



Cincinnati Board of Park Commissioners
Board Meeting Agenda
September 19, 2024 9:00 AM
950 Eden Park Drive Cincinnati, OH 45202

ORDER OF BUSINESS

I. Call to Order

A. Public Comments

II. Administrative Actions*

A. Approval of August 15, 2024, Meeting Minutes

III. Information / Updates

A. Trust for Public Land Presentation

TPL Ohio and National

B. Planning & Design Update

Joel Gross, P&D Division Manager

C. HR Update

Derrick Gentry, HR Manager

IV. Action Items*

A. Sawyer Point Pickleball Shade

Joel Gross, P&D Division Manager

B. Commissioners Fund Budget

Jason Barron, Director

C. Resolution of Authorization to Execute and
File an Application: OPWC Clean Ohio

Jason Barron, Director

D. Foundation Grant Acceptance

Jason Barron, Director

E. Grant of Easement: 211 Woodward St.

Jason Barron, Director

V. Director's Comments

VI. Open Commissioner Discussion & Comments

VIII. Next Regular Meeting Date: Thursday, October 17, 2024, at 9:00 AM

IX. Adjournment



Date: September 19, 2024
To: Board of Park Commissioners
From: Jason Barron - Director
Subject: Action Agenda

BOARD OF PARK
COMMISSIONERS

Molly North
President

Kick Lee
Vice President

Susan F. Castellini

Phyllis McCallum

John E. Neyer

Jason Barron
Director

Jenny Mobley
Deputy Director

Crystal Courtney
Division Manager

Herta Fairbanks
Division Manager

Joel Gross
Division Manager

Rocky Merz
Division Manager

This memo provides a summary of action items for the September 2024 Park Board Meeting.

Action Items

- **Approval of the August 15, 2024, Meeting Minutes**
- **Sawyer Point Pickleball Shade**
P&D understands that the Cincinnati Parks Foundation has raised and received the funds necessary to fund a shading solution for the Sawyer Point Pickleball seating. It is anticipated that this work will be completed utilizing the Recreation Area Improvements term contract via Prus Construction, who will work with the shade solution vendor to prep the foundations, remove and restore all necessary concrete, and install the shade solution. **P&D recommends award and approval of this work in the amount of \$115,000 to Prus Construction.** We anticipate this project will be completed once major yearly festivities at Sawyer Point are complete, with a tentative timeframe for installation of November 2024 - January 2025.
- **Commissioners Fund Budget**
- **Clean Ohio Green Space Conservation Program Resolution of Authorization to Execute and File an Application**
- **Foundation Grant Application / Acceptance**
 - o **Kennedy Park Wetland Delineation**
 - o **Lytle Park Bronze Sign Re-creation and Re-installation**
 - o **Sawyer Point Pickleball Shade Canopy**
- **Grant of Easement: 211 Woodward Street**
This Grant of Easement has been requested by Duke Energy Ohio, Inc. to access, operate and maintain electric utility equipment installed as part of the 2022 – 2023 expansion of Ziegler Park. **Staff respectfully requests the Board approve the Grant of Easement to allow Duke access to utility equipment located at 211 Woodward St.** (Hamilton County, Ohio Auditor's Parcel No.: 075-0004-0054-90).

BOARD OF PARK COMMISSIONERS

August 15, 2024

CALL TO ORDER

A meeting of the Cincinnati Board of Park Commissioners was held on this day at 950 Eden Park Drive. Commissioners present: President Molly North, Vice President Kick Lee, Commissioner Susan F. Castellini, Commissioner Phyllis McCallum, and Commissioner John Neyer. President North called the meeting to order at 9:02 A.M.

Acknowledgement of Public Comments

President North acknowledged seven in-person public comments about the Burnet Woods dog park. President North thanked speakers for their continued engagement, discussed plans for other improvements in the works at Burnet Woods, and shared thoughts on the importance of dog parks in communities. President North asked Director Jason Barron to address the efforts made and constraints faced in prioritizing accessibility in the design of the dog park. Director Barron and Staff shared background on the choices and updates made regarding grading, materials, sidewalk design, and ADA compliant parking as the design developed.

ADMINISTRATIVE ACTIONS

Approval of the July 18 Meeting Minutes

Commissioner Castellini motioned to approve the meeting minutes. Commissioner Neyer seconded. The motion passed by a unanimous voice vote.

ACTION ITEMS

DNR Ludlow Headquarters Service Garage

Division Manager Joel Gross updated the Board on the status of construction of the DNR service garage. P&D was recently made aware of a discrepancy in the finished floor elevation that would potentially create drainage problems. This can be corrected by raising the finished floor elevation by one foot. Prus Construction agreed to perform the work at no additional cost beyond that of materials. Staff requested authorization of a contingency in the amount of \$9,225 for the remainder of the project, to be funded from proceeds of the Reading Road site sale. This amount will cover the anticipated cost of additional materials with the remainder to be held in reserve for potential future issues. Commissioner Neyer motioned to approve the \$9,225 contingency. Commissioner Castellini seconded. The motion passed by a unanimous voice vote.

Mt. Airy Bike Skills Course Award Approval

Division Manager Joel Gross shared a bid from Progressive Bike Ramps to construct the Bike Skills Course at Mt. Airy. The Park Board approved \$140,000 in January 2023 and accepted up to \$110,000 from the Cincinnati Parks Foundation in June 2024 towards this project. The Commissioners and Staff discussed the design of the course and the operating specifics of the comfort station. Staff recommended awarding the project to Progressive Bike Ramps in the amount of \$247,348. Commissioner Neyer suggested approving a contingency for the project. Staff recommended a 10% contingency across the project. President North thanked the Cincinnati Parks Foundation and CORA for their support of this project. Commissioner Neyer motioned to approve the award of work to Progressive Bike Ramps in the amount of \$247,348, with an additional \$25,000 contingency. Vice President Lee seconded. The motion passed by a unanimous voice vote.

INFORMATION/ UPDATES

Planning & Design Update

Division Manager Gross updated the Board on the status of grant applications for the Glenway Park project and discussed the different levels of what could be accomplished based on the amount of funding received. President North recognized Commissioner Neyer for being a champion of the project. Commissioners and Staff discussed opportunities for interpretive signage highlighting the park's history, and the positive impact invasive removal has had and other planned improvements will have on the space. Staff updated the Board on plans for invasive removal at Inwood Park as part of the planning process. Staff also shared preliminary design plans for the Sinton Operations Center and considerations for including the Biochar facility in that footprint.

Duke Pipeline Tree Valuation Report

Division Manager Crystal Courtney provided a report on a Division of Natural Resources (DNR) led effort to work with Duke Energy to minimize the loss of tree canopy during a gas line replacement on Parks property. Duke originally estimated 283 public and park trees would need to be removed to complete the project. However, after receiving the results of a DNR conducted tree appraisal in August 2023, Duke reevaluated their plans and were able to reduce the total number of trees removed to 44 (36 in Magrith Preserve and 8 in the right of way). Duke compensated Parks for staff time and trees lost in the amount of \$57,510.53.

HR Update

Director Barron provided an overview of current staff numbers, vacancies, new hires, upcoming retirements – including key DNR team members Robin Hunt and Sheila Stump – and updates on ongoing interviews for a number of positions. Staff also touched on efforts to highlight safety.

ACTION ITEMS

Foundation Grants Application / Acceptance

Director Barron shared plans to add additional police coverage at Smale and Sawyer Point Parks on weekend evenings throughout the summer. The Smale Family, through the Cincinnati Parks Foundation, generously offered grant funds to cover those costs. Commissioner Neyer motioned to approve the application for and acceptance of a grant from the Parks Foundation for additional security in an amount up to \$15,000. Commissioner Castellini seconded. The motion passed by a unanimous voice vote.

INFORMATION/ UPDATES

Cincinnati Parks Events 2024

Director Barron shared a report he provided to City Council's Climate, Environment, and Infrastructure Committee on past and upcoming events and programming in Parks in 2024. Commissioners and Staff also discussed the Trust for Public Land's ParkScore methodology and its 10-Minute Walk program, which focuses on equitable access to parks and greenspace.

3-Year Plan Update

Director Barron provided a draft update of the Park Improvement Projects 3-Year Plan, which lays out all major current, upcoming, and future projects from Q4 2023 through Q3 2028, including anticipated hours spent by Staff quarterly on those projects. The Commissioners requested that the marina project be added to the plan and advised they will review the draft in anticipation of approving a final version in the near future.

DIRECTOR'S COMMENTS

Director Barron presented the following updates:

- Krohn's Butterflies in Space show ends Sunday, August 18, and was very successful. The fall show, Mum's the Word, will run August 31 – October 13.
- The annual ReLeaf tree giveaway program is returning in September. Registration for low canopy neighborhoods opens September 7, general registration opens September 21.
- Parks has engaged in recent outreach events including Paddlefest, the Neighborhood Summit, Rock the Block, and CM Owens' Social Service Days.
- A video highlighting Parks' Counselors in Training (CIT) summer camp volunteers.
- Additional upcoming events including the Black Family Reunion, Riverfest, Mt. Airy Trailfest, a Caterpillar/Moth Treasure Hunt at California Woods, Oktoberfest Zinzinnati, and Bluegrass and BBQ at Alms Park.

OPEN COMMISSIONER DISCUSSION

Commissioner Castellini shared she wishes that those who attend Park Board meetings to provide public comment regarding Burnet Woods would stay for the entirety of the meeting in order to hear about everything going on in Parks. President North indicated there may be a need to reschedule the October meeting and will propose alternate dates if and when that is determined.

ADJOURNMENT

President North motioned to adjourn. The meeting was adjourned at 11:18am. The next regular meeting date is Thursday, September 19, at 9:00am.

ATTEST:

PRESIDENT _____ DIRECTOR _____



Date: September 19, 2024

To: Board of Park Commissioners

From: Joel Gross, Division Manager Planning & Design

Subject: Planning & Design Monthly Update

BOARD OF PARK

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Park Board Commissioners, please review the monthly update from the Planning & Design (P&D) team (**attachment cues in red, action items in green**):

2024 PLAN OF WORK PROJECT UPDATES

DNR Division Ludlow Headquarters Service Garage: Foundation installation work is underway on the Ludlow service garage. It is anticipated that the footer and floor concrete will be completed on September 6, 2024. The Pre-Engineered Metal Building (PEMP) steel is already on site and staged. After the foundation is given a week to cure, building steel construction will begin the week of September 16, 2024. This work will extend through the end of October 2024. **Please see the attached photos showing construction progress.**

Theodore M. Berry International Friendship Park Reconstruction: Prus is working to repour the seat wall and will continue hardscape installation through the end of the year. Electrical infrastructure for lighting reinstallation is in progress, with Parks P&D and Facilities assisting in locations of existing assets and tie-ins. P&D is working with GCWW, Prus, and their landscaping contractors to identify suitable vegetative material and trees well in advance of installation. **Please see the attached photos of construction work in progress.**

Smale Lot 23 Enhancements – Construction: P&D anticipates delivery of 100% plans from THP on or before September 13, 2024. Full sets of the plans will be available to the Commissioners for further review if desired, and excerpts of the plans will be included for review in the October meeting. We will initiate creation of an invitation to bid (ITB) package with Purchasing as soon as the 100% plan review has been completed. It is anticipated this project will be in the bidding and procurement phase for the next 60 - 90 days, as the ITB is created and issued for bid, with construction likely to begin on or before February 2025.

Biochar Production Facility – Design & Installation: On September 4, P&D received updated concepts from KZF, showing a proposed layout for the interior equipment and two layouts for the site. The position of the shredder and grading implications in each scenario are still in evaluation by KZF civil engineers. P&D anticipates review of these items internally by mid-September, with design team and full Biochar operations team meetings to follow on September 24 and in early October. Equipment testing for the ORC is scheduled for October 2nd and 3rd in Atlanta, Georgia. Parks will likely send a delegation to observe.

Sinton – East Operations Center: Parks leadership continues to meet with P&D to refine schematic designs with East Operations, Facilities & Maintenance, Biochar, and the Mechanics shops - all of which are proposed to be housed on this site. **Please see the latest attached conceptual drawings produced by the P&D Architecture team.** As noted in the Biochar section of this monthly update, equipment layouts, orientation, and site grading of that facility are expected to be vetted to the point of confident feasibility by mid-October 2024. Design Development (DD) - level plans with subsequent Park Board review, and Construction Document (CD) - level plans are anticipated to be completed by the end of 2024. P&D will refine and present a project critical path flow diagram, similar to the one presented this month for Inwood Park, as those dates are reviewed and finalized based on upcoming design submittals. The Board should expect a more detailed update in October 2024.

Lytle Park Comfort Station: On August 29, P&D led a walkthrough with Megen and their subcontractors for the purpose of providing quotations under the Third-Party Agreement. We anticipate receipt of quotations by the end of September, and (assuming funding is identified and in place) will provide a recommendation to the Board in October. P&D estimates the cost of these improvements at \$400,000, which will be funded from funding line 252000. **Please see attached excerpts from the evaluation package supplied to Megen as the basis of quotation.**

Burnet Woods Dog Park: Revisions to the design, materials, and budgets continue. As of the submittal of this report, updated budgets and design revisions have not been received, but are anticipated to be submitted prior to the September 2024 meeting. P&D will defer to the Director's Office for additional information.

Mt. Airy Bike Skills Course and Associated Area 23 Upgrades: During the August 2024 meeting, the Board reviewed and approved the conceptual design and bid from Progressive Bike Ramps in the amount of \$247,348 to design and construct the Bike Skills Course in Mt. Airy Area 23. P&D and Parks Finance are working with Purchasing to secure the required approvals and paperwork for this direct award project, which was approved on August 30, 2024. Parks now creates an RQC (Revenue Quality Control) – which is a request to legal services to draft a final contract based on the approved terms. Grant funding also needs to be accepted by City Council via Ordinance, which P&D understands will be completed in October and November 2024. Once these documents are approved work can begin with Progressive Bike Ramps. We anticipate this work will begin in late October or early November. P&D plans to continue refinement of the ADA accessible path from existing parking to the comfort station in support of the bike skills course. We plan to have this ready for design use before a Notice of Commencement is authorized to Progressive Bike Ramps.

Everybody's Treehouse in Mt. Airy – Repairs and Stabilization: Megen is working though final coordination with the Structural Engineer. Megen notified P&D that we are to receive final details and pricing by the end of September. P&D anticipates presentation of this project for approval during the October meeting.

Mt. Echo Pavilion – Roof Repairs: Gutter and support framing is complete. Imbus Roofing has completed reinstallation of the historic copper cornice and gutters. Scaffolding was removed the week of August 26, 2024, ahead of Riverfest West. Now that copper cornice installation is complete, final fitment of the replacement underlighting can begin. The P&D Architecture team is presently reviewing mock-ups for lighting solutions. We anticipate these items will be received and installed in October 2024. No major disruptions to any events are anticipated with the remaining work, as lighting will be installed via ladder and scissor lift. **Please see attached photos of the restored copper cornice.**

Glenway Park Renovations: P&D plans to refine ADA access and park playground design as the base iteration of this project. The results of additional grant decisions are expected in November. Depending on total available funds, we will add additional grading and completion of the loop trail as the next amenities to be included. Design of the base project components will continue in October and November 2024 in anticipation of final design being completed early in 2025 as total project funding becomes known.

Warder Nursery Reactivation: P&D has reviewed the final structural assessment report from Woolpert and will begin assessment and prioritization of the work that needs to be completed. Please see the **attached excerpts** from the structural assessment report, including the executive summary, field note markups and anticipated cost breakdowns for rehabilitation.

Owls Nest Pavilion Restoration Project – Design, Community Engagement, and Cost Estimate: This project is currently in the fund-raising phase. P&D continues to work with our subconsultants to evaluate the current stability of the pavilion structure and plan for any necessary intermediate shoring. We anticipate details for the shoring will be provided by our sub-consulting Structural Engineer and be implemented this fall in-house by our Facilities team. P&D is scheduling a meeting with the structural engineering sub-consultant on this project to review and finalize design for approval of temporary shoring measures. Once these details are received by P&D, we will assess the need for outside contractors to enact the measures vs. those being completed in-house by our Facilities and Maintenance staff.

California Woods – Hydrological Plan Design: Parks returned comments to the Cincinnati Law Department for this work on August 19, 2024. We are awaiting final contracts for Stantec to begin this assessment and design work. It is anticipated that the design portion of this project will take 12 months, with recommended erosion mitigation construction to occur in late 2025 or early 2026.

Inwood Park – Master Planning, Concept, and Request for Proposals: P&D has made significant progress in planning for the revitalization of this park. The following major items have been accomplished since last month's update:

- On August 29, 2024, Parks P&D met on site with Cris Hamant of DOTE to assess the current wall adjacent to the sidewalk along Vine Street. Upon inspection, it was determined that this poured-in-place, non-reinforced wall is still in good enough shape to rehabilitate reasonably. This will be accomplished by removing loose sections of the wall back to material interlock integrity and patching the areas flat with an appropriate cement / epoxy material bonding mix. There are several such patches, and areas of the top curb that will be taken out and replaced as needed. DOTE has graciously offered plans and specifications for similar recent projects that will aid P&D in its cost analysis of alternatives for this area of the park.
- P&D met on-site with Crystal Courtney and team to assess the current invasive situation. Parks DNR plans to lead an invasives removal effort later this fall with the intent of positive activation of a non-used portion of the park, as well as safety enhancement by removing hiding and camping spots from an area notorious for these issues. Invasive species removal is anticipated to occur during winter 2024.
- Geotechnical borings are being scheduled to verify the structural integrity of the slope behind the wall along Vine Street, as well as the hillside which impacts the pavilion. We anticipate these testing efforts will continue through Q4 2024.

- As P&D's project management procedures become more refined, we have begun to develop detailed project process flow charts to identify critical path decision items and timelines for implementation of improvements. **Please see the attached chart showing the entire overall process for Inwood rehabilitation, with highlights focused on the next six months.** P&D is happy to discuss this schedule in more detail as requested.

PRIORITY MAINTENANCE & EMERGING REPAIR PROJECTS

Avon Woods Roof Replacement: Roofing and flashing replacement work has been completed at the Avon Nature Center. **Please see the attached photos of roofing and flashing work, taken near the completion of the work in late August.** P&D has issued a punch list and all items have been completed. We are awaiting final invoicing from this contractor to close out this project.

Ault Park Valley Trail Restoration: Construction of streambank armoring has been delayed for two major reasons: P&D initially endeavored to complete this work under our existing storm water rehabilitation term contract. However, Purchasing alerted us that we do not have sufficient bond capacity left under the remaining term, which is set to renew at the end of September 2024. P&D anticipates certification of funds under the new storm water contract in late October or early November. Parks is also coordinating with DOTE and Duke Energy on rapidly approaching outage planned from mid-September to November 1, 2024, to replace some electrical poles and infrastructure along Old Red Bank Road. This will affect a portion of Ault Park near the railroad bridge and planned access to the streambank restoration project. Parks will likely delay the stream rehabilitation work to allow Duke time to complete this work. The disturbance assessment work associated with the Duke Energy pole rehabilitation will have an associated Right of Entry Agreement which is in the process of creation and approval under the guidance of DOTE with Parks CLM input. The anticipated timing of the streambank rehabilitation project will be early November 2024, to be completed before the end of the year.

Burnet Woods Bandstand Roof Issues: P&D continues preparation to assess and provide instruction for upcoming repair contractor quotations. It is anticipated that repair work will be included in budget provision under the 2026 fiscal year, with renovation planning and quotation to begin in the spring of 2025.

Burnet Woods Bandstand Sanitary Sewer Issues: On August 20, P&D was alerted by staff of an unusually wet spot within Burnet Woods downstream of the bandstand. Upon investigation, it was found that the sanitary sewer has become blocked and an overflow has surfaced in the stream. **Please see the attached photos showing what appears to be an overflow or blockage release from the clogged sewer.** As of September 9, the bandstand restrooms are closed until evaluation and correction of the blocked sewer can be completed. P&D will work to enact an investigatory contract to clean, jet, and televise these lines to get the bandstand back in service. We will keep the Board updated as costs and timelines to complete this work are quoted and vetted.

Burnet Woods Pavement and Masonry Pathway Concerns: As part of assessing the aforementioned Burnet Woods projects this month, P&D revisited the most pressing pavement and masonry concerns. **Please see the attached photos** that depict widening delamination of the curbing around the pond, worsening sink holes in the vicinity of the origination point for the combined sewer overflow upstream of the Trailside Nature Center, broken and loose masonry steps connecting the Trailside Nature Center and Bandstand areas, and worsening sinkholes near the intersection of Brookline Drive and Burnet Woods Drive. P&D is working to assess

the extent of these issues and provide recommendations to the Director's office with regard to the cost estimation and urgency of repairs. None of these projects are currently funded.

Eden Park – Art Museum Driveway Improvements: This work is to correct a landslide and improve the existing sidewalk, retaining wall, and guard rails along Art Museum Drive. Poured pier wall installation is in progress, with the precast wall sections being installed behind. P&D has corresponded with DOTE on a drainage issue along the inside coming down the slope. In excavation of the old storm sewer intakes, it was discovered that the existing (very old) stone piping that were thought to outlet into the downstream storm sewer was not connected, and it is likely that these have not been in service for several years. The storm sewer pipe upstream and across the road from this intake was also completely clogged and subsequent clearing attempts revealed that the pipe was crushed and beyond the end of its useful life. **Please see the attached photos and exhibit noting the problem.** On August 27, 2024, P&D met with Cris Hamant, Rich Pohana, and the DOTE team along with their contractor, Ford Development, to review options for correction. The solution is summarized as follows:

- Replace the intake on the slope side of the road that is destroyed.
- Run new 12" concrete pipe under the road to correct the destroyed and clogged pipe.
- DOTE installed their new intakes (two are affected) as they would have done anyway.
- Route new storm sewer piping behind the new wall down to the intersection of Eden Park and Art Museums Drives at the back of the concrete seat wall.
- Connect to the existing utility access hole that is already properly tied into the main storm sewer trunk that continues downstream beyond Mirror Lake. There is ample capacity in the existing sewer trunk to accommodate this change.

This work will be paid from the existing project contingency (current balance of \$78,000) in the amount of \$37,550. DOTE does not anticipate any additional change orders or contingency costs, as most of the piers and drainage issues are now resolved. They have requested acknowledgement that Parks will need to help cover any additional contingencies should there be need for more than the \$40,450 contingency balance left after these repairs. This work helps to correct a long-standing drainage problem cost-effectively and will go a long way to correct ponding and pavement degradation issues prevalent in the area below this work.

Mt. Airy and Eden Park Pavement Sinkholes (Emergency Repair #1): On August 21, Parks Operations leadership made P&D aware of two sinkholes in pavement that had recently been discovered by caretakers. The first of these is in the pavement at Eden Park across the street from the Fulton Comfort Station at the end of the parking lot. The storm water intake in this area is old and was completely clogged from the intake in the swale into the pavement. Upon inspection, it was discovered that the void to the side of the intake extended several feet under the pavement, making it an immediate risk to park patrons. The second sink hole was discovered in the main loop at Mt. Airy Forest in the drive lane. This sink hole is in the pavement and extends several feet causing a void under live traffic. Operations personnel coned off the area. On August 28, the Director's Office completed and submitted to Purchasing an emergency request memo to enact repairs, which was approved the same day. P&D solicited quotation from Rack and Ballauer to complete the work. They returned total pricing in the amount of \$35,800, to include provision to replace the entire rotted metal pipe in the drive lane at Mt Airy should it be found that it has failed. **Please see attached location map and sink hole photos.** It is anticipated that this work will be complete by September 20, 2024.

Mt. Echo and Additional Mt. Airy Sink Hole (Emergency Repair # 2): On September 4, P&D was made aware of an additional sinkhole at Mt Airy and a sinkhole with a major void in the pavement of Mt. Echo. The additional Mt. Airy sink hole is further around the main oval and

propagates from the back on a storm water intake. There is additional substantial erosion and rot in the storm pipe outlet from the intake which will be repaired with new HDPE piping and rip rap revetment stone. The Mt. Echo sinkhole is dangerous as it is a significant void under the pavement which could collapse if not immediately repaired. P&D conducted site visits with Rack and Ballauer on September 9, 2024, and received quotations on September 10. The Director's Office assisted in the creation and approval of the emergency memo, which was approved by Purchasing on September 11. P&D has relayed to the contractor that this work is approved in the amount not to exceed \$44,700, which includes a \$9,600 contingency in the event that the storm water catch basin is not in good enough shape to repair. Work is anticipated to be complete by the end of September 2024. **Please see the attached maps and photos showing the locations of these sink holes.**

Mt Echo Water Leaks: Two water leaks were identified and corrected at Mt Echo. The first leak was adjacent to an electrical meter vault in the front lawn of the pavilion. This leak was repaired during the week of August 26, 2024. The second leak was found inside of a vault adjacent to the comfort station adjacent to the WPA walls. It was found that the water fountain valving had rusted to the point of failure and a water-hose volume stream was leaking into the valve vault and subsequently down the hill causing the entire area to be muddy and unsafe. Parks Facilities and Maintenance staff completed the repairs. Parks staff will continue to monitor the area to ensure this was the sole cause of the leak. It is likely that the entire fountain and underground piping within the vault will need to be replaced. P&D will assist Parks Facilities and Maintenance to correct the piping. **Please see the attached photos identifying the cause of leakage and erosion issues on the downstream slope.**

Smale Riverfront Geothermal System: Cleaning the geothermal wells and installing two new pumps that provide critical redundancy to the heating and cooling systems of the Christian Moerlein Lager House is in progress, and all wells and cleaned pumps are anticipated to be reinstalled by the end of October 2024. Parks is still awaiting Ohio EPA comment on the permit for Individual Discharge Permit application. We will advise the Board of any EPA comment or required action once those comments have been received and reviewed.

