

***** AGENDA *****
CITY PLANNING COMMISSION
CITY HALL
COUNCIL CHAMBERS, ROOM 300
801 PLUM STREET
CINCINNATI, OHIO 45202
VIRTUALLY VIA ZOOM

November 7, 2025
9:00 a.m.

CALL TO ORDER AND PLEDGE OF ALLEGIANCE

MINUTES Consider the minutes of October 17, 2025.

CONSENT ITEMS – LEGISLATIVE

- ITEM 1** A report and recommendation on a proposed lease agreement at 255 Setchell Street for a neighborhood pocket park in the East End. (Morrison)
- ITEM 2** A report and recommendation on the proposed donation of artwork on public property at 1847 Reading Road in Mt. Auburn. (Gibbs)
- ITEM 3** A report and recommendation on the proposed renaming of Mercy Health Place to Patricia McCollum Way in Bond Hill. (Ferries-Rowe)

CONSENT ITEMS – QUASI-JUDICIAL

- ITEM 4** A report and recommendation on a proposed Development Plan and Final Plat, including relief from the Cincinnati Zoning Code, for the subdivision of land at 3961 Eastern Avenue in the East End. (Dienger)
- ITEM 5** A report and recommendation on a proposed Development Plan and Final Plat, including relief from the Cincinnati Zoning Code and Subdivision Regulations, at 1627 E. McMillan Street in East Walnut Hills. (Couch)

DISCUSSION ITEM – LEGISLATIVE

- ITEM 6** A report and recommendation on a proposed Major Amendment to the Concept Plan and Development Program Statement for Planned Development #88 (PD-88), Three Oaks, located at 2800 Robertson Avenue in Oakley. (Burns/Dienger)

DISCUSSION ITEM – QUASI-JUDICIAL

ITEM 7 A report and recommendation on a proposed Final Development Plan for Planned Development #88 (PD-88), Three Oaks, located at 2800 Robertson Avenue in Oakley. (Dienger)

OTHER BUSINESS

DIRECTOR’S REPORT

ADJOURN

PROCEEDINGS OF THE CITY PLANNING COMMISSION

October 17, 2025

Regular Meeting

A regular meeting of the Cincinnati City Planning Commission for Friday, October 17, 2025, was held virtually on Zoom.

Pursuant to Chapter 121 of the Cincinnati Municipal Code enacted by Ordinance 298-2021, the Cincinnati City Planning Commission held its meeting on October 17, 2025, via videoconference (on Zoom). The manner of remote participation complied with all requirements of the Open Meetings Act. The meeting could be watched in real time on CitiCable or by livestreaming the meeting at www.cincinnati-oh.gov/media. Members of the public were invited to participate in-person by registering online to receive the Zoom link. Public comments and questions to be shared with the City Planning Commission could be submitted to the Department of City Planning and Engagement in advance of the meeting.

Present: Ms. Daniella Beltran, Vice Chair
Mr. Darrick Dansby, Commissioner
Mr. John Eby, Commissioner
Assistant City Manager, Mr. William “Billy” Weber, Commissioner

Excused: Mr. Jacob Samad, Chair
Vice Mayor Ms. Jan-Michele Lemon Kearney, Commissioner
Ms. Anne Sesler, Commissioner

Staff Present: Ms. Stacey Hoffman, City Planning & Engagement, City Planning Division Manager
Ms. Maria Dienger, City Planning & Engagement, City Planner
Ms. Carly Evans, City Planning & Engagement, City Planning Administrative Specialist
Mr. Kyle Gibbs, City Planning & Engagement, City Planner
Mr. Andrew Halt, City Planning & Engagement, City Planner
Mr. Kevin Tidd, Law, Legal Counsel

Ms. Beltran called the meeting to order at 9:02 a.m. and asked that everyone join in the Pledge of Allegiance.

Minutes

Ms. Beltran clarified her comments for Item 2 on the September 5, 2025 meeting minutes. She had requested that the applicant incorporate art on the structural columns where they were requesting approval for the public easement to improve the pedestrian experience.

Ms. Beltran asked for a motion to approve the minutes with that clarification.

Commission Action:

Approved the minutes from the September 5, 2025, meeting with the clarification.

- Motion: Mr. Weber
- Second: Mr. Eby
- Ayes: Ms. Beltran, Mr. Dansby, Mr. Eby, Mr. Weber
- Nays: None

Consent Agenda – Legislative

ITEM 1

A report and recommendation on the proposed sale of Cincinnati Land Reutilization Program (CLRP) property at 1318 Boyd Street in Northside. The staff of the Department of City Planning and Engagement recommended that the City Planning Commission take the following action:

- 1) **APPROVE** the proposed sale of Cincinnati Land Reutilization Program (CLRP) property at 1318 Boyd Street in Northside.

ITEM 2

A report and recommendation on the proposed amended master lease agreement with 3CDC for parking garages in the Central Business District and Over-the-Rhine. The staff of the Department of City Planning and Engagement recommended that the City Planning Commission take the following action:

- 1) **APPROVE** the proposed amended master lease agreement with 3CDC for parking garages in the Central Business District and Over-the-Rhine.

Consent Agenda – Quasi-Judicial

ITEM 3

A report and recommendation on a proposed Development Plan and Final Plat for the subdivision of land at 210 W. 4th Street and the air parcel above W. 5th Street in the Central Business District. The staff of the Department of City Planning and Engagement recommended that the City Planning Commission take the following actions:

- 1) **ADOPT** the Department of City Planning and Engagement findings that the proposed division of land is generally consistent with the General Provision Purposes outlined in Section 100-03 of the Subdivision Regulations as detailed on pages 1-2 of this report; and
- 2) **APPROVE** the proposed Development Plan and Final Plat for the subdivision of land at 210 W. 4th Street and the air parcel above W. 5th Street in the Central Business District, based on the fact that the proposed air lot is substantially consistent with Section 300-09(a)(6) and Section 300-09(c)(1).

Commission Action:

Adopted the staff's recommendations for Items 1, 2 and 3 on the Consent Agenda.

Motion: Mr. Weber
Second: Mr. Eby
Ayes: Ms. Beltran, Mr. Dansby, Mr. Eby, Mr. Weber
Nays: None

Director's Report

Ms. Stacey Hoffman, who was filling in for Director Keough-Jurs, thanked the Commission for their time and advised that the next City Planning Commission meeting was scheduled for November 7, 2025.

The meeting adjourned at 9:07 a.m.

APPROVAL OF THE PROCEEDINGS OF THE CITY PLANNING COMMISSION

The minutes for the October 17, 2025, Regular Meeting are approved as distributed.

October 17, 2025

Katherine Keough-Jurs, FAICP, Director
Department of City Planning and Engagement

Jacob Samad, Chair
City Planning Commission

Date: _____

Date: _____

**Honorable City Planning Commission
Cincinnati, Ohio**

SUBJECT: A report and recommendation on a proposed lease agreement at 255 Setchell Street for a neighborhood pocket park in the East End.

GENERAL INFORMATION:

Location: 255 Setchell Street, Cincinnati, OH 45226

Applicant: Steve Johns on behalf of the East End Area Council (EEAC)
PO Box 68104, Cincinnati, OH 45206

Owner: City of Cincinnati
801 Plum Street, Cincinnati, OH 45202

ATTACHMENTS:

Provided in addition to this report are the following exhibits:

- Exhibit A – Location Map
- Exhibit B – Letter of Support from EEAC
- Exhibit C – Petition of Support

BACKGROUND AND ANALYSIS:

The subject identified City-owned property at 255 Setchell Street in the East End is approximately 0.056 acres in size and is zoned Single-family Residential – Middle Housing (SF-2-MH). The property currently sits vacant, unused, and has been determined to not currently be needed for any municipal purpose. Additionally, the two parcels abutting the identified City-owned property to the north of the subject property are owned by the East End Area Council (EEAC). The EEAC is requesting a lease agreement for the City-owned property to allow for a neighborhood pocket park as the City has no immediate use of the property, the permitted use will be for a not-for-profit purpose, and it will benefit the citizens of the City. The City-owned property, and the two parcels owned by the EEAC, will allow for the space to be utilized for the development and operation of a park and greenspace for the recreational and aesthetic enjoyment of the public and to serve as a buffer between the surrounding residential and business districts. There are plans to install a fence and gateway signage at the park. The EEAC will keep and maintain the leased premises, as to the satisfaction of the Cincinnati Recreation Commission (CRC). The City shall have the right to terminate this lease agreement at any time if it becomes subject to a municipal purpose.

The proposed lease agreement was circulated to City departments for review through the Coordinated Report process in November of 2024. No departments had objections; the Department of Buildings and Inspections noted that the parcel is entirely within the 100 year flood plain.

Notice was sent to adjacent property owners and the EEAC two weeks prior to City Planning Commission. A letter of support from the EEAC has been received (Exhibit B). Additionally, 14 neighbors who live in and around the area being proposed for Spicer Park have signed a petition in support of the park (Exhibit C).

CONSISTENCY WITH PLANS

The proposed lease agreement is consistent with the Live Initiative Area of *Plan Cincinnati (2012)*, particularly the goal to “Build a robust public life” (p. 149), and the strategy to “Develop and maintain inviting and engaging public spaces to encourage social interaction between different types of people” (p. 149). The proposed lease is also consistent with the Natural Environment Area of the *Green Cincinnati Plan (2023)*, particularly the goal to “Increase access to greenspaces so that every resident has a greenspace within a 0.5 mile walk by 2028” (p. 130),

and the action to “Create new greenspaces, including use of vacant properties and underused parking lots, ensuring that space will not be redeveloped” (p. 131).

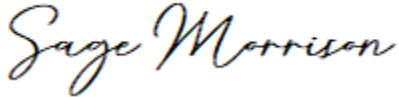
RECOMMENDATION:

The staff of the Department of City Planning and Engagement recommends that the City Planning Commission take the following action:

APPROVE the proposed lease agreement at 255 Setchell Street for a neighborhood pocket park in the East End.

Respectfully submitted:

Approved:

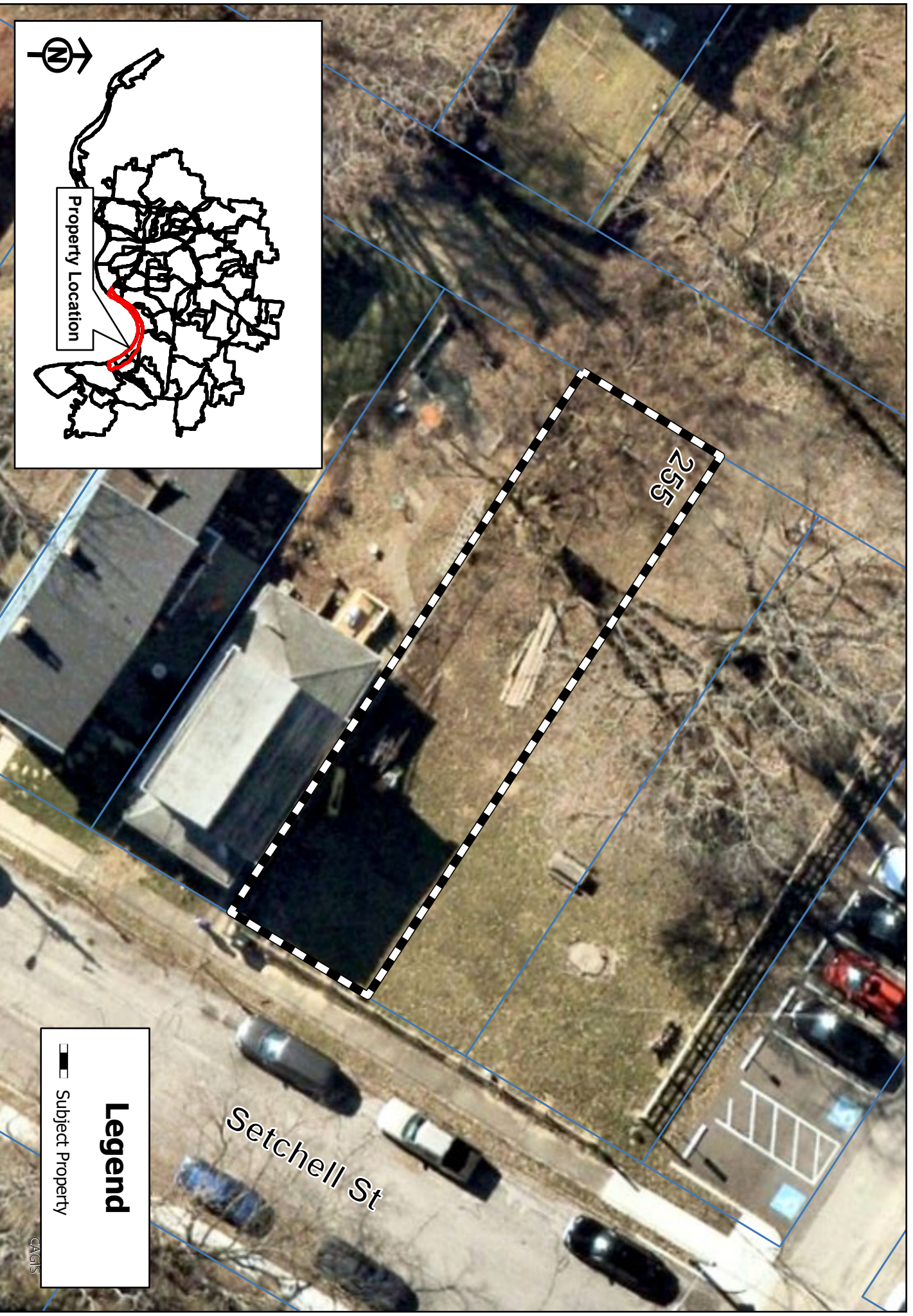


Sage Morrison, City Planning Co-op
Department of City Planning & Engagement



Katherine Keough-Jurs, FAICP, Director
Department of City Planning & Engagement

Proposed Lease Agreement at 255 Setchell Street for a Neighborhood Pocket Park in the East End



255

Setchell St

Legend

▬ Subject Property



Property Location



East End Area Council
P.O. Box 68104
Cincinnati OH 45206

April 16, 2024

Daniel Betts, Director
Cincinnati Recreation Commission
805 Central Ave
Cincinnati, OH 45202

RE: East End Area Council's Spicer Park

Dear Mr. Betts:

Thank you for your interest in working with the East End Area Council on the Spicer Park project. The East End neighborhood is excited about this project and the opportunity to work with Cincinnati Recreation Commission (CRC). The neighborhood will benefit from this project by creating a pocket park near our growing neighborhood business district, creating a buffer between residents and businesses, and by honoring the contributions of the Spicer family to the East End.

Please allow this letter to serve as an indicator of the East End Area Council's full support for this project. Already in-kind labor from neighbors and community council members are making improvements to the park. We also have plans to install a fence and gateway signage at the park.

Please feel free to contact me if you have any questions related to this letter or Spicer Park in general.

Sincerely,

Steve Johns
President, East End Area Council

Cc: Craig Stanton, Immediate Past President EEAC

PETITION IN SUPPORT OF SPICER PARK

We, the undersigned, are neighbors who live in and around the area being proposed for Spicer Park.

We heartily endorse this endeavor and hope you will approve the project.

1. Debbie Zimmerman
 Name
253 Satchell St.
 Address
Debra Zimmerman
 Signature

2. Joe Zimmerman
 Name
253 Satchell St
 Address
Joe Zimmerman
 Signature

3. Fred White 247 Satchell St
 Name
247 Satchell
 Address

 Signature

4. Tim White
 Name
247 Satchell St
 Address
Tim White
 Signature

5. Amber Holwadel
Name
236 Satchell St Cincy Ohio 45226
Address
A Holwadel
Signature

6. John Thompson
Name
236 Satchell St Cincy Ohio 45226
Address
John Thompson
Signature

7. Sammy Holwadel
Name
236 Satchell St Cincy Ohio 45226
Address
Sammy Holwadel
Signature

8. BRAXTON Holwadel
Name
236 Satchell St Cincy Ohio 45226
Address
Braxton Holwadel
Signature

9. Abigail Holwadel
Name
236 Satchell St Cincy Ohio 45226
Address
Abigail Holwadel
Signature

10. Kim White

Name

238 Satchell St

Address

Kim White

Signature

11. Brian White

Name

238 Satchell St

Address

Brian White

Signature

12. Richard Spiert 232 Satchell

Name

Address

Signature

13. Rebecca Wilder

Name

250 Wenner Street

Address

Rebecca Wilder

Signature

14. Maureen King

Name

253 Satchell St

Address

Signature

**Honorable City Planning Commission
Cincinnati, Ohio**

SUBJECT: A report and recommendation on the proposed donation of artwork on public property at 1847 Reading Road in Mt. Auburn.

GENERAL INFORMATION:

Location: 1847 Reading Road, Cincinnati, Ohio 45202
Applicant: Department of Transportation and Engineering, 801 Plum Street, Cincinnati, Ohio 45202
Owner: Ohio Department of Transportation, 505 State Route 741, Lebanon, Ohio 45036

EXHIBITS:

Provided in addition to this report are the following exhibits:

- Exhibit A Location Map
- Exhibit B Existing Conditions and Proposed Artwork and Sign Specifications
- Exhibit C City of Cincinnati Donation Agreement
- Exhibit D Waiver of Rights Pursuant to the Visual Artists Rights Act (VARA)

BACKGROUND AND ANALYSIS:

The Department of Transportation and Engineering (DOTE) is seeking approval for the donation and installation of artwork and signage at the corner of Reading Road and Dorchester Avenue on behalf of the Mt. Auburn Community Council (Exhibit A). The artwork and signage include a new gateway sign to be added to the existing stone sign at the same location. Adding to the gateway's visible elements, the new 8-foot-wide by 6-foot-tall sign will feature an aluminum panel and cap with a welcome message and a quote from novelist Charles Dickens (Exhibit B). The Mt. Auburn Community Council initiated the project, obtained private grant funding, hired the designer (Cincinnati Custom Signs), and approved the artwork. The proposed artwork and signage comply with all DOTE and Ohio Department of Transportation (ODOT) standards, regulations, and requirements, and are exempt from zoning review since the artwork is in the public right-of-way.

Notices were sent to adjacent community councils, community development corporations, and property owners, with no correspondence received to date. Shared support for the proposed artwork and sign comes from the Mt. Auburn Community Council and DOTE.

ROLE OF THE CITY PLANNING COMMISSION:

According to Article VII, Section 3 of the Charter of the City of Cincinnati:

“The powers and duties of the commission shall be to make plans and maps of the whole or any portion of the city and of any land outside the city which, in the opinion of the commission, bears a relation to the planning of the city, and to make changes in additions to and extensions of such plans or maps when it deems same advisable. Such maps and plans shall show the commission's recommendations for the location and extent of streets, alleys, ways, power, bridges, subways, parkways, parks, playgrounds and other public grounds **and public improvements, of public buildings and other public properties**, and of public utilities whether publicly or privately owned, for water, light, sanitation, transportation, communication, power and other purposes; and for the removal, relocation, widening, extension, narrowing, vacation, abandonment or change of use of any of the foregoing public places, works, buildings, or utilities.”

Approval from the City Planning Commission is required to permit the installation of the gateway sign on public property. If approved, City Council will be asked to consider a donation agreement (Exhibit C) for the location and appropriateness of installing the artwork. The sign installation will remain under the direction and control of DOTE and ODOT to ensure the artwork is completed as proposed. After installation, the City would own the

sign, with maintenance responsibilities managed by the Mt. Auburn Community Council and landscape maintenance handled by the Cincinnati Park Board. To ensure City ownership and control, the City requires the artist to waive the rights to the installation through a Waiver of Rights Pursuant to the Visual Artists Rights Act (VARA) (Exhibit D).

CONSISTENCY WITH PLAN CINCINNATI (2012):

The proposed artwork installation is consistent with *Plan Cincinnati* (2012) within the Live Initiative Area. The proposed installation is consistent with the Goal to “Build a robust public life” (p. 149), the Strategy to “Develop and maintain inviting and engaging public spaces that encourage interaction between different types of people” (p. 150), and the Action Step to “make art an essential element of our public spaces and buildings” (p. 151). The proposed gateway sign will increase visibility of the existing gateway, contributing to the sense of place and aesthetics of the intersection.

RECOMMENDATION:

The staff of the Department of City Planning and Engagement recommends that the City Planning Commission take the following action:

APPROVE the proposed installation of artwork on public property at 1847 Reading Road in Mt. Auburn with the following conditions:

1. That the artwork installation, size, location, and design be reviewed and approved by the City at the time of permit review;
2. The applicant shall coordinate with the City regarding the donation of the artwork on public property including a contract with the City in a similar form as the City of Cincinnati Donation Agreement (Exhibit C); and
3. All artists involved in the creation and installation of the artwork shall provide the City with a Waiver of Rights pursuant to the Visual Artists Rights Act (Exhibit D).

Respectfully submitted:

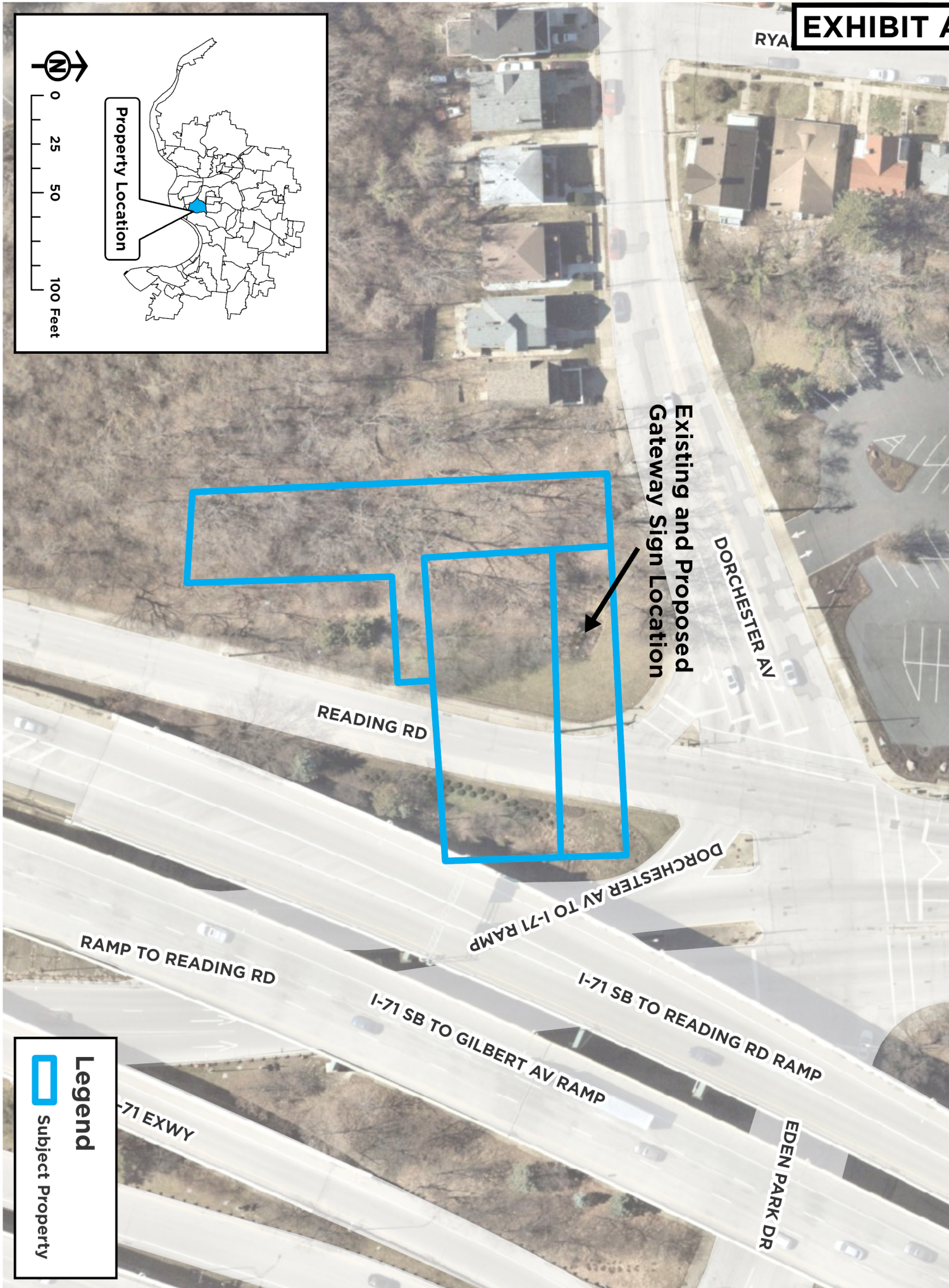
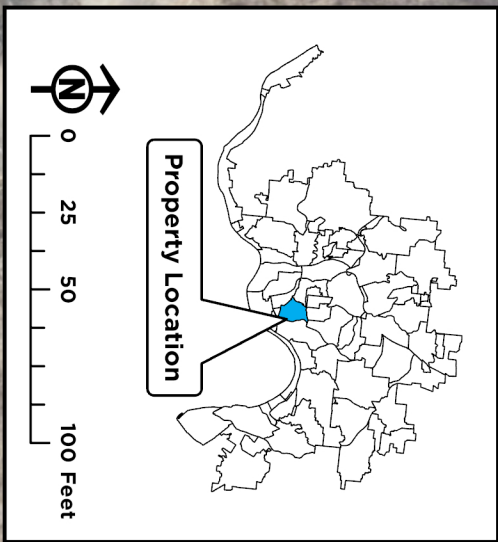


Kyle Gibbs, City Planner
Department of City Planning and Engagement

Approved:



Katherine Keough-Jurs, FAICP, Director
Department of City Planning and Engagement



Legend

 Subject Property

Date: October 15, 2025

Sub: Mt. Auburn Gateway Sign located at Reading Road and Dorchester Avenue

Re: Existing Conditions

Item: Existing Gateway Sign – CAGIS Map documenting Site Location on ODOT Property

The screenshot shows a web-based map interface. The main map area displays an aerial view with a green-shaded rectangular area on Reading Rd. A red pin is placed on the map. The sidebar on the right contains the following information:

Property Report

Owner: STATE OF OHIO
Address: 1847 READING RD
Jurisdiction: Cincinnati
Parcel Id: 009000030010
Zoning: OG - Office General

Tax Map Print

Mailing Address

OHIO DEPT TRANSPORTATION DISTRICT 8
506 STATE ROUTE 741
LEBANON OH 45036

Owner Address

STATE OF OHIO
505 S STATE ROUTE 741
LEBANON OH 45036

Districts

School Code Name	CINCINNATI CSD
Tax District	1
Appraisal Area Name	MT AUBURN
Statistical Neighborhood	MT Auburn

Date: October 15, 2025

Sub: Mt. Auburn Gateway Sign located at Reading Road and Dorchester Avenue

Re: Existing Conditions

Item: Existing Gateway Sign – Google Maps StreetView Image



Date: October 15, 2025

Sub: Mt. Auburn Gateway Sign located at Reading Road and Dorchester Avenue

Re: Existing Conditions

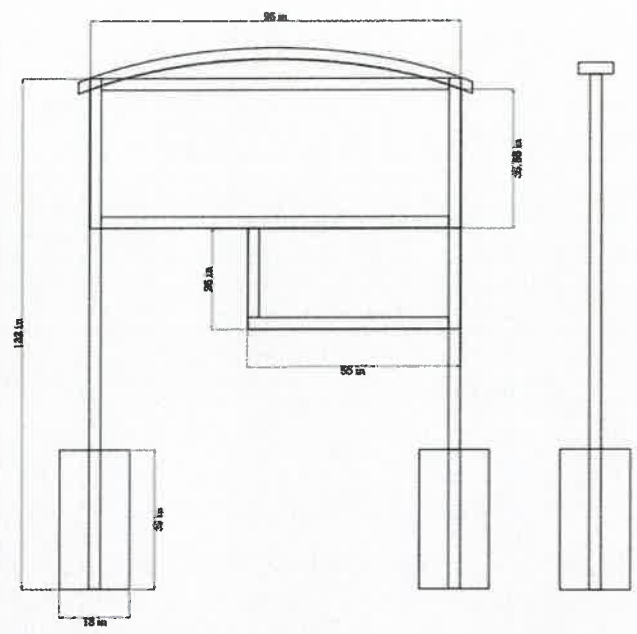
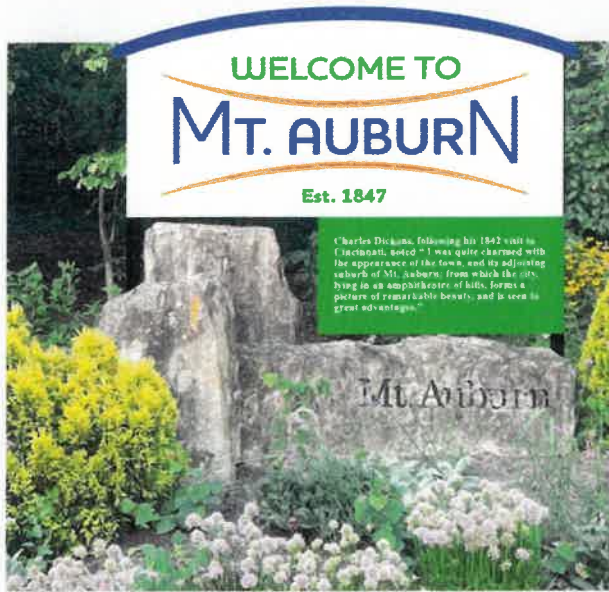
Item: Existing Gateway Sign – Google Maps StreetView Images



Date: October 15, 2025

Sub: Mt. Auburn Gateway Sign located at Reading Road and Dorchester Avenue

Re: Proposed New Sign Addition



This proof is provided to you to check for mistakes in layout or typographical, spelling & grammatical errors. Cincinnati Custom Signs cannot be held responsible for any error in design or verbiage on the final product if the final proof has been approved. You, the Customer are fully responsible for all that is contained in the final approved proof, so please make sure you review it thoroughly.

Company Name: Mt Auburn City Council	Date: 08/26/2025
Product Description: Post and Panel Installed Behind 2nd Rock	Proof: 007
Materials: Aluminum	Page: 001
Size: Approx 96" x 96"	Depth: 3" Posts, 9" Cap
Quantity: (1) Set	Side: Single

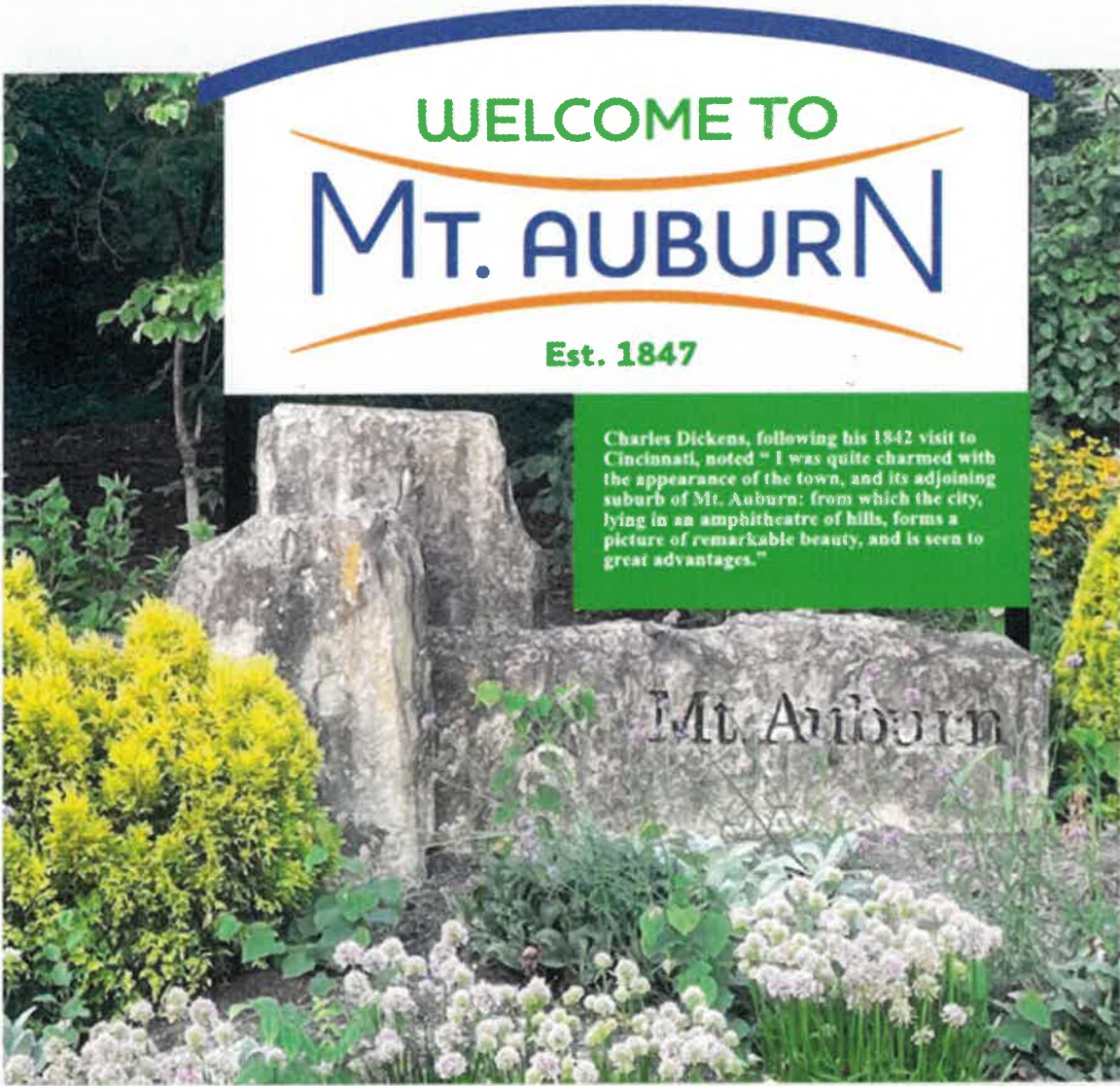
This proof and design within remains the intellectual property of The Cincinnati Custom Signs Corporation until purchase of the design has been completed. Drawings, specifications and other documents, prepared by The Cincinnati Custom Signs Corporation are Instruments of Service for use solely with respect to this Project. This includes pencils, hand-copy documents and documents in electronic form. The Cincinnati Custom Signs Corporation shall be deemed the author and owner of the respective Instruments of Service and shall retain all common law, statutory and other reserved rights until payment has been completed. The Instruments of Service shall not be used by the client or potential client for future additions or alterations to this Project or for other projects, without the prior written agreement of The Cincinnati Custom Signs Corporation. Any unauthorized use of the Instruments of Service are prohibited and may warrant litigation.



Date: October 15, 2025

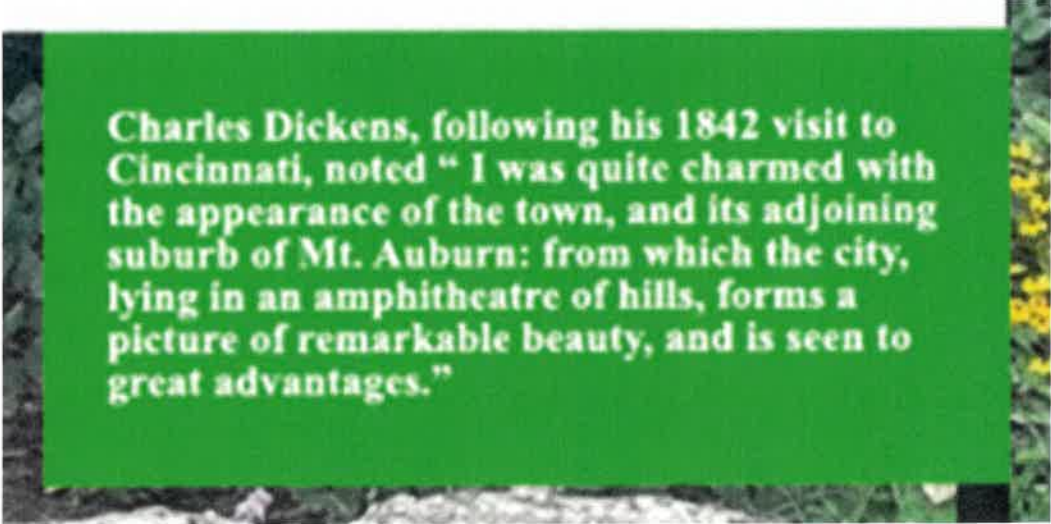
Sub: Mt. Auburn Gateway Sign located at Reading Road and Dorchester Avenue

Re: Proposed New Sign Addition



Charles Dickens, following his 1842 visit to Cincinnati, noted " I was quite charmed with the appearance of the town, and its adjoining suburb of Mt. Auburn: from which the city, lying in an amphitheatre of hills, forms a picture of remarkable beauty, and is seen to great advantages."

Mt. Auburn



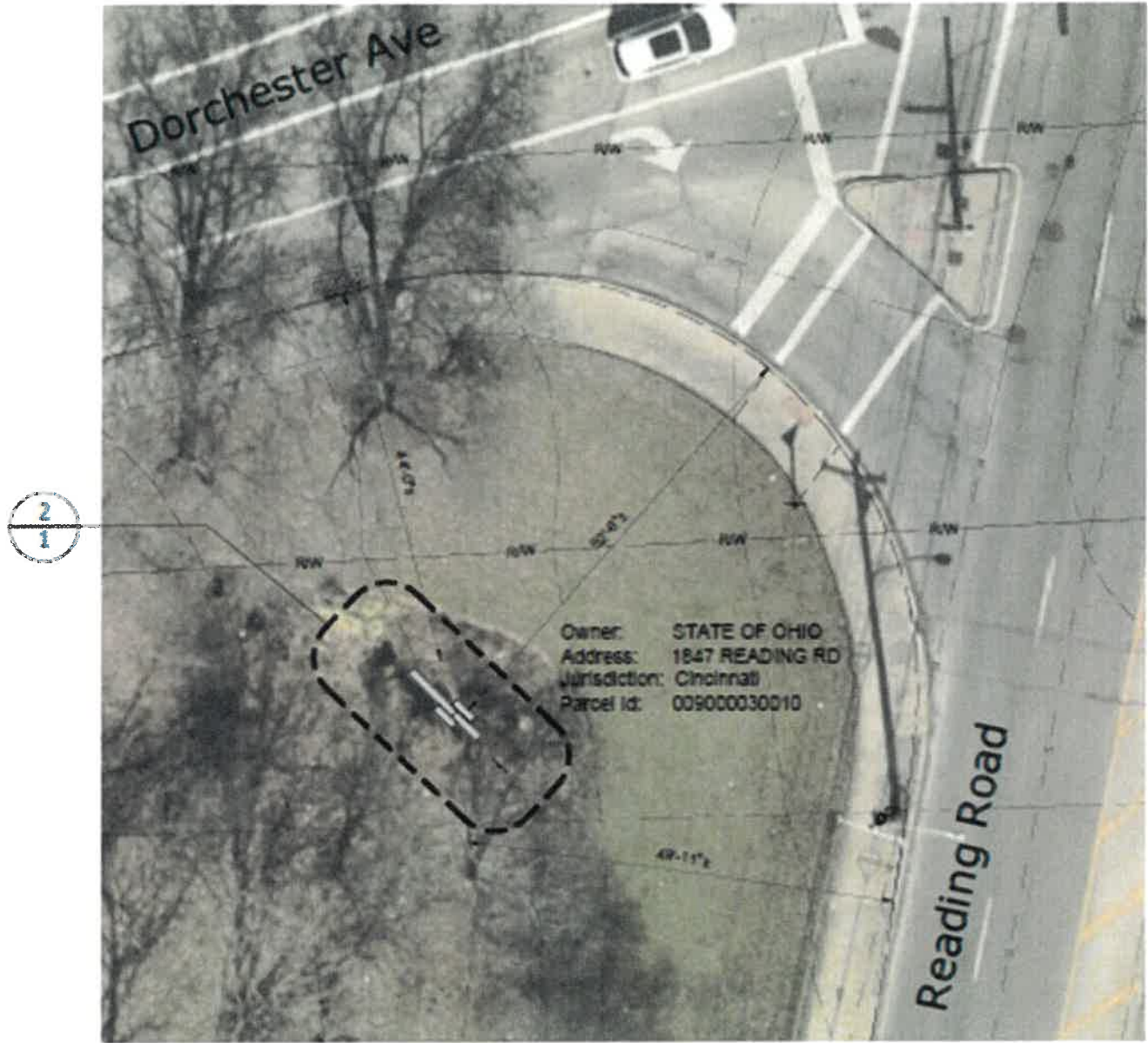
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Date: October 15, 2025

Sub: Mt. Auburn Gateway Sign located at Reading Road and Dorchester Avenue

Re: Proposed New Sign Addition

Item: Existing & Proposed Site Plan



Existing & Proposed Site Plan

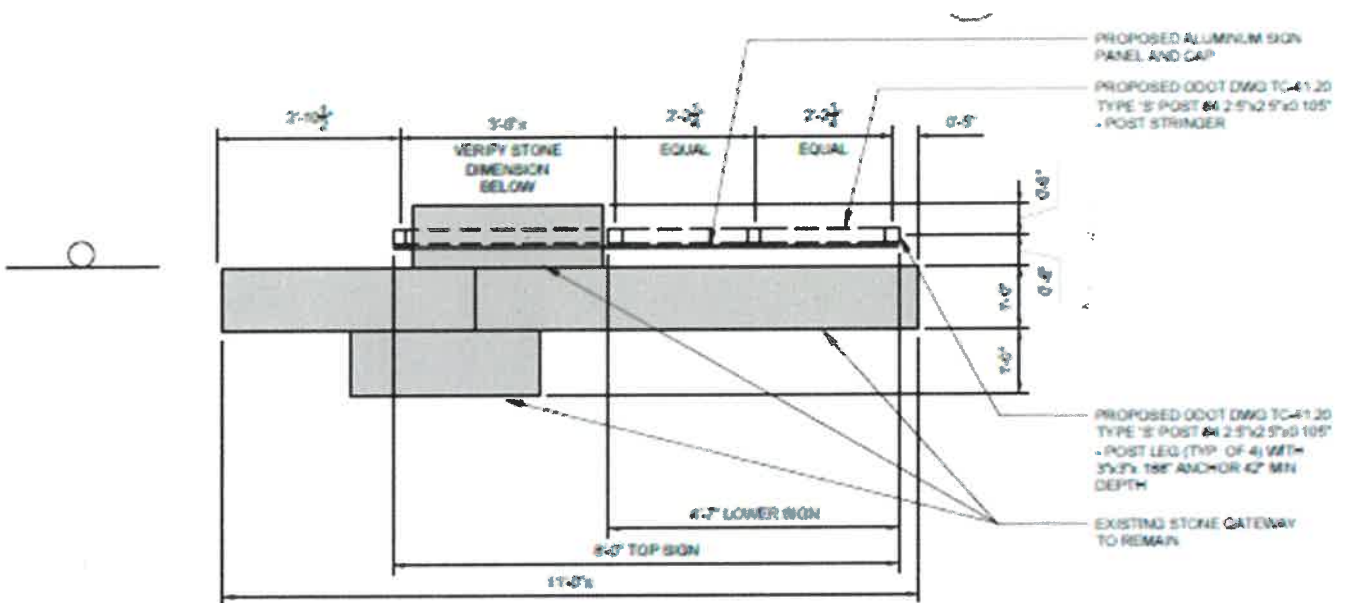


Date: October 15, 2025

Sub: Mt. Auburn Gateway Sign located at Reading Road and Dorchester Avenue

Re: Proposed New Sign Addition

Item: Existing & Proposed Sign Plan



Existing & Proposed Sign Plan

3/4" = 1'-0"

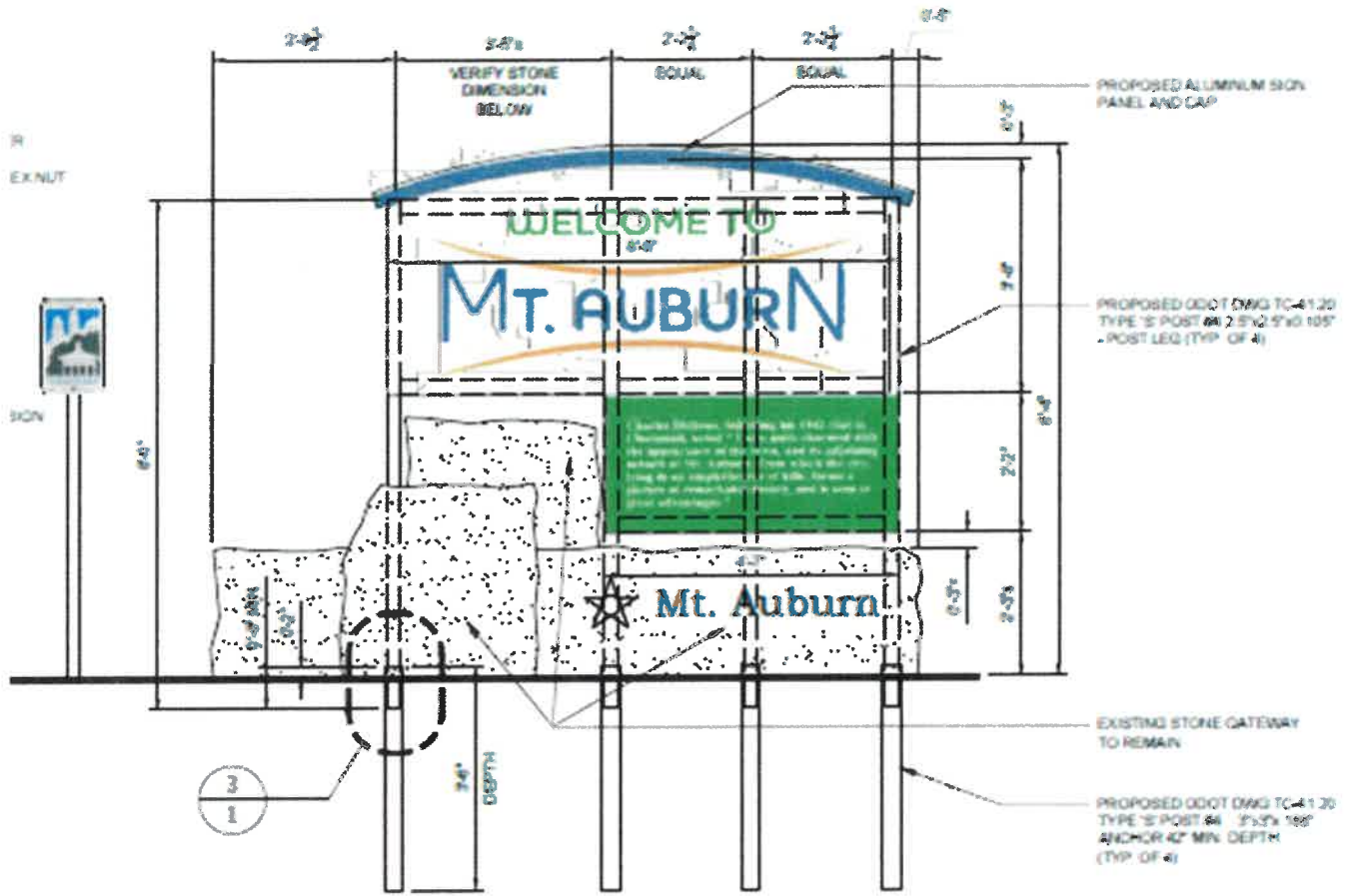


Date: October 15, 2025

Sub: Mt. Auburn Gateway Sign located at Reading Road and Dorchester Avenue

Re: Proposed New Sign Addition

Item: Existing & Proposed Sign Elevation



Existing & Proposed Sign Elevation
3/8" = 1'-0"



MT. AUBURN GATEWAY SIGN AT READING ROAD & DORCHESTER AVENUE

DONATION AGREEMENT for Both the GATEWAY SIGN ARTWORK and GATEWAY SIGN

The **CITY OF CINCINNATI**, an Ohio municipal corporation, 801 Plum Street, Cincinnati, Ohio 45202 (the “**City**”), and **THE MOUNT AUBURN COMMUNITY COUNCIL**, a neighborhood community group, the address of which is PO Box 19138, Cincinnati, Ohio 45219, (the “**Applicant**”), hereby enter this agreement for the installation of a Neighborhood Gateway Sign with artistic, environmental graphic design work, (the “**Artwork**”) to be owned and displayed by the City as its own expression, which Artwork and Sign are depicted in Exhibit A (*Depiction of Artwork and Sign*) attached hereto and will be installed in the area shown on Exhibit B (*Location*) hereto (the “**Location**”).

WHEREAS, the City of Cincinnati operates various artwork programs through which it reviews and approves proposals to create public art on certain City owned structures, (including Neighborhood Gateway Signs), on City owned property, within the right-of-way of certain City streets; and on certain State, Ohio Department Of Transportation, (ODOT), owned property, and within ODOT right-of-way, and

WHEREAS, the City takes ownership and displays as its own expression artwork and signs that are successfully selected through its programs; and

WHEREAS, the Applicant has been selected by the City through its artwork program to install the Artwork and Gateway Sign, which the Applicant has agreed to donate to the City upon the terms and conditions contained herein; and

NOW THEREFORE, the terms and conditions of this Agreement are as follows:

1. APPROVAL AND INSTALLATION

a. Application. In accordance with The City of Cincinnati, Department of Transportation and Engineering, (DOTE), policies and guidelines, the Applicant has submitted an application and required fees, which include a detailed proposal for how the Artwork and Gateway Sign will look, what materials will be used, and any other relevant details about the installation of the Artwork and Gateway Sign, and about the Location (the “**Proposal**”). The City has approved the installation of the Artwork and Gateway Sign, and it has agreed to assume ownership of the Artwork and Gateway Sign and display it at the Location.

b. Access. The Applicant shall be permitted to install the Artwork and Gateway Sign at the Location. No other installation, painting, or encroachment of any kind shall be permitted in any other location in the City’s right-of-way or on other City property or structures, or in any other location in ODOT’s right-of-way or on other ODOT property.

c. Changes; Approval. The Applicant shall make whatever additional changes to the Artwork and/or Gateway Sign plans as may be required by DOTE and/or ODOT, and the Applicant shall not commence installation until both DOTE and ODOT have approved the final plans.

d. Before Installation. The Applicant agrees to notify all households and businesses within one city block of the Location at least fourteen (14) days before starting installation of the Artwork and Gateway Sign. The Applicant will provide notice by posting it on doors and if a door is not present, by regular mail to the owner. This requirement may be waived in writing by DOTE.

e. No Transfer. This Agreement is personal to the Applicant and shall not inure to the benefit of the Applicant's successors-in-interest. This Agreement also may not be assigned without the prior written consent of the City. This Agreement shall not be recorded in the public records.

f. Installation. The Applicant agrees to complete the installation of the Artwork and Gateway Sign as detailed in the Proposal within the timeframe provided by DOTE, and it agrees the installation of the Artwork and Gateway Sign shall otherwise remain under the direction and control of DOTE and ODOT. The Artwork and Gateway Sign installation and the art contained therein shall not deviate in any way from the Proposal accepted and agreed to by the City or its departments and by ODOT.

g. Permits. The Applicant agrees to obtain all necessary permits and pay all necessary fees for such permits, including a Street Blocking Permit from the Cincinnati Police Department, as are necessary for the installation of the Artwork.

h. Prompt Notification. The Applicant shall notify DOTE upon completion of the Artwork and Gateway Sign installation.

i. Materials. The Applicant shall provide all paint, materials, equipment, services, and know-how used in connection with the installation of the Artwork and Gateway Sign for the benefit of the City, and the City accepts the provision of the materials, equipment services, and know-how. The Applicant acknowledges and agrees to comply with all design and material criteria provided by DOTE and ODOT. The Applicant shall not bring or permit to be brought onto the right-of-way any hazardous materials or other contaminants or substances that are harmful to the public or to the environment. DOTE and/or ODOT may set standards for, and the Applicant will ensure compliance with any other requirement regarding materials applicable to the Artwork and Gateway Sign.

j. Cleanliness of Site. The Applicant shall not store, use, or dispose of any toxic or hazardous materials without the prior written consent of the City, and shall keep the Location, and surrounding area, free from accumulation of waste materials or rubbish caused by any installation or operation. Upon completion of the Artwork and Gateway Sign, the Applicant shall remove all waste materials, rubbish, artistic tools, construction equipment, machinery, and surplus materials. If the Applicant fails to clean up as provided herein, the City may do so, and the full costs thereof shall be charged to the Applicant.

2. MAINTENANCE. The Applicant acknowledges and understands the City has no responsibility to maintain the Artwork and Gateway Sign after the installation. The Applicant acknowledges damage may occur as a result of utility work, road maintenance, road cleaning, reconstruction of road and right-of-way, and any other such work, and the City shall not be responsible for any repairs or maintenance. The Applicant may apply to repair the Artwork and/or

Gateway Sign eighteen (18) months after the installation is completed; provided, however, the approval to repair the Artwork and Gateway Sign shall remain within the sole discretion of the City.

3. EXPENSES. All expenses associated with the installation, maintenance, repair, and removal of the Artwork and/or Gateway Sign, and the Applicant's use of the Location, shall be borne by the Applicant. The Applicant agrees to donate the Artwork and Gateway Sign and any time, materials, or talents necessary for the installation of the Artwork and Gateway Sign to the City. The Applicant shall be solely responsible for compensation of any and all individuals, including any contractors or subcontractors, providing services to install or maintain the Artwork and/or Gateway Sign. The City shall not be responsible for any costs associated with the Artwork or Gateway Sign or the Applicant's use of the Location.

4. NO CITY WARRANTIES; APPLICANT WAIVER OF CLAIMS FOR DAMAGE. The Applicant acknowledges and agrees that working within a public right-of-way is inherently dangerous, and it requires that the Applicant take appropriate measures and precautions to protect itself, and its agents, employees, contractors, and subcontractors from harm. The City makes no representations or warranties to the Applicant concerning the condition of the Location or its suitability for the installation of the Artwork. The City shall have no responsibility or liability for loss or damage to the Artwork or any items of personal property that may at any time be on the Location, including, without limitation, damage caused by the general public, trespassers, graffiti, thrown objects, wind, hail, fire, or other casualty, no matter how such damage is caused. The Applicant hereby waives, as against the City and its employees, agents, and contractors, all claims and liability, and on behalf of the Applicant's insurers, rights of subrogation, with respect to property damaged or destroyed by fire or other casualty or any other cause, no matter how caused.

5. CITY OWNERSHIP, RIGHT TO MODIFY OR REMOVE. The Applicant hereby transfers all ownership interest in the Gateway Sign, including all Artwork contained in the Gateway Sign to the City, and the City shall own all rights in the Artwork, the Gateway Sign, the Proposal, and any art therein except as specified below. The Applicant acknowledges that both the Artwork and Gateway Sign are temporary and the City may, in its sole discretion, paint over, remove, resurface or allow the installation of different artwork, in part or in whole, at any time the City decides.

6. COPYRIGHT, VARA WAIVER.

a. Applicant Warranty. The Applicant warrants and represents neither the Proposal, the Artwork, the Gateway Sign, nor any artwork contained therein violates any copyright or infringes on the copyright of any third party or on any other intellectual property rights of any third party. The Applicant further represents it holds full title to any Artwork transferred to the City and it is not licensing or sub-licensing any such artwork and has the right and authority to enter into this Agreement.

b. Copyright. The Applicant transfers to the City all ownership interest in all rights including rights under the federal Visual Artists Rights Act of 1990 ("VARA"), 17 U.S.C. §§ 106A and 113(d) in the Proposal, the Artwork, the Gateway Sign, and the artwork contained therein. The artist or artists who have been or will be involved in designing or installing the Artwork and Gateway Sign or in creating the Proposal have waived their rights under VARA by completing and signing a waiver of rights under VARA, which is attached hereto as Exhibit C (*Signed VARA Waiver*).

c. Artists Intellectual Property License. The City hereby grants to the Applicant the limited and revocable license to make, display, and distribute, and authorize the making, displaying, and distribution of photographs and other reproductions of the Artwork and/or Gateway Sign. The Applicant may use such reproductions for advertising, educational and promotional materials, brochures, books, flyers, postcards, print, broadcast, film, and electronic and multimedia publicity. The Applicant may not license or sublicense its rights for any private or commercial purpose. This license granted hereunder does not include the right to sell photographs or reproductions of the Artwork or Gateway Sign.

7. CITY AND UTILITY ACCESS.

a. City's Right to Enter upon Property. The Applicant acknowledges that the City and its authorized representatives have the unlimited right to enter upon the Location and the Artwork and Gateway Sign at any time for any purpose, including without limitation to inspect the Location and the Artwork and Gateway Sign. The Applicant further acknowledges its ability to enter upon the Location shall always be subject to the City's direction and control. The City shall have no duty to inspect.

b. Rights of Utility Companies. The authorization herein granted to the Applicant to install the Artwork and Gateway Sign and to use the Location are subject and subordinate to the rights of any and all utility companies that may now or hereafter have utility lines and/or other utility installations within the Location. The Applicant shall not alter, relocate, or otherwise interfere with such utility lines and installations and shall not do anything that will impair such utility companies' right to enter upon the Location from time to time for all purposes associated with the operation, maintenance, repair, replacement or removal of such utility lines and installations. Such utility companies have continued access to the Location 24 hours per day, 7 days per week, 52 weeks per year.

8. COMPLIANCE WITH LAWS, REGULATIONS, AND PROGRAMS. The Applicant shall comply with all applicable statutes, ordinances, regulations, and rules of the federal government, the State of Ohio, the County of Hamilton, and the City of Cincinnati.

