in height and 6' in length. As the ramp is proposed

within the ROW, it is not subject to HCB approval. No significant ornamentation exists on the rear elevation at the location of the proposed egress stair or new door opening.

SITE IMPROVEMENTS

A. Design Elements

Parking Pads: *Parking pads (parking for one or two cars) are permitted at the rear of the property, with access at alleys or existing curb cuts whenever possible. Parking pads in areas other than the rear yard shall be judged on a case-by-case basis and judged by their impact on the property and on the district.*

A parking pad is proposed for the rear of the building. An existing nonconforming gravel parking pad is already located in this area. The applicant is proposing to replace the pad with a Zoning compliant paved parking pad in the same dimensions.

Fences and Walls: *Wrought-iron or cast-iron fences are encouraged along the sidewalks of vacant lots or where buildings are setback from the sidewalk. Fencing may be set between wrought iron and cast-iron posts, natural stone posts or pre-cast concrete posts. Fencing may also be set on a concrete curb or on top of a retaining wall. Landscaping in front of a fence is encouraged. Plain board fences (vertical boards nailed side-by-side on horizontal stringers) or wire fences are appropriate at the rear of the property or along the side of the property. Wood fences should be painted or stained but not left to weather naturally. Chain link, stockade, shadow board, basket weave, vinyl and lattice designs are not encouraged.*

The existing 6' horizontal wood fence will remain in place. The fence will be modified adjacent to the proposed parking pad for the installation of a pedestrian access gate matching the style of the fence.

Other Considerations:

Prehearing Results: A prehearing was held on November 27, 2024. The applicant and owners were in attendance. Three members of the public also attended with most comments related to concerns over parking.

Comments Provided to Staff: At the time of finalization of the Staff Report, Staff received six letters of support for the proposed project. No letters of opposition were received.

Consistency with *Plan Cincinnati (2012)*:
“Sustain” Initiative Area “Preserve our built history”

Recommendation:

Staff recommends the Historic Conservation Board take the following actions based on plans by Tangent Architectural Group dated 10.31.2024:

I. ZONING RELIEF

A. CONDITIONAL USE

1. Section 1405-05 – **APPROVE – Conditional Use** approval for the proposed Club and Lodge use with the following condition:
 - i. No outdoor assembly space is permitted as part of this approval.

B. FINDING: The Board makes this determination that per Section 1435-05-4:

1. Such relief from literal implication of the Zoning Code will not be materially detrimental to the public health, safety and welfare or injurious to property within the district or vicinity where property is located; and
2. Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the district.

II. CERTIFICATE OF APPROPRIATENESS

A. APPROVE the application for a Certificate of Appropriateness for 1835 Baymiller with the following conditions:

1. Relocation of the ADA ramp to the south elevation (if necessary) shall be approvable at the Staff level.
2. Infilled window locations shall feature infill material inset a minimum of ½” to denote the location of the original opening.
3. The proposed 6” vent on the primary façade shall be painted to match the surrounding brick color.
4. The building permits must be issued within two years of the decision date or the Certificate of Appropriateness shall expire.

B. FINDING: The Board makes this determination per Section 1435-09-2:

1. That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

Historic Conservation Board

Hearing Application



II Centennial Plaza
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202
Monday- Friday 7:30 am- 4 pm
513-352-1559

Section 1. SUBJECT PROPERTY

ADDRESS 1835 Baymiller St. Cincinnati, OH 45214 COMMUNITY West End
PARCEL ID(S) 018400030122 HISTORIC DISTRICT Dayton Street
BASE ZONING CLASSIFICATION RM 0.7 HILLSIDE DISTRICT: Yes No
 Non-Residential Project Residential Project (RCO) One -, Two -, and Three- Family Dwelling

Section 2. APPLICANT

NAME Sarah Cornell, Tangent Architectural Group CONTACT PERSON (if legal entity) Sarah Cornell
ADDRESS 925 Lenox Place CITY Cincinnati STATE OH ZIP 45229
EMAIL tangent.sarah@gmail.com RELATIONSHIP TO OWNER (if not owner) Architect
TELEPHONE 419-266-4021

Section 3. OWNER

NAME 1835 Baymiller, LLC CONTACT PERSON (if legal entity) Rebecca & Mario Mazzone
ADDRESS 3643 Bellecrest Ave. CITY Cincinnati STATE OH ZIP 45208
EMAIL reception@zusammen.com RELATIONSHIP TO OWNER (if not owner) _____
TELEPHONE 804-614-8929

Section 4. NATURE OF CERTIFICATE OF APPROPRIATENESS REQUESTED

A certificate of appropriateness is NOT being requested. (Proceed to Section 5.)

A certificate of appropriateness is being requested for:

New Construction Alteration Demolition

BRIEF DESCRIPTION OF PROJECT (*Do not write "see attached" or leave blank.*)

Exterior new work on the project is a rear egress stair, an accessible ramp on the sidewalk at the side entrance, and paving the existing parking space. Two windows on the rear facade will be bricked in, and a new door opening will be added on the rear facade. There will be one new mechanical ventilation penetration on the front facade.

Section 5. NATURE OF ZONING RELIEF REQUESTED

Zoning relief is NOT being requested, or select all that apply:
 Variance Special Exception Conditional Use Use Variance
 Expansion or Substitution of Non-Conforming Use Hillside Overlay District Permission
 Urban Design Overlay District Permission DD District Phased Development Approval

BRIEF DESCRIPTION OF ZONING RELIEF REQUESTED (*Do not write "see attached" or leave blank.*)

This is the conversion of an historic church currently occupied as a single-family residence to a mixed-use commercial building with A-2 and R-2 occupancy. The commercial space will be used as a social club for members, and there will be a single residential unit on the first floor. A social lodge/club requires a conditional use variance in RM 0.7.

Section 6. SIGNATURE.

I certify that all statements and documents that I provide with reference to this application are accurate, complete, and true to the best of my knowledge and belief. I further acknowledge that my application shall be deemed incomplete for my failure to timely comply with any requirement of this application, which non-compliance may result in delays in the scheduling and resolution of my application.

Print Name Sarah Cornell **Signature** Sarah Cornell **Date** 11/6/2024

Digitally signed by Sarah Cornell
DN: cn=Sarah Cornell, o=Tangent Architectural Group, ou=, email=tangent.sarah@gmail.com
Date: 2024.11.06 14:51:24-0500

Section 7. DOCUMENTATION SUBMISSION REQUIREMENTS.

Important Information: An application will not be deemed complete until all required documents listed below have been submitted and the application fee is paid in full. All transactions must be completed by 4:00pm. No exceptions. Applicants are strongly encouraged to submit as early as possible to allow time for review and revisions. Partial applications cannot be processed. Failure to submit a complete application prior to 4:00pm on a deadline date will result in delays to the assigned hearing date.

<input checked="" type="checkbox"/>	Submit two (2) paper copies collated, single sided and bound together of all the documents listed below, <u>AND</u> one (1) digital copy on a thumb/flash drive in PDF format of all documents listed below. <i>No emails.</i>
<input checked="" type="checkbox"/>	Historic Conservation Board hearing application; pages 1-2 only. The instruction pages should not be included in your submission.
<input checked="" type="checkbox"/>	Adjudication Letter <u>AND</u> worksheet issued by the Department of City Planning & Engagement – Urban Conservator’s Office. Provide all documents requested on the worksheet.
<input checked="" type="checkbox"/>	A written statement explaining how the proposed project meets the applicable Historic Conservation Guidelines and, if requested, Zoning relief. Separate instructions for preparing this statement are attached. <i>If you fail to follow the instructions for your type of request(s), your application may be denied.</i>
<input type="checkbox"/>	Applications requesting development permission in a Hillside Overlay District must meet the additional requirements found in <u>Cincinnati Municipal Code 1433-15</u> . <i>Please ensure your application meets these requirements.</i>
<input checked="" type="checkbox"/>	All documents (forms, letters, etc.) must be formatted to 8.5x11. Font no smaller than size 11. Plans or drawings may be formatted to 11x17 or 12x18. <i>No larger sizes will be accepted.</i>
<input checked="" type="checkbox"/>	Accurate drawings, plans or surveys (including a graphic scale) of existing and proposed project showing parcel lines, boundaries, dimensions, areas, topography, and frontage of the property involved, as well as the location and dimensions of all primary and accessory structures from the nearest property lines. Provide all parcels and structures adjacent to the site. When landscaping is required by the zoning code, a landscaping plan must be provided.
<input checked="" type="checkbox"/>	Detailed information (such as drawings, elevations with measurements, specifications) fully depicting the exterior and/or interior appearance of the existing and proposed project, including parking and access, exterior lighting, landscaping, signs, roof and floor plans involved in the application. Provide labeled photographs of existing conditions of all sides/directions of the structure/property.
<input checked="" type="checkbox"/>	<u>The Hamilton County Auditor’s record showing ownership of the property.</u> If the Hamilton County Auditor’s official records do not list the applicant or owner as the owner of the property, please provide a lease, contract to purchase, or other agreement demonstrating the applicant or owner’s legal basis to seek the relief requested.
<input checked="" type="checkbox"/>	A list of witnesses, expert witnesses, or legal counsel who you expect to testify at the hearing on this application. Please provide names and email addresses.
<input type="checkbox"/>	Other documents or information you intend to introduce at the hearing on this application.
<input checked="" type="checkbox"/>	A non-refundable application fee - a check made payable to “City of Cincinnati.”

To help avoid delays, it is strongly suggested that you present your application to neighboring property owners and any interested neighborhood community groups prior to the hearing on your application. This will give you a prior opportunity to address your neighbors’ concerns or objections and can facilitate the approval of your application.

ADJUDICATION/DENIAL LETTER

Date: October 29, 2024

Location: 1835 Baymiller Street

Request: COA/ Zoning Relief

Zoning District: RM-0.7/ Dayton Street Historic District

The City of Cincinnati appreciates receiving information regarding your proposed project. The purpose of this letter is to inform you that your proposed project requires a Certificate of Appropriateness and Zoning Relief from the Historic Conservation Board, as it is within a local historic district and involves exterior alterations to the building, specifically, a rear stair.

All documents **that are checked** on the "Checklist for Historic Conservation Board" document are a required part of the submission, and the submission will not be considered complete unless all of these documents are included. When you submit the copies of the application, the "Checklist" Sheet must be submitted as well. The application can be found at this link: <https://www.cincinnati-oh.gov/sites/planning/assets/HCB%20Application%20Revised%202.22%20Hyperlink.pdf>.

All deadlines for upcoming Historic Conservation Board hearings can be found <https://www.cincinnati-oh.gov/planning/historic-conservation/historic-conservation-board/>. **Applications must be submitted no later than 3pm on the deadline date.**

Your request also does not comply with the City of Cincinnati Zoning Code for the following reason(s):

1. 1405-05: Land Use Regulations. **Conditional Use** approval is required for the proposed Club and Lodge use.

The applications and documents required will be turned into the *Law Department- Office of Administrative Boards*. Their office is located on the 5th floor of 805 Central Avenue in the Permit Center. Applications can be turned in **no later than 3pm on the deadline date**. You must contact Kasandra Maynes at 513-352-1559 or Kasandra.Maynes@cincinnati-oh.gov for submittal.

You may also contact me at the information listed below with historic conservation or zoning questions, concerns or to make an appointment.

Sincerely,



Douglas Owen

Urban Conservator

(p): 513-352-4848

(e): douglas.owen@cincinnati-oh.gov

Checklist for Historic Conservation Board Hearing Application

The Historic Conservation Office will provide this list with the required items

checked off when an Adjudication letter is issued. All items checked must be submitted to the Law Department with submission or the application will not be accepted.

- 8 business days before the hearing date 10 hard copies and a digital copy in one pdf for the final board packet. Hard copies must be formatted and retain the proper scale on sheets no larger than 11x17 or 12x18.
- Non-Refundable Application Fee. Checks made payable to the City of Cincinnati. \$ 649.10

All Drawings and Plans must include the following

- ✓ A graphic scale required on all drawings
- ✓ North arrows on all site, context and floor plans
- ✓ Elevations labeled with North, South, East West, front, side and rear labels
- ✓ Street names labeled
- ✓ Date and/or revision dates

Architectural Drawings and Plans

- An index of drawings located on the first sheet
- Context Map showing the building within at least a block of context
- Existing site plans
- Proposed site plans
 - All site plans must have*
 - ✓ *Parcel/boundary lines*
 - ✓ *Building footprints and dimensions labeled*
 - ✓ *Setback dimensions from all property lines labeled*
 - ✓ *Existing and proposed principal and accessory buildings, including location, dimensions, and height labeled;*
 - ✓ *All properties and their structures immediately adjacent to the site*
 - ✓ *Location and placement of exterior utilities and vents*
- Existing elevation drawings (At minimum must provide photographs of existing conditions of all elevations)
- Proposed elevation drawings
 - All elevations (existing and proposed) must have*
 - ✓ *Total Height from grade to top of the building*
 - ✓ *Total height- ASL (Above Sea Level)*
 - ✓ *Materials labeled*
 - ✓ *Location and placement of exterior utilities and vents*
- Existing floor plans and roof plans (with chimney locations)
- Proposed floor plans and roof plans (with chimney locations)
 - All floor(existing and proposed) plans must have*
 - ✓ *Residential and Commercial Spaces labeled. Residential Spaces must be numbered.*
 - ✓ *Square feet of commercial spaces listed*
 - ✓ *Location of trash storage and Utilities*
 - ✓ *Location and placement of exterior utilities and vents*

- Site section and/or Site elevations including any adjacent properties
- Driveways, sidewalks, walkways, terraces, and other paved surfaces
- Existing and proposed accessory structures, including walls, fences, porches, lighting, signs, and other site improvements;
- Existing and proposed landscape areas and materials, if proposed to be altered;
- Proposed materials, textures, and colors. Include make, model and series for proposed materials
- Labeled photos of all sides of the building
- Labeled photos of 1 block streetscape context in all directions
- Site line drawings for any roof additions, roof decks, utilities.
- A color rendering, axonometric drawings and/or perspective of the proposed construction (required on infill projects)

Required if applicable to the project

- Historic Sanborn Maps of the site
- Window brochures and cut sheet
- Roof product information (brochure)
- Garage door brochures
- Sample materials or color samples. _____
- Fence drawings of style, fence brochures or photo of a sample fence
- Signs; drawings, photo showing the sign on the building, mounting info, materials, colors and illumination
- Mature tree removal requires a letter from an arborist stating its poor health
- All written correspondence submitted by the applicant and other affected persons
- Tentative project schedule
- Egress Plan/Route to Building Code Compliance (roof decks, multi-family developments)
- _____
- _____
- _____

Demolition (full or partial) for Historic Conservation Districts and Landmarks

- Demolition Case Sheet and all required information listed on the sheet unless otherwise not required by the Urban Conservator in writing and provided with application.
- Statement of plans for the property after demolition.

Hillside Overlay Zone (CZC § 1433)

- A development plan, accompanied by a property survey, showing existing vegetation and proposed development, and where applicable, streets, drives, parking areas, walkways, heights of structure(s), location of structures, elevation and setback of proposed buildings, drainage, existing contours and proposed grading and new landscaping plans, proposed uses and square footage of uses and recreational facilities;
- A preliminary geotechnical evaluation;
- A determination of the maximum building envelope;
- Average slope/grade of the property; and
- Graphic illustrations demonstrating that the proposed improvement or new structure has not exceeded the maximum building envelope

For additional questions about this checklist contact Urban Conservator at 513-352-4848 or urban.conservator@cincinnati-oh.gov

Note: The aforementioned information is general in nature. Additional information may be required by the Urban Conservator once the application is submitted. Please use this list to plan for the potential documents that could be required for a submission.