Sawyer Point Pickleball Shade (Action Item): P&D understands that the Cincinnati Parks Foundation has raised and received the funds necessary to fund a shading solution for the Sawyer Point Pickleball seating. **Please refer to the attached exhibits outlining the work to be completed.** The northernmost 40 feet of the 60-foot-wide seating area will be covered with the Shade Systems solution shown in the attached documents. It is anticipated that this work will be completed utilizing the Recreation Area Improvements term contract via Prus Construction, who will work with the shade solution vendor to prep the foundations, remove and restore all necessary concrete, and install the shade solution. Assuming adequate funding is in place from CPF, **P&D recommends award and approval of this work in the amount of \$115,000 to Prus Construction.** We anticipate this project will be completed once major yearly festivities are complete, with a tentative timeframe for installation of November 2024 - January 2025.

Sawyer Point / Yeatman's Cove – Geologic Timeline Repairs: P&D is working to assess and price the repairs of several significant trip hazards within Yeatman's Cove and Sawyer Point along the geologic timeline. There are three areas where the sidewalk height differential exceeds 2 inches. We are working to quote concrete repairs, as well as repairs to approximately 60 of the 3' x 3' granite timeline walkway blocks that are cracked and in need of replacement. It is anticipated that Board of Visitors funding will be requested for at least the granite block refurbishment portion of this work. P&D anticipates review of pricing during the November 2024 meeting for implementation before spring 2025, assuming funding is in place.

Sawyer Point / Yeatman's Cove – Water Leak Repairs: As mentioned in the August 2024 Board report, the most prominent leak near the Yeatman's Cove west concession stand was repaired prior to Riverfest. During this repair process, it was discovered that an adjacent backflow preventer and valve has failed and needs to be repaired in order to maintain system integrity. The Park Board previously approved \$46,461 to cover the base scope and these unforeseen repairs. City Purchasing approved and provided a Delivery Order for only the base repairs in the amount of \$18,346. P&D plans to initiate a change order to complete the valve leak and backflow preventor replacement work, which will fall under the already-approved \$46,461 total. P&D will report back to the Board on the exact amount of the Change Order once it is received and reviewed.

Wilson Commons Inclusive Spinner: It is P&D's understanding that Councilmember Cramerding's office has granted money to cover an ADA improvement to one of our underserved play spaces. P&D recommended Wilson Commons, as this area is in an under-activated park that is already ADA accessible. The walking loop is set up well to add this amenity among existing play features, and the orientation of the loop suggests that additional play features could be added to bolster this space as additional funds are identified. P&D has initiated a Form 1 to certify money to complete this project from fund line 252000 in the amount of \$35,982, with the understanding that a significant portion of these funds (\$25,000) are coming from the City's initial contribution. **Please see the attached location options for the accessible spinner.** Special thanks to Councilmember Cramerding for his contribution and continued support of our parks.

PROPERTY IMPACTS

Duke Easements Needed for EEOO Phase 2 Pipeline Project: On September 9, 2024, the City initiated a Coordinated Report (CR#65-2024) in order to review the various easements needed by Duke to install the next leg of the high-pressure gas main replacement pipeline. Many of these requested easements affect parkland within the Magrish Preserve. **Please see the attached excerpts from the coordinated report.** Parks Conservation and Land Management and Planning and Design are in process of reviewing all of these easements. It is anticipated that we will bring these easements and any recommended conditions before the Board during the October 2024 meeting.

Ludlow Garage -
Foundation Form Framing



Ludlow Garage - Foundation Form Framing



Ludlow Garage -
Foundation Form Framing



Ludlow Garage - Foundation Form Framing



Ludlow Garage - Foundation Pour



Ludlow Garage - Foundation Pour



Ludlow Garage - Foundation Pour





Ludlow Garage - Staged
Building Steel

Ludlow Garage - Staged
Building Steel



IFP - Seat Wall Base Installation



IFP - Seat Wall Base Installation



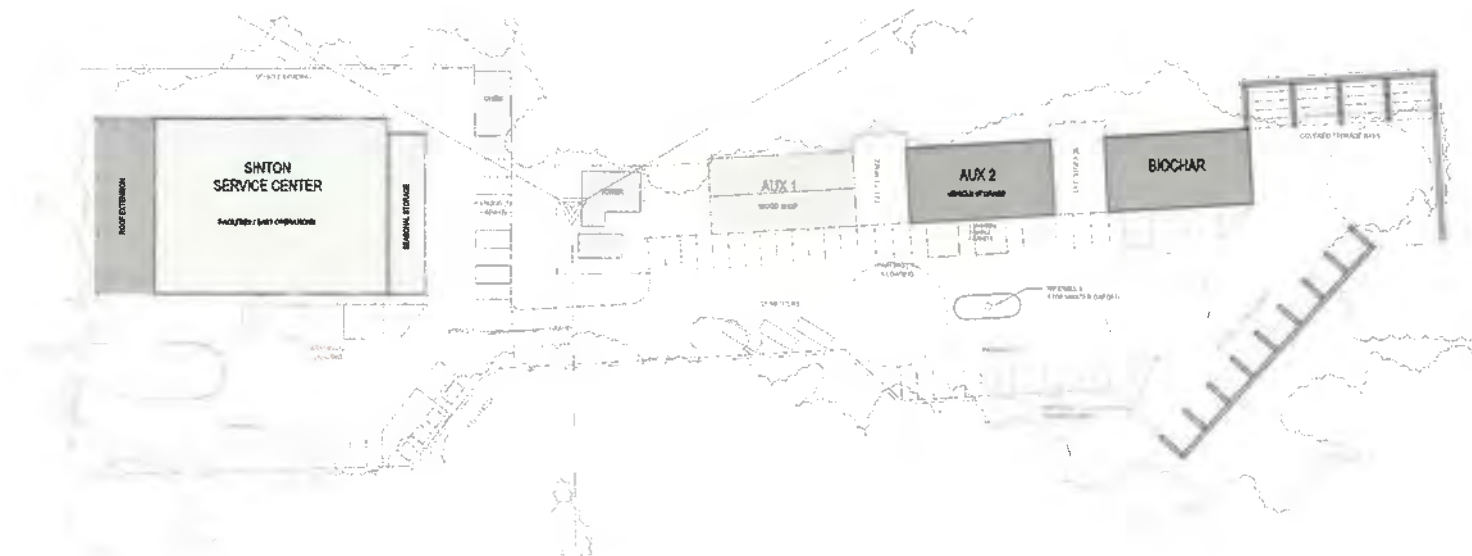
IFP - Seat Wall Base Installation



IFP - Seat Wall Base Installation



Sinton Renovation - Full Campus Schematic Plan



PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

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PROJECT NAME SINTON SERVICE CENTER RENOVATION	
PROJECT NO. AD01	DATE 07/22/02
PREPARED BY ARCHITECTURAL	
CHECKED BY AD01	
PROJECT STAMP PRELIMINARY NOT FOR CONSTRUCTION	



CONCEPT
PLANNING

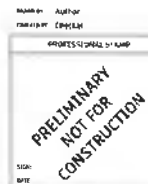
CONCEPT PLANNING
EDEN PARKS
2080 Ginton Drive, Cincinnati, OH 45206

EDEN PARKS
SINTON SERVICE CENTER RENOVATION
2080 Ginton Drive, Cincinnati, OH 45206

REVISION	DATE	DESCRIPTION
1	07/22/02	ISSUED FOR PERMIT

14. S. B. Glick, "A new method for determining the rate of change of the concentration of a substance in a reaction mixture," *J. Am. Chem. Soc.*, **78**, 3706 (1956).

PAC-8C-82 (1 + 100) 0078



Sinton Renovation - Floor Plan with No Equipment

MECHANICAL FLOOR PLAN NOTES

1. GENERAL

GENERAL NOTES - FLOOR PLAN

- EXISTING WHERE INDICATED TO REMAIN, ADDITIONS SHALL BE SHOWN IN RED, AND REMOVALS WITH STITCH DASHES FROM FLOOR TO THE UNDERSIDE OF A CEILING OR DECK ABOVE, WITH AN ARROW POINTING TO THE REMOVAL.
- UNLESS OTHERWISE NOTED, ALL NEW PARTITIONS AND UNIFORMS SHALL BE CONSTRUCTION NOTING THE APPROXIMATE OF ANY DISCREPANCIES WITH THE DRAWING.
- PLACEMENT OF PARTITIONS SHALL BE SHOWN WITH THE FACE OF EXISTING CONSTRUCTION AS APPLICABLE, WHERE NEW CONSTRUCTION IS SHOWN TO FULL EXISTING WALL, DIMENSIONS SHALL BE TO THE FACE OF THE NEW CONSTRUCTION, AND ALIGNED WITH THE EXISTING WALL, AND UNLESS INDICATED OTHERWISE.
- DOOR LOCATIONS SHALL BE SHOWN WITH THE FACE OF THE DOOR, UNLESS OTHERWISE NOTED, AND THE LOCATION OF THE DOOR SHALL BE SHOWN WITH THE FACE OF THE DOOR, UNLESS OTHERWISE NOTED.
- CONSTRUCTION OF EXISTING PARTITIONS SHALL BE SHOWN WITH THE FACE OF THE DOOR, UNLESS OTHERWISE NOTED, AND THE LOCATION OF THE DOOR SHALL BE SHOWN WITH THE FACE OF THE DOOR, UNLESS OTHERWISE NOTED.



FIRST FLOOR PLAN (WITHOUT EQUIPMENT)
SCALE 1/8" = 1'-0"

PROJECT: SINTON SERVICE CENTER RENOVATION
DATE: 8/20/2024
DRAWN BY: [Name]
CHECKED BY: [Name]
APPROVED BY: [Name]
PROJECT LOCATION: [Address]
PROJECT NUMBER: [Number]
PROJECT STATUS: [Status]



CONCEPT PLANNING

CONCEPT PLANNING
EXTENSION OF PLANNING, LAYOUT
AND DESIGN OF THE
PROJECT, INCLUDING
THE LOCATION OF THE
PROJECT ON THE SITE

EDEN PARK
SINTON SERVICE CENTER RENOVATION
2080 Clinton Ave., Cincinnati, OH 45206

NO.	DATE	REVISION
1	8/20/2024	ISSUED FOR PERMIT

PROJECT LOCATION: [Address]
PROJECT NUMBER: [Number]
PROJECT STATUS: [Status]

PRELIMINARY
NOT FOR
CONSTRUCTION
DATE: 8/20/2024
DRAWN BY: [Name]
CHECKED BY: [Name]
APPROVED BY: [Name]
PROJECT LOCATION: [Address]
PROJECT NUMBER: [Number]
PROJECT STATUS: [Status]

AD11.2

12. $\frac{1}{2} \log_2 \frac{1}{2} = -\frac{1}{2} \log_2 2 = -\frac{1}{2} \cdot 1 = -\frac{1}{2}$



PRELIMINARY
NOT FOR
CONSTRUCTION

**CONCEPT
PLANNING**

EDEN PARK
SINTON SERVICE CENTER RENOVATION
208Q Clinton Qave, Cincinnati, OH 45206

REVISIONS

REV.	DATE	DESCRIPTION
01	06/14/98	ISSUED FOR CONSTRUCTION

8/20/2024
BIRD'S EYE
VIEW
AD21

Sinton Renovation - Floor Plan Rendering without Equipment

 3D VIEW

44444 3-2 254
44444 3-2 254

PROCESSORAL SPAIN

PRELIMINARY
NOT FOR
CONSTRUCTION

3/20/2024
BJARD'S EYE
VIEW

AD22



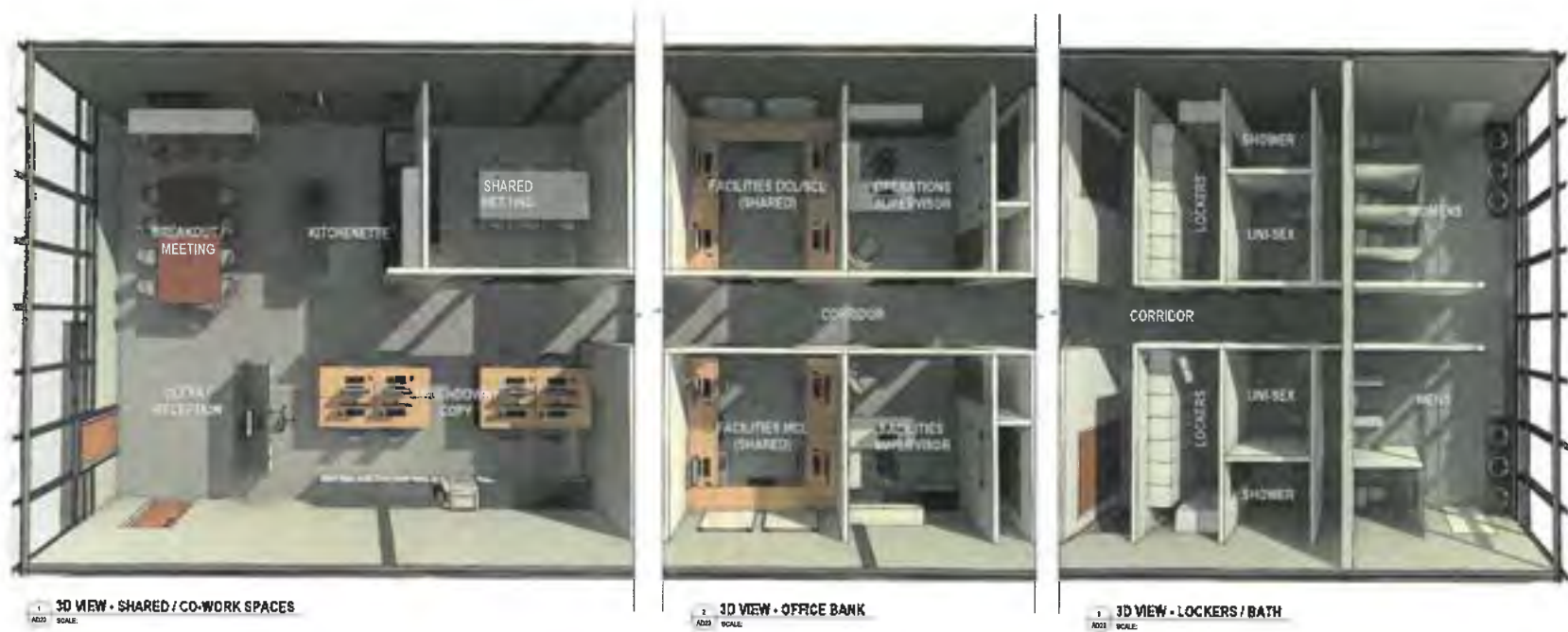
CONCEPT PLANNING

[illegible]

EDEN PARK
SINTON SERVICE CENTER RENOVATION
2060 Cinton Qave, Cincinnati, OH 45206

2014年12月	2014年12月
----------	----------

Sinton Renovation - Floor Plan Rendering - Occupied Space



NUMBER: 100
 PROJECT: 100
 PRELIMINARY STAGE
 PRELIMINARY
 NOT FOR
 CONSTRUCTION
 DATE:



CONCEPT
PLANNING

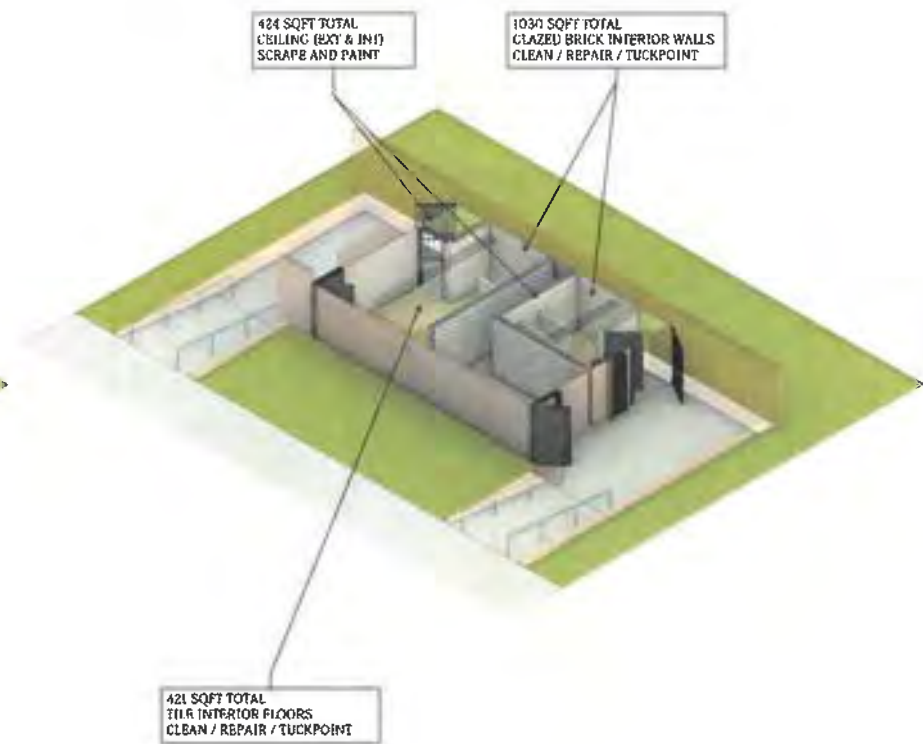
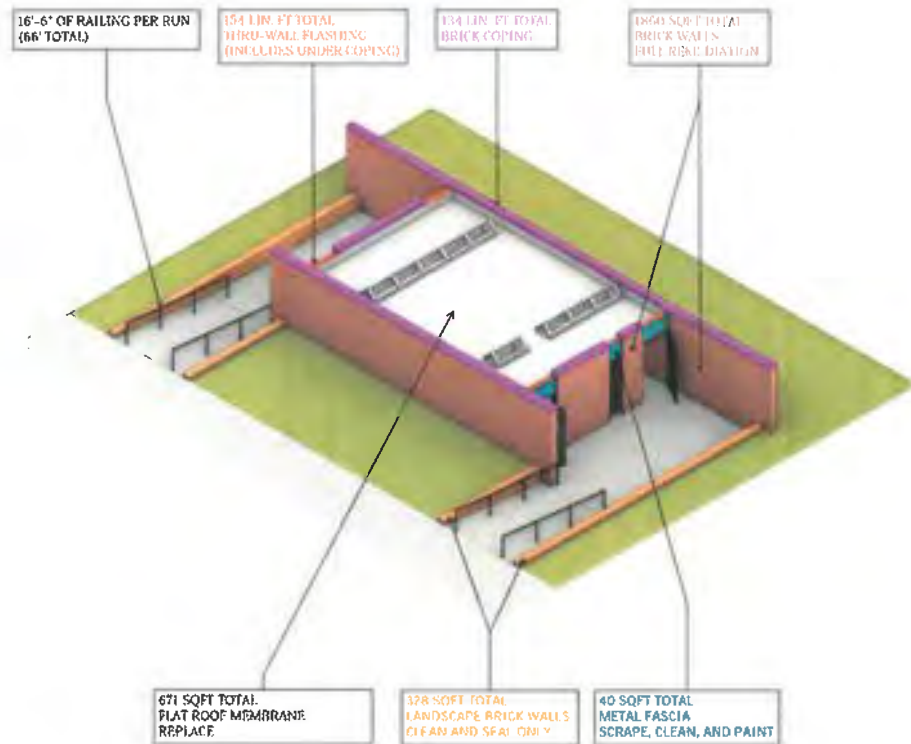
CINCINNATI PARKS
 10000 WILSON AVENUE
 SUITE 200
 CINCINNATI, OH 45206
 513.251.1234
 WWW.CINCINNATIPARKS.ORG

EDEN PARK
SINTON SERVICE CENTER RENOVATION
 2080 Sinton Ave, Cincinnati, OH 45206

REVISIONS
 NO. DATE
 1 1/1/2024
 2 1/1/2024

8/20/2024
 BIRD'S EYE
 VIEW
AD23

Lytle Park Comfort Station Renovation



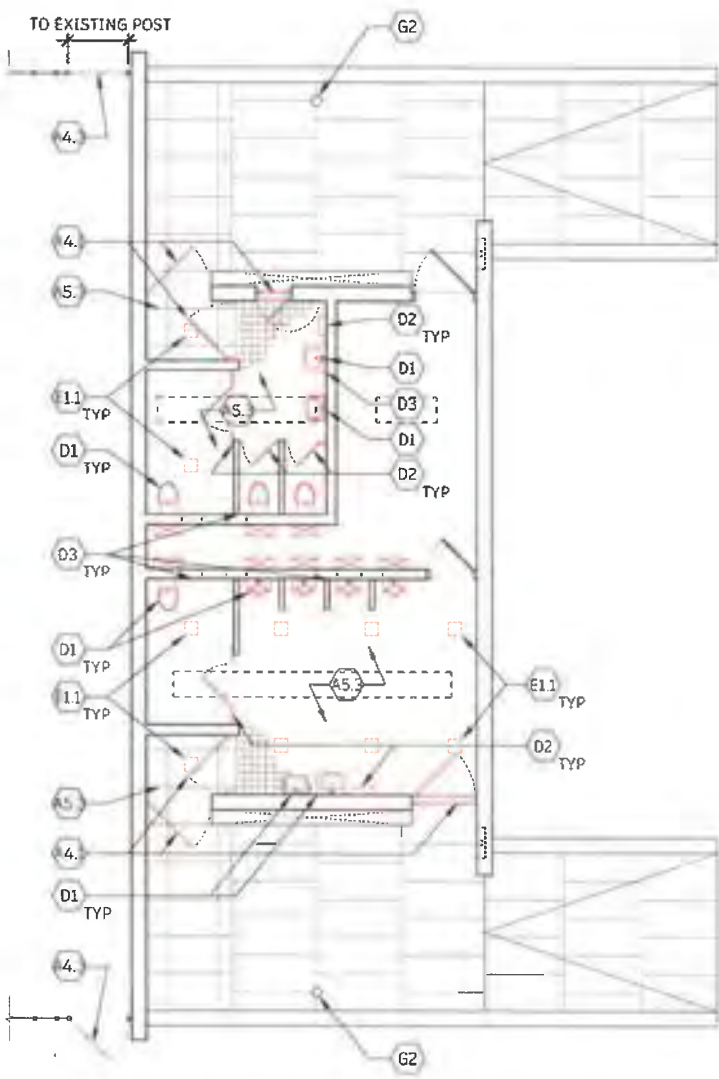
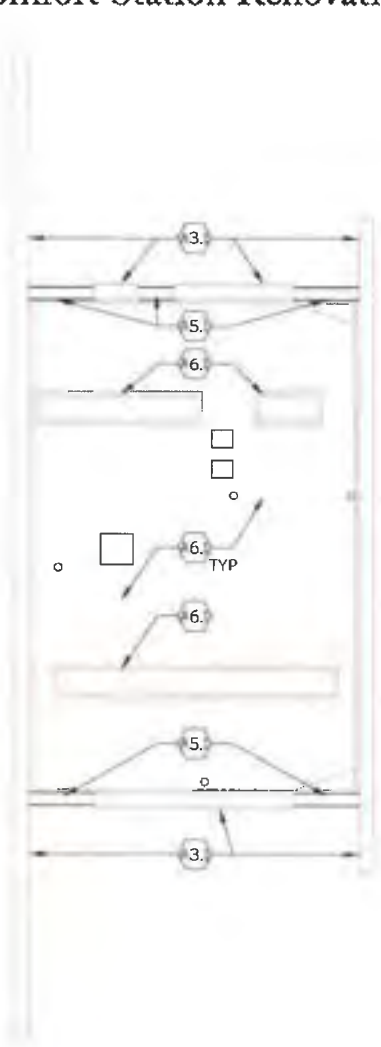
*FIELD VERIFY ALL MEASUREMENTS

1
G 6

AREA AND LENGTH CALCULATIONS*

Scale: N/A

Lytle Park Comfort Station Renovation



GRAPHIC LEGEND

- EXISTING
- DEMO/DECON SCOPE
- PROPOSED SCOPE
- DETAIL ELEVATIONS & SECTIONS
- *X'-X'* DIMENSION
- KEYNOTE REFER TO SCOPE SUMMARY AND KEYNOTE LEGEND

- GENERAL NOTES - DECONSTRUCTION**
- DECONSTRUCTION SCOPE INCLUDES BOTH DEMOLITION AND SALVAGE. REFER TO SCOPE SUMMARY.
 - CONTRACTOR IS RESPONSIBLE FOR SECURITY FENCING, SCAFFOLDING, AND TARPING OF BUILDING AND SITE DURING CONSTRUCTION. REFER TO SCOPE SUMMARY SECTION G.
 - CONTRACTOR TO COORDINATE WITH PARKS STAFF ON LANDSCAPE PROTECTION INCLUDING BUT NOT LIMITED TO: TREE PROTECTION ZONES, GROUND COVER AND PLANTING PROTECTION.