9. INDEMNIFICATION OF THE CITY. The Applicant shall indemnify, defend, and save the City, its employees, agents, and contractors harmless from and against any and all losses, damages, settlements, costs, charges professional fees, and other expenses and liabilities of every kind and character (including without limitation attorney fees) arising out of or related to any and all claims, liens, demands, obligations, actions, proceedings, or causes of action of every kind and character in connection with the Applicant's installation, maintenance, or removal of the Artwork and/or Gateway Sign, use of the Location, or violation of the provisions set forth in this Agreement, including without limitation any of the foregoing that may arise or be claimed with respect to any death, personal injury, or loss of or damage to property on or about the Location, including any such death, injury, or loss related to the materials used in installation, maintenance, or removal of the Artwork and/or Gateway Sign. The Applicant shall assume the defense, (with counsel acceptable to the City), and settlement of any and all such suits or other legal proceedings brought against the City and shall pay all judgments entered in such suits or other legal proceedings. The assumption of liability and indemnity obligations of the Applicant under this Agreement shall survive the termination of this Agreement with respect to matters arising prior thereto.

10. NOTICES. All notices given hereunder by either party shall be in writing and shall be personally delivered or mailed by U.S. Mail to the parties at the following addresses:

To City:
City of Cincinnati
Department of Transportation & Engineering
City Hall, Room 450
801 Plum Street
Cincinnati, OH 45202

To the Applicant:
Mount Auburn Community Council
PO Box 19138, Cincinnati, Ohio 45219

11. LAW TO GOVERN. This Agreement is entered into and is to be performed in the State of Ohio. The City and the Applicant agree that the law of the State of Ohio shall govern the rights, obligations, duties and liabilities of the parties to this Agreement and shall govern the interpretation of this Agreement.

12. FORUM SELECTION. The Applicant acknowledges and agrees that all state courts of record sitting in Hamilton County, Ohio, shall be the exclusive forum for the filing, initiation, and prosecution of any suit or proceeding arising from or out of, or relating to, this Agreement, or attachment thereto, including any duty owed by the Applicant to the City in connection therewith.

13. AMENDMENT. This Agreement may not be modified or amended.

14. ENTIRETY. This Agreement and the exhibits attached hereto contain the entire agreement between the parties as to the matters contained herein. Any oral representations or modifications concerning this Agreement shall be of no force and effect.

[Signature Page Follows]

This **Artwork Agreement** is executed by the parties on the dates set forth below.

CITY OF CINCINNATI

By: _____
Sheryl M.M. Long
City Manager

Date: _____

Recommended by:

Gregory D. Long, PE
Interim Director
Department of Transportation and Engineering

Approved as to Form:

Assistant City Solicitor

ACCEPTED AND AGREED TO BY:

MOUNT AUBURN COMMUNITY COUNCIL

By: _____

Printed Name: _____

Title: _____

Date: _____

EXHIBIT A – Depiction of Artwork & Gateway Sign

SEE ATTACHED

EXHIBIT B – Location

SEE ATTACHED

EXHIBIT C – Signed VARA Waiver

SEE ATTACHED

MT. AUBURN GATEWAY SIGN AT READING ROAD & DORCHESTER AVENUE

WAIVER OF RIGHTS PURSUANT TO THE VISUAL ARTISTS RIGHTS ACT

Description of Artwork (type, medium, colors, design):

New Mt. Auburn Neighborhood Gateway Sign, including an aluminum sign panel and cap with community approved content, graphic design, text, fonts, and colors, (reference attached sign design plan).

This new sign is being installed as a more visible addition to an existing stone neighborhood gateway sign, (reference attached site photos).

Title (if applicable): Mt. Auburn Neighborhood Gateway Sign – Reading Road & Dorchester Avenue.

Date Created: October 15, 2025.

Dimensions (estimated): 8'-0" wide X 6'-0" high

Location: Southwest Corner of Reading Road and Dorchester Avenue, (reference attached site plan).

The above-described artwork may be considered to be a "work of visual art" subject to the provisions of the federal Visual Artists Rights Act of 1990, 17 U.S.C. §106A and 113(d) ("**VARA**"), specifically the rights of certain authors to attribution and integrity codified in §106A(a).

I am an author of the artwork and am authorized to waive the rights conferred under VARA in accordance with the waiver provision 17 U.S.C. §106A(e)(1).

I hereby voluntarily and permanently waive my rights to attribution and integrity with respect to the artwork pursuant to VARA, and any identical or similar rights pursuant to any other applicable federal law, state law, or foreign or international law. I hereby waive my right to prevent any intentional distortion, mutilation, or other modification of the artwork.

I acknowledge that because of this waiver, the City of Cincinnati, and its officers, employees, agents, contractors, licensees, successors, or assigns ("**City**"), have the absolute right to change, modify, move, relocate, transport, remove, replace, repair, or restore the artwork located within the City, in whole or in part, in the City's sole discretion.

I understand the effect of this waiver and hereby acknowledge that I am surrendering the rights described herein with respect to the artwork.

Artist Signature: _____

Printed Name: Twyla Heinlein, Owner – Cincinnati Custom Signs

Date Signed: _____

**Honorable City Planning Commission
Cincinnati, Ohio**

SUBJECT: A report and recommendation on the proposed renaming of “Mercy Health Place” to “Patricia McCollum Way” in Bond Hill.

GENERAL INFORMATION:

Location: Mercy Health Place, Cincinnati, Ohio 45237

Applicant/Owner: Board of County Commissioners of Hamilton County, Ohio
138 E. Court Street, Room 603, Cincinnati, Ohio 45202

EXHIBITS:

Provided in addition to this report are the following exhibits:

- Exhibit A Location Map
- Exhibit B Cincinnati Enquirer Article – September 9, 2024
- Exhibit C Cincinnati Enquirer Article – October 30, 2024
- Exhibit D WCPO 9 Article – February 28, 2025
- Exhibit E 2003 Committee of Names Resolution

BACKGROUND:

The City Planning Commission is being asked to consider the renaming of Mercy Health Place, a street approximately 0.14 miles long, to Patricia McCollum Way. This is the access road to the old Mercy Health headquarters, now the future home of various Hamilton County departments, including the Job and Family Services department.

Mercy Health opened its Bond Hill headquarters in 2016, having received \$36.7 million from the City of Cincinnati to spur catalytic development. Mercy Health planned to employ 1,250 people between 2019 and 2023. However, the COVID-19 pandemic disrupted those plans. By September of 2024, only about 100 people were in the building. On September 3, 2024, the Hamilton County Board of Commissioners voted to buy the building and move 1,400 jobs into the office space (Exhibit B). As the building will no longer be home to Mercy Health, and streets should not be named for private companies located along them according to the 2003 Committee of Names Ordinance (Exhibit E), a new name is needed for this street.

Patricia McCollum was a social worker known throughout Hamilton County for her work in the foster care sector. She personally fostered over 70 children and supported families toward reunification. Ms. McCollum adopted DJ McCollum when he was 7 years old after an incident burned 85% of his body and left him with developmental disabilities. With Ms. McCollum’s support, he graduated from Woodward High School’s program for teens with disabilities. Ms. McCollum had seven kids, many grandchildren, and countless people that she cared for throughout her social work and foster care.

In October 2024, Ms. McCollum was tragically killed alongside her son DJ McCollum and daughter Kaydence McCollum. Family and community members throughout Hamilton County grieved their passing at a candlelight vigil held at the Holloway House and Resource Center followed by a visitation and funeral services (Exhibit C).

Seeing the impact Ms. McCollum’s passing had on the community, the Hamilton County Board of Commissioners sought to honor her legacy and felt the relocation of the Job and Family Services department presented a great opportunity. At the State of the County address in February 2025, Hamilton County Commissioner Denise Driehaus announced the County’s intention to rename Mercy Health Place in honor of Patricia “Pat” McCollum (Exhibit D).

ENGAGEMENT:

Hamilton County initially engaged Ms. McCollum’s family regarding the idea of renaming the street in her honor. With the family’s support, the Board of Commissioners of Hamilton County decided to move forward with the street renaming application process.

After receiving Hamilton County’s application to rename the street, it was brought to the attention of Department of City Planning and Engagement staff that the Bond Hill Community Council (BHCC) had not yet been engaged regarding this proposal. Hamilton County staff attended the September 4, 2025, meeting of the BHCC to discuss the proposal and listen to the community’s discussion regarding other members of their community they would like to see honored. Commissioner Driehaus had additional discussions with the BHCC President and expressed a desire to find alternative sites on the campus, such as meeting rooms, to honor residents of Bond Hill who have positively impacted the community.

A virtual staff conference was held on October 1, 2025, to gather community feedback about the proposal. At that meeting, the BHCC President Jacqueline Edmerson confirmed she had spoken with Commissioner Driehaus about the alternative options to honor Bond Hill residents and as a result does not oppose the proposed name change of Mercy Health Place to Patricia McCollum Way. Notice of the City Planning Commission meeting was sent to the Bond Hill Community Council, Paddock Hills Assembly, and adjacent property owners. No correspondence was received.

ANALYSIS:

The City of Cincinnati’s Committee of Names (CON) is comprised of employees from the City’s Department of City Planning and Engagement, Department of Transportation and Engineering, and Law Department as well as the Library Manager at the Cincinnati History Library and Archives. The CON met on October 13, 2025, to discuss the proposal and found the proposed name “Patricia McCollum Way” to be a suitable name that meets all “general criteria” and “criteria specific to names identified with individuals” as outlined in Resolution 0016-2003 establishing the procedures and criteria to be used by the Committee of Names (Exhibit E). The name is not composed of several parts or difficult to pronounce, a duplicate or too similar to an existing street in Hamilton County, or considered not in good taste by current community standards. It is in the public interest to honor the person for historic or commemorative reasons and honors a person associated with the area in which the facility is located—Hamilton County.

CONSISTENCY WITH PLAN CINCINNATI (2012):

The proposed name change is consistent with the Live Initiative Area of *Plan Cincinnati* (2012), particularly within the Strategy to “Create a welcoming civic atmosphere” (p. 153) because it honors and celebrates a woman who dedicated her life to supporting children and families in Hamilton County’s foster care system.

RECOMMENDATION:

The staff of the Department of City Planning and Engagement recommends that the City Planning Commission take the following action:

APPROVE the proposed renaming of “Mercy Health Place” to “Patricia McCollum Way” in Bond Hill.

Respectfully submitted:



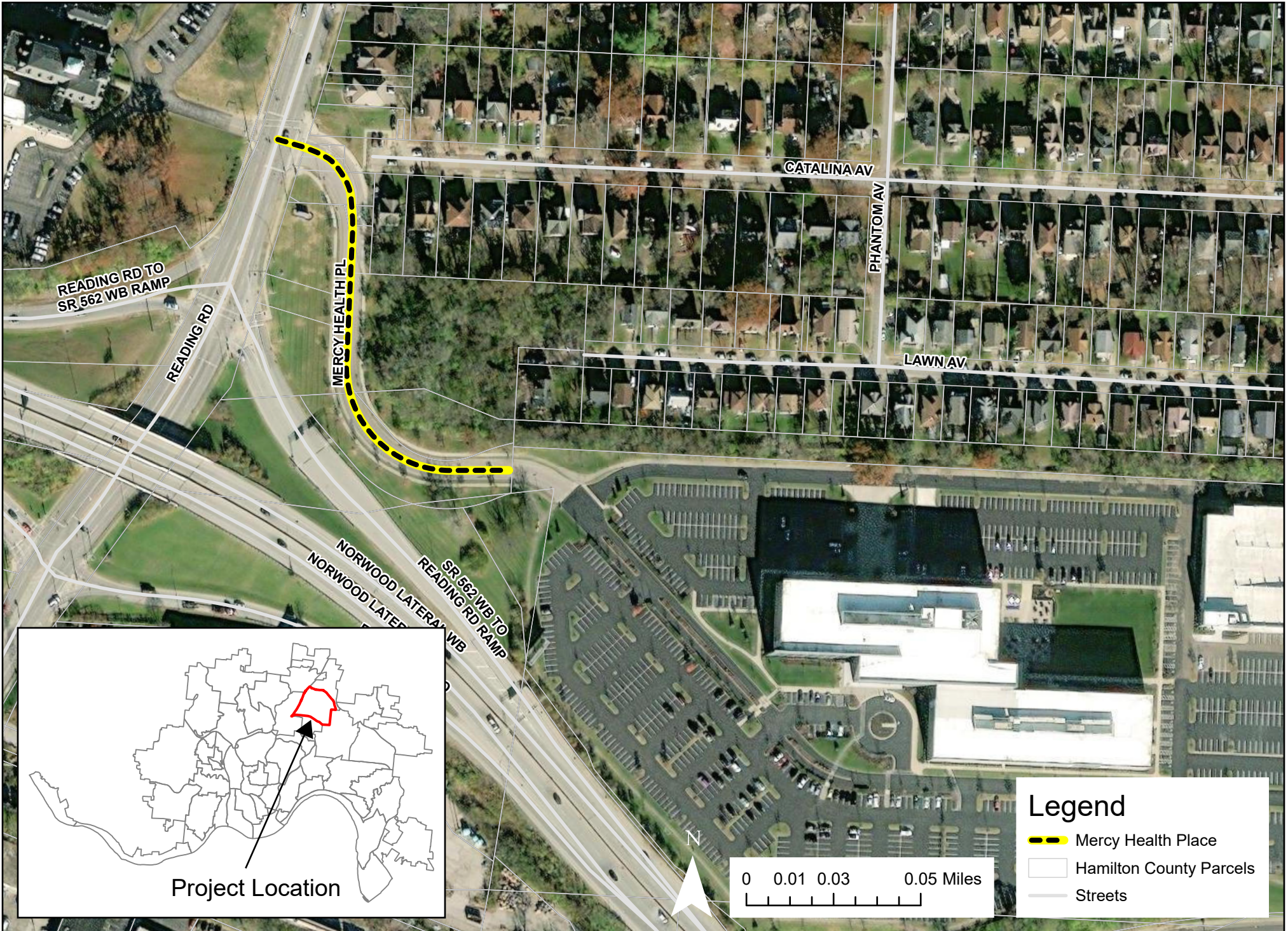
Sophia Ferries-Rowe, City Planner
Department of City Planning and Engagement

Approved:



Katherine Keough-Jurs, FAICP, Director
Department of City Planning and Engagement

Proposed Street Name Change of "Mercy Health Place" to "Patricia McCollum Way" in Bond Hill



POLITICS

Hamilton County commissioners agree to buy Mercy Health building worth \$95 million

**Scott Wartman**

Cincinnati Enquirer

Sept. 9, 2024 | Updated Sept. 10, 2024, 4:36 p.m. ET

The three Hamilton County commissioners Tuesday voted unanimously to buy a massive office building in Bond Hill where they will move [hundreds of Hamilton County workers](#).

The county will buy the Bon Secours Mercy Health building worth \$95 million. The county has agreed pay \$65 million, while Mercy will pay the remaining \$30 million to purchase the building from the owner, the Chicago-based Bond Hill Funding Company.

The county plans to move about 1,400 jobs into the Mercy Health office building. Several county departments will relocate to the Bond Hill facility, including the county's largest, Job and Family Services. Job and Family Services employs 850 employees who deal with welfare and the foster care and adoption system.

Other departments moving in include Developmental Disabilities Services, Hamilton County Public Health Department, the Veterans Service Commission and the county's environmental services department.

The county will still keep its headquarters in the Todd B. Portune Center for County Government in Downtown. As part of the deal, the county will sell other buildings it owns.

This includes the 146-year-old [Alms & Doepke](#) building on Central Parkway that houses Hamilton County Job and Family Services.

"We own and operate a large number of buildings and many of those buildings are old," said Hamilton County Administrator Jeff Aluotto. "When you have buildings approaching 140, 145-years-old, it gets difficult."

On an average day, the county will have [500 to 600 employees on the Bond Hill on a daily basis](#).

It's a different fate for the [the Mercy Health building in Bond Hill](#) from what Cincinnati officials originally envisioned for the building. Mercy Health opened the building in 2016 with the promise to the city of employing 1,250 people in the office building each year from 2019 to 2023. The organization currently employs 100 people in the Bond Hill office, according to spokeswoman Lisa Dyson.

[Cincinnati gave Mercy Health \\$36.7 million](#) in city money and tax incentives to spur the development that then-Mayor John Cranley called "catalytic and transformative" for Bond Hill.

Then the COVID-19 pandemic hit and people began working from home. As of July 2024, Mercy had about 100 jobs located in the Bond Hill office and will completely exit the property by March 2025, Mercy Health spokeswoman Lisa Dyson told The Enquirer.

Mercy Health also paid the [city back \\$7 million in tax incentives](#).

Cincinnati.com | The Enquirer

NEWS

'Everybody's caretaker, everybody's mom:' Remembering Patricia, DJ and Kaydence McCollum



Cameron Knight

Cincinnati Enquirer

Oct. 30, 2024 | Updated Oct. 31, 2024, 8:02 a.m. ET

At her 70th birthday party, they played "I was here" by Beyonce. The song opens with the lyric, "I want to leave my footprints in the sands of time."

Patricia McCollum did just that, according to her friends and family. She [fostered over 100 children and trained foster parents to take care of hundreds more](#). She was a social worker, a relentless advocate for families and even a candidate for city council.

"She was living her legacy," said Rosemary Oglesby-Henry, a longtime friend. "She was iconic."

Ms. Pat, as she was known, was [fatally stabbed on Oct. 24](#) along with her adopted son DJ McCollum, 32, and adopted daughter 11-year-old Kaydence McCollum. She was 78.

Police said it was 66-year-old Anthony Mathis, Ms. Pat's son-in-law, who killed them. He died that same day from self-inflicted knife wounds, according to investigators.

She was survived by another three adopted children and two biological children, but she would have never labeled them that way. They were all just her kids, her grandson Jamaican McCollum said. There are too many grandkids to count and well over 100 people whom she cared for through fostering, he said.

"I learned my hustle from her," Jamaican McCollum said. "Five, six, seven, eight jobs. Multiple contracts."

His grandmother's resume proves it. She was involved in a multitude of programs over the years: Off the Streets, Granny's Love, Citizen's Committee on Youth and CITI Camp to name a few. She worked at numerous places as a social worker as well.

Oglesby-Henry knew Ms. Pat nearly her entire life, but when she became pregnant as a teen, she became very close with the McCollum family. She babysat for them, and they eventually babysat for her.

She remembered helping Ms. Pat run for city council and reminding her that voters might be turned off if she kept cussing as much as she did. She remembered her commanding every room she walked into. She remembered her honesty.

"We should definitely lift her up even higher," Oglesby-Henry said. "We do that by supporting her causes: by fostering and adopting, by supporting teen parents."

Peaches Carter-Smith met Ms. Pat in 1979 working with sickle cell patients at Cincinnati Children's Hospital Medical Center where Ms. Pat was a social worker.

Carter-Smith was a computer operator, but Ms. Pat convinced her to pursue social work, and then she would follow Ms. Pat to three or four other jobs.

"She loved life. She loved working with families," she said. Her pride and joy were all of her kids. DJ was just her heart."

DJ McCollum came to Ms. Pat when he was 7. He was suffering from severe disabilities. When he was an infant, another child threw a match into his crib, burning over 85% of his body. The incident took his lower legs and left him with several developmental disabilities, but with Ms. Pat's help, he learned to use prosthetic legs and made it through Woodward High School's program for teens with disabilities.

In a 2012 Enquirer report, she said she knew that DJ would live with her for the rest of his life.

"Either I die first, or he does," she said. "I will never separate from him."

Karen Rumsey is a victim's advocate at the Cincinnati Police Department, but before that, she worked at Hamilton County Job and Family Services where she met Ms. Pat. Rumsey was struck by how she approached people.

"She just worked and cared for people in general, regardless of what was going on and where you came from," Rumsey said. "She was everybody's caretaker, everybody's mom."

Rumsey said foster kids need safety and stability, but they can come with trauma and baggage. Ms. Pat would not only love the kids, but also their parents, she said.

She would work and support the families to get those children reunified, and if that couldn't happen, she'd often just adopt the children, Rumsey said.

"She was a good woman, an honorable lady," Rumsey said. "She'd do anything for anybody, especially if you were a kid."

Jamaican McCollum said his grandmother was his favorite person. He said her door was always open and her house was always full.

"Quiet wasn't for her," he said.

He said she had an over-the-top personality that he thinks he inherited.

"When you walked in the room, you didn't have to wonder who was in charge, because you knew it," he joked.

On Thanksgiving and Christmas, the house would be packed with people. Kids that his grandmother took care of 10 years before would show up out of the blue and get folded right back in. She saw them all as family and her kids and grandkids saw it the same way.

He remembers running through the airport "20 deep" when they would take vacations to Myrtle Beach or Jamaica. He also remembers going on smaller trips as a kid to Findlay Market and Busken Bakery.

"She beat every odd. She helped as many people as she possibly could and she was proud of that," he said. "She accomplished so many things in those 78 years. Her tragedy is part of her legacy too. People will talk about the wonderful Pat McCollum for years and years to come."

When it comes to what happened, Ms. Pat's friends and family are coping in their own ways. Many said they were heartbroken.

"It's so catastrophic that when I close my eyes, I just see her face and feel pain," Oglesby-Henry said.

Jamaican McCollum said he is still processing all of it but wanted people to know that his family is holding on to their faith.

"We believe in God. We have faith in God and we don't question God," he said. "I'm sure she's at peace. She's very forgiving. She'll guide and protect us from the other side."

Now Jamaican McCollum is planning the services for his grandmother.

"We talked about it and she told me how elaborate she wants her funeral to be," he joked.

Vigil and services

On Friday, a candlelight vigil will be held for Patricia, DJ and Kaydence McCollum at the Holloway House and Resource Center at 3864 Reading Road. The vigil will run from 7:30 to 8:15 p.m.

On Nov. 8, a visitation will be held for Patricia, DJ and Kaydence McCollum from 10:30 a.m. until 12:30 p.m. at the Corinthian Baptist Church at 1920 Tennessee Ave. Funeral services will immediately follow. At 3 p.m., a repass celebration will begin at Receptions Event Center at 5975 Boymel Drive in Fairfield.

[A GoFundMe campaign has been launched to help pay for the funeral expenses.](#)

NEWS > LOCAL NEWS > POSITIVELY CINCINNATI

'She left a beautiful legacy' | Hamilton County rename street after late foster advocate

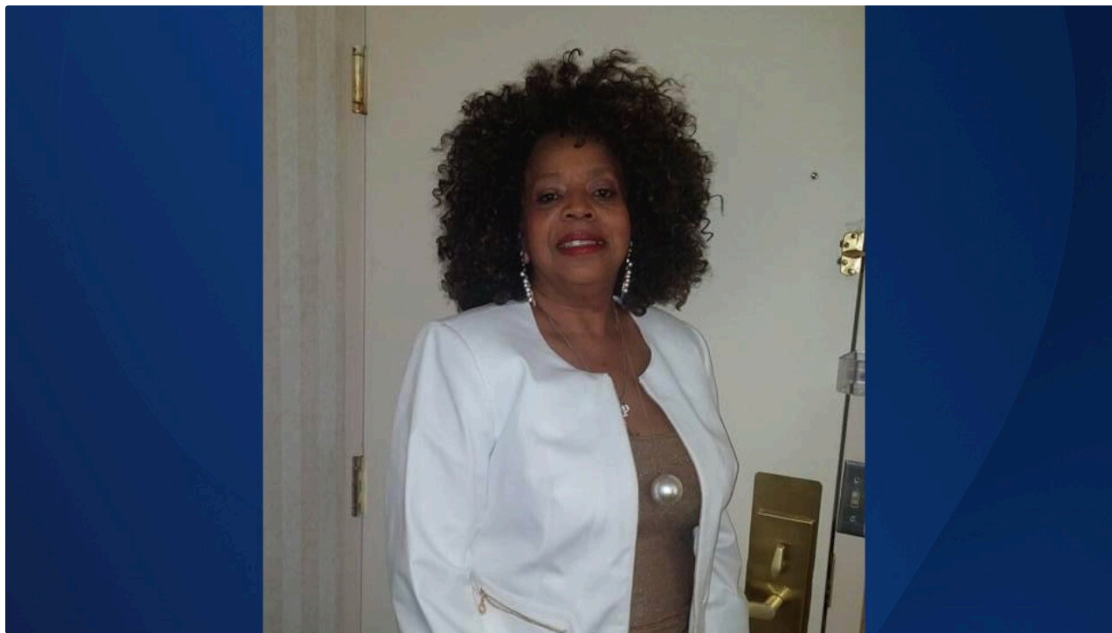


Photo by: DeRonn McCollum

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Preferences

Accept

In October, McCollum and her two adopted children — 32-year-old DJ and 11-year-old Kaydence — were found dead inside her home.

[Read More](#)

00:00

02:00

Police said they were stabbed to death [by Anthony Mathis, McCollum's son-in-law](#). Mathis, 66, died from self-inflicted stab wounds at UC Medical Center after an hours-long SWAT standoff with Cincinnati police.

"She was like our real-life Superwoman," said DeRonn McCollum, her grandson.

Patricia McCollum, who also went by Ms. Pat, was [known for her advocacy for foster children](#). Her family said Ms. Pat adopted more than 60 children throughout her life.

"She was full of love, she spoiled everybody," DeRonn McCollum said.

Hear more about how Patricia McCollum inspired the people around her:



Ms. Pat's daughter, Detra, said her mother was also loving of others.

"I've never remembered a time where we didn't have children around, or somebody," Detra McCollum said.

Detra McCollum said her mother's advocacy for foster children inspired her to foster kids of her own.

Detra and DeRonn McCollum said they're at peace with her death.

"God doesn't make any mistakes, you know, we're born to die." DeRonn McCollum said.

They said they miss her dearly, but added that her memory lives on.

"She left a beautiful legacy," Detra McCollum said.

It's not just Ms. Pat's family that's trying to honor that legacy. On Wednesday at the State of the County address, Driehaus announced the commissioner's plans to honor Patricia McCollum.

Driehaus said the Mercy Health building in Bond Hill would soon become the central campus for county employees. Driehaus said they plan to rename the street leading up to the building "Pat McCollum Way."

"I think it's a reminder to all of us that there's something we can all do to make a difference in the lives of one of these kids," Driehaus said.

Driehaus said they chose to rename that street because the building will soon be the main hub for the county's [Jobs and Family Services](#), a department McCollum worked with often to help foster kids.

"It was just a no-brainer," Driehaus said.

Driehaus said county leaders are working with the City of Cincinnati to make sure the street is renamed by the end of the year. She said they hope to move their employees into the building by the end of the year.


In the meantime, McCollum's family said they're grateful that she will continue to be remembered.

"You won't have no choice but to say Pat McCollum," Detra McCollum said.

"They're going to be sending mail to Pat McCollum Way," DeRonn McCollum added.

More Ohio news:

- [Educators speak out against removals on retired teachers' pension fund board](#)
- [Lawsuit questions use of unclaimed funds on stadiums for Bengals, Browns, etc.](#)

WLR 

RESOLUTION NO. B-0016 - 2003

EXPRESSING the City Council's approval of a document entitled Committee of Names - 03, setting forth the procedures and criteria to be used by the Committee of Names when it reviews and evaluates proposals for the naming or renaming of city facilities.

WHEREAS, City Council, at its meeting on June 15, 1985, passed Resolution 87-1985 which approved procedures and criteria for a Committee of Names; and

WHEREAS, City Council at its meeting on April 17, 2002, passed Resolution 58-2002 which approved the updated procedures for a Committee of Names; and

WHEREAS, City Council at its meeting on September 5, 2002, passed Resolution 105-202 which approved revised procedures for a Committee of Names; and

WHEREAS, because of the reorganization of the departments of the city administration, it is necessary to further revise the procedures of the Committee of Names; and


WHEREAS, the City Council wishes to declare its approval of procedures and criteria contained in said Committee of Names - 03 document; now, therefore

BE IT RESOLVED by the Council of the City of Cincinnati, State of Ohio:

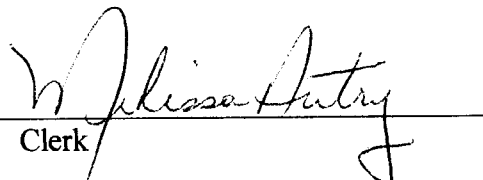
Section 1. That the Council accepts and approves the document entitled Committee of Names - 03, attached hereto and by this reference made a part hereof, and requests that it be implemented forthwith.

Section 2. That a copy of this resolution be spread upon the minutes of the Council.

Passed February 26, 2003



Mayor

Attest 
Clerk

CITY OF CINCINNATI
COMMITTEE OF NAMES - 03

(Approved by City Council Resolution ___ - 2003)

I. INTRODUCTION

This constitutes the general procedures, policies and criteria which will be followed by the Committee of Names when it reviews and evaluates proposals for the naming or renaming of City Facilities.

II. ESTABLISHMENT OF THE COMMITTEE

A. Title. The Committee shall be called the Committee of Names (the "Committee").

B. Purpose. The Committee is established to make recommendations to the Director of the Community Development and Planning Department (the "Director") regarding the naming or renaming of City Facilities. City Facilities include streets, rights-of-way, alleys, buildings, and land but do not include rooms, hallways, or items of personal property.

C. General Responsibilities.

1. The Committee shall receive, review, and evaluate proposals for the naming or renaming of City Facilities. It shall then make a recommendation to the Director regarding the proposal.

2. The Committee shall not:

a. initiate proposals to name or rename City Facilities, but may as part of its recommendation suggest alternatives to a proposal it is considering; or

b. make recommendations regarding the naming or renaming of City Facilities under the control and management of the Board of Health, the Park Board or the Recreation Commission.

D. Composition. The Committee will be composed of the following members:

1 member from the Community Development and Planning Department (who shall act as the Chair)

1 member from the Law Department

1 member from the Department of Transportation and Engineering

- 1 member from the Cincinnati Historical Society Library of the Museum Center
- 1 member from the business community of the City of Cincinnati (public sector member)
- 2 private citizens of the City of Cincinnati (public sector members)

E. Appointments and Terms of Office.

1. Members from the city departments will be appointed by and serve at the pleasure of their respective department directors.
2. The member from the Cincinnati Historical Society Library of the Museum Center will be appointed by and serve at the pleasure of the Museum Center's Director.
3. The three public sector members will be appointed by the City Manager to serve staggered three-year terms.

There is currently a Committee of Names constituted pursuant to Resolution No. 105-2002. The current members were duly appointed by a procedure similar to the procedure stated above. Those current members shall remain as members and shall be replaced in accordance with the above procedure as deemed necessary and appropriate by the appointing authority. Further, the current Community Development and Planning Department member (formerly the City Planning Department member) shall become the Chair.

- F. Meetings. The Committee will meet at times and locations determined by the chair and as often as necessary to conduct business in a timely manner.
- G. Quorum. Four members of the Committee shall constitute a quorum.
- H. Stand-ins. If a Committee member is unable to attend a meeting, the authority who appointed the member may designate a stand-in who shall have full rights as a Committee member for that meeting.
- I. Staffing. The Community Development and Planning Department shall furnish such staff services as needed for the Committee to fulfill its responsibilities.

III. PROCEDURE FOR PROCESSING PROPOSALS

- A. Proposals to name or rename City Facilities shall be made in writing to the Director. Proposals must contain the necessary information as set forth in Section IV, below. The Committee may, at its discretion, decide to adopt a standard application form. Proposals to name or rename City Facilities to the name of a living person or persons will

not be considered by the Committee.

- B. Upon receipt of a proposal, the Director shall determine if it was properly submitted and contains the necessary information. If so, it will be referred to the Committee. If not, it will be returned to the source of the proposal with an explanation of its deficiencies.
- C. The Committee shall review and evaluate the proposal. The Committee may seek additional information from the source of the proposal or other sources. Such additional information may include, when deemed appropriate by the Committee, an informal survey, conducted by mail, of all persons considered by the Committee to be directly affected by the proposed naming or name change.
- D. The Committee shall make its recommendation to the Director and will provide its reasons for such recommendation.
- E. The Director shall consider the Committee's report and make a recommendation to the City Planning Commission together with any necessary and appropriate legislation. The Director is not bound by the Committee's recommendation but may include a copy of the Committee's report with the Director's report to the Planning Commission. The City Planning Commission shall consider the Director's recommendation and, pursuant to its advisory powers under Article VII Section 9 of the City Charter, make a recommendation to City Council, together with any necessary and appropriate legislation.

IV. INFORMATION TO BE SUPPLIED

- A. Basic Information. Proposals shall include the following:
 - 1. The specific City Facility being proposed for naming or renaming. A sketch showing the exact location is sufficient for this purpose.
 - 2. The full form of the name being proposed as well as the actual proposed name for the City Facility.
 - 3. The origin, meaning and/or significance of the proposed name.
 - 4. If the proposed name is that of a person, a brief biography, including the birth and death dates (if known).
 - 5. An explanation of why the petitioner feels that the City Facility should be named or renamed with the proposed name,

including, if applicable, an explanation of how the name and/or the person is or has been associated with the City Facility or the area in which it is located.

6. If available, letters from appropriate organizations and individuals which furnish evidence of substantial local support for the proposal.

B. Additional Information. The Director or the Committee of Names may request additional information or documentation in order to assist the Committee in reaching a recommendation.

V. CRITERIA

A. General Criteria. The Committee shall consider the following criteria in making its recommendation.

1. Names composed of several parts or which are difficult to pronounce usually will not be considered suitable since they do not generally gain public acceptance.
2. When a survey has been conducted, the results of the survey shall be considered by the Committee.
3. Where possible, names should provide a useful function such as identifying the City Facility.
4. Names which are unofficial and which do not appear on current maps but which have become established through local tradition will be given priority when selecting an official name.
5. A name proposed for a particular type of facility usually will not be considered suitable if it duplicates or is too similar to an existing name of the same type of facility.
6. Street names should maintain the continuity and identification of streets in order to facilitate 911 identification, emergency response, and mail delivery and the location of addresses.
7. Names that imply discrimination or would be considered derogatory to a particular person or organization or to any race, religion, ethnic group or group of handicapped persons shall not be considered suitable.
8. Names which are considered obscene or blasphemous shall not be considered suitable.

9. Names which, by current community standards, would not be considered in good taste shall not be considered suitable.

B. Criteria Specific to Names Identified with Individuals.

1. Names of persons should be considered only if it is determined to be in the public interest to honor the person or the person's family for historical or commemorative reasons.
2. A person's epithet, nickname or title may be used if it would provide a more appropriate, interesting or enduring name.
3. Full names usually will not be considered suitable unless they are short, euphonic or would be required because using only a part of the name would render it unidentifiable.
4. Names usually will not be considered suitable unless the person was associated with or made a significant contribution to the facility or the area in which the facility is located.
5. Prior ownership of land or a financial contribution to a City Facility alone should not be considered sufficient basis for consideration of an individual's name.
6. The Committee will not recommend a proposal which seeks to rename a City Facility which is already named for a person, if the name of that person has historical significance.

APPROVED: _____
Valerie A. Lemmie
City Manager

Date: _____

WLR
CDP-070

November 7, 2025

**Honorable City Planning Commission
Cincinnati, Ohio**

SUBJECT: A report and recommendation on a proposed Development Plan and Final Plat, including relief from the Cincinnati Zoning Code, for the subdivision of land at 3961 Eastern Avenue in the East End.

GENERAL INFORMATION:

Location: 3961 Eastern Avenue, Cincinnati, OH 45226

Applicant: Mike Dooley, Bayer Becker
1401 Race Street, Suite 204, Cincinnati, OH 45202

Owner: Scott Arentsen, Eastern Avenue Apartments LLC
1055 Saint Paul Place, Cincinnati, OH 45202

EXHIBITS:

Provided in addition to this report are the following exhibits:

- Exhibit A Location Map
- Exhibit B Development Plan and Final Plat
- Exhibit C Coordinated Site Review (CSR) Letter
- Exhibit D Zoning Relief Staff Report
- Exhibit E Letters of Support

BACKGROUND:

The applicant, Bayer Becker, is requesting the division of land to split one parcel into two, as shown in Exhibit A. The subject parcel is on the south side of Eastern Avenue, is currently zoned Manufacturing Limited - Neighborhood Business District (ML-B) and is approximately 0.9324 acres. The proposed subdivision is part of a larger development that spans across Eastern Avenue, on both the south and north sides of the street. The overall proposed development will result in a 4-story residential multi-family building on the north side of Eastern Avenue with 56 units and a 3-story story mixed-use building on the south side of Eastern Avenue with 20 residential apartment units and a small ground-floor commercial space.

The proposed subdivision only applies to the development on the south side of Eastern Avenue. Within development on the south side of Eastern Avenue, the proposed south parcel (Lot 1) is a vacant parcel where the 3-story apartment building will be built. The proposed north parcel (Lot 2) has an existing 1-story brick building with a restaurant. The Department of Transportation and Engineering (DOT) assigned the addresses of the proposed lots to be 3961 Eastern Avenue (Lot 1) and 3923 Eastern Avenue (Lot 2) as shown in Exhibit A.

The proposed subdivision creates conditions that require relief from the Cincinnati Zoning Code for both lots. For Lot 1, the applicant has requested a 20-foot front yard variance to allow a zero-foot setback and a locational variance for accessory structures in a side yard. For Lot 2, the applicant is requesting two 10-foot side lot variances to allow zero-foot setbacks on the east and west property lines. Refer to Exhibit D for a full analysis of the required variances from the Zoning Code.

The proposed division of land is considered a Major Subdivision per Section 200-01-S5 and 200-01-S6 of the Cincinnati Subdivision Regulations as the Development Plan and Final Plat includes “a request that seeks a variance or other relief from the City’s subdivision regulations or the Cincinnati Zoning Code” and “A request involving property located in a special flood hazard area, as designated by the Federal Emergency Management Agency.” All Major Subdivisions are reviewed by the City Planning Commission.

CRITERIA/ANALYSIS – SUBDIVISION REGULATIONS:

Section 200-01-S5 of the Subdivision Regulations defines a Major Subdivision as any “subdivision of a parcel of land that does not meet the definition of a minor subdivision as defined by Section 200-01-S6.” Section 200.01-S6 defines a Minor Subdivision as a “subdivision of a parcel of land that abuts an existing improved public or private street into no more than three lots, but excluding subdivisions that propose or require one or more of the following features:

- d) A request that seeks a variance or other relief from the City’s Subdivision Regulations or the Cincinnati Zoning Code;

The applicant is requesting three setback variances and one locational variance from the Cincinnati Zoning Code for 3961 and 3923 Eastern Avenue, as described in the previous section.

- h) A request involving property located in a special flood hazard area, as designated by the Federal Emergency Management Agency.

A portion of the subject property is within a special flood hazard area.

Based upon the criteria above, the proposed subdivision meets the definition of a Major Subdivision. Section 300-09 of the Subdivision Regulations outlines the procedure for Major Subdivisions, which establishes that the City Planning Commission has the duty to hold a public hearing for Major Subdivision applications.

According to Section 300-09 (a) (6) *Decision*, the City Planning Commission shall approve a development plan application when it finds:

- (i) *City Plans.* The application is consistent with city-adopted land use plans.**

The proposed subdivision is consistent with *Plan Cincinnati* (2012), the *East End Urban Design Plan* (1977), and *Do You Live CT?* (2023). See “Consistency with Plans” of this report for more information.

- (ii) *Planning Principles.* The application is consistent with the general intent and purposes of these subdivision regulations.**

The proposed subdivision is generally consistent with General Provision Purposes outlined in Section 100-03 of the Subdivision Regulations.

- (iii) **City Administration Standards, Rules, and Regulations.** The application is consistent with applicable laws, rules, and regulations governing the proposed subdivision, including, but not limited to, subdivision lot standards set forth in these subdivision regulations, the Cincinnati Zoning Code, and the Flood Damage Reduction Chapter of the Cincinnati Building Code.

The proposed division of land was reviewed by the City of Cincinnati’s Coordinated Site Review (CSR) Advisory Team on January 16, 2025, to ensure the proposal was consistent with the City’s applicable development-related standards, rules, and regulations. All reviewing agencies were amenable to the application proceeding to review by the City Planning Commission, as shown in Exhibit C. The variances needed from the Cincinnati Zoning Code were identified through the process.

- (iv) **Design.** The subdivision is designed to minimize disturbance to natural topography, tree cover, and natural drainage ways to avoid adverse impacts on area stormwater drainage.

The proposed subdivision was reviewed by appropriate City departments and was determined to have a minimal disturbance to natural topography, tree cover, and natural drainage to avoid adverse impacts on stormwater.

- (v) **Access and Public Service.** Existing or proposed streets, sidewalks, driveways, and utilities that will serve the subdivision are configured and designed to minimize adverse impacts related to traffic circulation and to ensure the efficient provisions of all public services, including emergency services.

The proposed subdivision has been reviewed by the appropriate City departments as it relates to proposed sidewalks, driveways, and utilities through the CSR process, and the applicant has been made aware of the necessary rules and permits required for public services on this site. No major changes to public services are needed (Exhibit C).

- (vi) **Multiple Phases.** If applicable, the phasing plan will provide for an orderly and efficient development.

Not applicable to the proposed Major Subdivision.

CRITERIA/ANALYSIS – RELIEF FROM THE ZONING CODE:

Section 500-03 of the Subdivision Regulations states that the City Planning Commission may grant relief from the Cincinnati Zoning Code by conducting a review in the same manner and based on the criteria as prescribed by the Cincinnati Zoning Code. The applicant is requesting the following zoning relief:

Property	Section	Requirement	Proposal	Relief
Lot #1	1433-07, West Side Yard Setback	20 feet	0 feet	20 feet
	1433-03(a), Locational Variance	No accessory structures allowed in a side yard.	Two accessory structures proposed.	Allowance of two accessory structures in a side yard.
Lot #2	1433-07, Front Yard Setback	10 feet	0 feet	10 feet
	1433-07, Front Yard Setback	10 feet	0 feet	10 feet

Lot 1, 3961 Eastern Avenue (Proposed 3-Story Apartments)

- (1) Sec. 1413-07 – Variance – Variance of 20 feet from the front yard setback required depth of 20 feet to allow a zero-foot front yard setback along the north property line.
- (2) Sec. 1421-03(a) – Locational Variance – Locational variance to allow proposed accessory structures in a side yard. An in-ground pool and a restroom/pool utility building are proposed in the side yard to the west of the principal structure and require a locational variance.

Lot 2, 3923 Eastern Avenue (Existing 1-Story Building)

- (1) Sec. 1413-07 – Variance – Variance of 10 feet from the required depth of 10 feet to allow a zero-foot setback along the east property line.
- (2) Sec. 1413-07 – Variance – Variance of 10 feet from the required depth of 10 feet to allow a zero-foot setback along the west property line

This request was reviewed and analyzed by a Zoning Plans Examiner in the Department of City Planning and Engagement – Zoning Division. A detailed report and analysis are included as Exhibit D. The report recommends approval of the variances, determining that:

- The proposed lot configuration and redevelopment is compatible with the neighborhood’s existing development patterns and will not negatively impact nearby properties.
- Zero foot front and side setbacks are a substantial property right enjoyed by other properties in the immediate vicinity. For example, the property and buildings at 4023 Eastern Avenue and 4003 Eastern Avenue have zero foot front setbacks and zero foot side setbacks.

COORDINATED SITE REVIEW:

The proposed subdivision was reviewed by City departments through the Coordinated Site Review process. The Coordinated Site Review Advisory Team met with the applicant in January 2025 and issued a letter with their comments (Exhibit C). Departments shared requirements needed to obtain permits, and no major issues were identified.

PUBLIC COMMENT AND NOTIFICATION:

Per Section 300-09(a)(3) of the Subdivision Regulations, notice of complete application and the City Planning Commission meeting was sent to the applicant, property owners within 200-feet of the subject property, the East End Area Council, the Columbia Tusculum Community Council, and the 3East Community Development Corporation.

This request was posted in the City Bulletin due to relief from the Cincinnati Zoning Code. Per Section 300-09 (a)(2) of the Subdivision Regulations, a sign was also posted on the subject property to notify to the public that the application is under review by the City. The applicant presented the proposed project to the East End Area Council, the Columbia Tusculum Community Council, and the 3East Community Development Corporation and received letters of support from all three organizations (Exhibit E). No additional correspondence has been received.

CONSISTENCY WITH PLANS:

Plan Cincinnati (2012)

The proposed subdivision is substantially consistent with the Live Initiative Area of *Plan Cincinnati* (2012) through the Goal to “provide a full spectrum of housing options, and improve housing quality and affordability” (p. 164) and the Strategy to “Offer housing options of varied sizes and types for residents at all stages of life” (p. 169). It is also consistent with the Compete Initiative Area Goal to “Cultivate our

position as the most vibrant and economically healthiest part of our region” (p. 114) and the Strategy to “target investment to geographic areas where there is already economic activity” (p. 115) with an Action Step to “Focus development on the existing centers of activity” (p.116). The proposed subdivision will allow for the construction of a building with 20 residential apartment units on a vacant lot in the East End business district and support an existing business by allowing it to operate on its own adjacent lot.

East End Urban Design Plan (1977)

The proposed subdivision is consistent with the *East End Urban Design Plan (1977)* in the Columbia-Tusculum area Goal 2 to “Reinforce a constructed neighborhood activity center on Eastern Avenue including a revitalized commercial district and public functions,” and Goal 5 to “Upgrade the visual image of the community through landscaping, public improvement, new development, and removal of blighting influences” (p. 10). The proposed subdivision will allow 20 units of housing to be built in the Columbia Tusculum Neighborhood Business District on a vacant lot while allowing an existing business to operate on its own adjacent lot.

Do You Live CT? (2023)

The proposed development is located within the Columbia Tusculum Neighborhood Business District and is also consistent with the Columbia-Tusculum neighborhood plan *Do You Live CT? (2023)* Housing and Development Theme Area Goal 1 to “Embrace and promote density in the neighborhood,” and the Action Step 1.1.1 to “Focus on not just single-family, but also two-family, four-family, and multi-family developments” (p. 35). The proposed subdivision will facilitate the development of multi-family residential housing.

RECOMMENDATION:

The staff of the Department of City Planning and Engagement recommends that the City Planning Commission take the following actions:

- 1) **ADOPT** the Department of City Planning and Engagement findings that the proposed division of land is generally consistent with the General Provision Purposes outlined in Section 100-03 of the Subdivision Regulations as detailed in this staff report;
- 2) **ADOPT** the Department of City Planning and Engagement findings, analysis, recommendation, and conditions of the zoning special exception as outlined in the Zoning Relief Staff Report (Exhibit D);
- 3) **APPROVE** the variances requested from the Cincinnati Zoning Code as outlined in the Zoning Relief Staff Report (Exhibit D); and
- 4) **APPROVE** the proposed Development Plan and Final Plat for 3961 Eastern Avenue in East End, based on the fact that the proposed subdivision is substantially consistent with Section 300-09(a)(6) and Section 300-09(c)(1).

Respectfully submitted:



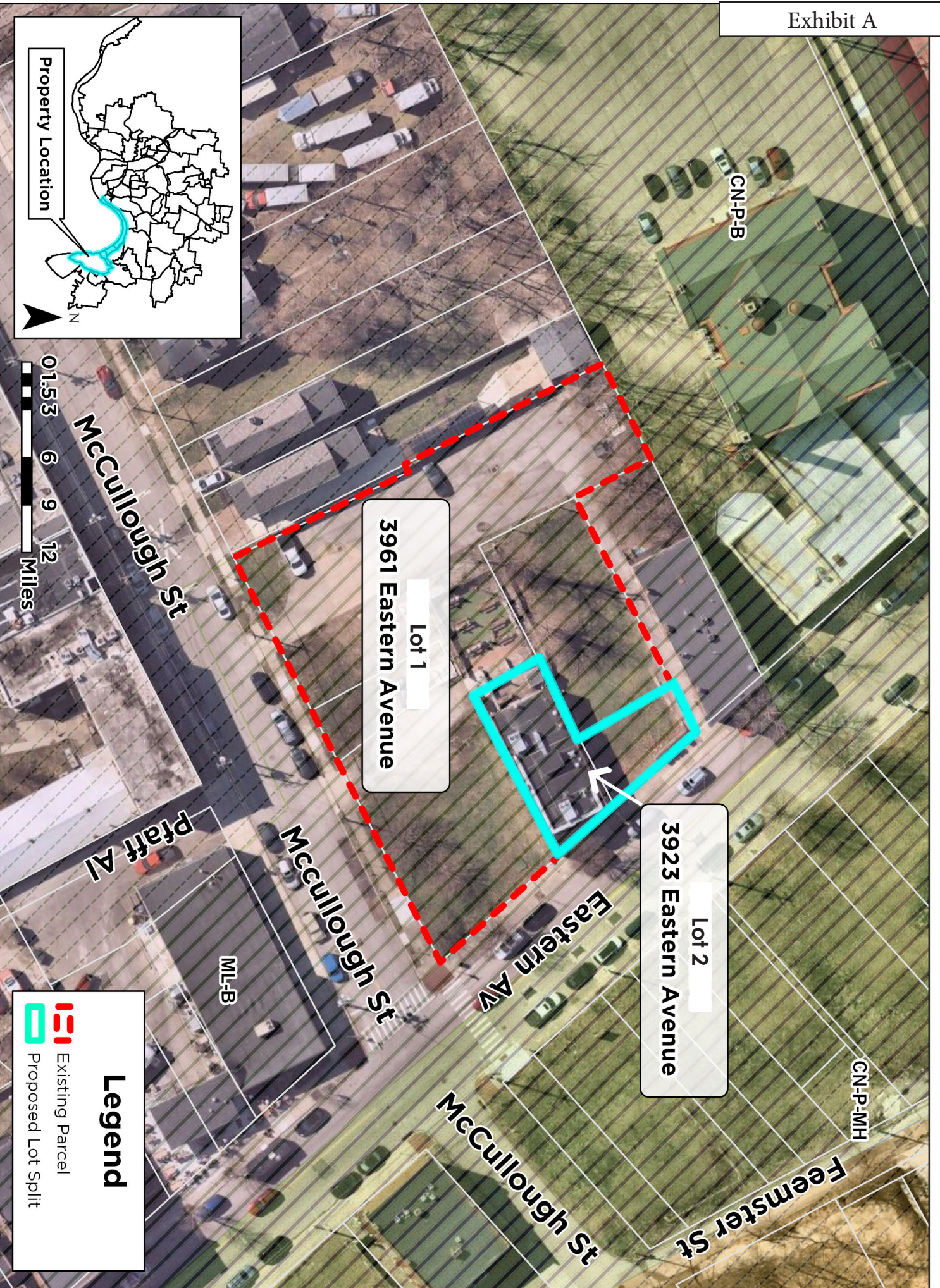
Maria Dienger, Senior City Planner
Department of City Planning and Engagement

Approved:



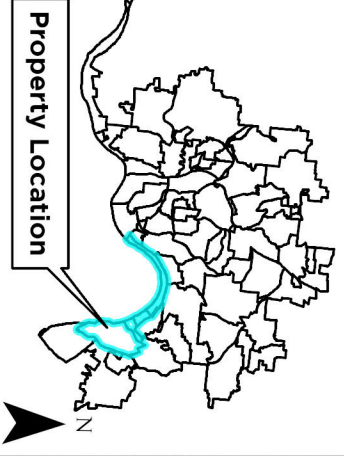
Katherine Keough-Jurs, FAICP, Director
Department of City Planning and Engagement

A Proposed Subdivision at 3961 Eastern Avenue in East End





3923 Eastern Avenue
Lot 2

3961 Eastern Avenue
Lot 1



Legend

-  Existing Parcel
-  Proposed Lot Split

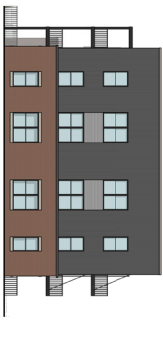
Eastern Avenue Apartments

EASTERN AVE & McCULLOUGH ST | CINCINNATI, OH 45226

STATUS
PRELIMINARY
 NOT FOR CONSTRUCTION

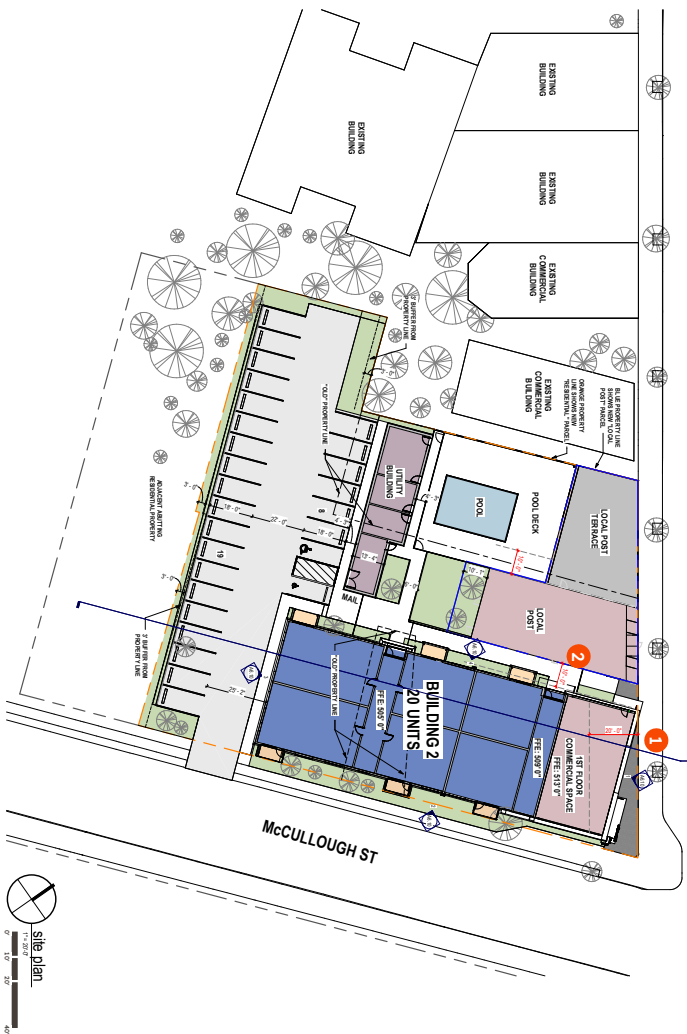
REVISION	DATE	DESCRIPTION

PROJECT NUMBER: 2021.441
 DATE: 12 AUGUST 2025
 SHEET NAME: EXTERIOR ELEVATIONS
 SHEET NUMBER: A6.10



Building 2 - east elevation
Scale: 1/8" = 1'-0"

Building 2 - north elevation
Scale: 1/8" = 1'-0"



VARIANCE KEY

- 1 0' FRONT YARD SETBACK AT EASTERN AVE REQUIRES VARIANCE FROM REQUIRED 20' SETBACK
- 2 0' LOT LINE SEPARATION AT SIDE YARD REQUIRES A VARIANCE
- 3 RETAINING WALLS OVER 8' IN HEIGHT REQUIRE A VARIANCE
- 4 CUMULATIVE CUT AND FILL OVER 8' REQUIRES A VARIANCE
- 5 CORNER SIDE YARD PARKING LOT REQUIRES VARIANCE
- 6 INCREASED PARKING WITH EXCLUSION OF PARKING ISLANDS REQUIRE VARIANCE



REVISION	DATE	BY

PROJECT NUMBER: 2021 441
 DATE: 12/AUGUST 2025
 SHEET NAME: SITE PLAN
 SHEET NUMBER: **A1.00**

PRELIMINARY
 NOT FOR CONSTRUCTION

Eastern Avenue Apartments

EASTERN AVE & McCULLOUGH ST | CINCINNATI, OH 45226

md design
 1 1410 River Front
 Cincinnati, OH 45202
 P 513.407.8280
 www.designfirm.com



January 16, 2025

Mr. Kam Smith
Bayer Becker
1404 Race Street, Suite 204
Cincinnati, Ohio 45202

Re: 3960 Eastern Avenue | Post Office Place (D) – **(CPRE240111)** Final Recommendations

Dear Mr. Smith,

This letter is to inform you that our CSR Advisory-TEAM and CSPRO Committee has reviewed your proposed 76 unit apartment building development as well as dedicated off-street parking lots. The south site will have a street level retail space at the corner of Eastern Avenue and McCullough Street. There will also be a private pool on the site. The north site will have a small building on the far west of the site that houses amenities for the apartment residents. The information provided is the recommendations of the City of Cincinnati and must be followed as you move forward with your project. As a reminder, we will have a **Microsoft Teams conference call meeting** with you on **January 21, 2024 @ 10 am** to discuss this information. Please see the feedback listed below. Thank you for developing within the City of Cincinnati.

City Planning & Engagement – Planning Division

Immediate Requirements to move the project forward:

1. If any division of land is required, City Planning will need to conduct a Subdivision review. If a subdivision of land is needed and it is within a Hillside or Floodplain, a Major Subdivision will be required which will require review by the City Planning Commission. Please reach out to planning with more information if the reconfiguration of land includes a subdivision.
2. See Zoning's comments for detailed zoning requirements.