11/12/2024

Zoning Hearing Examiner
City of Cincinnati Buildings and Inspections
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

RE: 1835 Baymiller Street - Statement on Historic Guidelines and Zoning Relief

To Whom It May Concern:

The property at 1835 Baymiller is a church constructed in the 1860s, which was converted within the last five years to a single-family home. This is an application to change the existing single-family designation to a mixed-use commercial Social Club and single R-2 residential unit. The exterior scope that impacts the historic district is the addition of an exterior egress stair, enclosing two rear windows, and the addition of a concrete ramp on the sidewalk to create an accessible side entry. The new owners hope to return the historic structure at the heart of the Dayton Street Historic District to its function as a community amenity and gathering place as Zusammen Social Club. It will operate on a membership model geared towards neighborhood residents, giving them a much-needed “third place” to gather with neighbors. The building will be used as a co-working or meeting space during the day, and a gathering space on the evenings and weekends for birthday parties, book clubs, and other indoor gatherings. This project, considered a club/lodge for zoning purposes, meets the standards outlined in Cincinnati Municipal Code 1445-13, 1445-05, and 1445-21, as described below.

This project is applying for a Certificate of Appropriateness because of the exterior work involved and its location within the Dayton Street Historic District. The proposed work substantially conforms to the Dayton Street Historic District Guidelines. The relevant elements in this project are the rear egress stair, enclosing two rear-facing windows, the side entry ramp, the parking pad, fence modifications, and a residential-size hood ventilation opening.

The rear egress stair is our preferred design solution to create a second point of egress for occupants gathering on the second floor. It is less disruptive to the historic fabric of the building than adding an interior stair. The stair, shown on A3.1, A3.2, and A5.1, will be a stained wood deck and stair. This is in keeping with the “Site Improvement Design Guidelines”, which requires that wood decks be stained or painted. It is also an egress solution found in other mixed-use buildings in historic districts throughout the city. The stair has been located on the West side of the building, so it is located on the rear facade and has no impact on the decorative front facade of the building.

Because the stair is being added on the southwest exterior corner of the building, two windows need to be infilled in order to provide a rated fire separation between the interior of the building and the stair.

The two windows, called out on A1.2, A3.1, A3.2, and just visible in the photo 4/A0.2, are on the rear side of the building in a bump-out facing south. They are non-original windows, not visible from any public street, and the first floor window has already been replaced with glass block. We would infill the windows with brick, set back 1" from the face of existing brick to show the historic opening size and shape, and painted to match the building. The impact of infilling these windows on the historic character of the building will be minimal.

In order to create an accessible entry, a concrete ramp will be added to the side entry facing York Street. The height change is approximately 6", so the ramp will be 6' long, starting aligned with the front of the building at the corner of York and Baymiller, with an appropriately sized landing for accessing the door. No handrail will be needed for this change in grade, and the existing door will remain. This ramp is necessary for providing accessible access, will have minimal visual impact on the building, and is a much more minor intervention than ramping up to the significantly higher elevated front doors.

The parking pad is being added to the west/rear side of the building, with access from York Street, which runs alongside the building. The owners will be replacing an existing gravel parking space with a concrete pad with one parking space, in compliance with the Site Improvement Design Guidelines, which permit one and two-car parking pads at the rear of the property. Because this is a corner property, it does not really have a "rear yard", but this functions as the side/rear yard of the building.

The existing fence, shown in the photo 2/A5.1, will be modified to accommodate a pedestrian-friendly egress gate as needed for our new exterior egress. The modifications and new gate will match the existing fence height, style, and color. The existing fence is a 6' high wood fence, stained in a natural color, that runs around the side/rear yard of the property. The height and materials are in compliance with the Site Improvement Guidelines for fences and walls at the side and rear of a property. The style of fence is a horizontal board, which is not specifically mentioned either as an appropriate or prohibited style, and the owners do not plan to rebuild the existing fence, which is fairly new and in good condition.

The final modification requested for this COA application is a 6" square exhaust opening on the front facade, for a downdraft range in an office kitchenette. In a commercial space, this range will require ventilation, and the least disruptive way to provide it, because it sits above the historic main stair, is through the front wall of the building. It will be located slightly above and to the side of the triangular front door pediment, below the sill band for the second floor windows. It will be painted black to match the rest of the facade, similar to the vent visible in Photo 4/A0.2. This is a main facade, but by painting the vent cover to match the existing dark color of the building, and placing it just above the pediment projection of the main entry, it should be fairly inconspicuous from the street. It is also a modification that can easily be removed and repaired in the building's future if it is no longer needed.

This property is applying for a Conditional Use Variance, as a Club/Lodge is listed as a conditional use in the RM0.7 zone. This project is in the public interest, and is in the interest of historic conservation of a prominent local building. This building is located in the Dayton Street Historic District, on Baymiller Street, which did historically have commercial properties, whether first-floor businesses or churches. The change of use from residential back to commercial aligns much more with the scale of the structure and its prominent location in the community, and the proposed work does not include significant exterior alterations and will not adversely affect the historic architectural integrity of the building (Historic Asset). A social club dedicated to community gatherings is in line with the type of community-

building that was historically provided by a church, meaning that it is compatible with this RM 0.7 neighborhood and is in keeping with the intent of the zoning code. It also aligns with the City's recent public statements regarding walkable communities with walkable amenities serving residents without the need to travel by car to other parts of the city. It is consistent with Plan Cincinnati (2012): "Sustain" Initiative Area "preserve our built history", as it preserves this historic church as a public amenity.

This project should not have a significant impact on traffic during the day with a small amount of co-working members who might be in and out, and even when hosting a gathering, would be bringing a smaller number of people together than what would have historically gathered for a church service at this location. It will have no adverse effects in terms of access to the property for public services, and should have a positive impact on the value of neighboring properties. Developing this building as a social hub for the neighborhood will have a positive impact on the neighborhood as a whole, encouraging others to move to the area and/or develop some of the blighted buildings nearby. Having a larger space nearby to work during the day or host a family gathering makes living in a smaller home, like the homes in this neighborhood, a more viable proposition. Any adverse effects in terms of noise will be limited, because there is no outdoor occupied space associated with this project, so any gatherings will be entirely indoors. A project like the Zusammen Social Club will be a driver for development in the neighborhood and will raise property values for the owners and neighbors alike. Neighbors have submitted letters of support echoing the desire for this particular business as it will add vitality to a formerly under-developed area.

This project is attempting to keep to the spirit and intent of the zoning code as much as possible. Due to its age and large size, the annual cost for utilities and maintenance of this building are not economically viable as a single-family home. The current single-family designation is also not what this type of property would have historically been used for. This project will reintroduce a commercial use to a traditionally public building, helping to activate the neighborhood. It may bring in some new patrons for local businesses, and will give residents another walkable destination within the neighborhood. The owners are also retaining a residential rental unit in order to provide some of the mixed-use housing that this neighborhood traditionally supported. They are seeking a conditional use variance for the minimal level of relief that will allow them, as a private entity, to operate a commercial mixed-use rental and gathering space.

Thank you for considering this COA and Conditional Use Variance application.

Sincerely,

A handwritten signature in black ink that reads "Sarah Cornell". The signature is written in a cursive, flowing style.

Sarah Cornell, RA
Tangent Architectural Group
925 Lenox Place
Cincinnati, Ohio 45229

Zusammen Change of Use 1835 Baymiller Avenue

Project Description + Code Criteria

PROJECT LOCATION:

1835 BAYMILLER AVENUE, CINCINNATI, OHIO

PROJECT DESCRIPTION:

THIS HISTORIC MASONRY CHURCH IS CURRENTLY USED AS A SINGLE FAMILY HOME AND WILL BE CONVERTED TO A MIXED USE A-2 AND SINGLE RESIDENTIAL R-2 UNIT. THE BUILDING WILL BE FULLY SPRINKLERED TO ACCOMMODATE THIS ASSEMBLY /RESIDENTIAL MIXED USE.

THIS PROJECT WILL CONSIST OF ADDING AN EXTERIOR EXIT STAIR, AN EXTERIOR ACCESSIBLE RAMP, A PAVED PARKING SPACE, AND INTERIOR MODIFICATIONS AS NEEDED TO CREATE FIRE RATED SEPARATIONS BETWEEN USE GROUPS.

THE PROPOSED COMMERCIAL USE IS A SOCIAL CLUB, WELCOMING MEMBERS DURING THE DAY FOR CO-WORKING AND MEETINGS, AND IN THE EVENING HOSTING GATHERINGS OR EVENTS FOR MEMBERS. THIS CLUB/LODGE USE PER THE ZONING CODE IS ONLY PERMITTED AS A CONDITIONAL USE IN RM-0.7, WHICH IS WHY WE ARE SEEKING A VARIANCE WITH THIS PACKAGE.

ZONING CODE INFORMATION:

PARCEL ID: 184-0003-0122-90 (184-0003-0121-00 and 184-0003-0175-00)

ZONING DESIGNATION: RM-0.7 Multi-Family

HISTORIC DISTRICT: YES- DAYTON STREET HISTORIC DISTRICT

USE (1405-05) BUILDING DEPT - A2 (CO-WORKING SPACE and ASSEMBLY SPACE) and R2
ZONING USE - CLUBS AND LODGES - CONDITIONAL IN RM-0.7

SETBACKS (1405-07): FRONT SETBACK - 5 '
SIDE SETBACK(s) - 0/5 '
REAR - 25' CORNER LOT WITH NO REAR SETBACK ASSUMED

PARKING (1425-19): NO ADDITIONAL PARKING PER CONNECTED COMMUNITIES ZONING REDUCTIONS

BUILDING CODE INFORMATION:

BUILDING CODES: 2024 OHIO EXISTING BUILDING CODE (OIBC) W/ LOCAL AMENDMENTS
WORK AREA COMPLIANCE METHOD

OCCUPANCY: CURRENT: SINGLE FAMILY **Proposed: A2 AND R-2**

FIRE PROTECTION: SPRINKLERED

CONSTRUCTION TYPE: TYPE III B

BUILDING AREA: GROSS FOOTPRINT 4,498 SF
BASEMENT: 3,862 SF
FIRST FLOOR: 3,973 SF
SECOND FLOOR: 3,973 SF
MEZZANINE: 993 SF

ACTUAL HEIGHT: 2 STORY + MEZZANINE ; 57'-0" VIF

Index of Drawings

Drawing No.	Drawing Description	ISSUE DATE
A0.0	COVER, INDEX SHEET, LOCATION PLAN AND CODE NOTES	2024 10-31
A0.1	PHOTOGRAPHS	2024 10-31
A0.2	PHOTOGRAPHS	2024 10-31
A1.0	CONTEXT PLAN	2024 10-31
A1.1	EXISTING SITE PLAN	2024 10-31
A1.2	PROPOSED SITE PLAN	2024 10-31
A3.0	BASEMENT PLAN	2024 10-31
A3.1	FIRST FLOOR PLAN	2024 10-31
A3.2	SECOND FLOOR PLAN	2024 10-31
A3.3	MEZZANINE PLAN	2024 10-31
A3.4	ROOF PLAN	2024 12-04
A5.1	EXTERIOR ELEVATIONS	2024 12-04
A5.2	EXTERIOR ELEVATIONS	2024 12-04



LOCATION PLAN



Issued: Variance / Historic Package: 2024 10-31

Zusammen Change of Use

Address: 1835 Baymiller Ave.
Cincinnati, OH 45213

Project Number: 0162

Sheet Title

COVER SHEET

A0.0



1. LOOKING NORTH WEST ACROSS BAYMILLER



2. LOOKING SOUTH WEST, SHOWING BAYMILLER ST AND YORK ST FOR CONTEXT



3. LOOKING SOUTH WEST FROM KINGS ARMS COFFEE (CADDYCORNER)



4. LOOKING SOUTH WEST FROM INTERSECTION OF BAYMILLER ST AND YORK ST

1 **CONTEXT PHOTOS**
A0.1 SCALE: NTS



Issued: Variance / Historic Package: 2024 10-31

Zusammen Change of Use

Address: 1835 Baymiller Ave.
 Cincinnati, OH 45213

Project Number: 0162

Sheet Title

PHOTOGRAPHS

A0.1

© 2024. This drawing, printed or otherwise, is the copyrighted property of Tangent Architectural Group.



1 SOUTH ELEVATION (SIDE)
A0.2 SCALE: NTS



2 EAST ELEVATION (FRONT)
A0.2 SCALE: NTS



3 NORTH ELEVATION (SIDE)
A0.2 SCALE: NTS



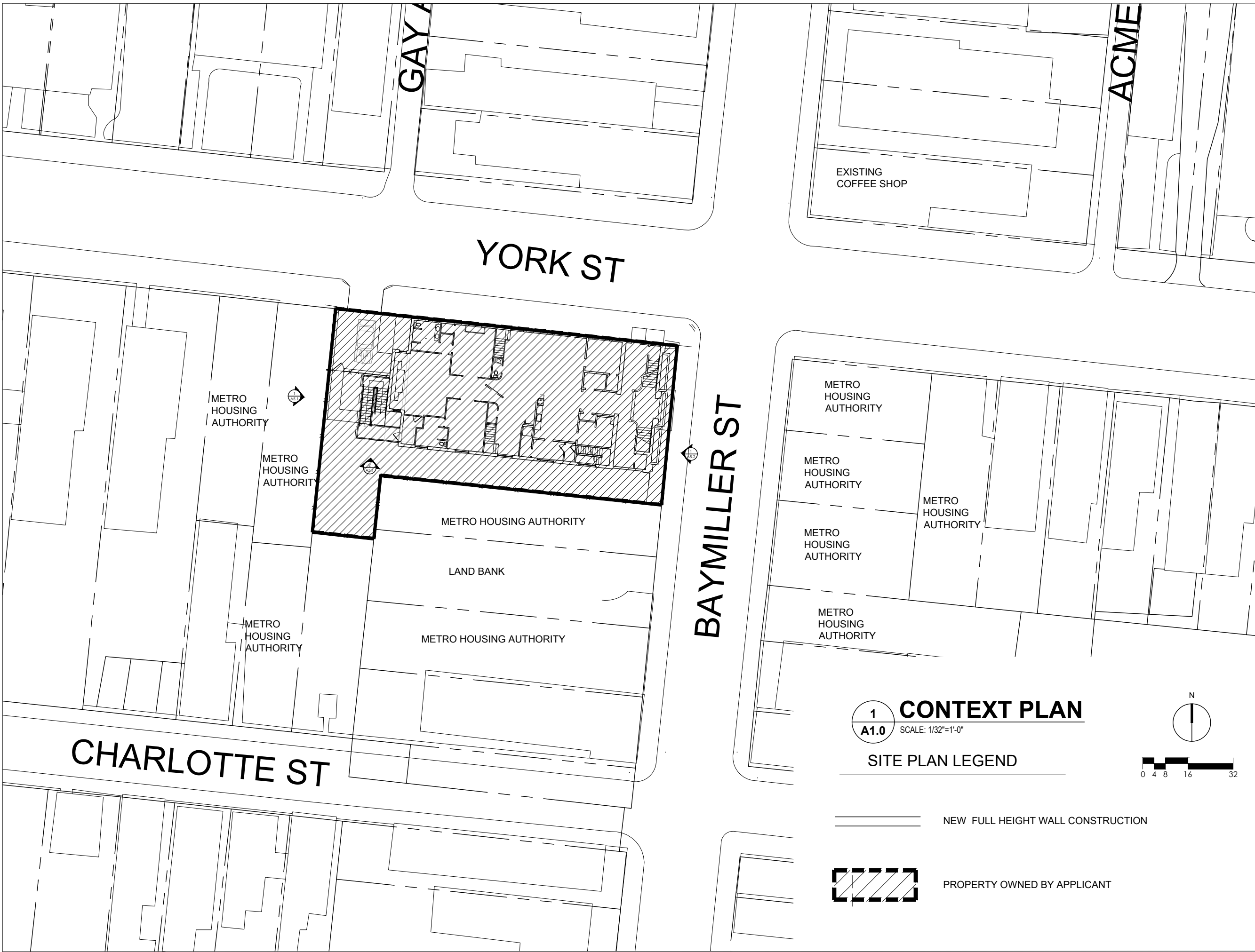
4 WEST ELEVATION (REAR)
A0.2 SCALE: NTS



Issued:
Variance / Historic Package: 2024 10-31

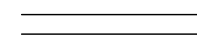
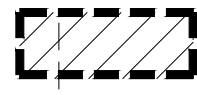
Zusammen Change of Use
Address: 1835 Baymiller Ave.
Cincinnati, OH 45213
Project Number: 0162