2
A1 DECONSTRUCTION ROOF PLAN
SCALE: 1/8"=1'-0"

1
A1 DECONSTRUCTION FLOOR PLAN
SCALE: 1/8"=1'-0"

PARKS
DIVISION OF
PLANNING
& DESIGN

COMFORT STATION REHABILITATION
LYTLE PARK
501 E 4TH ST, CINCINNATI, OH 45202

REV	DATE

DATE
08/14/2024

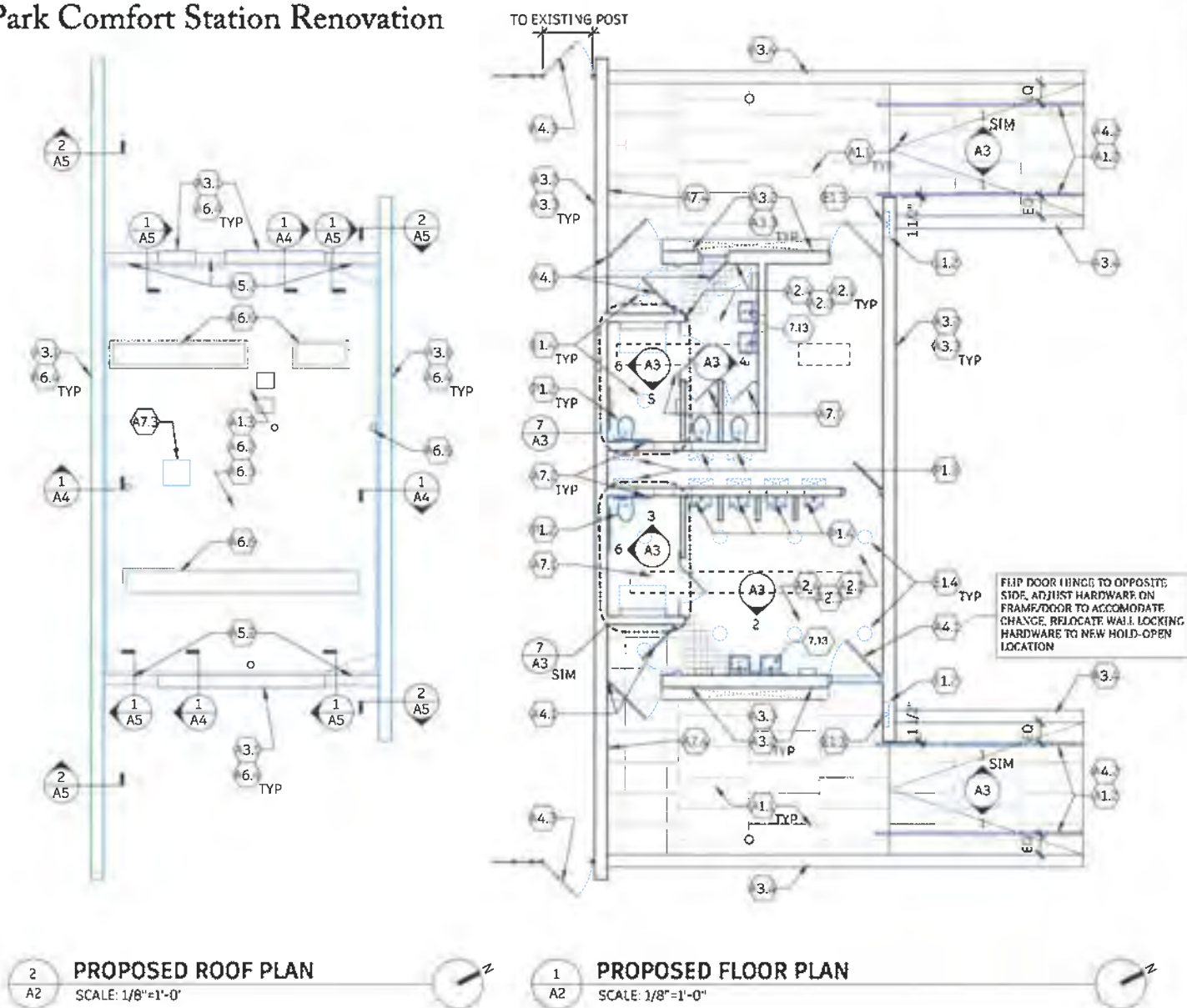
SCALE
1/8"=1'-0"

SHEET NAME
DECON
PLANS

SHEET #
A1

DRAWN BY: JSC

Lytle Park Comfort Station Renovation



GRAPHIC LEGEND

- EXISTING
- DEMO/DECON SCOPE
- PROPOSED SCOPE
- DETAIL ELEVATIONS & SECTIONS
- DIMENSION
- KEYNOTE REFER TO SCOPE SUMMARY AND KEYNOTE LEGEND

GENERAL NOTES - PROPOSED

- REFER TO SCOPE SUMMARY FOR FULL PROJECT PROPOSED SCOPE.
- CONTRACTOR IS RESPONSIBLE FOR SECURITY FENCING, SCAFFOLDING, AND TARPING OF BUILDING AND SITE DURING CONSTRUCTION. REFER TO SCOPE SUMMARY SECTION G.
- CONTRACTOR TO COORDINATE WITH PARKS STAFF ON LANDSCAPE PROTECTION INCLUDING BUT NOT LIMITED TO: TREE PROTECTION ZONES, GROUNDCOVER AND PLANTING PROTECTION.
- REFER TO ELEVATIONS AND DETAILS ON SHEET A3 FOR ADDITIONAL PLUMBING AND ACCESSORY SCOPE.

CINCINNATI

PARKS
DIVISION OF
PLANNING
& DESIGN

COMFORT STATION REHABILITATION
LYTLE PARK
501 E 4TH ST, CINCINNATI, OH 45202

REV	DATE

DATE: 08/14/2024
SCALE: 1/8"=1'-0"
SHEET NAME: PROPOSED PLANS
SHEET #

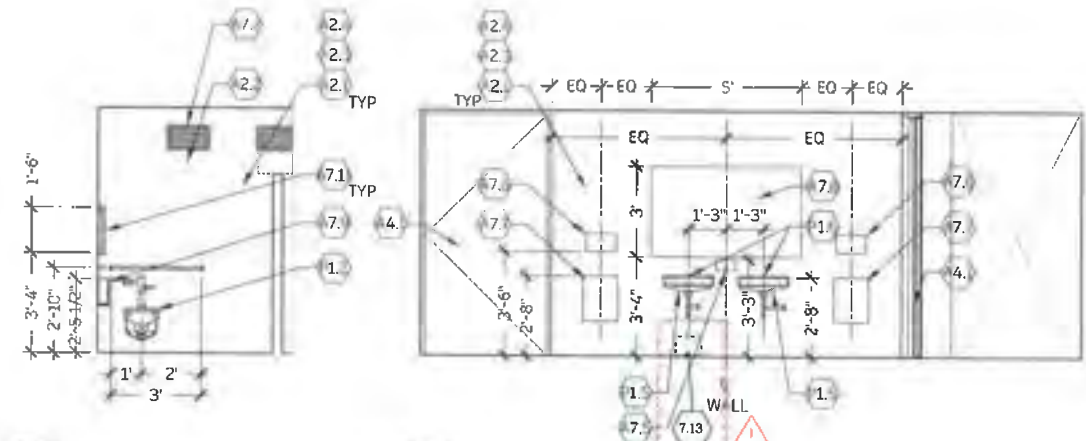
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A2

Lytle Park Comfort Station Renovation

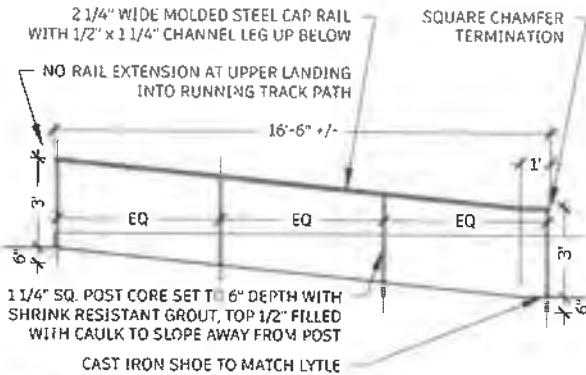
GENERAL NOTES

- 1. NEW TOILETS HUNG IN EXISTING TOILET LOCATIONS.
- 2. SINK DRAINS TO ROUTE TO EXISTING WALL OUTLETS WHERE POSSIBLE.
- 3. SANITARY NAPKIN DISPENSER AND DISPOSAL PRODUCTS INSTALLED IN WOMEN'S RR ADA STALL ONLY.

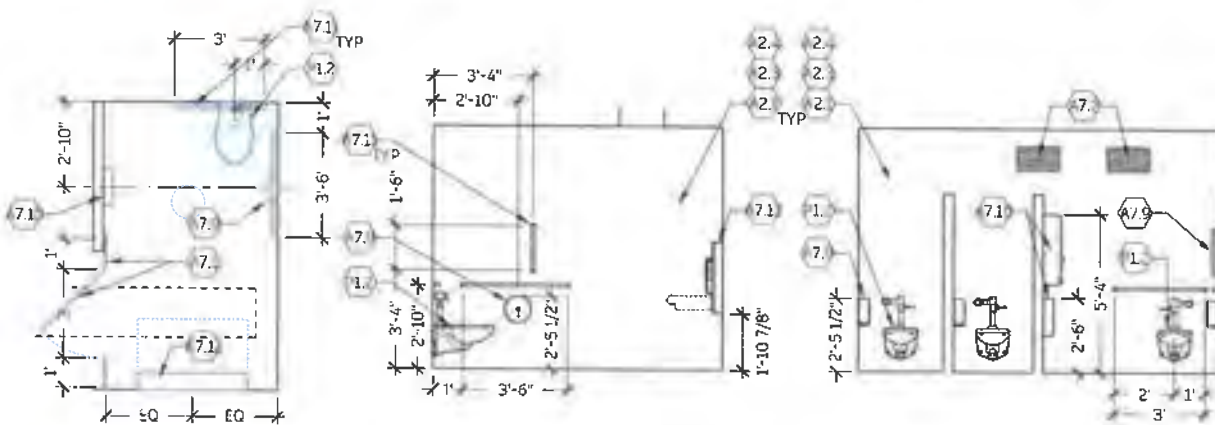


3 ELEVATION - MEN'S RR
A3 SCALE: 1/4"=1'-0"

2 ELEVATION - MEN'S RR
A3 SCALE: 1/4"=1'-0"



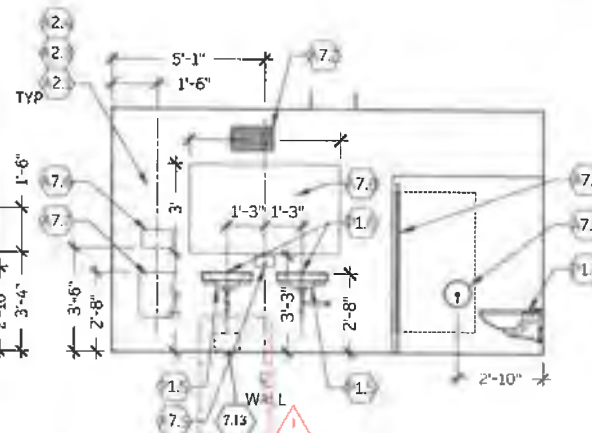
1 HANDRAIL DETAIL
A3 SCALE: 1/4"=1'-0"



7 PLAN - ADA STALL
A3 SCALE: 1/4"=1'-0"

6 ELEVATION - ADA STALL
A3 SCALE: 1/4"=1'-0"

5 ELEVATION - WOMEN'S RR
A3 SCALE: 1/4"=1'-0"



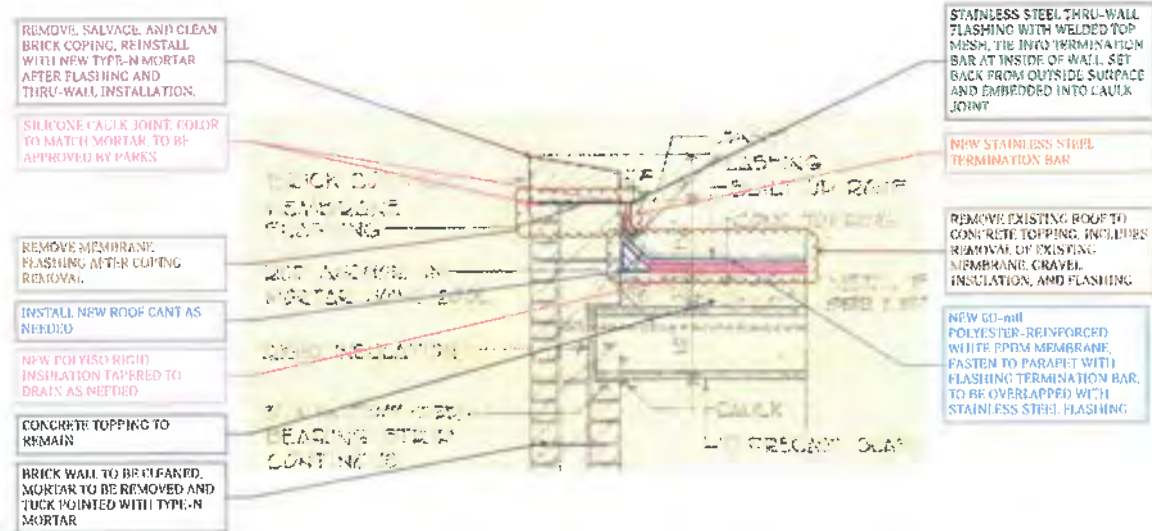
4 ELEVATION - WOMEN'S RR
A3 SCALE: 1/4"=1'-0"

COMFORT STATION REHABILITATION
LYTLE PARK
501 E 4TH ST, CINCINNATI, OH 45202

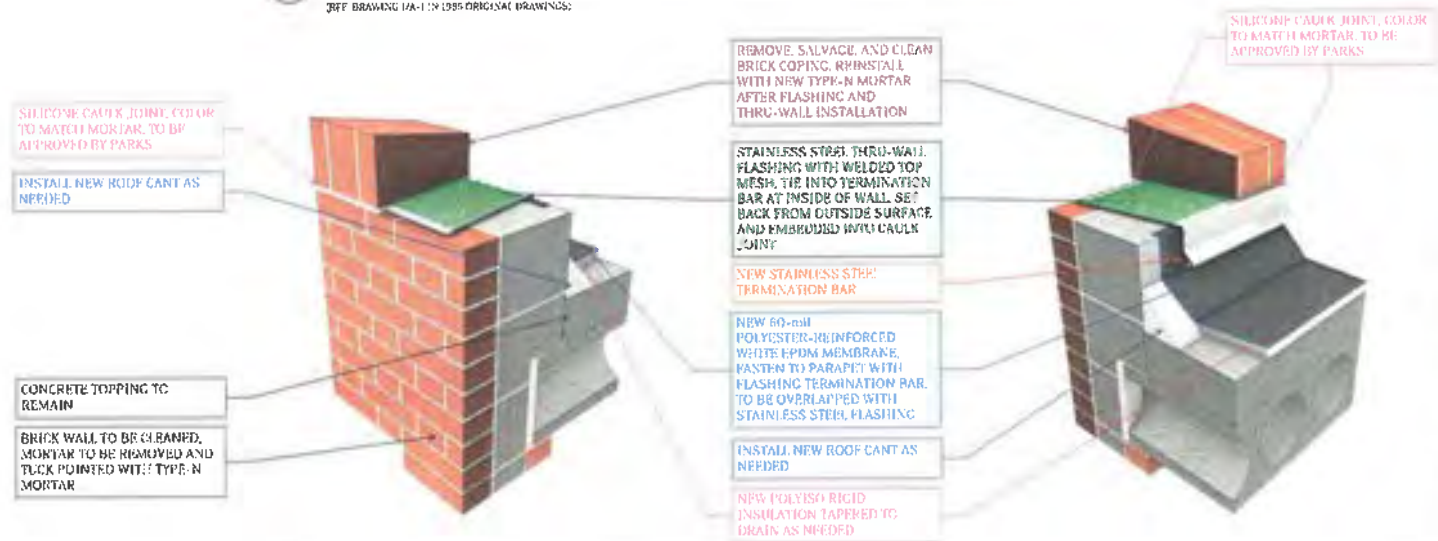
REV	DATE
08/11/2024	
SCALE	1/4"=1'-0"
SHEET NAME	DETAILS AND ELEVATIONS
SHEET #	

35

Lytle Park Comfort Station Renovation



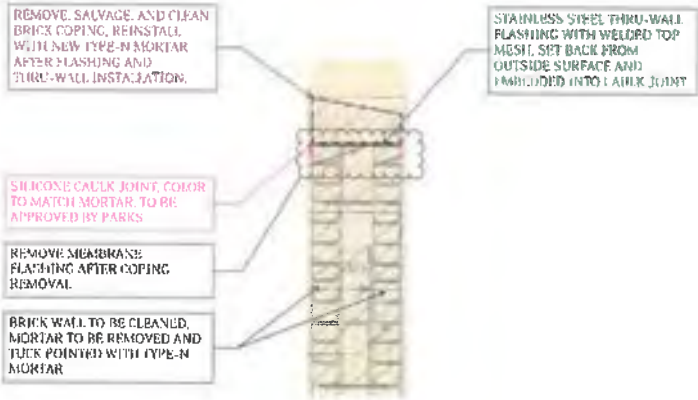
1
A3 SECTION DETAIL
BRICK WALL COPING & ROOFING
Scale: 3/4" = 1'-0"
REF. DRAWING TAK-1 IN 1985 ORIGINAL DRAWINGS



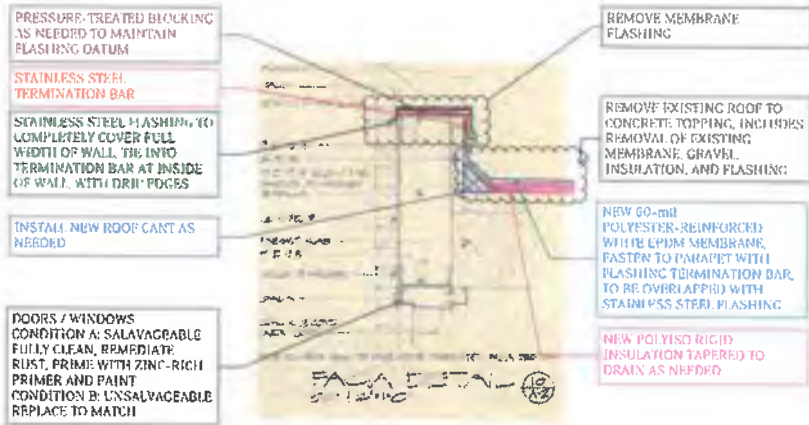
2
A3 3D DETAIL
BRICK WALL COPING & ROOFING
Scale: N/A

Lytle Park Comfort Station Renovation

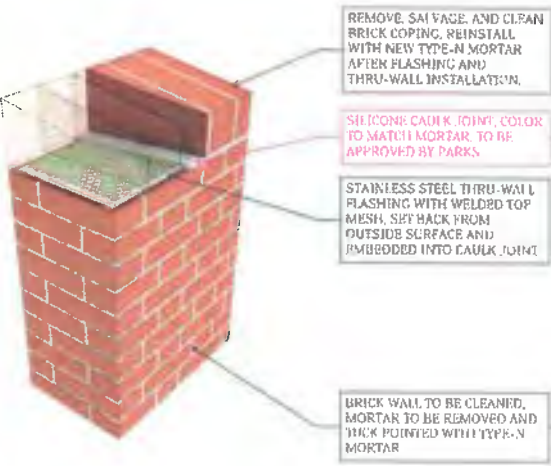
REV	DATE
DATE	08/14/2024
SCALE	VARIES
SHEET NAME	ROOFING SCOPE
SHEET #	A5



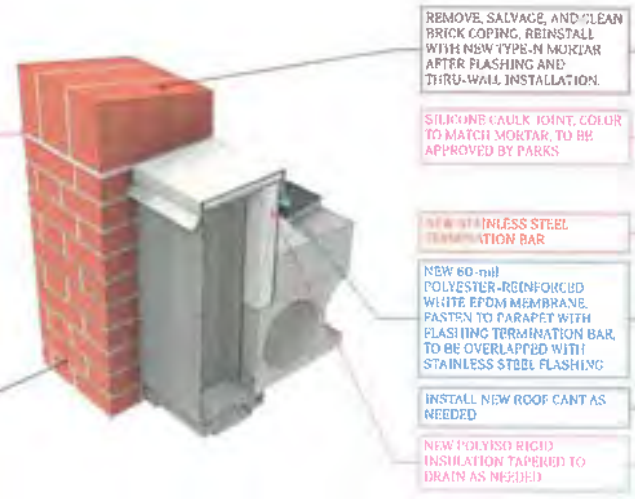
SECTION DETAIL
2
A 4
FLOATING WALL COPING
Scale: 3/4" = 1'-0"



SECTION DETAIL
1
A 4
METAL FASCIA & ROOFING
Scale: 3/4" = 1'-0"
REF. DRAWING 107A-2 IN 1066 ORIGINAL DRAWINGS



3D DETAIL
4
A 4
FLOATING WALL COPING
Scale: N/A



3D DETAIL
3
A 4
METAL FASCIA & ROOFING
Scale: N/A

Lytle Park Comfort Station Renovation



A1.2
REF 1/A3

(TEXT NOTES IN RED FOR LEGIBILITY)

R1

REFERENCE PHOTOS - EXTERIOR CONCRETE
Scale: N/A



Lytle Park Comfort Station Renovation

R2

(INDEX NOTES IN RED FOR LEGIBILITY)

REFERENCE PHOTOS - INTERIOR MASONRY

Scale: N/A

Lytle Park Comfort Station Renovation



(TEXT NOTES IN RED FOR LEGIBILITY)

REFERENCE PHOTOS - EXTERIOR MASONRY

Scale: N/A

R 3

REV DATE

DATE
08/14/2024

SCALE
N/A

SHEET NAME
REFERENCE
PHOTOS

SHEET #

R3



METAL DOOR FRAMES MAY REQUIRE SHOP REMEDIATION OR MAY BE REPAIRED IN-SITU. CONTRACTOR RESPONSIBILITY MAY CHANGE DEPENDING ON METHODOLOGY

Lytle Park Comfort Station Renovation

R 4

(CLICK NOTES IN RED FOR RESPONSIBILITY)

REFERENCE PHOTOS - EXTERIOR METALS

Scale: N/A

REV DATE

DATE
08/14/2024

SCALE
N/A

SHEET NAME
REFERENCE
PHOTOS

SHEET #

R4

Lytle Park Comfort Station Renovation



METAL DOOR FRAMES MAY REQUIRE SHOP REMEDIATION OR MAY BE REPAIRED IN-SITU. CONTRACTOR RESPONSIBILITY MAY CHANGE DEPENDING ON METHODOLOGY.