Requirements to obtain permits:

- None

Recommendations:

1. The applicant is encouraged to engage the East End Area Council and adjacent property owners. Contact information for the community council can be found here: <https://bit.ly/CommunityCouncilContacts>

Contact:

- **Maria Dienger** | City Planning | 513-352-4840 | maria.dienger@cincinnati-oh.gov

City Planning & Engagement – Zoning Division

Immediate Requirements to move the project forward:

1. Consolidation of parcels is required.
2. The accessory parking lot is partially in the rear of the building (required) and partially in the side/corner side yard (variance required for a location in the side yard) as per section 1409-04 part B 2 part vii .
3. The 5' buffer requirement between the parking lot and Feemster Street is partially conforming to the new landscaping requirements but zoning relief is needed based on section 1425-29 part A for the portion that does not conform. A 3' buffer is required on the west property line. It appears that the required landscaping along Feemster conforms, but landscaping within the parking lot does not.
4. The size of the main parking lot exceeds the 10,890 SF maximum allowed as per section 1425- 29 part B, since there are no islands in the main portion of the parking lot (staff has calculated that portion at approximately 12,500 SF). The spaces along the driveway are fine since there is an island along the north edge.
5. The required amount of parking is 23 spaces for the 56 residential units (1/2 a space for units 11-56) as per the new connected communities code (section 1413-04). The amount of parking spaces is conforming.
6. The building height is measured at the existing grade at the downhill and uphill locations of the new façade. The downhill existing grade is 514 ASL so the top of the envelope would be 564 ASL for this façade. The uphill existing grade is at an average of approximately 520 ASL so the top of the envelope on the uphill façade is 570 ASL. The building appears to conform to the building envelope height limit.
7. Multi-family use is permitted in the CN-P-MH district at a density of one unit per 700 SF of land area. The parcel is 1.13 acres = 49,222 SF. The parcel size would allow for 70 units on the site, so the proposed 56 units is conforming.
8. Bufferyard "A" is required (10' width with a screen fence) along the north edge of the property where the property abuts the RMX zone. A special exception from section 1423-13-A would be needed for areas where the it does not conform to the 10' distance and for areas where there is parking spaces within 10' of the property line.
9. Hillside excavation and fill relief is needed as per section 1433-19 part G. The total cumulative excavation and fill is 20' from 536 ASL at the uphill location down to 516 ASL (lowest elevation within the hillside overlay) so relief of 12' is needed from the 8' limit.
10. The CN-P district setbacks are a minimum of zero for front, sides, and rear. The proposed setbacks are conforming.
11. The retaining wall along the north side of the parking lot is 9' tall at its tallest point and would need 1' of hillside relief from the 8' retaining wall height limit in a hillside overlay based on section 1433-19 part D.

3923 Eastern Site (south side of Eastern) Zoned ML-B

12. It appears that the parcels will be re-configured for the proposed use. Confirmation of the setbacks from the new parcel lines to the existing restaurant building is needed and if any variances would be needed.

13. It appears that the proposed building has conforming side setbacks of 10' and 5' (ML requires min. 3' and 9' side setbacks for residential). The rear setback conforms to the required 25'.
14. The side setback for non-residential use is a minimum of 10' and a total of 20' so a 5' variance for the first floor commercial space for the east side setback to allow a 5' setback would be needed. The west side setback is 10' and conforming.
15. A front yard setback variance of 20' is needed to allow a zero front setback to Eastern Ave. for the new building as per section 1413-07 which requires a 20' front setback. This is a corner lot, and the Eastern frontage is the front based on the smaller dimension of the two frontages.
16. The parking lot is at the rear of the building and conforming to the ML-B requirement to be in the rear. The 5' buffer between the parking lot and the street is conforming to the new landscaping requirements. Additional information on how the landscaping conforms to the parking lot landscaping requirement of section 1425-29 is needed (specifically the 3' perimeter buffer and the required tree plantings).
17. The required parking is 5 spaces for the 20 residential units (1/2 a space for units 11-20) and zero spaces for the commercial space as per the new connected communities code (section 1413-04). The amount of parking spaces is conforming.
18. The building height appears to be approximately 26' at the Eastern frontage. This conforms to the 45' height limit of the ML-B district.
19. Multi-family use is permitted in the ML-B if the parcel abuts another residential property. It appears that the subject property abuts a residential property and is conforming to this parameter. The density is unlimited in the ML-B district.
20. The first floor commercial space is outlined for retail, which is a permitted use in the ML-B district if it is less than 5,000 SF.

Requirements to obtain permits:

1. All exterior light sources on private property, including canopy, perimeter, and flood, must be energy-efficient, stationary, and shielded or recessed within the roof canopy to ensure that all light is directed away from adjacent properties and public rights-of-way. The maximum height may not exceed 20 feet above grade.

Recommendations:

- None

Contact:

- **Wes Munzel** | ZPE | 513-352-2442 | weston.munzel@cincinnati-oh.gov

Metropolitan Sewer District (MSD)

Immediate Requirements to move the project forward:

- None

Requirements to obtain permits:

1. Each site will require its own detention system. Contact Dave Siegert 513-557-7053 or <David.Siegert@cincinnati-oh.gov> for review.

2. Where construction will be in the flood plain, all connections to the sewer system must be flood proof to 1' above the base flood elevation.
3. In areas where there are combined sewers and storm sewers, storm connections will be made to the storm sewer.
4. All site utility plans must include the following items:
5. Specify tap material as 6" PVC SDR-35 @ 2% min slope.
6. Add invert elevation at tap connection point to the sewer main.
7. Show cleanout at ROW or easement line.
8. Add rim elevation of upstream manhole.
9. Add note: "If lowest level elevation is below rim elevation of upstream manhole, then tap must include backflow prevention or be pumped to gravity."
10. Show existing sewers and associated easements on the site plan.
11. Include the lowest level elevation of the building.
12. An approved Request for Availability of Sewer Service will be required. Go to MSDGC.org/development to apply online.

Recommendations

- None

Contact:

- **Rob Kern** | MSD | 513-244-5588 | rob.kern@cincinnati-oh.gov

Stormwater Management Utility (SMU)

Immediate Requirements to move the project forward:

- None

Requirements to obtain permits:

1. Detention is required.
 - The development east of Eastern Avenue will be to MSD rules and regulations.
 - Development to the west of Eastern Avenue will be either SMU or MSD. If tying into SMU use SMU rules, refer to SMU Rules & Regs, Chapter 12 [https://cincinnati-oh.gov/sites/stormwater/assets/File/smu_rules_and_regs\(1\).pdf](https://cincinnati-oh.gov/sites/stormwater/assets/File/smu_rules_and_regs(1).pdf)
 - If not tying into SMU, MSD rules and regulations will apply.
 - Submit following documents - detention calculations, drainage map, detention control structure with elevations, detentions shop drawings (manufacturer drawing), major storm calculations / flood routing.
2. Utility Plan
 - Verify existing SMU structures.
 - Label all pipes materials.
 - In the public R/W, pipes to be DIP or RCP.
 - Show Top & Invert elevations for all Appurtenances.
 - Show slopes for all pipes.
 - No pipes connections allowed into Public Inlets.
3. Grading Plan
 - Grading must show existing and proposed contours.
 - Impervious surfaces are NOT permitted to drain towards adjacent properties.
 - Contours changes are NOT allowed to push more runoff towards adjacent properties (as compared to pre-development conditions).
 - Runoff from all pavements must be captured and conveyed to the stormwater system. Only 800 sf of pavement may sheet flow to the public R/W.

4. Erosion & Sediment Control Plan is required. Refer to link: <https://cincinnati-oh.gov/stormwater/construction-and-design/standards/sediment-and-erosion-control/>.
5. SMU Standards Plans Notes is required. Refer to link: <https://www.cincinnati-oh.gov/stormwater/construction-and-design/standards/smu-standard-plan-notes-april-2022/>
6. SMU will require an As-Built survey at the end of construction. The survey should include the following information:
 - o State Plane Coordinates (N,E) for all MH's and Catch Basins.
 - o Inverts and Top elevations for all MHs and Catch Basins.
 - o Slopes, sizes, and materials for all storm lines.

Recommendation:

- None

Contact:

- **Kevin Gold** | SMU | 513-222-3643 | kevin.gold@cincinnati-oh.gov

Water Works

Immediate Requirements to move the project forward:

- None

Requirements to obtain permits:

1. A stamped and recorded consolidation plat is required for both north and south sites before any new branch(es) or meters are sold.
2. **Owner/developer will need to pay in full the frontage charge on Feemster Street for 317.42 feet of frontage at \$1.10 per lineal feet in the amount of \$349.16. This fee can be paid at the time of the branch sale.**
3. The subject development has active and inactive water service lines at the following property:

Address	Branch #	Size	Meter #	Size	Notes
3919 Eastern Av.	H-27052	5/8"	037453	5/8"	*Lead on public and private sides
3938 Eastern Av.	H-28520	5/8"	034485	5/8"	*Lead on public and private sides
3946 Eastern Av.	H-34173	3/4"	055632	5/8"	*Lead on private side
3957 Feemster St.	H-196045	3/4"	196045	5/8"	
255 McCullough St.	H-51379	3/4"	008040	5/8"	*Lead on private side
263 McCullough St.	H-51787	5/8"	058187	5/8"	*Lead on public and private sides
3942 Eastern Av.	H-156272	3/4"-FOD			
3954 Eastern Av.	H-32086	5/8"-FOD	** Not useable;		Lead on public and private side
3985 Eastern Av.	H-33380	5/8"-FOD	** Not useable;		Lead on public and private side
3936 Eastern Av.	H-34202	3/4"-FOD			*Lead on private side
3956 Eastern Av.	H-48008	5/8"-FOD	** Not useable;		Lead on public and private side
3948 Eastern Av.	H-50701	5/8"-FOD	** Not useable;		Lead on public and private side
3917 Eastern Av.	H-52926	5/8"-FOD	** Not useable;		Lead on public and private side
3962 Eastern Av.	H-27132	5/8"-FOD	** Not useable;		Lead on public and private side
3964 Eastern Av.	H-30468	5/8"-FOD	** Not useable;		Lead on public and private side
261 McCullough St.	H-51787	5/8"-FOD	** Not useable;		Lead on public and private side

** Ferrule Ordered Drawn (FOD) -this inactive branch cannot be repurchased.

* Please note that there are known health risks with lead service lines. Greater Cincinnati Water Works records indicate the existing private side of these water service lines (H-34173, H-51379, and H-34202) and the public side and private side of these water service branches. (H-27052, H-28520, and H-51787) at this site are Lead Service lines. In accordance with CMC Chapter 401 Division M, the water service lines should be replaced with copper service lines if they are to remain or reactivated.

4. If the water service branch(es) are not to remain, the owner would be required to fill out the online Discontinuance Form (FOD) at <https://www.cincinnati-oh.gov/water/engineering-construction/forms-specifications/fod/> authorizing the discontinuance of the account associated with the existing water service branch(es). This process must be completed before any new water service branch(es) can be sold.
5. If the existing water service branch(es) for this project is not to be used for this development, it must be disconnected at the owner's / developer's expense. The discontinued branch(es) will require a drawing showing the branch(es) and branch number(s) that is to be physically disconnected from the main. Submit to Phil Young at Phillip.Young@gcww.cincinnati-oh.gov

Recommendations:

1. The Owner(s)/Developer(s) will need to hire a Greater Cincinnati Water Works certified licensed and bonded fire protection company and plumber to perform the private water service branch design work and installation.
2. The Owner(s)/Developer(s) must have a licensed fire protection company and plumber that is bonded and certified with GCWW and fill out the Online Branch application <https://www.cincinnati-oh.gov/water/engineering-construction/forms-specifications/> for water service.

Contact:

- **Rick Roell** | WaterWorks | 513-591-7858 | richard.roell@gcww.cincinnati-oh.gov

Fire Department

Immediate Requirements to move the project forward:

1. Provide a site plan confirming that there are at least 2 readily accessible fire hydrants within 400 feet of all parts of the structure.
2. The minimum fire flow requirements are 2000 gallons/per/minute (GPM) @ 20 pressure/per/square inch (psi) (138Kpa).
3. Fire Department Connections are to be within 50' of a fire hydrant.

Requirements to obtain Permits:

1. Access Streets, Roadways or Driveways. (b) The surface shall be of sufficient strength and type to adequately support any fire division apparatus under any weather conditions.
2. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet.
3. The angles of approach and departure for fire apparatus access roads shall be within the limits established by the fire code official based on the fire department's apparatus.
4. Dead-end fire apparatus access roads in excess of 150' in length shall be provided with an approved area for turning around fire apparatuses.
5. Building 1 will require a Bi-directional antenna installed.
6. The weight of our apparatus is as follows:

Apparatus	Width	Length	Height	Weight	Front axle	Rear axle	Turn radius inside/outside
Ladder	10'	41'10"	11' 9"	70,000	21,600	48,000	35.45/39.25
Engine	10'	31'6"	9'5"	44,000	20,000	24,000	34'6"/41'6"
Ambulance	9' 4"	22'2"	9' 2"	18,500			34'/41'

Recommendations:

- None

Contact:

- **Gregory Phelia Jr.** | Fire Dept. | 513-357-7598 | gregory.pheliajr@cincinnati-oh.gov

Office of Environment and Sustainability (OES)

Immediate Requirements to move forward with project:

- None

Requirements to obtain permits:

1. If site plans require excavation or fill of quantities above 500 cy, an environmental review will be required by OES. When completing the excavation and fill permit, identify the disposal and borrow site locations for all material. "TBD" will not be accepted. Specify if fill material will be soil or engineered fill, such as sand or gravel.
2. If offsite sourced fill is to be placed onsite which exceeds 500 cy, then it must receive OES environmental approval as per City Municipal Code Chapters 1101 and 1031. A current Phase I ESA performed to the ASTM Standard E1527-21 of the proposed offsite borrowing source property must be submitted for review. Stockpiled soils that will be used as fill material from an offsite borrow source require environmental sampling and analysis and the results be submitted for review. Please contact OES for a recommended sampling plan.
3. Commercial waste, including construction and demolition debris, generated during this development project must utilize a City franchised commercial waste collection service per Cincinnati Municipal Code Chapter 730. Additional information can be found at <https://www.cincinnati-oh.gov/oes/commercial-waste-hauler-program/>.

Recommendations:

1. The following recommendation is based on State of Ohio requirements:
 - a. Due to the age of the existing site building, asbestos, lead based paint, and other hazardous building materials should be surveyed and, if needed, abatement should be conducted following all applicable state regulations prior to its renovation.
2. The following recommendations are based on adopted City of Cincinnati environmental and sustainability policies in support of the Green Cincinnati Plan:
 - a. The project site is mapped within a flood zone. Site development precautions should be taken for riparian and flash flooding concerns.
 - b. The development design should consider the locally increasing storm intensities and its detrimental effects on hillside stability. A City resilience goal is to have no increase in storm damage remediation costs.

- c. The development goal should be to earn at a minimum the LEED Certified rating level.
- d. Rooftop solar should be considered in the design as a renewable energy source.
- e. Site parking should include electric vehicle charging stations.
- f. Site areas designated for trash dumpsters should also have at least equal space designated for recycling dumpsters.
- g. The use of trees in the landscape design should be included to enhance urban forestry.
- h. The use of pervious surfaces should be maximized to the extent practical in the design.
- i. Landscape design should consider the use of native species.
- j. The use of heat reflective surfaces in paved parking areas should be considered to reduce the heat-island effect.

Contact:

- **Amanda Testerman** | OES | 513-352-5310 | amanda.testerman@cincinnati-oh.gov

Parks Department (Urban Forestry)

Immediate Requirements to move the project forward:

- None

Requirements to obtain permits:

1. Tree protection standards must be incorporated into the project specifications with tree protection zones established around any existing public trees adjacent to the construction limits of the project that could be impacted. These standards can be found under the SUPPLEMENT TO STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS, SEC. 105.072
2. If existing public trees need to be removed during the course of this project, or if excavation is to occur within 15' of a public tree, a public tree work permit must be issued to the developer by Urban Forestry before the work can proceed as is covered under CMC 743-19. The developer shall also reimburse the city for the valuation of any public trees that are removed due to this project. Permit can be obtained by contacting the Urban Forester for the East District, Marianne Prue, at Marianne.prue@cincinnati-oh.gov

Recommendations:

1. The Cincinnati Park Board and the Urban Forestry Program encourage the developers to integrate street trees and landscape plans which include tree plantings to create more sustainable and attractive urban spaces. The inclusion of new street trees would help to advance the City's Climate Safe Neighborhoods initiative and elements of the Green Cincinnati Plan. Trees improve air quality, reduce the urban heat island, and enhance the aesthetics and livability of streets, while also boosting property values and supporting economic activity.

Contact:

- **Garrett Dienno** | Urban Forestry | 513-484-4573 | garrett.dienno@cincinnati-oh.gov

Department of Transportation & Engineering (DOTE)

Immediate Requirements to move the project forward:

- None

Requirements to obtain permits:

1. Provide fully dimensioned right-of-way plans. Show the right of way/property lines.
2. Remove unused driveway aprons and restore them to City standards.
3. Feemster needs to have 4' clear pedestrian space as previously discussed. The location shown appears to accomplish that.
4. The sidewalk at the corner of Feemster and McCullough needs to meet ADA. No steps permitted. Sidewalk grade is allowed to follow the grade of the street.
 - a. A curb ramp needs to be provided.
5. Eastern and McCullough (both sites) needs to have a minimum of 10' of right of way from the face of the curb. For all sides of both sites, provide a DOTE standard 6" high concrete curb and a 2% cross slope from back of curb to back of walk.
 - a. All finished floor and door openings need to be set accordingly.
6. The proposed bump outs are generally acceptable to DOTE.
 - a. Grading will need to be provided and ensure proper drainage.
 - b. Bump outs are 6', not 8'.
 - c. Ramps must meet ADA. Poles cannot be within the landings of a curb ramp
7. The proposed driveways are to meet City standards. Be sure that proper clearances are met with the proposed locations.
8. Talk to the Community Council about the paver bricks at the corners. They will probably want them to remain.
9. All walls and foundations are to be on private property.
10. A separate DOTE permit is required for all work in the public right-of-way.
 - a. Approval of the building permit is not approval for proposed work in the right of way.
11. Based on the plans provided, the assigned addresses for Bldg #1 are: 3950 (clubhouse/leasing), 3954, 3956, 3958, and 3960 EASTERN AVE. For Bldg #2, the assigned addresses are: 3961 EASTERN AVE (commercial space), 2963 and 2965 MCCULLOUGH ST. Once constructed, the assigned address numbers must be posted and visible from the street that it is on. Contact DTEaddress@cincinnati-oh.gov with questions.

Recommendations:

- None

Contact:

- **Morgan Kolks** | DOTE | 513-335-7322 | morgan.kolks@cincinnati-oh.gov

Buildings & Inspections – Buildings

Immediate Requirements to move the project forward:

- None

Requirements to obtain permits:

1. Verify the “Basement” does not qualify as a story above grade.
2. A Geo-technical report is needed at the time of building permit submission.
3. Special Inspections will be required.

4. A manual fire alarm system will be required.
5. The building shall be equipped with a fire suppression system.
6. A detailed code analysis will be required.

Recommendations:

- None

Contact:

- **Art Dahlberg** | B&I Plans Exam | 513-352-2424 | art.dahlberg@cincinnati-oh.gov

Law Department

Immediate Requirements to move the project forward:

1. No requirement at this time.
2. If this development were to create an encroachment in City right of way or property, a permanent change in the use of City right of way or City property or would require additional right of way to be dedicated, a Coordinated Report will be required. Application for Coordinated Report can be requested at real.estate@cincinnati-oh.gov.

Requirements to obtain permits:

- None

Recommendations:

- None

Contact:

- **Renee Luttrell** | Law | 513-352-3338 | renee.luttrell@cincinnati-oh.gov

Department of Community & Economic Development (DCED)

Immediate Requirements to move the project forward:

- None

Requirements to obtain permits:

- None

Recommendations:

- None

Contact:

- **Robert Bertsch** | DCED | 513-352-3771 | robert.bertsch@cincinnati-oh.gov

Health Department

Immediate Requirements to move the project forward:

- None

Requirements to obtain permits:

- No need for Health to review project as proposed.

Recommendations:

- None

Contact:

- **Trisha Blake** | Health Dept. | 513-352-2447 | trisha.blake@cincinnati-oh.gov

Police Department

Immediate Requirements to move the project forward:

- None currently.

Requirements to obtain permits:

- No comments.

Recommendations:

- None

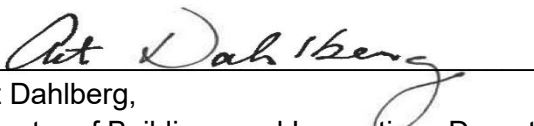
Contact:

- **Katalin Howard** | Police Dept. | 513-352-3298 | katalin.howard@cincinnati-oh.gov
- **Brandon Kyle** | Police Dept. | 513-564-1870 | brandon.kyle@cincinnati-oh.gov

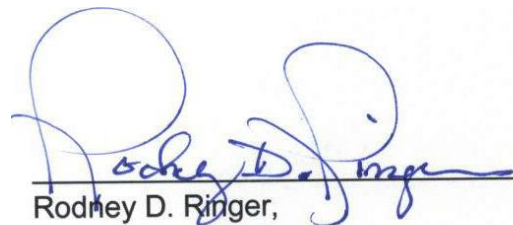
FINAL ACTION: The CSR Advisory-TEAM and CSPRO Committee believes that the proposed project plans are moving in the appropriate direction and recommends that the project move forward to the City Planning Commission subject to the following condition.

- **The subject development must follow the requirements listed above to ensure that the development meets the requirements of all agencies as they apply for all permits.**

Sincerely,



Art Dahlberg,
Director of Buildings and Inspections Department
& CSPRO Committee Chair



Rodney D. Ringer,
Development Manager

AD:RDR:hs

**APPLICATION FOR WRITTEN ADMINISTRATIVE DECISION
CITY OF CINCINNATI PLANNING COMMISSION
STAFF REPORT**

APPLICATION #: N/A
APPLICANT: Bayer Becker Engineers
OWNER: Post Office Place LLC / Towne Properties
ADDRESS: 3923 Eastern Ave. and 3961 Eastern Ave.
PARCEL: 0027-0006-0164; 0094; and 0097
ZONING: ML-B, Manufacturing Limited-Neighborhood Business District
COMMUNITY: Columbia Tusculum / East End
REPORT DATE: 10/20/2025
HEARING DATE: City Planning Commission 11/7/2025
STAFF REVIEW: Weston Munzel, Zoning Plan Examiner

Details of Zoning Relief Required:

3923 Eastern Ave. (existing Local Post restaurant building with proposed new parcel lines)

- **Section 1413-07- Variance** - Proposed 10’ side setback variance to the east side of the existing building to allow a zero foot setback to the east side property line.
- **Section 1413-07- Variance** - Proposed 10’ side setback variance to the west side of the existing building to allow a zero foot setback to the west side property line.

3961 Eastern Ave. (proposed new building)

- **Section 1413-07- Variance** - Proposed 20’ variance to the front setback requirement to allow a zero ft. front setback to a new building. Residential buildings in the ML-B district require a 20’ front setback. The proposed new building has a zero foot front setback to Eastern Ave. (Eastern Ave. is considered the front yard on this corner lot).
- **Section 1421-03(a)- Locational Variance** - Proposed accessory structures in a side yard. An in-ground pool and a restroom/pool utility building are proposed in the side yard to the west of the principal structure and require a locational variance.

Applicable Zoning Code Sections:

1445-15, 13: Standards for Variances; General Standards, Public Interest
1413-07: Manufacturing District Zoning District Regulations
1421-01: Accessory Residential Structures

Existing Conditions:

The subject property currently contains an existing restaurant building and a vacant area on three parcels. The subject property and surrounding area on the east, west and south are zoned Manufacturing Limited- Neighborhood Business District (ML-B) and the land to the north across Eastern Ave. is zoned commercial (CN-P-B). The surrounding area has a mix of commercial, office, restaurant and residential land uses. Please see the following images showing the subject property.



Aerial showing subject property outlined in red.



Google street view of the subject property from Eastern Ave.



Google street view of the subject property from McCullough Street.



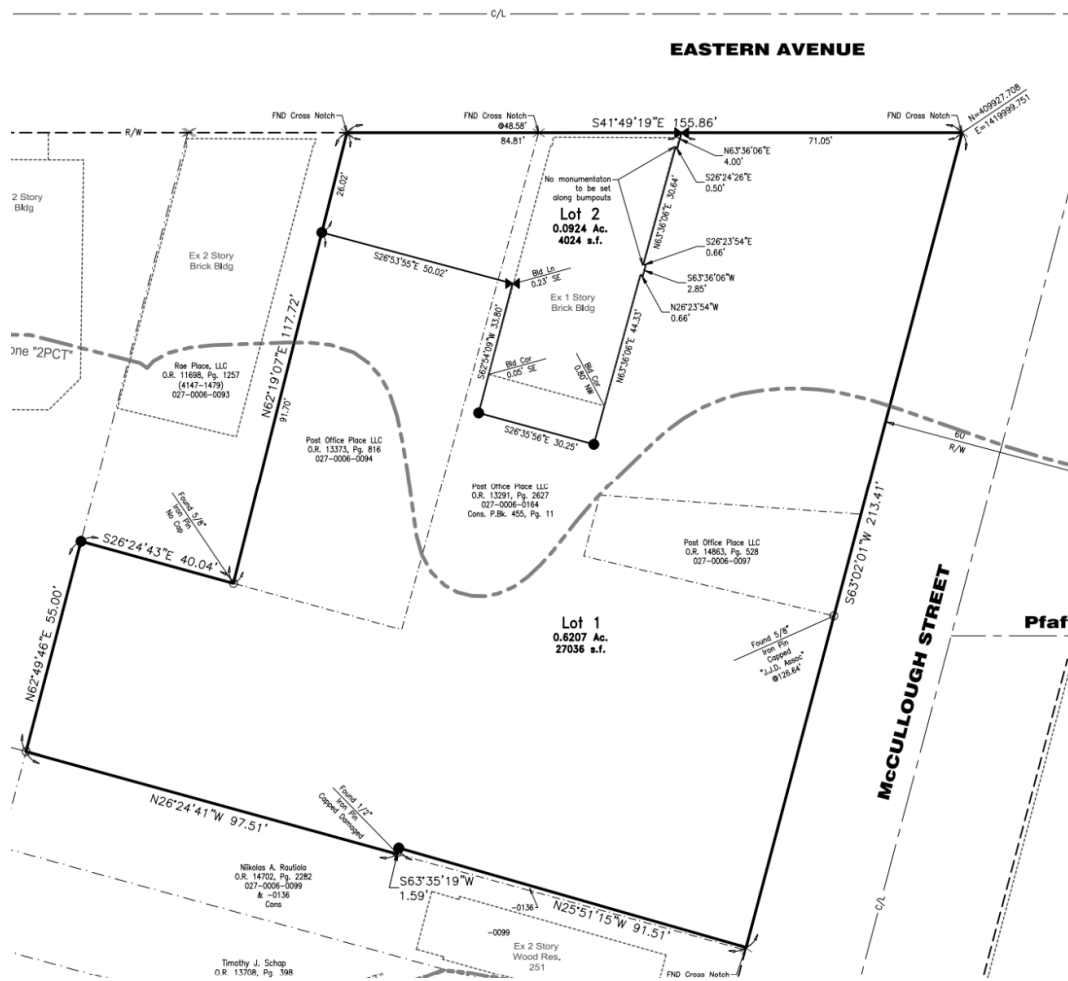
Existing conditions site plan.

Proposed Conditions:

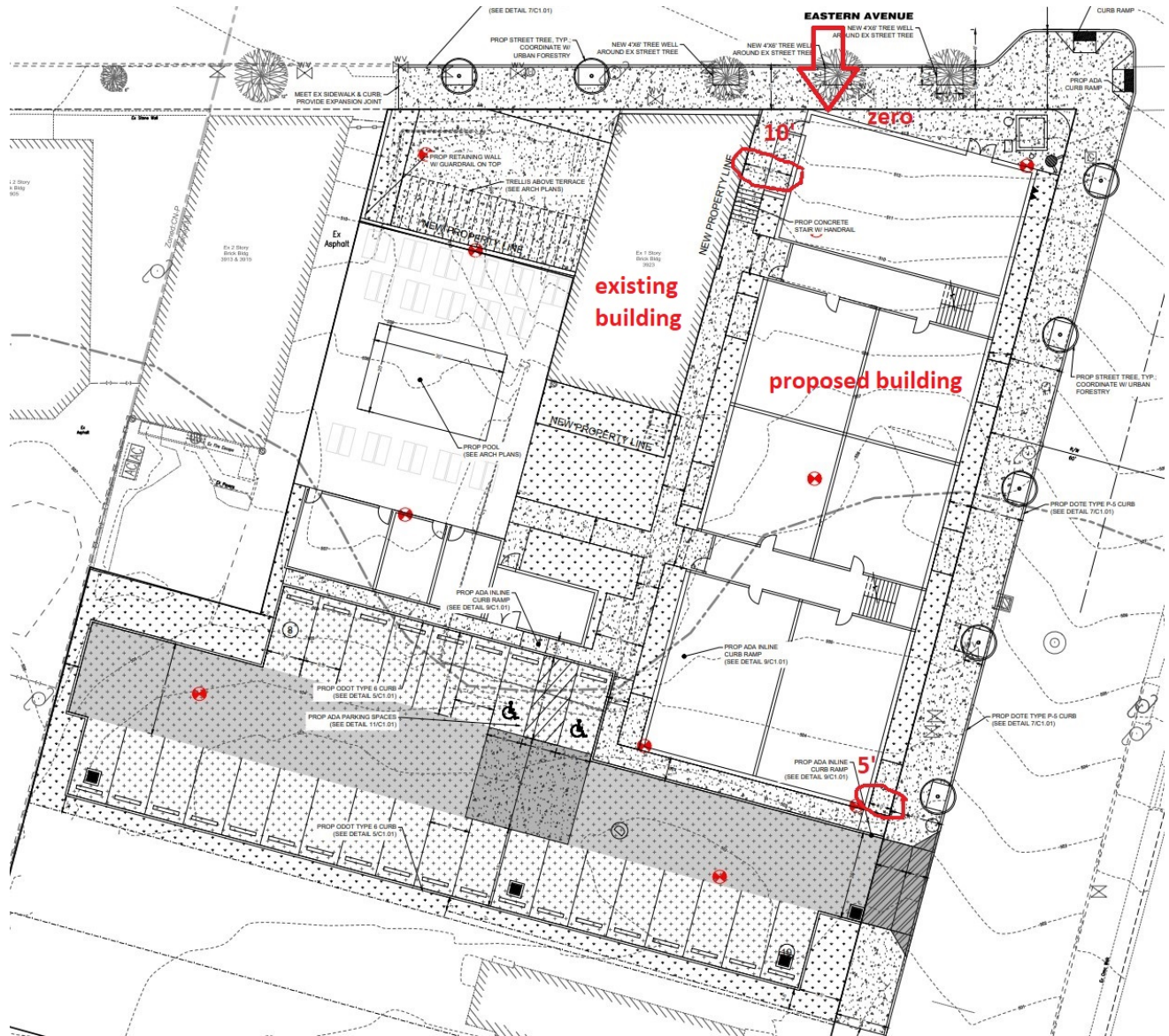
The applicant has requested setback variances for two newly created parcels (re-configuring the existing parcels into two new parcels). One parcel would have an existing building on it and the 2nd parcel would have a proposed new building on it. Due to the existing/proposed structures on the new parcels, the proposed subdivision requires setback variances and also an accessory structure locational variance.

The proposed new parcel lines for the parcel with the existing building on it create a situation with zero foot side setbacks on both the east side and the west side and 10' side setbacks are required- so 10' side setback variances are required on both sides.

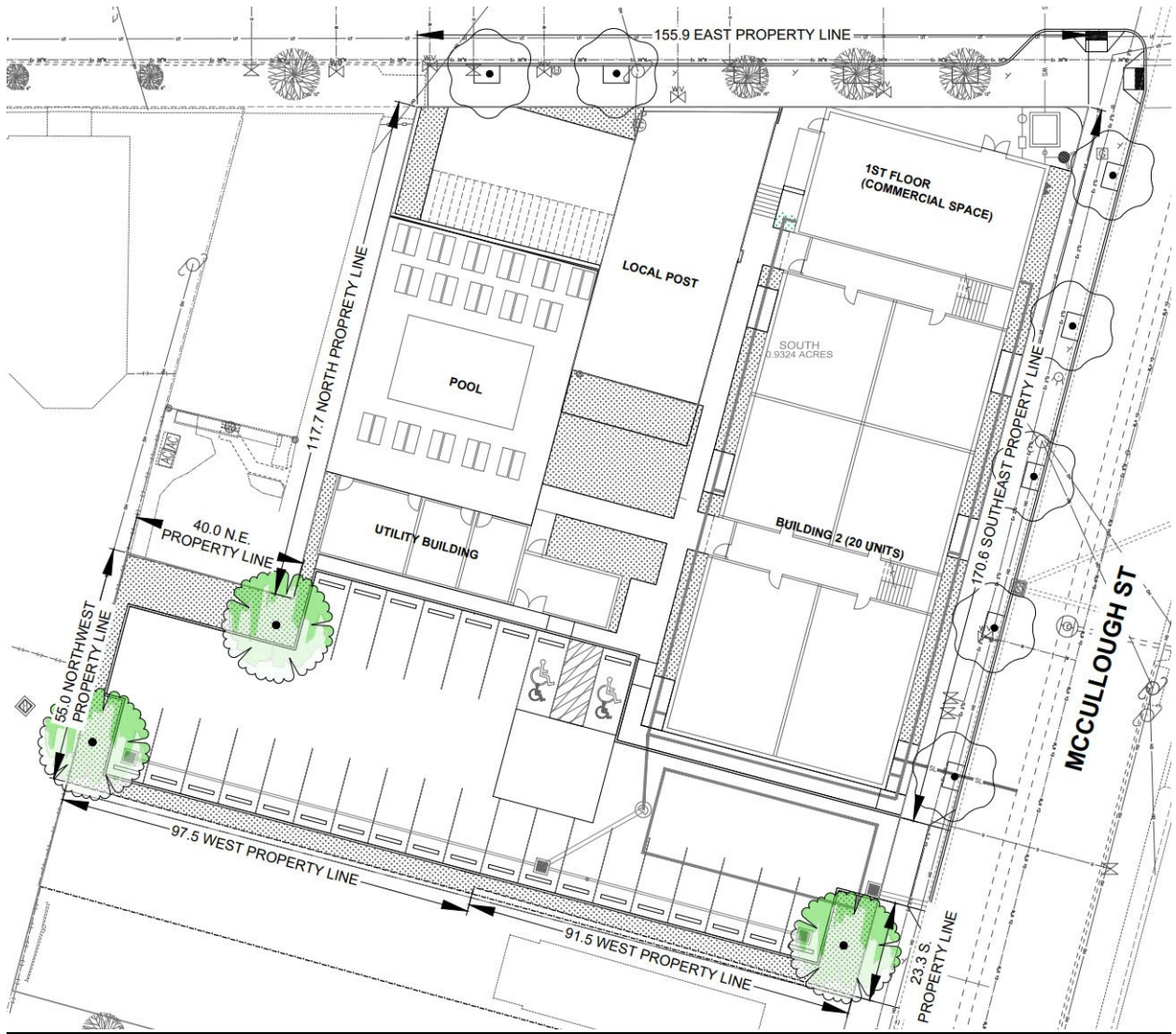
The new parcel with a proposed 20 unit new building with 27 off-street parking spaces and a pool- proposes a zero foot front setback and a 20' front setback is required- so a 20' front setback variance is required. The side setbacks conform to the residential building requirements (3' minimum and 12' total). Also, the location of an in-ground pool and restroom/utility building in the side yard requires a locational variance.



Proposed subdivision into Lot 1 (proposed new building) and Lot 2 (with the existing building)



Overall site plan showing the proposed new building, existing building as well as parking in the rear for the new building.



Landscaping Plan.

1445-15 - Variance Analysis

Per Section 1445-15 Standards the following questions must be answered:

- **Was a condition giving rise to the request for the variance created by the owner or any predecessor in title?** Yes, the proposed subdivision and new construction of principal and accessory structures are proposed by the owner as per the drawings submitted with their application.
- **Is the variance contrary to the intent and purpose of this Code?** No, the proposed subdivision is consistent with the intent and purpose of the ML-B zoning district. The commercial and residential land uses are permitted. The existing building remains as is, but the parcel lines are re-configured to allow for additional development on the new vacant parcel. The new building is compatible with other buildings on Eastern Avenue that have zero front setbacks; and the existing building is compatible with other buildings on Eastern Avenue that have zero side setbacks - including the property and buildings at 4023 Eastern Ave. and also 4003 Eastern Ave. The pool and utility building accessory structures are expected amenities for the proposed residential use. While technically in the side yard they are located functionally to the rear of 3923 Eastern Avenue.
- **Is the variance detrimental or injurious to the public health, safety and general welfare?** No, the proposed setback variances are not detrimental to the public, health, safety and general welfare. The new building proposed is compatible with the other buildings on Eastern Ave. with zero front setbacks and the existing building is compatible with other buildings on Eastern Avenue that have zero side setbacks- including the property and buildings at 4023 Eastern Ave. and also 4003 Eastern Ave. In fact, the Eastern Ave. streetscape in this area is dominated by buildings with zero front setbacks. The pool and restroom structures enhance the proposed residential use and are an expected element of an apartment building.

The East End Area Council has indicated support of the proposed 76 unit project (both a 20 unit project on the subject property and a 56 unit project across the street) in a letter included with the application. The 3East Community Development Corporation has indicated support of the proposed 76 unit project (both projects across the street from each other) in a letter included with the application. The Columbia Tusculum Community Council has indicated support for the proposed setback variances in a letter included with the application. No potential adverse effects were noted by the community organizations.

- **(a) Owing to special circumstances or conditions pertaining to a specific piece of property, would the strict application of Code result in unreasonable or practical difficulties?** Yes, in that the existing pattern of development in terms

of setbacks in the vicinity does not comply with the required front and side setbacks. A strict application of the code would result in unreasonable or practical difficulties in re-configuring the parcels to accommodate both the new building (with compliant side setbacks) while allowing the existing building to remain on its own parcel with non-compliant side setbacks. Also, the pool and restroom structures are in a non-compliant side yard location; but given the “L” shape of the parcel and the provision of surface parking in the rear yard of the property, this creates an impractical difficulty and the only other space to locate the pool is in the side yard.

- **(b) Is it necessary for the preservation and enjoyment of a substantial property right of the applicant possessed by owners of other properties in the same district or vicinity?** Yes, variances to the side setback and front yard setbacks are necessary to preserve or enjoy a substantial property right of the applicant that is also possessed by owners of other properties in the same vicinity. Zero front setbacks and reduced side setbacks are a substantial property right possessed by owners of other properties in the vicinity. The property and buildings at 4023 Eastern Ave. and also 4003 Eastern Ave. have zero front setbacks and zero side setbacks.

1445-13 - General Standards; Public Interest

Applications should demonstrate some degree of value to the public interest, potentially utilizing at least one of the factors provided within Section 1445-13 – General Standards.

- (a) *Zoning*. Aside from the requested relief, the proposed project complies with all other zoning regulations.
- (b) *Guidelines*. NA (Not Applicable).
- (c) *Plans*. The proposed project is consistent with the Live Section of *Plan Cincinnati*, specifically the action step “Improve the quality and number of moderate to high-income rental and homeowner units.” *Plan Cincinnati (2012) page 165*.
- (d) *Traffic*. The applicant has stated that they do not anticipate any adverse impacts on surrounding streets due to the traffic generated by the project. The proposal includes 27 off-street parking spaces.
- (e) *Buffering*. NA.
- (f) *Landscaping*. The proposed landscaping conforms to the required parking lot landscaping.
- (g) *Hours of Operation*. NA.
- (h) *Neighborhood Compatibility*. Zoning staff finds that the proposed project is compatible with the neighborhood and with the predominant building and structure patterns of the surrounding neighborhood with the examples as noted previously.
- (i) *Proposed Zoning Amendments*. NA.
- (j) *Adverse Effects*. There are no apparent adverse effects on the abutting or nearby properties. The use is permitted and the height conforms. The off-street parking minimizes the impact of the new residential units on the parking demand on nearby

streets. The East End Community Council, 3East Community Development Corporation, and Columbia Tusculum Community Council have all provided letters of support and have not identified potential adverse effects.

(k) *Blight*. NA.

(l) *Economic Benefits*. The conditions of the property will be improved by the proposed new construction.

(m) *Job Creation*. Temporary construction jobs will be created.

(n) *Tax Valuation*. The proposed project will likely increase the taxable property value.

(o) *Private Benefits*. The proposed project will confer benefits on the owner by adding a 20 unit residential building to a vacant site.

(p) *Public Benefits*. NA.

Recommendation:

3923 Eastern Ave. (existing Local Post restaurant building with new parcel lines)

- **Section 1413-07- Variance- APPROVE-** Proposed 10' side setback variance to the east side of the existing building to allow a zero foot setback to the east side property line.
- **Section 1413-07- Variance- APPROVE-** Proposed 10' side setback variance to the west side of the existing building to allow a zero foot setback to the west side property line.

3961 Eastern Ave. (proposed new building)

- **Section 1413-07- Variance- APPROVE-** Proposed 20' variance to the front setback requirement to allow a zero ft. front setback to a new building.
- **Section 1421-03 (a)- Locational Variance- APPROVE-** Proposed accessory structures in a side yard. An in-ground pool and a restroom/pool utility building are proposed in the side yard to the west of the principal structure and require a locational variance.

Findings

- The proposed lot configuration and redevelopment is compatible with the neighborhood's existing development patterns and will not negatively impact nearby properties.
- Zero ft. front and side setbacks are a substantial property right enjoyed by other properties in the immediate vicinity. For example, the property and buildings at 4023 Eastern Ave. and also 4003 Eastern Ave. have zero front setbacks and zero side setbacks.



November 8, 2024

Cincinnati City Council
801 Plum Street
Cincinnati, OH 45202

Dear Cincinnati City Council,

I am writing on behalf of the East End Area Council which represents the residents of our neighborhood.

On September 9th, 2024, Towne Properties presented their plan to develop a 76-unit mixed use project located on the western corners of Eastern Avenue and McCullough Street.

I am pleased to report that after the presentation and a question-and-answer session all but one resident in attendance voted to support the project.

Sincerely,

Steve Johns
President





May 12, 2025

City of Cincinnati
Eastern Ave Towne Properties Development

On April 21, 2025 the Columbia Tusculum Community Council (CTCC) voted and approved to support the Towne Properties' 76-unit apartment development project as presented. This includes the variances as defined to us by the developer below:

South Side:

1. 0' FRONT YARD SETBACK AT EASTERN AVE REQUIRES VARIANCE FROM REQUIRED 20' SETBACK
2. 0' LOT LINE SEPARATION AT SIDE YARD REQUIRES A VARIANCE

North Side:

3. RETAINING WALLS OVER 8' IN HEIGHT REQUIRE A VARIANCE
4. CUMULATIVE CUT AND FILL OVER 8' REQUIRES A VARIANCE
5. CORNER SIDE YARD PARKING LOT REQUIRES VARIANCE
6. INCREASED PARKING WITH EXCLUSION OF PARKING ISLANDS REQUIRE VARIANCE

We appreciate Towne Properties and their representatives presenting this development project with cooperation, transparency, and design flexibility.

Regards,

Matt Yauch

Matt Yauch
President, Columbia Tusculum Community Council

Scott Arentsen

From: Streetside Brewery <hello@streetsidebrewery.com>
Sent: Monday, May 12, 2025 4:25 PM
To: Scott Arentsen
Subject: Support Letter

CAUTION EXTERNAL EMAIL
DO NOT open attachments or click on links from unknown senders or unexpected emails

To Whom it May Concern,

The 3East CDC supports the Towne Properties 76 unit apartment project at the corner of Eastern Avenue and McCollough St. The plan was presented to the group at the 3/26/25 and 4/23/25 meetings and a vote was held on 4/23/25. Vote to support passed unanimously.

Best Regards,
Kathie Hickey
Vice President
3East Community Development Corporation

SUBJECT: A report and recommendation on a proposed Development Plan and Final Plat, including relief from the Cincinnati Zoning Code and Subdivision Regulations, at 1627 E. McMillan Street in East Walnut Hills.

GENERAL INFORMATION:

Location: 1627 E. McMillan Street, Cincinnati, OH 45206

Petitioner: Angelo Pusateri, AMP Inc.
2716 Observatory Avenue, Cincinnati, OH 45208

Owner: Kathryn Vollmer
5 Rennel Drive, Cincinnati, OH 45226

ATTACHMENTS:

Provided in addition to this report are the following attachments:

- Exhibit A – Location Map
- Exhibit B – Application Letter
- Exhibit C – Rear Lot Criteria Form
- Exhibit D – Development Plan and Final Plat
- Exhibit E – Deeds and Legal Descriptions
- Exhibit F – Geotechnical Report
- Exhibit G – Zoning Relief Staff Report
- Exhibit H – Coordinated Site Review Letter
- Exhibit I – East Walnut Hills Letter of Support
- Exhibit J – Written Comment

BACKGROUND:

The petitioner, Angelo Pusateri, is requesting a subdivision of land at 1627 E. McMillan Street in East Walnut Hills, in order to construct three attached townhomes while retaining the existing detached home. The site is approximately 31,000 square feet, zoned Residential Multifamily – Middle Housing (RM-2.0-MH), and located within the Hillside Overlay District. The site contains an existing detached, single-family home and detached garage. The property is surrounded by a variety of large single-family homes, as well as two-family, three-family, and multi-family residential buildings with a range of front yard setbacks.

The proposal will split the existing approximately 100-foot-wide lot into a total of four parcels; the dimensions are outlined in the table below. Lots #1-3 will each contain an attached, four-story townhome. Lot #4 will be a rear lot that retains the existing home and provides a new attached garage. The two existing curb cuts on the site will be retained, and the existing detached garage will be demolished to make way for the access drive on lot #4.

Property	Width	Lot Area
Lot #1	26.2 feet	5,487.6 square feet
Lot #2	26 feet	3,772 square feet
Lot #3	26 feet	3,917 square feet
Lot #4	21 feet	18,269.7 square feet

The proposed subdivision of land requires review by the City Planning Commission as it is considered a Major Subdivision per Section 200-01-S5 and 200-01-S6 of the Subdivision Regulations outlined below.

SUBDIVISION REGULATIONS:

Section 200-01-S5 of the Subdivision Regulations defines a Major Subdivision as any “subdivision of a parcel of land that does not meet the definition of a minor subdivision as defined by Section 200-01-S6.” Section 200-01-S6 defines a Minor Subdivision as a “subdivision of a parcel of land that abuts an existing improved public or private street into no more than three lots, but excluding subdivisions that propose or require one or more of the following features:

- (c) A request involving a parcel of land that the owner or applicant intends to further subdivide and the planned subdivision together will result in four or more lots;

The proposed subdivision splits one lot into four.

- (d) A request that seeks a variance or other relief from the City’s Subdivision Regulations or the Cincinnati Zoning Code

The proposed subdivision seeks relief from Section 800-03(c), *Lot Standards*, of the Subdivision Regulations for the creation of a rear lot and requires a hillside review for nonconformance with Section 1433-19, *Base Development Requirements*, of the Cincinnati Zoning Code for Maximum Building Envelope (MBE) and excavation and fill in the Hillside Overlay District.

- (e) A request that includes one or more rear lots, as described in Section 800-03(c);

The proposed subdivision includes one rear lot.

- (g) A request involving property subject to the provisions of Cincinnati Municipal Code Chapter 1433, “Hillside Overlay Districts;”

The proposed subdivision is located within the Hillside Overlay District.

Based upon the criteria above, the proposed subdivision meets the definition of a Major Subdivision. Section 300-09 of the Subdivision Regulations outlines the procedure for Major Subdivisions, which establishes that the City Planning Commission has the duty to hold a public hearing for Major Subdivision applications. According to Section 300-09 (a)(6), *Decision*, the City Planning Commission shall approve a development plan application when it finds:

- (i) *City Plans*. The application is consistent with applicable city-adopted land use plans.

The proposed subdivision is consistent with the Live Initiative Area of *Plan Cincinnati* (2012). See “Consistency with Plans” for more information.

- (ii) *Planning Principles*. The application is consistent with the general intent and purposes of these subdivision regulations.

The proposed subdivision is generally consistent with General Provision Purposes outlined in Section 100-03 of the Subdivision Regulations.

- (iii) *City Administration Standards, Rules, and Regulations*. The application is consistent with applicable laws, rules, and regulations governing the proposed subdivision, including, but not limited to, subdivision lot standards set forth in these subdivision regulations, the Cincinnati Zoning Code, and the Flood Damage Reduction Chapter of the Cincinnati Building Code.

The proposed subdivision was reviewed through the City of Cincinnati's Coordinated Site Review (CSR) process in June of 2025 to ensure the proposal is consistent with applicable development standards. The following items were identified as deviations from the applicable regulations:

The proposed subdivision seeks relief from Section 800-03(c), *Lot Standards*, of the Subdivision Regulations for the creation of a rear lot and requires a hillside review for nonconformance with Section 1433-19, *Base Development Requirements*, of the Cincinnati Zoning Code for MBE and excavation and fill in the Hillside Overlay District.

- (iv) *Design*. The subdivision is designed to minimize disturbance to natural topography, tree cover, and natural drainage ways to avoid adverse impacts on area stormwater drainage.

The proposed subdivision was reviewed by the Stormwater Management Utility, Urban Forestry, and the Office of Environment and Sustainability during the Coordinated Site Review process. No concerns were identified.

- (v) *Access and Public Service*. Existing or proposed streets, sidewalks, driveways, and utilities that will serve the subdivision are configured and designed to minimize adverse impacts related to traffic circulation and to ensure the efficient provisions of all public services, including emergency services.

The proposed subdivision was reviewed by the Department of Transportation and Engineering, Greater Cincinnati Waterworks, and the Cincinnati Fire Department through the Coordinated Site Review process. No concerns were identified.

- (vi) *Multiple Phases*. If applicable, the phasing plan will provide for an orderly and efficient development.

The proposed subdivision will be constructed in a single phase.

CRITERIA/ANALYSIS – REAR LOT SUBDIVISION STANDARDS:

All subdivisions in the City shall comply with the minimum standards set forth in Section 800, specifically 800-03(c), which states that every lot of a subdivision shall abut on an improved, publicly dedicated street or an improved private street for the full required width prescribed by the zoning code. However, the City Planning Commission may approve a subdivision that does not meet these standards (hereinafter referred to as "rear lots") if the City Planning Commission finds that the proposed rear lot is unlikely to impose adverse effects on the provision of public services and will not detract from the harmonious development of the area surrounding the proposed rear lot based on the criteria set forth below:

- (1) The proposed rear lot does not substantially deviate from the predominant land development patterns of adjacent and abutting lots concerning lot density, structure orientation, and structure setbacks.

The proposed rear lot contains an existing home that is being maintained. The site currently appears like a vacant lot on an otherwise occupied streetscape due to the significant front setback of the existing home. The proposed construction, although being reviewed as three separate rowhome buildings, will appear from the street as one large structure. This structure is designed with similar materials and detailing as adjacent homes and is set back from the street the average distance of abutting properties as required. The three-unit rowhome structure provides a gradual transition between the multi-family building to the west and the single-family home to the east. The proposed side setbacks for the townhome building to neighboring parcels are consistent with other homes on the block and adequately preserve access, light, and air for neighboring properties.

- (2) The proposed rear lot contains the minimum square-foot area of the applicable zoning district, exclusive of the access strip, which access strip shall not contribute to the minimum lot area calculation.

The RM-2.0-MH district requires a minimum lot size of 2,000 square feet for detached single-family homes. The proposed rear lot totals 15,223 square feet exclusive of the 21-foot by 145-foot access strip.

- (3) The proposed rear lot provides, at minimum, an access strip that abuts an improved public or private street for at least 21 feet in width for its entire length.

The proposed rear lot provides a 21-foot-wide access strip abutting E. McMillan Street.

- (4) The proposed access strip is designed and configured to present minimal impacts on existing traffic circulation patterns, identifiable natural physical features, and ensures adequate access for emergency response services.

The proposed access strip is configured along the existing driveway and will thus have no impact on existing traffic circulation patterns or natural physical features. Emergency egress was reviewed by City departments through the Coordinated Site Review process (Exhibit H), no concerns were identified.

- (5) The proposed rear lot is unlikely to have an adverse impact on neighboring property values.

The proposed rear lot will facilitate the preservation and renovation of the existing home on the site, the removal of which the applicant claims may compromise the stability of the hillside (Exhibit C). Thus, the proposed rear lot is unlikely to have an adverse impact on surrounding property values.

CRITERIA/ANALYSIS – RELIEF FROM THE ZONING CODE:

Section 500-03 of the Subdivision Regulations states that the City Planning Commission may grant relief from the Cincinnati Zoning Code by conducting a review in the same manner and based on the criteria prescribed by the Cincinnati Zoning Code. The applicant requested Hillside Overlay District Permission:

Property	Section	Requirement	Proposal	Relief
Lot #1	1433-19(a) MBE, West Side Yard Setback	19.5 feet	10.3 feet	9.2 feet
	1433-19(a) MBE, East Side Yard Setback	17 feet	0 feet	17 feet
	1433-19(a) MBE, Rear Yard Setback	259.5 feet	37.1 feet	222.4 feet
	1433-19(a) MBE, Height	Sloped	Sloped	4 feet
Lot #2	1433-19(a) MBE, West Side Yard Setback	19.5 feet	0 feet	19.5 feet
	1433-19(a) MBE, East Side Yard Setback	17 feet	0 feet	17 feet
	1433-19(a) MBE, Rear Yard Setback	259.5 feet	33.1 feet	226.4 ft
	1433-19(a) MBE, Height	Sloped	Sloped	4 feet
Lot #3	1433-19(a) MBE, West Side Yard Setback	19.5 feet	0 feet	19.5 feet
	1433-19(a) MBE, East Side Yard Setback	17 feet	1 feet	16 feet
	1433-19(a) MBE, Rear Yard Setback	259.5 feet	33.1 feet	226.4 feet
	1433-19(a) MBE, Height	Sloped	Sloped	4 feet
Lot #4	1433-19(a) MBE, Front Yard Setback	48 feet	20 feet	28 feet
	1433-19(g) Excavation and Fill	8 feet	16 feet	8 feet

The requests were reviewed and analyzed by a Zoning Plans Examiner. A detailed report and analysis are included as Exhibit G. The report recommends approval of all relief outlined above as the proposed development meets the Hillside Development Standards in Section 1433-23. The site conditions create practical difficulties in following the MBE, which is calculated by averaging the site conditions of adjacent properties. In particular, the adjacent parcels are significantly deeper than the subject property, leading to a combined front and rear setback requirement that render the site unbuildable, and the resulting need for significant rear setback relief. Additionally, the north pool deck connected to the adjacent multi-family building creates a sloped height requirement, shown in Exhibit D. The sloped MBE establishes a maximum height at the street frontage that is roughly half of the maximum height calculated at the rear of the MBE, posing additional difficulty in development of the site within the parameters of the code as it is currently written.

COORDINATED SITE REVIEW:

The proposed subdivision was reviewed by City departments through the Coordinated Site Review process in June of 2025 (Exhibit H). The Department of City Planning and Engagement, Planning Division noted that the subdivision would require review by the City Planning Commission as it is considered a Major Subdivision. The Zoning Division noted that the project would require a Hillside Review for nonconformance with the Base Development Requirements for Hillside Overlay Districts. Other departments shared requirements needed to obtain permits. The applicant is aware of the requirements and will coordinate with those departments as the project progresses. No other concerns were identified.

PUBLIC COMMENT AND NOTIFICATION:

Notice of the November 7, 2025 City Planning Commission meeting was sent to all property owners within 200 feet of the site, the East Walnut Hills Assembly, the DeSales Community Urban Redevelopment Corporation, and The Hillside Trust. A notice sign was also posted on the property per Section 300-09 (a)(2) of the Subdivision Regulations.

The petitioner has engaged with five neighbors, the president of the Homeowner’s Association for the adjacent multi-family building, The Hillside Trust, and the East Walnut Hills Assembly about the project via phone and email. He attended both the September 17 and September 23, 2025 meetings of the East Walnut Hills Assembly to discuss the project. Staff has received a combined letter of support from the East Walnut Hills Assembly and the DeSales Community Urban Redevelopment Corporation (Exhibit I), as well as one letter opposing the project and one letter stating no opposition to the project (Exhibit J).

CONSISTENCY WITH PLANS:

Plan Cincinnati (2012)

The proposed subdivision is consistent with the Live Initiative Area of *Plan Cincinnati* (2012), specifically the goal to “Provide a full spectrum of housing options, and improve housing quality and affordability” (p. 164) and the strategy to “Offer housing options of varied sizes and types for residents at all stages of life” (p. 169). The proposed project efficiently provides three additional housing units within an established neighborhood while preserving the existing home.

Green Cincinnati Plan (2023)

The proposed subdivision is consistent with the Mobility Focus Area of the *Green Cincinnati Plan* (2023), specifically the goal to “Build a policy framework that supports the creation of connected communities,” and the strategy to “modify land use regulations to support development along transit corridors” (p. 120). The proposed project creates additional middle-density housing in proximity to the East Walnut Hills Neighborhood Business District and the Madison Road transit corridor.

The proposed subdivision is additionally consistent with the Energy Efficiency Focus Area, particularly the action to “Align incentive programs to encourage the reuse of existing buildings” (p. 63). The proposed project is designed to prioritize the preservation of the existing home on the site.

RECOMMENDATION:

The staff of the Department of City Planning and Engagement recommends that the City Planning Commission take the following actions:

- 1) **APPROVE** the requested variance from the Subdivision Regulations for the rear lot configuration under Section 800-03(c) of the Subdivision Regulations;
- 2) **ADOPT** the Zoning Division findings that the proposed relief is generally consistent with the Hillside Development Standards, as outlined in Section 1433-23 of the Cincinnati Zoning Code;
- 3) **APPROVE** the requested zoning relief from the Cincinnati Zoning Code as detailed in the Zoning Relief Staff Report (Exhibit G);
- 4) **ADOPT** the Department of City Planning and Engagement findings that the proposed division of land is generally consistent with the decision criteria for Development Plans, as outlined in Section 300-09 (a)(6), of the Subdivision Regulations; and
- 5) **APPROVE** the proposed Development Plan and Final Plat for 1627 E. McMillan Street in East Walnut Hills, as the proposed subdivision is generally consistent with General Provision Purposes, as outlined in Section 100-03 of the Subdivision Regulations.