Sheet Title
PHOTOGRAPHS



1 **CONTEXT PLAN**
A1.0 SCALE: 1/32"=1'-0"

SITE PLAN LEGEND

-  NEW FULL HEIGHT WALL CONSTRUCTION
-  PROPERTY OWNED BY APPLICANT



Issued:
 Variance / Historic Package: 2024 10-31

Zusammen Change of Use
 Address: 1835 Baymiller Ave.
 Cincinnati, OH 45213

Project Number: 0162

Sheet Title
 CONTEXT PLAN

A1.0



OWNER TO COMBINE PARCELS, ALLOWING FOR EXTERIOR STAIR ADDITION AND CIRCULATION AROUND THE BUILDING.

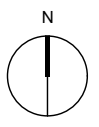
PARCELS:
 184-0003-0122-90
 184-0003-0121-00
 184-0003-0175-00



Issued:
 Variance / Historic Package: 2024 10-31

1 **EXISTING SITE PLAN - AERIAL**
 A1.1 SCALE: 1/16"=1'-0"

SITE PLAN LEGEND



SITE PROPERTY BOUNDARIES

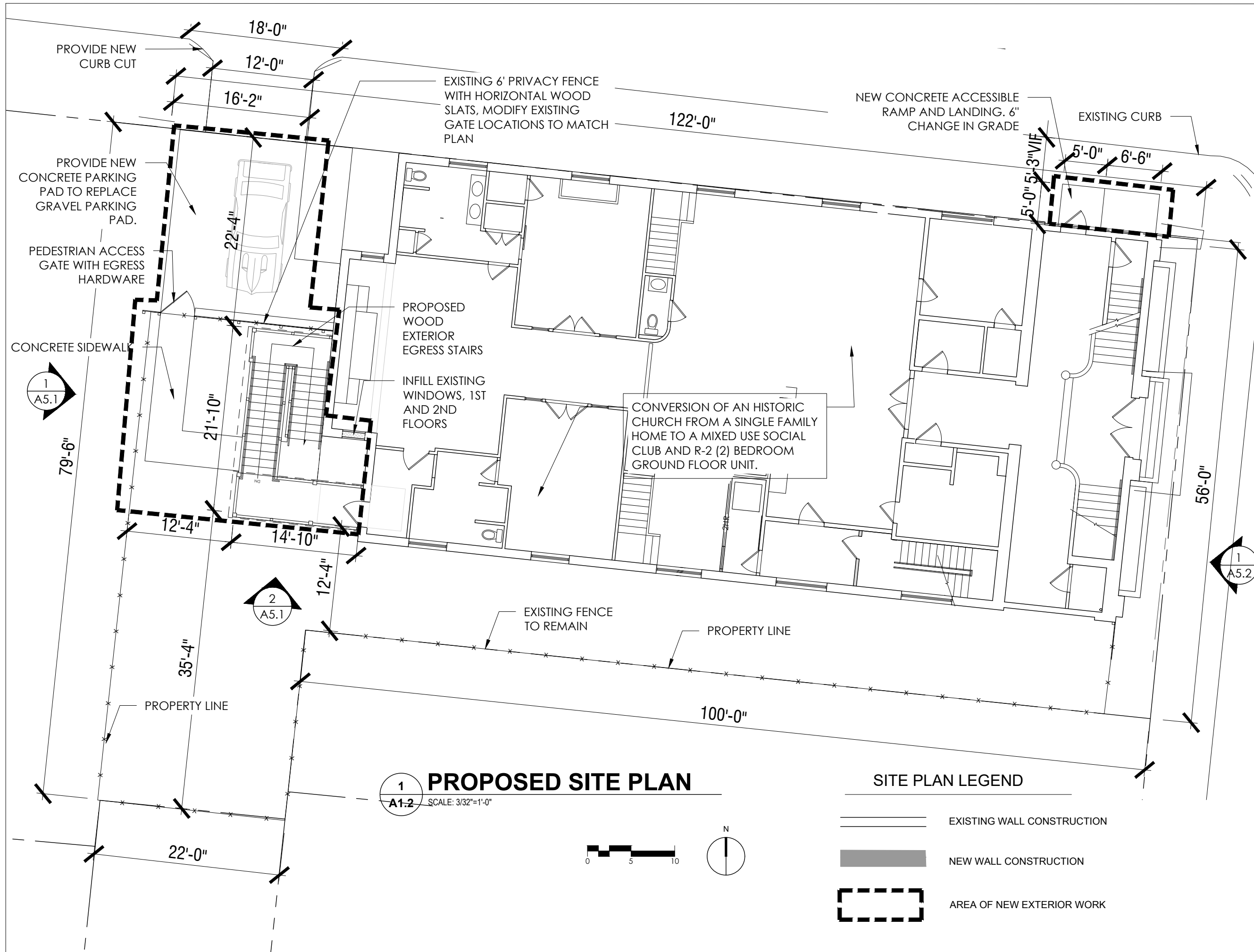
Zusammen Change of Use

Address: 1835 Baymiller Ave.
 Cincinnati, OH 45213

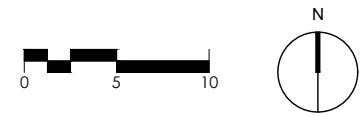
Project Number: 0162

Sheet Title: EXISTING SITE PLAN

A1.1



1 **PROPOSED SITE PLAN**
A1.2 SCALE: 3/32"=1'-0"



SITE PLAN LEGEND

	EXISTING WALL CONSTRUCTION
	NEW WALL CONSTRUCTION
	AREA OF NEW EXTERIOR WORK



Issued:
 Variance / Historic Package: 2024 10-31

Zusammen Change of Use
 Address: 1835 Baymiller Ave.
 Cincinnati, OH 45213

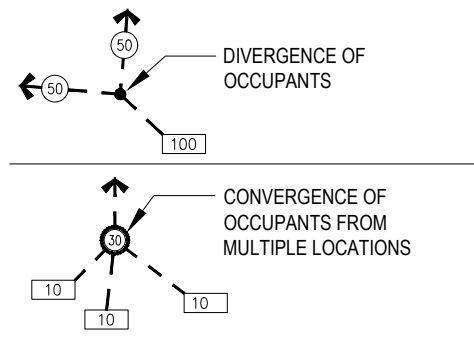
Project Number: 0162

Sheet Title
 PROPOSED SITE PLAN

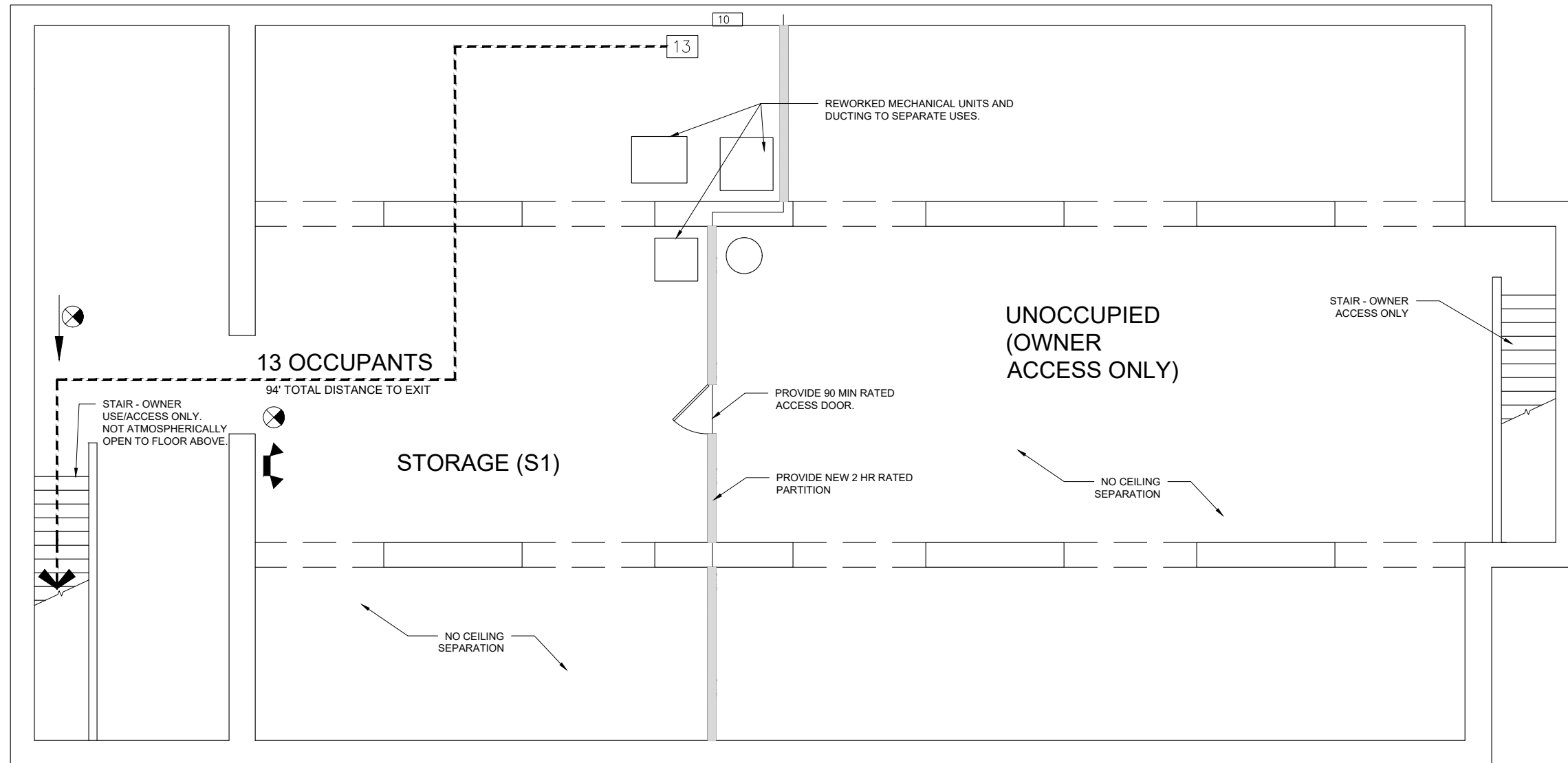
A1.2

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- X DOOR CAPACITY USED
- Y DOOR CAPACITY (CLEAR WIDTH / 0.2)
- Z OCCUPANT LOAD PER AREA
 - 13 NET @ LOWER LEVEL STORAGE
 - ZERO NET AT R-2 UTILITY SPACE
- ENTRY INTO PROTECTED "EXITWAY" AND/OR EXIT DISCHARGE POINT TO OUTSIDE THE BUILDING



- EMERGENCY LIGHT
- EXIT SIGN
-ARROW INDICATES DIRECTION OF TRAVEL
- FIRE EXTINGUISHER



Issued: Variance / Historic Package: 2024 10-31

Zusammen Change of Use

Address: 1835 Baymiller Ave.
Cincinnati, OH 45213

Project Number: 0162

Sheet Title: EGRESS PLAN BASEMENT

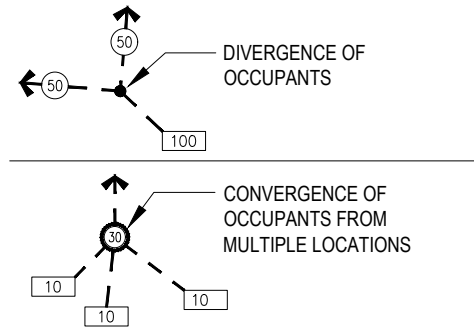
A3.0

1 BASEMENT PLAN
SCALE: 1/8"=1'-0"

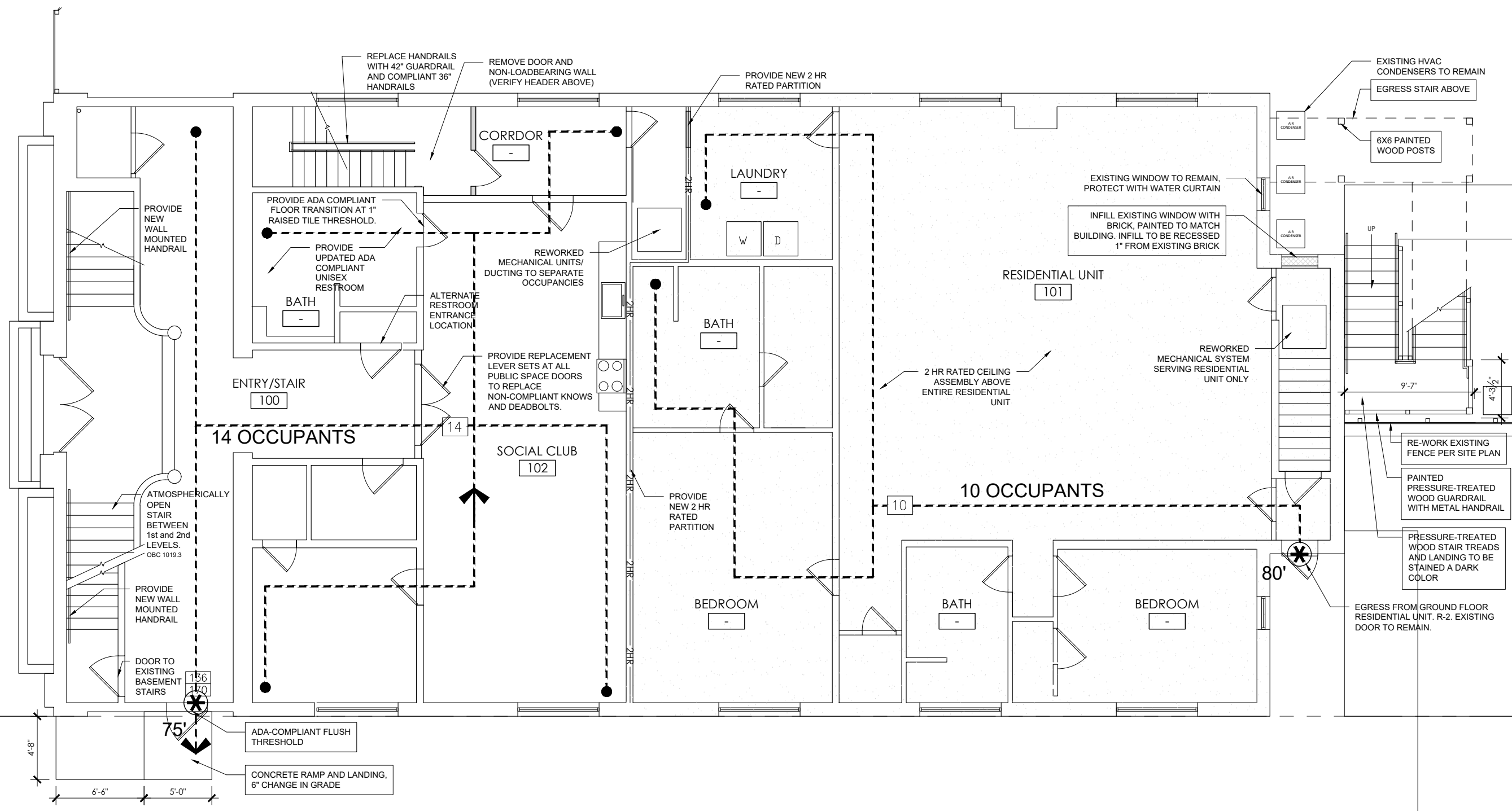


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- X DOOR CAPACITY USED
- Y DOOR CAPACITY (CLEAR WIDTH / 0.2)
- Z OCCUPANT LOAD PER AREA
 - 14 NET @ SOCIAL CLUB
 - 10 GROSS @ RESIDENTIAL UNIT
- * ENTRY INTO PROTECTED "EXITWAY" AND/OR EXIT DISCHARGE POINT TO OUTSIDE THE BUILDING