(PLEASE NOTE: IN RED FOR LEGIBILITY)

REFERENCE PHOTOS - PAINTING

Scale: N/A

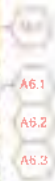
COMFORT STATION REHABILITATION

LYTLE PARK

501 E 4TH ST, CINCINNATI, OH 45202

REV	DATE
DATE	
	08/14/2024
SCALE	
	N/A
SHEET NAME	
REFERENCE	PHOTOS
SHEET #	

R5



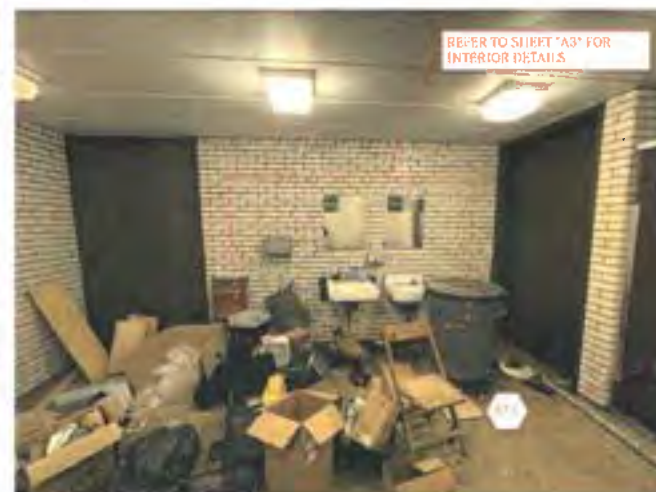
Re

COMFORT STATION REHABILITATION

LYTLE PARK
501 E 4TH ST, CINCINNATI, OH 45202

REV	DATE
DATE	08/14/2024
SCALE	N/A
SHEET NAME	REFERENCE PHOTOS
SHEET #	

R6



Lytle Park Comfort Station Renovation

(ALL NOTES IN RED FOR LEGIBILITY)

R 7

REFERENCE PHOTOS - SPECIALITIES & INTERIOR ACCESSORIES

Scale: N/A

REV	DATE
DATE	08/14/2021
SCALE	N/A
SHEET NAME	REFERENCE PHOTOS
SHEET #	R7



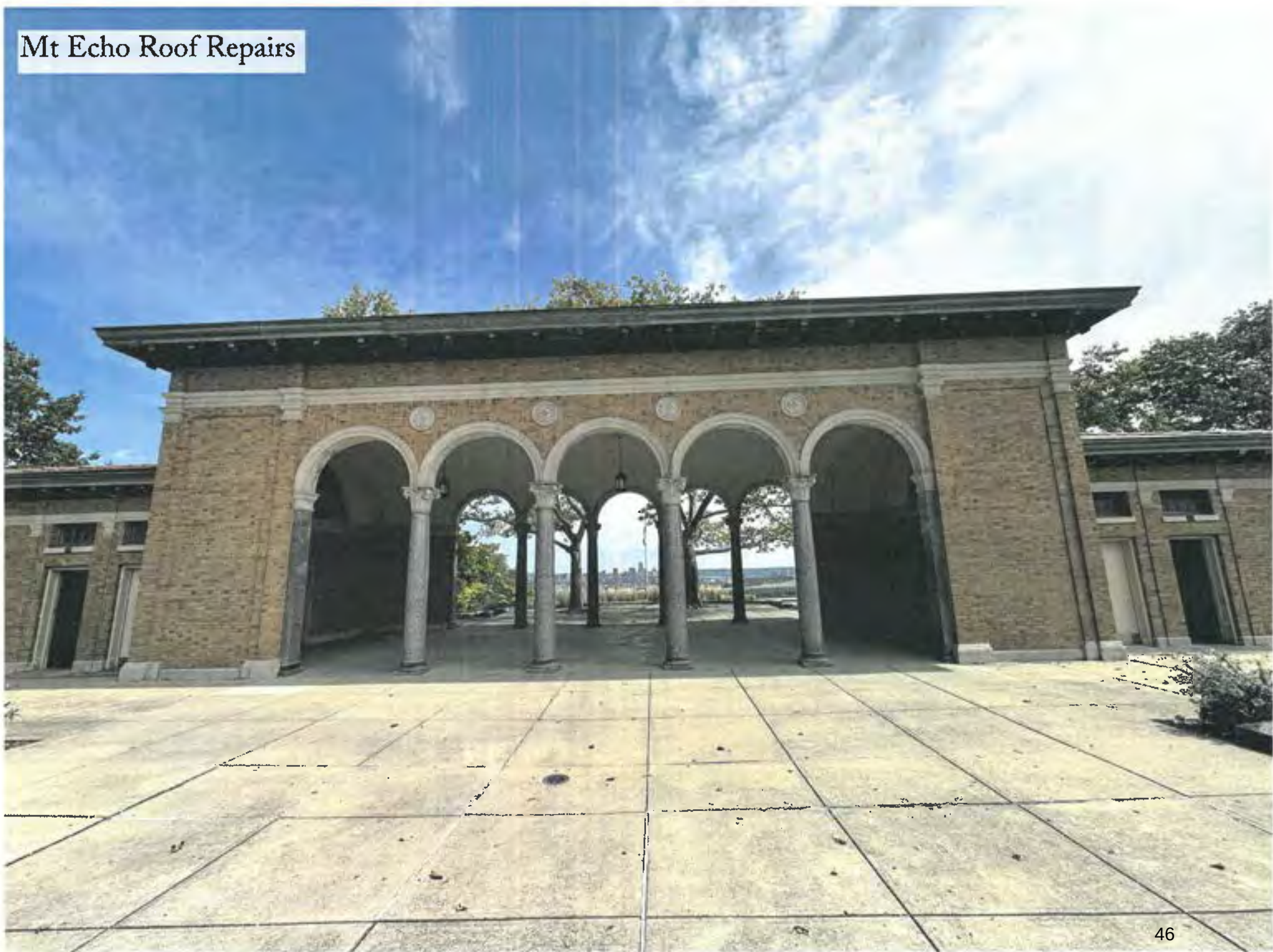
Lytle Park Comfort Station Renovation

(SEE NOTES IN RED FOR LEGIBILITY)

R 8 REFERENCE PHOTOS - ELECTRIC & PLUMBING

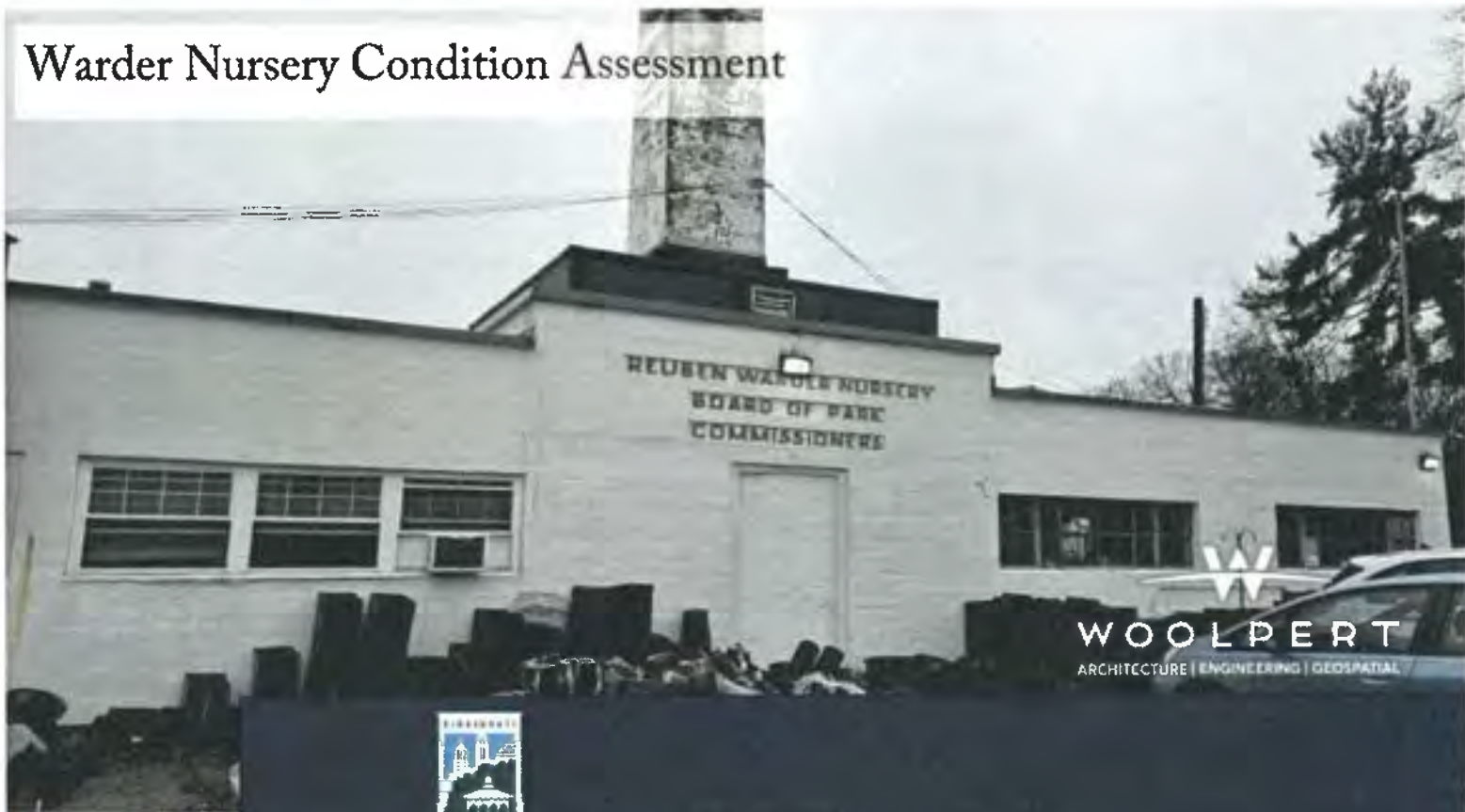
Scale: N/A

Mt Echo Roof Repairs





Warder Nursery Condition Assessment




WOOLPERT
ARCHITECTURE | ENGINEERING | GEOSPATIAL



WARDER NURSERY FACILITY CONDITION ASSESSMENT

Cincinnati Parks

September 2024



Warder Nursery Condition Assessment



In March of 2024, the City of Cincinnati contracted Woolpert, Inc. (Woolpert), on behalf of the Board of Park Commissioners of Cincinnati Parks, to conduct a structural condition assessment of several structures at Warder Nursery located at 7000 Warder Drive, Cincinnati, OH 45224.

The Warder Nursery campus includes structures of various construction types and ages.

- 1) Admin Building
- 2) Service Building
- 3) Greenhouse Structures
- 4) MEP Satellite Structure
- 5) WPA Stable Building
- 6) WPA Storage Building

Overall, the observed conditions of the various structural systems and components range from “good” to “very poor”.

The structural assessment identifies several areas of concern that should be addressed in a prudent manner. These areas include the WPA Stable Building roof, WPA Storage Building roof, as well as the elevated concrete floor of the WPA Stable Building.

The roof structure of the WPA Storage building should be considered structurally compromised and a full restoration or replacement is prudent due to the extensive amount of time it has been exposed to water infiltration.

Another observed condition of structural concern are the retaining walls at the Service Building garage and the driveway serving the Greenhouse adjacent to the MEP Satellite Structure. These walls need replacement or repair, including addressing the need for adequate drainage behind the Service Building wall.

There are numerous locations of steel corrosion or wood deterioration in the structures due to exposure to moisture. The moisture may be a result of infiltration of water from weather, or exposure to elevated interior humidity conditions as in the Greenhouses.

Most instances of observed corrosion and deterioration are surface level in nature with no significant loss of member section properties. In these cases, the condition can be remedied by cleaning and preparing the surface of the steel or wood and applying an appropriate coating system.

The cause of the steel or wood being exposed to moisture should be identified and addressed to prevent further damage where possible.

Included in the structural assessment scope of work is determination of the suitability of installing photovoltaic (PV) arrays on the roof of the Admin Building and Service Building. There are currently four



Warder Nursery Condition Assessment

solar arrays located on the Admin Building roof. The Service Building roof surface is in good condition. The roof construction of the Service Building and Admin Building have similar roof decking, roof joist geometry and spacing.

Also included in the structural assessment scope of work is determining the suitability and loading capacity of the existing elevated floor in the WPA Stable Building. Due to the observed extensive corrosion observed of the metal straps and mesh on the underside of the concrete slab, the current floor capacity must be considered very low until proper repair/strengthening of the floor is performed.

The WPA Stable Building elevated concrete floor requires repair at the overhead door entrances to safely support loading due to personnel, materials, or equipment. There is noticeable loss of concrete slab material at the overhead doors.

Results from the assessment include an itemized rough order of magnitude (ROM) cost estimate for recommended repairs to the existing structures.

Pursuant to restoration, repair, and strengthening work; These structures were constructed using methods, materials, and building codes applicable at the time. The current building code requirements may be more stringent than at the time of the original construction.





Warder Nursery Condition Assessment

SITE PLAN

SCALE: 1/64"=1'-0"



PARKS
DIVISION OF
PLANNING
& DESIGN

STRUCTURAL ASSESSMENT EXHIBIT WARDER NURSERY 7000 WARDER DR, CINCINNATI, OH 45224

REV	DATE

DATE
10/02/2023

SHEET NAME
SITE PLAN

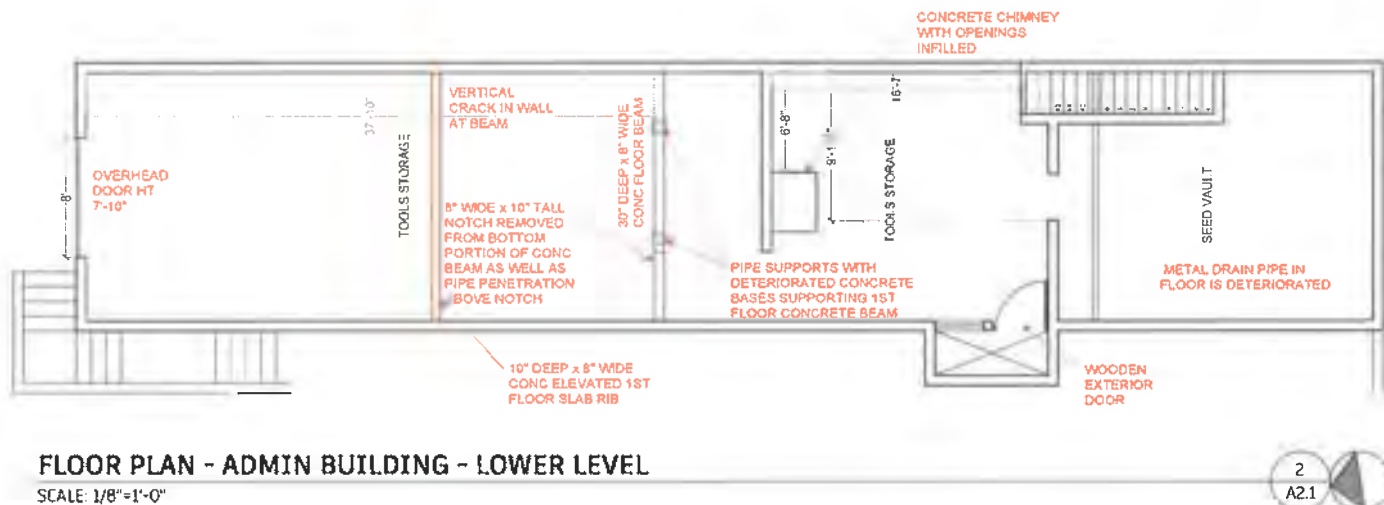
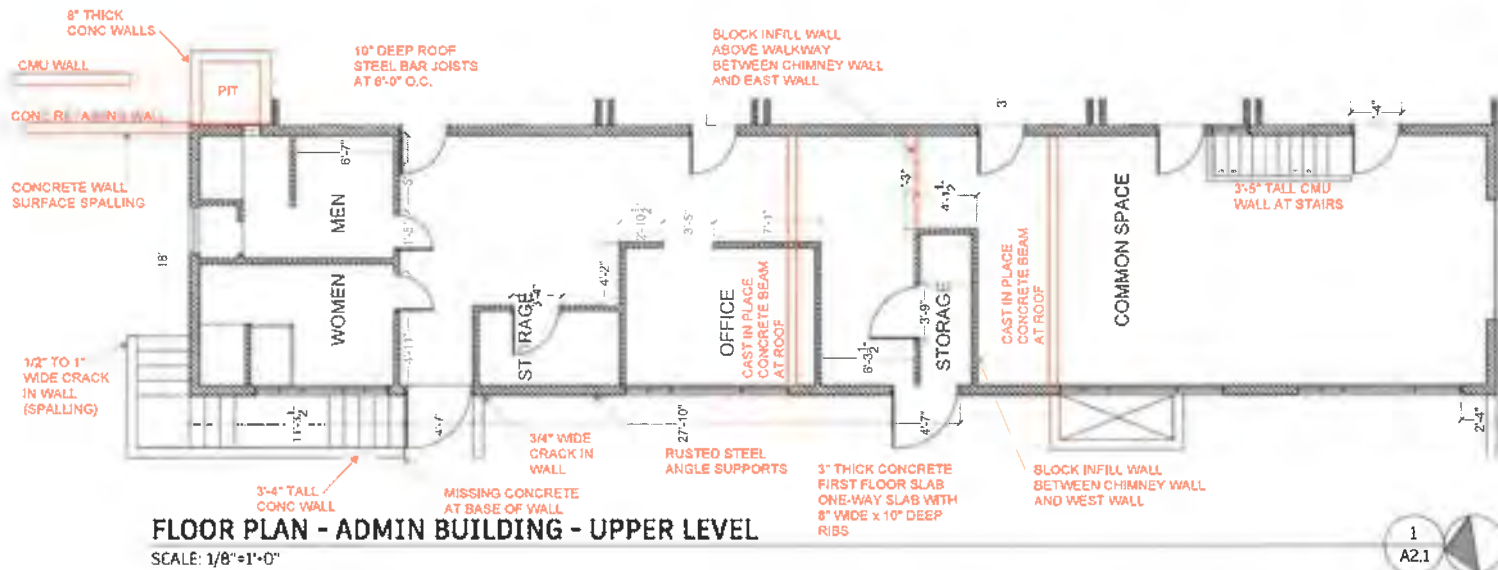
OVER NO.
A1.0



STRUCTURAL ASSESSMENT EXHIBIT

WARDER NURSERY
7000 WARDER DR. CINCINNATI, OH 45224

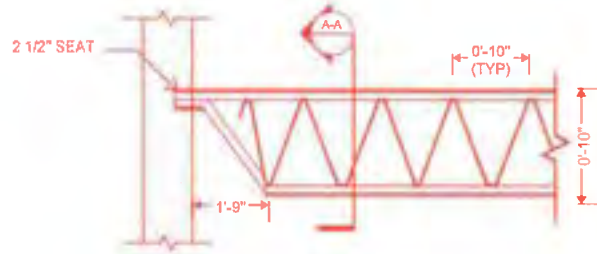
REV	DATE

DATE
10/02/2023SHEET NAME
REFERENCE
FLOOR PLANSDWG NO.
A2.1

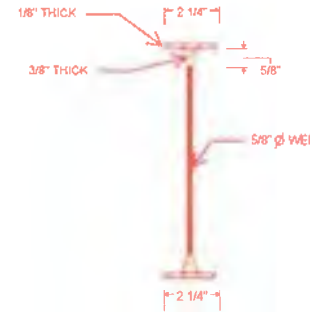
NOTE:
2024 STRUCTURAL ASSESSMENT
SITE OBSERVATIONS NOTED IN
RED

Warder Nursery Condition Assessment

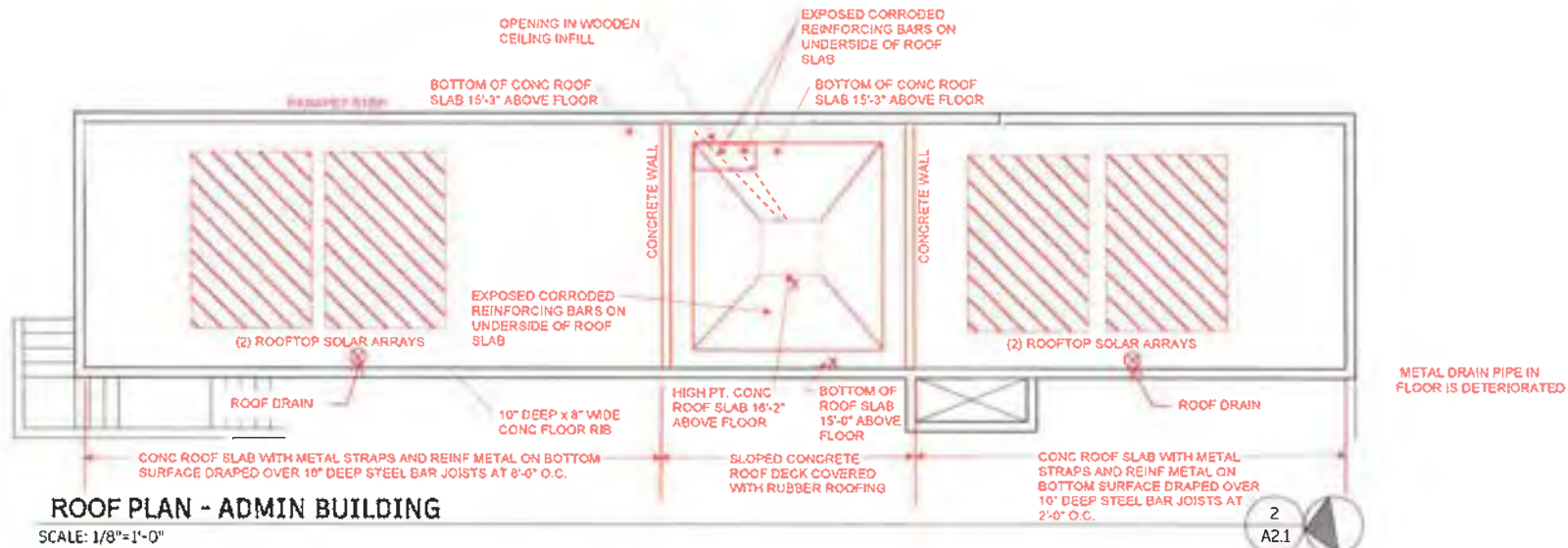
Warder Nursery Condition Assessment



ROOF JOIST PROFILE AT ADMIN BUILDING



ROOF JOIST SECTION A-A



ROOF PLAN - ADMIN BUILDING

SCALE: 1/8"=1'-0"

REV	DATE

DATE

SHEET NAME
REFERENCE
ROOF PLAN

DWG NO.

Warder Nursery Condition Assessment

CINCINNATI



PARKS

DIVISION OF
PLANNING
& DESIGN

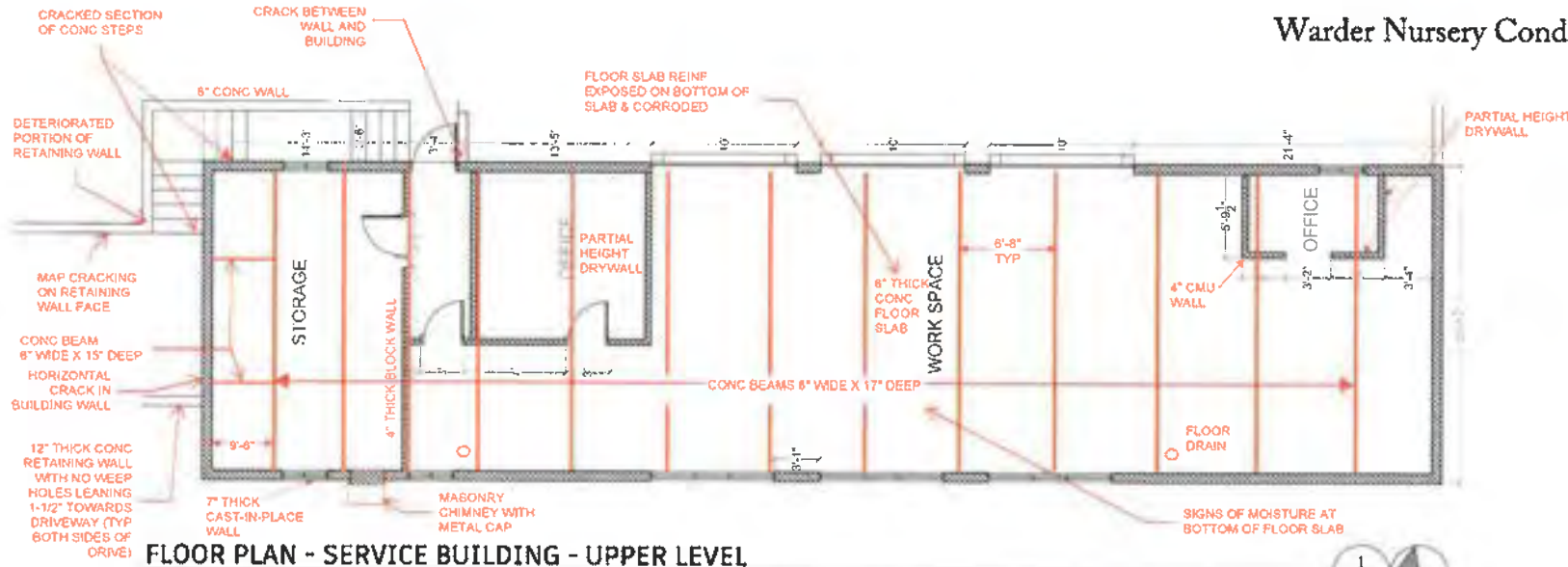
STRUCTURAL ASSESSMENT EXHIBIT
WARDER NURSERY
7000 WARDER DR, CINCINNATI, OH 45224

V	DATE

DATE
10/02/2023

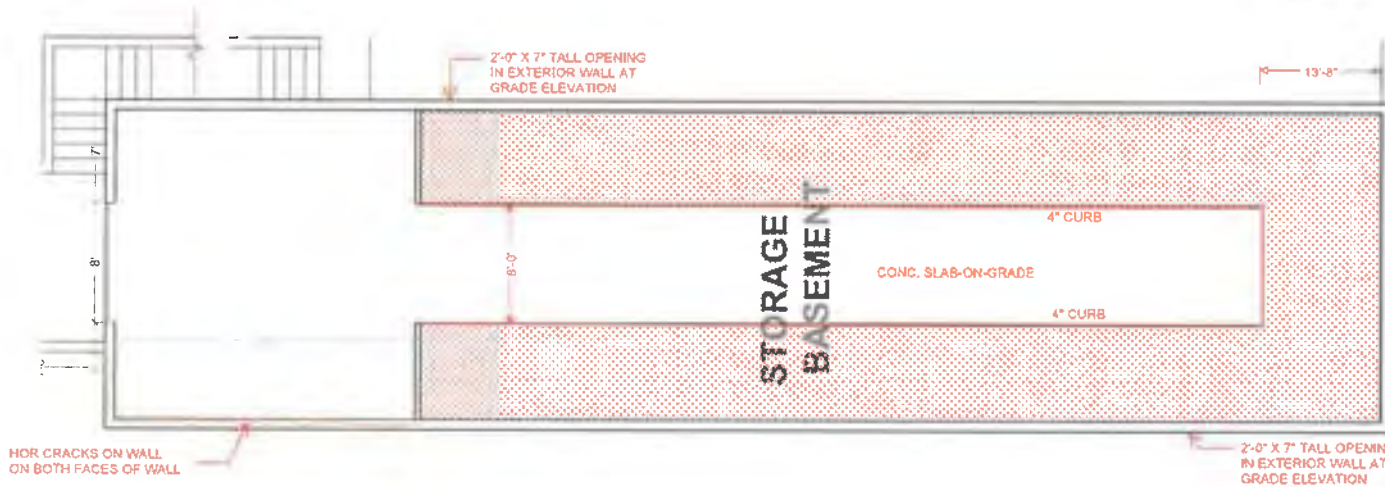
SHEET NAME
REFERENCE
FLOOR PLANS

DWG NO.
A2.2



FLOOR PLAN - SERVICE BUILDING - UPPER LEVEL

SCALE: 1/8"=1'-0"



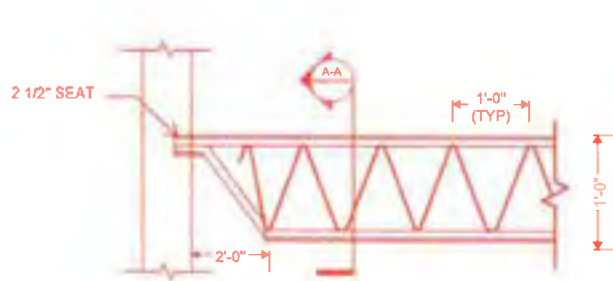
FLOOR PLAN - SERVICE BUILDING - LOWER LEVEL

SCALE: 1/8"=1'-0"