Respectfully submitted:

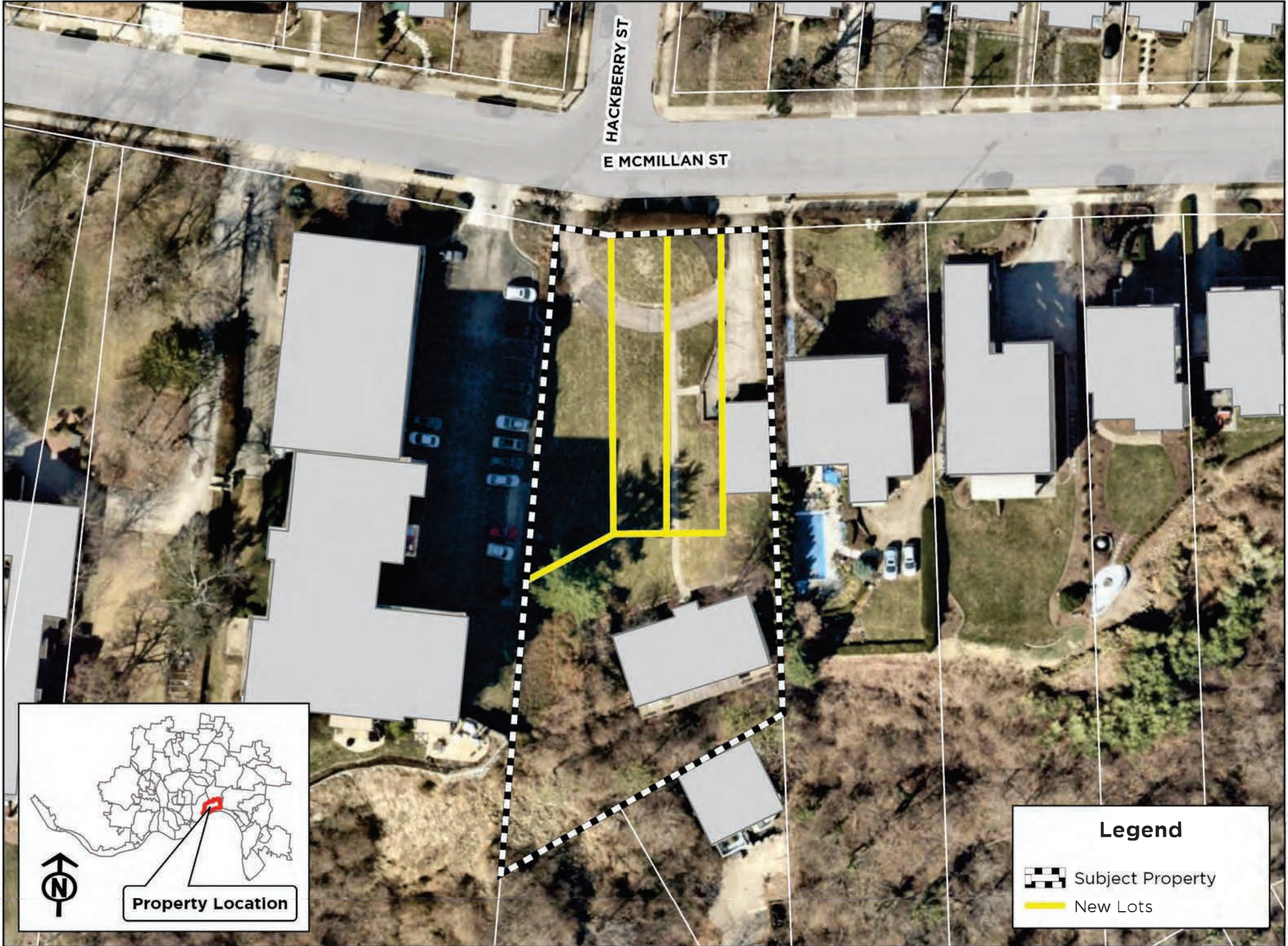
Approved:



Gabrielle Couch, City Planner
Department of City Planning and Engagement

Katherine Keough-Jurs, FAICP, Director
Department of City Planning and Engagement

Proposed Major Subdivision at 1627 E. McMillan Street in East Walnut Hills





Zoning Hearing Administrator
Business Development and Permit Center
3300 Central Parkway
Cincinnati, OH 45225

RE: 1627 E McMillan St
Cincinnati, Ohio

Zoning Hearing / Coordinated Site Review – Major Subdivision Hillside
Variance / waiver of setback and special exceptions building placement requirements within a Hillside
District (RM-2.0-MH)

Proposed subdivision of existing lot 1627 into 4 new lots.

The subject lots proposed, and the proposed structures therein meet current zoning district permitted use.

We request a review hearing and approval to subdivide this lot and site new structures as proposed. We believe this is the most practical reallocation of site space due to several unusual circumstances.

The largest and southernmost proposed flag lot containing the existing residence, would retain the current address, 1627, and will hereafter be referred to as “Lot #4.” It is the only proposed lot that approaches the steep decline at the rear of the overall site. The proposed row house lots containing the proposed addresses of 1621, 1623, and 1625 will hereafter be referred to as “Lot #1,” “Lot #2,” and “Lot #3” respectively.

First and foremost, we are seeking a rear average setback variance because as it stands now any development on the lot is impossible thanks to extreme rear setbacks at both neighboring lots in excess of 250 feet. Averaging and applying these setbacks as per the hillside district regulations creates a negative MBE even when offset from the original, undivided lot. As such the district minimum *rear* setback of 20’ has been applied and accounted for on all proposed lots while planning this lot split.

Additional left/right variances are mandatory to produce the row houses shown. This is a building type allowed by the zoning district and found throughout the neighborhood. Again, the district minimum offset of 0’/5’ is shown at the end lots, #1 and #3, while the center lot #2 would share walls with its neighbors.

A height variance is also required for the proposed row houses as the dormers shown extend past the MBE created by neighboring averages. Notably if the height were measured from the center of the main roof line the proposed height would be compliant, meaning if the dormers were not present no variance would be required. It is also notable that this MBE has been thrown off dramatically by the anomalous high rise next door, with the parking structure in front dragging the neighboring average down while the full height of the building stretches the average up to nearly double at the back. A final note regarding this MBE is that it is reliant on the aforementioned proposed rear offset variance down to 20 feet to even be drawn.

Lot #3 shows a small, covered side porch/stoop to act as its entrance which projects past the proposed offset of the lot, sitting one foot from the proposed lot line. We request a variance for this placement as we believe it provides strong visual harmony with the other row houses and simply makes the most sense logistically for the

550 Wards Corner Road Suite 201 Loveland, OH 45140
Phone (513) 683-1236 Fax (513) 683-1421 E-mail Sabodesignassoc@saboda.net
www.Sabodesignassociates.com

layout of these buildings. Additionally, it would not be encroaching on a neighboring lot, but rather the driveway for Proposed Lot #4, so it is ultimately not crowding any habitable space.

The front setback for Lots #1,2,3 does not require variance as the neighboring average is workable. The front setback for Lot #4, however, is shown as the district minimum of 20' when measured from the Lot #1,2,3 rear. This is because using the neighboring average as in the street fronting Lots #1,2,3 effectively allows for no development of the existing residence whatsoever. While it may be argued that the hardship is self-imposed and therefore not a candidate for additional variance, it would also no longer be a street fronting lot, and as such the method of averaging to the neighboring structures in order to provide a cohesive street frontage is no longer appropriate. This is an instance we have seen occur in many such "panhandle" / flag lots where the spirit of the rule is lost on unusual sites.

Development of a garage on Lot #4 as shown also necessitates a cumulative height excavation variance. Ultimately, the amount of excavation that is proposed is not excessive given the modest size of the addition and the lay of the land. Its location is also largely unavoidable and is in the service of preserving views and the aforementioned offsets to Lots #1,2,3.

In addition to the proposed garage in front, the existing building on the property would also receive a new roof so that the ceilings inside are not so aggressively low. The difference in average roof height from the existing to the proposed varies depending on where it is measured, but the never exceeds 3'6". It is impossible to show a true MBE given the front and rear variances already in play, but both the front and rear roof heights remain well below the neighboring average so no height variance should be required.

It should also be noted that the hillside district boundary line (shown in the drawings cutting through all four proposed lots) does not seem to follow the hillside very precisely at all. The border omits portions of steep areas on this existing site and 1617 while *including* nearly completely flat portions. It is possible that if the line were more accurate some or all of the proposed Lots #1,2,3 would not even be considered hillside lots given that they sit on a perfectly flat area set back significantly from the ridge of hill.

The large flat area, which is to be utilized for proposed Lots #1,2,3, also contains very little vegetation. Our only proposed major landscaping removal in this development is a single tree adjacent to the proposed garage addition on Lot #4. It sits well away from the main ridge of the hillside and any stabilization it may have provided would be reestablished by the proposed garage addition. Otherwise, **all existing landscaping is to remain.**

We believe this proposed development is "in the public interest" as per the guidelines outlined in Cincinnati Municipal Code 1445-13. None of the development blocks any existing views over the edge of the hill; in fact, new views to the Ohio River would be created for future residents at Lots #1,2,3. This development conforms with all underlying zone district regulations and Connected Communities guidelines. It is in harmony with the surrounding neighborhood; Moreso, it *improves* the harmony of the neighborhood by reducing the contrast between the high-rise condo complex at 1617 and the rest of the more typical single family residential housing found throughout the neighborhood. As it stands now 1617 towers over the rest of the neighborhood at 97' feet tall, an appearance exaggerated further by the largely vacant frontage at 1627 and a large stone wall between the two properties. A development such as the one proposed would soften the harsh edge between building typologies and improve neighborhood cohesion when viewed from the street.



This proposal specifically addresses all aspects of the Hillside Development Standards (1433-23) as follows:

a) Avoid cuts in the hillside if they would leave cliff-like vertical slopes and excessively high retaining walls.

The proposed new buildings are positioned on the flat area of the property and will be slab-on-grade structures. There are no basements, cuts, or retaining walls.

b) Design buildings to fit into the hillside rather than altering the hillside to fit the buildings.

The proposed structures are not on the hillside.

c) Hillside development should be designed to minimize excavation required for foundations, parking and access drives.

We have designed to minimize excavation with slab-on-grade construction. The access drives are shared.

d) Cluster new development to retain surrounding tree cover and minimize alterations to the existing topography.

The main building area is flat with no trees or clearing required.

e) Maintain a clear sense of the hillside brow by locating buildings back from the brow of the hill.

We are not proposing to build at the brow of the hill.

f) Site buildings so as to respect views from public viewing places within the HS District identified in a community plan or other documentation approved by the City Planning Commission.

There are no public views being disrupted.

g) Where applicable, consider the guidelines contained in the "Cincinnati Hillside Development Guidelines" report to evaluate development applications.

The proposed development complies with all the hillside development guidelines and standards.



Please see the attached drawings, data and photos.

No other witnesses or petitioners will be appearing.

Sincerely,

Rodney J. Sabo
Sabo Design Associates

Attachments



1627 E. McMillan St.
Cincinnati, Ohio

Attachments

1. Proposed site plan – 1627 E. McMillan St.
2. Existing Site Layout – 1617, 1627, 1707 E. McMillan St.
3. Building Elevations:
 - a. 1627 E. McMillan St. Renovation & Garage Addition (Existing address, Proposed Lot #4)
 - b. 1621, 1623, 1625 E. McMillan St. (Proposed Lots #1,#2,#3)
4. Hamilton County Auditor Property Report – 1627 E. McMillan St.
5. Photos
6. Certificate of Geotechnical Declaration
7. ZHE Application for Zoning Relief



1627 E. McMillan
Cincinnati, Ohio

Zoning RM – 2.0 – MH Hillside overlay
Land Area .7219 acres
Total Density 31,446/2500

Proposed Lot#1	5488/2000	2 Row homes allowable
Proposed Lot#2	3772/2000	1 Row home allowable
Proposed Lot#3	3917/2000	1 Row home allowable
Proposed Lot#4	18,270/2500	7 Detached units allowable

Proposed Units 4

Zoning Setback Requirements – Single Family

Front	20'
Rear	20'
Side	0/5
Height	35'

Zoning Setback Requirements – Row House Exterior

Front	20'
Rear	20'
Side	0/5
Height	35'

Zoning Setback Requirements – Row House Interior

Front	20'
Rear	20'
Side	0/0
Height	35'

Hillside Maximum Building Envelope Averages

	<i>1617 E McMillan</i>	<i>1707 E McMillan</i>	<i>Average- abutting</i>	<i>Required Setbacks or max height for any new parcel</i>	<i>Proposed Lot #1</i>	<i>Proposed Lot #2</i>	<i>Proposed Lot #3</i>	<i>Proposed Lot# 4</i>
<i>West</i>	27ft	12ft	19.5ft	19.5ft	10.27ft	0ft	0ft	25.8ft
<i>East</i>	25ft	9ft	17ft	17ft	0ft	0ft	1ft	4.6ft
<i>Front</i>	25ft	71ft	48ft	48ft	50.11ft	48ft	48ft	20ft
<i>Rear</i>	253ft	266ft	259.5ft	259.5ft	37.09ft	33.12ft	33.12ft	19ft Extg
<i>Front Height</i>	35ft	37.7ft	36.35ft	67.4ft	44.6ft	44.6ft	44.6ft	16.4ft
<i>Rear Height</i>	97ft	37.7ft	67.4ft	67.4ft	45.5ft	45.5ft	45.5ft	30.1ft

APPLICATION FOR A DIVISION OF LAND SUPPLEMENTAL

Sec. 800-03 (c) – Rear Lot Criteria



This form should be submitted in conjunction with a complete **Application for a Division of Land**.

Property Address: 1627 East McMillan Ave.

Sec. 800-03 (c), Lot Standards, of the Subdivision Regulations states that, “Every lot of a subdivision shall abut on an improved, publicly-dedicated street or an improved private street for the full required width prescribed by the zoning code, provided, however, City Planning Commission may approve a subdivision that does not meet these standards (hereinafter referred to as "rear lots") if the City Planning Commission finds that the proposed rear lot is unlikely to impose adverse effects on the provision of public services and will not detract from the harmonious development of the area surrounding the proposed rear lot based on the criteria set forth below.

Please respond to how your requested rear lots meet each of the following criteria. If your response does not fit in the space below, please attach your document.

Sec. 800-03 (c), Lot Standards

- (1) The proposed rear lot does not substantially deviate from the predominant land development patterns of adjacent and abutting lots concerning lot density, structure orientation, and structure setbacks.

The proposed rear lot contains an existing home, and it is being maintained and renovated. The decision to keep the home was made in order to maintain the stability of the hillside. The home foundation consists of a basement and a sub-basement. The basement is in near perfect structural condition. Some variances are required due to the existing placement of the home and the averaging requirements in the hillside overlay zoning code.

- (2) The proposed rear lot contains the minimum square-foot area of the applicable zoning district, exclusive of the access strip, which access strip shall not contribute to the minimum lot area calculation.

The proposed rear lot contains 15,223 square feet. This is exclusive of the 21'x145' access strip.

- (3) The proposed rear lot provides, at minimum, an access strip that abuts an improved public or private street for at least 21 feet in width for its entire length.

The proposed rear lot provides a 21'x145' access strip to a public street.

- (4) The proposed access strip is designed and configured to present minimal impacts on existing traffic circulation patterns, identifiable natural physical features, and ensure adequate access for emergency response services; and

The proposed access strip is configured on the existing driveway and will have no impact on traffic patterns.

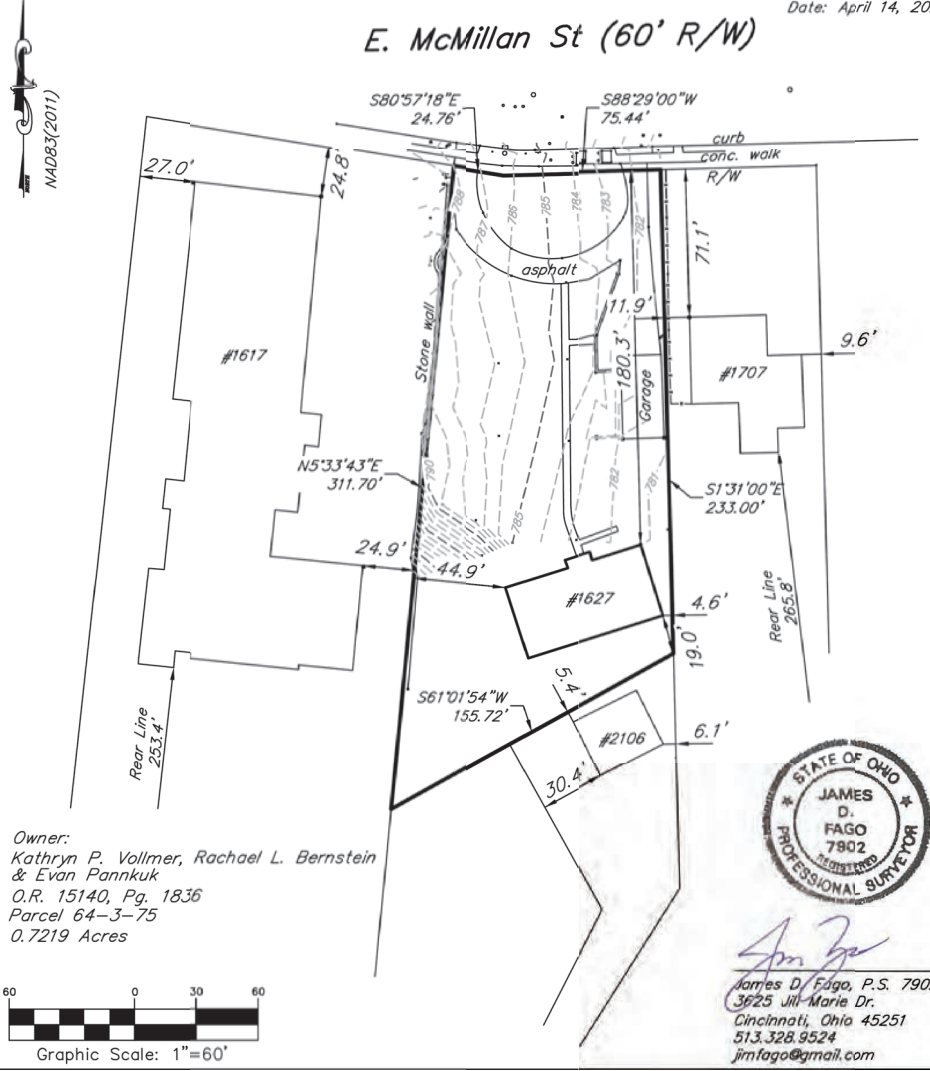
- (5) The proposed rear lot is unlikely to have an adverse impact on neighboring property values.

The home is already present on the rear lot and will have no adverse impact on the neighbors property values. The home is currently in below average condition and the renovation of the home will have a positive impact on neighboring property values.

Site Survey
1627 E. McMillan St.
 Pt. of Lots 1 and 2, B.G. Stall's Heir's Sub., P.B. 10, Pg. 12
 City of Cincinnati, Hamilton County, Ohio

Date: April 14, 2025

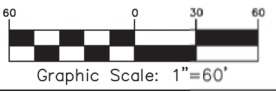
E. McMillan St (60' R/W)



Owner:
 Kathryn P. Vollmer, Rachael L. Bernstein
 & Evan Pannkuk
 O.R. 15140, Pg. 1836
 Parcel 64-3-75
 0.7219 Acres



James D. Fago
 James D. Fago, P.S. 7902
 3625 Jill-Marie Dr.
 Cincinnati, Ohio 45251
 513.328.9524
 jimfago@gmail.com



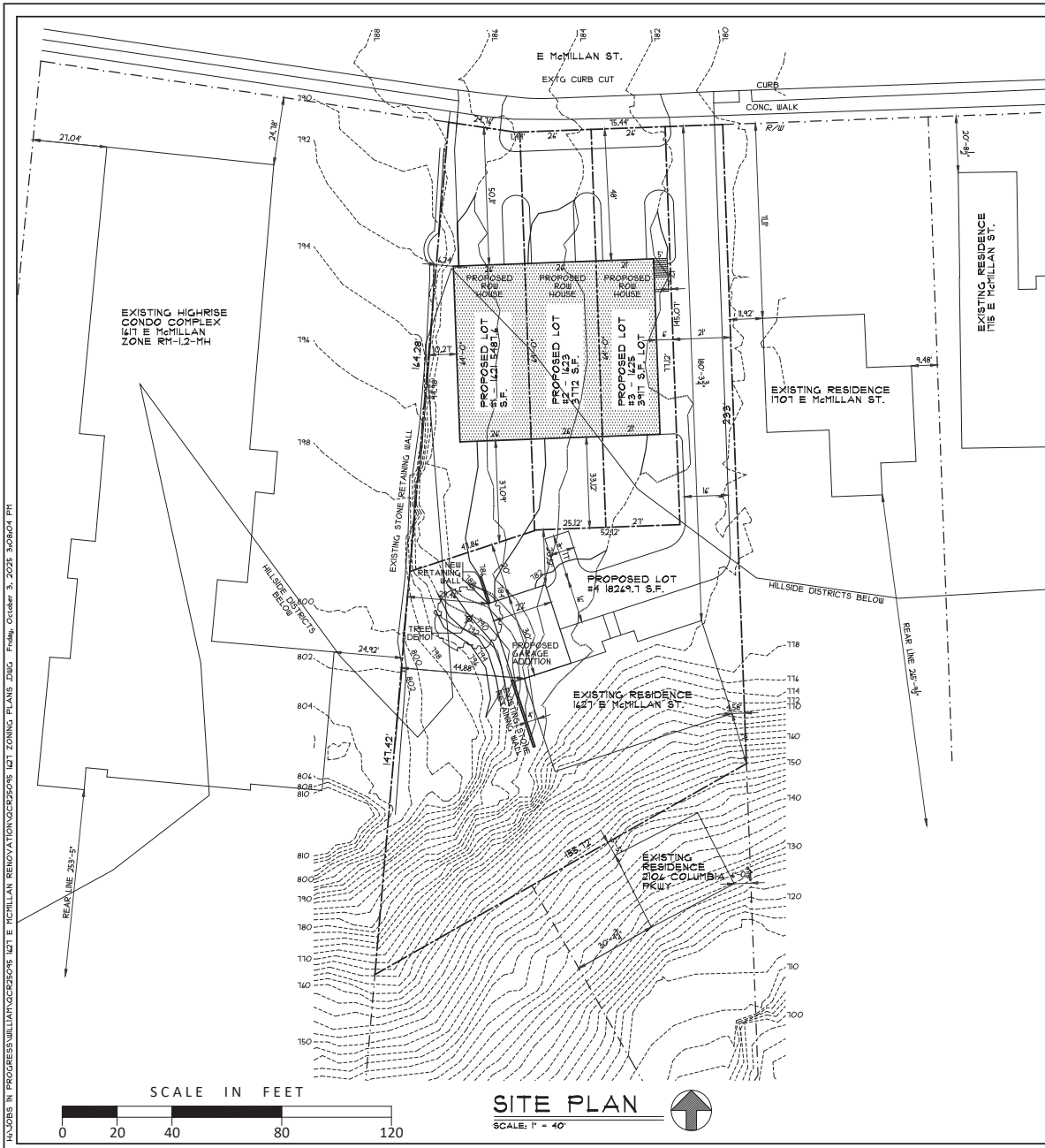
EXISTING
 SITE LAYOUT

PROPOSED
 1627 E. McMILLAN ST
 CINCINNATI, OHIO
 CITY OF CINCINNATI



ISSUE DATES
1/11/21 ZONING

H:\JOBS IN PROGRESS\MILLAN\0625070E\1627 E. McMILLAN RENOVATION\0625070E\1627 ZONING PLANS.DWG Friday, October 3, 2025 3:08:04 PM



SITE INFORMATION

SUBJECT PROPERTY:
 1271 E. McMILLAN ST.
 CINCINNATI OH 45204
 PARCEL ID: 04-0003-0075-00

ZONING REQUIREMENTS:
 ZONING: RH-20-MH
 ALLOWABLE DENSITY: 1 UNIT / 2000 S.F. (ROW)
 1 UNIT / 2500 S.F. (SINGLE-FAM)
 25' (MIN.)

OWNER:
 KATHRYN P. VOLLMER, RACHAEL L. BERNSTEIN & EVAN PANNKUK
 5 RENNEL DR., CINCINNATI, OH 45224

BUYER:
 ANGELO H. FUSATERI, AMP
 181 MADISON ROAD, CINCINNATI, OH 45208

DISTRICT SETBACKS:
 FRONT - 20'
 SIDE - 0'/5'
 REAR - 20'
 HEIGHT - 35'

SUBJECT LAND AREA:
 31,412 S.F.
 PROPOSED UNITS: 4 UNITS

PREPARED BY:
 SABO DESIGN ASSOCIATES
 550 WARD'S CORNER ROAD
 LOVELAND OHIO, 45140
 (513) 483-1234

HILL SIDE DISTRICT MAX BUILDING ENVELOPE FOR PROPOSED MAJOR SUBDIVISION

	1171 EAST McMILLAN	1101 E McMILLAN	AVERAGE REQUIRED SETBACKS OR MAX HEIGHT FOR ANY NEW PARCEL	PROPOSED LOT 1	PROPOSED LOT 2	PROPOSED LOT 3	PROPOSED LOT 4
WEST	21'	12'	19.5'	10.27'	0'	0'	25.8'
EAST	25'	9'	11'	0'	0'	1'	4.4' EXTG
FRONT	25'	11'	48'	50.8'	48'	48'	20'
REAR	25.3'	24'	25.9.5'	31.09'	33.2'	33.2'	11' EXTG
FRONT HEIGHT	35'	31.7'	34.35'	44.4'	44.4'	44.4'	14.4'
REAR HEIGHT	41'	37.7'	41.4'	45.5'	45.5'	45.5'	30.7'

LEGEND

- PROPERTY LINE
- - - EXISTING GRADE CONTOURS
- - - PROPOSED REGRADING
- DISTRICT SETBACKS
- MAXIMUM BUILDING ENVELOPE
- PROPOSED BUILDING FOOTPRINT

*20 FOOT DISTRICT REAR SETBACK SHOWN AS VARIANCE REQUEST
 254.5' NEIGHBORING AVERAGE REAR SETBACK CREATES NEGATIVE ENVELOPE

PROPOSED
 SITE LAYOUT

PROPOSED
 1627 E McMILLAN ST
 CINCINNATI, OHIO
 CITY OF CINCINNATI

SDA
 SABO DESIGN ASSOCIATES
 550 Wards Corner Road
 Suite 201
 Loveland, Ohio 45140
 (513) 683-1234
 sabodesignassociates.com

ISSUE DATES

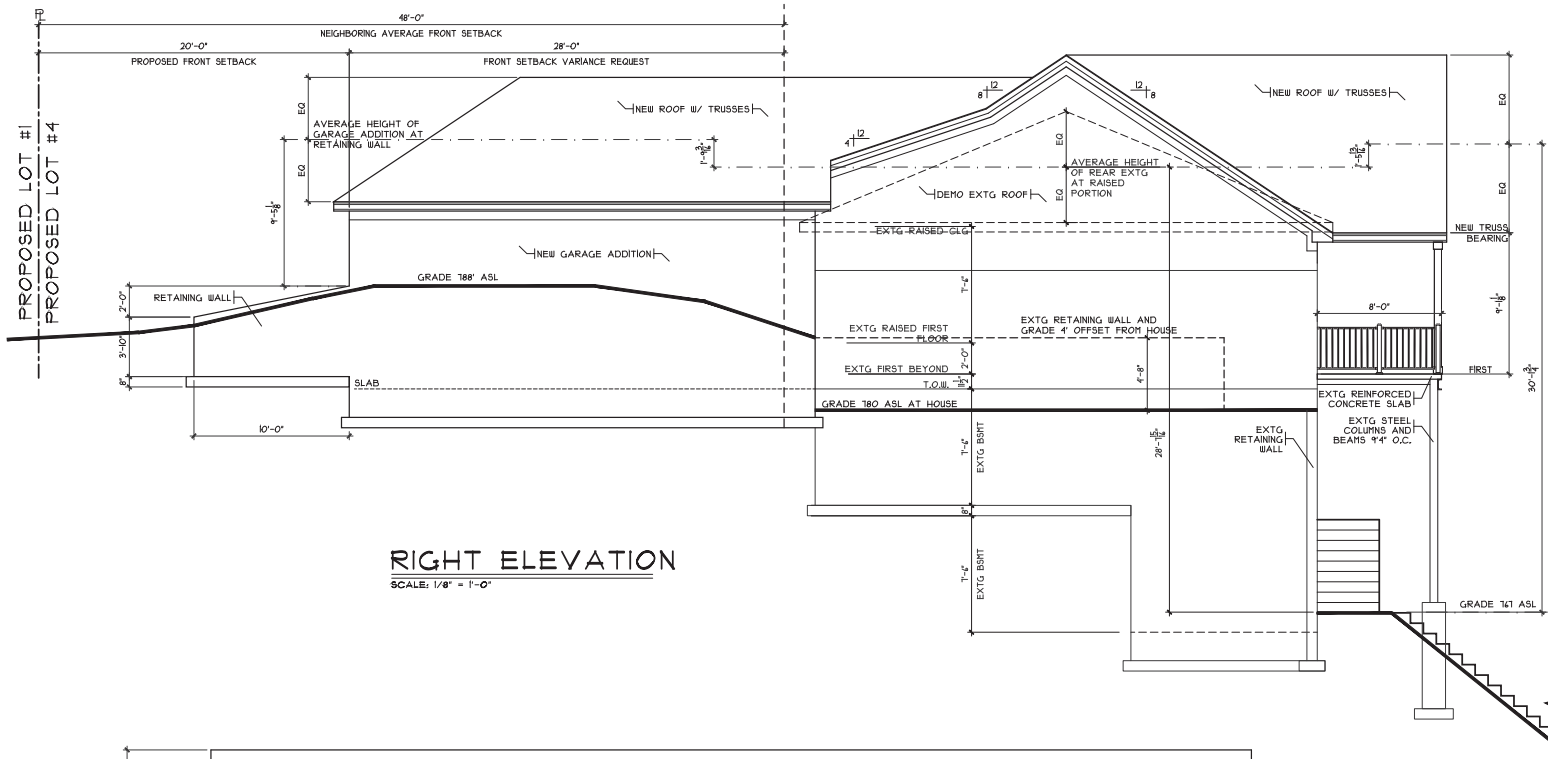
11/17/21 ZONING

H:\JOBS IN PROGRESS\MILLAN\0226207E 1627 E McMILLAN RENOVATION\0226207E 1627 ZONING PLANS DWG Friday, October 3, 2021 3:08:04 PM

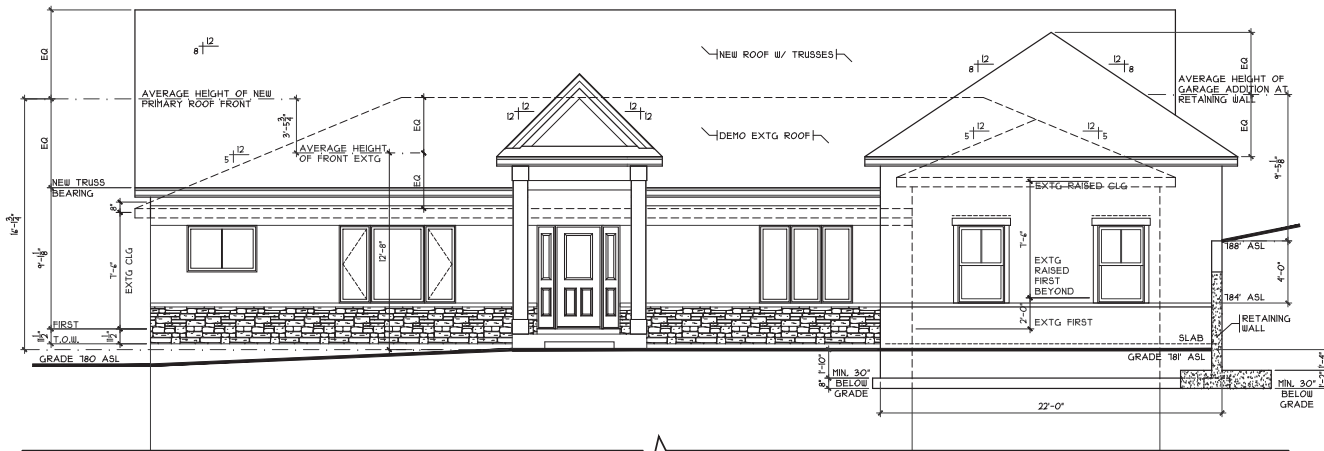
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SITE PLAN
 SCALE: 1" = 40'



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

14 JOBS IN PROGRESS MILLAN/OCCEZIORE LOT 1 E MC MILLAN RENOVATION/OCCEZIORE LOT ZONING PLANS DWG. Friday, October 3, 2025 3:08:04 PM

PROPOSED
ELEVATIONS
LOT #4

PROPOSED
1627 E McMILLAN ST
CINCINNATI, OHIO
CITY OF CINCINNATI


SDA
 SABO DESIGN ASSOCIATES
 550 Wards Corner Road
 Suite 201
 Loveland, Ohio 45140
 (513) 683-1236
 sabodesignassociates.com

ISSUE DATES
11/11/21 ZONING

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15140 01836

Convey number: 353665
 Deed number: 24-625912
 Instr. number: 24-628764
 Transfer date: 04/08/2024
 Sec.: 319.02 R.C.
 Sec.: 322.02 R.C.
 Amy Humphrey
 Hamilton County Auditor
 Sales Amount: 0.00
 Permissive fee: 0.00
 Transfer fee: 0.50
 Conveyance fee: 0.00

Scott Crowley
 Hamilton County Recorder's Office
 Doc #: 2024-0022997 Type: DE
 Filed: 04/08/24 03:40:28 PM \$42.00
 Off. Rec.: 15140 01836 F 3 397



Parcel No. 64-3-75

DEED OF TRUSTEE

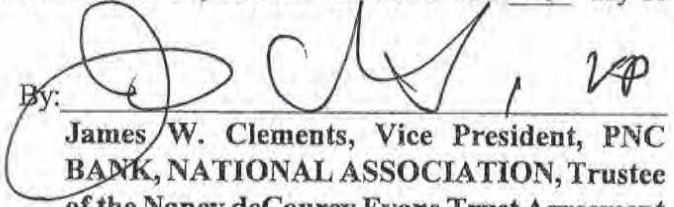
PNC BANK NATIONAL ASSOCIATION, TRUSTEE OF THE NANCY DECOURCY EVANS TRUST AGREEMENT originally dated April 14, 1982 and most recently restated December 27, 2019 as amended (hereinafter "GRANTOR") by the power conferred in said Trust and every other power, grants with fiduciary covenants to **KATHRYN P. VOLLMER, RACHAEL L. BERNSTEIN, and EVAN PANNKUK**, as tenants in common, their heirs and assigns, whose mailing address is 5 Rennel Dr., Cincinnati, Ohio 45226, the following real property situated in the State of Ohio, County of Hamilton:

See attached Exhibit A

The property is conveyed subject to, and there are hereby excepted from the fiduciary covenants all easements and restrictions of record, established easements, zoning ordinances and real estate taxes and assessments, which are due, but not yet payable.

Being the same premises conveyed to **NANCY CAROL DECOURCY** now known as **NANCY DECOURCY EVANS** as evidenced by Deed recorded in OR 3215, Page 130, Hamilton County, Ohio Records and for which she designated **PNC BANK NATIONAL ASSOCIATION**, Trustee of the **NANCY DECOURCY EVANS TRUST AGREEMENT**, originally dated April 14, 1982 and most recently restated in its entirety on December 27, 2019 as the transfer on death beneficiary and which is recorded in OR 14074, Pages 01447-01449 and confirmed in OR 15138, Pages 502.

Executed by **JAMES W. CLEMENTS, VICE PRESIDENT, PNC BANK, NATIONAL ASSOCIATION, TRUSTEE OF THE NANCY DECOURCY EVANS TRUST** originally dated April 14, 1982 and most recently restated December 27, 2019 as amended this 21 day of MARCH, 2024.

By: 
James W. Clements, Vice President, PNC BANK, NATIONAL ASSOCIATION, Trustee of the Nancy deCourcy Evans Trust Agreement originally dated April 14, 1982 and most recently restated December 27, 2019 as amended

COMMONWEALTH OF KENTUCKY

COUNTY OF JEFFERSON, SS:

The foregoing instrument was signed and acknowledged before me this 21 day of MARCH, 2024, by **JAMES W. CLEMENTS, Vice President, of PNC Bank, National Association, Trustee of the NANCY DECOURCY EVANS Trust Agreement** originally dated April 14, 1982 as restated and amended.


NOTARY PUBLIC

MELISSA ANN WHITE
Notary Public - State at Large
Kentucky
My Commission Expires Nov. 22, 2027
Notary ID KYNP82978

No title examination or diagramming requested of or performed by Wood & Lamping LLP.

This instrument was prepared by Jan M. Frankel, Esq., Wood & Lamping LLP, 600 Vine Street, Suite 2500, Cincinnati, Ohio 45202

EXHIBIT A**1627 E McMillan St****Parcel No. 64-3-75 ST**

Beginning at the Northwest corner of Lot No. 1 of the Subdivision of the heirs of Bernard G. Stall, deceased, in Walnut Hills, as laid out by the Commissioners in Partition Case # 43820, Superior Court of Cincinnati, Ohio wherein Walter R. Stall was Plaintiff and Elizabeth A. Stall, et al were Defendants in Partition among the papers in said Case and also recorded in Plat Book 10, Page 12 in the Recorder's Office of Hamilton County, Ohio; thence Southwardly along the West line of Lot No. 1 above mentioned three hundred and twelve (312) feet to a point; thence Eastwardly parallel with the North line of Columbia Avenue one hundred and fifty-two and eighty-five hundredths (152.85) feet to a point in the East line of Lot No. 2 of said Bernard G. Stall heirs subdivision as set forth above; thence North along the East line of Lot No. 2 of the subdivision above mentioned two hundred and thirty-three (233) feet to the South line of East McMillan Street; thence South 83 degrees 44 minutes West forty-eight and fifty hundredths (48.50) feet to a point; thence continuing South 84 degrees 44 minutes West twenty-six and forty-five hundredths (26.45) feet to a point; thence South 85 degrees 32 minutes West along the South line of East McMillan Street twenty-five and fifty-six hundredths (25.56) feet to the place of beginning.

Being the same property acquired by Nancy Carol deCourcy, now known as Nancy deCourcy Evans in Deed Book 3215, Page 130

DESCRIPTION ACCEPTABLE
HAMILTON COUNTY ENGINEER

Tax Map - Apr 05 2024 JL

CAGIS - BY PRIOR

Auditors Parcel #: 64-3-75 (cut-up)

GENERAL WARRANTY DEED*

Kathryn P. Vollmer, Rachael L. Bernstein, and Evan Pannkuk for good and valuable consideration paid, grants with general warranty covenants, to **Kathryn P. Vollmer, Rachael L. Bernstein, and Evan Pannkuk**, as tenants in common, whose tax mailing address is 5 Rennel Drive, Cincinnati, Ohio 45226, the following real property:

See Exhibit "A" attached

Excluded from the covenants of warranty are real property taxes and assessments which are not delinquent, easements, agreements, covenants and restrictions of record.

Prior instrument reference: Official Record 15140, Page 1836.

Date: _____, 2025.

Kathryn P. Vollmer

Todd Vollmer (spouse of Kathryn, joining
for release of dower)

State of Ohio
County of _____

The foregoing document was acknowledged before me, a notary public in and for said county and state, this _____ day of _____, 2025 by Kathryn P. Vollmer and Todd Vollmer.

Notary Public

Date: _____, 2025.

Rachael L. Bernstein

Brad Bernstein (spouse of Rachael, joining
for release of dower)

State of Ohio
County of _____

The foregoing document was acknowledged before me, a notary public in and for said county and state, this _____ day of _____, 2025 by Rachael L. Bernstein and Brad Bernstein.

Notary Public

Date: _____, 2025.

Evan Pannkuk

Sarah Pannkuk (spouse of Evan, joining for
release of dower)

State of Ohio
County of _____

The foregoing document was acknowledged before me, a notary public in and for said county and state, this _____ day of _____, 2025 by Evan Pannkuk and Sarah Pannkuk.

Notary Public

This instrument was prepared in unexecuted form by Robbins, Kelly, Patterson & Tucker, a legal professional association, 312 Elm Street, Suite 2200, Cincinnati, Ohio, 45202-2417. File No.: BI2055 I005.

EXHIBIT "A"
(Legal Description)

LEGAL DESCRIPTION
Proposed Tract 1
June 25, 2025

Situate in Section 1, Town 3, Fractional Range 2, City of Cincinnati, Hamilton County, Ohio and being part of Lot 1 of the B.G. Stall's Heir's Subdivision as recorded in Plat Book 10, Pg. 12 and being part of a tract conveyed to Kathryn P. Vollmer, Rachael L. Bernstein and Evan Pannkuk O.R. 15140, Page 1836 and being more particularly described as follows:

Beginning at the northwest corner of said Lot 1 and the south line of E. McMillan Street, 60' R/W; thence with the south line of said E. McMillan Street the following two courses, South $80^{\circ}57'18''$ East, 24.76 feet to a point; thence North $88^{\circ}29'00''$ East, 1.44 feet to a point; thence with a new division line the following two courses, South $01^{\circ}31'00''$ East, 145.07 feet to a point; thence South $72^{\circ}13'33''$ West, 47.94 feet to a point; thence with the west line of said Lot 1, North $05^{\circ}33'43''$ East, 164.28 feet to the Place of Beginning. Containing 0.1258 acres (5,482 s.f.) of land more or less. Bearings based on NAD83(2011). Subject to all legal highways, easements and restrictions of record. This description is based on a survey performed under the direction of James D. Fago, Ohio Reg. No. 7902.

LEGAL DESCRIPTION
Proposed Tract 2
June 25, 2025

Situate in Section 1, Town 3, Fractional Range 2, City of Cincinnati, Hamilton County, Ohio and being part of Lots 1 and 2 of the B.G. Stall's Heir's Subdivision as recorded in Plat Book 10, Pg. 12 and being part of a tract conveyed to Kathryn P. Vollmer, Rachael L. Bernstein and Evan Pannkuk O.R. 15140, Page 1836 and being more particularly described as follows:

Commencing at the northwest corner of said Lot 1 and the south line of E. McMillan Street, 60' R/W; thence with the south line of said E. McMillan Street the following two courses, South 80°57'18" East, 24.76 feet to a point; thence North 88°29'00" East, 1.44 feet to the Place of Beginning; thence continuing with the south line of said E. McMillan Street, North 88°29'00" East, 26.00 feet to a point; thence with a new division line the following three courses, South 01°31'00" East, 145.07 feet to a point; thence South 88°29'00" West, 26.00 feet to a point; thence North 01°31'00" West, 145.07 feet to the Place of Beginning. Containing 0.0868 acres (3,783 s.f.) of land more or less. Bearings based on NAD83(2011). Subject to all legal highways, easements and restrictions of record. This description is based on a survey performed under the direction of James D. Fago, Ohio Reg. No. 7902.

LEGAL DESCRIPTION
Proposed Tract 3
June 25, 2025

Situate in Section 1, Town 3, Fractional Range 2, City of Cincinnati, Hamilton County, Ohio and being part of Lot 2 of the B.G. Stall's Heir's Subdivision as recorded in Plat Book 10, Pg. 12 and being part of a tract conveyed to Kathryn P. Vollmer, Rachael L. Bernstein and Evan Pannkuk O.R. 15140, Page 1836 and being more particularly described as follows:

Commencing at the northwest corner of Lot 1 of the said subdivision and the south line of E. McMillan Street, 60' R/W; thence with the south line of said E. McMillan Street the following two courses, South 80°57'18" East, 24.76 feet to a point; thence North 88°29'00" East, 27.44 feet to the Place of Beginning; thence continuing with the south line of said E. McMillan Street, North 88°29'00" East, 27.00 feet to a point; thence with a new division line the following three courses, South 01°31'00" East, 145.07 feet to a point; thence South 88°29'00" West, 27.00 feet to a point; thence North 01°31'00" West, 145.07 feet to the Place of Beginning. Containing 0.0899 acres (3,917 s.f.) of land more or less. Bearings based on NAD83(2011). Subject to all legal highways, easements and restrictions of record. This description is based on a survey performed under the direction of James D. Fago, Ohio Reg. No. 7902.

LEGAL DESCRIPTION
Proposed Tract 4
June 25, 2025

Situate in Section 1, Town 3, Fractional Range 2, City of Cincinnati, Hamilton County, Ohio and being part of Lots 1 and 2 of the B.G. Stall's Heir's Subdivision as recorded in Plat Book 10, Pg. 12 and being part of a tract conveyed to Kathryn P. Vollmer, Rachael L. Bernstein and Evan Pannkuk O.R. 15140, Page 1836 and being more particularly described as follows:

Commencing at the northwest corner of said Lot 1 and the south line of E. McMillan Street, 60' R/W; thence with the south line of said E. McMillan Street the following two courses, South 80°57'18" East, 24.76 feet to a point; thence North 88°29'00" East, 54.44 feet to the Place of Beginning; thence continuing with the said south line of E. McMillan Street, North 88°29'00" East, 21.00 feet to a point; thence South 01°31'00" East, 233.00 feet to a point; thence South 61°01'54" West, 155.72 feet to a point; thence with the west line of said Lot 1, North 05°33'43" East, 147.42 feet to a point; thence with a new division line the following three courses, North 72°13'33" East, 47.94 feet to a point; thence North 88°29'00" East, 53.00 feet to a point; thence North 01°31'00" West, 145.07 feet to the Place of Beginning. Containing 0.4196 acres (18,276 s.f.) of land more or less. Bearings based on NAD83(2011). Subject to all legal highways, easements and restrictions of record. This description is based on a survey performed under the direction of James D. Fago, Ohio Reg. No. 7902.



Alt & Witzig Engineering, Inc.

6205 Schumacher Park Drive • West Chester, Ohio 45069

Ph: (513) 777-9890 • www.altwitzig.com

September 23, 2025

Mr. Angelo Pusateri
2716 Observatory Avenue
Cincinnati, Ohio 45208

RE: Preliminary Geotechnical Evaluation
Proposed Townhomes and Garage Addition
1627 E. McMillan St.
Cincinnati, Ohio
Alt & Witzig File No.: 25CN0315

Angelo,

As per your request, Alt & Witzig completed a preliminary geotechnical evaluation for the design/construction of the proposed townhomes and garage addition at 1627 E. McMillan Street in Cincinnati, Ohio. The purpose of the evaluation is to offer preliminary geotechnical conditions/concerns for the design and construction of the new townhomes.

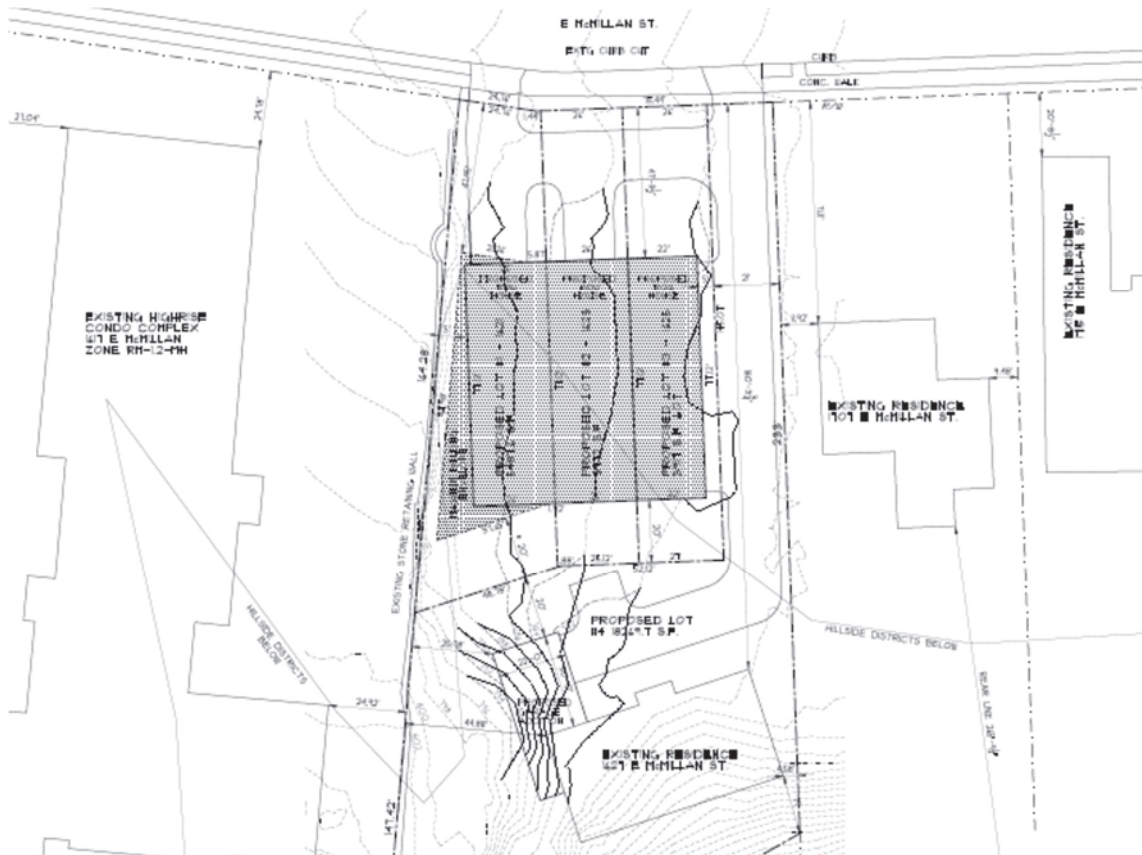


Figure 1 – Proposed townhomes and garage addition site/grading plan at 1627 E. McMillan St.

The proposed site/grading plan dated November 11, 2021, prepared by Sabo Design Associates, is shown in Figure 1. The immediate construction area for the 3 new townhomes is flat. The garage addition to the existing residence along a slope that varies from about 2H to 1V to 1H 1V.

The 3-townhome buildings will be slab-on-grade 4-story wood framed structures. The garage addition will be single-story wood-framed addition.

The native soils in this area consists of medium stiff to very stiff silty clay soils that transition to weather shale bedrock around 15-feet. For the townhomes, conventional footings would be suitable provided native soils exist in the foundation area.

For the garage addition, due to the topography, drilled piers or footings founded on bedrock will be required. No fills should be placed on or above the slope except where contained by the foundation system. A subsurface investigation must be completed to determine specific details of the foundation systems.

If we can give further service in these matters, please contact us at your convenience.



ALT & WITZIG ENGINEERING, INC.

A handwritten signature in black ink, appearing to read "Patrick A. Knoll".

Patrick A. Knoll, P.E.
Principal Engineer

**APPLICATION FOR WRITTEN ADMINISTRATIVE DECISION
CITY OF CINCINNATI PLANNING COMMISSION
STAFF REPORT**

APPLICANT: Sabo Design Associates
OWNER: Kathryn Vollmer
ADDRESS: 1627 E McMillan St
PARCEL: 006400030075
ZONING: RM-2.0-MH, Hillside Overlay District
COMMUNITY: East Walnut Hills
REPORT DATE: October 21, 2025
HEARING DATE: November 7, 2025
STAFF REVIEW: Matt Lascheid, Zoning Plans Examiner

Details of Zoning Relief Required:

Proposed Lot 1

- **Section 1433-19(a), Maximum Building Envelope, West Side Yard Setback.** The required west side setback, per Section 1433-17, is 19.5ft. The proposed setback is 10.3ft. **Hillside relief of 9.2ft of west side setback is required.**
- **Section 1433-19(a), Maximum Building Envelope, East Side Yard Setback.** The required east side setback, per Section 1433-17, is 17ft. The proposed setback is 0ft. **Hillside relief of 17ft of east side setback is required.**
- **Section 1433-19(a), Maximum Building Envelope, Rear Yard Setback.** The required rear setback, per Section 1433-17, is 259.5ft. The proposed setback is 37.1ft. **Hillside relief of 222.4ft of rear setback is required.**
- **Section 1433-19(a), Maximum Building Envelope, Height.** The proposed building height exceeds the maximum building envelope by 4ft. **Hillside relief of 4ft of building height is required.**

Proposed Lot 2

- **Section 1433-19(a), Maximum Building Envelope, West Side Yard Setback.** The required west side setback, per Section 1433-17, is 19.5ft. The proposed setback is 0ft. **Hillside relief of 19.5ft of west side setback is required.**
- **Section 1433-19(a), Maximum Building Envelope, East Side Yard Setback.** The required east side setback, per Section 1433-17, is 17ft. The proposed setback is 0ft. **Hillside relief of 17ft of east side setback is required.**
- **Section 1433-19(a), Maximum Building Envelope, Rear Yard Setback.** The required rear setback, per Section 1433-17, is 259.5ft. The proposed setback is 33.1ft. **Hillside relief of 226.4ft of rear setback is required.**

- **Section 1433-19(a), Maximum Building Envelope, Height.** The proposed building height exceeds the maximum building envelope by 4ft. **Hillside relief of 4ft of building height is required.**

Proposed Lot 3

- **Section 1433-19(a), Maximum Building Envelope, West Side Yard Setback.** The required west side setback, per Section 1433-17, is 19.5ft. The proposed setback is 0ft. Hillside relief of 19.5ft of west side setback is required.
- **Section 1433-19(a), Maximum Building Envelope, East Side Yard Setback.** The required east side setback, per Section 1433-17, is 17ft. The proposed setback is 1ft. Hillside relief of 16ft of east side setback is required.
- **Section 1433-19(a), Maximum Building Envelope, Rear Yard Setback.** The required rear setback, per Section 1433-17, is 259.5ft. The proposed setback is 33.1ft. **Hillside relief of 226.4ft of rear setback is required.**
- **Section 1433-19(a), Maximum Building Envelope, Height.** The proposed building height exceeds the maximum building envelope by 4ft. **Hillside relief of 4ft of building height is required.**

Proposed Lot 4

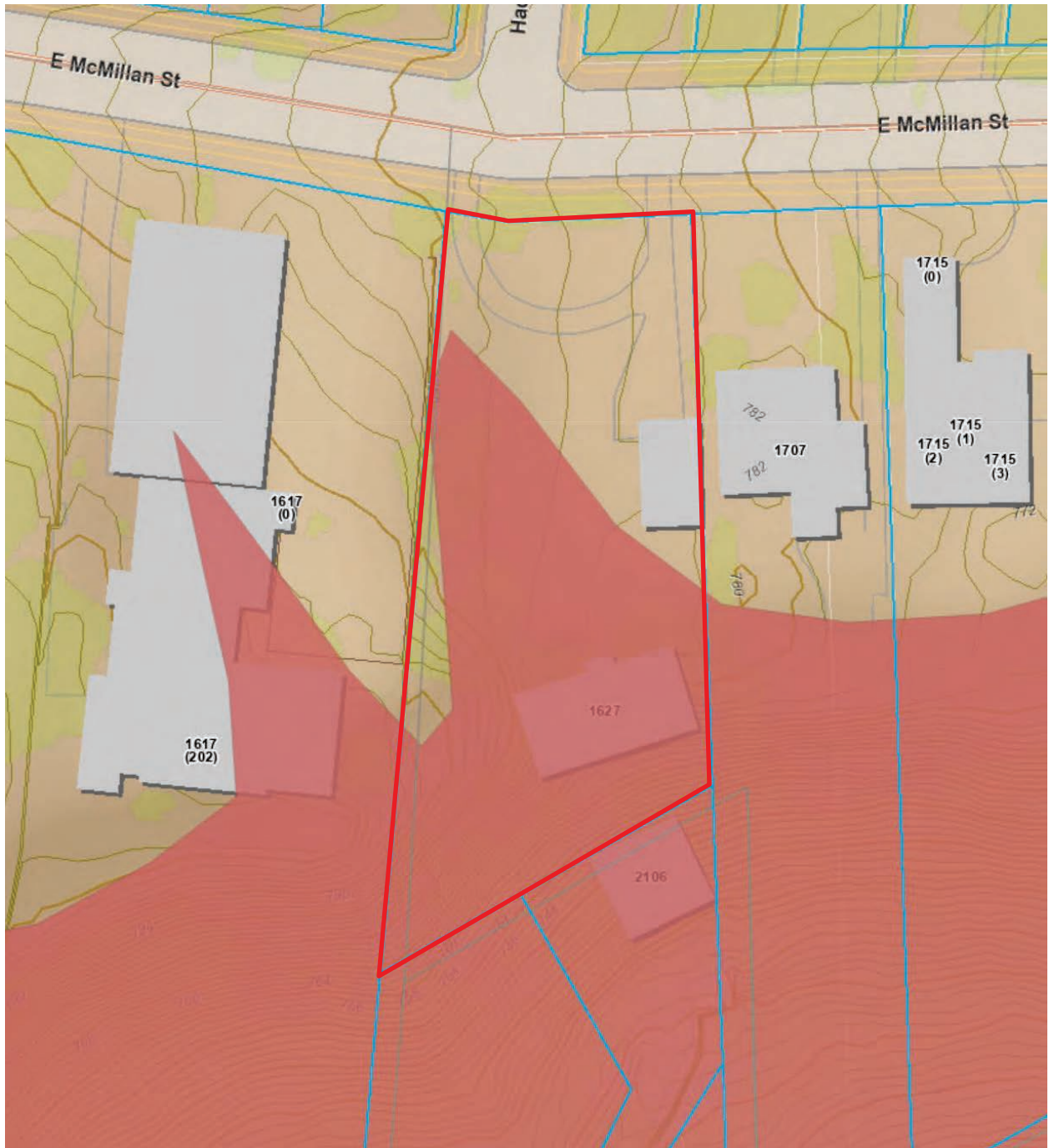
- **Section 1433-19(a), Maximum Building Envelope, Front Yard Setback.** The required front setback, per Section 1433-17, is 48ft. The proposed setback is 20ft. Hillside relief of 28ft of front yard setback is required.
- **Section 1433-19(g), Excavation and Fills.** Excavation and fills should not exceed 8ft in cumulative height. The proposed project includes regrading from 778ASL at the bottom of the garage footers to 794ASL, for a cumulative height of 16ft. **8ft of excavation and fill relief is required.**

Existing Conditions:

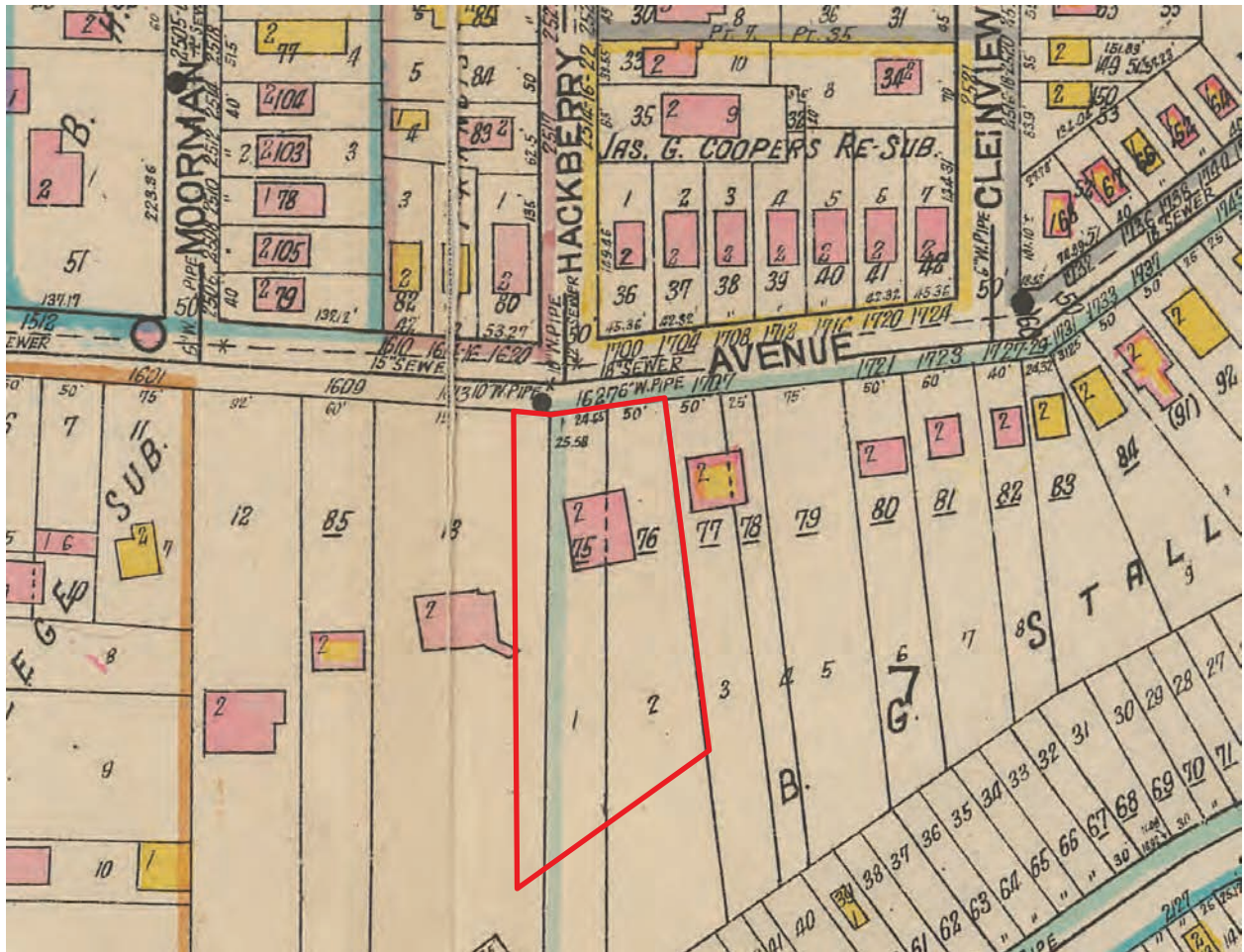
The subject property is an approximately 31,000sf lot on the south side of E McMillan St in East Walnut Hills. The property is currently occupied by a single-family home which is set back unusually far from E McMillan St (180ft) in comparison to other homes on the block. This makes the property an outlier in its current configuration. Along the streetscape are a variety of large single-family homes, two-family, three-family, and multi-family buildings with front setbacks ranging between approximately 20ft and 75ft. The building to the east is a ±2,200sf single-family home with a front setback of 71ft; the building to the west is a ±40-unit multi-family condominium building with a front setback of 25ft. The property is zoned RM-2.0-MH and the hillside overlay district occupies much of the parcel, although the majority of the lot is relatively flat except for the rear.