- EMERGENCY LIGHT
- EXIT SIGN
-ARROW INDICATES DIRECTION OF TRAVEL
- FIRE EXTINGUISHER



ISSUED:

Variance / Historic Package: 2024 10-31

Zusammen Change of Use

Address: 1835 Baymiller Ave.
Cincinnati, OH 45213

Project Number: 0162

Sheet Title: EGRESS PLAN FIRST FLOOR

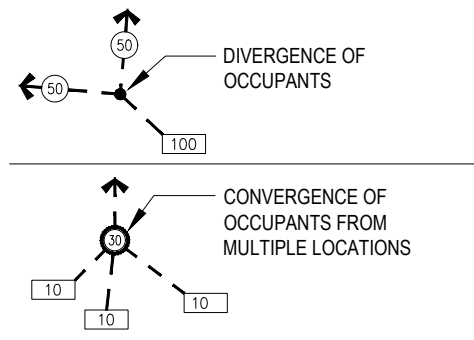
1 FIRST FLOOR PLAN
A3.1 SCALE: 1/8"=1'-0"



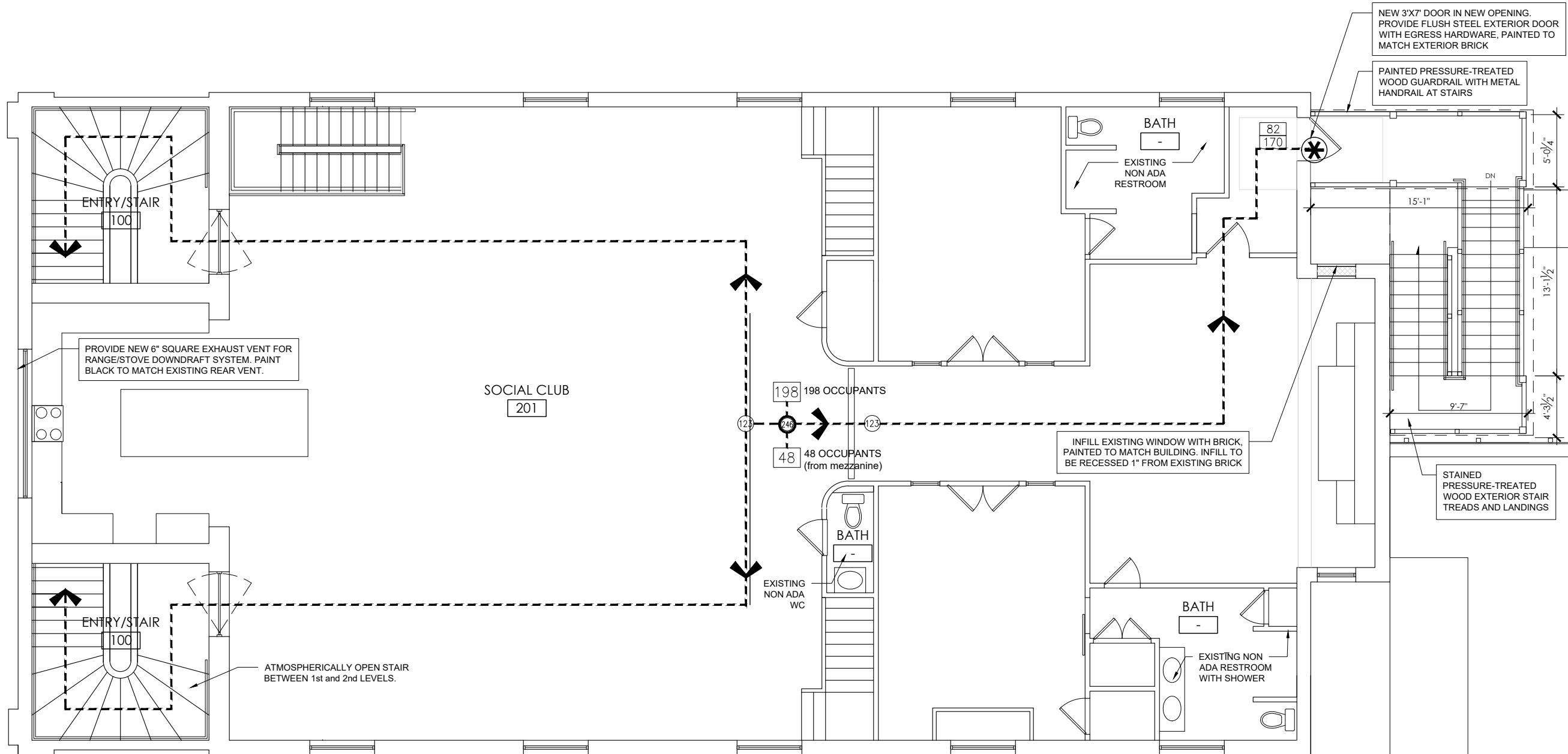
A3.1

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- X DOOR CAPACITY USED
- Y DOOR CAPACITY (CLEAR WIDTH / 0.2)
- Z OCCUPANT LOAD PER AREA
 - 198 GROSS @ SOCIAL CLUB
 - 48 GROSS @ MEZZANINE
- * ENTRY INTO PROTECTED "EXITWAY" AND/OR EXIT DISCHARGE POINT TO OUTSIDE THE BUILDING



- EMERGENCY LIGHT
- EXIT SIGN
-ARROW INDICATES DIRECTION OF TRAVEL
- FIRE EXTINGUISHER



Issued: _____

Variance / Historic Package: 2024 10-31

Zusammen Change of Use

Address: 1835 Baymiller Ave.
Cincinnati, OH 45213

Project Number: 0162

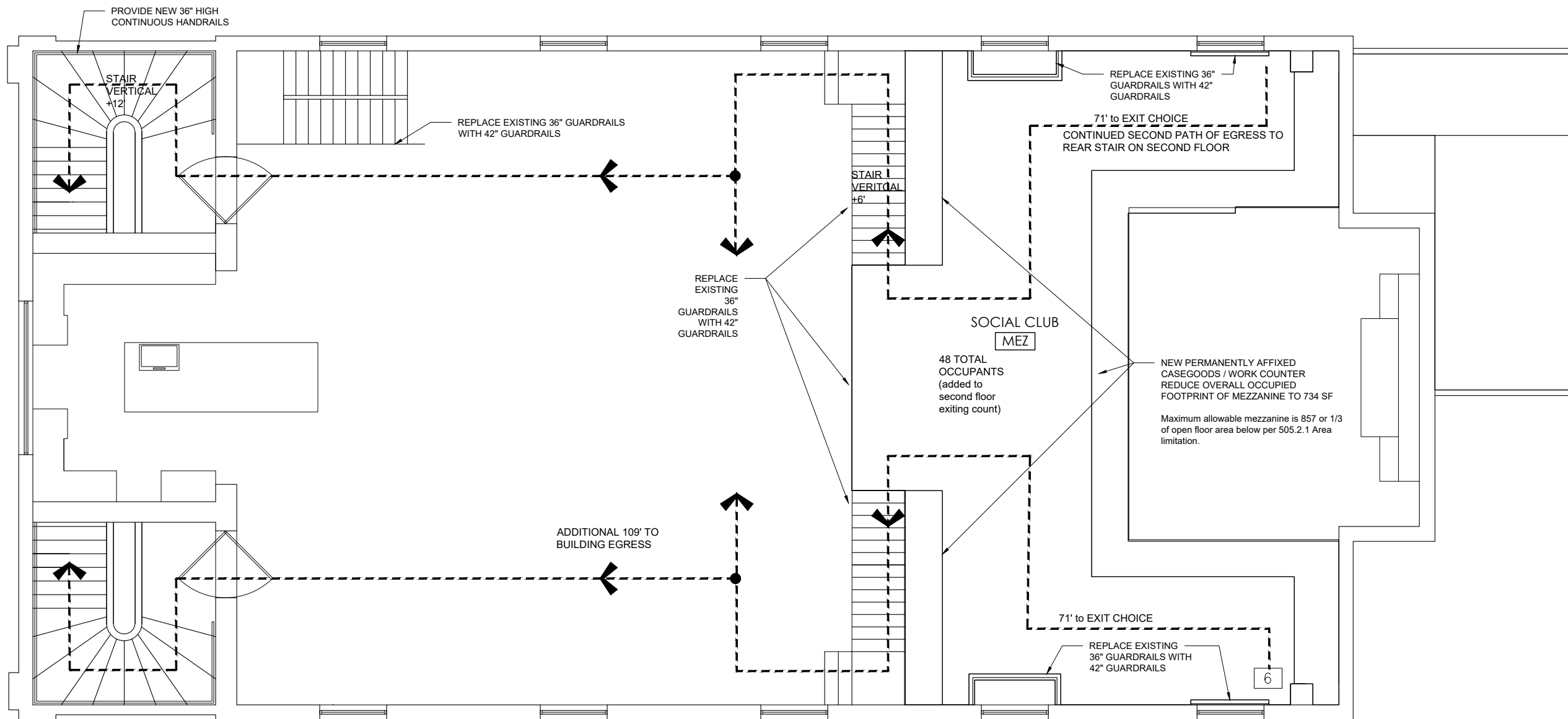
Sheet Title: EGRESS PLAN SECOND FLOOR

1 SECOND FLOOR PLAN
A3.2 SCALE: 1/8"=1'-0"



A3.2

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1 MEZZANINE FLOOR PLAN
A3.3 SCALE: 1/8"=1'-0"



ISSUED:
 Variance / Historic Package: 2024 10-31

Zusammen Change of Use

Address: **1835 Baymiller Ave.**
Cincinnati, OH 45213

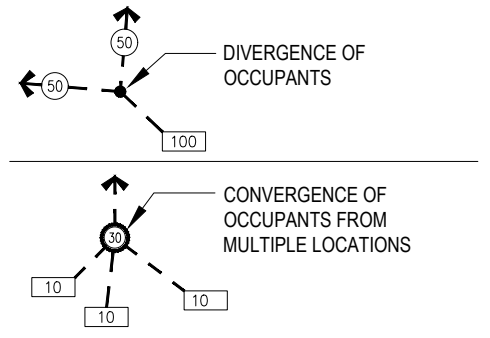
Project Number: **0162**

Sheet Title:
EGRESS PLAN MEZZANINE

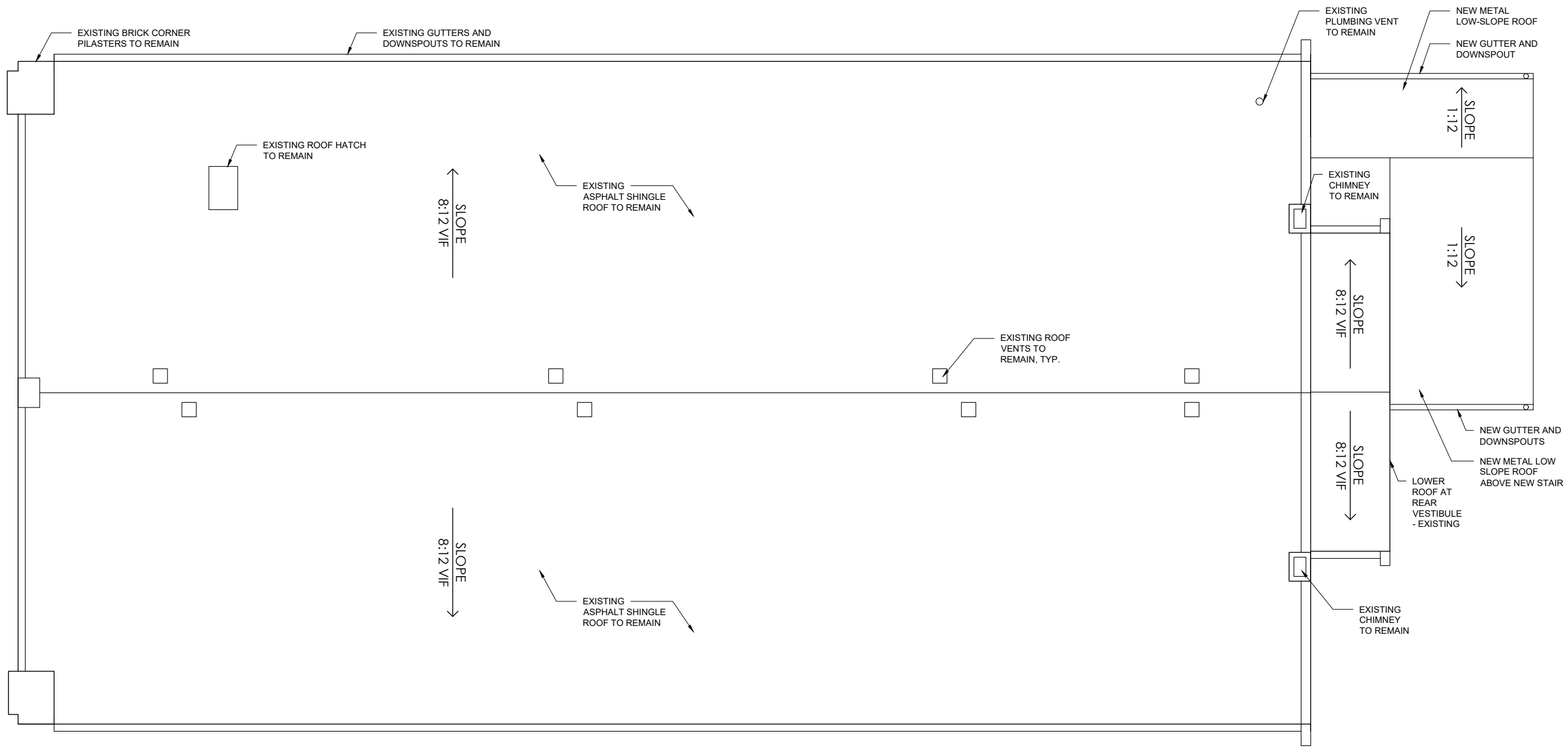
A3.3

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- X DOOR CAPACITY USED
- Y DOOR CAPACITY (CLEAR WIDTH / 0.15)
- Z OCCUPANT LOAD PER AREA
 - 15 NET @ DINING
 - 200 GROSS @ KITCHEN
 - 300 GROSS @ ACCESSORY STORAGE
- * ENTRY INTO PROTECTED "EXITWAY" AND/OR EXIT DISCHARGE POINT TO OUTSIDE THE BUILDING