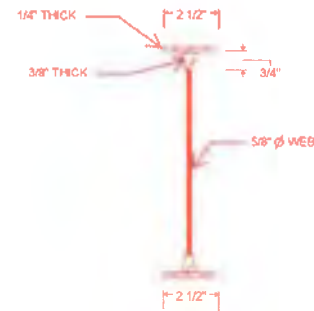


NOTE:
2024 STRUCTURAL ASSESSMENT
SITE OBSERVATIONS NOTED IN
RED

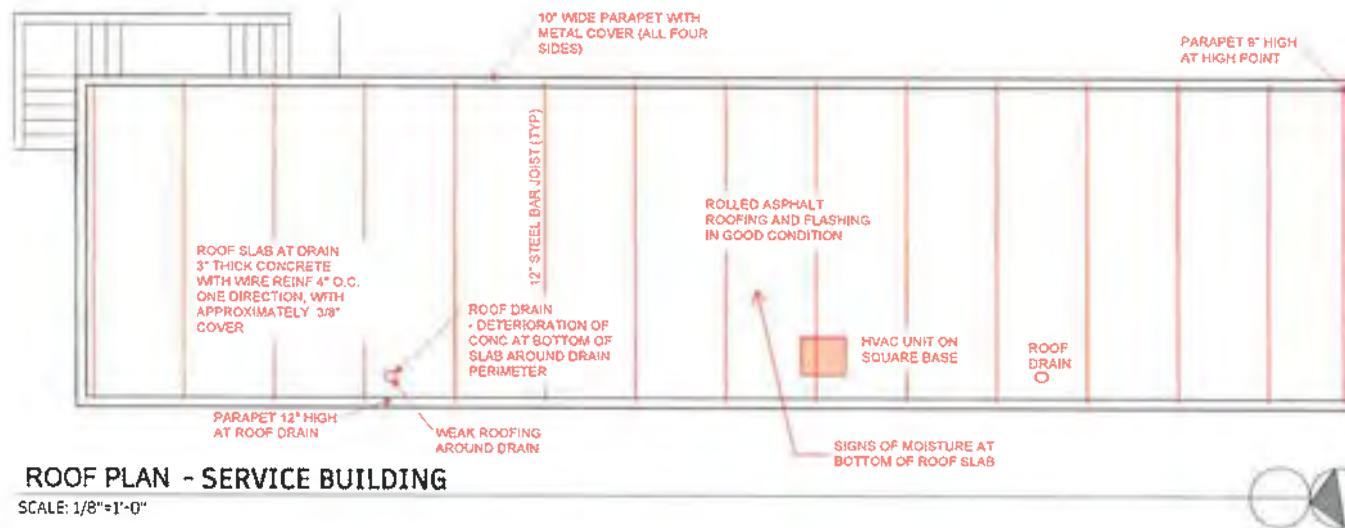
Warder Nursery Condition Assessment



ROOF JOIST PROFILE @SERVICE BUILDING



ROOF JOIST SECTION A-A



ROOF PLAN - SERVICE BUILDING

SCALE: 1/8"=1'-0"

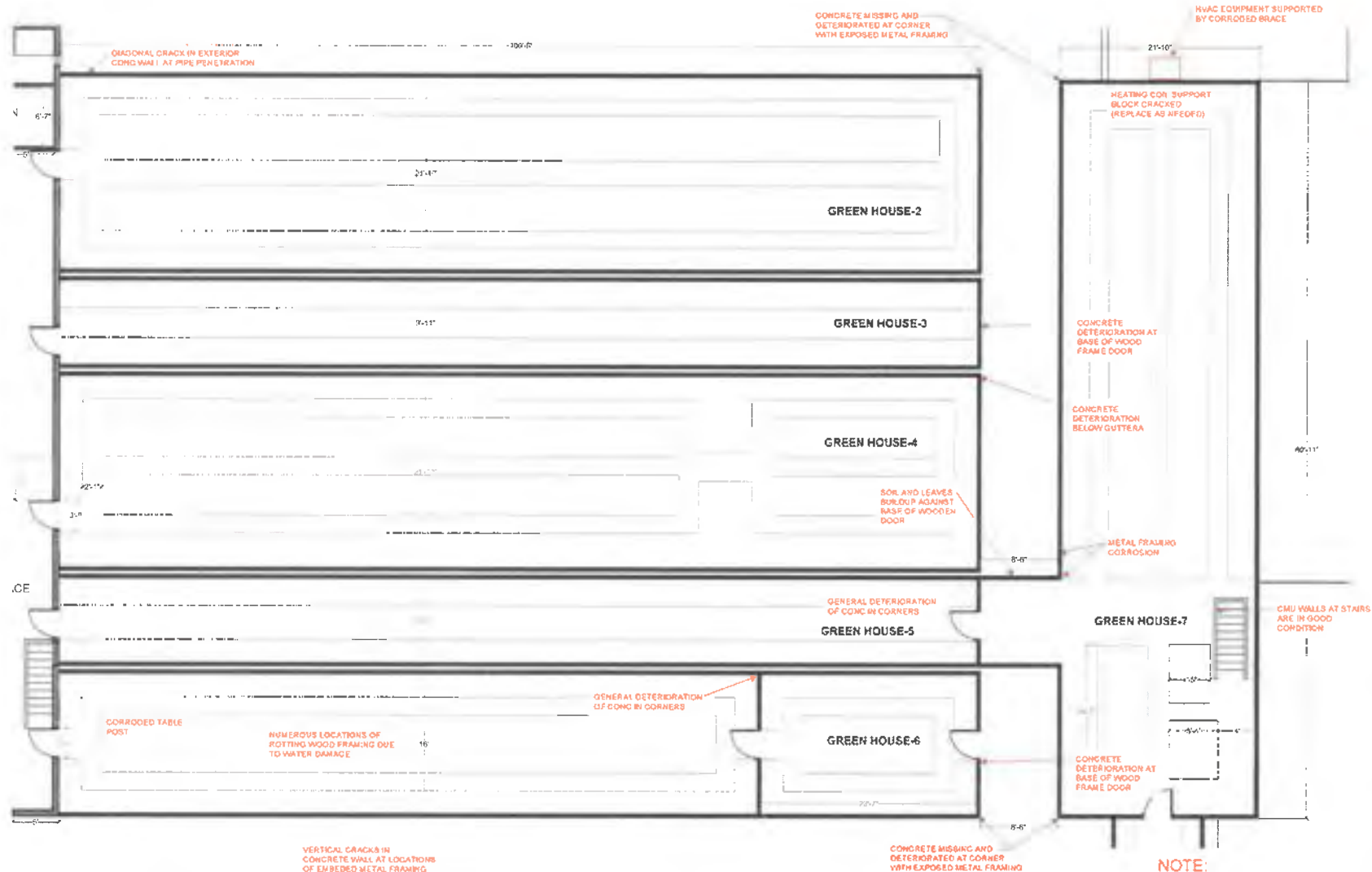
REV	DATE

DATF

SHEET NAME:
REFERENCE
ROOF PLAN

DWG NO.

Warder Nursery Condition Assessment



FLOOR PLAN - GREENHOUSES 2-7*

SCALE: 3/32"=1'-0"



NOTE:
2024 STRUCTURAL ASSESSMENT
SITE OBSERVATIONS NOTED IN
RED

*GREENHOUSES KEYED AS 3a-3f IN EXHIBIT



STRUCTURAL ASSESSMENT EXHIBIT
WARDER NURSERY
7000 WARDER DR, CINCINNATI, OH 45224

REV	DATE

DATE
10/02/2023

SHEET NAME
REFERENCE
FLOOR PLANS

DWG NO.
A2.3

Warder Nursery Condition Assessment



STRUCTURAL ASSESSMENT EXHIBIT
WARDER NURSERY
7000 WARDER DR, CINCINNATI, OH 45224

REV	DATE

DATE
10/02/2023

SHEET NAME
REFERENCE
FLOOR PLANS

OWG NO.
A2.4

NOTE:
2024 STRUCTURAL ASSESSMENT
SITE OBSERVATIONS NOTED IN
RED



FLOOR PLAN - GREENHOUSE 8*
SCALE: 1/8"=1'-0"



*GREENHOUSE KEYED AS 3g IN EXHIBIT

Warder Nursery Condition Assessment

CINCINNATI



PARKS
DIVISION OF
PLANNING
& DESIGN

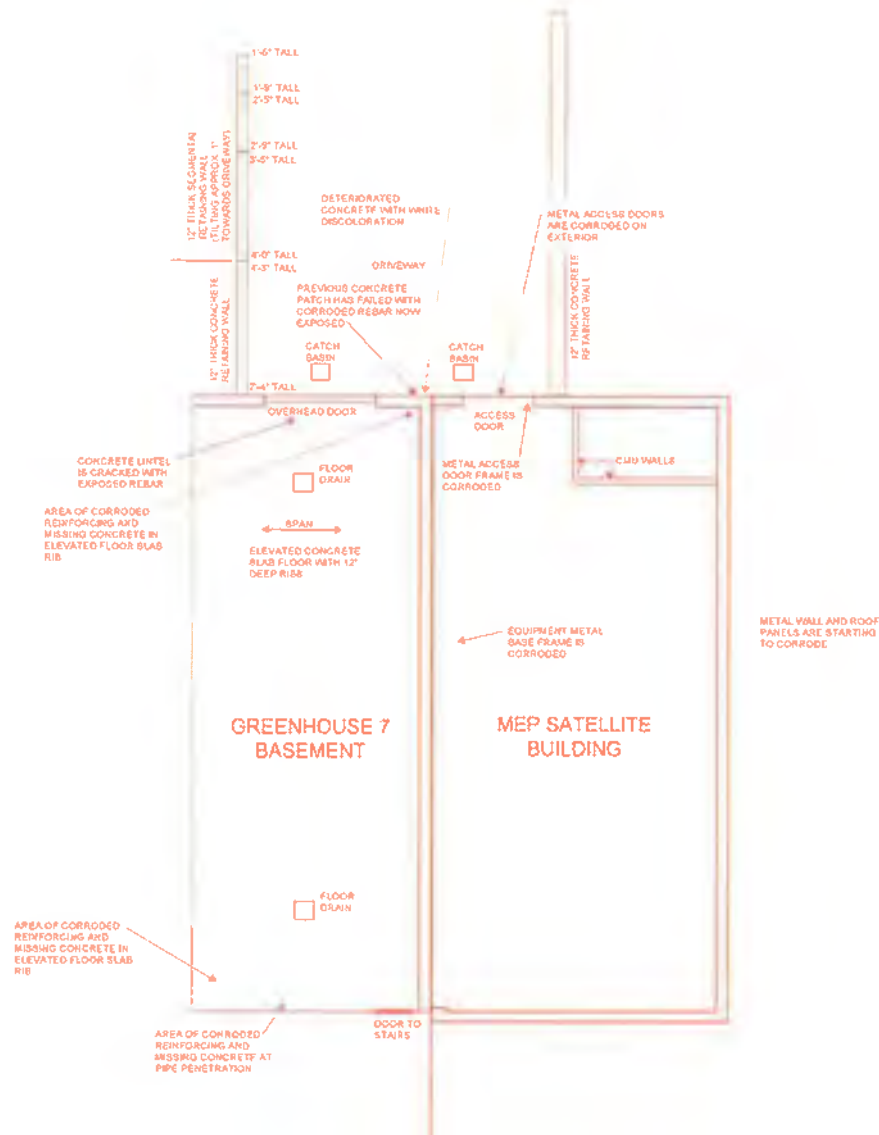
STRUCTURAL ASSESSMENT EXHIBIT
WARDER NURSERY
7000 WARDER DR, CINCINNATI, OH 45224

REV	DATE

DATE

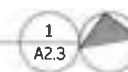
SHEET NAME
REFERENCE
FLOOR PLANS

DWG NO.



FLOOR PLAN - GREENHOUSE 7 BASEMENT AND MEP SATELLITE BUILDING

SCALE: 3/32"=1'-0"



Warder Nursery Condition Assessment



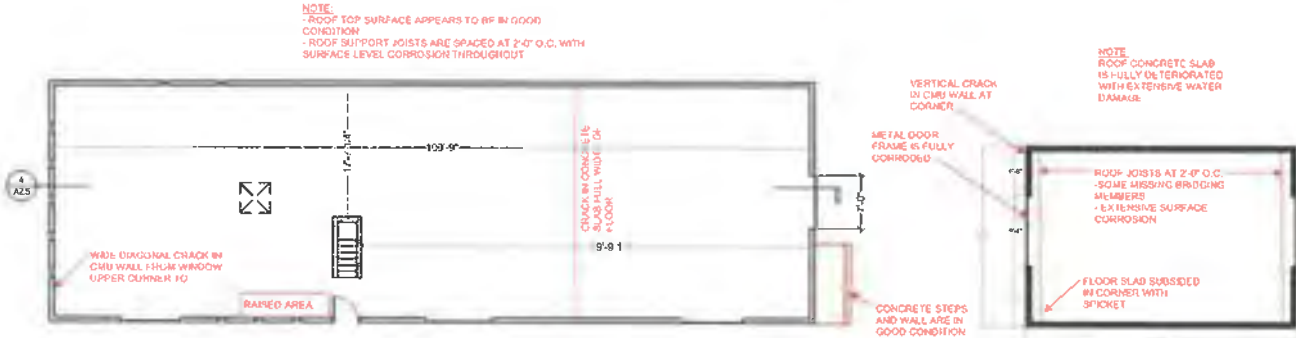
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WARDER NURSERY
7000 WARDER DR, CINCINNATI, OH 45224

REV	DATE

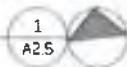
DATE
10/02/2023

SHEET NAME
REFERENCE
FLOOR PLANS

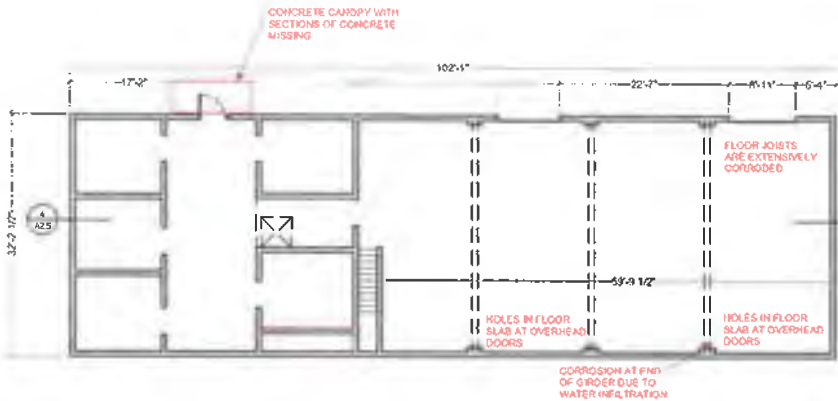
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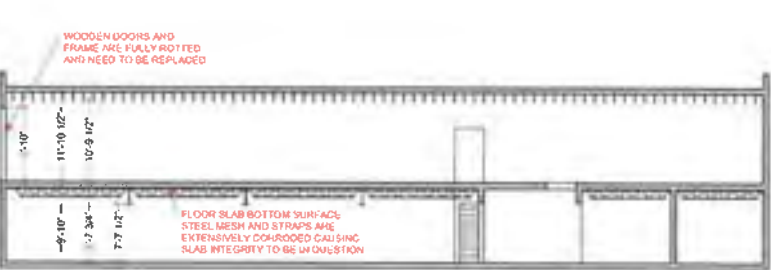
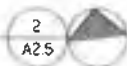
FLOOR PLAN - WPA STABLE BUILDING - UPPER LEVEL
SCALE: 1/16" = 1'-0"



FLOOR PLAN - WPA STORAGE BUILDING
SCALE: 1/16" = 1'-0"



FLOOR PLAN - WPA STABLE BUILDING - LOWER LEVEL
SCALE: 1/16" = 1'-0"



SECTION - WPA STABLE BUILDING
SCALE: 1/16" = 1'-0"



NOTE:
2024 STRUCTURAL ASSESSMENT
SITE OBSERVATIONS NOTED IN
RED

Appendix A: ROM COST ESTIMATE

Warder Nursery Condition Assessment

Attached is a Structural Assessment Matrix indicating repair items for each building separated by construction trade. A rough estimated cost is indicated for each item. Below are clarifications for the scope of work of some of the repair/rehabilitation items.

- 1) Repair areas of deteriorated concrete and lightly corroded reinforcing bars. The cost of this repair work is dependent on whether it is a horizontal surface, vertical surface, or overhead surface.
 - a. Clean area thoroughly of all loose concrete and corroded steel
 - b. Sandblast area
 - c. Clean steel surface to proper SSPC standard
 - d. Apply bonding agent to cleaned steel reinforcing and concrete surfaces
 - e. Place repair cementitious material
- 2) Recoating corroded metal
 - a. Clean surface of all compromised paint coating and corrosion
 - b. Apply appropriate coating system to the metal surface
- 3) Admin Building chimney exterior surface repair
 - a. Prep surface by removal of existing coatings
 - b. Apply appropriate bonding agent and filler material where required
 - c. Repair fluted pattern of chimney at top
 - d. Apply appropriate coating to seal and protect the chimney surface
- 4) Rebuilding the 12" thick segmental retaining wall at the driveway for the MEP Satellite Building and Greenhouse 7 basement. The wall length is approximately 18 feet with the height varying from 1'-5" to 4'-0".
 - a. Removal and staging of existing block units
 - b. Excavation of ground immediately behind the wall
 - c. Placement of granular backfill material (sand) for a proper foundation bed for the wall
 - d. Placement of the existing block units
 - e. Backfill behind the wall with granular, well-draining material
- 5) Replace cast-in-place concrete retaining walls at the Service Building
 - a. Removal of existing concrete retaining walls
 - b. Excavation of ground immediately behind the walls
 - c. Installation of cast-in-place concrete wall foundations and stem walls with weep holes
 - d. Backfill with well-draining material



Warder Nursery Condition Assessment

- 6) Install a fall protection feature at east wall opening of the WPA Stable Building
 - a. Procure and install a removeable guardrail 42" above floor elevation and a mid-rail if deemed necessary, attached to wall on each side of opening
- 7) Install steel channels on either side of concrete beam in Admin Building basement
 - a. Procure (2) C10 galvanized channels 15' long with predrilled holes for thru bolts
 - b. Install channels on either side of the concrete beam by drilling through concrete and securing with thru bolts
- 8) Replace water damaged wood framing with a rot resistant wood
 - a. Replace door or window frame members where water damage has compromised the integrity of the wood. This can be a full replacement of the frame piece or a portion of the frame piece depending on the extent of the damage.
- 9) Repair window sill concrete
 - a. Provide a sloped surface draining away from the window frame
 - b. Repair areas of window sill where it is relatively sound with a new coating
 - c. Install sections of new concrete sill where existing sill is missing



Warder Nursery Condition Assessment

Warder Nursery Structural Assessment Matrix

September 2024

	Construction Trades							
	Carpentry	Roofing	Painting	Masonry	Concrete (Restoration and Repair)	Window glazing and steel frames	Steelwork	Paving
Admin Building								
Roof / Chimney			New protective coating / sealer on exterior cast-in-place concrete (\$1000)		Chimney repair (\$3000) - Exterior Concrete repair including restoration of the concrete flute pattern at top of chimney - Exposed corroded reinforcing on interior face of concrete roof slab			
First Floor					- Minor floor slab repair where cracked near expansion joint (\$100) - Repair underside of roof concrete slab near chimney (\$2400)			
Basement					- Install (2) new concrete pedestals with anchor bolts for steel posts (\$200) - Patch and resurface the wall cracks including the chimney wall surfaces (\$800) - Repair underside of 1st floor slab in areas of missing concrete and corroded steel (\$900) - Refinish and seal concrete slab on grade surface in areas of scaling (\$300) - Repair wall on west side of chimney (\$1000)		Install steel channels with thru bolts at 1st floor concrete slab beam to eliminate steel posts (\$3500)	

Warder Nursery Condition Assessment

Warder Nursery Structural Assessment Matrix

September 2024

	Construction Trades							
	Carpentry	Roofing	Painting	Masonry	Concrete (Restoration and Repair)	Window glazing and steel frames	Steelwork	Paving
Exterior	Repair south wall overhead door wood framing at grade (\$200)		Paint south wall overhead door wood framing (\$150)		- Repair west wall window sills (\$200) - Replace deteriorated retaining walls (\$12,500) - Repair steps and walls at northwest building corner (\$6000)	Clean and recoat west wall window frames (\$400)	- New metal exterior door in west wall of basement level - Clean and paint exhaust stack support angles and wall cover plate on west wall (\$500)	Repave areas after retaining wall repair / replacements with asphalt pavement (\$2000)
Service Building								
Roof / Chimney				Minor chimney repairs (\$600)	Corrosion at north roof drain (\$1200)			
First Floor			Wood framing at the overhead doors (\$150)		Roof slab repairs in areas of water damage where there is spalling and reinf corrosion (\$3500)	Clean and recoat window frames (\$300)		
Basement								
Exterior					- Repair window sills (\$200) - Replace retaining walls along driveway and steps (\$20,500) - Repair surface and slope of steps (\$400)			Repave driveway after retaining wall repair / replacements with asphalt pavement (\$2000)
Greenhouses								
Greenhouse 2	Repair wood door and frame (\$200)		Exterior wood door and wood framing (\$200)		- Patch and seal diagonal crack in north wall (\$150) - Repair northeast corner concrete wall including steel reinforcing (\$600)	- Replace window glazing in southeast corner of building (\$100)		

Warder Nursery Condition Assessment

Warder Nursery Structural Assessment Matrix

September 2024

	Construction Trades							
	Carpentry	Roofing	Painting	Masonry	Concrete (Restoration and Repair)	Window glazing and steel frames	Steelwork	Paving
Greenhouse 3			Exterior wood door and wood framing (\$200)		Repair missing exterior concrete at door frame and exposed aggregate concrete (\$250)			
Greenhouse 4					Repair exterior concrete below gutter between Greenhouse 3 and 4 (\$250)			
Greenhouse 5	Replace water damaged sections of window framing (\$700)		Exterior wood door and wood framing (\$200)					
Greenhouse 6			Exterior wood door and wood framing (\$200)		Repair missing exterior concrete at east wall door frame (\$300)			
Greenhouse 7			Clean and recoat metal framing at locations of surface corrosion (\$800)		Repair northwest exterior corner at previous patch location (\$400)		Replace metal framing components at locations of significant corrosion (\$500)	
Greenhouse 7 - Basement					- Repair underside of 1st floor slab in areas of missing concrete and corroded steel including a rib section with significant missing concrete (\$4000) - Repair exterior wall spalling concrete and exposed reinforcing at previous patch location (\$900)			

Warder Nursery Condition Assessment

Warder Nursery Structural Assessment Matrix

September 2024	Construction Trades							
	Carpentry	Roofing	Painting	Masonry	Concrete (Restoration and Repair)	Window glazing and steel frames	Steelwork	Paving
Greenhouse 8	- Replace missing fascia board (\$400) - Replace water damaged sections of framing on south wall (\$1500)	Replace asphalt shingles on north wall (\$5/sq. ft.)	- Exterior wood door and wood framing (\$200) - Fascia boards on north side (\$100) - plywood on east wall (\$150)					
MEP Satellite Building								
Interior			Clean and recoat areas of corrosion in northeast building corner (\$900)				Replace corroded equipment support frame (\$300)	
Exterior (including driveway and retaining walls)		Recoat metal roof and walls at locations of corrosion (\$3500)		Rebuild segmental retaining wall (\$2500)			Replace the north wall door frame and leaves (\$1500)	Repair asphalt pavement at segmental retaining wall (\$800)
WPA Storage Building								
Roof		Full replacement of flat roof - roof joists, decking, slab, and roofing surface (\$15,000)						
Doors	Replace wood frame members for east wall door (\$1200)						Replace steel lintel for west wall door (\$2400)	