Aerial showing subject property outlined in red. Note that the property is much shallower than the parcels on either side, and that the house is set much further back from the street than the buildings on either side.



Topographic map of the property, with the hillside overlay district shown in red. Proposed new lots are in the front (north) of the property, on land that is relatively flat yet partially within the hillside overlay district.



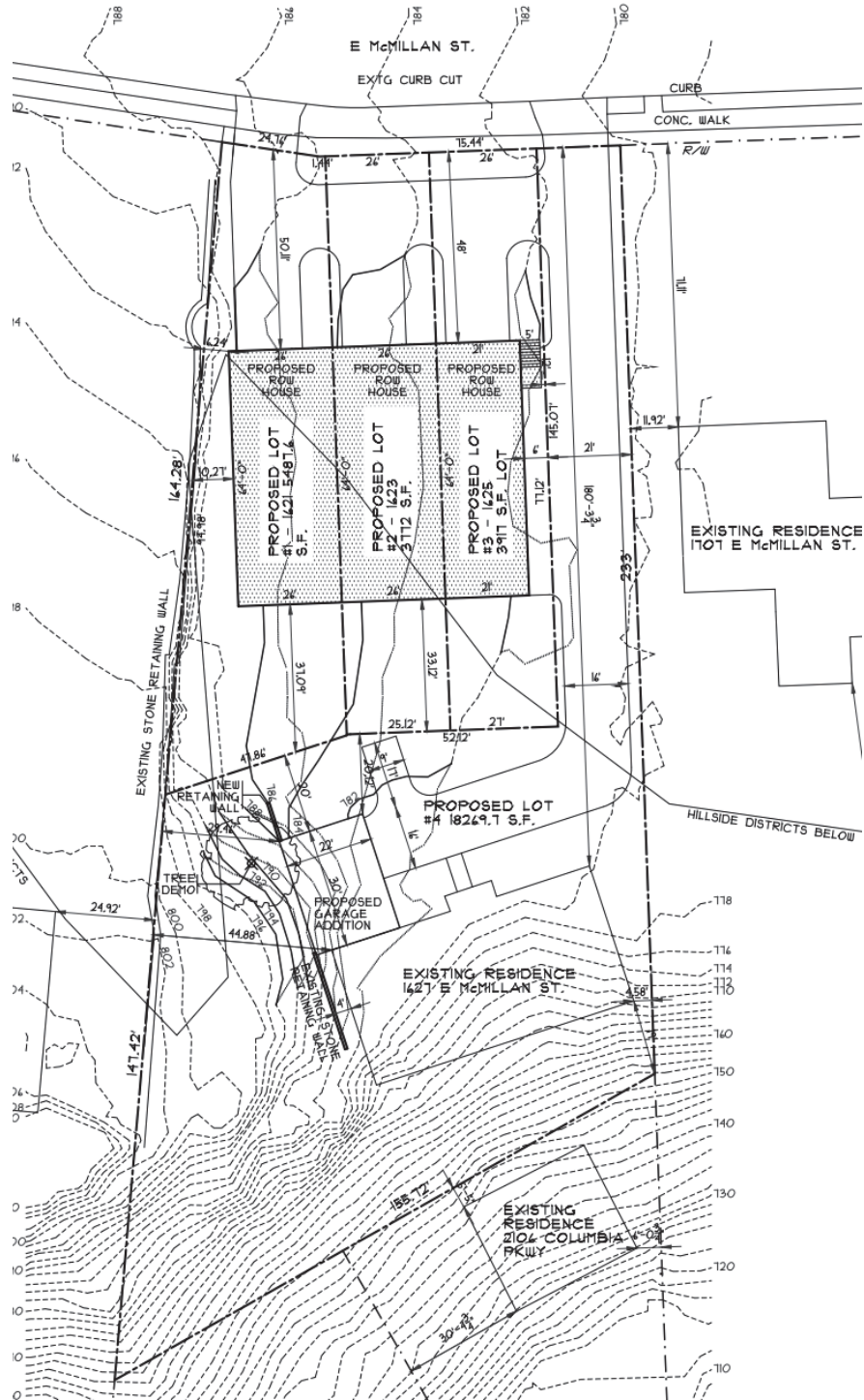
Historic Sanborn Fire Insurance map from 1922, with the current property boundary superimposed in red. Note that the site was historically occupied by a two-story brick dwelling that was in line with other homes along E. McMillan St.



Street view image of the subject property. Because the current house is set back so far from the street, the property reads to passers-by like an unoccupied lot.

Proposed Conditions:

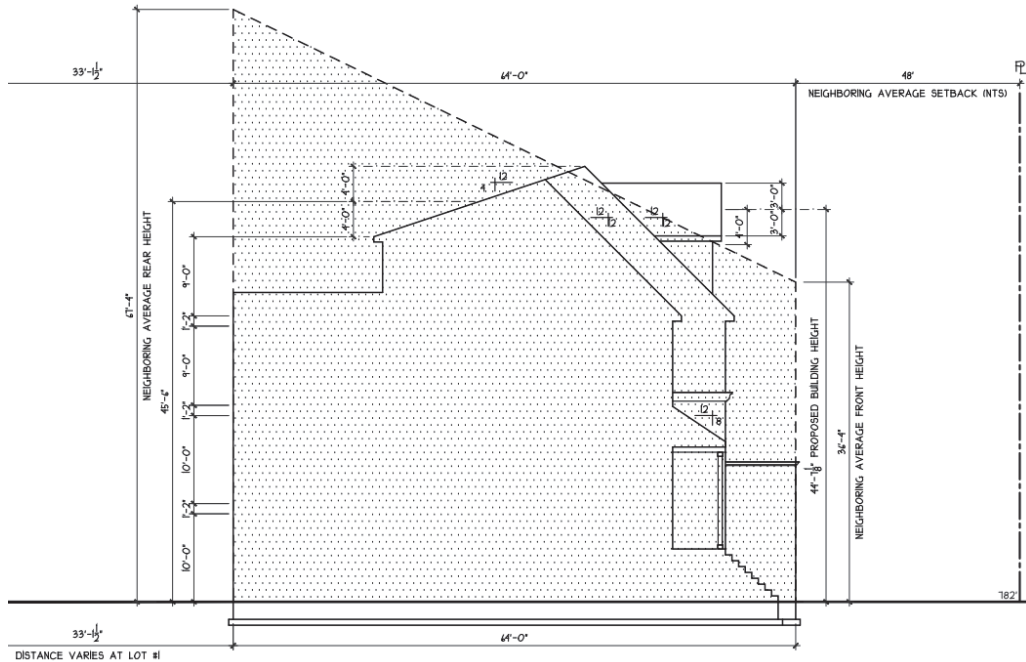
The applicant is proposing to subdivide the 1 lot into 4 lots, creating a panhandle / rear lot to support the existing house and three new rowhome lots in the front along E McMillan St.



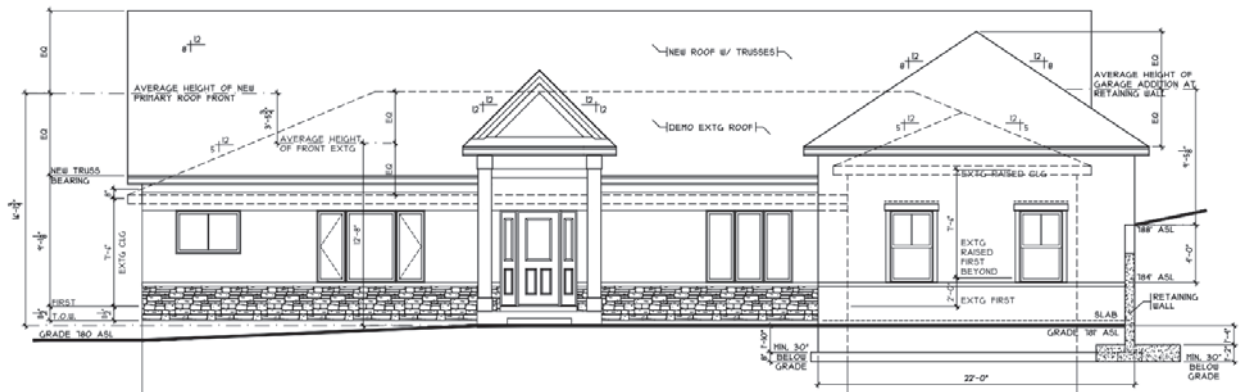
Proposed site plan. Three new rowhomes are proposed to the north, each on their own lot. The existing residence is to be enlarged with a garage addition and new roof.



Proposed front elevations of the rowhomes.



Proposed side profile of the rowhomes. The rowhomes exceed the maximum building envelope at the front by 4ft.



Proposed front elevation of the existing home at the rear. The roof height is being raised and an attached garage is being added at the front.

The application materials state the following:

“We request a review hearing and approval to subdivide this lot and site new structures as proposed. We believe this is the most practical reallocation of site space due to several unusual circumstances.

The largest and southernmost proposed flag lot containing the existing residence, would retain the current address, 1627, and will hereafter be referred to as “Lot #4.” It is the only proposed lot that approaches the steep decline at the rear of the overall site. The proposed row house lots containing the proposed addresses of 1621, 1623, and 1625 will hereafter be referred to as “Lot #1,” “Lot #2,” and “Lot #3” respectively.

We believe this proposed development is “in the public interest” as per the guidelines outlined in Cincinnati Municipal Code 1445-13. None of the development blocks any existing views over the edge of the hill; in fact, new views to the Ohio River would be created for future residents at Lots #1,2,3. This development conforms with all underlying zone district regulations and Connected Communities guidelines. It is in harmony with the surrounding neighborhood; Moreso, it *improves* the harmony of the neighborhood by reducing the contrast between the high-rise condo complex at 1617 and the rest of the more typical single family residential housing found throughout the neighborhood. As it stands now 1617 towers over the rest of the neighborhood at 97’ feet tall, an appearance exaggerated further by the largely vacant frontage at 1627 and a large stone wall between the two properties. A development such as the one proposed would soften the harsh edge between building typologies and improve neighborhood cohesion when viewed from the street.”

Applicable Zoning Code Sections:

- 1405-07 Development Regulations – Multi-Family Districts
- 1433-19 Base Development Requirements – Hillside Overlay District
- 1433-23 Hillside Development Standards

Zoning Analysis: Hillside Review, Maximum Building Envelope

Setbacks are determined by Section 1433-17, which requires that the setbacks and height for new construction equal the average of the setbacks and heights of existing buildings on either side.

The buildings on either side are detached structures on large lots with substantial setbacks. The application proposes to create 4 new lots on the subject site. Each of these 4 lots is required to follow the setback requirements calculated by determining the average front, rear, left side, and right side setbacks of the properties on either side. Because each proposed parcel is significantly smaller than the adjacent parcels (but compliant with the based zoning lot size regulations), and the project proposes rowhome buildings with little or no side yard setback, many elements of maximum building envelope (setback) relief are being requested.

The building to the east is a 3 story single-family home with a height at the front and rear of 37.7ft. The building to the west is an 8-story multi-family building with a pool deck in the front. The height at the rear of the building, in the portion occupied by dwelling units, is 97ft, whereas the height at the front of the building, at the pool deck, is less than 35ft.

The applicant has provided the following matrix showing the required setbacks and height based on the hillside overlay district’s maximum building envelope requirements of Section 1433-17.

HILL SIDE DISTRICT MAX BUILDING ENVELOPE FOR PROPOSED MAJOR SUBDIVISION							
	1417 EAST McMILLAN	1101 E McMILLAN	AVERAGE: REQUIRED SETBACKS OR MAX HEIGHT FOR ANY NEW PARCEL	PROPOSED LOT 1	PROPOSED LOT 2	PROPOSED LOT 3	PROPOSED LOT 4
WEST	21'	12'	19.5'	10.21'	0'	0'	25.8'
EAST	25'	9'	17'	0'	0'	1'	4.6' EXTG
FRONT	25'	71'	48'	50.11'	48'	48'	20'
REAR	253'	266'	259.5'	37.09'	33.12'	33.12'	19' EXTG
FRONT HEIGHT	35'	37.7'	36.35'	44.6'	44.6'	44.6'	16.4'
REAR HEIGHT	97'	37.7'	67.4'	45.5'	45.5'	45.5'	30.1'

Note that the “average required setbacks or max height for any new parcel” is based on the average setbacks of abutting parcels. As shown on the maps in the “Existing Conditions” section of the report, the properties on either side are much deeper lots than this parcel, which creates practical difficulties in following the setback requirements. The height limit is determined by averaging the heights of the front walls of the neighboring buildings and the rear walls of the neighboring buildings. The multi-family condominium

building to the west creates an unusually-shaped building envelope because the height at the rear of the building, where the condos are located is 97ft, and the height at the front of the building, where the pool deck is located, is less than the base RM-1.2-MH height of 35ft. This creates the trapezoidal building envelope shown on the previous page.

The Hillside Overlay District also regulates the amount of excavation and fill permitted for new development. Excavation and fill is measured from the lowest point of excavation to the highest point of fill as a part of a project, and should not exceed 8ft in cumulative height without hearing review. Much of the site is relatively flat, requiring minimal excavation for the proposed construction. However, a garage addition is proposed at the front of the existing home (Lot #4), which requires regrading and a building foundation with a cumulative excavation of 16ft, so 8ft of excavation and fill relief is required.

§ 1433-23. - Hillside Development Standards.

In addition to the Base Development Requirements of §1433-19, the Zoning Hearing Examiner must consider the following standards to ensure harmonious relationships with adjacent buildings and the hillside environment:

A. Avoid cuts in the hillside if they would leave cliff-like vertical slopes and excessively high retaining walls.

The proposed design does not create any cliff-like slopes or high retaining walls.

B. Design buildings to fit into the hillside rather than altering the hillside to fit the buildings.

The hillside does not need to be substantially modified for the proposed construction. The site is relatively flat, and the proposed buildings are designed on a slab to follow the existing topography.

C. Hillside development should be designed to minimize excavation required for foundations, parking, and access drives.

Excavation has been minimized, and the buildings are proposed on relatively flat portions of the side.

D. Cluster new development to retain surrounding tree cover and minimize alterations to the existing topography.

Although there are technically 3 new buildings being proposed, the 3 rowhomes are clustered to appear from the street as 1 structure. Existing landscaping is largely retained and minimal alterations are proposed to the topography. The application materials state the following: "The large flat area, which is to be utilized for proposed Lots #1,2,3, also contains very little vegetation. Our only proposed major landscaping removal in this development is a single tree adjacent to the proposed garage addition on Lot #4. It sits well away from the main ridge of the hillside and any stabilization it may have provided would be reestablished by the proposed garage addition. Otherwise, all existing landscaping is to remain."

E. Maintain a clear sense of the hillside brow by locating buildings back from the brow of the hill.

The proposed buildings are set back from the brow of the hill.

F. Site buildings so as to respect views from public viewing places within the HS District identified in a community plan or other documentation approved by the City Planning Commission.

There are no public viewing places in the immediate vicinity.

G. Where applicable, consider the guidelines contained in the "Cincinnati Hillside Development Guidelines" report to evaluate development applications.

The proposed homes are vertically proportioned on a site which is already relatively flat, with minimal excavation and fill required.

Recommendation:

Proposed Lot 1

- **Section 1433-19(a), Maximum Building Envelope, West Side Yard Setback – APPROVE** – Hillside relief of 9.2ft of west side setback to permit a 10.3ft setback.
- **Section 1433-19(a), Maximum Building Envelope, East Side Yard Setback – APPROVE** – Hillside relief of 17ft of east side setback to permit a 0ft setback.
- **Section 1433-19(a), Maximum Building Envelope, Rear Yard Setback – APPROVE** – Hillside relief of 222.4ft of rear setback to permit a 37.1ft setback.
- **Section 1433-19(a), Maximum Building Envelope, Height – APPROVE** – Hillside relief of 4ft of building height to permit a height of 41.7ft.

Proposed Lot 2

- **Section 1433-19(a), Maximum Building Envelope, West Side Yard Setback – APPROVE** – Hillside relief of 19.5ft of west side setback to permit a 0ft setback.
- **Section 1433-19(a), Maximum Building Envelope, East Side Yard Setback – APPROVE** – Hillside relief of 17ft of east side setback to permit 0ft setback.
- **Section 1433-19(a), Maximum Building Envelope, Rear Yard Setback – APPROVE** – Hillside relief of 226.4ft of rear setback to permit a 33.1ft setback.
- **Section 1433-19(a), Maximum Building Envelope, Height – APPROVE** – Hillside relief of 4ft of building height to permit a building with a height of 41.7ft.

Proposed Lot 3

- **Section 1433-19(a), Maximum Building Envelope, West Side Yard Setback – APPROVE** – Hillside relief of 19.5ft of west side setback to permit a 0ft setback.
- **Section 1433-19(a), Maximum Building Envelope, East Side Yard Setback.** Hillside relief of 16ft of east side setback to permit a 17ft setback.
- **Section 1433-19(a), Maximum Building Envelope, Rear Yard Setback – APPROVE** – Hillside relief of 226.4ft of rear yard setback to permit a 33.1ft setback.
- **Section 1433-19(a), Maximum Building Envelope, Height – APPROVE** – Hillside relief of 4ft of building height to permit a building height of 41.7ft.

Proposed Lot 4

- **Section 1433-19(a), Maximum Building Envelope, Front Yard Setback – APPROVE** – Hillside relief of 28ft of front yard setback to permit a 20ft setback.

- **Section 1433-19(g), Excavation and Fills – APPROVE** – Excavation and fill relief of 8ft to permit a cumulative excavation and fill of 16ft.

Findings

- The proposed buildings are designed to fit the hillside rather than altering the hillside to fit the design.
- The project has been designed to minimize excavation and fill, and to limit its scope to the minimum needed for development.
- The proposal is consistent with the Hillside Development Standards.



June 27, 2025

Angelo Pusateri
 Comey & Shepherd, Your Way Home Cincinnati
 2716 Observatory Ave.
 Cincinnati, OH 45208

Re: 1627 E MCMILLAN ST, CINCINNATI, OH 45206 | 1627 E McMillan Ave. **25CIN-CSRV-000090** | Preliminary Design Review | Initial Comments and Recommendations

Dear Angelo Pusateri,

This letter is to inform you that our Advisory-TEAM has reviewed your proposed project located at **1627 E MCMILLAN ST, CINCINNATI, OH 45206** in the Community of East Walnut Hills. It is my understanding that you are proposing to split the lot and build potentially three townhomes in the front part of the lot and renovate the existing house. Please see our initial feedback listed below. Thank you for developing within the City of Cincinnati.

City Planning & Engagement (Planning Division)

Immediate Requirements to move forward with project:

1. The proposed project will require review by the City Planning Commission as it is considered a Major Subdivision per Section 200-01-S5 and 200-01-S6 of the Subdivision Regulations under the following provisions:
 - o 200-01-S6 (c) – The proposed subdivision will create 4 lots.
 - o 200-01-S6 (d) – The proposed subdivision will require zoning relief.
 - o 200-01-S6 (e) – The proposed subdivision will create a rear lot
 - o 200-01-S6 (g) – The proposed subdivision is located within a Hillside Overlay District.
2. An application for a Major Subdivision may be submitted to the Department of City Planning and Engagement online at <https://eztrak.cagis.org>. The Development Plan and Final Plat submittal shall include all requirements outlined in Sections 400-03 and 400-07 of the Subdivision Regulations.

Requirements to obtain Permits:

1. Any necessary relief from the Development Regulations can be reviewed through the City Planning Commission process with the subdivision, or through a separate Zoning Hearing Examiner hearing.

Recommendations:

1. The property is zoned RM-2.0-MH, which permits three-unit multifamily structures by-right. There may be more flexibility under this path, however more information will be needed.
2. Applicant should meet with the East Walnut Hills Community Council and adjacent property owners to discuss the project. Contact information for the community council can be found here: <https://bit.ly/CommunityCouncilContacts>

Contact:

Gabrielle Couch | Planning | (513)-352-4882 | gabrielle.couch@cincinnati-oh.gov

City Planning & Engagement (Zoning Division)

Immediate Requirements to move forward with project:

1. Work with City Planning on a Major Subdivision. Any necessary zoning relief can be requested via the major subdivision process.
2. Per Section 1433-17, the required setbacks for any new parcel proposed are as follows:
 - o Front: 48ft
 - o Rear: 259.5ft
 - o East side: 17ft
 - o West side: 19.5ft
3. Please provide an updated site plan showing the permitted setbacks and any requested zoning relief for all

of the proposed parcels.

4. Please provide building elevations and demonstrate compliance with the height limits of Section 1433-17. Note that the base height limit is 35ft, but the building to the west appears to exceed this limit at the rear, so the permitted height for the subject property will be greater.
5. The property is located within the Hillside Overlay District. Please demonstrate compliance with the Base Development Requirements of Section 1433-19. Please provide a re-grading plan showing the existing topography and the proposed topography. Please show a section drawing of the building show the proposed foundation and required excavation. Please confirm the location of any proposed utilities on an updated site plan; rooftop utilities should be avoided. Please provide a proposed landscaping plan; surfaces remaining after construction should be landscaped. Please provide a preliminary geotechnical report supporting the proposed construction.
6. Please note that cross-access easements will be required to permit the site plan as proposed.

Requirements to obtain Permits:

None

Recommendations:

None

Contact:

Matthew Lascheid | Zoning Plan Examiner | (513)-352-3964 | matthew.lascheid@cincinnati-oh.gov

Metropolitan Sewer District (MSD)

Immediate Requirements to move forward with project:

1. Availability approved under CMD2500118.

Requirements to obtain Permits:

1. Site plan must include all items on checklist found at MSDGC.org/development.
2. If the project disturbs more than 10,000 sq ft of land, then a stormwater detention system will be required.

Recommendations:

None

Contact:

Rob Kern | MSD | (513)-244-5588 | rob.kern@cincinnati-oh.gov

Stormwater Management Utility (SMU)

Immediate Requirements to move forward with project:

1. If detention is required by MSD, provide SMU with a copy of the following items: Approved detention calculations, drainage map, detailed drawing of detention control structure with elevations.
2. Submit following documents – Calculations for storm water conveyance system, major storm calculations / flood routing.
3. Storm Requirements:
4. Submit following documents – Calculations for storm water conveyance system, major storm calculations / flood routing.

Requirements to obtain Permits:

1. Utility Plan:
 - o Label all pipes materials.
 - o In the public R/W, pipes to be DIP or RCP.
 - o Show Top & Invert elevations for all Appurtenances.
 - o Show slopes for all pipes.
 - o Show how downspouts tie to the underground sewer system.
2. Grading Plan:
 - o Grading must show existing and proposed contours.
 - o Impervious surfaces are NOT permitted to drain towards adjacent properties.
 - o Contours changes are NOT allowed to push more runoff towards adjacent properties (as compared to

- o pre-development conditions).
- o Runoff from all pavements must be captured and conveyed to the stormwater system. Only 800 sf of pavement may sheet flow to the public R/W.
- 3. Erosion & Sediment Control Plan is required. Refer to link:
<https://cincinnati-oh.gov/stormwater/construction-and-design/standards/sediment-and-erosion-control/>
- 4. SMU Standards Plans Notes is required. Refer to link:
<https://www.cincinnati-oh.gov/stormwater/construction-and-design/standards/smu-standard-plan-notes-april-2022/>
- 5. As-Built Survey Requirements: SMU will require an As-Built survey at the end of construction. The survey should include the following information:
 - o State Plane Coordinates (N,E) for all MH's and Catch Basins.
 - o Inverts and Top elevations for all MHs and Catch Basins.
 - o Slopes, sizes and materials for all storm lines.

Recommendations:

None

Contact:

Kevin Gold | Stormwater Management Utility | (513)-222-3643 | kevin.gold@cincinnati-oh.gov

Water Works

Immediate Requirements to move forward with project:

None

Requirements to obtain Permits:

1. **Obtain Water Service Branch Easement** - Subdividing this parcel will cause the existing water service branch (H-271782) servicing 1627 E. McMillan Avenue to cross parcel lines. Water service branches cannot cross parcel lines. The owner will be required to obtain a water service branch easement. This easement will need to include the parcel the water service branch crosses and will need to note the Greater Cincinnati Water Works' third-party interest. A standard third-party paragraph is available when you are ready to prepare the easement. The record plat could include the water service branch easement language. Once you have a proposed easement, send it to the Greater Cincinnati Water Works for approval (kevin.retta@gcww.cincinnati-oh.gov).
2. **Or purchase a new water service branch to be installed on the panhandle of the new lot** - the owner(s)/developer(s) will need to hire a Greater Cincinnati Water Works certified licensed and bonded plumber to perform the private water service branch design work and installation. The owner would be required to fill out the online Discontinuance Form (FOD) at <https://www.cincinnati-oh.gov/water/engineering-construction/forms-specifications/fod/> authorizing the discontinuance of the account associated with the existing water service branch (H-271782). This process must be completed before any new water service branch(es) can be sold.
3. A stamped and recorded plat is required before any building permits are approved, or water service branches/meters are sold.
4. Each parcel will need to have its own water service branch. Water service branch(es) are not to cross parcel lines.
5. The subject development has active water service lines at the following property:

Address	Branch #	Size	Meter #	Size
1627 E. McMillan Av.	H-271782	1.5"	271782	1.5"

5. If the water service branch is not to remain, the owner would be required to fill out the online Discontinuance Form (FOD) at <https://www.cincinnati-oh.gov/water/engineering-construction/forms-specifications/fod/> authorizing the discontinuance of the account associated with the existing water service branch(es). This process must be completed before any new water service branch(es) can be sold.

Recommendations:

1. The Owner(s)/Developer(s) will need to hire a Greater Cincinnati Water Works certified licensed and bonded plumber to perform the private water service branch design work and installation.
2. The Owner(s)/Developer(s) must have a licensed plumber that is bonded and certified with GCWW fill out the Online Branch application
<https://www.cincinnati-oh.gov/water/engineering-construction/forms-specifications/> for water service.

Contact:

Richard Roell | GCWW - Building Permits | (513)-591-7858 | richard.roell@gcww.cincinnati-oh.gov

Fire Department

Immediate Requirements to move forward with project:

None

Requirements to obtain Permits:

None

Recommendations:

None

Contact:

Elton Britton | Fire | (513)-357-7596 | elton.britton@cincinnati-oh.gov

Office of Environmental Sustainability (OES)

Immediate Requirements to move forward with project:

None

Requirements to obtain Permits:

1. If site plans require excavation or fill of quantities above 500 cy, an environmental review will be required by OES. When completing the excavation and fill permit, identify the disposal and borrow site locations for all material. "TBD" will not be accepted. Specify if fill material will be soil or engineered fill, such as sand or gravel.
2. If offsite sourced fill is to be placed onsite which exceeds 500 cy, then it must receive OES environmental approval as per City Municipal Code Chapters 1101 and 1031. A current Phase I ESA performed to the ASTM Standard E1527-21 of the proposed offsite borrow source property must be submitted for review. Stockpiled soils that will be used as fill material from an offsite borrow source require environmental sampling and analysis and the results be submitted for review. Please contact OES for a recommended sampling plan.
3. Commercial waste, including construction and demolition debris, generated during this development project must utilize a City franchised commercial waste collection service per Cincinnati Municipal Code Chapter 730. Additional information can be found at:
<https://www.cincinnati-oh.gov/oes/commercial-waste-hauler-program/>.

Recommendations:

1. The following recommendation is based on State of Ohio requirements:
 - a) Due to the age of the existing site building (garage), asbestos, lead based paint, and other hazardous building materials should be surveyed and, if needed, abatement should be conducted following all applicable state regulations prior to its demolition.
2. The following recommendations are based on adopted City of Cincinnati environmental and sustainability policies in support of the Green Cincinnati Plan:
 - a) The development goal should be to earn at a minimum the LEED Certified rating level.
 - b) Rooftop solar should be considered in the design as a renewable energy source.
 - c) Site parking should be wired for electric vehicle charging.
 - d) Site areas designated for trash carts should also have at least equal space designated for recycling carts.
 - e) The use of trees in the landscape design should be included to enhance urban forestry.
 - f) The use of pervious surfaces should be maximized to the extent practical in the design.

Contact:

Amanda Testerman | OES | (513)-352-5310 | amanda.testerman@cincinnati-oh.gov

Parks Department (Urban Forestry)

Immediate Requirements to move forward with project:

None

Requirements to obtain Permits:

None

Recommendations:

None

Contact:

Garrett Dienno | Urban Forestry | (513)-484-4573 | garrett.dienno@cincinnati-oh.gov

Department of Transportation & Engineering (DOTE-Addressing)

Immediate Requirements to move forward with project:

None

Requirements to obtain Permits:

1. Before permit applications are submitted, contact DTEaddress@cincinnati-oh.gov with the final site plan to have addresses assigned for each townhome.
2. Per Cincinnati Municipal Code (Sec. 723-65) and Ohio Fire Code (Rule 1301:7-7-05, (E) Sec. 505), address numbers must be posted and visible from the street. Since the existing home will not be visible from the street, this will most likely mean that a sign with the address will need to be installed near the driveway apron.

Recommendations:

None

Contact:

Jessica Truman | DOTE - Addressing | (513)-368-1613 | jessica.truman@cincinnati-oh.gov

Department of Transportation & Engineering (DOTE-Development Review)

Immediate Requirements to move forward with project:

None

Requirements to obtain Permits:

1. DOTE has no objection to the lot split.
2. **An access easement is needed for the shared driveway.**
3. The right of way line is to be located 10' minimum from the face of curb.
4. Provide a 10' wide sidewalk or 5' sidewalk at the property line with a 5' tree lawn.
5. The driveway widths are to be a maximum of 12' wide.
6. Provide City DOTE standard concrete driveway apron. Driveway flares are to be within the projected property lines
7. All work in or use of the public right-of-way will require a separate DOTE permit.

Recommendations:

None

Contact:

Morgan Kolks | DOTE - Development | (513)-335-7322 | morgan.kolks@cincinnati-oh.gov

Buildings & Inspections (Building Plans Examiners)

Immediate Requirements to move forward with project:

None

Requirements to obtain Permits:

1. Provide geotechnical report at time of permit submission.
2. Will the rowhouses have garages?
3. **Will there be easements for the access drive?**
4. What is the height / number of stories for the row houses?
5. A wall check by a licensed surveyor will be required for the east wall of rowhouse on lot 3.
6. A detailed code analysis will be required at time of permit submission.

Recommendations:

None

Contact:

Art Dahlberg | Buildings & Inspections | (513)-352-2424 | art.dahlberg@cincinnati-oh.gov

Law Department

Immediate Requirements to move forward with project:

None

Requirements to obtain Permits:

None

Recommendations:

1. No requirement at this time.
2. If this development were to create an encroachment in City right of way or property, a permanent change in the use of City right of way or City property or would require additional right of way to be dedicated, a Coordinated Report will be required. Application for Coordinated Report can be requested at real.estate@cincinnati-oh.gov.

Contact:

Renee Luttrell | Law - Real Estate | (513)-352-3338 | renee.luttrell@cincinnati-oh.gov

Department of Community & Economic Development (DCED)

Immediate Requirements to move forward with project:

None

Requirements to obtain Permits:

None

Recommendations:

None

Contact:

Roy Hackworth | DCED | (513)-352-6119 | roy.hackworth@cincinnati-oh.gov

This letter is not intended as the City's final approval of your project, but rather as an initial review and consultation to provide feedback from the City's various departments and to better coordinate between the City and developer. We hope you find this process both forthcoming and helpful.

Sincerely,



Rodney D. Ringer
Development Services Division Manager



East Walnut Hills

The East Walnut Hills Assembly, Inc.

PO Box 68050

Cincinnati, OH 45206

CINCINNATI, OHIO

www.eastwalnuthills.org

October 30, 2025

To: The City of Cincinnati Department of City Planning and Engagement and Members of the Planning Commission

From: The DeSales Community Urban Development Corporation and the East Walnut Hills Assembly Board

Hello,

The DeSales Community Urban Development Corporation and the East Walnut Hills Assembly Board are committed to bringing East Walnut Hills residents beautiful, enduring, and vibrant projects for all residents of our historic Cincinnati neighborhood. These goals and values drive us to offer both organizations' support to Sabo Design Associates, represented by Angelo Pusateri, and their proposed major subdivision of the property known as 1627 E. McMillan St.

On Wednesday, September 17, 2025, Mr. Pusateri met with the DeSales Community Urban Redevelopment Corporation (DCDC), the community development corporation for East Walnut Hills. Mr. Pusateri was requesting DCDC's support for the proposed major subdivision of the property known as 1627 E. McMillan St. into four lots, new construction of townhouses on Lots 1-3 abutting E. McMillan, and the renovation of an existing single-family home on Lot 4.

Before the meeting, Mr. Pusateri shared Sabo's application letter to the Zoning Hearing Examiner and supporting documents that had been submitted to the City (including City responses) when applying for the major subdivision and requesting several variances. On October 22, Mr. Pusateri shared with DCDC an updated application letter from Sabo to the City, refining Sabo's requests for zoning relief.

At the September 17 meeting, based on the documents presented at the DCDC meeting and after discussion with Mr. Pusateri, the DCDC members voted to support the request for the major subdivision.

Specifically, referencing the "Site Plan" that was in the plans time-stamped September 16, received from the developer, DCDC members voted:

1. To support the request for the side yard variances for the three proposed townhouses.
2. To support the request for the rear yard variances for Lots 1-3;
3. To support the request for a front yard variance for Lot 4.

4. DCDC members, while generally supportive of the proposed height for the townhouses, stated that they believed the developer would need to request a variance for the requested 45.5 ft height of the townhouses, since in DCDC's calculation, the averaging of the heights of the abutting properties along the street was closer to 35 ft than 67.4 ft referenced in the developer's documents. DCDC voted to flag this issue for the City's Planning Department and the Planning Commission to resolve.
5. DCDC did not take an official position on the request for the height excavation variance for the garage on Lot 4. At the time, no Geotech report was available. And generally, DCDC lacks the engineering expertise to make decisions like these.

DCDC Members also voted to forward DCDC's decisions listed above in Numbers 1-5 to the Board of the East Walnut Hills Assembly, the community council for East Walnut Hills, for consideration by the Board.

On September 30, 2025, Mr. Pusateri (representing Sabo Designs) met with the Board of the East Walnut Hills Assembly to share the plans for the proposed development and engage in discussion. The Board of the East Walnut Hills Assembly voted to support the request for the major subdivision and adopt the decisions of DCDC listed in Numbers 1-5 above.

On October 22, Mr. Pusateri shared a revised application letter with DCDC that Sabo had submitted to the Zoning Hearing Examiner. He also shared a copy of the Preliminary Geotechnical Evaluation written by Alt & Witzig Engineering, Inc. DCDC acknowledges and has no issues with the following new information listed in the revised application letter:

1. The request for a variance for the side porch on the townhouse on Lot 3.
2. Mr. Pusateri discussed the new roof and the proposed new height of the roof on the existing house on Lot 4 at the September DCDC meeting. DCDC members had no opposition to this matter.
3. Mr. Pusateri discussed the existing vegetation on the property at the September meeting. DCDC members raised no substantive concerns about his removing vegetation.

One final matter that pertains to the Geotechnical Evaluation:

1. The Evaluation states the following: "For the townhouses, conventional footings would be suitable provided the native soils exist in the foundation area." DCDC members are aware that a house, likely built in the early 20th century, was demolished on the site of the proposed townhouses in the late 1960s and early 1970s. DCDC flags this issue because what is called "native soils" may have been disturbed or no longer exist.

DCDC and the EWHA Board appreciated that Mr. Pusateri was responsive to requests for information and diligent in answering questions about the development at the meetings of both bodies and in follow-up emails requesting further information. Mr. Pusateri independently reached out to abutting neighbors to answer questions and concerns about the development.

Thanks,

Stephen Ramos

Steve Ramos
President, East Walnut Hills Assembly

Drew Gores

Drew Gores
President DeSales Community Urban
Development Corporation

Couch, Gabrielle

From: Karen Robertson <[REDACTED]>
Sent: Wednesday, October 29, 2025 8:25 AM
To: Couch, Gabrielle
Subject: [External Email] Comments for Subdivision Request - 1627 E McMillan

External Email Communication

Good morning Gabrielle,
Please find below our comments regarding the subdivision request:at 1627 E McMillan.

Dear Planning Commission,

We are writing to share our thoughts regarding the subdivision request at 1627 E McMillan. My husband and I live two doors down the hill from this property. The proposed subdivision is located within a Hillside Overlay District and is zoned RM 2.0 multifamily, allowing for three multifamily structures. The applicant is proposing four structures on four lots, which is one more than code allows. To make room for the additional lot, the applicant is being forced to request a multitude of variances.

According to the City's Subdivision Regulations, the Planning Commission may grant a variance if they find an applicant has demonstrated evidence in each case below: ***Please see our comments in bold and italic below.***

- Variances are not to be used to nullify the general intentions and purpose of the zoning code. ***The applicant is not following the intent of the zoning code by requesting to split the property into more lots than code allows. By adding a fourth lot onto the property, the applicant is unable to satisfy minimum setback requirements, forcing him to request a multitude of variances.***
- Variances are to be used whenever the enforcement of the zoning code causes undue hardship or practical difficulty to the applicant due to physical surroundings, shape, or topographical condition of the property. ***The enforcement of the zoning code does not create hardship for the applicant. The applicant is creating his own hardship by failing to comply with code and attempting to add a fourth rear lot onto the property.***
- The reason for requesting a variance should be specific and unusual to the property and not applicable to other properties. ***There is nothing unusual about this property compared to neighboring properties, other than the single-family house located thirty feet below the south property line.***
- A variance cannot be based exclusively on a desire to obtain additional income from the property. ***The applicant's lot split request exceeds code limitations, a strategy that maximizes the financial return of the project. The applicant anticipates the listing price of the single-family house to be 1.2-1.3 million and the three row houses to list for 1-1.3 million each.***

- The requested variance is the minimum adjustment necessary for the reasonable use of the land. ***The land, in its present state, already has reasonable use. If subdivided into two or three lots, the land would have reasonable use. Adding a fourth lot does not create reasonable use of the land.***

- A variance will not be detrimental to the public safety, health or welfare or injurious to other property in the neighborhood.

We have concerns regarding a neighbor's house located at 2106 Columbia Parkway as well as surrounding properties. The Columbia Parkway property borders the south sloping property line of the subdivision. The neighbor's house is situated 30 feet below the subdivision's existing house. The existing house was built on top of the hillside in 1950, five years after the neighbor's house. Today, both houses are located within a Hillside Overlay District. The applicant plans to build a new attached double garage next to the steep hillside. To do so, he proposes to destroy two 85-foot pine trees alongside the hillside and increase excavation and fill by 50% more than code allows. This action presents a serious threat to the landslide-prone hillside, impacting both the neighbor's house and surrounding properties.

RECOMMENDATIONS:

We recommend the Planning Commission deny this lot split application as written. The applicant's request for four lots, one more than code allows, results in the creation of a 'panhandle' or rear lot. This lot type is an anomaly to the neighborhood. It mandates a 21-foot wide access road leading to the rear lot which is atypical of the street. To split the property into four lots, seven variances must be requested. The variances do not meet the criteria of the City's Subdivision Regulations as noted above. Subdividing the property into two or three lots, as code allows, significantly reduces the applicant's need for variances while improving the property's compatibility with the scale and character of the neighborhood. The proposed development is best suited for less than four lots. Not only does this satisfy code but it helps maintain the neighborhood character.

Given the property's location in a Hillside Overlay District, we have concerns regarding the construction of the proposed attached garage at the edge of the hillside. To construct the double garage, the applicant is proposing to destroy two 85-foot mature pine trees next to the hillside and increase excavation and fill by 50% more than code allows. The fill area borders the steep hillside and is approximately 1,000 square feet in area. A neighbor's house, located at 2106 Columbia Parkway, sits 30 feet below the existing house and proposed double garage. Construction near a hillside can destabilize an already vulnerable steep slope and adversely impact neighboring properties. This has the potential to impose significant damage from landslides and excessive water runoff, especially during the winter and spring seasons. The situation presents an imminent threat not only to the neighbor's house but to surrounding properties as well.

As neighbors to the proposed subdivision, we are concerned about the overall height of the new row houses. It is unclear as to the applicant's intent on how high he plans to build the row houses. Next door to the proposed subdivision sits the Husman House, an eight-story condo building constructed in 1962. It stands as an anomaly in the neighborhood. Its construction occurred during a period of lenient zoning, prior to the City's 1963 major code revision. The 1963 code was a major turning point in the city's zoning history, setting new rules about density to protect single-family housing. Our street is lined with an array of two and three story single-family and multifamily residences. To ensure compatibility with the height of the neighborhood, we recommend the Planning Commission require the applicant to build no higher than what is allowed by our current zoning code.

Based on concerns regarding the hillside's instability and close proximity to the neighbor's house, we recommend the applicant eliminate the 'panhandle' rear lot and divide the property into two or three

lots in accordance with code. This approach would facilitate the development of multiple, larger row houses at the front of the site. We also recommend tearing down the existing house on the property, which would create an opportunity for a private rear garden overlooking the river for row house owners. This is in keeping with the backyards of the neighboring single-family and multifamily houses on the street. This strategy ensures the hillside's long-standing 75-year stability is not compromised. It preserves two 85-foot pine trees that are helping to stabilize the slope, eliminates the need for a 21-foot-wide access road, and greatly reduces the number of variances required. This solution is compatible and beneficial for the neighborhood while at the same time it gives the applicant the flexibility to construct one, two or three larger houses at the front of the property while helping to stabilize the vulnerable hillside.

Respectfully,
Karen and Malcolm Robertson
1715 E McMillan St, #2

Couch, Gabrielle

From: Angelo Pusateri <apusateri@comey.com>
Sent: Thursday, October 30, 2025 7:09 AM
To: Couch, Gabrielle
Subject: [External Email] Fwd: 1627 E. McMillan Subdivision Submission Documents

From: Marc Gleason <[REDACTED]>
Date: October 29, 2025 at 8:16:50 PM EDT
To: Suzette Waugh <swaugh@comey.com>
Subject: Re: 1627 E. McMillan Subdivision Submission Documents

Hello Angelo,

I have no objections to your QCR25095 Site Plan as it relates to my properties.

Best,

Marc Gleason
2106 Columbia Parkway
2110 Columbia Parkway

From: Suzette Waugh <swaugh@comey.com>
Sent: Monday, August 25, 2025 1:30 PM
To: [REDACTED] <[REDACTED]>
Cc: 'Angelo Pusateri' <apusateri@comey.com>
Subject: 1627 E. McMillan Subdivision Submission Documents

Hi Marc,

For your reference, we are sharing the major subdivision documents that were submitted to the City. Our intent is to ensure transparency and to provide the information directly, without the need for you to locate the documents independently.

Please don't hesitate to reach out if you have any questions or require further clarification.

Suzette Waugh
Realtor® | Comey & Shepherd Realtors
(513) 477-7698
swaugh@comey.com
www.yourwayhomecincy.com

SUBJECT: A report and recommendation on a proposed Major Amendment to the Concept Plan and Development Program Statement for Planned Development #88 (PD-88), Three Oaks, located at 2800 Robertson Avenue in Oakley.

GENERAL INFORMATION:

Location: 2800 Robertson Avenue, Cincinnati OH, 45209

Petitioner: Neyer Properties
2135 Dana Avenue, Suite 200, Cincinnati OH, 45207

Owner: Oakley Yards Land, LLC
2135 Dana Avenue, Suite 200, Cincinnati OH, 45207

Request: A proposed Major Amendment to the Concept Plan and Development Program Statement for Planned Development #88, Three Oaks, in Oakley, to increase the allowable square footage of the senior housing building.

ATTACHMENTS:

Provided in addition to this report are the following exhibits:

- Exhibit A – Location Map
- Exhibit B – PD-88 Approved Concept Plan and Development Program Statement
- Exhibit C – Amended Development Program Statement
- Exhibit D – Amended Concept Plan
- Exhibit E – Coordinated Site Review Letter (25CIN-CSR-000136)

BACKGROUND:

Planned Development #88 (PD-88), Three Oaks, was established on June 24, 2020, by Ordinance 227-2020, in which City Council approved the zone change and Concept Plan and Development Program Statement. The entire project encompasses 30.86 acres of land at 2800 Robertson Avenue in Oakley to be developed with single-family homes, multi-family buildings, senior housing, and a club house. The site is in varying stages of development and owned by several subsidiaries of Neyer Properties.

The petitioner, Neyer Properties, is requesting a Major Amendment to the Concept Plan and Development Program Statement for the southwestern portion of the project site, where the senior housing building was approved. The amendment would impact approximately 5.48 acres of the total project site. The building was previously approved for a total square footage of 250,000 square feet; the petitioner is requesting for the maximum allowed square footage to be increased to 428,000 square feet. The new proposal includes approximately 111,000 square feet of structure parking. The height, uses, and setbacks of the proposed building fall within parameters established in the approved Concept Plan and Development Program Statement.

The petitioner's current proposal requires a Major Amendment to the Concept Plan and Development Program Statement of PD-88, because the total square footage of the proposed senior housing building is proposed to be more than a 5% increase compared to was established in the approved Concept Plan.

ADJACENT LAND USE AND ZONING:

The site is currently zoned Planned Development (PD-88). The adjacent zoning and land uses are as follows:

North:

Zoning: Manufacturing General (MG), Commercial General – Auto (CG-A), and Planned Development #94 (PD-94)

Existing Use: Railroad, commercial (storage facility), and proposed townhomes (PD-94)

East:

Zoning: Manufacturing General (MG)

Existing Use: Vacant building, light manufacturing and commercial

South:

Zoning: Single-Family 4 (SF-4), Commercial Neighborhood – Pedestrian (CN-P)

Existing Use: Low-density residential (single-family, duplexes)

West:

Zoning: Cincinnati boundary, Manufacturing General (MG)

Existing Use: I-71, commercial (storage facility)

PROPOSED DEVELOPMENT AND CHANGES TO CONCEPT PLAN:

The approved Concept Plan and Development Program Statement for PD-88 included a variety of residential building types, including single-family, townhomes, multi-family, and senior living units. The proposed project consists of a new senior living building, also referred to as an active adult living apartment complex. The proposed project includes 191 units, a four-story parking structure with approximately 306 parking spaces, a courtyard with a pool, and various other amenities for tenants, including a pickle ball court, community garden, dog park, and putting green.

The table below indicates what the senior living component was approved with and what is currently proposed:

	Approved Concept Plan	Proposed
Square Footage	200,000 – 250,000	428,000
Unit Count	150-200	191
Stories	1 – 5	4
Vehicular Parking Spaces	45-50	306

The petitioner has requested a Major Amendment to the Concept Plan and Development Program Statement to increase the allowable square footage of the building to 428,000 square feet, more than a 5% increase compared to what was established in the approved Concept Plan and Development Program Statement. The approved Concept Plan established a maximum square footage of 250,000 square feet for the senior living building.

No other significant changes to the originally approved Concept Plan and Development Program Statement have been proposed. The change is considered a Major Amendment to revise the Concept Plan and Development Program Statement accordingly.

BASIC REQUIREMENTS OF A PLANNED DEVELOPMENT DISTRICT:

According to §1429-05 of the Cincinnati Zoning Code, *Basic Requirements*, PD Districts and development within PD Districts must comply with the following:

- a. **Minimum Area** – *The minimum area of a PD must be two contiguous acres.*

The existing Planned Development consists of 30.86 contiguous acres, with the Major Amendment impacting approximately 5.48 acres.

- b. **Ownership** – Evidence that the petitioner has sufficient control over the tract of land to affect the proposed plan, including a list of all ownership and beneficial interests in the tract of land and the proposed development are required.

The petitioner has provided evidence of site ownership by Oakley Yards, LLC.

- c. **Multiple Buildings on a Lot** – More than one building is permitted on a lot.

The approved Concept Plan and Development Program Statement indicate several buildings, including single-family housing, multi-family buildings, senior housing, and a club house.

- d. **Historic Landmarks and Districts** – Whenever a Planned Development application is filed for a property wholly or partially located within a historic landmark, historic district, or involving a historic structure, the Historic Conversation Board shall advise the City Planning Commission relating to approval of the Final Development Plan.

No portion of the site is located within a historic district, nor contains any historic landmark.

- e. **Hillside Overlay Districts** – Whenever a Planned Development application is filed for a property wholly or partially located within a Hillside Overlay District, the City Planning Commission shall approve the Final Development Plan.

No portion of the site is located within a Hillside Overlay District.

- f. **Urban Design Overlay District** – Whenever a Planned Development application is filed for a property wholly or partially located within an Urban Design Overlay District, the City Planning Commission shall approve the Final Development Plan.

No portion of the site is located within an Urban Design Overlay District.

CONCEPT PLAN AND DEVELOPMENT PROGRAM STATEMENT:

According to §1429-09 of the Cincinnati Zoning Code, *Concept Plan and Development Program Statement*, a petition to rezone a property to PD must include a Concept Plan and Development Program Statement. The purpose is to describe the proposed use or uses to be conducted in the PD District. The Concept Plan and Development Program Statement must include text or diagrams that specify:

- a. **Plan Elements** – A survey of the tract to be developed, providing a metes and bounds description of the property and the survey of property lines and total acreage. Additionally, the plan should include the location in general terms, of land areas to be developed, including: type and description of proposed land uses, buildings and structures; street rights-of-way and driveways; parcel boundaries and proposed lots, including set back lines; building heights; pedestrian circulation systems and open space or other facilities; and proposed topography, drainage, landscaping and buffer plantings.

The petitioner has submitted a proposed Major Amendment to the Concept Plan and Development Program Statement that includes sufficient information regarding proposed uses, building locations, street access, pedestrian circulation systems, and open space and landscaping.

- b. **Ownership** – Evidence that the petitioner has sufficient control over the tract of land to affect the proposed plan, including a list of all ownership and beneficial interests in the tract of land and the proposed development.

The petitioner has provided evidence of site ownership by Oakley Yards, LLC.

- c. **Schedule** – Time schedule of projected development, if the total site is to be developed in phases or if construction is to extend beyond a two-year time period.

The entire project site will be constructed in multiple phases. Parts of the project are already under construction or complete. The senior housing building is part of an upcoming phase.

- d. **Preliminary Reviews** – A preliminary review of geo-technical, sewage, water, drainage and refuse collection.

The project has been reviewed through the City’s Coordinated Site Review Process at the Technical Design Review level (see “Coordinated Site Review”).

e. ***Density and Open Space*** – *Calculations of density and open space area.*

The proposed buildings occupy approximately 108,639 square feet of the 238,525 square foot site, leaving 46% of the site available as open space.

MAJOR AMENDMENT:

The Cincinnati Zoning Code § 1429-12 allows for amendments to the Concept Plan and Development Program Statement. Major Amendments must be approved by the City Planning Commission and City Council. A Major Amendment to the Concept Plan and Development Program Statement has been requested for PD-88 because the petitioner wishes to increase the allowable square footage of the senior housing building by more than 5% of what was established in the approved Concept Plan and Development Program Statement.

FINAL DEVELOPMENT PLAN:

Pursuant to §1429-13 of the Cincinnati Zoning Code, a Final Development Plan shall be submitted to the City Planning Commission for any portion of an approved Concept Plan that the petitioner wishes to develop following approval of the Concept Plan and Development Program Statement and the Planned Development designation by City Council. The Final Development Plan must substantially conform to the approved Concept Plan and Development Program Statement. This will be reviewed by the City Planning Commission at a future meeting.

COORDINATED SITE REVIEW:

The proposed project was reviewed at the Technical Design Review level through the City’s Coordinated Site Review process in September of 2025. There were no objections from reviewing departments, though some departments outlined additional requirements to obtain permits (Exhibit E).

PUBLIC COMMENT AND NOTIFICATION:

A combined notice for the October 29, 2025 Public Staff Conference and the November 7, 2025 City Planning Commission meeting was sent to all property owners within 400 feet of the site and the Oakley Community Council.

The Department of City Planning and Engagement held a virtual Public Staff Conference on October 29, 2025 for the proposed Major Amendment for Planned Development #88. Staff from the Department of City Planning and Engagement and two members of the development team were present. Two community members attended the public staff conference; there were no comments or questions.

CONSISTENCY WITH PLANS:

Plan Cincinnati (2012)

The proposed Major Amendment is consistent with the Live Initiative Area of *Plan Cincinnati (2012)*, particularly the goal to “Provide a full spectrum of housing options, and improve housing quality and affordability” (p. 164) and the strategy to “Offer housing options of varied sizes and types for residents at all stages of life” (p. 169). The proposed project is for senior apartments, providing a needed housing type.