- EMERGENCY LIGHT
- EXIT SIGN
-ARROW INDICATES DIRECTION OF TRAVEL
- FIRE EXTINGUISHER



Issued:

 Variance / Historic Package: 2024 10-31

 Variance / Historic Update: 2024 12-04

Zusammen Change of Use

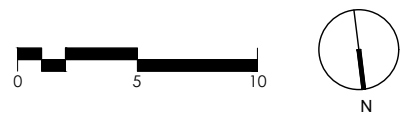
Address: 1835 Baymiller Ave.
Cincinnati, OH 45213

Project Number: 0162

Sheet Title: ROOF PLAN

A3.4

1 ROOF PLAN
A3.4 SCALE: 1/8"=1'-0"



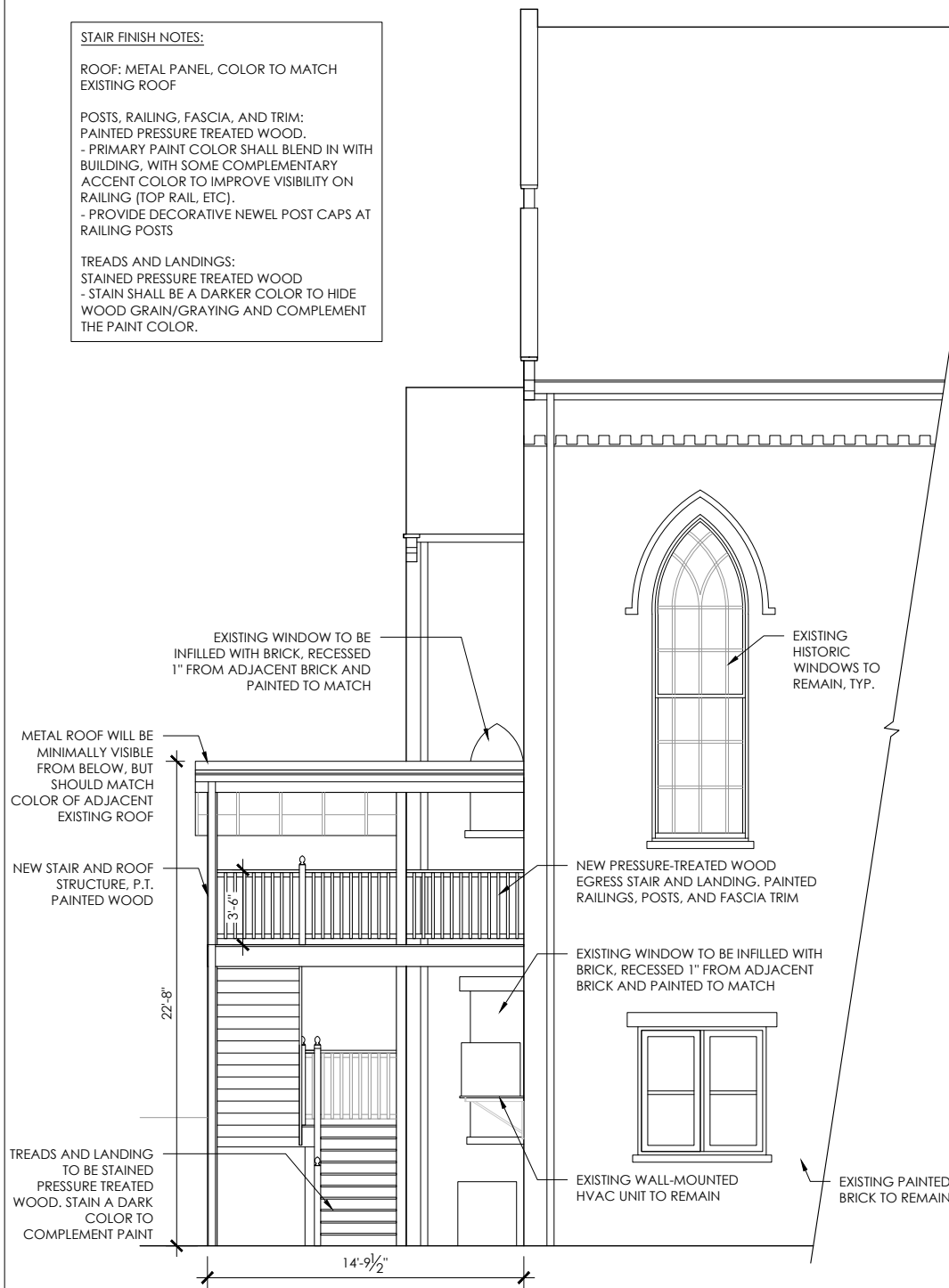
© 2024. This drawing, printed or otherwise, is the copyrighted property of Tangent Architectural Group.

STAIR FINISH NOTES:

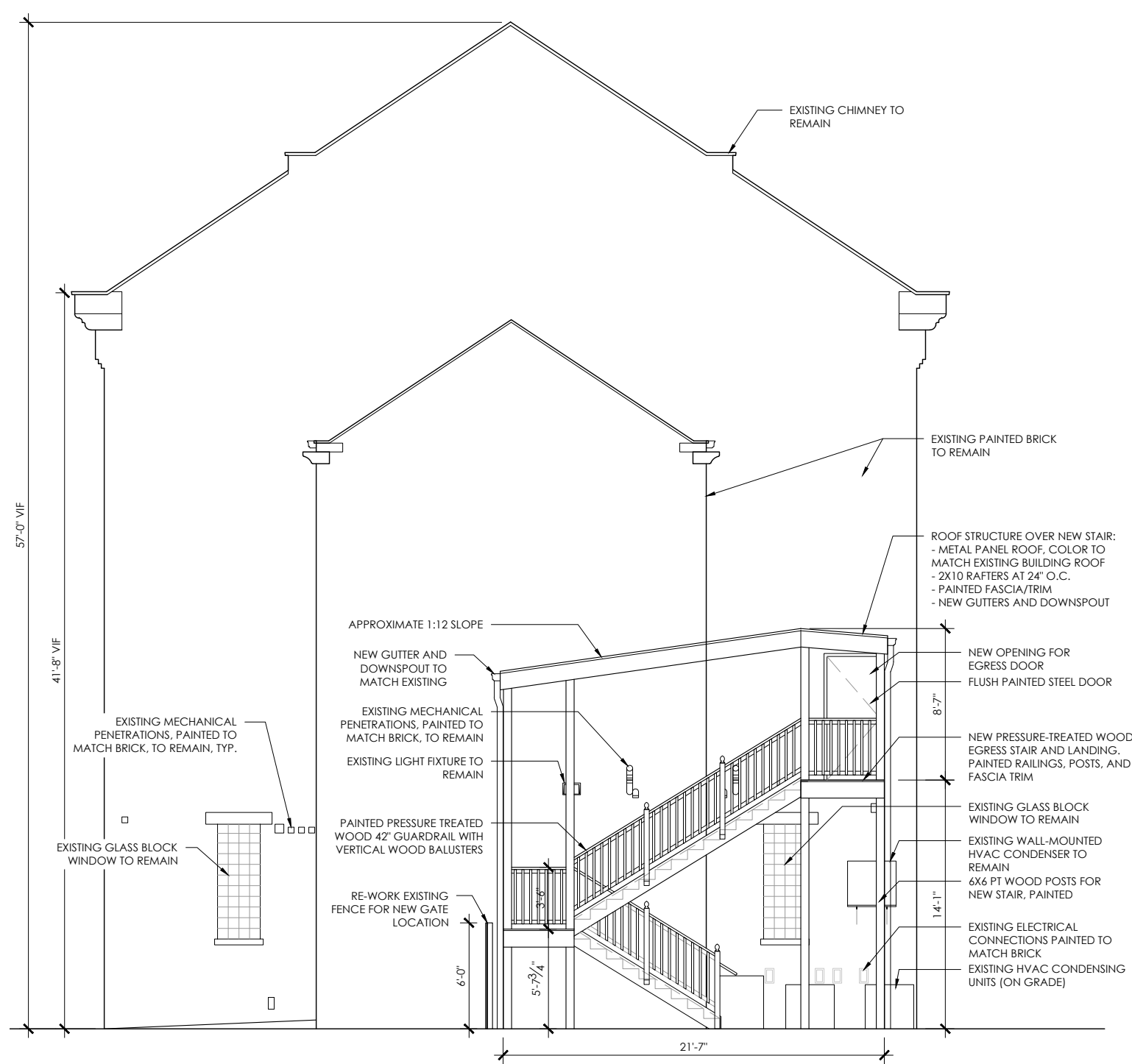
ROOF: METAL PANEL, COLOR TO MATCH EXISTING ROOF

POSTS, RAILING, FASCIA, AND TRIM: PAINTED PRESSURE TREATED WOOD.
 - PRIMARY PAINT COLOR SHALL BLEND IN WITH BUILDING, WITH SOME COMPLEMENTARY ACCENT COLOR TO IMPROVE VISIBILITY ON RAILING (TOP RAIL, ETC).
 - PROVIDE DECORATIVE NEWEL POST CAPS AT RAILING POSTS

TREADS AND LANDINGS: STAINED PRESSURE TREATED WOOD
 - STAIN SHALL BE A DARKER COLOR TO HIDE WOOD GRAIN/GRAYING AND COMPLEMENT THE PAINT COLOR.



2 SOUTH NEW WORK ELEVATION
 A5.1 SCALE: 1/8"=1'-0"



1 WEST NEW WORK ELEVATION
 A5.1 SCALE: 1/8"=1'-0"



Issued:
 Variance / Historic Package: 2024 10-31
 Variance / Historic Update: 2024 12-04

Zusammen Change of Use

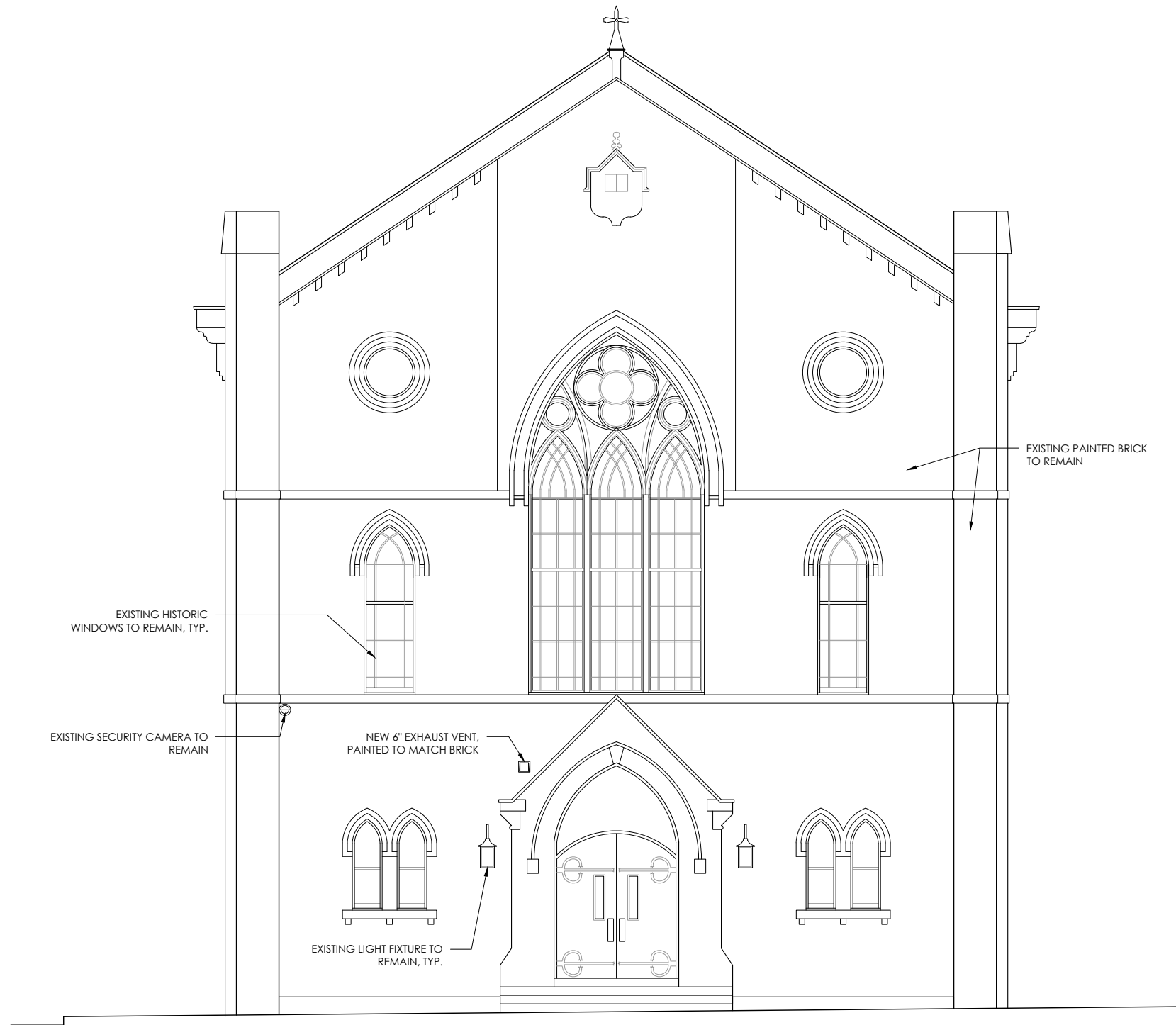
Address: 1835 Baymiller Ave.
 Cincinnati, OH 45213

Project Number: 0162

Sheet Title: EXTERIOR ELEVATION

A5.1

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2 **EXISTING FENCE**
A5.2 SCALE: NTS

1 **EAST NEW WORK ELEVATION**
A5.2 SCALE: 1/8"=1'-0"



Issued:
 Variance / Historic Package: 2024 10-31
 Variance / Historic Update: 2024 12-04

Zusammen Change of Use
 Address: 1835 Baymiller Ave.
 Cincinnati, OH 45213
 Project Number: 0162

Sheet Title
 EXTERIOR ELEVATION
A5.2

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Jessica E. Miranda, Hamilton County Auditor

generated on 9/24/2024 2:49:54 PM EDT

Property Report

Parcel ID 184-0003-0122-90	Address 1835 BAYMILLER ST	Index Order Parcel Number	Tax Year 2023 Payable 2024
--------------------------------------	-------------------------------------	-------------------------------------	--------------------------------------