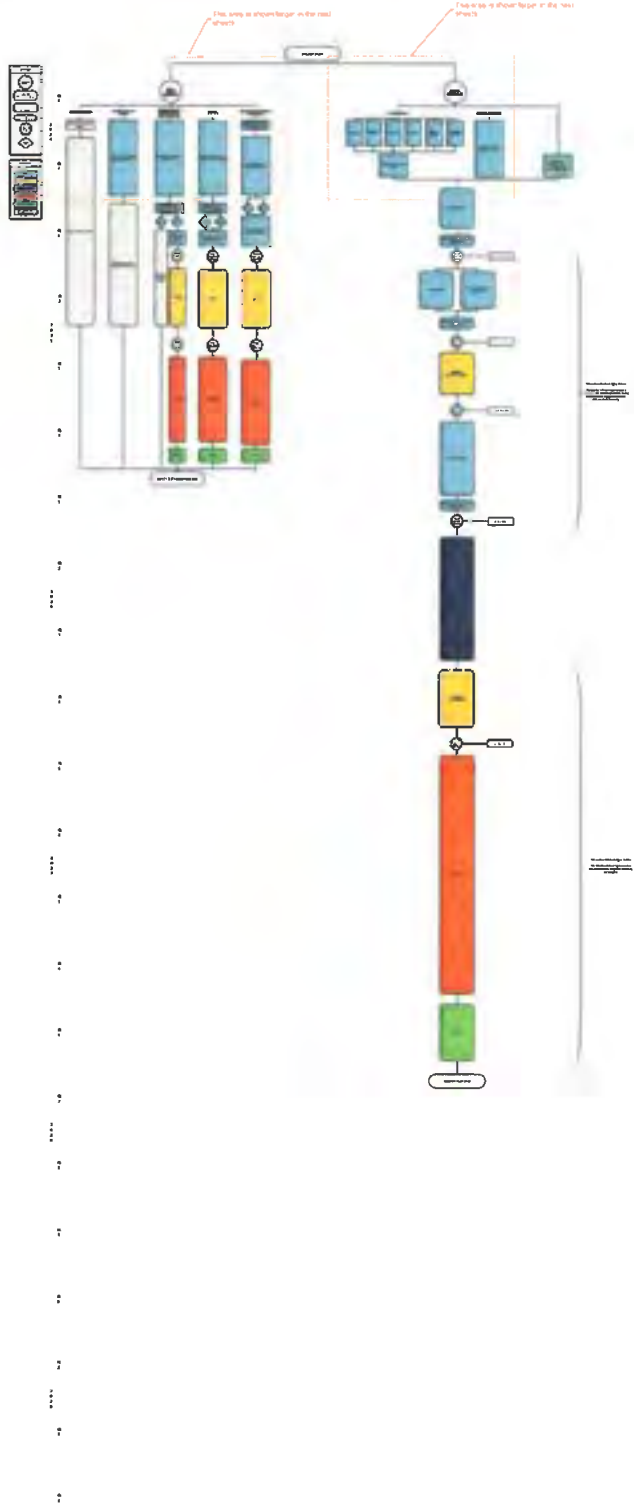
Warder Nursery Condition Assessment

Warder Nursery Structural Assessment Matrix

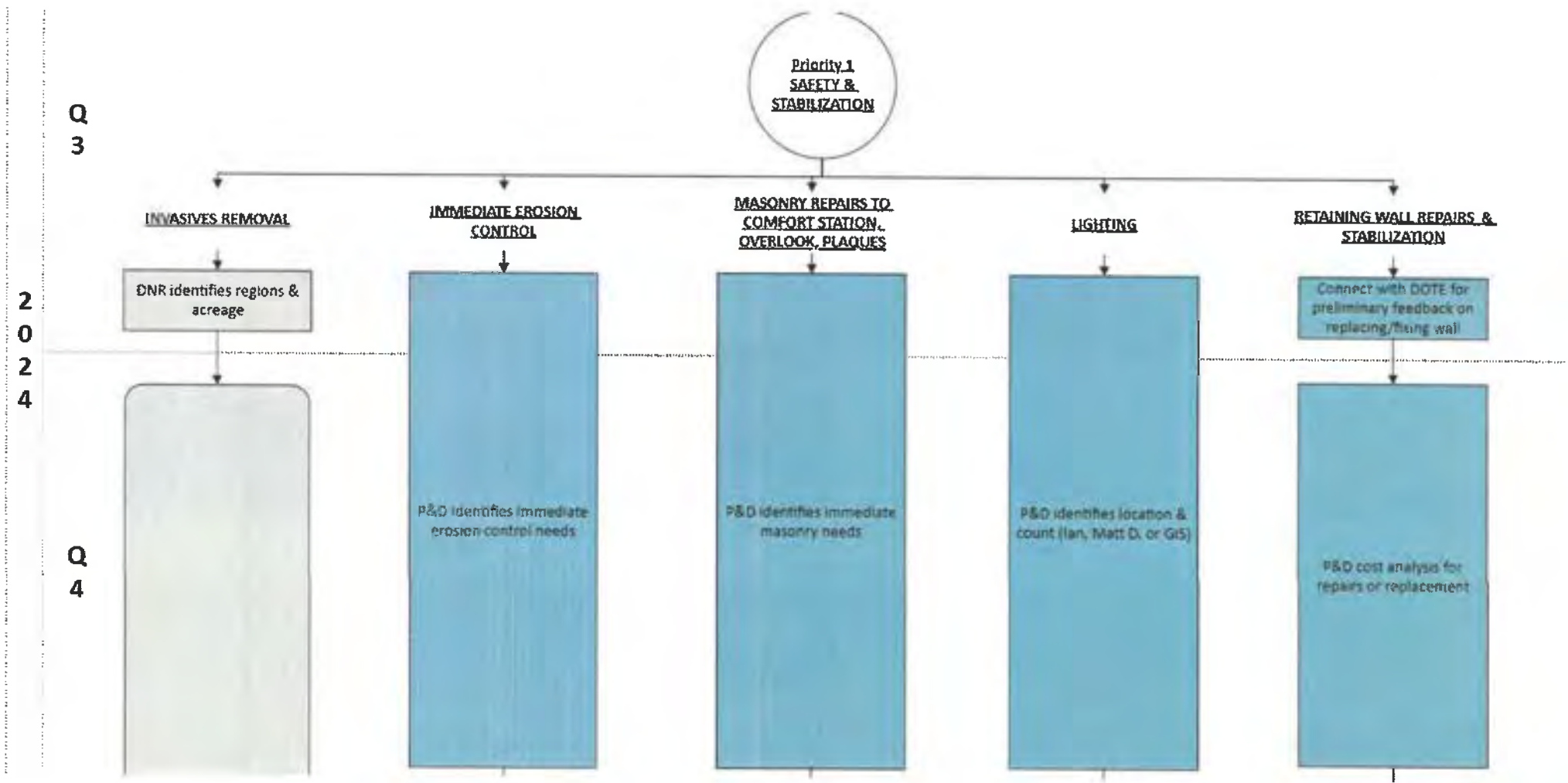
September 2024

	Construction Trades							
	Carpentry	Roofing	Painting	Masonry	Concrete (Restoration and Repair)	Window glazing and steel frames	Steelwork	Paving
CMU Walls				- Verify existing wall reinforcing size and spacing to check compliance with current building code (\$600) - Repair northwest masonry wall corner (\$1200)				
Floor slab					Repair concrete slab-on-grade in areas of differential settlement (\$1200)			
WPA Stable Building								
Roof		Repair perimeter flashing at parapet (\$1800)	Recoat surface corrosion of joists, straps, and mesh (\$7000)					
Exterior Walls				Repair crack in west wall (\$4000)	Repair canopy above door on north wall (\$800)			
Exterior Features							Clean and recoat unloader beam and support rods (\$800)	New concrete aprons at overhead doors (\$1600)
Upper Level	New door at unloader on east wall (approx 10'-4" tall x 7'-4" wide) dbl leaf (\$4000)			Wall repair in southwest building corner (west wall stepped cracking, horiz and vertical cracks in south wall) (\$9000)	Floor slab repair at overhead doors including edge support (\$5000)		Guardrail / fall protection feature at east wall opening (\$1200)	
Lower Level			Recoat corrosion of joists and wide flange girder at south wall (\$2000)	Patch cracks in walls (\$1200)				

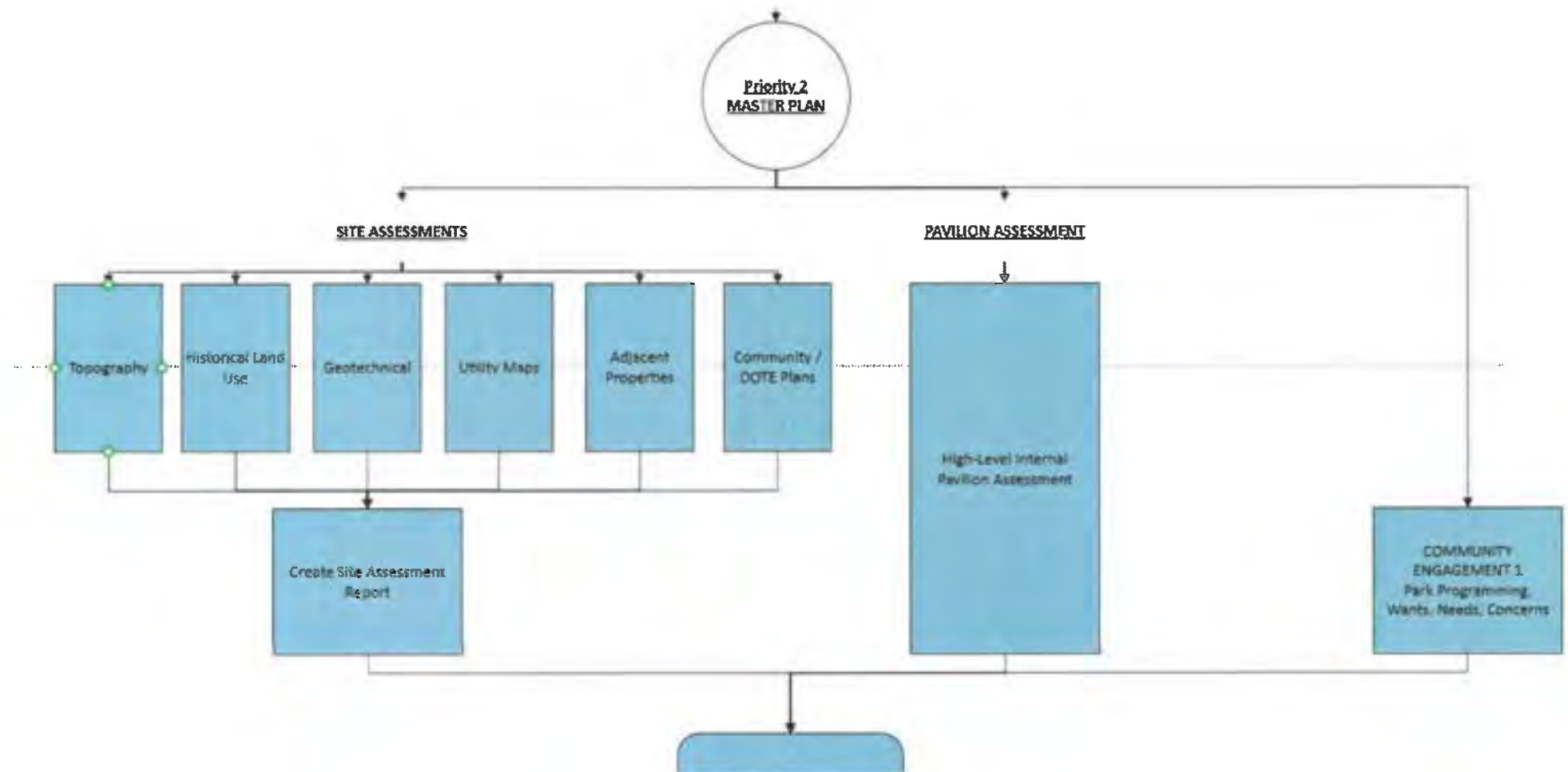
Inwood Park - Overall Critical Path
Process Flow Diagram



Inwood Park - Q3 and Q4 2024 Priority Closeup



Inwood Park - Q3 and Q4 2024 Priority Closeup



Inwood Park - Milestones

Last Updated: 9/11/24

Month	Community Engagement	Informal Leadership / Board Feedback	Formal Board Review / Approval
AUG 24			
SEP 24			
OCT 24			
NOV 24	Park Programming, Community Wants & Needs, Main Park Problems to Solve		
DEC 24			
JAN 25		1) Park Safety Scopes: Masonry Repairs, Lighting, Retaining Wall Repairs 2) Master Plan Concept Bubbles (Selection)	
FEB 25	Master Plan Concept Bubbles	1) Park Safety Scopes: Masonry Repairs, Lighting, Retaining Wall Repairs 2) Master Plan Concept Bubbles (Selection)	
MAR 25			1) Park Safety Scopes: Masonry Repairs, Lighting, Retaining Wall Repairs 2) Master Plan Concept Bubbles (Selection)
APR 25			
MAY 25		Master Plan Concept Design	
JUN 25	Master Plan Concept Design	Master Plan Concept Design	
JUL 25			1) Park Safety Scope Bids 2) Master Plan Concept Design (Selection)
AUG 25			
SEP 25			
OCT 25			Master Plan Schematic Design Bid (Approval)
NOV 25			
DEC 25			
JAN 26		Master Plan Schematic Design	
FEB 26	Master Plan Schematic Design	Master Plan Schematic Design	
MAR 26			Master Plan Schematic Design (Approval)
APR 26			
MAY 26			
JUN 26			
JUL 26			
AUG 26			
SEP 26			
OCT 26			
NOV 26		Construction Bids	
DEC 26		Construction Bids	
JAN 27			Construction Bid (Approval)
FEB 27			

Inwood Park - Process Gantt Chart

Last Updated: 9/11/24

Category	Project/Scope	Status	Q3 24	Q4 24	Q1 25	Q2 25	Q3 25	Q4 25	Q1 26	Q2 26	Q3 26	Q4 26	Q1 27	Q2 27	Q3 27	Q4 27	Q1 28	Q2 28	Q3 28	Q4 28
3 Year Plan	Inwood Park Master Plan (All)	On Track																		
Safety	Invasive Removal	On Track	Unknown - DNR to Execute																	
Safety	Immediate Erosion Control	On Track	Unknown - Operations to Execute																	
Safety	Masonry Repairs to Comfort Station, Overl	On Track																		
Safety	Lining	On Track																		
Safety	Retaining Wall Repairs & Stabilization	On Track																		
Master Plan*	Pavilion Repairs & Restoration	On Track																		
Master Plan*	All Other Master Plan Updates	On Track																		



Other Team

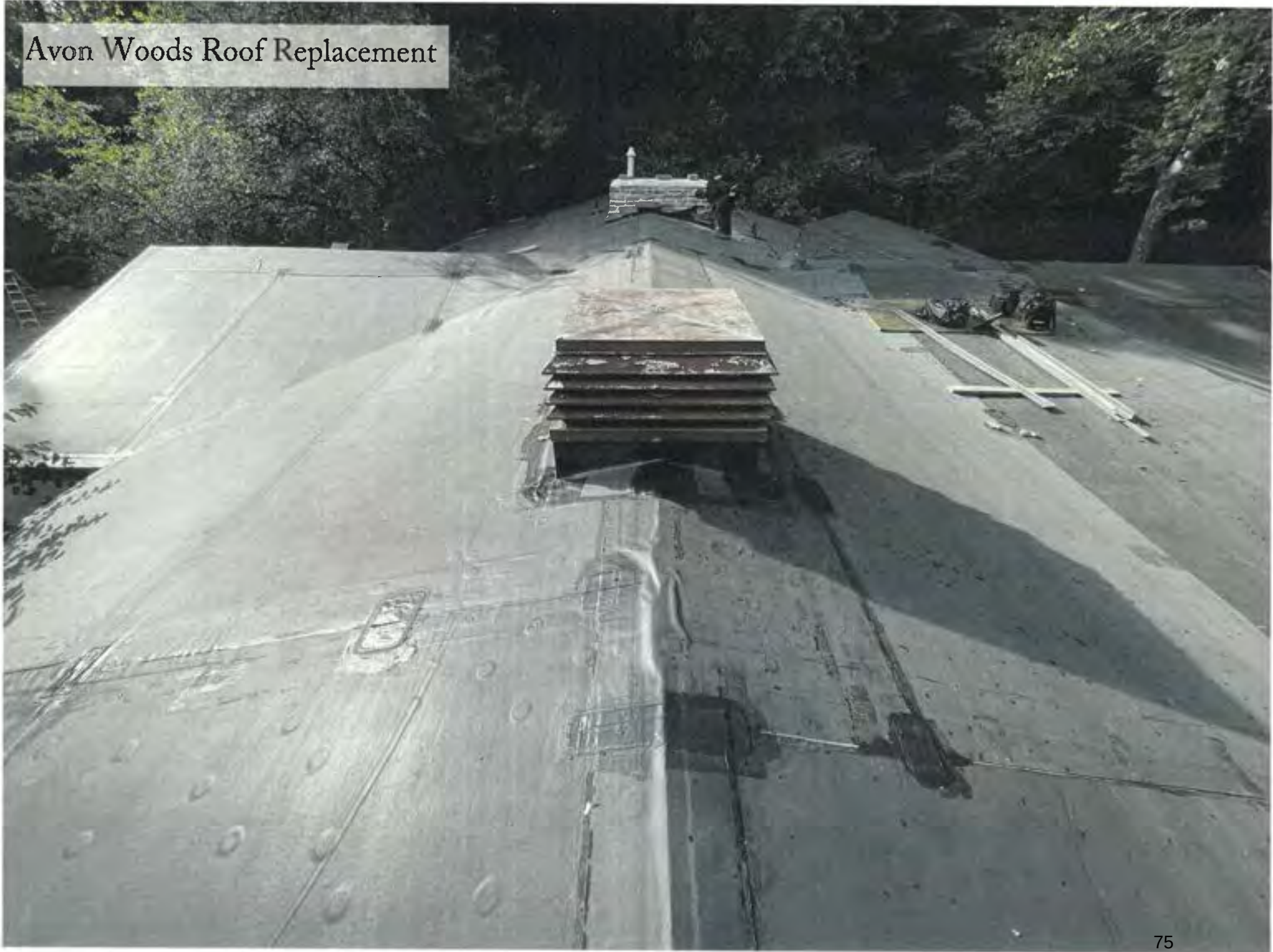
*These categories are likely to become smaller scopes as the project progresses





Avon Woods Roof Replacement

Avon Woods Roof Replacement



Avon Woods Roof Replacement



Avon Woods Roof Replacement



Avon Woods Roof Replacement



Burnet Woods - Sanitary
Discharge form the
Bandstand Restrooms





Burnet Woods - Sanitary
Discharge Issues Near the
Trailside Nature Center
Shelter



Burnet Woods - Sanitary
Discharge Issues Near the
Trailside Nature Center
Shelter

Burnet Woods - Broken
Curb Around the Pond



Burnet Woods - Erosion
Under Stairways



Burnet Woods - Masonry
Stairway Degradation

Burnet Woods - Roadway Degradation



Art Museum Drive Pier Wall Installation



Art Museum Drive Pier Wall Installation



Art Museum Drive Pier Wall Installation





Art Museum Drive Pier Wall Installation



Art Museum Drive Pier Wall Installation

Art Museum Drive - Original Stone Piping





Eden Park - Fulton Comfort Station Parking Sink Hole



Eden Park - Fulton Comfort
Station Parking Sink Hole



Eden Park - Fulton Comfort
Station Parking Sink Hole

Mt Airy Intake Sink Hole #1





Mt Airy Intake Sink Hole #1

Mt Airy Intake Sink Hole #1





Mt Airy - Sink Hole Location #2

Mt Airy Intake Sink Hole #2



Mt Airy Intake Sink Hole #2





Mt Airy Intake Sink Hole #2

Mt Echo - Sink Hole Location





Mt Echo Pavement Sink Hole

Mt Echo Pavement Sink Hole



Mt Echo Water Fountain Leak Erosion



Mt Echo Water Fountain Leak Erosion



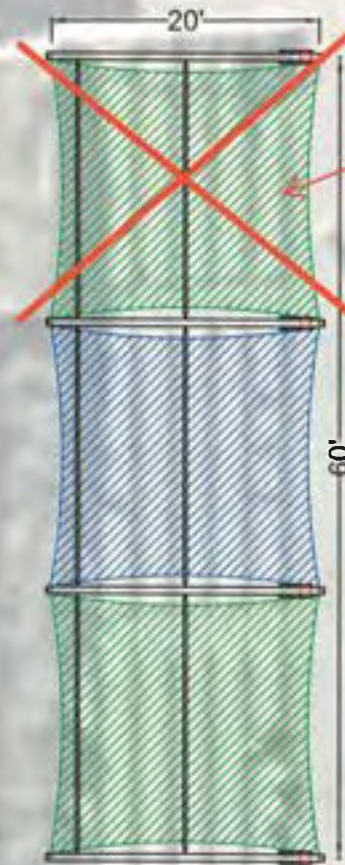
Mt Echo Water Fountain Leak Source



Mt Echo Water Fountain Leak Source



Sawyer Point Pickleball Shading



This third of the pickleball seating area was requested to be left uncovered. Only the northernmost 40 feet will be covered under this proposal.

Shade
systems

the coolest solutions under the sun

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SCALE: NTS

LOCATION:

Cincinnati, OH

QUOTE #:

Q-10178

PROJECT:

Sawyer Point Park

DATE:

8/10/2023

Sawyer Point Pickleball Shading



This rendering is preliminary and for conceptual visual presentation only and should not be relied on for construction. Actual appearance of products presented may differ at time of final engineered design. Please refer to engineering plans and specifications for actual field measurements

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Inclusive Whirl Addition for Wilson Commons



Wilson Commons Spinner





Wilson Commons Spinner

Duke Energy EEOO Phase 2 - Magrish Preserve



DATE: September 9, 2024

TO: All City Departments

FROM: Trisa Wilkens Hoane, Real Estate Manager
Reneé Bunch, Senior Real Estate Specialist

COPIES: File

SUBJECT: CR #65-2024 – Duke Easements needed for Duke EEOO Phase 2

This coordinated report is being circulated for the request for various easements needed by Duke for EEOO Phase 2 Pipeline Project.

Parcel ID	New Permanent Easement Request	New Temporary Easement Request
PIDN 0004-0001-0001	0.0506 acres/ 22,034 sf	0.606 acres/ 26406 sf
PIDN 0007-0004-0032, 0033, 0035	0.111 acres/ 4,822 sf	0.062 acres/ 2,688 sf
PIDN 0007-0004-0038	0.172 acres/ 7,499 sf	0.538 acres/ 23,439 sf
PIDN 0010-0005-0001.	0.562 acres/ 24,497 sf	1.094 acres/ 47,666 sf
PIDN 0011-0001-0001	0.032 acres/ 1,396 sf	0.037 acres/ 1,594 sf
PIDN 0040-0008-0001	1.018 acres/ 44,324 sf	1.219 acres/ 53,083 sf
PIDN 0500-0430-0003	0.032 acres/ 1,145 sf	0.025 acres/ 1,110 sf
PIDN 00015-0003-0029	1.066 acres/ 46,460 sf	1.157 acres/ 50,387 sf
PIDN 00015-0003-0059	.077 acres/ 3,360 sf	.023 acres/ 982 sf

Duke Energy EEOO Phase 2 - Magrish Preserve

PAGE TWO

SUBJECT: CR #65-2024 – Duke Easements needed for Duke EEOO Phase 2

It is requested that a response be made on or before **October 7, 2024**. If this is not possible, please respond with anticipated response date and cause for delay.

Please investigate and forward your comments to City of Cincinnati's CoordinatedReports email.

TWH/rb

Guide to Coordinated Report Responses by Departments/Agencies: responses fall under one of the three categories below. A department/agency may object and later change the response after working with the petitioner to clear the objection or objection(s). To help you determine which response best suits your needs, we've provided the explanations below. We hope the following will benefit you and your agency during periods of transition.

No Objection: The department/agency thoroughly reviewed the request and determined the request poses no issue/condition/conflict with department/agency's operations or programming. The request can move forward without any further action required by the petitioner.

Conditions: The department/agency thoroughly reviewed the request for any impact to its operations and/or programming and determined it approves the request based on conditions that can be resolved either prior to or reserved in the final legal instrument. The request may move forward without immediate further action required by the petitioner.

Objection: The department/agency thoroughly reviewed the request for any impact to its operations and/or programming and determined it cannot approve the request because of negative impact to the department/agency's operations or programming. An objection halts the request. For the request to move forward, the petitioner must work with the objecting department/agency to determine if the issue can be resolved.

Duke Energy EEOO Phase 2 - Magrish Preserve

AREA TABLE			EXHIBIT A	
EASEMENT TYPE	ACRES	SQ. FT.		
P	0.506	22,074		
TCE	0.606	26,406		

CERTIFICATION

I, DANIEL K. YORK, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN OFFICIAL RECORD BOOK 5700, PAGE 1820); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN OFFICIAL RECORD BOOK 5700, PAGE 1820; THAT THE RATIO OF PRECISION IS 1: 437,503; THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN OHIO OAC 4733; THIS SURVEY IS OF A PROPOSED EASEMENT FOR A PUBLIC UTILITY AS DEFINED IN OHIO ORC 4905.03 AND MEETS THE ATTACHMENT RULES OF OHIO ORC 317.114 THE PURPOSE OF THIS EXHIBIT IS FOR RIGHT OF WAY OR EASEMENT ACQUISITION ONLY AND IS NOT INTENDED TO BE A BOUNDARY SURVEY OF THE PROPERTY SHOWN HEREON

Daniel K. York

THIS 19th DAY OF MAY 2024

DANIEL K. YORK, PLS 1-8729

LOCATION MAP

LEGEND

- REBAR SET
- REBAR FOUND
- CONC. MONUMENT FOUND
- COMPUTED POINT (NOT SET)
- PE PIPELINE EASEMENT
- TCE TEMPORARY CONSTRUCTION EASEMENT
- POC POINT OF COMMENCEMENT
- POB POINT OF BEGINNING
- R/W RIGHT OF WAY

- SUBJECT PARCEL
- SUBJECT EASEMENT
- R/W STREET RIGHT OF WAY
- ADJACENT PARCEL
- EXISTING EASEMENT
- CENTERLINE
- TIE LINE

NOTES

1. SUBJECT PROPERTY SURVEYED AND MAPPED FOR: (DUKE ENERGY / PIEDMONT NATURAL GAS).
2. AREA BY COORDINATE COMPUTATION METHOD.
3. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET.
4. PROPERTY SUBJECT TO ANY VALID & ENFORCEABLE EASEMENTS, RESTRICTIONS, & RIGHTS OF WAY.
5. SURVEY IS BASED ON PHYSICAL EVIDENCE AND EXISTING MONUMENTATION FOUND DURING THIS SURVEY.