Oakley Master Plan (2019)

The proposed Major Amendment is consistent with the Managing Our Future Growth Focus Area of the *Oakley Master Plan (2019)*, particularly the goal to “Assure that future growth is guided by zoning and planning that will preserve Oakley as a thriving, unique, and pedestrian-scaled urban neighborhood” (p. 80) and the strategy to “Identify neighborhood development goals to the Robertson Avenue, Forrer Street, and Disney Avenue site...” (p. 84). The proposed senior development will contribute to a walkable, pedestrian-scaled residential community with semi-public and public amenities.

CITY PLANNING COMMISSION ACTION:

According to Section §1429-11(a) of the Cincinnati Zoning Code, City Planning Commission may recommend approval or conditional approval, with restrictions on the establishment of a PD District on finding that all of the following circumstances apply:

1. *The PD concept plan and development program statement are consistent with applicable plans and policies and is compatible with surrounding development;*

The proposal is an amendment to an already approved and established Planned Development district. The proposed Major Amendment does not include any changes to the established residential and residential-supporting uses, which are compatible with applicable plans (see “Consistency with Plans”) and the surrounding land use patterns.

2. *The PD concept plan and development program statement enhance the potential for superior urban design in comparison with the development under the base district regulations that would apply if the plan were not approved;*

The proposal is an amendment to an already approved and established Planned Development district. The proposal increased the square footage of the senior housing building to allow for a structured parking garage, necessitating Major Amendment approval.

3. *Deviations from the base district regulations applicable to the property at the time of the PD application are justified by compensating benefits of the PD concept plan and development program statement;*

The proposal is an amendment to an already approved and established Planned Development. As described above, the proposal increased the square footage of the senior housing building to allow for a structured parking garage, necessitating Major Amendment approval.

4. *The PD Concept Plan and Development Program Statement includes adequate provisions for utility services, refuse collection, open space, landscaping and buffering, pedestrian circulation, traffic circulation, building design and building location.*

All aspects are covered in the submitted Concept Plan and Development Program Statement.

ANALYSIS:

The proposed project will reactivate a currently vacant property into a productive development that will provide needed senior housing to the neighborhood and Cincinnati. The requested Major Amendment proposes to adjust the maximum square footage on the site to be greater than was established in the approved Concept Plan. No other significant changes to the originally approved Concept Plan and Development Program Statement have been proposed.

FINDINGS:

It is the opinion of staff of the Department of City Planning and Engagement that the proposed Major Amendment to the Concept Plan and Development Program Statement is necessary for the completion of the proposed project at 2800 Roberston Avenue in Oakley. The project is a benefit to the community, and the originally approved Concept Plan required modification due to market conditions.

It is the opinion of staff of the Department of City Planning and Engagement that the proposed Major Amendment to the Concept Plan and Development Program Statement is in compliance with §1429-12 *Amendments to a Planned Development Concept Plan*. The proposal is consistent with the purpose of the Planned Development District Regulations, and the petitioner has successfully met all basic requirements of the Planned Development District. The Major Amendment will not negatively impact the existing character of the surrounding area.

RECOMMENDATION:

The staff of the Department of City Planning and Engagement recommends that the City Planning Commission take the following actions:

1. **ADOPT** the Department of City Planning and Engagement Findings as detailed in this report; and
2. **APPROVE** the proposed Major Amendment to the Concept Plan and Development Program Statement for Planned Development #88 (PD-88), Three Oaks, located at 2800 Robertson Avenue as outlined in this report.

Respectfully submitted:



Emily Burns, City Planner
Department of City Planning & Engagement

Approved:



Katherine Keough-Jurs, FAICP, Director
Department of City Planning & Engagement

CONCEPT PLAN and PROGRAM STATEMENT PACKET

PLANNED DEVELOPMENT SUBMITTAL

For

Three Oaks

(Formerly Oakley Yards)

Mixed Use Residential Re-Development

for

Owner: Oakley Yards Land, L.L.C.

and

Developer: Neyer Properties, Inc

2135 Dana Avenue, Suite 200

Cincinnati, Ohio 45207

January 28, 2020



TABLE of CONTENTS

Program Statement

Exhibits:

- 1) PD Limits- Legal Description**
- 2) Concept Plans:**
 - 2.0 Cover Sheet**
 - 2.1 Existing Conditions**
 - 2.2 Site Plan**
 - 2.3 Street Sections**
 - 2.4 Design Precedents**
 - 2.5 Preliminary/Concept Building Elevations**
- 3) Deed**
- 4) Schedule**
- 5) Geotechnical Report**
- 6) Environmental Reports**
- 7) Oakley Community Council Documents**
- 8) Traffic Study**

PROGRAM STATEMENT

Three Oaks - Concept Plan and Development Program Statement

General summary of project:

The Three Oaks residential redevelopment is being proposed on a 30.86 acre tract of property on the north side of Robertson Avenue at the old Kenner Toy facility in the Oakley neighborhood. The site borders I-71 to the west, 34th Avenue to the east, the B & O Rail Road to the north, and Robertson Avenue to the south.

The proposed plan includes four separate types of residential products within the tract. There are Single Family lots on the easterly side, Multi-Family blocks in the middle and north sections, Townhouses and a Senior Living facility on the southwesterly side of the tract. The Senior Living section includes assisted living, memory care and independent living. The Multi-Family includes 3 story Garden style apartments, and 4 story apartments and Townhomes. The Single Family section is proposed as new urbanism style from a planning standpoint with alley access.

The redevelopment is proposing public roads, public alleys and private drives as shown on the included plans. The project will include all the required infrastructure for roads and utilities to support the redevelopment.

The redevelopment is designed to provide the residents and surrounding community with amenities such as bike and hike pathways, pocket parks/green space and a community park/gathering space at the corner of Robertson and 34th Avenue. The Multi-Family section includes a community green space, a pool and other amenities that may be included in a club house building.

The implementation of this project will be a benefit for the Oakley community and the City of Cincinnati respectively, as it will remove a large blighted building and revitalizes the north end of the neighborhood by expanding the street grid and extending the residential nature on the surrounding area to the entire Three Oaks project.

A legal description of the proposed Planned Development (PD) district is included in the submittal as Exhibit 1. Please see the attached Concept Plans for the PD for the limits of the PD - Exhibit 2. The existing Zoning of the tract is Manufacturing General (MG).

Metes and Bounds description of the property:

The total area is 30.8608 Acre. Excluding the proposed Right of Way area, the total project area is approximately 25 to 26 Acres.

Buildings and Structures :

Three Oaks is proposing to include the following:

- 60 to 70 Single Family homes,
- 130-140 Garden Style Multi-Family units,
- 55 to 65 Townhouses units,
- 200-210 Four Story Apartment units,
- 150 to 200 Senior Living units.

See the attached architectural precedent images and early concept sketches in Exhibits 2.3 and 2.4 and the Density calculation below on Page 4. The developer anticipates the Final Development Plan will shift the project's building footprints as design for the buildings and site evolves. The attached plans and renderings do not indicate setbacks from the property lines; however, the owner also wants the flexibility to have zero foot setbacks of the all sections for final planning purposes.

Street rights-of-way and Circulation:

There are new public streets included with this request of change in zoning. The Concept Plan indicates public roads and public alley ways (see Exhibit 2.2). The proposed buildings will be accessed from the new road network and alleys.

Parcel boundaries and proposed lots:

See attached overall Site Layout Plan on Exhibit 2.2. There will be new lots created, especially in the Single Family section. The Multi-Family and Senior Living sections will be platted and recorded on their own lots. This project will go through the City's subdivision process.

Building Heights:

The approximate heights of the proposed buildings can be seen on the attached sketches Exhibit 2.5- Elevations and in the Density calculation below on Page 4 on the Program Statement.

Pedestrian circulation systems:

The proposed redevelopment will have pedestrian access from the improved sidewalks along Robertson Avenue and 34th Avenue as well as the new public street network within the proposed developed area. The proposed road network will include 5-ft wide sidewalks along the streets with a 5-ft tree lawn. 7-ft wide bump-outs are planned along the main street grid to accommodate parking, landscaping and pedestrians. The proposed Three Oaks redevelopment will include an 8-ft wide walking path along the perimeter of the site.

Also, the Three Oaks redevelopment team is working with the City of Cincinnati Department of Transportation and Engineering and the Oakley Community Council to connect the proposed pathways to the existing neighborhood pathways using the 34th Avenue corridor

to the adjacent Oakley Station development. The Robertson Avenue improvements will include a new sidewalk pathway along the development's frontage.

We are also working with DOTE and the Community Council to construct a pedestrian connection across or under the adjacent railroad tracks to increase connectivity to/from Oakley Station and for necessary vehicular/ pedestrian/ bike improvements to Robertson and 34th Avenue.

Proposed topography, drainage, landscaping, and buffer plantings:

The new Three Oaks tract is a highly developed industrial area. It is relatively flat site but will require grading to build the residential structures and the infrastructure.

Landscaping shall be provided in open spaces and within the new right of ways generally shown on the concept plan. Landscaping will also be installed at the perimeter of all building types and within parking lot medians. There is a planned mounded buffer area along a portion of the north property along the railroad.

A storm water drainage system shall be constructed to collect, manage, and then convey stormwater to existing sewer system surrounding the Three Oaks Development. The runoff will likely be primarily managed by multiple underground detention basins, then released at multiple locations into the existing storm system.

Ownership:

Oakley Yards Land L.L.C. is requesting that the entire property be rezoned to PD. Oakley Yards Land, L.L.C. is the sole ownership of the property being developed. The Deed is included in the submittal under Exhibit 3.

Schedule:

The project will be built over time. Estimated timeline for the project: See Attached schedule. -Exhibit 4

Preliminary Reviews:

A Geotechnical Investigation has been performed for the current owner by Alt and Witzig Engineering, Inc. January 8, 2020. The intended Three Oaks Development can be constructed with standard practices commonly used in the Cincinnati area. See Exhibit 5 for report.

A Phase I Environmental Site Assessment dated September 2018 and a Phase II Environmental Site Assessment dated December 10, 2018 was prepared for the owner by Civil and Environmental Consultants, Inc and are included for reference, as well. See Exhibit 6 for the reports. Due to the size of the reports and for ease of presentation, The Executive Summaries of the Reports are included on the paper submission. The full reports are included on the CD of the submission.

A Traffic Memorandum to CDOTE for Trip Generation and Distribution Information was performed for the current owner by Bayer and Becker dated July 9, 2019. See Exhibit 8 for the document.

Waste Management:

Trash and recycling facilities shall be provided on-site. The Single Family section will be similar to other single family developments in that each household is responsible for their trash and recycling. Both the Multifamily and the Senior Living sites will have enclosed collection areas for pickup and handling of waste by the City of Cincinnati collection and management services.

Density and Open Space Calculations: Open spaces shall include: Parks and Green Spaces per the Plans on Exhibit 2.2.

Density calculations:

SITE DATA SUMMARY- Approximate							
Total Project Area (Acres): 30.86							
Total Designated Green Open Space / Parks (Acre): 9.1							
Description / Use	Approx Land Area (Ac)	Total Bldg Area (SF)	Bldg Heights (Stories)	# Bldgs	Total Units	Parking Spaces	Parking Ratio
Single Family Homes	8-9		2 to 3	60-70	60-70	60 - 140	1 to 2
Multifamily							
Townhouse	2-3	80,000 to 90,000	3 to 4	5 - 6	55-65	83 - 98	1.50
Garden	3-4	143,000 to 153,000	3 to 4	7 - 8	130-140	195 - 210	1.50
4-Story	5-7	210,400 to 220,400	4 to 5	2	200-210	300 - 315	1.50
Club House (included in Block C's area)	-	4,000 to 5,000	1 to 2	1	-	On Street	
Senior Living	5-6	200,000 to 250,000	1 to 5	TBD	180-200	45 - 50	0.25
Public Street	5-6						

Community Engagement: The development team meet with the Oakley Community Council on the following dates:

- June 4, 2019 - Oakley Yards Land LLC original introduction of concept to Community/ Community Council,
- July 9, 2019 - Oakley Yards Land LLC Design Charrette with Community,
- August 6, 2019 - Oakley Yards Land LLC presentation of final concept following input from Charrette,
- September 3, 2019 - Oakley Community Council formal approval and letter for support of project and concept.
- February 4, 2020 – Planned presentation to Oakley Community Council on the Re-Zoning Package.

The Plan approved by the Oakley Community Council and the associated Letter of Approval are in Exhibit 7.

Exhibit 1

PLANNED DEVELOPMENT LIMITS
LEGAL DESCRIPTION

PLANNED DEVELOPMENT
ZONING DISTRICT LIMITS

Situate in Section 28, Town 4, Fractional Range 2, Columbia Township, City of Cincinnati, Hamilton County, Ohio and being more particularly described as follows:

Beginning at a point in the centerline intersection of Robertson Road (50' right-of-way) and Thirty Fourth Avenue (50' right-of-way);

Thence with said centerline of Robertson Road, North 83°56'12" West for a distance of 1,322.68 feet to a point;

Thence, leaving the centerline of Robertson Road and continuing North 06°03'31" East, for a distance of 25.00 feet to a notch in concrete sidewalk (found) in the northerly right of way of Robertson Road;

Thence, with lines of a 3.3516 acre parcel of land, the following eight (8) courses and distances:

- 1) North 06°03'31" East, for a distance of 191.51 feet to a MAG nail (found);
- 2) North 83°56'29" West, for a distance of 115.11 feet to a MAG nail (found);
- 3) North 06°03'31" East, for a distance of 104.78 feet to a concrete nail (found);
- 4) North 83°56'29" West, for a distance of 85.06 feet to a 5/8" iron pin (MSP)(found);
- 5) North 05°36'00" East, for a distance of 34.44 feet to a concrete nail (found);
- 6) North 43°32'31" West, for a distance of 62.34 feet to a 5/8" iron pin (MSP)(found);
- 7) North 83°56'29" West, for a distance of 90.38 feet to a 5/8" iron pin (MSP)(found);
- 8) North 56°55'11" West, passing a 5/8" iron pin (MSP)(found) at 70.62 feet, for a total distance of 80.62 feet to the easterly limited access right-of-way line of Interstate Route 71 ;

Thence with said easterly limited access right-of-way line, the following four (4) courses and distances:

- 1) North 33°04'49" East, for a distance of 73.58 feet to an iron pin (found);
- 2) North 35°58'48" East, for a distance of 257.53 feet to an iron pin (found);
- 3) North 23°58'08" East, for a distance of 258.53 feet to a 5/8" iron pin (MSP)(found);
- 4) North 28°13'01" East, for a distance of 140.62 feet to a 5/8" iron pin (MSP)(found) in the southerly right-of-way line of the Baltimore & Ohio Railroad;

Thence with the southerly right-of-way line of B&O Railroad for the following three (3) courses and distances:

- 1) South 68°17'12" East, for a distance of 136.95 feet to a 5/8" iron pin (MSP)(found);
- 2) North 21°42'48" East, for a distance of 20.00 feet to a 5/8" iron pin;

3) South $68^{\circ}17'12''$ East, passing a 5/8" iron pin (MSP)(found) at 1,320.75 feet in the aforesaid west right-of-way line of Thirty Fourth Street, for a total distance of 1,346.77 feet to the centerline of Thirty Fourth Street;

Thence, with said centerline of Thirty Fourth Street, South $05^{\circ}42'48''$ West, for a distance of 716.76 feet to the said Point of Beginning.

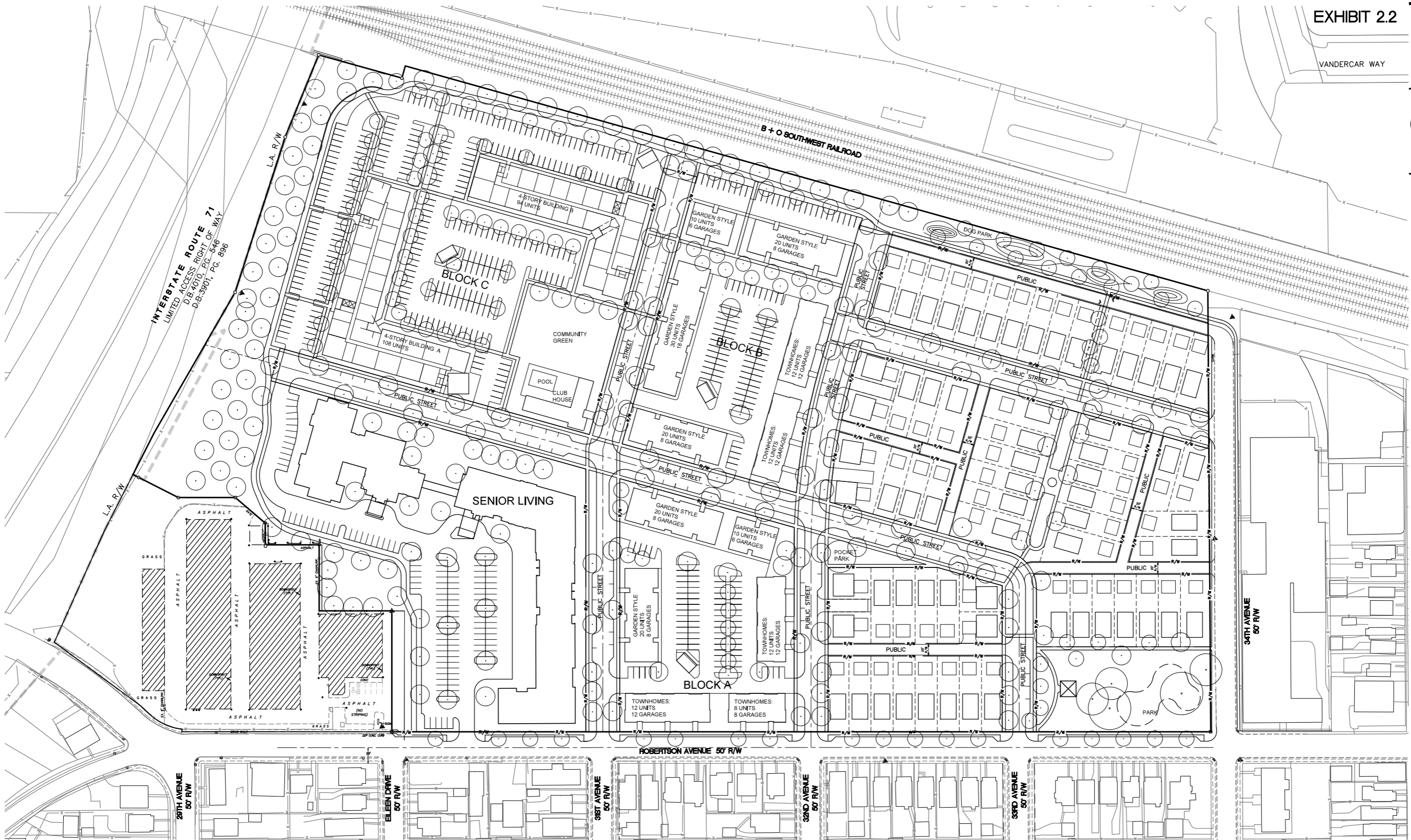
Containing 32.0186 acres (1,394,729.4 Sq. Ft.) of land. This includes 1.1578 acres within the right-of-way of Robertson Road and Thirty Fourth Street.

The above description was prepared from a Boundary Survey prepared under the supervision of Byrnside Surveying for Brandstetter Carroll in August, 2019.

The source of bearings for this boundary survey are Ohio State Plane Coordinates (South Zone). The northerly right-of-way line of Robertson Avenue bearing is North $83^{\circ}56'12''$ West. The original deed bearings were based upon Official Record 5784, Page 1851, and the bearing was North $86^{\circ}44'00''$ West.



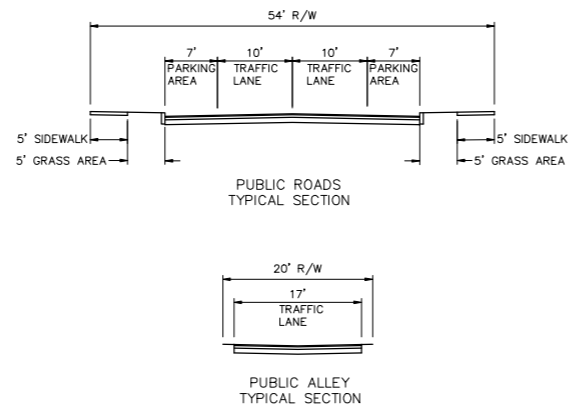
SCALE: 1"=60'



SITE DATA SUMMARY- Approximate

Total Project Area (Acres): 30.86
 Total Designated Green/Open Space / Parks (Acres): 9.1

Description / Use	Approx Land Area (Ac)	Total Bldg Area (SF)	Bldg Heights (Stories)	# Bldgs	Total Units	Required Parking Spaces	Required Parking Ratio
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Multifamily							
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Club House (included in Block C's area)	-	4,000 to 5,000	1 to 2	1	-	On Street	
Senior Living	5-6	200,000 to 250,000	1 to 5	TBD	180-200	45 - 50	0.25
Public Street	5-6						



Revisions:
 Issue Date: 1-27-2020

THREE OAKS

CITY OF CINCINNATI
 HAMILTON COUNTY, OHIO 45209

PROPOSED SITE PLAN

Project No.

19102

C-101



Three Oaks

Major Amendment to the Concept Plan Narrative

October 15, 2025

General summary of project:

The purpose of the Major Amendment is for the increase in square footage of the Senior Living parcel from the previously approved amount of 250,000 square feet to 317,000 square feet, or a total of 428,000 square feet total when including approximately 111,000 square feet of structured parking. The senior living apartments will include ample amenities for the residents such as a dog park, community garden, putting green, and a pickleball court on the roof of the parking structure, among others, all as shown on the attached plans.

The remainder of the site has not changed from our previously approved Concept Development and Final Development Plans. There are Single Family homes on the easterly side, Multi-Family buildings in the middle and north sections, a Senior Living facility on the southwesterly side of the tract, and the Car Condos in the northeastern portion. The Multi-Family includes 3 story Garden style apartments, and 4 story apartments and Townhomes. The Single-Family section is new urbanism style from a planning standpoint with alley access.



Three Oaks
Major Amendment to the Concept Plan
Table of Contents

Three Oaks Narrative

Attachment A:

Senior Living Site Plan

Car Condo Site Plan with Patios and Pergola Plans

Attachment B:

Ownership: previously submitted in approved FDP

Attachment C:

Schedule: previously submitted in approved FDP

Attachment D:

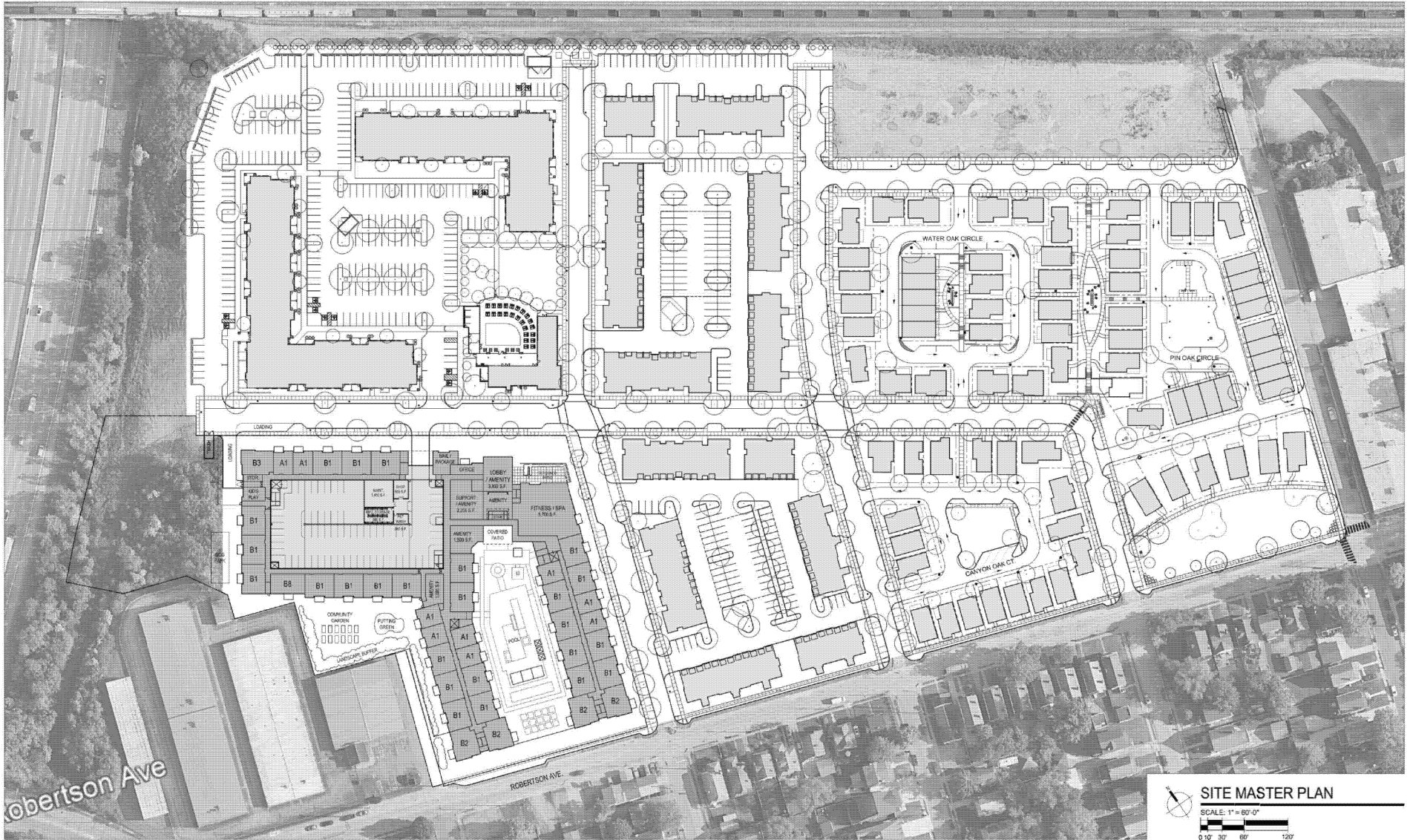
Preliminary Reviews: : previously submitted in approved FDP

Attachment E:

Density and Open Space: previously submitted in approved FDP

Attachment F:

Other Information: previously submitted in approved FDP





PROJECT DATA:

SITE AREA: 238,525 SF. 5.48 ACRES

UNIT SUMMARY:

UNIT TYPE:	QUANTITY BY FLOOR:				TOTAL UNITS	% OF TOTAL	UNIT AREA
	1st	2nd	3rd	4th			
A1 1 BEDROOM	9	10	13	10	39	20.4%	830 SF
A2 1 BR + DEN	0	1	1	1	3	1.6%	1,220 SF
A3 1 BR + DEN	0	1	1	1	3	1.6%	1,050 SF
B1 2 BEDROOM	25	28	33	30	113	59.2%	1,273 SF
B2 2 BEDROOM	4	4	4	4	16	8.4%	1,370 SF
B3 2 BEDROOM	1	1	1	1	4	2.1%	1,437 SF
B4 2 BEDROOM	0	1	1	1	3	1.6%	1,448 SF
B5 2 BEDROOM	0	1	1	1	3	1.6%	1,493 SF
B6 2 BEDROOM	0	1	1	1	3	1.6%	1,257 SF
B7 2 BEDROOM	0	1	1	1	3	1.6%	1,600 SF
B8 2 BEDROOM	1	0	0	0	1	0.5%	1,300 SF
TOTAL:	40	49	51	51	191		

BUILDING AREA SUMMARY:

4th FLOOR: 79,600 S.F.
 3rd FLOOR: 79,600 S.F.
 2nd FLOOR: 78,441 S.F.
 1st FLOOR: 79,423 S.F.
 SUB-TOTAL: 316,764 S.F.

PARKING REQUIRED:


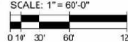
RESIDENTIAL: QUANTITY:
 337 BEDS @ 1.0 PS/BED: 337 P.S.

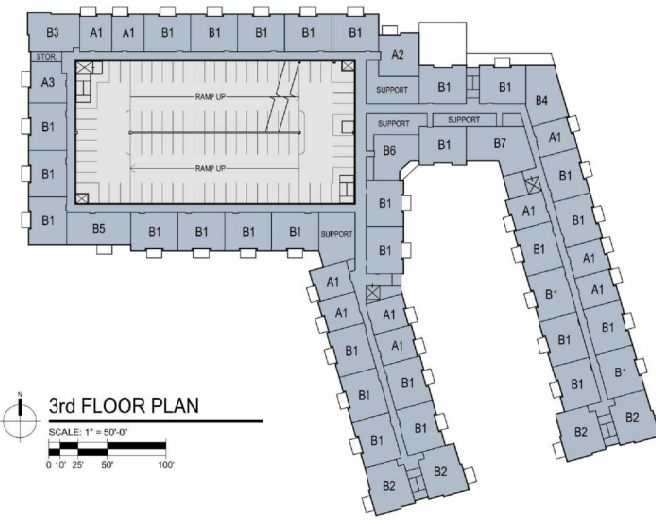
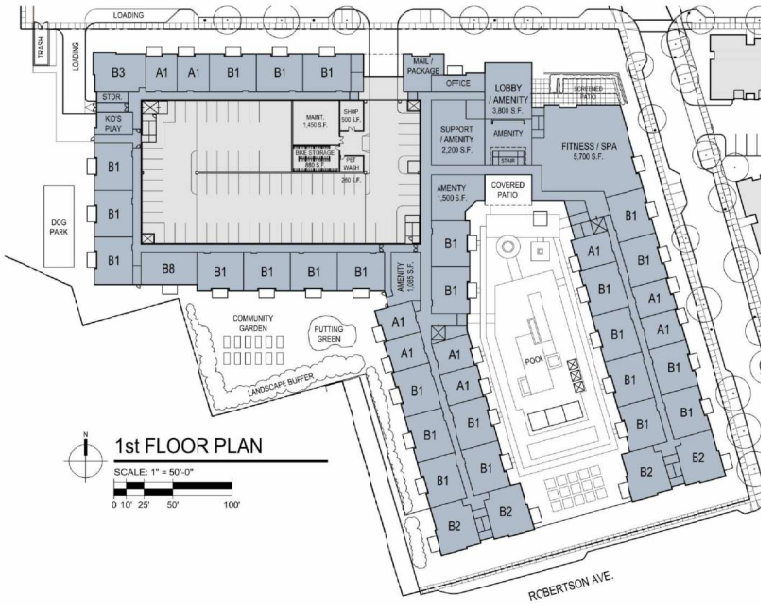
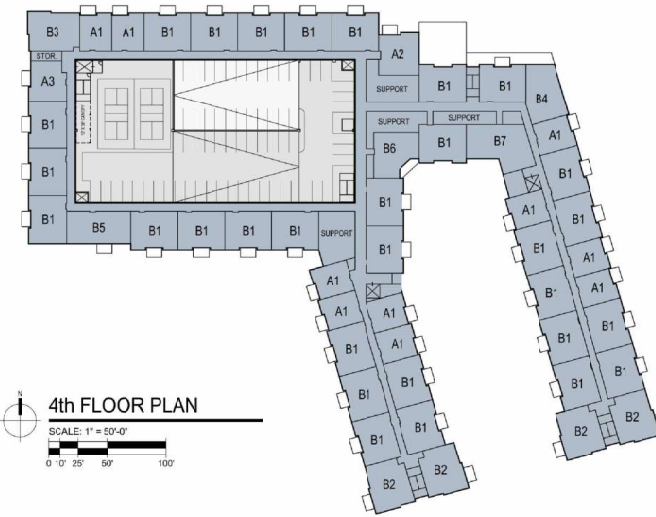
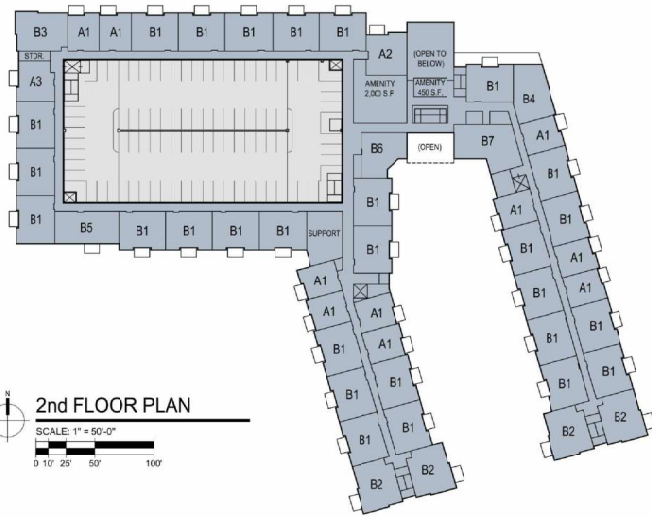
GARAGE AREA SUMMARY:

PL4: 22,716 S.F.
 PL3: 29,216 S.F.
 PL2: 29,216 S.F.
 PL1: 29,216 S.F.
 SUB-TOTAL: 110,364 S.F.
TOTAL: 427,128 S.F.

PARKING PROVIDED:

PARKING LEVEL 4: 44 P.S.
 PARKING LEVEL 3: 88 P.S.
 PARKING LEVEL 2: 88 P.S.
 PARKING LEVEL 1: 86 P.S.
TOTAL PARKING PROVIDED: 306 P.S.
 1.68 PS / UNIT (-31P.S.)


SITE / 1st FLOOR PLAN
 SCALE: 1" = 60'-0"




September 25, 2025

Anthony Gerrone
Bayer Becker
1404 Race Street, Suite 204
Cincinnati, Ohio 45202

Re: 2772 ROBERTSON AV, CINCINNATI, OH 45209 | Signature 55 | **25CIN-CSR-000136** | Technical Design Review | Final Recommendations

Dear Anthony Gerrone,

This letter is to inform you that our CSR Advisory-TEAM and CSPRO Committee has reviewed your proposed project at **2772 ROBERTSON AV, CINCINNATI, OH 45209** in the Community of Oakley. It is my understanding that you are proposing Four story 200 unit adult active living apartment complex on 5.48 acres of land. The project will include a four story parking structure with approximately 330 spaces and courtyard with a pool and amenities for tenants. The information provided is the recommendations of the City of Cincinnati and must be followed as you move forward with your project. As a reminder, we will have a **Teams conference call meeting** with you on **September 30, 2025 @ 10:00 AM** to discuss this information. Please see the feedback listed below. Thank you for developing within the City of Cincinnati.

City Planning & Engagement (Planning Division)

Immediate Requirements to move forward with project:

1. The building as proposed will require a Major Amendment to the Concept Plan and Development Program Statement of Planned Development #88 as well as a Final Development Plan.
2. The proposed building is approximately 328,000 square feet, which is about a 30% increase from the approved concept plan. In the concept plan, the maximum square footage of the building on this site is 250,000 square feet. This increase triggers the need for a Major Amendment.

Requirements to obtain Permits:

None

Recommendations:

1. It is highly recommended to share these plans with adjacent property owners and the Oakley Community Council.

Contact:

Emily Burn | Planning | 513-352-4855 | emily.burn@cincinnati-oh.gov

City Planning & Engagement (Zoning Division)

Immediate Requirements to move forward with project:

1. Since this site is zoned PD, zoning staff does not have any specific comments because the City Planning staff handles the specific zoning/design review for use, height limits, setbacks, density, landscaping, and parking etc.

Requirements to obtain Permits:

None

Recommendations:

None

Contact:

Wes Munzel | Zoning Plan Examiner | 513-352-2442 | weston.munzel@cincinnati-oh.gov

Metropolitan Sewer District (MSD)

Immediate Requirements to move forward with project:

1. Availability approved under CMD2500155.

Requirements to obtain Permits:

1. Refer to Site Plan Check List found at MSDGC.org/development. All items on this list must be on the site plan.

Recommendations:

1. Stormwater Detention will be under Stormwater Management Utility rules.

Contact:

Rob Kern | MSD - Tap Permits | 513-244-5588 | rob.kern@cincinnati-oh.gov

Stormwater Management Utility (SMU)

Immediate Requirements to move forward with project:

None

Requirements to obtain Permits:

1. Detention Requirements
 - o Show if detention is required by SMU standards and include all relevant information Chapter 3 of SMU's Stormwater Management Rules and Regulations Part 1 Technical Reference Manual, refer to link: [https://www.cincinnati-oh.gov/sites/stormwater/assets/File/smu_rules_and_regs\(1\).pdf](https://www.cincinnati-oh.gov/sites/stormwater/assets/File/smu_rules_and_regs(1).pdf)
 - o If detention and or a water quality device is required, an SMU O&M plan that is legally recorded with the county and inspection checklist will be required before the Certificate of Occupancy will be approved. They can be found at: <https://www.cincinnati-oh.gov/stormwater/construction-and-design/detention/>
 - o If detention is required by MSD, provide SMU with a copy of all information submitted to MSD
2. Water Quality Requirements - If the site discharges to a natural water way and is over half an acre of impervious area, water quality calculations will be required to show if permanent water quality is needed on the site. If permanent WQ is needed an SMU O&M plan will also be required. This can be found at: <https://www.cincinnati-oh.gov/stormwater/construction-and-design/detention/>
3. Storm Requirements - Calculations for storm water conveyance system (pipe and inlet sizes) and major storm calculations / 100-yr flow/flood routing are required.
4. Utility Plan Requirements
 - o Downspouts shall be shown routing to the approved location.
 - o Curb cuts/driveway aprons at min. 5' away from SMU inlets.
 - o Ties into Curb inlets are NOT PERMITTED.
 - o Only SMU approved pipe material and infrastructure, that is storm only is permitted in the public R/W: <https://www.cincinnati-oh.gov/stormwater/construction-and-design/standards/>
 - o Show Top, Invert, and Depth elevations and callout slope, size, and material for all Stormwater Appurtenances.
 - o Trees shall be no closer than 15ft to an SMU inlet unless protection is provided.
5. Grading Plan Requirements
 - o Grading must show existing and proposed contours.
 - o Contour changes are NOT allowed to push more runoff towards adjacent properties (as compared to pre-development conditions).
 - o Runoff from all impervious surfaces over 800sqft must be captured and conveyed to the stormwater system.
 - o Only 800sqft of pavement may sheet flow to the public R/W. Impervious surfaces are NOT permitted to drain towards adjacent properties.
6. Erosion & Sediment Control Plan is required - Refer to link: <https://cincinnati-oh.gov/stormwater/construction-and-design/standards/sediment-and-erosion-control/>
 - o If the disturbance is an acre or over and will discharge to a natural waterway the SWPPP that is submitted to the Ohio EPA must also be submitted with the building permit. Refer to the following links; <https://epa.ohio.gov/divisions-and-offices/surface-water/permitting/storm-water-discharges-from-small-and-large-construction-activities--general-permit> ; <https://www.epa.gov/npdes/construction-general-permit-flow-chart-do-i-need-permit>
 - o Show the pre-construction and post-construction surface material.
 - o If post-construction slope is greater than 3 horizontal to 1 vertical, a geotechnical engineer shall approve the plans with proper final surface material and erosion control.
7. SMU Standard Plan Notes are required - Refer to link:

<https://www.cincinnati-oh.gov/stormwater/construction-and-design/standards/>

8. As-Built Survey Requirements shall be required at the end of construction and include the following information:
 - o State Plane Coordinates (N, E) for all MH's and Catch Basins.
 - o Inverts, Top, and Depth elevations and callout slope, size, and material for all Stormwater Appurtenances.
 - o Site plan with utilities, right-of-way, and any public or private easements.

Recommendations:

None

Contact:

Nicholas Noble | Stormwater Management Utility | 513-314-1954 | nicholas.noble@cincinnati-oh.gov

Water Works

Immediate Requirements to move forward with project:

1. Currently, GCWW has an approved Preliminary Application (PA) – CIN328, however, the construction plans for Phase 3 water main extension in Three Oaks Lane and 31st Avenue have expired and needs to be revised to reflect any potential changes to the storm and other utilities on the streets and also to meet GCWW current standards and specifications. Please contact Phil Young (GCWW Engineering Development Section) at 513-591-6567 or phillip.young@gcww.cincinnati-oh.gov, to discuss GCWW procedures and current requirements for a public water main extension.
2. The revised construction plans should include the fire and domestic branches for the development, as well as any irrigation branches needed for the green space.

Requirements to obtain Permits:

1. Before any building permits are approved, the owner/developer will be required to meet all conditions of the approved preliminary application. This generally includes the completion of approved plans, all submittals including environmental report, easement plat, contractor bond, letter of intent, and complete construction of the public water main installed in Three Oaks Lane and 31st Avenue and in service.
2. There is an inconsistency on the water main size on Three Oaks Lane between the CSR drawings and the existing water main plans submitted to GCWW, which should be resolved with the revised construction plans mentioned above.
3. The subject development has an inactive water service line at the following property:

Address	Branch #	Size	Meter #	Size
2802 Robertson Av	H-100143	4"–FOD		

4. If the existing inactive water service branch for this project is not being used for this development, the branch must be physically disconnected at the owner/developer's expense. The disconnection of the branch at the main is currently included in the CIN 328 water main design plans.

Recommendations:

1. Currently there is not a 12" water main on the existing construction plans in this section of Three Oaks Lane, but if this is the proposed water main, it should be justified and reviewed with the submittal of the revised construction plans.
2. The Owner(s)/Developer(s) will need to hire a Greater Cincinnati Water Works certified licensed and bonded plumber and fire protection company to perform the private water service branch design work and installation.
3. The Owner(s)/Developer(s) must have a licensed plumber and fire protection company that is bonded and certified with GCWW and fill out the Online Branch application <https://www.cincinnati-oh.gov/water/engineering-construction/forms-specifications/> for water service.
4. Contacts:
 - a. Phil Young, Water Works, 513-591-6567, Phillip.Young@gcww.cincinnati-oh.gov regarding the water main extension and branch disconnection.
 - b. Rick Roell, Water Works, 513-591-7858, Richard.Roell@gcww.cincinnati-oh.gov, for general questions.

Contact:

Fire Department

Immediate Requirements to move forward with project:

1. A site plan is needed showing 2 readily accessible Fire Hydrants within 400 feet of all sides of your project.
2. The minimum fire flow requirements for Commercial structures: 2,000 gallons/per/minutes (GPM) @ 20 pressure/per/square inch (psi) (138Kpa).
3. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet.
4. Ensure the water supply to the hydrant is not turned off by means of a PIV.
5. The Site Plan needs to show the location of the FDC and the distance in feet from the closest Fire Hydrant. FDC's are to be located within 50 feet of a Fire Hydrant.
6. The FDC can be either 5" Stortz or 2 ½" Cincinnati Special threads for all buildings 4 stories or less.
7. Fire Department Connections (FDC) shall not be located, not less than 18 inches and no more than 48 inches above the level of the adjoining ground.
8. Emergency Responder Bidirectional Antenna radio required in your building.

Requirements to obtain Permits:

None

Recommendations:

None

Contact:

Elton Britton | Fire - Prevention | 513-357-7596 | elton.britton@cincinnati-oh.gov

Office of Environmental Sustainability (OES)

Immediate Requirements to move forward with project:

None

Requirements to obtain Permits:

1. If site plans require excavation or fill of quantities above 500 cy, an environmental review will be required by OES. When completing the excavation and fill permit, identify the disposal and borrow site locations for all material. "TBD" will not be accepted. Specify if fill material will be soil or engineered fill, such as sand or gravel.
2. If offsite sourced fill is to be placed onsite which exceeds 500 cy, then it must receive OES environmental approval as per City Municipal Code Chapters 1101 and 1031. A current (less than 1 year old) Phase I ESA performed to the ASTM Standard E1527-21 of the proposed offsite borrow source property must be submitted for review. Stockpiled soils that will be used as fill material from an offsite borrow source require environmental sampling and analysis and the results be submitted for review. Please contact OES for a recommended sampling plan.
3. If the disposal site for excavated material will be a parcel within the City of Cincinnati, then an additional fill permit will be needed for the property receiving the excavated material.
4. Commercial waste, including construction and demolition debris, generated during this development project must utilize a City franchised commercial waste collection service per Cincinnati Municipal Code Chapter 730. Additional information can be found at: <https://www.cincinnati-oh.gov/oes/commercial-waste-hauler-program/>.

Recommendations:

1. The following recommendations are based on adopted City of Cincinnati environmental and sustainability policies in support of the Green Cincinnati Plan:
 - a) The development goal should be to earn at a minimum the LEED Certified rating level.
 - b) Rooftop solar should be considered in the design as a renewable energy source.
 - c) Site parking should include electric vehicle charging stations.
 - d) Site areas designated for trash dumpsters should also have at least equal space designated for recycling dumpsters.
 - e) The use of trees in the landscape design should be included to enhance urban forestry.
 - f) The use of pervious surfaces should be maximized to the extent practical in the design.

- g) Landscape design should consider the use of native species.
- h) The use of heat reflective surfaces in paved parking areas should be considered to reduce the heat-island effect.

Contact:

Amanda Testerman | OES | 513-352-5310 | amanda.testerman@cincinnati-oh.gov

Parks Department (Urban Forestry)

Immediate Requirements to move forward with project:

None

Requirements to obtain Permits:

1. There are currently no public trees within the proposed project limits. If any new public street trees are to be planted, a public tree work permit must be issued to the developer by Urban Forestry before the work can proceed as is covered under CMC 743-19. Permit can be obtained by contacting the Urban Forester for the East District, Marianne Prue, at marianne.prue@cincinnati-oh.gov

Recommendations:

1. The Cincinnati Park Board and the Urban Forestry Program encourage the developers to incorporate new street trees into their landscape plans if possible, especially when sidewalk work is already part of the project. Adding trees into a project helps to create more sustainable and attractive urban spaces. The inclusion of new street trees also advances the City's Climate Safe Neighborhoods initiative and elements of the Green Cincinnati Plan. When the addition of new street trees is not possible, we the Urban Forestry Program would encourage developers to include tree plantings as part of any landscaping plans.

Contact:

Garrett Dienno | Parks - Urban Forestry | 513-861-9070 | garrett.dienno@cincinnati-oh.gov

Department of Transportation & Engineering (DOTE-Addressing)

Immediate Requirements to move forward with project:

None

Requirements to obtain Permits:

1. Before submitting a building permit application, contact DTEaddress@cincinnati-oh.gov to have an address assigned for the proposed building.
2. Per Cincinnati Municipal Code (Sec. 723-65) and Ohio Fire Code (Rule 1301:7-7-05, (E) Sec. 505), the assigned address number must be posted and visible from the street, once constructed.
3. The secondary designations for the individual apartments (letter or number) are to be assigned by the developer/property owner/manager. Please provide that list to dteaddress@cincinnati-oh.gov and I will forward on to USPS on your behalf.

Recommendations:

None

Contact:

Jessica Truman | DOTE - Addressing | 513-368-1613 | jessica.truman@cincinnati-oh.gov

Department of Transportation & Engineering (DOTE-Development Review)

Immediate Requirements to move forward with project:

None

Requirements to obtain Permits:

1. The curb line on Three Oaks at the end needs to continue to the dead end. There should be tree lawn the entire length. Three Oaks Lane and 31st Avenue need to match the SIP.
 - a. 31st Street at Robertson intersection needs to reflect the changes made for a 24' wide street.

2. The walk on Robertson needs to be 5' wide with a 4.5' tree lawn.
 - a. Is there an existing easement for the walk on private property? If not, ideally this becomes right of way, but at the least an easement is needed.
3. What is the driveway at the end of Three Oaks used for? 18' is wide and it should be 12' maximum.
4. Use DOTE standard driveway aprons, not street openings.
5. All work in or use of the public right-of-way will require a separate DOTE permit. This project has a DOTE subdivision permit. Check with DOTE that all the proposed work is covered. It may require an update.

Recommendations:

None

Contact:

Morgan Kolks | DOTE - Development | 513-335-7322 | morgan.kolks@cincinnati-oh.gov

Buildings & Inspections (Building Plans Examiners)

Immediate Requirements to move forward with project:

None

Requirements to obtain Permits:

1. At the time of building permit submittal, a detailed code analysis will be required.
2. Verify that the parking structure will be equipped with a sprinkler system and fire standpipe system.
3. The apartment structure shall be equipped with fire standpipe, sprinkler, and alarm systems.
4. A soil report will be required.

Recommendations:

None

Contact:

Art Dahlberg | B&I | 513-352-2424 | art.dahlberg@cincinnati-oh.gov

Law Department

Immediate Requirements to move forward with project:

None

Requirements to obtain Permits:

None

Recommendations:

1. If this development were to create an encroachment in City right of way or property, a permanent change in the use of City right of way or City property or would require additional right of way to be dedicated, a Coordinated Report will be required. Application for Coordinated Report can be requested at real.estate@cincinnati-oh.gov.

Contact:

Renee Luttrell | Law | 513-352-3338 | renee.luttrell@cincinnati-oh.gov

Department of Community & Economic Development (DCED)

Immediate Requirements to move forward with project:

None

Requirements to obtain Permits:

None

Recommendations:

None

Contact:

Justin Halter | DCED | 513-352-6241 | justin.halter@cincinnati-oh.gov

FINAL ACTION: The CSR Advisory-TEAM and CSPRO Committee believes that the proposed project plans are moving in the appropriate direction and recommend that the project move forward to the City Planning Commission subject to the following condition.

- **The subject development must follow the requirements listed above to ensure that the development meets the requirements of all agencies as they apply for all permits.**

Sincerely,



Art Dahlberg
Director, Department of Buildings and
Inspections, Chief Building Official & CSPRO
Committee Chair



Rodney D. Ringer
Development Services Division Manager

November 7, 2025

Honorable City Planning Commission
Cincinnati, Ohio

SUBJECT: A report and recommendation on a proposed Final Development Plan for Planned Development #88 (PD-88), Three Oaks, located at 2800 Robertson Avenue in Oakley.

GENERAL INFORMATION:



Location: 2800 Robertson Avenue, Cincinnati OH, 45209

Petitioner: Neyer Properties
2135 Dana Avenue, Suite 200, Cincinnati OH, 45207

Owner: Oakley Yards Land, LLC (Tract C)
2135 Dana Avenue, Suite 200, Cincinnati OH, 45207

Torque Three Oaks, LLC (Tract A2)
2135 Dana Avenue, Suite 200, Cincinnati OH, 45207

Request: The applicant is requesting approval of a proposed Final Development Plan constructing pergolas in the rear and side yards of car condo lots on Tract A2 and the building elevations and materials for two 4-story apartment buildings and club house on Tract C.

ATTACHMENTS:

Provided in addition to this report are:

- Exhibit A – Location Map
- Exhibit B – Plat
- Exhibit C – Approved Concept Plan and Final Development Plan
- Exhibit D – Amended Concept Plan and Final Development Plan
- Exhibit E – Proposed Final Development Plan

BACKGROUND:

On May 22, 2020, the City Planning Commission recommended approval of a change in zoning to City Council to create Planned Development #88 (PD-88), Three Oaks. The ordinance for the change in zoning was approved by City Council on June 24, 2020, by Ordinance 227-2020. The City Planning Commission reviewed and approved a Final Development Plan for the entire site on June 17, 2022. On September 20, 2024, the City Planning Commission recommended approval of a Major Amendment to the Concept Plan and Development Program Statement on Tract A2 to replace 27 planned single-family homes with 31 car condos and concurrently approved a Final Development Plan contingent on City Council approval of the Major Amendment. On October 22, 2024, the City Planning Commission approved the Major Amendment to the Concept Plan and Development Program Statement for Car Condos on Tract A2 (Exhibit D).

The entire project encompasses 30.86 acres of land at 2800 Robertson Avenue in Oakley to be developed with single-family homes, multi-family buildings, senior housing, and a club house. The proposed Final Development Plan is for two 4-story apartment buildings and club house on Tract C, a 6.63-acre portion

in the northwest corner of the Three Oaks site and for the construction of pergolas in the rear and side yards of up to 23 car condo lots on Tract A2, a 1.88-acre portion in the northeast corner of the Three Oaks site adjacent to the railroad tracks as shown in Exhibits A and B.

The petitioner's current proposal requires a Final Development Plan for the elevations and materials, as those have not yet been approved. All other areas of the Final Development Plans for the 4-story apartments, club house, and car condos were previously approved as shown in Exhibits C and D.

ADJACENT LAND USE AND ZONING:

The existing zoning and land use surrounding the subject site is as follows:

North:

- Zoning: Manufacturing General (MG), Commercial General – Auto (CG-A), and Planned Development #94 (PD-94)
- Existing Use: Railroad, commercial (storage facility), and proposed townhomes (PD-94)

East:

- Zoning: Manufacturing General (MG)
- Existing Use: Vacant building, light manufacturing and commercial

South:

- Zoning: Single-Family 4 (SF-4), Commercial Neighborhood – Pedestrian (CN-P)
- Existing Use: Low-density residential (single-family, duplexes)

West:

- Zoning: Cincinnati boundary, Manufacturing General (MG)
- Existing Use: I-71, commercial (storage facility)

DESCRIPTION OF PROJECT:

The proposed Final Development Plan includes two 4-story apartment buildings and club house on Tract C at 2794 and 2798 Three Oaks Lane and pergolas in the rear and side yards of the car condos on Tract A2 at 4477 Iron Oak Avenue.

Buildings and Structures

Two 4-Story Apartment Buildings and Club House

There are two 4-story apartment buildings with 207 units and 301 parking spaces. Both apartment buildings will be four stories, and the club house will be one story. The apartment structures are proposed to be constructed with a mix of materials including red and walnut-colored face brick, concrete stone, fiber cement lap siding, grey and blue fiber cement paneling and trim, and glass and aluminum windows. The stone and brick materials will be used on the lower floors of the street facing façades, while more of the fiber cement siding and paneling will be used primarily on the top floor and interior-facing facades.

The club house will be faced with a cement stone veneer along the base and up the length of the chimney with large glass and aluminum windows and dark grey fiber cement siding around the remaining portions of the façade.

Car Condo Pergolas

The pergola structures will be an option for car condo owners to add to their unit. The materials will consist of black aluminum posts with a slatted shade roof and six-foot tall aluminum fences on either

side of the car condo rear or side yard. They will be built in rear and side yards and are mostly tucked away from street and sidewalk viewsheds. They will be built on concrete patios with a gray broom finish and will be landscaped around the edges with juniper shrubs and tall grasses.

DIFFERENCES BETWEEN CONCEPT PLAN AND FINAL DEVELOPMENT PLAN:

The proposed Final Development Plan is substantially consistent with the approved Concept Plan and Development Program Statement with regard to building placement, uses, and unit counts. While a Final Development Plan was approved on June 17, 2022 for the entire site (And on October 22, 2024 for Tract A2), building elevations were not provided at that time for the apartment buildings or clubhouse, necessitating a Final Development Plan.

	Approved Concept Plan	Proposed Final Development Plan
Unit Count	200-210	207
Stories	4 – 5	4
Vehicular Parking Spaces	300-315	301

§1429-13 FINAL DEVELOPMENT PLAN:

Following approval of a PD District with a Concept Plan and Development Program Statement, a Final Development Plan must be submitted to the City Planning Commission (§1429-13). A Final Development Plan must be filed for any portion of an approved Concept Plan that the petitioner wishes to develop, and this plan must conform substantially to the approved Concept Plan and Development Program Statement.

Consistent with the provisions of Section 1429-13, the following information was provided and attached to this report:

- a) **Survey** – There are no changes to the most recent approval for Tract C and A2 of the survey showing the boundary of the site, topography, and existing utilities.
- b) **Site Plan** – The site plan shows the proposed buildings and structures, which are substantially consistent with the approved Concept Plan as shown in Exhibit E.
- c) **Engineering Plans** – There are no changes to approved engineering plans for Tract C and A2, including the Demolition Plan, Grading Plan, Site Utility Plan, and Erosion and Sediment Control Plan.
- d) **Open Space** – There are no changes to approved open space.
- e) **Schematic Building Plans** – The schematic building plans are substantially consistent with the Concept Plan in size, location, and height as shown in Exhibit E.
- f) **Landscape Plans** – There are no changes to approved landscape plans for Tract C and A2.
- g) **Phased Schedule** – The proposed Final Development Plan is planned to be constructed in a single phase.

- h) **Ownership** – The property within Tract A2 is currently owned by Torque Three Oaks, LLC and the property within Tract C is currently owned by Oakley Yards, LLC. The deed is included in the submittal under Exhibit C.
- i) **Statement of Uses** – There are no changes to approved principal uses.
- j) **Future Ownership and Control** – There are no changes to the previously approved future ownership and control.
- k) **Restrictive Covenants** – There are no changes to the restrictive covenant.
- l) **Other Information**

Noise Levels

Noise Levels during construction are pursuant to Cincinnati Municipal Code “Chapter 909-Community Noise.” The noise levels for single-family (SF) and residential (RFR, RM & RMX) for the proposed development are as follows:

<u>Table 1 – Sunday through Wednesday</u>	7 a.m. to 7 p.m.	7 p.m. to 2 a.m.	2 a.m. to 7 a.m.
Receiving or Affected Property in District	Sunday – Wednesday	Sunday - Wednesday	Sunday - Thursday
Noise Level:	60 dB	55 dB	55 dB

<u>Table 2 – Thursday</u>	7 a.m. to 7 p.m.	7 p.m. to 2 a.m.	2 a.m. to 7 a.m.
Receiving or Affected Property in District	Thursday	Thursday	Friday
Noise Level:	60 dB	55 dB	55 dB

<u>Table 3 – Friday through Saturday</u>	7 a.m. to 7 p.m.	7 p.m. to 2 a.m.	2 a.m. to 7 a.m.
Receiving or Affected Property in District	Friday – Saturday	Friday - Saturday	Saturday - Sunday
Noise Level:	65 dB	60 dB	60 dB

Signs

The sign regulations that apply to PD-88, Three Oaks, are Chapter 1427-33 Sign Regulations of the Cincinnati Zoning Code. These regulations apply to all residential zoning districts (SF and RM). Any proposed signs in this submittal will be reviewed by City Planning staff for compliance.