Property Information

Tax District 001 - CINTI CORP-CINTI CSD	School District CINCINNATI CSD	Images/Sketches 	
Appraisal Area 02300 - WEST END Sales	Auditor Land Use 520 - TWO FAMILY DWLG		
Owner Name and Address 1835 BAYMILLER LLC 3643 BELLECREST AVE CINCINNATI OH 45208 (Questions? 946-4015 or county.auditor@auditor.hamilton-co.org)	Tax Bill Mail Address 1835 BAYMILLER LLC 3643 BELLECREST AVE CINCINNATI OH 45208 (Questions? 946-4800 or treasurer.taxbills@hamilton-co.org)		
Assessed Value 359,990	Effective Tax Rate 69.301606	Total Tax \$22,832.38	
Property Description SWC BAYMILLER & YORK STS 50 X 100 AVERY & KIRBY SUB			

Appraisal/Sales Summary	
Year Built	1900
Total Rooms	13
# Bedrooms	5
# Full Bathrooms	5
# Half Bathrooms	1
Last Transfer Date	10/4/2023
Last Sale Amount	\$1,400,000
Conveyance Number	341383
Deed Type	WD - Warranty Deed (Conv)
Deed Number	
# of Parcels Sold	3
Acreage	0.117

Tax/Credit/Value Summary	
Board of Revision	No
Rental Registration	No
Homestead	No
Owner Occupancy Credit	No
Foreclosure	No
Special Assessments	Yes
Market Land Value	133,610
CAUV Value	0
Market Improvement Value	1,169,950
Market Total Value	1,303,560
TIF Value	993,560
Abated Value	275,000
Exempt Value	0
Taxes Paid	\$22,832.38

Notes

** 10/2023 - 10YR CRA Abatement - Max up to \$275,000 - Term TY2023 thru 2032, back to taxable 2033 payable 2034

Structure List

Structure Name	Finished Sq. Ft.	Year Built
1835 Baymiller St	8,822	1900

Residential Appraisal Data

Attribute	Value	Attribute	Value
Style	Conventional	Stories	3.0
Exterior Wall Type	Brick	Year Built	1900
Basement Type	Full Basement	Finished Square Footage	8,822
Heating	Base	First Floor Area (sq. ft.)	4,114
Air Conditioning	Central	Upper Floor Area (sq. ft.)	4,708
Total Rooms	13	Half Floor Area (sq. ft.)	0
# of Bedrooms	5	Finished Basement (sq. ft.)	0
# of Full Bathrooms	5		
# of Half Bathrooms	1		
# of Fireplaces	0		
Basement Garage - Car Capacity	0.0		

Proposed Levies

Levy	Levy Type	Mills	Current Annual Tax	Estimated Annual Tax	Note
Hamilton County - Family Services & Treatment	Renew .34	0.34	\$98.59	\$98.59	B
Hamilton County-Developmental Disabilities Services	Renew 4.13	4.13	\$1,144.95	\$1,144.95	B

No Passed Levies Found

This is an estimated levy payment based on the current value of your property. Actual tax amounts per tax year may vary based on changes in property valuation and based on whether a parcel receives any abatement, credit, or reduction during the levy period.

Effective for the tax year 2005, Ohio's biennial budget bill, Amended Substitute House Bill 66, signed by the Governor on June 30, 2005, terminates the 10 percent real property tax rollback for the commercial and industrial classes of property, and agricultural property used for the commercial production of timber.

Effective for the tax year 2013, Ohio's biennial budget bill, House Bill 59, signed by the Governor on June 30, 2013, terminates the 10 percent real property tax rollback and the 2.5 percent homestead credit on all additional or replacement levies passed at the November 5, 2013 election or after. As a result of this legislation, those same levies will not qualify for the stadium tax credit.

Existing and renewal levies, as well as levies passed at the May 7, 2013 and August 6, 2013 elections will qualify for the credits. Residential and most agricultural properties with qualifying levies will receive what is now the Non-Business Credit Rollback Factor. Owner occupied residential dwellings with qualifying levies will receive what is now the Owner Occupancy Credit Rollback Factor, as well as the stadium tax credit.

Transfer History

Year	Conveyance #	Selling Price	Transfer Date	Previous Owner	Current Owner
2023	341383	1,400,000	10/4/2023	ACEVEDO-SANTIAGO ABDIEL L ACEVEDO-SANTIAGO ABDIEL L ACEVEDO SANTIAGO ABDIEL L ACEVEDO-SANTIAGO ABDIEL L SANTIAGO ABDIEL L ACEVEDO	1835 BAYMILLER LLC
2021	274368	200,000	7/27/2021	NICHOLAS HOLDINGS LLC	ACEVEDO SANTIAGO ABDIEL L
2017	137122	35,000	4/7/2017	ALLEGHENY WEST CONFERENCE	NICHOLAS HOLDINGS LLC
1970	0	0	1/1/1970	SEE OWNERSHIP CARD	ALLEGHENY WEST CONFERENCE

Value History

Tax Year	Assessed Date	Land	Improvements	Total	CAUV	Reason for Change
2023	10/11/2023	133,610	1,169,950	1,303,560	0	50 Changes to/from Exempt Property
2023	10/11/2023	133,610	1,169,950	1,303,560	0	70 All ReClassified Real Property
2022	11/9/2022	20,630	23,130	43,760	0	50 Changes to/from Exempt Property
2020	8/22/2020	20,630	23,130	43,760	0	120 Reappraisal, Update or Annual Equalization
2018	10/15/2018	16,500	18,500	35,000	0	50 Changes to/from Exempt Property
2017	11/15/2017	16,500	18,500	35,000	0	120 Reappraisal, Update or Annual Equalization
2014	9/20/2014	17,200	218,730	235,930	0	120 Reappraisal, Update or Annual Equalization
2011	9/5/2011	17,200	218,730	235,930	0	120 Reappraisal, Update or Annual Equalization
2008	9/28/2008	15,800	193,300	209,100	0	120 Reappraisal, Update or Annual Equalization
2005	9/20/2005	15,800	193,300	209,100	0	120 Reappraisal, Update or Annual Equalization
1999	11/6/1999	12,500	72,900	85,400	0	120 Reappraisal, Update or Annual Equalization
1996	1/1/1996	10,000	65,200	75,200	0	110 Miscellaneous

Board of Revision Case History

Case Number	Date Filed	Withdrawn	**Counter Complaint Filed	*Hearing Date/Time	Value Challenged	Value Requested	Value Decided by BOR	***Date Resolved
-------------	------------	-----------	---------------------------	--------------------	------------------	-----------------	----------------------	------------------

*Once your hearing has been scheduled, you will receive a **Notice of Hearing** by certified mail, and the Scheduled Hearing Date and Time will be populated on this page.

**A counter-complaint may be filed by a party with interest in the value of your property, such as the Board of Education, if you request a decrease of \$50,000 or more in market value.

***Please allow four to six weeks to receive your **Notice of Result** by certified mail and to see your result on this page. Your Notice will contain basic facts about appealing your Board of Revision decision, should you wish to do so.

Payment Information

JILL A. SCHILLER, TREASURER

Tax Overview

Mail Payments to:	Hamilton County Treasurer 138 E. Court Street, Room 402 Cincinnati, Ohio 45202	Tax Lien Pending	No
Tax District:	001 - CINTI CORP-CINTI CSD	Tax Lien Sold	No
Current Owner(s)	1835 BAYMILLER LLC	Full Rate	106.660000
Tax Bill Mail Address	1835 BAYMILLER LLC 3643 BELLECREST AVE CINCINNATI OH 45208	Effective Rate	69.301606
		Non Business Credit	0.086712
		Owner Occupancy Credit	0.021678
		Certified Delinquent Year	
		Delinquent Payment Plan	No
		TOP (Treasurer Optional Payment)	\$0.00
		Note: May represent multiple parcels	
Taxable Value			
Land	46,760		
Improvements	313,230		
Total	359,990		

Current Year Tax Detail

	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Real Estate			\$19,198.26		\$19,198.26	
Credit			\$6,724.32		\$6,724.32	
Subtotal			\$12,473.94		\$12,473.94	
Non Business Credit			\$1,081.64		\$1,081.64	
Owner Occupancy Credit			\$0.00		\$0.00	
Homestead			\$0.00		\$0.00	
Sales CR			\$0.00		\$0.00	
Subtotal	\$0.00	\$0.00	\$11,392.30	\$0.00	\$11,392.30	\$0.00
Interest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Real Estate Paid	\$0.00		\$11,392.30		\$11,392.30	
Real Estate Owed	\$0.00		\$0.00		\$0.00	
Special Assess Paid	\$0.00		\$47.78		\$0.00	
Special Assess Owed	\$0.00		\$0.00		\$0.00	
Total Due	\$0.00		\$11,440.08		\$11,392.30	
Total Paid	\$0.00		\$11,440.08		\$11,392.30	
Unpaid Delq Contract	\$0.00		\$0.00		\$0.00	
Total Owed	\$0.00		\$0.00		\$0.00	

Special Assessment Detail for 55-060 CINCINNATI - Urban Forestry

	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Charge	\$0.00	\$0.00	\$47.78	\$0.00	\$0.00	\$0.00
Interest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Paid	\$0.00		\$47.78		\$0.00	
Owed	\$0.00		\$0.00		\$0.00	

Special Assessment Detail for 34-999 #34-999 URBAN FORESTRY CITY

	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Charge	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Interest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Paid	\$0.00		\$0.00		\$0.00	
Owed	\$0.00		\$0.00		\$0.00	

Payment Information for Current And Prior Year

Date	Half	Prior	1st Half	2nd Half	Surplus
6/8/2024	2 - 2023	\$0.00	\$0.00	\$11,392.30	\$0.00
2/5/2024	1 - 2023	\$0.00	\$11,440.08	\$0.00	\$0.00
6/5/2023	2 - 2022	\$0.00	\$0.00	\$693.73	\$0.00
1/20/2023	1 - 2022	\$0.00	\$741.70	\$0.00	\$0.00
8/3/2022	1 - 2022	\$0.00	\$0.00	\$749.84	\$0.00
1/16/2022	1 - 2021	\$0.00	\$714.17	\$0.00	\$0.00
6/11/2021	2 - 2020	\$0.00	\$0.00	\$682.43	\$0.00
2/3/2021	1 - 2020	\$0.00	\$714.93	\$0.00	\$0.00
7/10/2020	2 - 2019	\$0.00	\$0.00	\$591.34	\$0.00
1/30/2020	1 - 2019	\$0.00	\$602.16	\$0.00	\$0.00
6/20/2019	2 - 2018	\$0.00	\$0.00	\$591.64	\$0.00
1/23/2019	1 - 2018	\$0.00	\$602.46	\$0.00	\$0.00

Information believed accurate but not guaranteed. Treasurer disclaims liability for any errors or omissions

Contact the County Treasurer with your tax bill questions at county.treasurer@hamilton-co.org or 513-946-4800

Current Year
 2023 Payable 2024
 Prior Year
 2022 Payable 2023

Tax Distribution Information

Market Value		Assessed Value (35%)		Tax Rate Information	
Land	133,610	Land	46,760	Full Tax Rate (mills)	106.660000
Building	894,950	Building	313,230	Reduction Factor	0.350257
Total	1,028,560	Total	359,990	Effective Tax Rate (mills)	69.301606
				Non Business Credit	0.086712
				Owner Occupancy Credit	0.021678

Tax Calculations

Half Year Tax Distributions

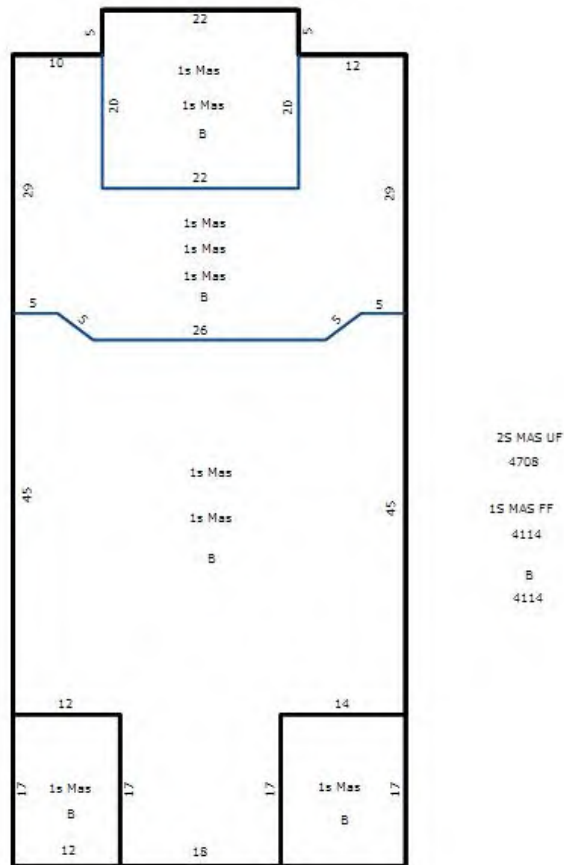
Gross Real Estate Tax	\$38,396.52	School District	\$234.55
- Reduction Amount	\$13,448.64	Township	\$0.00
- Non Business Credit	\$2,163.28	City/Village	\$11,079.61
- Owner Occupancy Credit	\$0.00	Joint Vocational School	\$0.00
- Homestead	\$0.00	County General Fund	\$12.45
Half Year Real Taxes	\$11,392.30	Public Library	\$7.57
- Sales Tax Credit	\$0.00	Family Service/Treatment	\$1.19
+ Current Assessment	\$47.78	HLTH/Hospital Care-Indigent	\$5.98
+ Delinquent Assessment	\$0.00	Mental Health Levy	\$7.52
+ Delinquent Real Estate	\$0.00	Developmental Disabilities	\$13.84
Semi Annual Net	\$11,440.08	Park District	\$8.44
		Crime Information Center	\$0.59
		Children Services	\$14.61
		Senior Services	\$4.71
		Zoological Park	\$1.24

This shows the most recent tax bill calculation which normally occurs in early December and May. However, adjustments or corrections may have been applied to the tax bill after the initial tax calculation. Go to the Payment Detail tab to view any corrections or adjustments occurring after the initial tax calculation.