SGC ENGINEERING, LLC
3600 RED BANK ROAD, SUITE C
CINCINNATI, OH 45227
PHONE: (800) 581-4031

DUKE ENERGY OHIO, INC
EASEMENT EXHIBIT
EASEMENT ACROSS THE LAND OF
CITY OF CINCINNATI
CANOE CT, CINCINNATI
HAMILTON COUNTY, OH

525 S. TRYON STREET
CHARLOTTE, N.C. 28202
TELEPHONE NO. 800-641-7762

REVISIONS: 3	DATE: 06/19/2024	SCALE: NTS
LSC #: 114885_EHG_GasLineEEOO_Ph2	DRAWN BY: HAN	OR: 5700-1820
PROJ. #: AW7178	CHECK BY: DKY	DUKE ID #: 114885
	TRACT#:	LU #:

Duke Energy EEOO Phase 2 - Magrish Preserve

AREA TABLE			EXHIBIT A NTS	 GRID ON STATE PLANE SOUTH - NAD 83	 LOCATION MAP
EASEMENT TYPE	ACRES	SQ. FT.			
PIPELINE	0.111	4,822			
TCE	0.062	2,688			

CERTIFICATION

I, DANIEL K. YORK, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN OFFICIAL RECORD BOOK 5700, PAGE 1820); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN OFFICIAL RECORD BOOK 5700, PAGE 1820; THAT THE RATIO OF PRECISION IS 1: 111,074; THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN OHIO OAC 4733; THIS SURVEY IS OF A PROPOSED EASEMENT FOR A PUBLIC UTILITY AS DEFINED IN OHIO ORC 4905.03 AND MEETS THE ATTACHMENT RULES OF OHIO ORC 317.114 THE PURPOSE OF THIS EXHIBIT IS FOR RIGHT OF WAY OR EASEMENT ACQUISITION ONLY AND IS NOT INTENDED TO BE A BOUNDARY SURVEY OF THE PROPERTY SHOWN HEREON

Dan York

THIS 19th DAY OF MAY 2024

LEGEND	NOTES
● REBAR SET ● REBAR FOUND ■ CONC. MONUMENT FOUND ○ COMPUTED POINT (NOT SET) - PE PIPELINE EASEMENT - TCE TEMPORARY CONSTRUCTION EASEMENT - POC POINT OF COMMENCEMENT - POB POINT OF BEGINNING - R/W RIGHT OF WAY	1. SUBJECT PROPERTY SURVEYED AND MAPPED FOR: (DUKE ENERGY / PIEDMONT NATURAL GAS). 2. AREA BY COORDINATE COMPUTATION METHOD. 3. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET. 4. PROPERTY SUBJECT TO ANY VALID & ENFORCEABLE EASEMENTS, RESTRICTIONS, & RIGHTS OF WAY. 5. SURVEY IS BASED ON PHYSICAL EVIDENCE AND EXISTING MONUMENTATION FOUND DURING THIS SURVEY.

 SGC ENGINEERING, LLC 3600 RED BANK ROAD, SUITE C CINCINNATI, OH 45227 PHONE: (800)-581-4031	DUKE ENERGY OHIO, INC EASEMENT EXHIBIT EASEMENT ACROSS THE LAND OF CITY OF CINCINNATI CANOE CT, CINCINNATI HAMILTON COUNTY, OH	 DUKE ENERGY
REVISIONS: 2	DATE: 05/31/2024	SCALE: NTS
LSC #: 114885_ENG_ConLineEEOO_Ph2	DRAWN BY: HAN	OR: 5700-1820
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1 OF 3



Date: September 19, 2024

To: Board of Park Commissioners

From: Derrick Gentry, Supervising Human Resources Analyst

Subject: HR Status Update

BOARD OF PARK

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This memo provides an overview of current vacancies and the recruitment process for Parks.

KEY UPDATES



Full -Time: 161
Part - Time: 83



1 Promotion
4 Interviews



26 Injuries
34 Recordable Incidents

Full Time Overview

We currently have **161 full-time employees and 17 vacant positions**, and we are moving swiftly to fill key roles across multiple divisions. We are actively interviewing for four (4) leadership positions in Natural Resources, Waterfront, Facilities, and Krohn Conservatory.

As we look to the future, we are focused on enhancing efficiency by streamlining our hiring processes, allowing us to onboard full-time employees more quickly and effectively to continue strengthening our team.

- Appointments
 - o Garrett Dienno – Supervisor of Urban Forestry (Promotion)
- Interviews
 - o Parks/Recreation Maintenance Crew Leader - Krohn Conservatory
 - o Parks/Recreation Maintenance Crew Leader – Waterfront
 - o Parks/Recreation Maintenance Crew Leader – Facilities
 - o Service Area Coordinator – Natural Resources (Explore Nature)
- New Positions Approved by City Budget
 - o Laborer (2) – Waterfront
 - o Service Crew Leader (1) – Waterfront
- Vacancies (see table below)

Division	Positions
Natural Resources	- Florist (2) – Classification under review - Lead Arborist (1) – Examination under development - Service Area Coordinator (1) – Position to be posted - Supervising Parks/Recreation Coordinator (Business Operation) (1) - Interviewing - Tree Maintenance Crew Leader (1) – Classification under review - Tree Maintenance Worker (1) - Classification under review - Parks/Recreation Maintenance Crew Leader (1) - Requisitioned
West District	Truck driver (1) – Eligibility list to CSC 09/19/2024
Waterfront	- Parks/Recreation Maintenance Crew Leader (1) - Service Crew Leader (1) – Test under development
Finance	Computer Systems Analyst (1) - Requisitioned
Facilities	Parks/Recreation Maintenance Crew Leader (1) - Interviewing
Krohn Conservatory	Parks/Recreation Maintenance Crew Leader (1) - Interviewing
Total	14

Part-time Overview

Parks currently has **83 part-time employees**, though this number will gradually decrease as summer winds down. As we gear up for the upcoming season, to continuously enhance our onboarding process, Parks HR is excited to partner with each division to evaluate what worked well and identify areas for improvement. Tailored marketing strategies will be developed to target each division's unique needs, helping to broaden our applicant pool ahead of time. Additionally, we'll assess the specific needs of our part-time staff to ensure they have access to the resources and support they deserve!

This year we received more than 1,500 applications and we made **144 job offers**. **101 new and returning employees chose to join Parks** to create beautiful spaces and experiences for the tri-state area. 44 of those 100 employees went to support the staff at Krohn (21) and Waterfront (23).

As the summer is coming to an end, we can reflect on the influx of seasonal employees that enable Cincinnati's Parks to have an awesome 2024/2025 season.

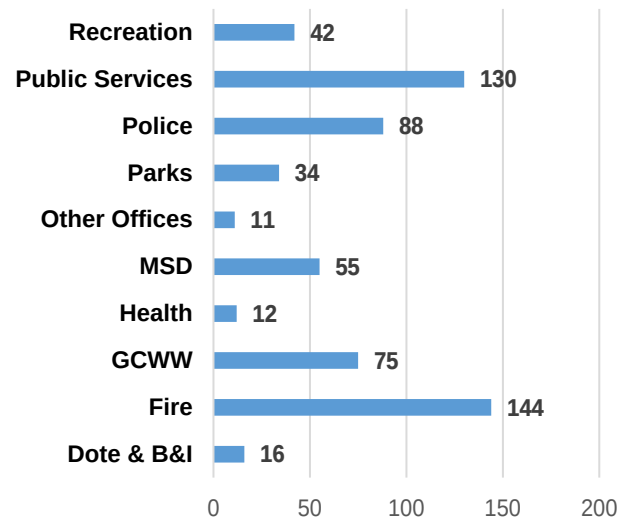
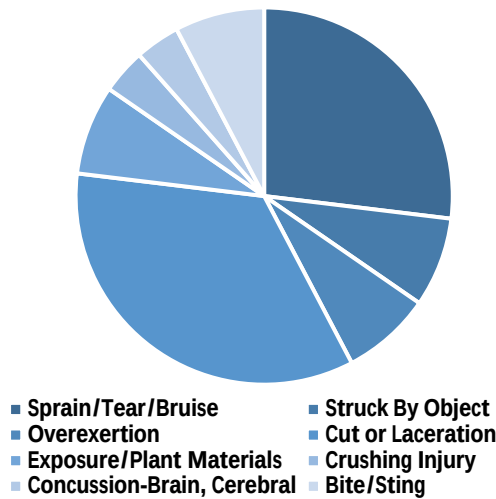
Parks Safety Overview

Injuries increased from 24 to 26 over the last month, representing an 8% increase. The newly revitalized Parks Safety Committee is continuing efforts to assess incidents to actively working to prevent them.

Injury overview

This year, Parks has reported 26 injuries. When including recordable incidents - minor cases that could potentially lead to future issues - the total increases to 34. With an average of 60 injuries across all departments Parks remains well below the average, reflecting our strong commitment to safety.

Cuts, lacerations, and strains account for 60% of injuries in Parks. To address this, the Parks Safety Committee will focus on preventive measures to reduce these types of incidents moving forward.



Exciting New Onboarding Experience at Parks!

Parks has enhanced the onboarding process with the launch of our new Onboard Portal! This portal will be the first impression new hires have of Cincinnati Parks' values and culture. It's an opportunity to showcase the unique aspects of our workplace while providing essential information and engaging new team members before they even start.

In addition to "day one" details and helpful reference resources—like divisional contacts and weblinks—the portal highlights the personality of Parks and its individual divisions, making new hires feel welcomed and connected from the start.



End of Season All-Staff Celebration!

Join us for our end-of-season *Thank You* event, where we celebrate the incredible work of our Parks team in keeping Cincinnati Parks beautiful! This is our chance to show our appreciation for all the dedication and effort. There will be pizza, games, and our annual all-staff photo—don't miss out!

We encourage the Park Board and all employees to attend and make this a memorable event for everyone.



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Vice President

Susan F. Castellini

Kick Lee

Phyllis McCallum

Date: September 19, 2024

To: Park Board Commissioners

From: Jason Barron, Parks Director

Subject: FY24 Commissioners Fund (430) Recommended Budget

Background

The Park Board manages the endowment funds, donations, and other distributions known as the Commissioners Fund, on an annual basis in the same manner the General Fund is budgeted. The Commissioners Fund budget is developed by analyzing the actual revenues collected in prior years, generating revenue forecasts for the year, and evaluating every budgeted line-item request for cost justification, which includes a historical spending analysis.

Commissioners Fund FY24 Recap

The starting balance for the Commissioners Fund on July 1, 2023, was \$3,998,846. For FY 24, the Park Board approved the Commissioners Fund Budget of \$2,427,501.

In FY24, the Commissioners Fund received \$1,680,736 in revenue, distributions, donations from the Parks Foundation, Greater Cincinnati Foundation, Krohn Gift Shop Revenue, and Piatt Park Support. Endowment funds that have required distributions disbursed \$380,000 in FY24. Endowments without required distributions did not disburse funds in 2024.

Revenue Source	FY24 Projected	FY 24 Actual	FY25 Projected
Krohn Gift Shop Revenue	\$250,000	\$229,004	\$250,000
Cincinnati Parks Foundation - Investment Revenue	\$96,664	\$95,671	\$196,774
Cincinnati Parks Foundation - Capital Support	\$0	\$359,790	\$395,348
Cincinnati Parks Foundation - Operational Support	\$44,150	\$109,623	\$75,919
Entities Supporting Piatt Park	\$27,319	\$1,281	\$0
Greater Cincinnati Foundation	\$67,781	\$505,368	\$403,941
	\$485,914	\$1,300,736	\$1,321,981
Endowment Distributions - required	\$416,686	\$380,000	\$380,000
Fleischmann Distribution			\$48,817
	\$902,600	\$1,680,736	\$1,750,798

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In FY24, Parks spent \$1,779,291 of the approved Commissioners Fund Budget producing an FY24 ending balance of \$4,138,796, an increase of \$139,949 of the FY23 ending balance. However, the budgeted FY24 salary reimbursements of \$629,036 were not completed due to an administrative error. With approval, those budgeted FY24 salary reimbursements will be completed in the beginning of FY25, producing an FY24 ending balance of \$3,509,760, or \$489,086 less than the FY23 ending Balance.

Additionally, in September of 2023, the Commissioners approved a disbursement of \$240,000 from the Fleischmann restricted fund for a renovation project and the annual maintenance of Fleischmann Gardens. The FY25 maintenance contract for Fleischmann Gardens will be \$47,817.

Commissioners Fund - Operations FY25 Recommended Budget

The FY24 approved budget was \$2,427,501. The following table shows a comparison of FY24 budget-to-actual as well as the proposed FY25 budget. As noted above, the FY24 salary reimbursements were not completed until FY25 but have been reflected in the FY24 Actual Spend column below. A portion of the tax liability for FY24 was paid after the close of the fiscal year, therefore the FY24 spend does not reflect a full year's worth of taxes. The FY25 staff recommended budget for operational expenses is \$2,541,220. The FY25 budget is \$113,719 more than FY24, reflecting inflationary adjustments to support operational needs and \$90,000 of one-time expenses.

Expense Type	FY24 Budget	FY24 Actual		FY25 Budget	FY24 to FY25
		Spend	FY24 Variance		Budget Difference
Advertising	\$7,000	\$18,428	\$11,428	\$18,797	\$11,797
Auto & Truck Expense*	0	51,588	51,588	52,619	52,619
IT	20,000	39,365	19,365	40,152	20,152
Professional Services	424,000	449,980	25,980	520,979	96,979
Utilities*	0	36,390	36,390	0	0
Travel & Training	20,000	6,885	(13,115)	15,000	(5,000)
Supplies	1,216,765	1,080,687	(136,078)	1,130,301	(86,464)
Fuel*	0	20,018	20,018	20,419	20,419
Taxes	25,000	15,362	(9,638)	25,000	0
Rentals	50,700	50,232	(468)	51,236	536
Salaries**	629,036	629,036	0	641,617	12,581
Subscriptions	30,000	10,356	(19,644)	20,000	(10,000)
Equipment	5,000	0	(5,000)	5,100	100
	\$2,427,501	\$2,408,327	(\$19,174)	\$2,541,220	\$113,719

* FY24 budget did not reflect this breakout. These items were absorbed by other categories, however for FY25 and beyond, the categories will be reported separately to match the coding used in the Cincinnati Financial System to provide continuity of reporting methodology.

**Salary reimbursements for FY24 were not completed until FY25 due to an administrative error but are reflected here in the correct fiscal year.

Key Adjustments:

			FY24 to FY25 Budget	
Expense Type	FY24 Budget	FY25 Budget	Difference	Notes
Professional Services	\$424,000	\$520,979	\$96,979	2% inflationary adjustment + \$62,000 for Krohn floor polishing and pond cleaning
Travel & Training	20,000	15,000	(5,000)	Spending has been less than budgeted, 2025 budget adjusted down to reflect this
Supplies*	1,216,765	1,130,301	(86,464)	2% inflationary adjustment + \$28,000 in one time expenses for Mt. Echo bathrooms, arboretum trellis and irrigation
Taxes	25,000	25,000	0	2024 levels are below budget due to payment timing, therefore 2025 levels kept at 2024 budgeted amounts
Subscriptions	30,000	20,000	(10,000)	Spending has been less than budgeted, 2025 budget adjusted down to reflect this

*Supplies Expense is indicating a decrease from FY24 to FY25 despite additional one-time items and inflationary adjustments due to recategorization of expense types previously included in the Supplies Expense (Auto & Truck, Fuel, and Equipment Expenses).

Recommendation

Staff recommends the Board to approve the budgeted FY24 salary reimbursements of \$629,036 be completed in FY25.

Staff recommends a disbursement of \$47,817 from the Fleischmann restricted fund for the FY25 maintenance contract of Fleischmann Gardens.

Staff recommends approval of the Commissioners Fund FY24 operations budget in the amount of \$2,541,220.

Cincinnati Park Board

Attachment A - Revenue, Distributions, and Donations Detail

Type	FY24 Projected	FY 24 Actual	FY25 Projected	Notes
Krohn Gift Shop	\$250,000	\$229,004	\$250,000	Gift Shop Sales
Cincinnati Parks Foundation - Investment	\$914	\$914	\$914	Alms Endowment
Cincinnati Parks Foundation - Investment	\$1,340	\$1,340	\$1,340	Trailside Endowment
Cincinnati Parks Foundation - Investment	\$1,750	\$4,200	\$4,200	Diggs Fountain Endowment
Cincinnati Parks Foundation - Investment	\$3,526			Smale Anniversary Garden Endowment
Cincinnati Parks Foundation - Investment	\$19,134	\$19,134	\$19,134	Women's Community Endowment
Cincinnati Parks Foundation - Investment	\$35,000	\$35,083	\$35,529	Drackett Endowment (Ault Park)
Cincinnati Parks Foundation - Investment	\$35,000	\$35,000	\$35,000	Oliver Endowment (Smale Riverfront)
Cincinnati Parks Foundation - Investment			\$100,657	Investment Interest
Cincinnati Parks Foundation - Capital		\$73,850		Smale Tank Repairs
Cincinnati Parks Foundation - Capital		\$220,000		Lytle Park Comfort Station
Cincinnati Parks Foundation - Capital		\$16,000	(\$16,000)	Smale Electrical Panels*
Cincinnati Parks Foundation - Capital		\$44,550		Burnet Woods Dog Park Design
Cincinnati Parks Foundation - Capital		\$5,390		Wolf Statue
Cincinnati Parks Foundation - Capital			\$19,000	California Woods Sugar Shack
Cincinnati Parks Foundation - Capital			\$107,348	Mt Airy Bike Skills Course
Cincinnati Parks Foundation - Capital			\$23,750	Brumm Arbor Restoration
Cincinnati Parks Foundation - Capital			\$261,250	Glenway Park Improvements
Cincinnati Parks Foundation - Operational			\$10,100	Drake Park Tree Maintenance
Cincinnati Parks Foundation - Operational	\$24,150	\$24,150		Glenway Park Invasive Removal
Cincinnati Parks Foundation - Operational		\$90		Caldwell Hike
Cincinnati Parks Foundation - Operational		\$350		Anonymous Donation - Where needed most
Cincinnati Parks Foundation - Operational		\$500		Annual Fund - Thomas and Mary Clare Brennan Family Fund
Cincinnati Parks Foundation - Operational		\$28,600		Krohn Shows
Cincinnati Parks Foundation - Operational		\$40,000		Carter's Grove plant & Landscaping
Cincinnati Parks Foundation - Operational	\$3,500		\$2,520	Summer Camp tuition fees
Cincinnati Parks Foundation - Operational	\$10,000	\$9,500	\$1,100	Explore Nature Busing
Cincinnati Parks Foundation - Operational	\$6,500	\$6,433	\$6,709	Liberty Gardens
Cincinnati Parks Foundation - Operational			\$2,000	Reduced/Waived Program Fees
Cincinnati Parks Foundation - Operational			\$14,250	Flower Pot Program - 2023 (Obrienville, Hyde Park, Mt Lookout, Grandin, Torrence)
Cincinnati Parks Foundation - Operational			\$9,500	Caldwell Invasives
Cincinnati Parks Foundation - Operational			\$15,000	Additional Security at Riverfront Parks
Cincinnati Parks Foundation - Operational			\$6,000	Ault Park July 4th Event - supporting costs reimbursement
Cincinnati Parks Foundation - Operational			\$8,740	LaBoiteaux Wood ongoing endowment
Entities Supporting Platt Park	\$27,319	\$1,281		
GCF - P&G Stage Current Year Payment	\$41,062	\$41,062	\$41,904	P&G Pavilion Fund
GCF - P&G Stage Prior Year Payment		\$45,110	--	P&G Pavilion Fund
GCF - Sawyer Point		\$199,750	\$206,267	Bicentennial Commons Maintenance
GCF - City Gard Cent Pky	\$7,200	\$6,428	\$7,000	Central Parkway islands
GCF - City Gard Ft Wash	\$8,700	\$7,829	\$8,000	Fort Washington Way
GCF - City Gard TorrPky	\$3,600	\$3,306		Torrence Parkway
GCF - Mt Storm Trees	\$2,919	\$3,010		Mt Storm Tree Improvements
GCF - PBV	\$1,500			PBV**
GCF - Vasey	\$2,800			Vasey**
GCF - Jane E Wagner				Jane E. Wagner - Pending review with GCF
GCF - Mt Adams Hill Garden		\$356		Mt Adams Hill Garden - Pending review with GCF
GCF - Gateway Sculpture Project		\$192,500	\$140,770	Gateway Sculpture submitted January 2024
GCF - Mt Airy Arboretum		\$6,017		Seasonal Worker Support
Total	\$485,914	\$1,300,736	\$1,321,981	
Endowment Distributions				
Fifth Third Bank - Hauck Trust Fountain Square	\$100,000	\$100,000	\$100,000	
Fifth Third Bank - Hauck Trust Sooty Acres	\$30,000	\$30,000	\$30,000	
Fifth Third Bank - Helen Meyer	\$250,000	\$250,000	\$250,000	
Fleischman Restricted				
Geier				
Drabner				
Fleischman unrestricted	\$36,686			
Bettman				
Levy Clock				
Miles-Edward				
Total	\$416,686	\$380,000	\$380,000	
Overall Total	\$902,600	\$1,680,736	\$1,701,981	

*Smale Electrical Panels project was deferred so the funds will be returned to the foundation for distribution at a later date.

**PBV and Vasey funds require a distribution request from Parks. This was not completed in the transition between CFOs for FY24.

FY2025

Attachment B - Commissioners Fund Operations Budget Detail

Operations Administration									
DESCRIPTION	FUNDING SOURCE	Purpose	Fund	Dept	Bureau	Line	2024 Budget	2025 Budget	Variance
Travel/ Training	Admin (1001)	Unrestricted	430	202	1001	M2150	\$ 20,000	\$ 15,000	\$ (5,000)
Hort Supplies	Meyer (1059)	Unrestricted	430	202	1059	M2151	\$ -	\$ -	\$ -
Professional Services	Krohn (3137)	Unrestricted	430	202	3137	M2152	\$ 150,000	\$ 215,000	\$ 65,000
Supplies	Meyer (1059)	Unrestricted	430	202	1059	M2153	\$ 39,150	\$ 20,423	\$ (18,727)
Supplies	Drabner (1027)	Unrestricted	430	202	1027	M2154	\$ 35,000	\$ 35,700	\$ 700
Rental	Fleischmann (3033)	Unrestricted	430	202	3033	M2155	\$ 43,200	\$ 43,586	\$ 386
Carousel Payment	Meyer (1059)	Unrestricted	430	202	1001	M2157	\$ -	\$ -	\$ -
Total							\$ 287,350	\$ 329,709	\$ 42,359
Waterfront Parks									
DESCRIPTION	FUNDING SOURCE	Purpose	Fund	Dept	Bureau	Line	2024 Budget	Adjusted Budget	Variance
Supplies	Waterfront Parks (2082)	Restricted	430	202	2082	M2158	\$ 30,000	\$ 30,600	\$ 600
Total							\$ 30,000	\$ 30,600	\$ 600
Operations East									
DESCRIPTION	FUNDING SOURCE	Purpose	Fund	Dept	Bureau	Line	2024 Budget	Adjusted Budget	Variance
Supplies	City Gard Torr Pky (3017)	Restricted	430	202	3017	M2162	\$ 4,500	\$ 4,590	\$ 90
Fleischmann Maintenance	Fleischmann (3033)	Restricted	430	202	3033	M2163	\$ 50,000	\$ 51,000	\$ 1,000
Geier Espionage Maintenance	Sooty Acres (3276)	Unrestricted	430	202	3276	M2165	\$ 10,000	\$ 10,200	\$ 200
Hort Supplies	Ault Park (3007)	Restricted	430	202	3007	M2169	\$ 10,000	\$ 10,200	\$ 200
Maintenance Contract	Admin (1001)	Unrestricted	430	202	1001	M2170	\$ 66,500	\$ 67,830	\$ 1,330
Hort Supplies	Eden (1030)	Restricted	430	202	1030	M2172	\$ 5,000	\$ 5,100	\$ 100
Hort Supplies	Meyer (1059)	Unrestricted	430	202	1059	M2173	\$ 75,000	\$ 76,500	\$ 1,500
Hort Supplies	Sooty Acres (3276)	Unrestricted	430	202	3276	M2174	\$ 24,000	\$ 24,480	\$ 480
Burnet Woods Lake Mgmt	Meyer (1059)	Unrestricted	430	202	1059	M2177	\$ 4,000	\$ 4,080	\$ 80
Total							\$ 249,000	\$ 253,980	\$ 4,980
Storeroom									
DESCRIPTION	FUNDING SOURCE	Purpose	Fund	Dept	Bureau	Line	2024 Budget	Adjusted Budget	Variance
Supplies	Meyer (1059)	Unrestricted	430	202	1059	M2178	\$ 65,000	\$ 66,300	\$ 1,300
Total							\$ 65,000	\$ 66,300	\$ 1,300