PLANNING COMMISSION APPROVAL OF FINAL DEVELOPMENT PLAN:

The City Planning Commission may approve a Final Development Plan for a development in a PD District (§ 1429-15) on consideration of the following:

- (a) **Consistency.** The Final Development Plan is consistent with the purpose of the Planned Development District Regulations; specifically:
 - It ensures an orderly and thorough planning and review, which has produced quality design and development.
- (b) **Adequate Streets.** The existing public streets are adequate to serve the proposed mixed-use development. No new streets are being proposed.
- (c) **Adequate Infrastructure.** The petitioner continues to coordinate with the departments to address requirements and ensure that the proposed infrastructure and utilities are adequate to serve the site and properly interconnect with existing public facilities.
- (d) **Covenant.** The Department of City Planning and Engagement must require covenants by the owner of the property that all streets, common areas, common utilities and other common facilities remain in common ownership by all owners of any interest in the land or buildings in the Planned Development other than a leasehold interest of less than five years. The applicant will need to provide any necessary covenants in accordance with §1429-15 in connection with submission of building permits.
- (e) **Release of Covenants.** The City Manager, on receipt of a recommendation from the Director of City Planning and Engagement, may recommend the covenant be terminated in the following instances: the particular use requiring a covenant is no longer necessary and the building permits have been terminated, or the condition or conditions requiring such covenant are no longer applicable.
- (f) **Compatibility.** The proposed materials and elevations are compatible with the surrounding land uses.
- (g) **Sufficiency of Legal Documents.** Proposed easements and other provisions meet development standards.
- (h) **Sufficiency of Provisions for Maintenance of Common Areas.** The proposed project includes green space around the perimeter of the site and an amenity deck that will serve as a courtyard for resident use. The common areas will be professionally landscaped and maintained.

PUBLIC COMMENT AND NOTIFICATION:

A combined notice for the October 29, 2025 Public Staff Conference and the November 7, 2025 City Planning Commission meeting was sent to all property owners within 400 feet of the site and the Oakley Community Council.

The Department of City Planning and Engagement held a virtual Public Staff Conference on October 29, 2025 for the proposed Final Development Plan for Tracts C and A2 within Planned Development #88. Staff from the Department of City Planning and Engagement and two members of the development team were present. Two community members attended the public staff conference; there were no comments or questions.

COORDINATED SITE REVIEW:

The 4-story apartment buildings and club house were last reviewed by the Coordinated Site Review (CSR) team as a Development Design Review in June of 2022. The car condos were reviewed through the Coordinated Site Review process as a Development Design Review in March of 2024. The petitioner

received a copy of the comments from each of the departments and has continued working with the departments to address requirements required for permitting for both CSR reviews. No substantial changes were made to the project to warrant an additional review for this proposal.

ANALYSIS:

The staff of the Department of City Planning and Engagement supports the proposed Final Development Plan for Planned Development #88 (PD-88). The proposed development will reactivate currently vacant or underutilized properties into a residential community with a mix of residential units. The materials and elevations are consistent with the Concept Plan conceptual materials and architecture styles. They incorporate higher quality materials along the lower, street-facing levels which enhance the pedestrian experience.

The Planned Development process allows for continued public engagement through all phases of the development. The intended uses and scale of the development were set when the Concept Plan and Development Program Statement were approved. Any significant modifications to this would constitute a Major Amendment to the Concept Plan and would require public engagement and a public hearing process. The Final Development Plan is substantially consistent with the Concept Plan that was approved by City Council on June 24, 2020 and the amended Concept Plan approved by City Council on October 22, 2024.

CONSISTENCY WITH PLANS:

Plan Cincinnati (2012)

The proposed Final Development Plan request is consistent with the Goals in the Live Initiative Area of *Plan Cincinnati* (2012) to “Create a more livable community” (page 156) and to “Provide a full spectrum of housing options and improve housing quality and affordability” (page 164). It is also consistent with the Strategies of the Live Initiative Area to “Support and stabilize our neighborhoods” (page 160), to “Develop and maintain inviting and engaging public spaces that encourage social interaction between different types of people” (page 164), to “Offer housing options of varied sizes and types for residents at all stages of life” (page 165), and to “Improve the quality and number of moderate to high-income rental and homeowner units” (page 165). The proposed project will develop a vacant and underutilized brownfield site into a new residential community with multiple types of housing units for all ages and a new park for use of the residents.

Oakley Master Plan (2019)

The proposed Final Development Plan is consistent with the *Oakley Master Plan* (2019), particularly with the Managing our Future Growth Focus Area and Goal 1 to “Assure that future growth is guided by zoning and planning that will preserve Oakley as a thriving, unique, and pedestrian-scaled urban neighborhood” (page 80) and Strategy #1, Action Step to “Evaluate the appropriateness of the existing zoning map for vacant and underutilized properties” (page 80), and Strategy #2 to “Identify neighborhood development goals for the Robertson Avenue, Forrer Street, and Disney Avenue sites...” (page 84).

FINDINGS:

It is the opinion of staff of the Department of City Planning and Engagement that the Final Development Plan is in compliance with §1429-15 “Planning Commission Approval of Final Development Plan” as outlined on pages 4-5 of this report. Further, the proposal substantially conforms with the previously approved Concept Plan.

CONCLUSIONS:

The staff of the Department of City Planning and Engagement supports the proposed Final Development Plan for Planned Development #88 for the following reasons:

1. The Final Development Plan is consistent with the approved Concept Plan and Development Program Statement.
2. The proposed development will reactivate currently vacant or underutilized properties into a residential community.
3. The Final Development Plan is consistent with goals in *Plan Cincinnati* (2012) and the *Oakley Master Plan* (2019).

RECOMMENDATION:

The staff of the Department of City Planning and Engagement recommends that the City Planning Commission take the following actions:

1. **APPROVE** the Final Development Plan for Planned Development #88 (PD-88), Three Oaks, located at 2800 Robertson Avenue in Oakley, and;
2. **ADOPT** the Department of City Planning and Engagement Findings as detailed on page 6 of this report.

Respectfully submitted:



Maria Dienger, Senior City Planner
Department of City Planning and Engagement

Approved:



Katherine Keough-Jurs, FAICP, Director
Department of City Planning and Engagement

Proposed MA and FDP for PD-88, Three Oaks, in Oakley

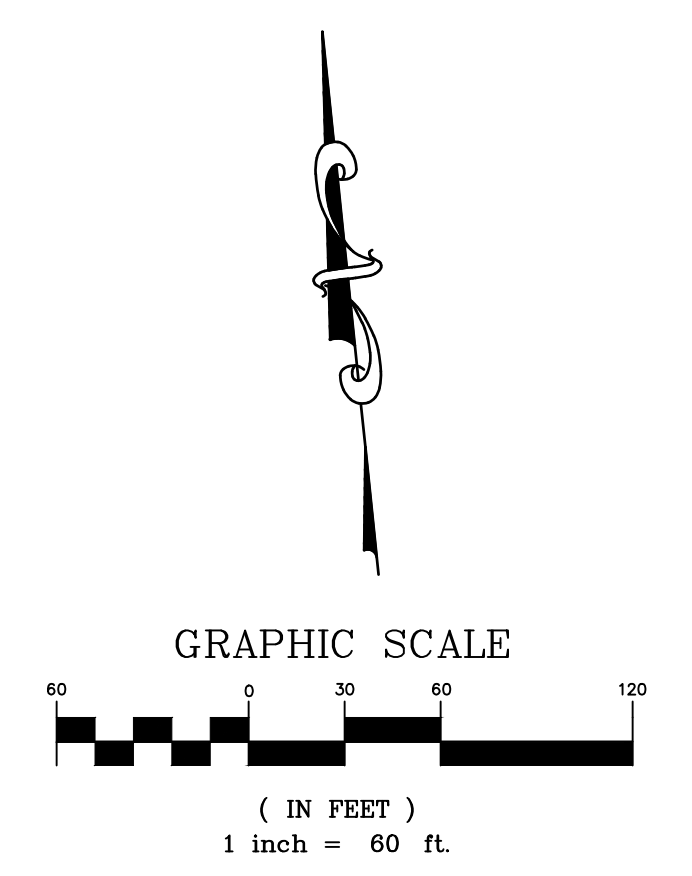
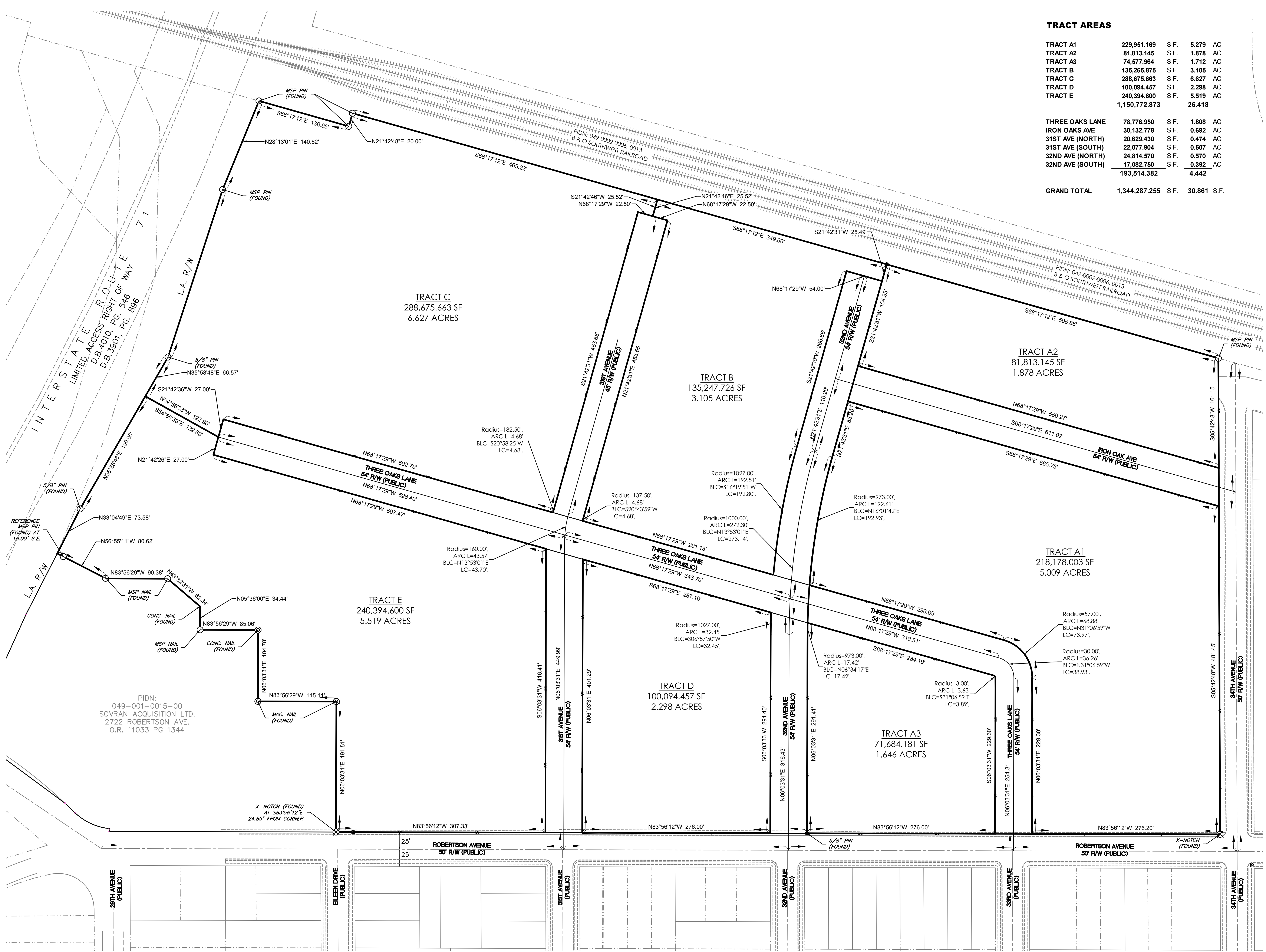


TRACT AREAS

TRACT A1	229,951.169	S.F.	5.279	AC
TRACT A2	81,813.145	S.F.	1.878	AC
TRACT A3	74,577.964	S.F.	1.712	AC
TRACT B	135,265.875	S.F.	3.105	AC
TRACT C	288,675.663	S.F.	6.627	AC
TRACT D	100,094.457	S.F.	2.298	AC
TRACT E	240,394.600	S.F.	5.519	AC
TOTAL	1,150,772.873		26.418	

THREE OAKS LANE	78,776.950	S.F.	1.808	AC
IRON OAKS AVE	30,132.778	S.F.	0.692	AC
31ST AVE (NORTH)	20,629.430	S.F.	0.474	AC
31ST AVE (SOUTH)	22,077.904	S.F.	0.507	AC
32ND AVE (NORTH)	24,814.570	S.F.	0.570	AC
32ND AVE (SOUTH)	17,082.750	S.F.	0.392	AC
TOTAL	193,514.382		4.442	

GRAND TOTAL 1,344,287.255 S.F. 30.861 S.F.



- LEGEND**
- | | |
|-----------------------|---------------------|
| FOUND SET | CROSS NOTCH |
| MAG SPIKE | 5/8" IRON PIN & CAP |
| MAG NAIL OR P.K. NAIL | |

PROGRESS REVIEW Issue For 1-29-2021 Date:

**THREE OAKS
SUBDIVISION**
OVERALL SHEET
OAKLEY YARDS LAND, LLC

SITUATE IN
SECTION 28, TOWN 4,
FRACTIONAL RANGE 2
COLUMBIA TOWNSHIP, CITY OF
CINCINNATI, HAMILTON COUNTY, OHIO



Three Oaks

Major Amendment to the Final Development Plan Narrative

October 13th, 2025

General summary of project:

Neyer Properties, Inc. is seeking a Major Amendment to the existing PD at Three Oaks (PD-88) to include building elevations for the 4-story multi-family buildings in the northwest portion of the site that were not included in the original approval but are consistent with the renderings that were originally submitted and approved.

We are also seeking a Major Amendment for the construction of pergolas on the patios as accessory structures to the car condos. The request is to allow for the construction of pergolas that are approximately 12'x20' and 15' tall. We are requesting a 0-foot setback to have the ability to install the pergolas up to the property lines.

There are no changes to the remainder of the site from what was approved in the original Final Development Plan.



Three Oaks
Major Amendment to the Final Development Plan
Table of Contents

Three Oaks Narrative

Attachment A:

ALTA Survey: previously submitted in approved FDP
Lot Split : previously submitted in approved FDP
Subdivision Plat : previously submitted in approved FDP

Attachment B:

Site Plan: previously submitted in approved FDP
Site Plan (Section Breakdown): previously submitted in approved FDP

Attachment C:

Subdivision Improvement Plan: previously submitted in approved FDP

Attachment D:

Open Space: previously submitted in approved FDP

Attachment E:

Single Family Elevations and Floorplans: previously submitted in approved FDP
Multi Family Elevations and Floorplans
Senior Living Elevations and Floorplans: previously submitted in approved FDP
Car Condos Elevations and Floorplans
Full Project Renderings: previously submitted in approved FDP

Attachment F:

Single Family Landscape Plans: previously submitted in approved FDP
Multi Family Landscape Plans : previously submitted in approved FDP

Attachment G:

Phase Schedule: previously submitted in approved FDP

Attachment H:

Oakley Yards Land, LLC Deed: previously submitted in approved FDP
Three Oaks Single Family, LLC Deed: previously submitted in approved FDP

Attachment I:

Statement of Uses: previously submitted in approved FDP

Attachment J:

Future Ownership & Control: previously submitted in approved FDP

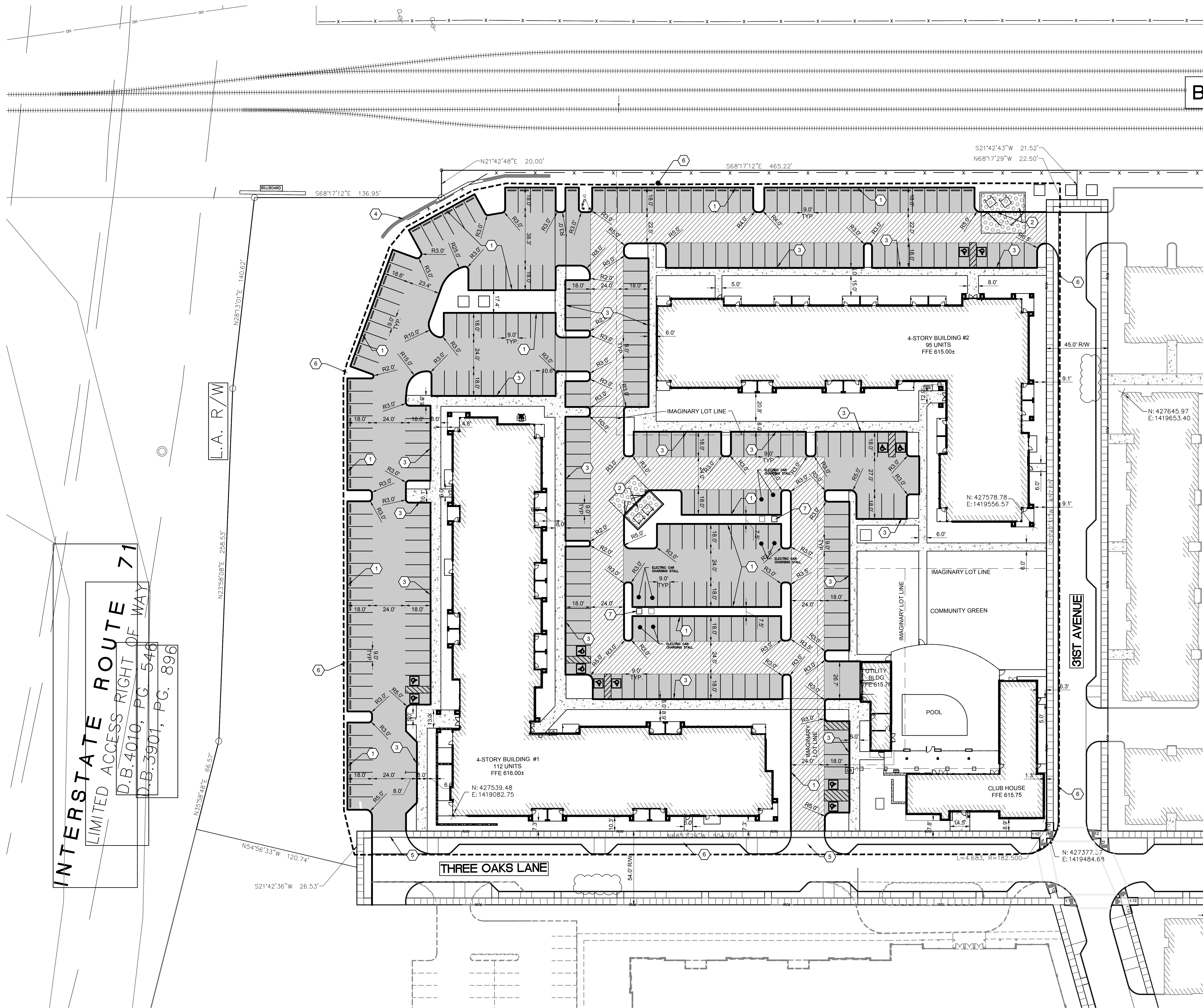
Attachment K:

Declaration of Covenants, Conditions and Restrictions: previously submitted in approved FDP

Attachment L:

Other Information: previously submitted in approved FDP

SCALE: 1"=30'



CODED NOTES

- ① PROPOSED HEADER CURB. SEE DETAIL SHEET CC-9.
- ② DUMPSTER PAD. SEE DETAIL SHEET CC-9.
- ③ PROPOSED INTEGRAL CURB. SEE DETAIL SHEET CC-9.
- ④ RETAINING WALL TO BE COMPLETED BY OTHERS.
- ⑤ CONCRETE DRIVE ENTRANCE. SEE DETAIL SHEET CC-9. BY OTHERS.
- ⑥ LIMITS OF WORK. STREET, SIDEWALKS, LANDSCAPING, GRADE, SEEDING, AND LIGHTING BEYOND LIMITS BY OTHERS.
- ⑦ ELECTRIC CHARGING STATIONS.

287 PARKING STALLS
14 HANDICAP PARKING STALLS

- PROPOSED SIDEWALK. SEE DETAIL SHEET CC-9.
- PROPOSED HEAVY DUTY ASPHALT. SEE DETAIL SHEET CC-9.
- PROPOSED STANDARD DUTY ASPHALT. SEE DETAIL SHEET CC-9.
- PROPOSED CONCRETE PAVEMENT. SEE DETAIL SHEET CC-9.

NOTE: BLOCK C CONTRACTOR TO START AT THE BACK OF CURB AT THE STREET.

Revisions:
Issue Date: 5-26-2021

**THREE OAKS
MULTI-FAMILY**

2800 ROBERTSON AVENUE
CINCINNATI, OHIO 45209

**BLOCK C
LAYOUT PLAN**

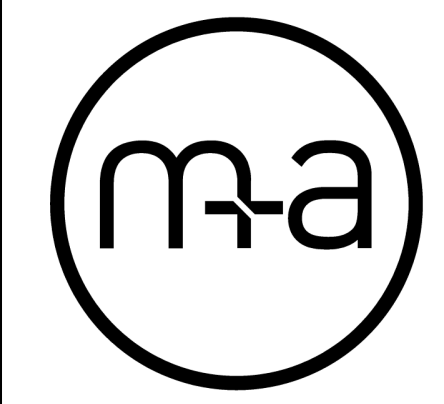
Project No.

20072

CC-4

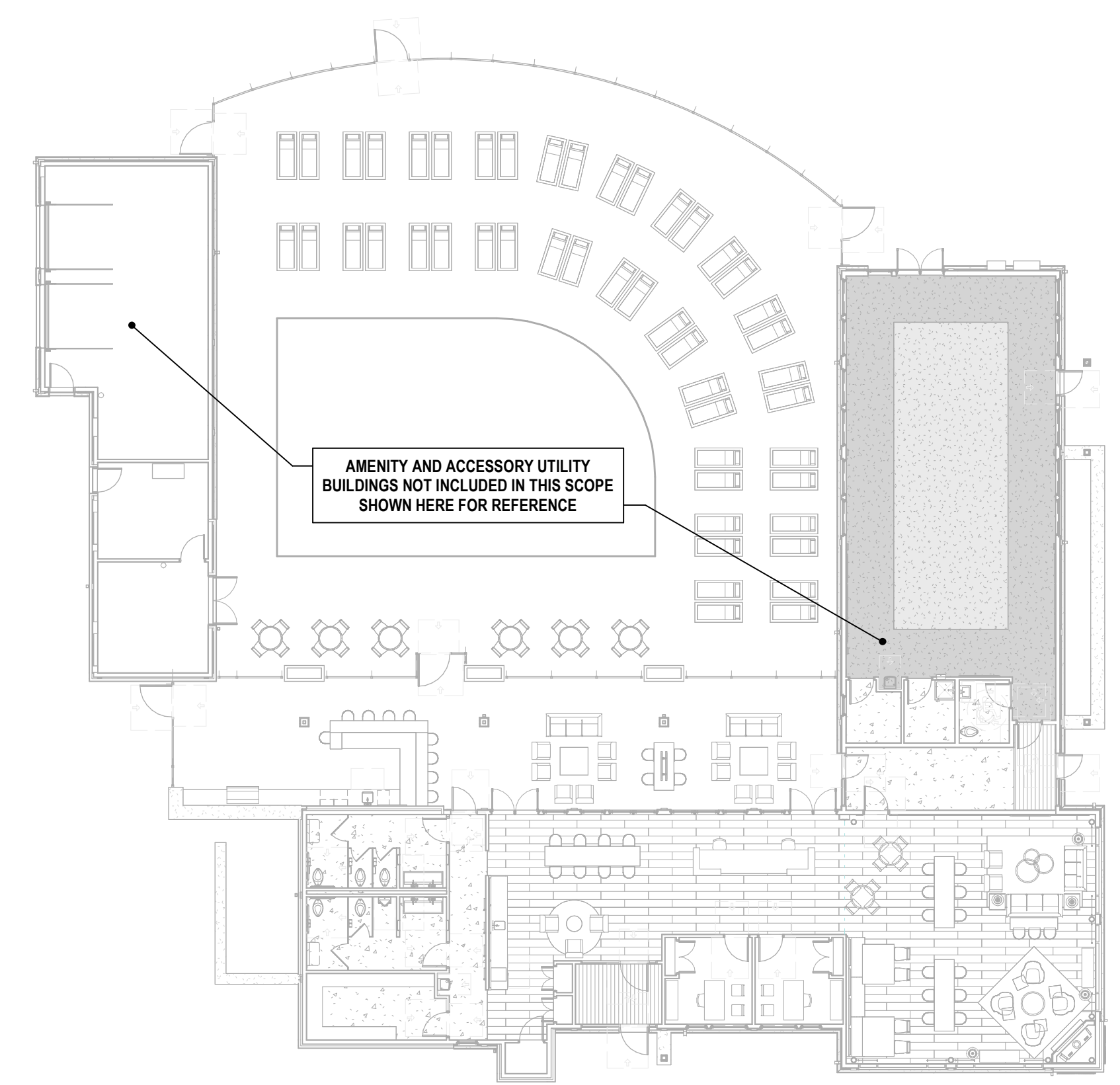
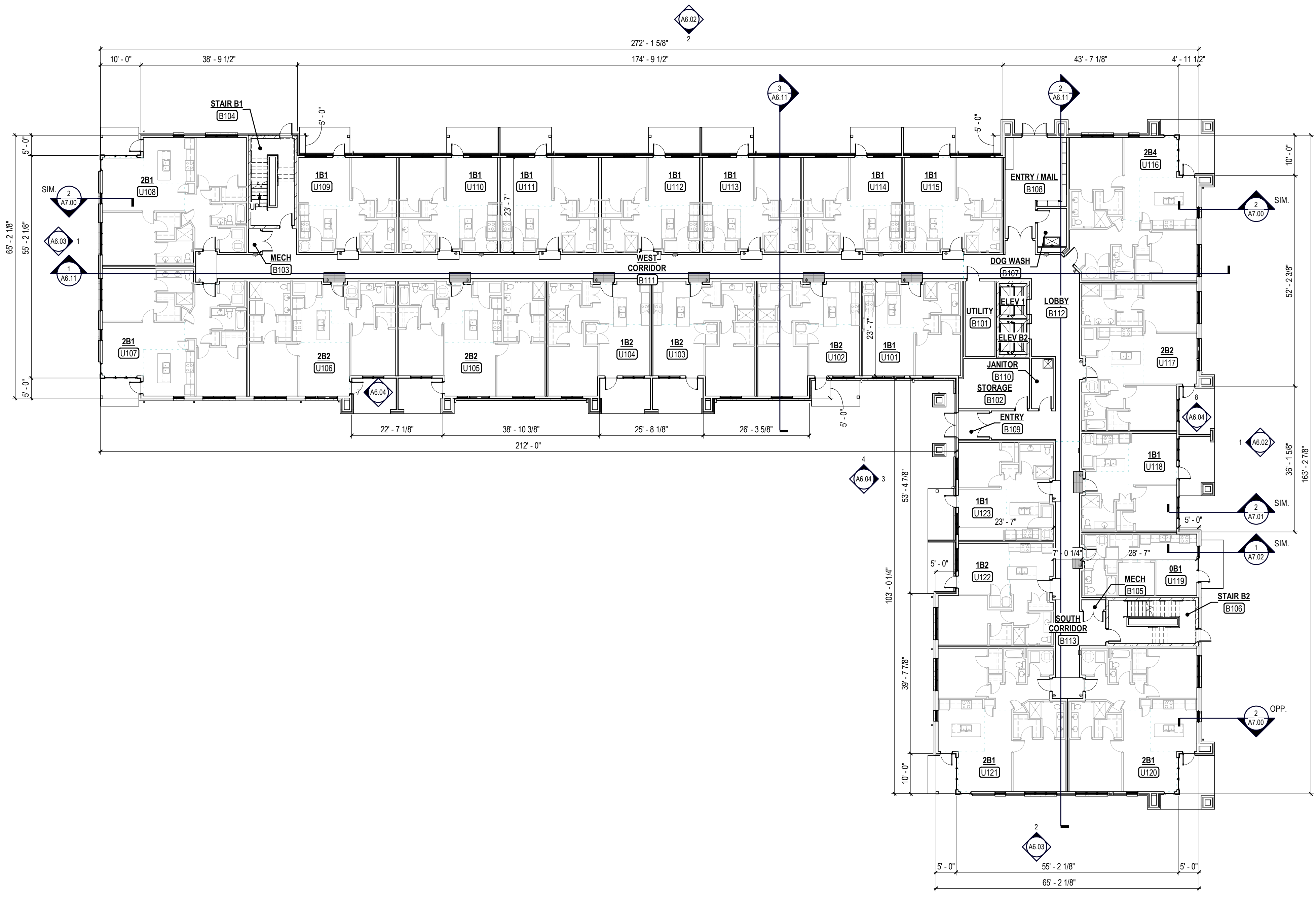
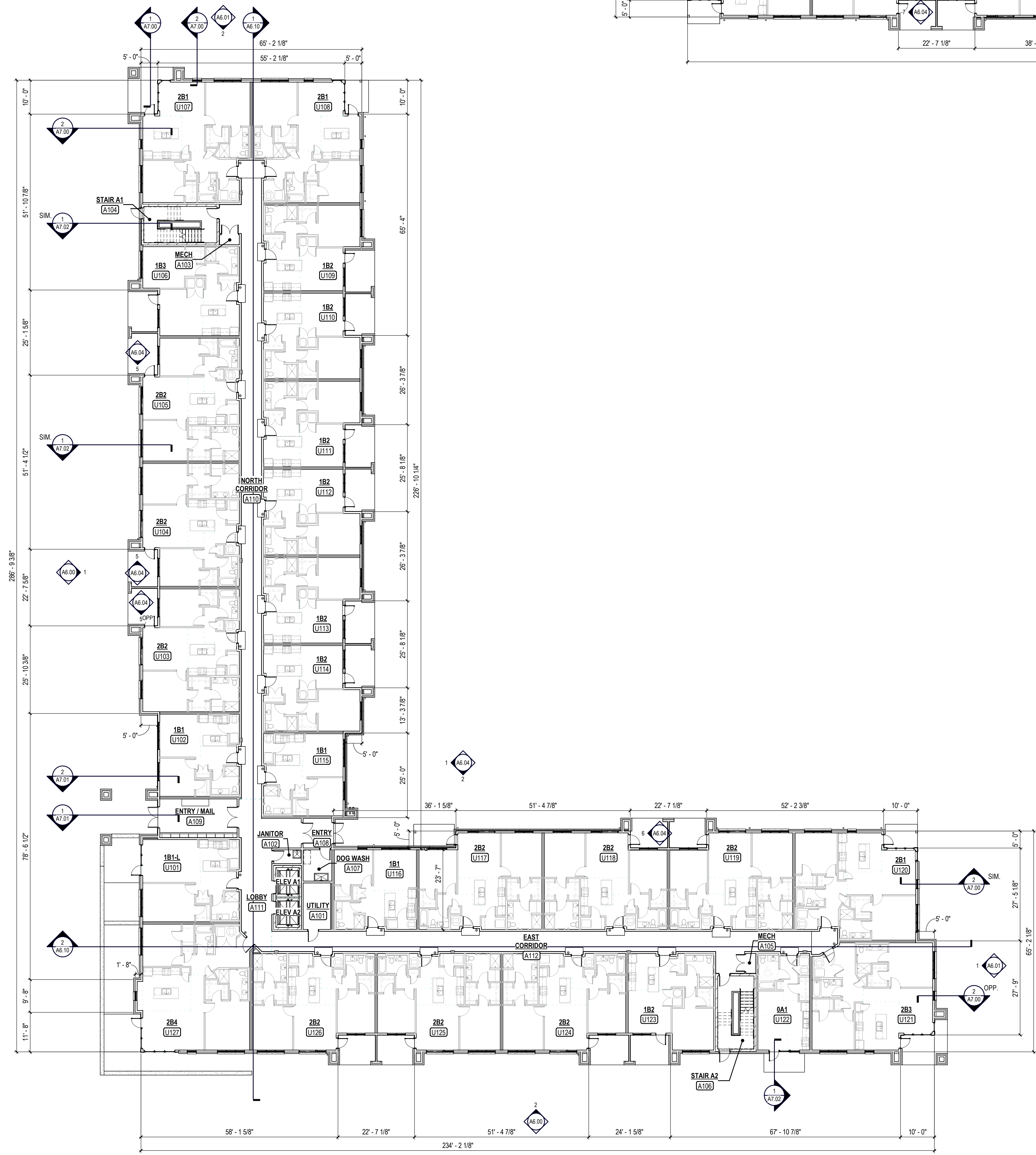
GENERAL FLOOR PLAN NOTES

1. REFER TO INTERIOR PARTITION SCHEDULE ON SHEET A0.02 FOR WALL TYPES NOTED THUS:
2. COMMON AREA DOORS SHOWN IN A CORNER SHALL HAVE THE INSIDE FACE OF THE JAMB 6" FROM ADJACENT FRAMING. DOORS WITH UNITS SHOWN IN A CORNER SHALL HAVE THE INSIDE FACE OF THE JAMB 4" FROM ADJACENT FRAMING. DOORS SHOWN IN THE MIDDLE OF A WALL SHALL BE CENTERED BETWEEN THE CORNERS. SEE PLAN DIMENSIONS FOR THE LOCATION OF THE INSIDE FACE OF THE JAMB AT ALL OTHER LOCATIONS.
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5. BUILDING A FIRST FLOOR ELEVATION OF 100' = 616'
BUILDING B FIRST FLOOR ELEVATION OF 100' = 615'



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PERMIT SET

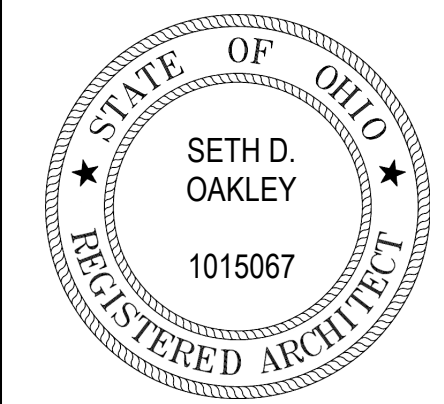


first floor plan - overall
1/16" = 1'-0"

APARTMENTS AT THREE OAKS

2772 & 2782 THREE OAKS LANE | CINCINNATI, OH 45209

STATUS:



SETH D. OAKLEY #1015067
EXPIRATION DATE 12-31-2025

REVISION:

NO.	DATE	DESCRIPTION

PROJECT NUMBER:

2019.310

DRAWN BY:

M+A

DATE:

10 JULY 2025

SHEET NAME:

FIRST FLOOR PLAN - OVERALL

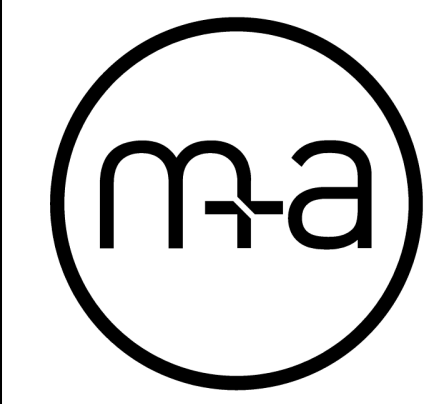
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ma architects

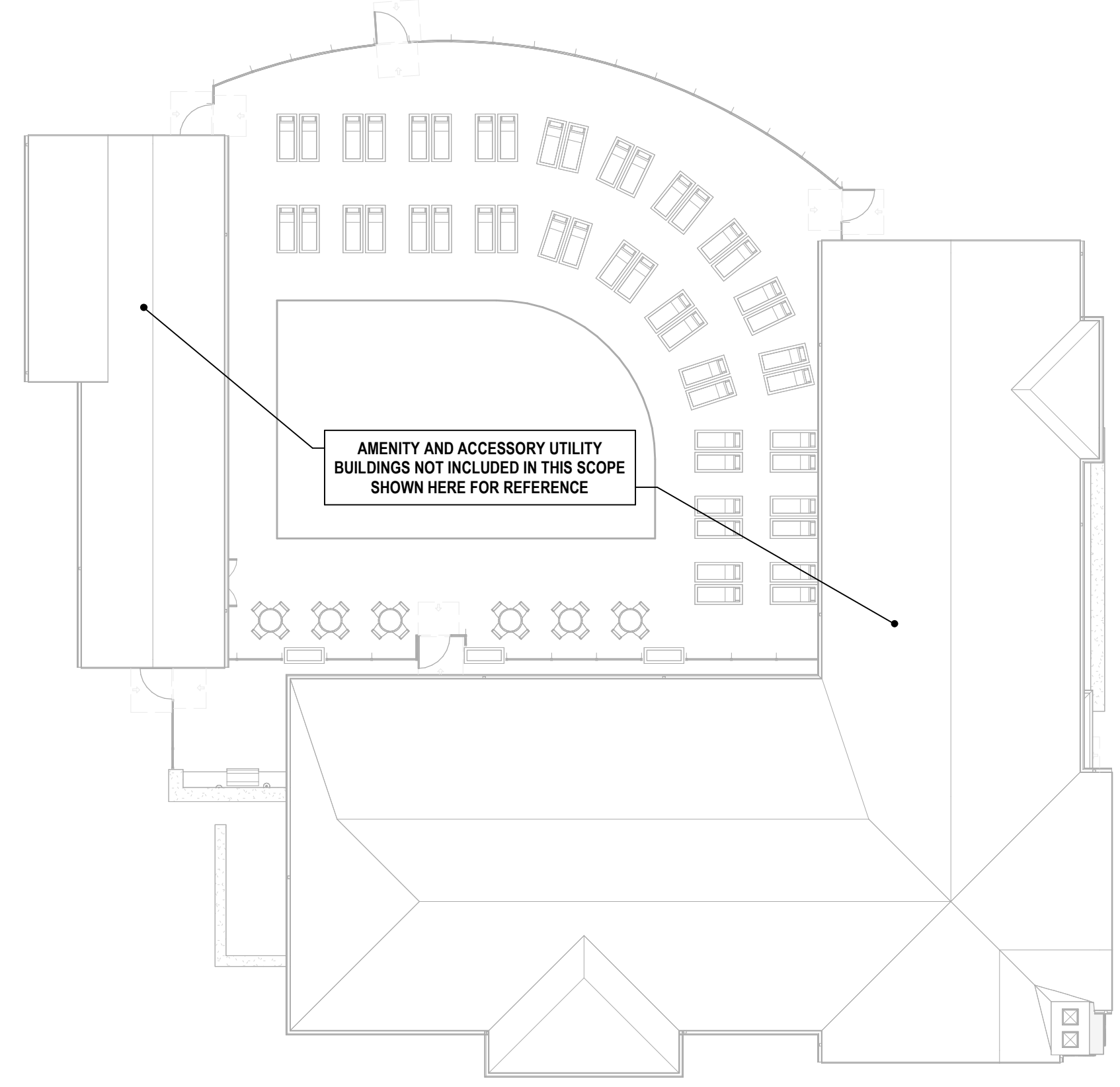
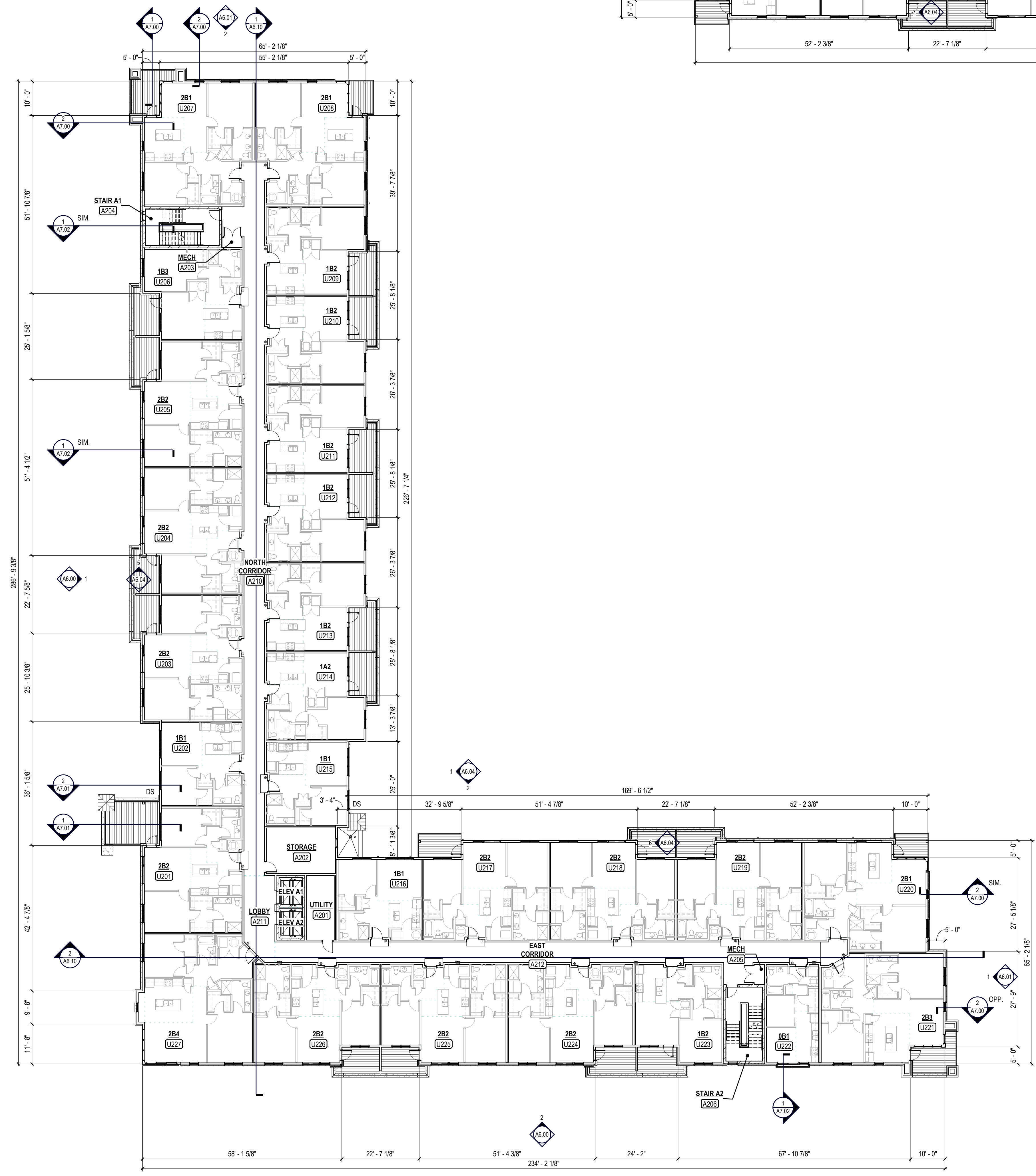
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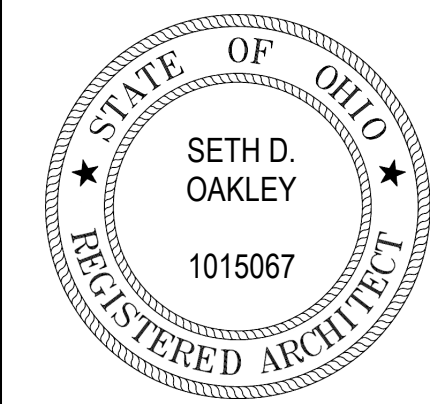


second floor plan - overall
1/16" = 1'-0"

APARTMENTS AT THREE OAKS

2772 & 2782 THREE OAKS LANE | CINCINNATI, OH 45209

STATUS:



SETH D. OAKLEY #1015067
EXPIRATION DATE 12-31-2025

REVISION:

NO.	DATE	DESCRIPTION

PROJECT NUMBER:

2019.310

DRAWN BY:

M+A

DATE:

10 JULY 2025

SHEET NAME:

SECOND FLOOR PLAN - OVERALL

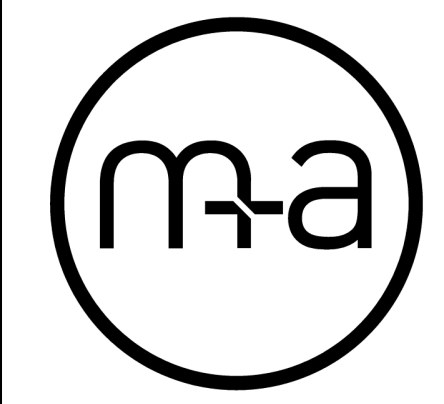
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A2.20

ma architects

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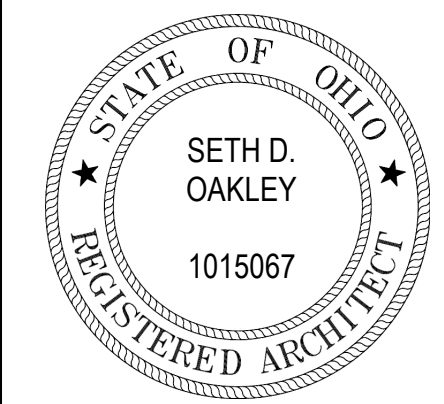
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APARTMENTS AT THREE OAKS

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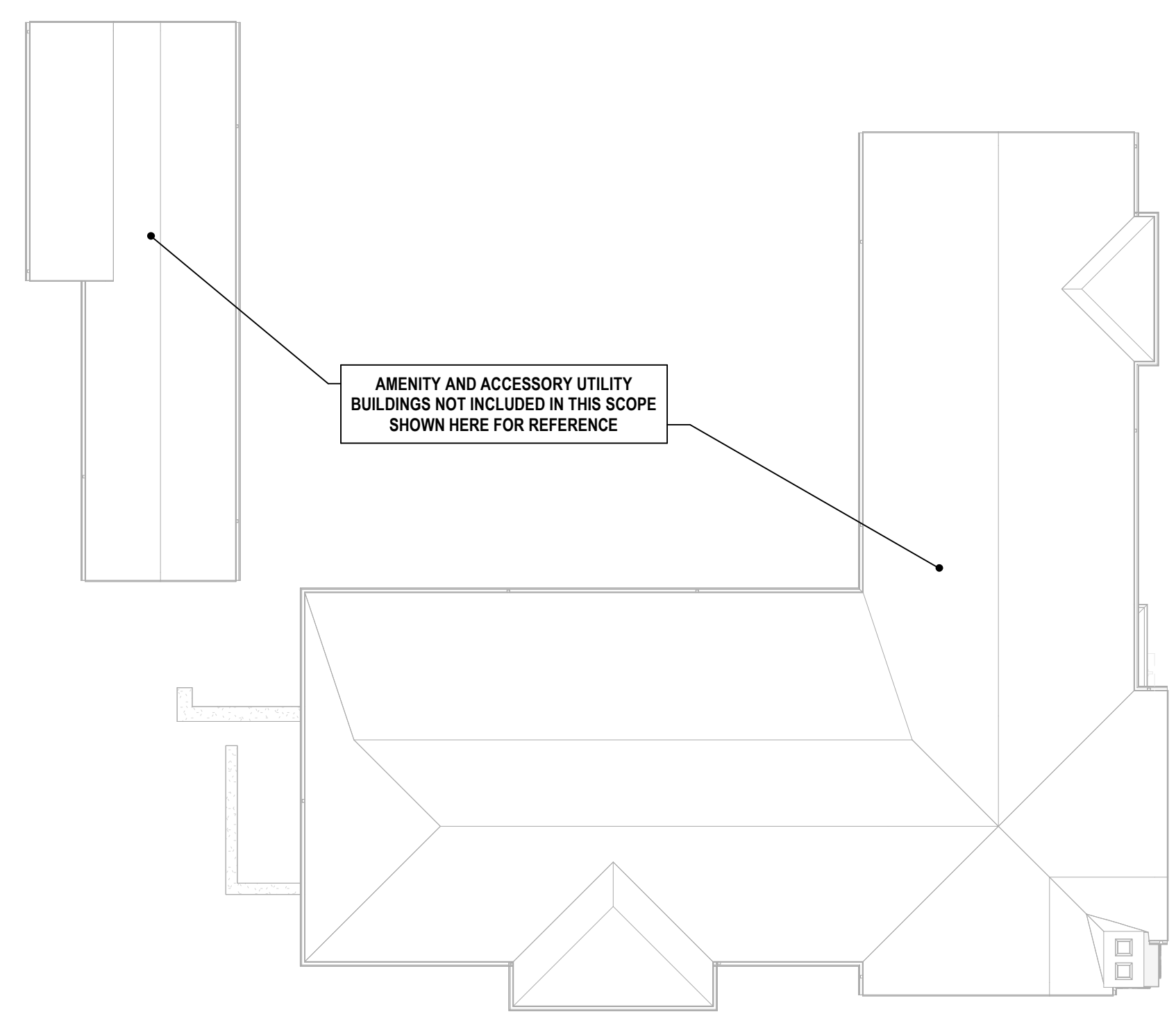
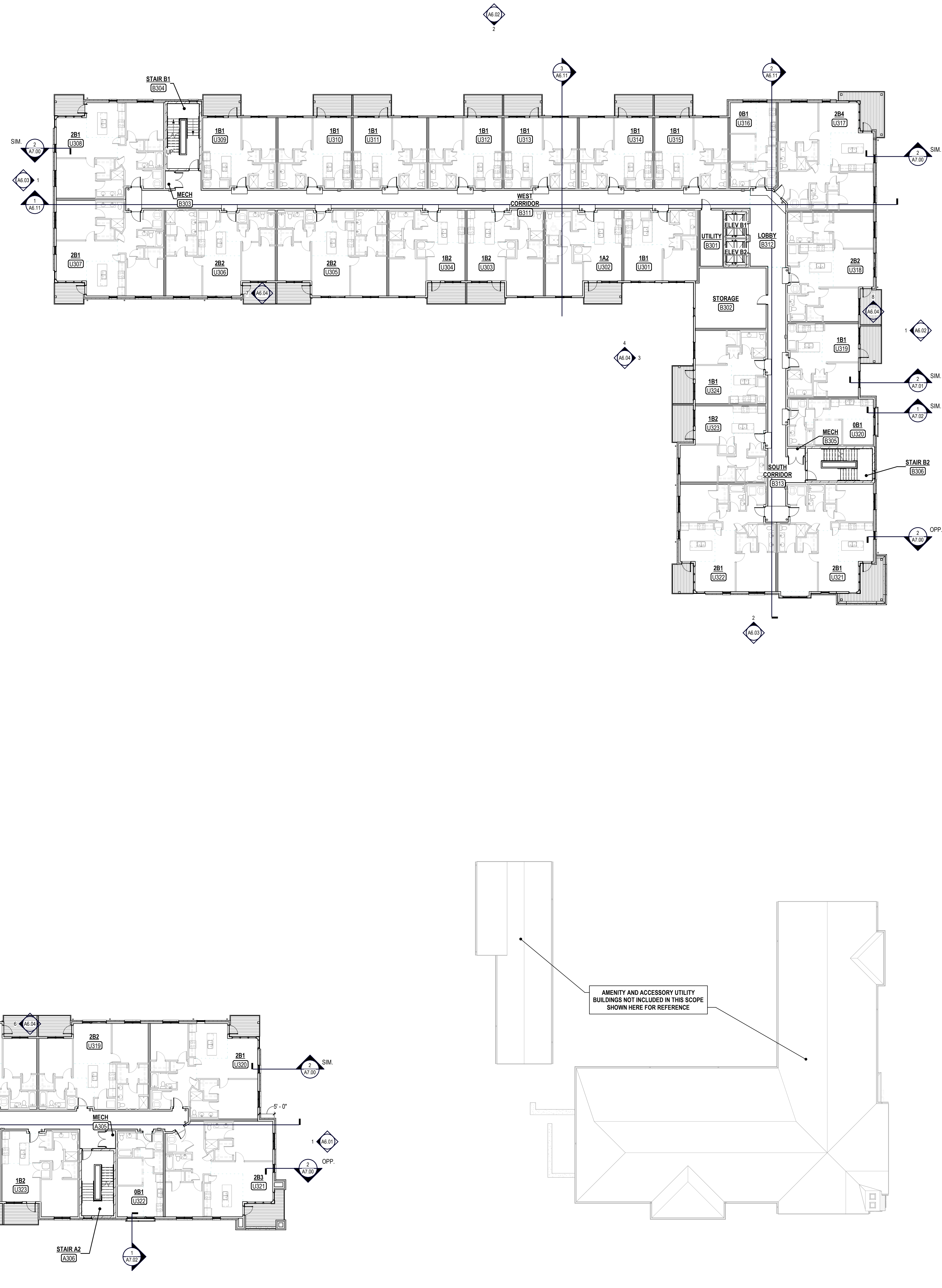
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THIRD FLOOR PLAN - OVERALL

SHEET NUMBER:

A2.30

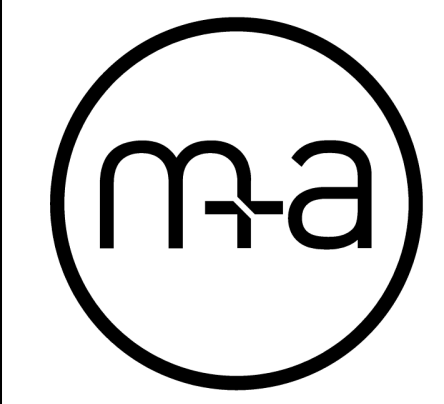
ma architects



third floor plan - overall
1/16" = 1'-0"

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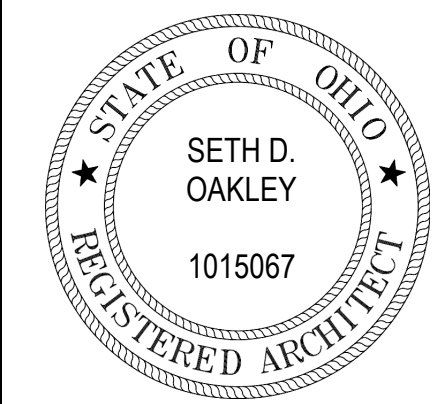
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PERMIT SET

APARTMENTS AT THREE OAKS

2772 & 2782 THREE OAKS LANE | CINCINNATI, OH 45209

STATUS:



REVISION:

NO.	DATE	DESCRIPTION

PROJECT NUMBER:

2019.310

DRAWN BY:

M+A

DATE:

10 JULY 2025

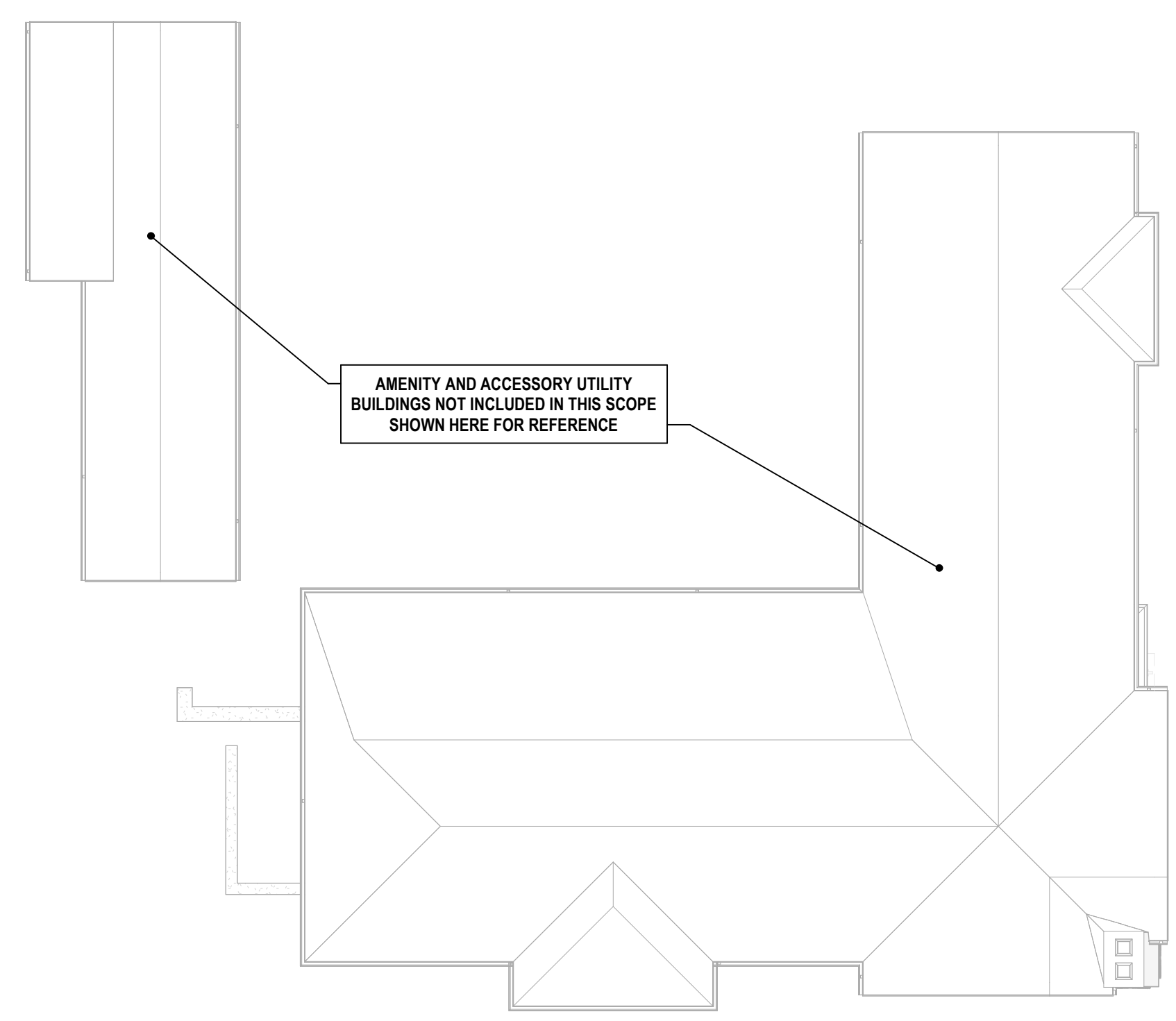
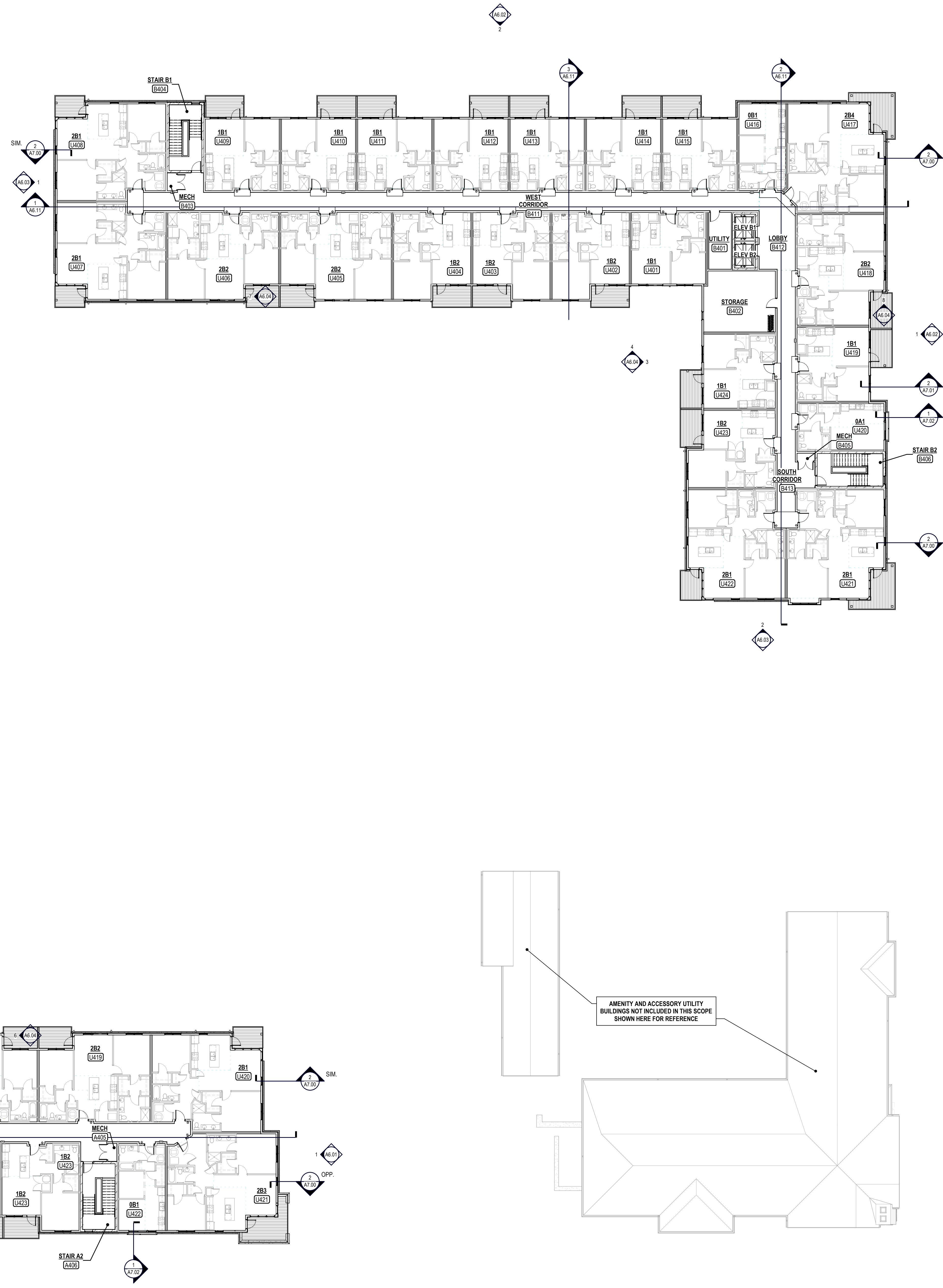
SHEET NAME:

FOURTH FLOOR PLAN - OVERALL

SHEET NUMBER:

A2.40

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fourth floor plan - overall
1/16" = 1'-0"



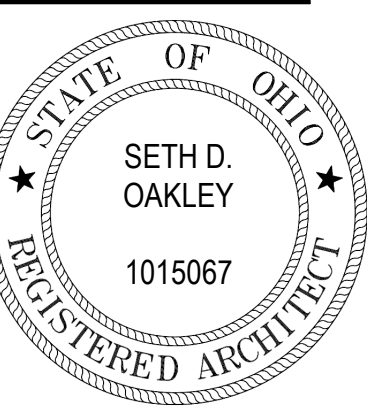
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PERMIT SET

APARTMENTS AT THREE OAKS

2772 & 2782 THREE OAKS LANE | CINCINNATI, OH 45209

STATUS:



REVISION:

NO.	DESCRIPTION

PROJECT NUMBER:
2019.310

DRAWN BY:
M+A

DATE:
10 JULY 2025

SHEET NAME:
EXTERIOR ELEVATIONS - BUILDING A

SHEET NUMBER:
A6.00

ma architects

MATERIAL LEGEND

- 4" THICK MODULAR FACE BRICK - COLOR 1 (BUILDING A ONLY); CONTINENTAL BRICK COMPANY, STYLE 494 - FLASHED WINE RED
- 4" THICK MODULAR FACE BRICK - COLOR 2 (BUILDING B ONLY); CONTINENTAL BRICK COMPANY, STYLE 597 - WALNUT BLEND
- 4" THICK CONCRETE STONE - COLOR: ROCKCAST CHESEOLD, OLD CHD - 4" AND 8" COURSE HEIGHTS IN 24", 16", AND 12" LENGTHS
- CAST STONE WINDOW HEADERS, SILLS, & CAPS
COLOR: ROCKCAST BUFFSTONE
- FIBER CEMENT LAP SIDING - 8" EXPOSURE (6" EXPOSURE AT 4TH FLOOR)
COLOR: SHERWIN WILLIAMS, SILVER STRAND (SW 7057)
- FIBER CEMENT PANEL SIDING AND BATTEN TRIM
COLOR: SHERWIN WILLIAMS, SILVER STRAND (SW 7057)
- FIBER CEMENT ACCENT PANEL SIDING AND BATTEN TRIM
COLOR: SHERWIN WILLIAMS, GRANITE PEAK (SW 6250) - BUILDING A ONLY
- FIBER CEMENT ACCENT PANEL SIDING AND BATTEN TRIM
COLOR: SHERWIN WILLIAMS, NIGHT OWL (SW 7061) - BUILDING B ONLY
- WINDOWS - COLOR: DARK BRONZE
- ALUMINUM STOREFRONTS - COLOR: DARK BRONZE
- METAL COPING - RDCA, DMI METALS - COLOR: DARK BRONZE

NOTE:
BUILDING A FIRST FLOOR ELEVATION OF 100' = 616'
BUILDING B FIRST FLOOR ELEVATION OF 100' = 615'



2 building a - south elevation
1/8" = 1'-0"



1 building a - west elevation
1/8" = 1'-0"



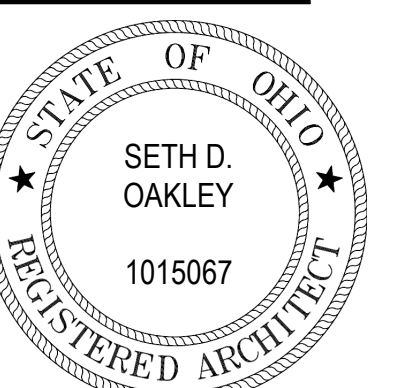
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APARTMENTS AT THREE OAKS

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STATUS:



REVISION:

NO.	DATE	DESCRIPTION

PROJECT NUMBER:

2019.310

DRAWN BY:

M+A

DATE:

10 JULY 2025

SHEET NAME:

EXTERIOR ELEVATIONS - BUILDING A

SHEET NUMBER:

A6.01

ma architects

MATERIAL LEGEND

- 4" THICK MODULAR FACE BRICK - COLOR 1 (BUILDING A ONLY); CONTINENTAL BRICK COMPANY, STYLE 494 - FLASHED WINE RED
- 4" THICK MODULAR FACE BRICK - COLOR 2 (BUILDING B ONLY); CONTINENTAL BRICK COMPANY, STYLE 667 - WALNUT BLEND
- 4" THICK CONCRETE STONE - COLOR: ROCKCAST CHISELED, OLD OHIO - 4" AND 8" COURSE HEIGHTS IN 24", 16", AND 12" LENGTHS
- CAST STONE WINDOW HEADERS, SILLS, & CAPS
COLOR: ROCKCAST BUFFSTONE
- FIBER CEMENT LAP SIDING - 8" EXPOSURE (6" EXPOSURE AT 4TH FLOOR)
COLOR: SHERWIN WILLIAMS, SILVER STRAND (SW 7057)
- FIBER CEMENT PANEL SIDING AND BATTEN TRIM
COLOR: SHERWIN WILLIAMS, SILVER STRAND (SW 7057)
- FIBER CEMENT ACCENT PANEL SIDING AND BATTEN TRIM
COLOR: SHERWIN WILLIAMS, GRANITE PEAK (SW 6250) - BUILDING A ONLY
- FIBER CEMENT ACCENT PANEL SIDING AND BATTEN TRIM
COLOR: SHERWIN WILLIAMS, NIGHT OWL (SW 7061) - BUILDING B ONLY
- WINDOWS - COLOR: DARK BRONZE
- ALUMINUM STOREFRONTS - COLOR: DARK BRONZE
- METAL COPING - RDCA, DIMI METALS - COLOR: DARK BRONZE

NOTE:
BUILDING A FIRST FLOOR ELEVATION OF 100' ± 616"
BUILDING B FIRST FLOOR ELEVATION OF 100' ± 615"



2 building a - north elevation
1/8" = 1'-0"



1 building a - east elevation
1/8" = 1'-0"



1404 Race St, Suite 202
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PERMIT SET

APARTMENTS AT THREE OAKS

2772 & 2782 THREE OAKS LANE | CINCINNATI, OH 45209

STATUS:



SETH D. OAKLEY #1015067
EXPIRATION DATE 12-31-2025

REVISION:

NO.	DESCRIPTION

PROJECT NUMBER:

2019.310

DRAWN BY:

M+A

DATE:

10 JULY 2025

SHEET NAME:

EXTERIOR ELEVATIONS - BUILDING B

SHEET NUMBER:

A6.03

ma architects

MATERIAL LEGEND	
	4" THICK MODULAR FACE BRICK - COLOR 1 (BUILDING A ONLY); CONTINENTAL BRICK COMPANY, STYLE 494 - FLASHED WINE RED
	4" THICK MODULAR FACE BRICK - COLOR 2 (BUILDING B ONLY); CONTINENTAL BRICK COMPANY, STYLE 597 - WALNUT BLEND
	4" THICK CONCRETE STONE - COLOR: ROCKCAST CHISELED, OLD CHD - 4" AND 8" COURSE HEIGHTS IN 24", 16", AND 12" LENGTHS
	CAST STONE WINDOW HEADERS, SILLS, & CAPS COLOR: ROCKCAST BUFFSTONE
	FIBER CEMENT LAP SIDING - 8" EXPOSURE (6" EXPOSURE AT 4TH FLOOR) COLOR: SHERWIN WILLIAMS, SILVER STRAND (SW 7057)
	FIBER CEMENT PANEL SIDING AND BATTEN TRIM COLOR: SHERWIN WILLIAMS, SILVER STRAND (SW 7057)
	FIBER CEMENT ACCENT PANEL SIDING AND BATTEN TRIM COLOR: SHERWIN WILLIAMS, GRANITE PEAK (SW 6250) - BUILDING A ONLY
	FIBER CEMENT ACCENT PANEL SIDING AND BATTEN TRIM COLOR: SHERWIN WILLIAMS, NIGHT OWL (SW 7061) - BUILDING B ONLY
	WINDOWS - COLOR: DARK BRONZE
	ALUMINUM STOREFRONTS - COLOR: DARK BRONZE
	METAL COPING - RDCA, DMI METALS - COLOR: DARK BRONZE

NOTE:
BUILDING A FIRST FLOOR ELEVATION OF 100' = 616"
BUILDING B FIRST FLOOR ELEVATION OF 100' = 615"



2 building b - south elevation
A6.03 1/8" = 1'-0"



1 building b - west elevation
A6.03 1/8" = 1'-0"

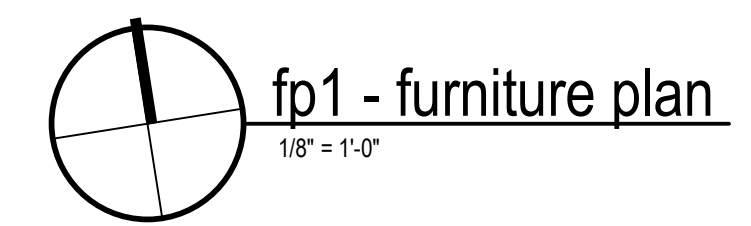
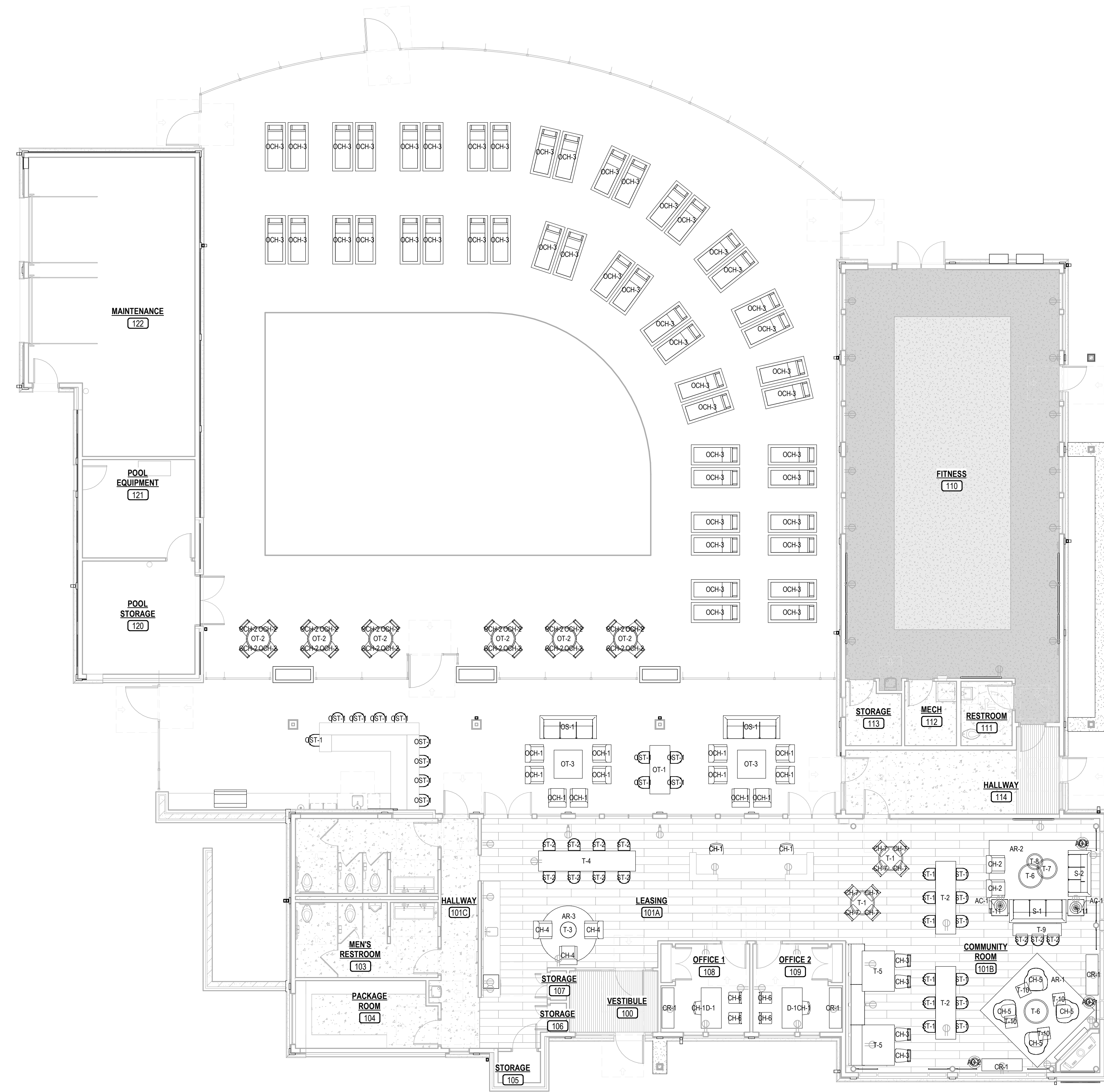


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PERMIT SET

AMENITY BUILDING AT THREE OAKS

2794 & 2798 THREE OAKS LANE | CINCINNATI, OH 45209



NOTE: FOR REFERENCE ONLY

STATUS:



REVISION:

NO.	DESCRIPTION

PROJECT NUMBER:

2019.310

DRAWN BY:

M+A

DATE:

11 MAY 2022

SHEET NAME:

FIRST FLOOR FURNITURE AND EQUIPMENT PLAN

SHEET NUMBER:

A4.10

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PERMIT SET

AMENITY BUILDING AT THREE OAKS

2794 & 2798 THREE OAKS LANE | CINCINNATI, OH 45209

STATUS:



SETH D. OAKLEY #1015067
EXPIRATION DATE 12-31-2023

REVISION:

NO.	DESCRIPTION

PROJECT NUMBER:

2019.310

DRAWN BY:

M+A

DATE:

11 MAY 2022

SHEET NAME:

EXTERIOR ELEVATIONS

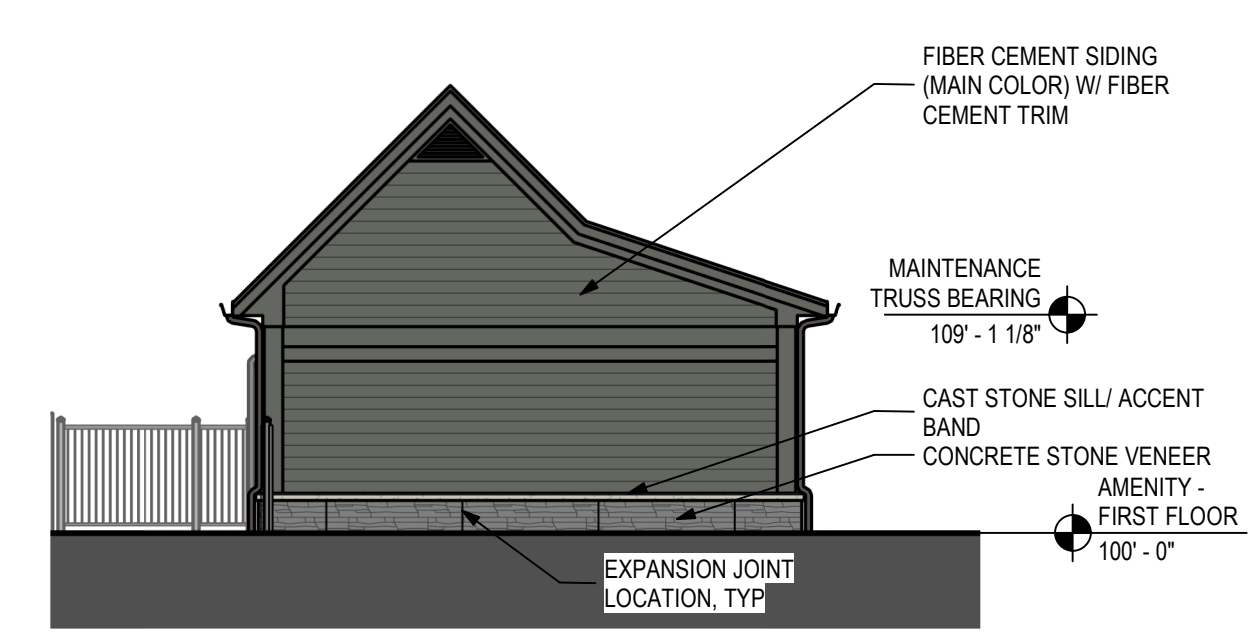
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A6.00

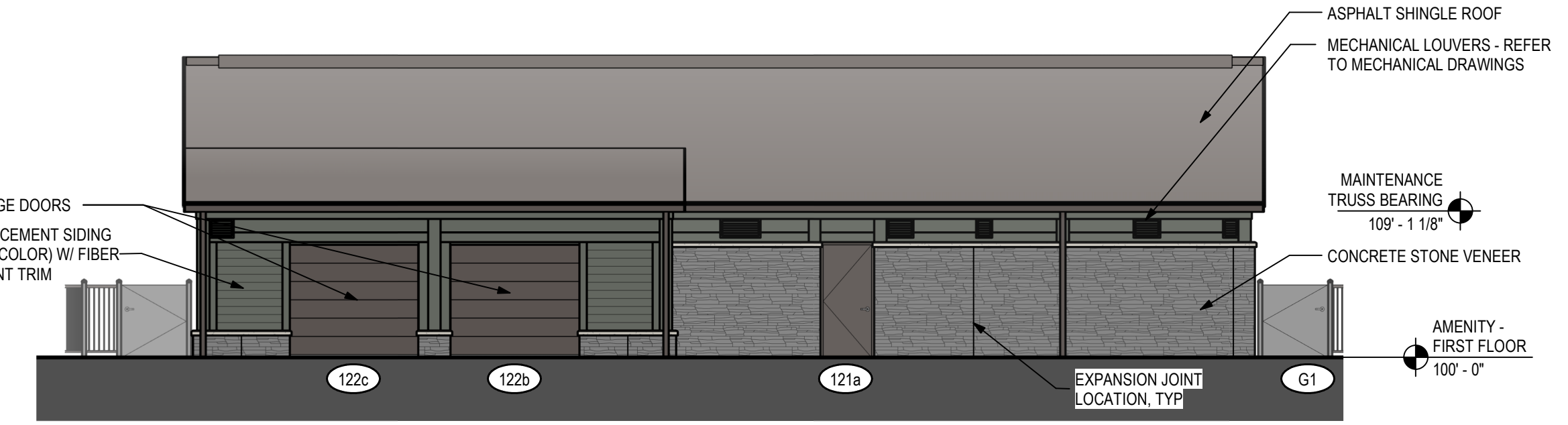
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MATERIAL LEGEND	
	4" THICK CONCRETE STONE - COLOR: ROCKCAST CHISELED, OLD OHIO - 4" AND 8" COURSE HEIGHTS IN 24", 16", AND 12" LENGTHS
	CAST STONE WINDOW HEADERS, SILLS, & CAPS COLOR: ROCKCAST BUFFSTONE
	FIBER CEMENT LAP SIDING - 6" EXPOSURE COLOR: SHERWIN WILLIAMS, NIGHT OWL (SW 7061)
	FIBER CEMENT ACCENT TRIM COLOR: SHERWIN WILLIAMS, NIGHT OWL (SW 7061)
	WINDOWS - COLOR: DARK BRONZE
	ALUMINUM STOREFRONTS - COLOR: DARK BRONZE
	METAL COPING - RDCA, DMI METALS - COLOR: DARK BRONZE

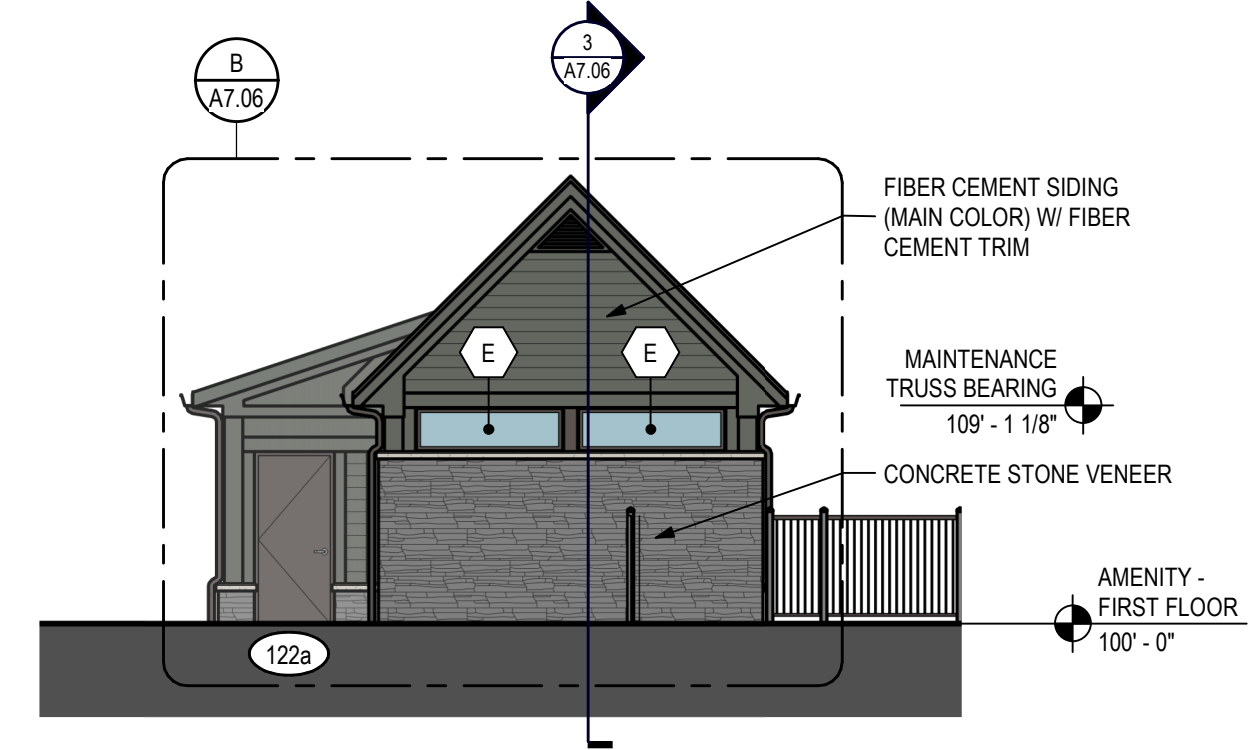
NOTE:
AMENITY / MAINTENANCE BUILDING FIRST FLOOR ELEVATION OF 100' = 615.75'



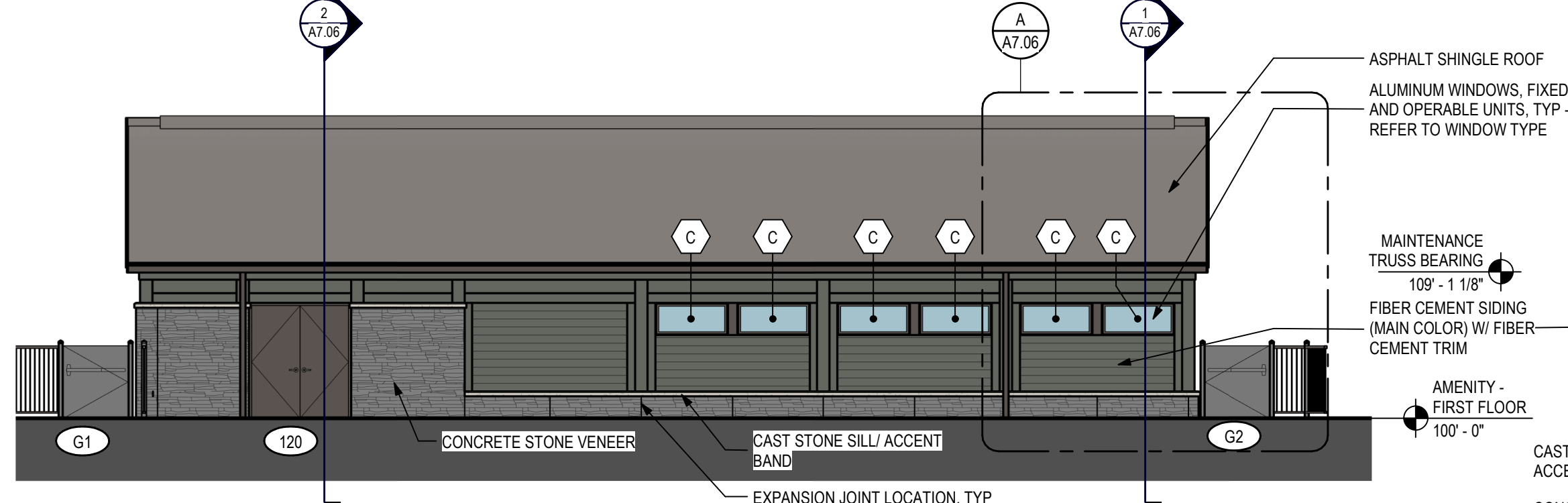
9 north elevation - maintenance building
A6.00 1/8" = 1'-0"



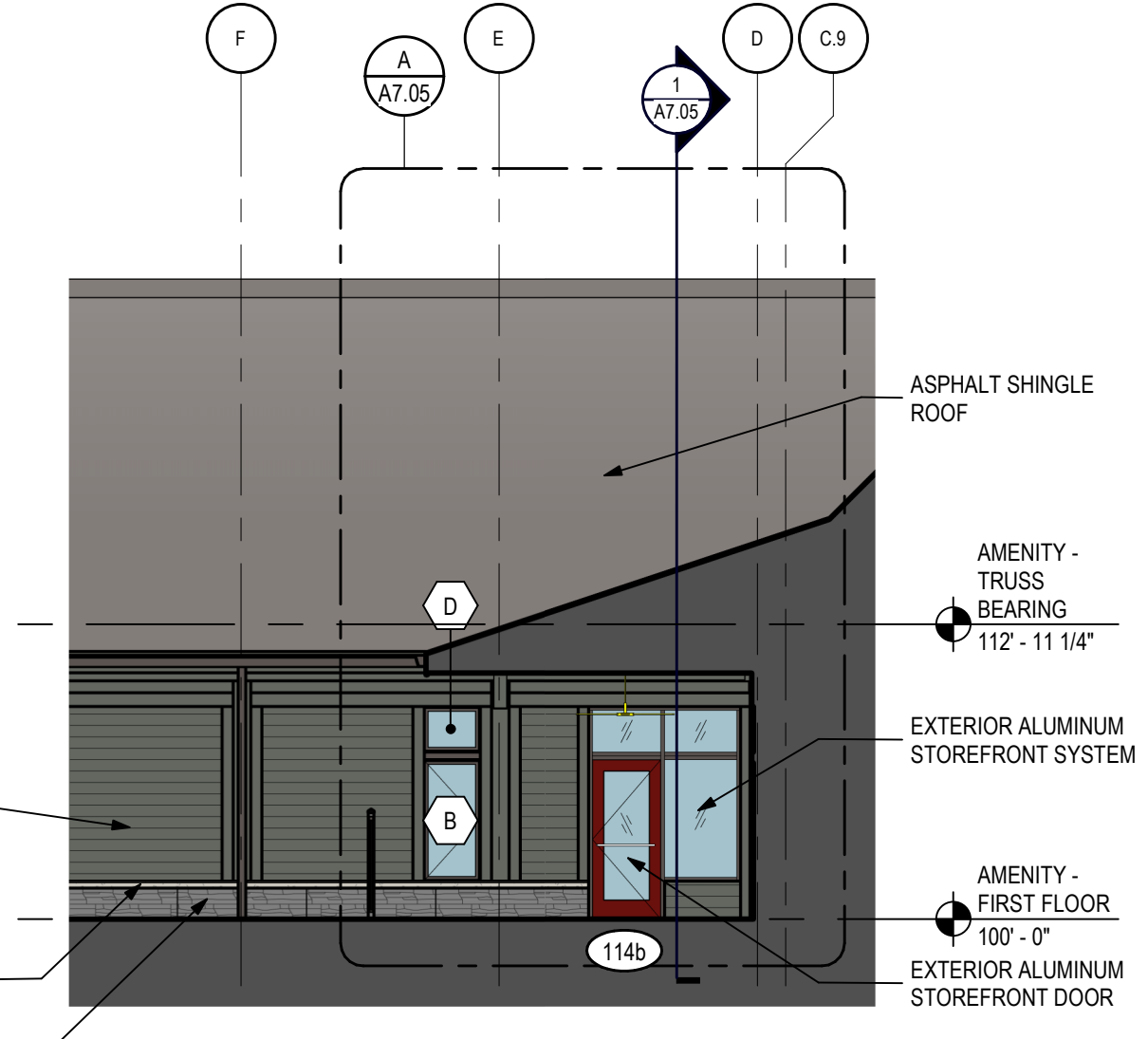
10 west elevation - maintenance building
A6.00 1/8" = 1'-0"



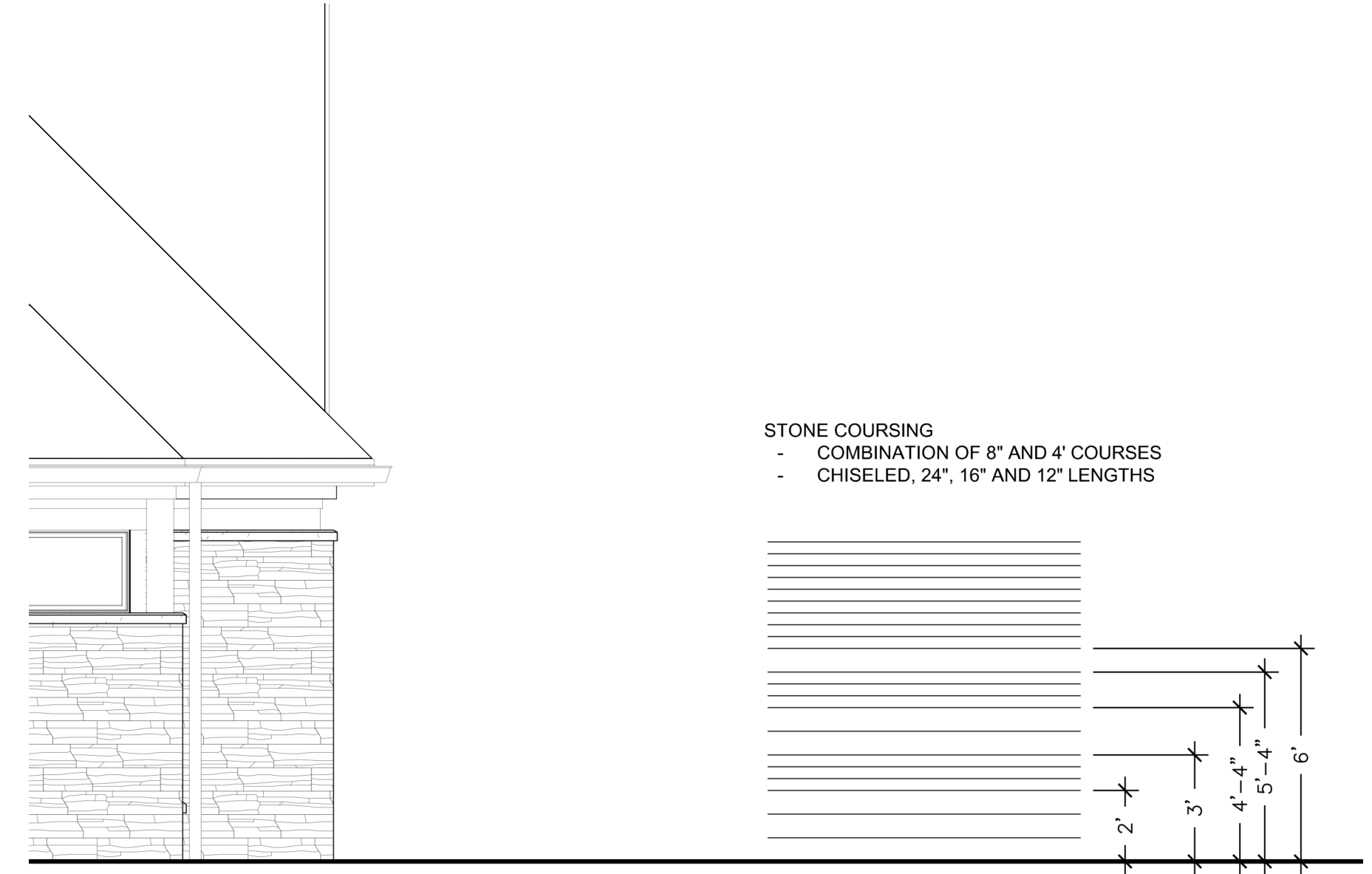
6 south elevation - maintenance building
A6.00 1/8" = 1'-0"



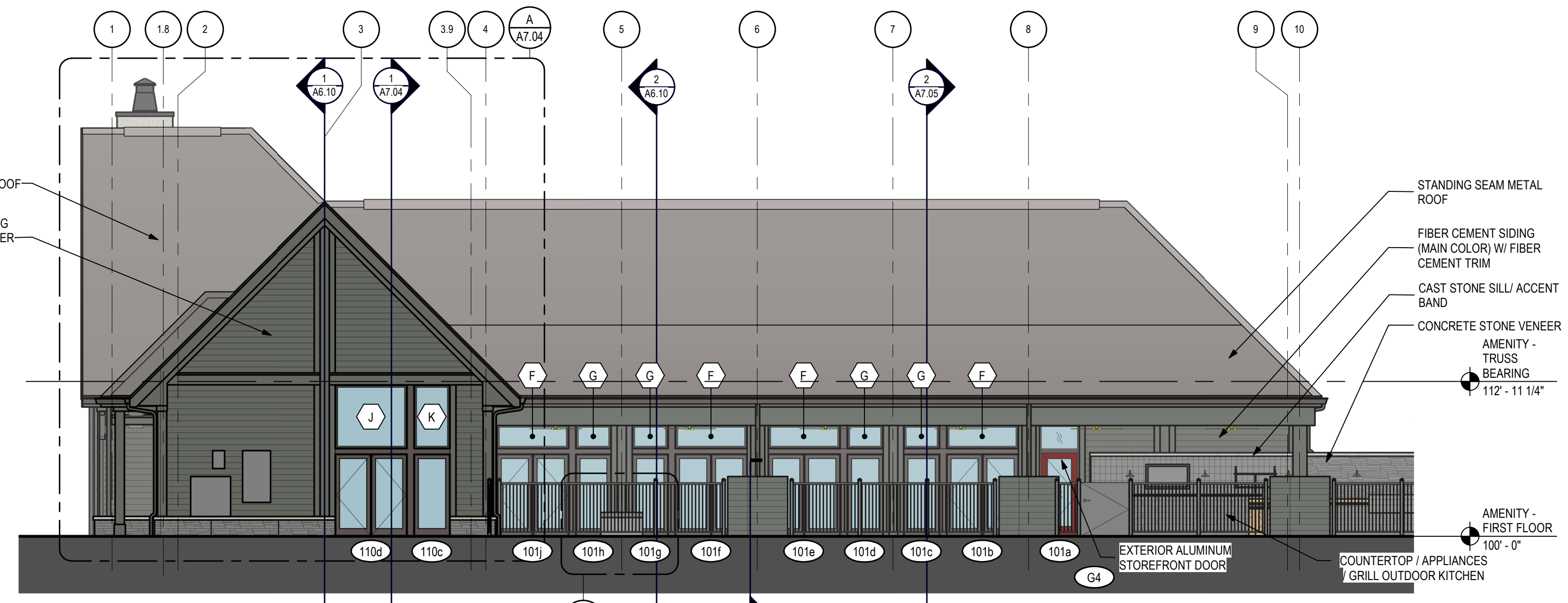
7 east elevation - maintenance building
A6.00 1/8" = 1'-0"



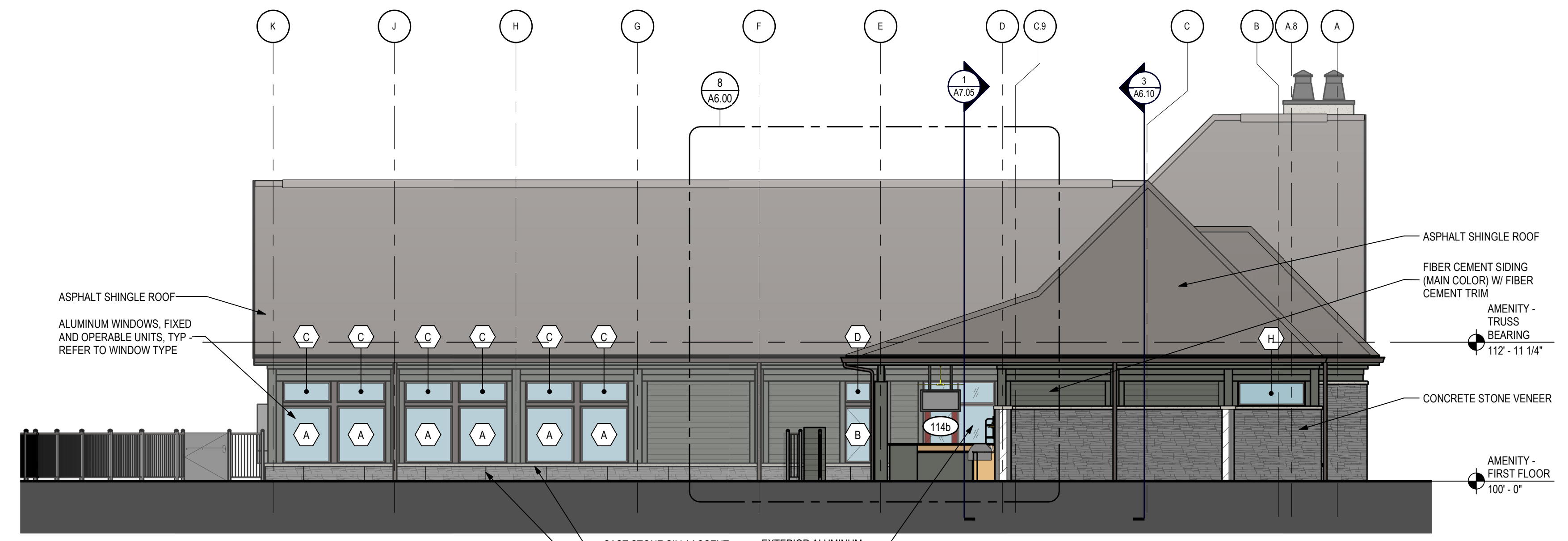
8 partial west elevation
A6.00 1/8" = 1'-0"



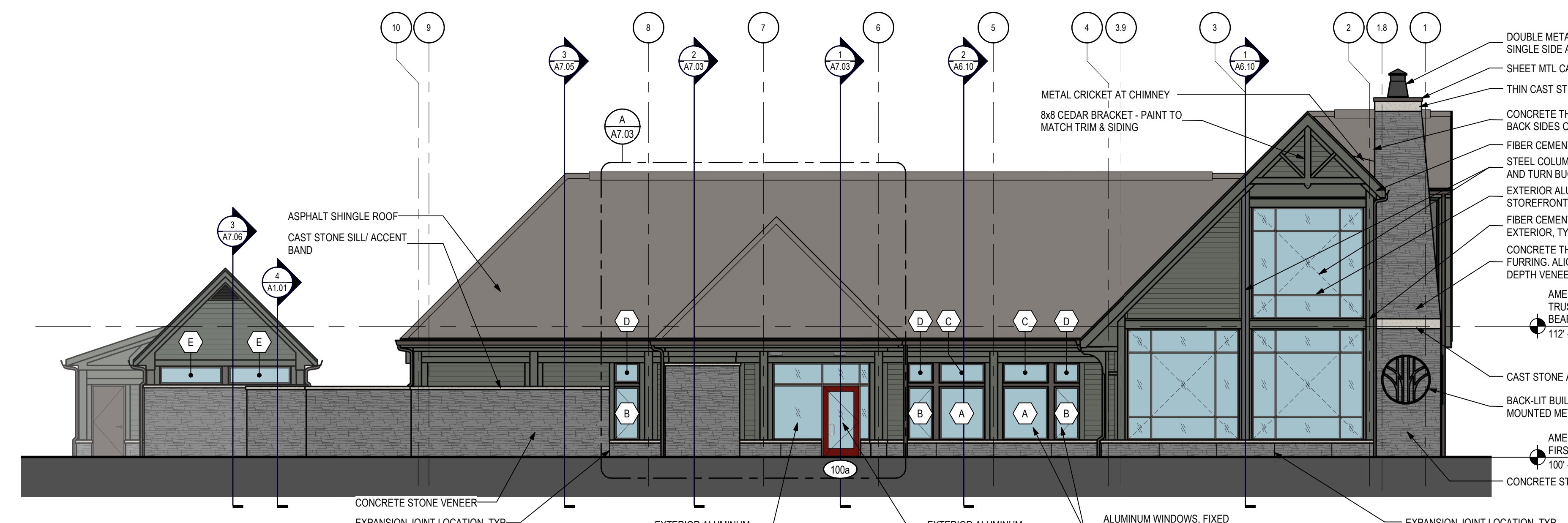
5 stone coursing detail
A6.00 1/4" = 1'-0"



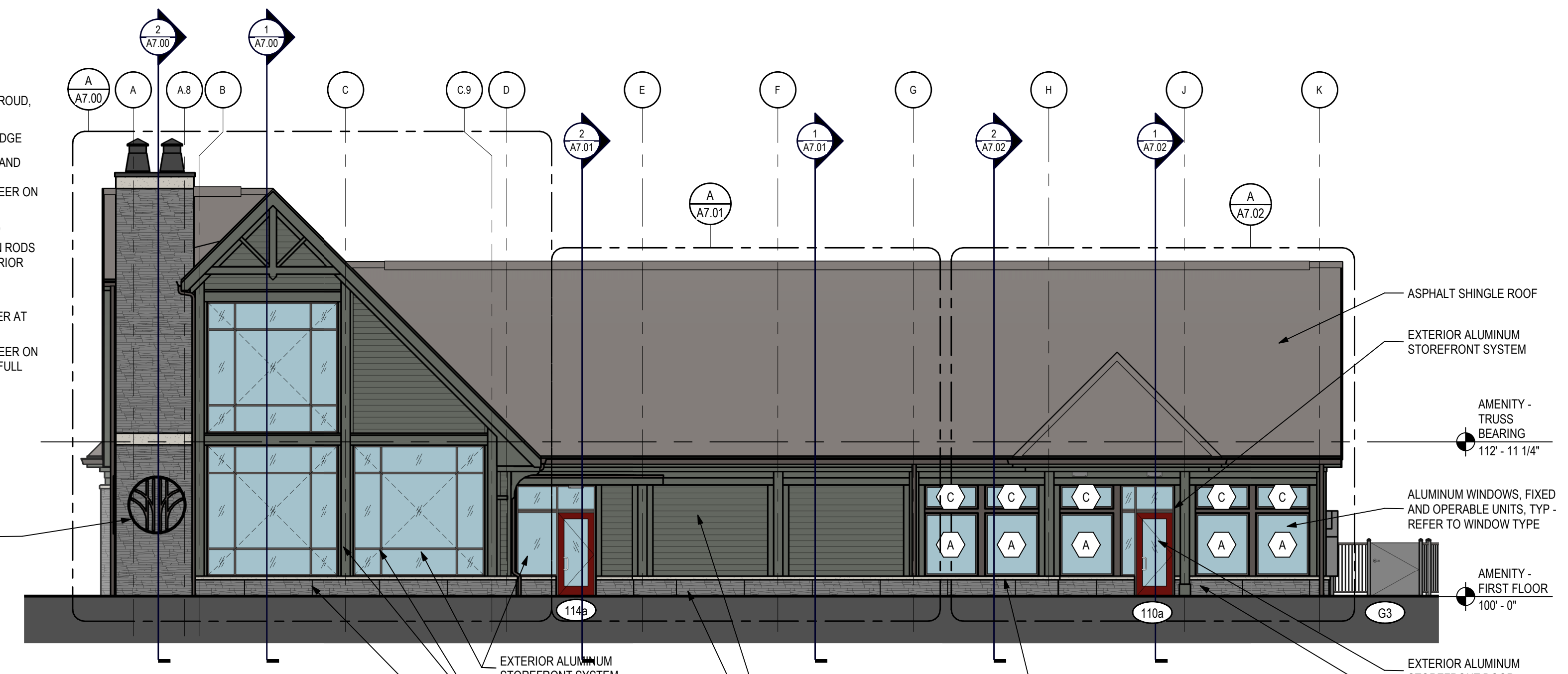
3 north elevation
A6.00 1/8" = 1'-0"



4 west elevation
A6.00 1/8" = 1'-0"



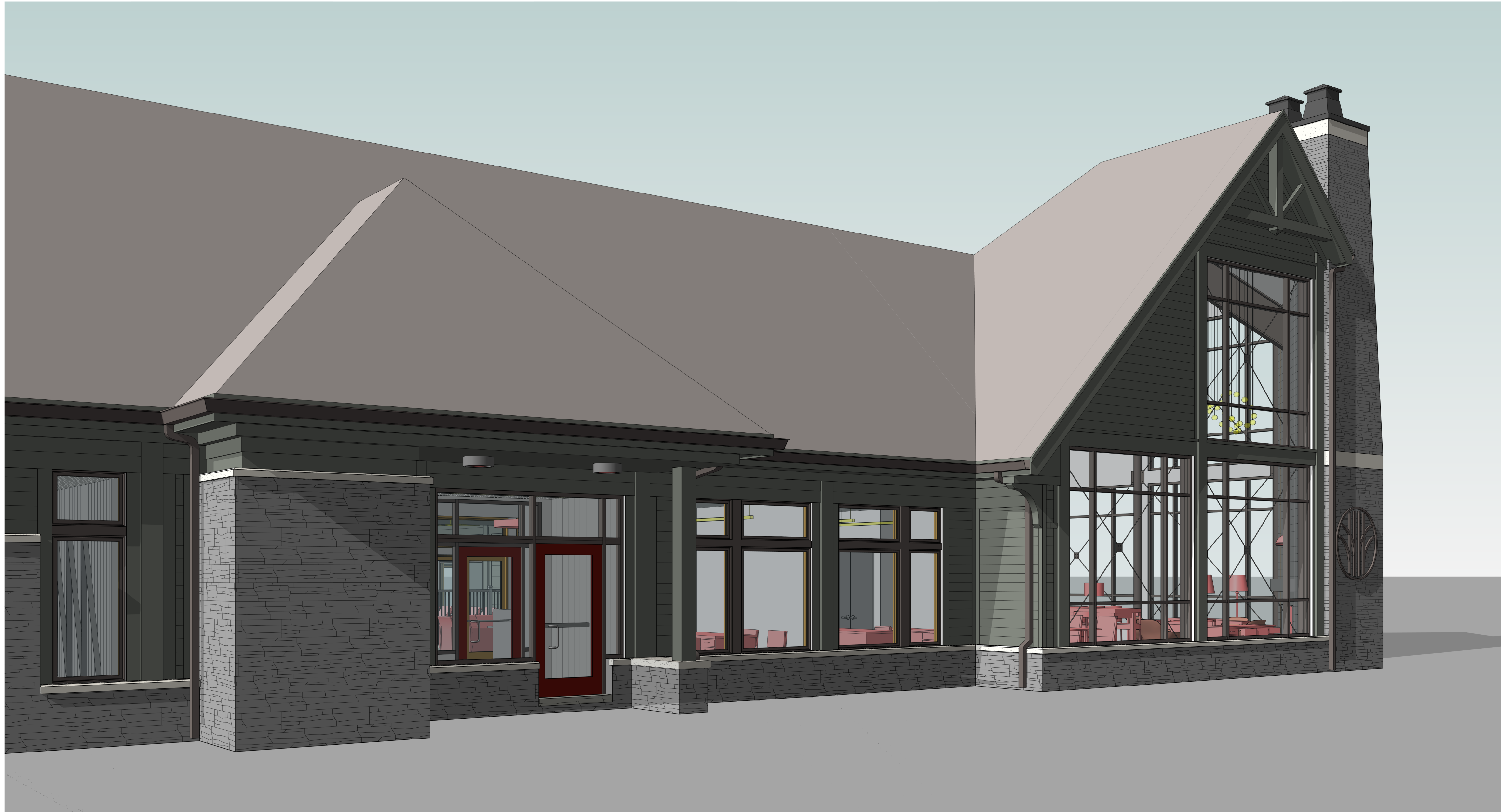
1 south elevation
A6.00 1/8" = 1'-0"



2 east elevation
A6.00 1/8" = 1'-0"



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perspective view - main entrance



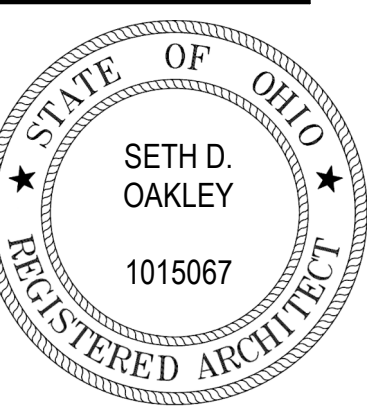
perspective view - se corner

AMENITY BUILDING AT THREE OAKS

2794 & 2798 THREE OAKS LANE | CINCINNATI, OH 45209

PERMIT SET

STATUS:



SETH D. OAKLEY #1015067
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DATE:

11 MAY 2022

SHEET NAME:

3D VIEWS

SHEET NUMBER:

A6.20

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aerial perspective view



perspective view - east side



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AMENITY BUILDING AT THREE OAKS

PERMIT SET

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SETH D. OAKLEY #1015067
EXPIRATION DATE 12-31-2023

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11 MAY 2022

SHEET NAME:

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SHEET NUMBER:

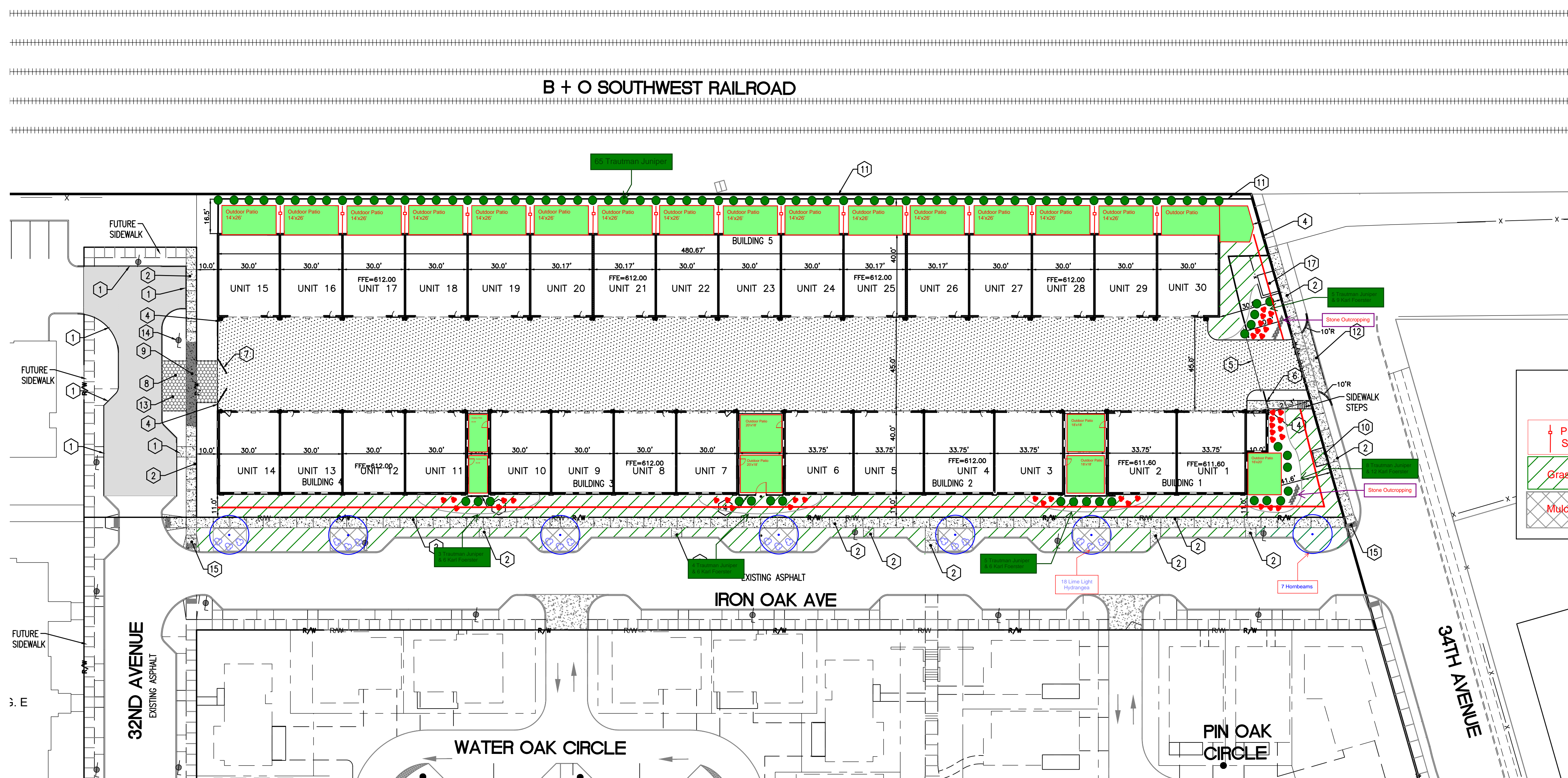
A6.21

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Scale: 1" = 30'

Legend



XL_3119 Project\19102 Three Oaks Residential\DWG\Construction Documents\19102 Garage area class.dwg - 4/24/2023 10:28:46 AM DWG To PDF.plt