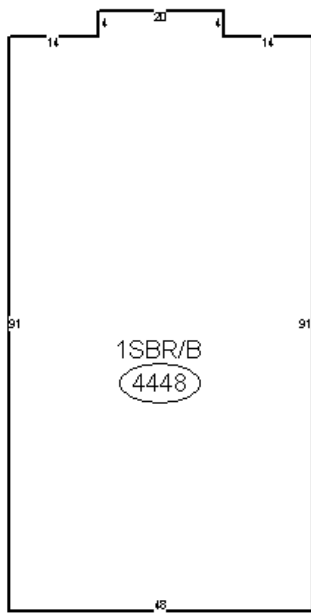
Parcel Photo



Current Parcel Sketch



Legacy Parcel Sketch



Special Assessments

Project	Ord/Res	Description	Certified	End Year	Payoff Amount
34-999		# 34-999 URBAN FORESTRY CITY		2019	\$0.00
55-060		CINCINNATI - Urban Forestry	8/20/2019	2099	\$0.00


Related Names

Name	Relationship	Status
1835 BAYMILLER LLC	Parcel Owner	Current

Property Report

Parcel ID 184-0003-0121-00	Address 909 YORK ST	Index Order Parcel Number	Tax Year 2023 Payable 2024
--------------------------------------	-------------------------------	-------------------------------------	--------------------------------------

Property Information

Tax District 001 - CINTI CORP-CINTI CSD	School District CINCINNATI CSD	Images/Sketches 	
Appraisal Area 02300 - WEST END <u>Sales</u>	Auditor Land Use 625 - LAND BANK OWNED	Owner Name and Address 1835 BAYMILLER LLC 3643 BELLECREST AVE CINCINNATI OH 45208 (Questions? 946-4015 or county.auditor@auditor.hamilton-co.org)	Tax Bill Mail Address 1835 BAYMILLER LLC 3643 BELLECREST AVE CINCINNATI OH 45208 (Questions? 946-4800 or treasurer.taxbills@hamilton-co.org)
Assessed Value 0	Effective Tax Rate 0.000000	Total Tax \$7.06	
Property Description 909 YORK ST 22 X 80 IRR AVERY & KIRBYS SUB SQ 1 SS YORK 100 FT W OF BAYMILLER			

Year Built	
Total Rooms	
# Bedrooms	
# Full Bathrooms	
# Half Bathrooms	
Last Transfer Date	10/4/2023
Last Sale Amount	\$1,400,000
Conveyance Number	341383
Deed Type	WD - Warranty Deed (Conv)
Deed Number	
# of Parcels Sold	3
Acreage	0.000

Board of Revision	No
Rental Registration	No
Homestead	No
Owner Occupancy Credit	No
Foreclosure	No
Special Assessments	Yes
Market Land Value	15,690
CAUV Value	0
Market Improvement Value	0
Market Total Value	15,690
TIF Value	0
Abated Value	0
Exempt Value	15,690
Taxes Paid	\$7.06

Notes

Structure List

Structure Name	Use Code	Finished Sq. Ft.	Year Built
----------------	----------	------------------	------------

Proposed Levies

Levy	Levy Type	Mills	Current Annual Tax	Estimated Annual Tax	Note
Hamilton County - Family Services & Treatment	Renew .34	0.34			B
Hamilton County-Developmental Disabilities Services	Renew 4.13	4.13			B

No Passed Levies Found

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Transfer History

Year	Conveyance #	Selling Price	Transfer Date	Previous Owner	Current Owner
2023	341383	1,400,000	10/4/2023	ACEVEDO-SANTIAGO ABDIEL L ACEVEDO-SANTIAGO ABDIEL L ACEVEDO SANTIAGO ABDIEL L ACEVEDO-SANTIAGO ABDIEL L SANTIAGO ABDIEL L ACEVEDO	1835 BAYMILLER LLC
2023	332733	0	6/9/2023	HAMILTON COUNTY LAND REUTILIZATION CORPORATION	ACEVEDO-SANTIAGO ABDIEL L
2019	220132	0	11/14/2019	COMMUNITY REVITALIZATION AGENCY COMMUNITY REVITALIZATION AGENCY	HAMILTON COUNTY LAND REUTILIZATION
2011		0	12/28/2011	CINCINNATI METROPOLITAN HOUSING AUTHORITY	COMMUNITY REVITALIZATION AGENCY
2003	0	0	1/7/2003	ALLEGHENY WEST CONFERENC	CINCINNATI METROPOLITAN
1978	0	0	8/28/1978	SEE OWNERSHIP CARD	ALLEGHENY WEST CONFERENC

Value History

Tax Year	Assessed Date	Land	Improvements	Total	CAUV	Reason for Change
2023	7/29/2023	15,690	0	15,690	0	120 Reappraisal, Update or Annual Equalization
2020	10/26/2020	7,760	0	7,760	0	120 Reappraisal, Update or Annual Equalization
2020	1/2/2020	7,760	0	7,760	0	50 Changes to/from Exempt Property
2019	1/2/2020	2,000	0	2,000	0	50 Changes to/from Exempt Property
2017	11/15/2017	2,000	0	2,000	0	120 Reappraisal, Update or Annual Equalization
2014	9/20/2014	1,920	0	1,920	0	120 Reappraisal, Update or Annual Equalization
2012	5/2/2012	2,000	0	2,000	0	50 Changes to/from Exempt Property
2011	9/5/2011	2,000	0	2,000	0	120 Reappraisal, Update or Annual Equalization
2008	9/28/2008	2,000	0	2,000	0	120 Reappraisal, Update or Annual Equalization
2005	1/11/2006	2,000	0	2,000	0	50 Changes to/from Exempt Property
2005	9/20/2005	2,000	0	2,000	0	120 Reappraisal, Update or Annual Equalization
2004	3/1/2004	4,400	0	4,400	0	50 Changes to/from Exempt Property
2004	9/5/2003	4,400	0	4,400	0	110 Miscellaneous
2004	9/5/2003	0	0	0	0	110 Miscellaneous
2003	9/5/2003	4,400	0	4,400	0	110 Miscellaneous
2003	9/5/2003	0	0	0	0	110 Miscellaneous

Board of Revision Case History

Case Number	Date Filed	Withdrawn	**Counter Complaint Filed	*Hearing Date/Time	Value Challenged	Value Requested	Value Decided by BOR	***Date Resolved
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*Once your hearing has been scheduled, you will receive a **Notice of Hearing** by certified mail, and the Scheduled Hearing Date and Time will be populated on this page.
 **A counter-complaint may be filed by a party with interest in the value of your property, such as the Board of Education, if you request a decrease of \$50,000 or more in market value.
 ***Please allow four to six weeks to receive your **Notice of Result** by certified mail and to see your result on this page. Your Notice will contain basic facts about appealing your Board of Revision decision, should you wish to do so.

Payment Information

JILL A. SCHILLER, TREASURER

Tax Overview

Mail Payments to:	Hamilton County Treasurer 138 E. Court Street, Room 402 Cincinnati, Ohio 45202	Tax Lien Pending	No
Tax District:	001 - CINTI CORP-CINTI CSD	Tax Lien Sold	No
Current Owner(s)	1835 BAYMILLER LLC	Full Rate	0.000000
Tax Bill Mail Address	1835 BAYMILLER LLC 3643 BELLECREST AVE CINCINNATI OH 45208	Effective Rate	0.000000
		Non Business Credit	0.000000
		Owner Occupancy Credit	0.000000
		Certified Delinquent Year	
		Delinquent Payment Plan	No
		TOP (Treasurer Optional Payment)	\$0.00
		Note: May represent multiple parcels	

Taxable Value

Land	0
Improvements	0
Total	0

Current Year Tax Detail

	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Real Estate			\$0.00		\$0.00	
Credit			\$0.00		\$0.00	
Subtotal			\$0.00		\$0.00	
Non Business Credit			\$0.00		\$0.00	
Owner Occupancy Credit			\$0.00		\$0.00	
Homestead			\$0.00		\$0.00	
Sales CR			\$0.00		\$0.00	
Subtotal	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Interest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Real Estate Paid	\$0.00		\$0.00		\$0.00	
Real Estate Owed	\$0.00		\$0.00		\$0.00	
Special Assess Paid	\$0.00		\$7.06		\$0.00	
Special Assess Owed	\$0.00		\$0.00		\$0.00	
Total Due	\$0.00		\$7.06		\$0.00	
Total Paid	\$0.00		\$7.06		\$0.00	
Unpaid Delq Contract	\$0.00		\$0.00		\$0.00	
Total Owed	\$0.00		\$0.00		\$0.00	

Special Assessment Detail for 55-060 CINCINNATI - Urban Forestry

	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Charge	\$0.00	\$0.00	\$7.06	\$0.00	\$0.00	\$0.00
Interest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Paid	\$0.00		\$7.06		\$0.00	
Owed	\$0.00		\$0.00		\$0.00	

Special Assessment Detail for 34-999 #34-999 URBAN FORESTRY CITY

	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
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Special Assessment Detail for 34-999 #34-999 URBAN FORESTRY CITY

Charge	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Interest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Paid	\$0.00		\$0.00		\$0.00	
Owed	\$0.00		\$0.00		\$0.00	

Special Assessment Detail for 54-044 CINCINNATI - Weed & Litter

	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Charge	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Interest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Paid	\$0.00		\$0.00		\$0.00	
Owed	\$0.00		\$0.00		\$0.00	

Special Assessment Detail for 54-356 CINCINNATI - Litter & Weed

	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Charge	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Interest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Paid	\$0.00		\$0.00		\$0.00	
Owed	\$0.00		\$0.00		\$0.00	

Special Assessment Detail for 54-441 CINCINNATI - Weed & Litter

	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Charge	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Interest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Paid	\$0.00		\$0.00		\$0.00	
Owed	\$0.00		\$0.00		\$0.00	

Special Assessment Detail for 54-544 CINCINNATI - Weed & Litter

	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Charge	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Interest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Paid	\$0.00		\$0.00		\$0.00	
Owed	\$0.00		\$0.00		\$0.00	

Special Assessment Detail for 54-673 CINCINNATI - Weed & Litter

	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Charge	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Interest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Paid	\$0.00		\$0.00		\$0.00	
Owed	\$0.00		\$0.00		\$0.00	

Special Assessment Detail for 54-974 CINCINNATI - Weed & Litter

	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Charge	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Interest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Paid	\$0.00		\$0.00		\$0.00	
Owed	\$0.00		\$0.00		\$0.00	

Payment Information for Current And Prior Year

Date	Half	Prior	1st Half	2nd Half	Surplus
2/5/2024	1 - 2023	\$0.00	\$7.06	\$0.00	\$0.00

Information believed accurate but not guaranteed. Treasurer disclaims liability for any errors or omissions

Contact the County Treasurer with your tax bill questions at county.treasurer@hamilton-co.org or 513-946-4800

Current Year
2023 Payable 2024
Prior Year
2022 Payable 2023

Tax Distribution Information

Market Value		Assessed Value (35%)		Tax Rate Information	
Land	0	Land	0	Full Tax Rate (mills)	0.000000
Building	0	Building	0	Reduction Factor	0.000000
Total	0	Total	0	Effective Tax Rate (mills)	0.000000
				Non Business Credit	0.000000
				Owner Occupancy Credit	0.000000

Tax Calculations

Half Year Tax Distributions

Gross Real Estate Tax	\$0.00
- Reduction Amount	\$0.00
- Non Business Credit	\$0.00
- Owner Occupancy Credit	\$0.00
- Homestead	\$0.00
Half Year Real Taxes	\$0.00
- Sales Tax Credit	\$0.00
+ Current Assessment	\$7.06
+ Delinquent Assessment	\$0.00
+ Delinquent Real Estate	\$0.00
Semi Annual Net	\$7.06

School District	\$0.00
Township	\$0.00
City/Village	\$0.00
Joint Vocational School	\$0.00
County General Fund	\$0.00
Public Library	\$0.00
Family Service/Treatment	\$0.00
HLTH/Hospital Care-Indigent	\$0.00
Mental Health Levy	\$0.00
Developmental Disabilities	\$0.00
Park District	\$0.00
Crime Information Center	\$0.00
Children Services	\$0.00
Senior Services	\$0.00
Zoological Park	\$0.00

This shows the most recent tax bill calculation which normally occurs in early December and May. However, adjustments or corrections may have been applied to the tax bill after the initial tax calculation. Go to the Payment Detail tab to view any corrections or adjustments occurring after the initial tax calculation.

Parcel Photo



No current sketch available.

No legacy sketch available.

Special Assessments

Project	Ord/Res	Description	Certified	End Year	Payoff Amount
34-999		# 34-999 URBAN FORESTRY CITY		2019	\$0.00
54-044		CINCINNATI - Weed & Litter	3/15/2016	2016	\$0.00
54-356		CINCINNATI - Litter & Weed	1/27/2017	2017	\$0.00
54-441		CINCINNATI - Weed & Litter	5/2/2017	2017	\$0.00
54-544		CINCINNATI - Weed & Litter	9/30/2017	2017	\$0.00
54-673		CINCINNATI - Weed & Litter	1/5/2018	2018	\$0.00
54-974	S000050908	CINCINNATI - Weed & Litter	1/11/2019	2019	\$0.00
55-060		CINCINNATI - Urban Forestry	8/20/2019	2099	\$0.00

Special Assessment Detail

Prior Delinquent	Current Charge	Current Paid	Future Charge	Admin Fee	Payoff Amount
\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00

Comments

Related Names

Name	Relationship	Status
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Related Names		
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1835 BAYMILLER LLC	Parcel Owner	Current
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Jessica E. Miranda, Hamilton County Auditor

generated on 9/24/2024 2:46:56 PM EDT

Property Report

Parcel ID 184-0003-0175-00	Address BAYMILLER ST	Index Order Parcel Number	Tax Year 2023 Payable 2024
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Property Information

Tax District 001 - CINTI CORP-CINTI CSD	School District CINCINNATI CSD	Images/Sketches No images found.	
Appraisal Area 02300 - WEST END Sales	Auditor Land Use 625 - LAND BANK OWNED		
Owner Name and Address 1835 BAYMILLER LLC 3643 BELLECREST AVE CINCINNATI OH 45208 (Questions? 946-4015 or county.auditor@auditor.hamilton-co.org)	Tax Bill Mail Address 1835 BAYMILLER LLC 3643 BELLECREST AVE CINCINNATI OH 45208 (Questions? 946-4800 or treasurer.taxbills@hamilton-co.org)		
Assessed Value 0	Effective Tax Rate 0	Total Tax	
Property Description WS BAYMILLER ST 0.0138 AC S19 T3 FR2			

Appraisal/Sales Summary

Year Built	
Total Rooms	
# Bedrooms	
# Full Bathrooms	
# Half Bathrooms	
Last Transfer Date	10/4/2023
Last Sale Amount	\$1,400,000
Conveyance Number	341383
Deed Type	WD - Warranty Deed (Conv)
Deed Number	
# of Parcels Sold	3
Acreage	0.014

Tax/Credit/Value Summary

Board of Revision	No
Rental Registration	No
Homestead	No
Owner Occupancy Credit	No
Foreclosure	No
Special Assessments	No
Market Land Value	0
CAUV Value	0
Market Improvement Value	0
Market Total Value	0
TIF Value	0
Abated Value	0
Exempt Value	0
Taxes Paid	\$0.00

Notes

****2023 7/5 CG-PER C/U FOR TY 2024 VOID PAR 184-3-123/NEW PAR 175-NEW BAL PAR 176

Structure List

Structure Name	Use Code	Finished Sq. Ft.	Year Built
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No Proposed Levies Found

No Passed Levies Found

This is an estimated levy payment based on the current value of your property. Actual tax amounts per tax year may vary based on changes in property valuation and based on whether a parcel receives any abatement, credit, or reduction during the levy period.

Effective for the tax year 2005, Ohio's biennial budget bill, Amended Substitute House Bill 66, signed by the Governor on June 30, 2005, terminates the 10 percent real property tax rollback for the commercial and industrial classes of property, and agricultural property used for the commercial production of timber.

Effective for the tax year 2013, Ohio's biennial budget bill, House Bill 59, signed by the Governor on June 30, 2013, terminates the 10 percent real property tax rollback and the 2.5 percent homestead credit on all additional or replacement levies passed at the November 5, 2013 election or after. As a result of this legislation, those same levies will not qualify for the stadium tax credit.

Existing and renewal levies, as well as levies passed at the May 7, 2013 and August 6, 2013 elections will qualify for the credits. Residential and most agricultural properties with qualifying levies will receive what is now the Non-Business Credit Rollback Factor. Owner occupied residential dwellings with qualifying levies will receive what is now the Owner Occupancy Credit Rollback Factor, as well as the stadium tax credit.

Transfer History is not available for future year parcels.

Value History is not available for future year parcels.

Board of Revision Case History

Case Number	Date Filed	Withdrawn	**Counter Complaint Filed	*Hearing Date/Time	Value Challenged	Value Requested	Value Decided by BOR	***Date Resolved
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*Once your hearing has been scheduled, you will receive a **Notice of Hearing** by certified mail, and the Scheduled Hearing Date and Time will be populated on this page.

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Payment Information

JILL A. SCHILLER, TREASURER

Tax Overview

Mail Payments to:	Hamilton County Treasurer 138 E. Court Street, Room 402 Cincinnati, Ohio 45202	Tax Lien Pending	No
Tax District:	001 - CINTI CORP-CINTI CSD	Tax Lien Sold	No
		Full Rate	0.000000
		Effective Rate	0.000000

Tax Overview

Current Owner(s)	1835 BAYMILLER LLC
Tax Bill Mail Address	1835 BAYMILLER LLC 3643 BELLECREST AVE CINCINNATI OH 45208
Taxable Value	
Land	0
Improvements	0
Total	0

Non Business Credit	0.000000
Owner Occupancy Credit	0.000000
Certified Delinquent Year	
Delinquent Payment Plan	No
TOP (Treasurer Optional Payment)	\$0.00
Note: May represent multiple parcels	

Current Year Tax Detail

	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Real Estate			\$0.00		\$0.00	
Credit			\$0.00		\$0.00	
Subtotal			\$0.00		\$0.00	
Non Business Credit			\$0.00		\$0.00	
Owner Occupancy Credit			\$0.00		\$0.00	
Homestead			\$0.00		\$0.00	
Sales CR			\$0.00		\$0.00	
Subtotal	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Interest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Real Estate Paid	\$0.00		\$0.00		\$0.00	
Real Estate Owed	\$0.00		\$0.00		\$0.00	
Special Assess Paid	\$0.00		\$0.00		\$0.00	
Special Assess Owed	\$0.00		\$0.00		\$0.00	
Total Due	\$0.00		\$0.00		\$0.00	
Total Paid	\$0.00		\$0.00		\$0.00	
Unpaid Delq Contract	\$0.00		\$0.00		\$0.00	
Total Owed	\$0.00		\$0.00		\$0.00	

Payment Information for Current And Prior Year

Date	Half	Prior	1st Half	2nd Half	Surplus
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Information believed accurate but not guaranteed. Treasurer disclaims liability for any errors or omissions

Contact the County Treasurer with your tax bill questions at county.treasurer@hamilton-co.org or 513-946-4800

Current Year
[2023 Payable 2024](#)
 Prior Year
[2022 Payable 2023](#)

Tax Distribution Information

Market Value		Assessed Value (35%)		Tax Rate Information	
Land	0	Land	0	Full Tax Rate (mills)	0.000000
Building	0	Building	0	Reduction Factor	0.000000
Total	0	Total	0	Effective Tax Rate (mills)	0.000000
				Non Business Credit	0.000000
				Owner Occupancy Credit	0.000000

Tax Calculations

Half Year Tax Distributions

Gross Real Estate Tax	\$0.00	School District	\$0.00
- Reduction Amount	\$0.00	Township	\$0.00
- Non Business Credit	\$0.00	City/Village	\$0.00
- Owner Occupancy Credit	\$0.00	Joint Vocational School	\$0.00
- Homestead	\$0.00	County General Fund	\$0.00
Half Year Real Taxes	\$0.00	Public Library	\$0.00
- Sales Tax Credit	\$0.00	Family Service/Treatment	\$0.00
+ Current Assessment	\$0.00	HLTH/Hospital Care-Indigent	\$0.00
+ Delinquent Assessment	\$0.00	Mental Health Levy	\$0.00
+ Delinquent Real Estate	\$0.00	Developmental Disabilities	\$0.00
Semi Annual Net	\$0.00	Park District	\$0.00
		Crime Information Center	\$0.00
		Children Services	\$0.00
		Senior Services	\$0.00
		Zoological Park	\$0.00

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No photo available.

No current sketch available.

No legacy sketch available.

Special Assessments

Project	Ord/Res	Description	Certified	End Year	Payoff Amount
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Related Names

Name	Relationship	Status
1835 BAYMILLER LLC	Parcel Owner	Current

Detailed Name Information

Full Name 1835 BAYMILLER LLC	Type Parcel Owner
Address 3643 BELLECREST AVE CINCINNATI OH 45208	Mailing Flags [1st Half Tax Bill] [2nd Half Tax Bill] [Change Notice] [Delinquent Tax Bill] [Reduction Notice]



10/31/2024

Zoning Hearing Examiner
City of Cincinnati Buildings and Inspections
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

List of witnesses and speakers in support of the variance and Historic COA.

Mario Mazzone-Owner-3643 Bellecrest Ave,Cincinnati, OH 45208, reception@zusammencincinnati.com
Rebecca Mazzone –Owner- 3643 Bellecrest Ave, Cincinnati, OH 45208. robinsonrebecca8@gmail.com
Sarah Cornell – Architect - 925 Lenox Place, Cincinnati, OH 45229, tangent.sarah@gmail.com

Sincerely,

A handwritten signature in black ink that reads "Sarah Cornell". The signature is written in a cursive, flowing style.

Sarah Cornell
Architect
Tangent Architectural Group
925 Lenox Place
Cincinnati, Ohio 45229



Zusammen:

A space for community and culture in Cincinnati's West End. Your Local Social Hall.

The Concept

Zusammen is a modern social hall. We plan to operate on a membership model to allow members to use the space for conversations, coworking, and as a place to come together in the West End. We will host regular events for members including artist talks, book club meetings, game nights, chef's tastings, and more. The space will also be available for private rentals from members. At this time, our efforts are focused on our beautiful and spacious indoor facilities and do not plan to encourage congregation in our outdoor spaces.

Community Focus: We believe we have a responsibility as the current occupants of a space previously dedicated to community, to continue to provide a place for neighbors to come together (it's even in our name).

Community Feedback: We have been met with an outpouring of neighborhood support and plan to submit letters communicating this sentiment.

Memberships: We will offer a tiered membership structure that offers a more affordable option than surrounding local clubs and co-working spaces. Additionally, for us, co-working is one of many perks and not our model, so we offer considerably more value for a lower price.

Usage: The property has several rooms within the space. In addition to "floating situation," members can rent out each room separately for a fee. For example, we have a "board room" that can be rented out for small business meetings. We anticipate granting members access from 6:30am to 9pm. We also anticipate hosting day-time and evening-time events for our members. These includes brown-bag breakfast-type meetings with prominent area entrepreneurs, tastings, book launches, and artists talks. We anticipate most private rentals for non-business related activities will occur from Friday to Sunday. We do not anticipate these events going over 11pm.

Luke Warren
848 York Street, Apartment 4, Cincinnati, Ohio 45214

Re: Zusammen Opening in the West End

Mr. Mario A. Mazzone & Ms. Rebecca Robinson Mazzone:

As a resident of the West End community for over 6 years who resides across the street from the proposed Zusammen space, I fully support the opening of Zusammen at 1835 Baymiller Street. I believe Zusammen will create social and economic growth in the West End.

I believe Zusammen would be welcomed in the neighborhood with open arms and be a great addition to the community.

I hope to see you opening in the neighborhood soon!

Sincerely,

A handwritten signature in black ink that reads "Luke Warren". The signature is written in a cursive, slightly slanted style.

Luke Warren

Date: 11/8/24

Name: Mary Grace and Luke Sillies

Address 1820 Freeman Ave Cincinnati, OH 45214

Re: Zusammen Opening on the West End

Mr. Mario A. Mazzone & Ms. Rebecca Robinson Mazzone:

As resident(s) of the West End community, (We/I) fully support the opening of Zusammen at 1835 Baymiller street. (We/I) believe Zusammen will create social and economic growth in the West End.

Zusammen would be welcomed in the neighborhood with open arms.

(We/I) hope to see you opening in the neighborhood soon.

Sincerely,

A handwritten signature in black ink that reads "Mary Grace". The signature is written in a cursive, flowing style. It is positioned above a horizontal line that serves as a separator between the signature and the printed name below.

Name:



November 22, 2024

Urban Conservator Doug Owen and the Historic Conservation Board,

Cincinnati Preservation is Greater Cincinnati's non-profit that is focused on advocacy, education, and community building around historic preservation and our historic resources. We are also located in the West End neighborhood on Dayton Street in the Historic John Hauck House. As both Cincinnati's preservation non-profit and a neighbor in the West End, we are in support of the proposed project and use of Zusammen at 1835 Baymiller Street.

As you all are aware, finding new uses for historic churches can be quite difficult given the typically large size and openness of these buildings. Zusammen provides a feasible economic reuse of this building. It is also located at an intersection with another commercial enterprise at Kings Arm Coffee.

As a Conditional Use, the proposed use as a social club will not adversely affect the neighborhood as the location is on a corner that already had another social enterprise, and the design is maintaining a prominent and important building within the neighborhood. The applicants have made allowances for parking offsite, however, there is still currently plenty of street parking around the building.

We are excited to have a new neighbor in the West End and Dayton Street Historic District and support their request for a conditional use as well as requested exterior changes.

Thank you,

A handwritten signature in blue ink that reads 'Beth Johnson'.

Beth Johnson
Executive Director

11/14/2024

Joseph Luggen – 930 York Street LLC/ Dunlap Properties
926 York Street, Cincinnati, Ohio 45214

Re: Zusammen Opening on the West End

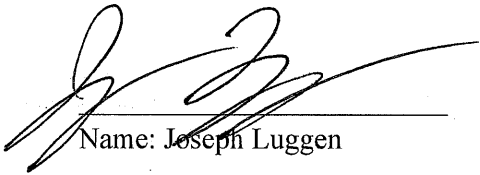
Mr. Mario A. Mazzone & Ms. Rebecca Robinson Mazzone:

As a business owner in the West End community, our company fully supports the opening of Zusammen at 1835 Baymiller street. We believe Zusammen will create social and economic growth in the West End.

Zusammen would be welcomed in the neighborhood with open arms.

We hope with the opening of Zusammen we hope that this is just the start of the continued rejuvenation of the West End. Happy to see other business owners investing in the local area.

Sincerely,

A handwritten signature in black ink, appearing to be 'J. Luggen', written over a horizontal line. The signature is fluid and cursive.

Name: Joseph Luggen

Date:
12/03/2024

Name: Beruke Yosief
Address: 1820 Freeman Ave

Re: Zusammen Opening on the West End

Mr. Mario A. Mazzone & Ms. Rebecca Robinson Mazzone:

As residents of the West End community, I fully support the opening of Zusammen at 1835 Baymiller street. I believe Zusammen will create social and economic growth in the West End.

Zusammen would be welcomed in the neighborhood with open arms.

I hope to see you opening in the neighborhood soon.

Sincerely,

Beruke Yosief

Date:
12/03/2024

Name: Alexa Yosief
Address: 1820 Freeman Ave

Re: Zusammen Opening on the West End

Mr. Mario A. Mazzone & Ms. Rebecca Robinson Mazzone:

As residents of the West End community, I fully support the opening of Zusammen at 1835 Baymiller street. I believe Zusammen will create social and economic growth in the West End.

Zusammen would be welcomed in the neighborhood with open arms.

I hope to see you opening in the neighborhood soon.

Sincerely,

Alexa Yosief

December 13, 2024



Seven Hills Neighborhood Houses
Alexis Kidd Zaffer
901 Findlay Street
Cincinnati, OH 45214

Re: Zusammen Opening on the West End

Mr. Mario A. Mazzone & Ms. Rebecca Robinson Mazzone:

Seven Hills Neighborhood Houses has partnered with the West End community for over 60 years. We have served as a safe haven, advocate, resource, and partner to residents.

Seven Hills offers its support for the establishment and opening of Zusammen, a social club in the West End at 1835 Baymiller. We believe Zusammen will create social and economic growth in the West End. This location has the potential to bridge community divides and provide a space for work, dialogue, and interaction.

Sincerely,

Alexis Kidd Zaffer
Executive Director
Seven Hills Neighborhood Houses

As partners in the communities we serve, we are dedicated to improving the quality of life of our neighbors.

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November 2024 Staff COA Approvals

NUMBER	REVIEW	TYPE	ADDRESS	DESCRIPTION	ENTRY COMMENTS
2024P04915	11/26/2024	CBPCBCP	1014 VINE ST	Alteration	Charge staff COA fee - Installation of new high-speed garage doors - equipment for these is inside the garage and not visible outside. A new brick post to match existing brick will be installed between garage bays on the north side. New garage doors will be a dark grey-brown color per swatch submitted by applicant - work meets Court St. historic district guidelines
2024P06613	11/20/2024	CBPCBCP	3755 EASTERN AV	Alteration	Staff COA Review Fee - new shed-style Sunbrella Firesist canopy (fire-resistant canvas) will be placed over 2 windows on the side of the building where a small deck will be installed as part of an ice cream shop; meets HD guidelines
2024P07889	11/12/2024	CBPCBCP	927 YORK ST	Alteration	Wood ramp on side at rear of property - not highly visible from street
2024P08961	11/7/2024	CBPCBCP	1443 WALNUT ST	Alteration	Charge Staff COA fee - Existing wood windows on front facade to be repaired and retained - aluminum Velv-A-Lume flush-mounted storm windows to be installed; meeting rails to be the same size or smaller than those of existing windows. New Weathershield 5121 series aluminum-clad wood (insert) windows on side elevation - these are larger than historic window dimensions but are not very visible from the street. Sills and brick mold proposed to be wrapped with break metal. New Crystal 2000A windows installed on rear elevation not visible from street. New metal gate to be installed in breezeway at front of bldg. Remaining work proposed is interior - primarily redo of kitchens and baths, updates to sprinkler system, mechanicals
2024P08387	11/05/2024	COA	508 DANDRIDGE ST	Fence	Installation of wood privacy fence in side yard replacing existing chain link
2024P09497	11/8/2024	CBPCMCH	1308 RACE ST	HVAC	New outdoor condensing units to be on the roof of the building, set back from the edge - will not be visible
2024P09568	11/14/2024	COA	125 E. 9TH ST	Windows	Installation of storm windows
2024P09866	11/13/2024	COA	1502 VINE ST	Sign	Sign face change on existing projecting sign - no change to size, location, illumination
2024P09873	11/25/2024	CBPCMCH	835 MAIN ST	HVAC	Charge staff COA fee - Applicant confirmed location will be on the roof of existing one-story section of building which is at the rear and faces a walkway btw this building and the adjacent one. Rooftop is not visible from the street, and new hood equipment on roof will not be visible
2024P09875	11/07/2024	COA	1544 CENTRAL PKWY	Sign	Painted wall sign on primary façade
2024P09927	11/8/2024	CBPCMCH	810 HORACE ST	HVAC	Installation of new indoor HVAC equipment and two outdoor condensing units in rear yard, in front of carriage house - will not be visible from the street