Operations Krohn and Warder									
DESCRIPTION	FUNDING SOURCE	Purpose	Fund	Dept	Bureau	Line	2024 Budget	Adjusted Budget	Variance
Krohn Gift Shop Purchases	Krohn (3137)	Restricted	430	202	3137	M2180	\$ 120,000	\$ 122,400	\$ 2,400
Krohn Gift Shop Sales Tax	Krohn (3137)	Restricted	430	202	3137	M2181	\$ 25,000	\$ 25,000	\$ -
Krohn Support	Krohn (3137)	Restricted	430	202	3137	M2182	\$ 75,000	\$ 76,500	\$ 1,500
Floral Shows	Show Sponsors (3175)	Restricted	430	202	3175	M2186	\$ 100,000	\$ 102,000	\$ 2,000
Hort Supplies - Warder Money	Krohn (3137)	Restricted	430	202	3137	M2187	\$ 95,000	\$ 96,900	\$ 1,900
Total							\$ 415,000	\$ 422,800	\$ 7,800
Central Parkways									
DESCRIPTION	FUNDING SOURCE	Purpose	Fund	Dept	Bureau	Line	2024 Budget	Adjusted Budget	Variance
Hort Supplies	City Gard Cent Pky (3214)	Restricted	430	202	3214	M2191	\$ 5,000	\$ 5,100	\$ 100
Hort Supplies	Lytle Park (3257)	Restricted	430	202	3257	M2192	\$ 40,000	\$ 40,800	\$ 800
Hort Supplies	Piatt Park (3267)	Restricted	430	202	3267	M2194	\$ 17,000	\$ 17,340	\$ 340
Total							\$ 62,000	\$ 63,240	\$ 1,240
Operations West									
DESCRIPTION	FUNDING SOURCE	Purpose	Fund	Dept	Bureau	Line	2024 Budget	Adjusted Budget	Variance
Hort Supplies	Meyer (1059)	Unrestricted	430	202	1059	M2185	\$ 20,000	\$ 20,400	\$ 400
Hort Supplies	Admin (1001)	Unrestricted	430	202	1001	M2198	\$ 65,000	\$ 94,300	\$ 29,300
Maintenance Contract	Admin (1001)	Unrestricted	430	202	1001	M2199	\$ 60,000	\$ 61,200	\$ 1,200
Total							\$ 145,000	\$ 175,900	\$ 30,900
Arboretum									
DESCRIPTION	FUNDING SOURCE	Purpose	Fund	Dept	Bureau	Line	2024 Budget	Adjusted Budget	Variance
Hort Supplies	Vasey (4080)	Restricted	430	202	4080	M2184	\$ 2,850	\$ 2,907	\$ 57
Hort Supplies	Wilson Wildflower fund	Restricted	430	202	1062	M2201	\$ 475	\$ 485	\$ 10
Total							\$ 3,325	\$ 3,392	\$ 67
Facility Maintenance									
DESCRIPTION	FUNDING SOURCE	Purpose	Fund	Dept	Bureau	Line	2024 Budget	Adjusted Budget	Variance
Supplies	Drabner (1027)	Unrestricted	430	202	1027	M2206	\$ -	\$ -	\$ -
Rental	Meyer (1059)	Unrestricted	430	202	1059	M2207	\$ 7,500	\$ 7,650	\$ 150
Supplies	Meyer (1059)	Unrestricted	430	202	1059	M2208	\$ 30,000	\$ 30,600	\$ 600
Professional Services	Meyer (1059)	Unrestricted	430	202	1059	M2209	\$ 20,000	\$ 20,400	\$ 400
Total							\$ 57,500	\$ 58,650	\$ 1,150

Land Management									
DESCRIPTION	FUNDING SOURCE	Purpose	Fund	Dept	Bureau	Line	2024 Budget	Adjusted Budget	Variance
Supplies	Meyer (1059)	Unrestricted	430	202	1059	M2210	\$ 20,000	\$ 20,400	\$ 400
Supplies	Dornette - Mt Airy Hiking	Restricted	430	202	3126	M2213	\$ 25,000	\$ 25,500	\$ 500
Supplies	Greeno (1040)	Restricted	430	202	1040	M2214	\$ 10,000	\$ 10,200	\$ 200
Burnet W/ds	Ruth Wagner (Burnet W/ds - 1071)	Restricted	430	202	1071	M2219	\$ 75,000	\$ 76,500	\$ 1,500
Mt Storm Project	Parks Foundation	Restricted	430	202	1062	M2200	\$ 15,000	\$ 15,300	\$ 300
Park Signs	Meyer (1059)	Unrestricted	430	202	1059	M2224	\$ 30,000	\$ 30,600	\$ 600
Total							\$ 175,000	\$ 178,500	\$ 3,500
Interstate Greenspace									
DESCRIPTION	FUNDING SOURCE	Purpose	Fund	Dept	Bureau	Line	2024 Budget	Adjusted Budget	Variance
Beautification Contractual	Fount Sq-Hauck (3234)	Restricted	430	202	3234	M2246	\$ 50,000	\$ 51,000	\$ 1,000
Supplies	Fount Sq-Hauck (3234)	Restricted	430	202	3234	M2247	\$ 10,000	\$ 10,200	\$ 200
Hort Supplies	City Gard Fort Wash (3215)	Restricted	430	202	3215	M2248	\$ 23,200	\$ 23,664	\$ 464
Hort Supplies	Smale Anniversary Garden	Restricted	430	202	8048	M2249	\$ 3,500	\$ 3,570	\$ 70
Total							\$ 86,700	\$ 88,434	\$ 1,734
Smale Riverfront Park									
DESCRIPTION	FUNDING SOURCE	Purpose	Fund	Dept	Bureau	Line	2024 Budget	Adjusted Budget	Variance
Hort Supplies	Smale Riverfront Park	Restricted	430	202	8047	M2250	\$ 54,000	\$ 55,080	\$ 1,080
Total							\$ 54,000	\$ 55,080	\$ 1,080
Parks Entertainment									
DESCRIPTION	FUNDING SOURCE	Purpose	Fund	Dept	Bureau	Line	2024 Budget	Adjusted Budget	Variance
Sawyer Point P&G Pavilion	Waterfront Parks (2082)	Restricted	430	202	2082	M2254	\$ 40,000	\$ 40,800	\$ 800
Concerts & Events	Using 2082 because Unit not seutp in CFS	Restricted	430	202	2082	M2253	\$ 14,590	\$ 14,882	\$ 292
Total							\$ 54,590	\$ 55,682	\$ 1,092
202 Total							\$ 1,684,465	\$ 1,782,266	\$ 97,801

Financial Services									
DESCRIPTION	FUNDING SOURCE		Fund	Dept	Bureau	LKNE	2024 Budget	2025 Budget	Variance
Staff Reimbursement	Bettman (2009)	Restricted	430	203	2009	M2256	\$ 150,000	\$ 153,000	\$ 3,000
Staff Reimbursement	Ault Park (3007)	Restricted	430	203	3007	M2257	\$ 25,000	\$ 25,500	\$ 500
Staff Reimbursement	PBV Gardens (2066)	Restricted	430	203	2066	M2258	\$ 80,848	\$ 82,465	\$ 1,617
Staff Reimbursement	Krohn (3137)	Restricted	430	203	2037	M2261	\$ 20,000	\$ 20,400	\$ 400
Staff Reimbursement	Piatt Park (3267)	Restricted	430	203	3267	M2262	\$ 10,000	\$ 10,200	\$ 200
Staff Reimbursement	R - Arboretum	Restricted	430	203			\$ 10,877	\$ 11,094	\$ 218
Staff Reimbursement	R - Piatt & Court Street (used for mainteance between Vine and Walnut)	Restricted	430	203			\$ 10,000	\$ 10,200	\$ 200
Staff Reimbursement	R - Hyde Park Square	Restricted	430	203			\$ 11,071	\$ 11,293	\$ 221
Staff Reimbursement	Greeno (1040)	Restricted	430	202	1040		\$ 100,000	\$ 102,000	\$ 2,000
Staff Reimbursement	R - Lazarus Garden	Restricted	430	203			\$ 10,000	\$ 10,200	\$ 200
Staff Reimbursement	Waterfront Parks (2082)	Restricted	430	202	2082		\$ 150,000	\$ 153,000	\$ 3,000
Staff Reimbursement								\$ -	
Staff Reimbursement	Multiple Small Restricted Funds	Restricted	430	203		M2263	\$ 21,240	\$ 21,665	\$ 425
Staff Reimbursement	City Gard Torr Pky (2017)	Restricted	430	203	2017	M2264	\$ 10,000	\$ 10,200	\$ 200
Staff Reimbursement	City Gard Cent Pky (3214)	Restricted	430	203	3214	M2265	\$ 20,000	\$ 20,400	\$ 400
IT Software & Equipment	Meyer (1059)	Unrestricted	430	202	1059	M2269	\$ 20,000	\$ 20,400	\$ 400
Office Supplies	Meyer (1059)	Unrestricted	430	202	1059	M2270	\$ 5,000	\$ 5,100	\$ 100
Total							\$ 654,036	\$ 667,116	\$ 13,081
Business Services									
DESCRIPTION	FUNDING SOURCE		Fund	Dept	Bureau	Line	2024 Budget	2025 Budget	Variance
Marketing /Media	Meyer (1059)	Unrestricted	430	202	1059	M2272	\$ 30,000	\$ 20,000	\$ (10,000)
Equipment	Meyer (1059)	Unrestricted	430	203	1059	M2273	\$ 5,000	\$ 5,100	\$ 100
Marketing of Inner City	Fleischmann (2033)	Unrestricted	430	203	2033	M2274	\$ 7,000	\$ 18,797	\$ 11,797
Volunteer Supplies	Admin (1001)	Unrestricted	430	202	1001	M2278	\$ 18,000	\$ 18,360	\$ 360
Total							\$ 60,000	\$ 62,257	\$ 2,257
Nature Education									
DESCRIPTION	FUNDING SOURCE		Fund	Dept	Bureau	Line	2024 Budget	2025 Budget	Variance
Supplies	Bettman (4009)	Restricted	430	203	4009	M2285	\$ 15,500	\$ 15,810	\$ 310
Program Support	Nature Next Door	Restricted	430	203	4100	M2286	\$ 13,500	\$ 13,770	\$ 270
Total							\$ 29,000	\$ 29,580	\$ 580
203 Total							\$ 743,036	\$ 758,953	\$ 15,918
Overall Total							\$ 2,427,501	\$ 2,541,220	\$ 113,719

Attachment C - Cincinnati Parks Total Budget Summary

Expense Type	FY24 Budget	FY25 Budget	Variance
Advertising	\$ 91,166	\$ 40,788	\$ 40,788
Auto & Truck Expense	\$ 422,703	\$ 495,537	\$ 495,537
Bank Fees	\$ 82,152	\$ 62,980	\$ 62,980
Benefits & Taxes	\$ 4,137,754	\$ 4,648,440	\$ 4,648,440
Equipment	\$ 150,567	\$ 56,178	\$ 56,178
Fuel	\$ 139,680	\$ 186,560	\$ 186,560
Insurance	\$ 31,613	\$ 31,310	\$ 31,310
IT	\$ 78,678	\$ 93,782	\$ 93,782
Postage	\$ 3,232	\$ 3,308	\$ 3,308
Professional Services	\$ 2,946,833	\$ 3,068,548	\$ 3,068,548
Rentals	\$ 73,432	\$ 315,199	\$ 315,199
Salaries	\$ 10,973,991	\$ 12,106,010	\$ 12,106,010
Supplies	\$ 2,803,211	\$ 1,459,621	\$ 1,459,621
Taxes	\$ 680,390	\$ 979,741	\$ 979,741
Travel & Training	\$ 65,047	\$ 47,764	\$ 47,764
Utilities	\$ 959,701	\$ 947,784	\$ 947,784
	\$ 23,640,150	\$ 24,543,550	\$ 24,543,550



BOARD OF PARK

COMMISSIONERS

Molly North
President

Kirk Lee
Vice President

Susan F. Castellini

Phyllis McCallum

John E. Neyer

Jason Barron
Director

Jenny Mobley
Deputy Director

Crystal Courtney
Division Manager

Herta Fairbanks
Division Manager

Joel Gross
Division Manager

Rocky Merz
Division Manager

Date: September 19, 2024

To: Board of Park Commissioners

From: Jason Barron

Subject: Authorization to Execute and File an Application for OPWC Clean Ohio Green Space Conservation Program for the Mt. Adams Greenspace Land Acquisition Project

Background

In 2021, Cincinnati Parks agreed to preserve approximately one third of an acre of green space in Mt. Adams, at the corner of Parkside Place and Martin Drive, if the opportunity became available. A Mt. Adams neighborhood community has raised \$90,000 in collaboration with the Cincinnati Parks Foundation to preserve the green space. In addition, the State of Ohio, through the Ohio Public Work Commission Clean Ohio Green Space Conservation Program, offers grants to protect conservation properties, that are publicly accessible, in perpetuity. The grant is due September 20 and requires a 25% local match, which Cincinnati Parks anticipates will be provided through donations.

Description

Board approval is needed to pass a resolution documenting authorization for filing a Clean Ohio Green Space Conservation Program grant application for the Mt. Adams Greenspace Land Acquisition Project and committing to providing public access to the space once acquired. The Cincinnati Parks Foundation has raised \$90,000 for this project to be used as a match towards this application.

Recommendation

Staff respectfully requests the Board approve acceptance of the attached resolution to file a Clean Ohio Green Space Conservation Program grant application with the Ohio Public Works Commission.

Attachment A – Resolution of Authorization to Execute and File an Application for OPWC Clean Ohio Green Space Conservation Program for the Mt. Adams Greenspace Land Acquisition Project

Cincinnati Board of Park Commissioners
Resolution of Authorization to Execute and File an Application
OPWC Clean Ohio Green Space Conservation Program
Mt. Adams Greenspace Land Acquisition Project
September 19, 2024

WHEREAS, the State of Ohio through the Ohio Public Works Commission offers grants to protect conservation properties in perpetuity; and

WHEREAS, The Clean Ohio Green Space Conservation Program provides \$37.5 million in grants annually and is dedicated to environmental conservation including acquisition of green space and the protection and enhancement of river and stream corridors; and

WHEREAS, The City of Cincinnati is located within the area covered by the District 2 Natural Resource Assistance Counsel (NRAC) and is an eligible applicant; and

WHEREAS, the grant funds would allow Cincinnati Parks to fund the Mt. Adams Greenspace Land Acquisition Project, which would preserve approximately one third of an acre of greenspace for public access at the corner of Parkside Place and Martin Drive; and

WHEREAS, the grant deadline is September 20, 2024, and the grant requires 25 percent local matching funds, which Cincinnati Parks anticipates will be provided through non-City funding sources, including donations from the Cincinnati Parks Foundation; now, therefore,

BE IT RESOLVED by the Cincinnati Board of Park Commissioners:

Section 1: The Grant Writer is hereby authorized to apply to the Ohio Public Works Commission for Clean Ohio Green Space Conservation Program funds.

Section 2: The Director is authorized to enter into any agreements as may be necessary and appropriate for obtaining financial assistance through the OPWC Clean Ohio Green Space Conservation Program.

Passed: September 19, 2024

Jason Barron, Parks Director

Molly North, Board President



Date: September 19, 2024

To: Board of Park Commissioners

From: Jason Barron, Director

Subject: Grant Application/Acceptance – Parks Foundation Grants

BOARD OF PARK

COMMISSIONERS

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President

Kick Lee
Vice President

Susan F. Castellini

Phyllis McCallum

John E. Neyer

Jason Barron
Director

Jenny Mobley
Deputy Director

Crystal Courtney
Division Manager

Herta Fairbanks
Division Manager

Joel Gross
Division Manager

Rocky Merz
Division Manager

Background

The Cincinnati Parks Foundation receives contributions to fund a variety of programs and improvements. For the Park Board to utilize those funds, staff will apply for funds through a grant application process.

Description

Staff is requesting approval to apply for and accept the grants listed below from the Cincinnati Parks Foundation:

1. **\$5,000 – Kennedy Park Wetland Delineation**
Grant will provide the Division of Natural Resources with the ability to analyze the current boundary, make up, and management plan of the wetland at Kennedy Heights Park
2. **\$10,500 – Lytle Park Bronze Sign Re-creation and Re-installation**
Grant will provide funds to recast an historically accurate mold of a stolen bronze sign base in Lytle Park, allowing reproduction of the base to replace and reinstall stolen and damaged signs throughout Parks
3. **\$115,000 – Sawyer Point Pickleball Shade Canopy**
Grant will be used to support the installation of a shade canopy system for the Sawyer Point Pickleball Courts.

Recommendation

Staff respectfully requests the Board approve the application and acceptance of grant funds made to the Cincinnati Parks Foundation in an amount up to \$130,500.



BOARD OF PARK

COMMISSIONERS

Molly North
President

Kick Lee
Vice President

Susan F. Castellini

Phyllis McCallum

John E. Neyer

Jason Barron
Director

Jenny Mobley
Deputy Director

Crystal Courtney
Division Manager

Herta Fairbanks
Division Manager

Joel Gross
Division Manager

Rocky Merz
Division Manager

950 Eden Park Drive
Cincinnati, Ohio 45202
Phone (513) 352-4080
Fax (513) 352-4096
www.cincinnatiiparks.com

Date: September 19, 2024

To: Board of Park Commissioners

From: Jason Barron, Director

Subject: Grant of Easement – 211 Woodward St. (Duke Energy Ohio, Inc.)

Background

This Grant of Easement has been requested by Duke Energy Ohio, Inc. to access, operate and maintain electric utility equipment installed as part of the 2022 – 2023 expansion of Ziegler Park.

Description

The City of Cincinnati is requesting the Park Board approve a Grant of Easement to allow Duke to access, maintain, and operate electric utility equipment installed at 211 Woodward St., said easement being an area of approximately 16 feet in depth and 30 feet in width adjacent to Hanover St. (formerly Yukon St.).

Recommendation

Staff respectfully requests the Board approve the Grant of Easement to allow Duke access to utility equipment located at 211 Woodward St. (Hamilton County, Ohio Auditor's Parcel No.: 075-0004-0054-90).

Attachment – Grant of Easement: 211 Woodward St.

[SPACE ABOVE FOR RECORDER'S OFFICE]

Contract No: _____

Property: 211 Woodward St.
Hamilton County, Ohio Auditor's Parcel No.: 075-0004-0054-90

GRANT OF EASEMENT

In consideration of the sum of Thirteen Thousand Two Hundred Dollars (\$13,200.00) and other good and valuable consideration, the receipt of which is hereby acknowledged, the **CITY OF CINCINNATI**, an Ohio municipal corporation, with an address of 801 Plum Street, Cincinnati, OH 45202 ("**Grantor**"), hereby grants and conveys to **DUKE ENERGY OHIO, INC.**, an Ohio corporation, with a mailing address of 139 East Fourth Street, Cincinnati, OH 45202, its successors and assigns ("**Grantee**"), a perpetual and non-exclusive easement, to construct, reconstruct, operate, patrol, maintain, repair, replace, relocate, add to, modify, and remove electric and communication lines including, but not limited to, all necessary supporting structures, and all other appurtenant apparatus and equipment for the transmission and distribution of electrical energy, and for technological purposes related to the operation of the electric facilities and for the communication purposes of Incumbent Local Exchange Carriers (collectively, "**Facilities**") in, upon, along, under, through and across certain real property described in:

Situate in the City of Cincinnati, in the County of Hamilton and State of Ohio, more particularly described in the attached Exhibit A and being a part of the same property acquired by the City of Cincinnati by the deeds and judgements described in Deed Book 3685, Page 689 Hamilton County Records (hereinafter referred to as "**Property**").

Said easement being an area of approximately 16 feet in depth and 30 feet in width adjacent to Hanover St. (formerly Yukon St.) as depicted in Exhibit B attached hereto (hereinafter referred to as the "**Easement Area**").

The City Manager, in consultation with Cincinnati Park Board, has determined that (i) the easement will not have an adverse effect on the City's retained interest in the Property; (ii) the easement will not unreasonably interfere with the City's use of the Property for recreation and other municipal purposes; (iii) granting the easement will not have an adverse effect on the usability or accessibility of any existing facilities on, under, or above the Property; and (iv) granting the easement without competitive bidding is in the best interest of the City because it is necessary for the transmission and distribution of electrical energy and the provision of telecommunication services, and as a practical matter, no one other than Grantee, a public utility, would have any use for the easement.

The City's Real Estate Services Division has determined by a professional appraisal that the approximate fair market value of the easement is \$13,200.00 which Grantee has deposited with the City Treasurer.

Granting the easement will not result in the change in the use of the Property; therefore, City Planning Commission approval of the easement is unnecessary.

Cincinnati City Council authorized the execution of this *Grant of Easement* by Ordinance No. 11-2023, passed on January 11, 2023.

The respective rights and duties of Grantor and Grantee under this *Grant of Easement* are as follows:

1. Access. Grantee shall have the right of ingress and egress over the Easement Area and the Property using existing lanes, driveways and adjoining public roads where practical as determined by Grantee.
2. Existing Utility Lines. Grantee acknowledges that there may be existing easements, utility lines, and related facilities in the vicinity of the Easement Area ("**Existing Utility Lines**"). The rights herein granted to Grantee are subject and subordinate to the rights of public utility providers with Existing Utility Lines to enter upon the Easement Area from time to time to construct, install, operate, maintain, repair, reconstruct, reinstall, remove, replace, and abandon utility lines, and related facilities within and around the vicinity of the Easement Area. Grantee shall ensure that such Existing Utility Lines and facilities are not disturbed and that the utility providers' access to such facilities is not denied or unreasonably impaired. Grantee shall be responsible for paying all costs related to the repair of any and all damage to Existing Utility Lines caused by Grantee, its agents, employees, contractors, and subcontractors.
3. Clearing of Vegetation. Grantee shall have the right to cut down, clear, trim, remove, and otherwise control any trees, shrubs, overhanging branches, and other vegetation (collectively, "**Vegetation**") within the Easement Area. Grantee shall also have the right to cut down, clear, trim, remove and otherwise control any Vegetation that is adjacent to the Easement Area but only to the extent such Vegetation may endanger the safe or reliable operation of the Facilities as reasonably determined by Grantee. Following Grantee's removal of Vegetation, Grantee shall use best efforts to leave the Easement Area and Property in a safe and sightly condition. By way of example and not limitation, if Grantee cuts down trees, Grantee will completely remove the tree stumps or cut them off level to the ground, and if Grantee damages grassy areas, Grantee will either re-sod or re-seed the damaged area.
4. Repair of Damage. Excluding the removal of vegetation, structures, improvements, facilities, and obstructions as provided herein, Grantee, at its expense, shall promptly repair any and all physical damage to the surface area of the Easement Area and any and all damage to the Property resulting from Grantee's exercise of its rights hereunder, including without limitation damage caused by Grantee's employees, agents, contractors and subcontractors. In making such repairs, Grantee shall restore the affected area to a condition that is reasonably close to the condition that the affected area was in immediately prior to the damage. If Grantee does not, in the opinion of Grantor, satisfactorily repair any such damage, Grantor may, within ninety (90) days of discovering such damage, file a claim for such damage with Grantee (a) at 139 East Fourth Street, Cincinnati, OH 45202, Attn: Land Services, or (b) by contacting an authorized Right of Way Services representative of Grantee. Grantee shall not be expected to respond to claims filed thereafter.
5. Grantor's Reserved Rights. Grantor shall have the right to use the Easement Area in any manner that is not inconsistent with the rights granted herein to Grantee. Grantor's and Grantee's use of the Easement Areas shall comply with all applicable laws and codes.
6. No Obstructions. Grantor shall not place, or permit the placement of, any structures, improvements, facilities, or obstructions, within or adjacent to the Easement Area, which may interfere with the exercise of the rights granted herein to Grantee. Grantee shall have the right to remove any such structure, improvement, facility, or obstruction at the expense of Grantor.

7. Easements to Run with the Land. The provisions hereof shall be deemed to "run with the land" and shall inure to the benefit of and be binding upon the parties hereto and their respective successors and assigns. Upon any transfer of the fee simple interest in the Property, the transferor of such interest shall be relieved of all liability and obligations hereunder thereafter accruing, and the transferee shall be deemed to have assumed all such liability and obligations. The rights herein granted to Grantee are subject to any and all existing easements, restrictions and other matters of record affecting the Property.
8. Indemnification. Grantee shall defend indemnify and hold harmless Grantor from and against any claim or action by a third party against Grantor, for personal injury or property damage arising from the exercise by Grantee or an agent of Grantee of the easement and right herein, although caused in part by the negligence of Grantor or an agent of Grantor but excluding the sole negligence or willful misconduct of Grantor or an agent of Grantor; provided, Grantor provides Grantee with timely notice of said claim or action.
9. Coordinated Report Conditions (CR #6-2023) The following additional conditions shall apply:
 - i. None
10. Exhibits. The following exhibit(s) is attached hereto and made a part hereof.
Exhibit A – *Property legal description*
Exhibit B – *Site map*

[Grantor Signature Page Follows]

IN WITNESS WHEREOF, Grantor has caused this Grant of Easement to be signed by its duly authorized representative(s), effective the _____ day of _____, 2024.

CITY OF CINCINNATI,
an Ohio municipal corporation

By: _____

Printed Name: Sheryl M. M. Long

Title: City Manager

STATE OF OHIO)

) ss:

COUNTY OF HAMILTON)

The foregoing instrument was acknowledged before me this 11th day of September, 2024 by Sheryl M. M. Long, the City Manager of the City of Cincinnati, an Ohio municipal corporation, on behalf of the municipal corporation.

Notary Public

My commission expires: 6/29/2028

Approved by:

Jason Barjon
Director, Cincinnati Park Board



AMIRA BEER
Notary Public
State of Ohio
My Comm. Expires
June 29, 2028

Approved as to Form:

Dana M. Zook
Assistant City Solicitor

Certified Date: _____

Fund/Code: _____

Amount: _____

By: _____
Karen Alder, City Finance Director

[Grantee Signature Page Follows]

ACKNOWLEDGED AND ACCEPTED BY:
DUKE ENERGY OHIO, INC.,
an Ohio corporation

By: K. M. Jennings

Printed name: Kevin M. Jennings

Title: Manager, Land Services II

Date: September 10, 2024

STATE OF OHIO)
) ss:
COUNTY OF HAMILTON)

The foregoing instrument was acknowledged before me this 10th day of September, 2024 by Kevin M. Jennings, the Manager, Land Services II of **Duke Energy Ohio, Inc.**, an Ohio corporation, on behalf of the corporation.

ESLIE A SHAW
Notary Public
My commission expires: _____

This instrument prepared by:

City of Cincinnati Law Department
801 Plum Street
Cincinnati, OH 45202



ESLIE A SHAW
Notary Public
State of Ohio
My Comm. Expires
August 15, 2028

For Grantee's Internal Use:
Work Order # 47919163-20

Exhibit A

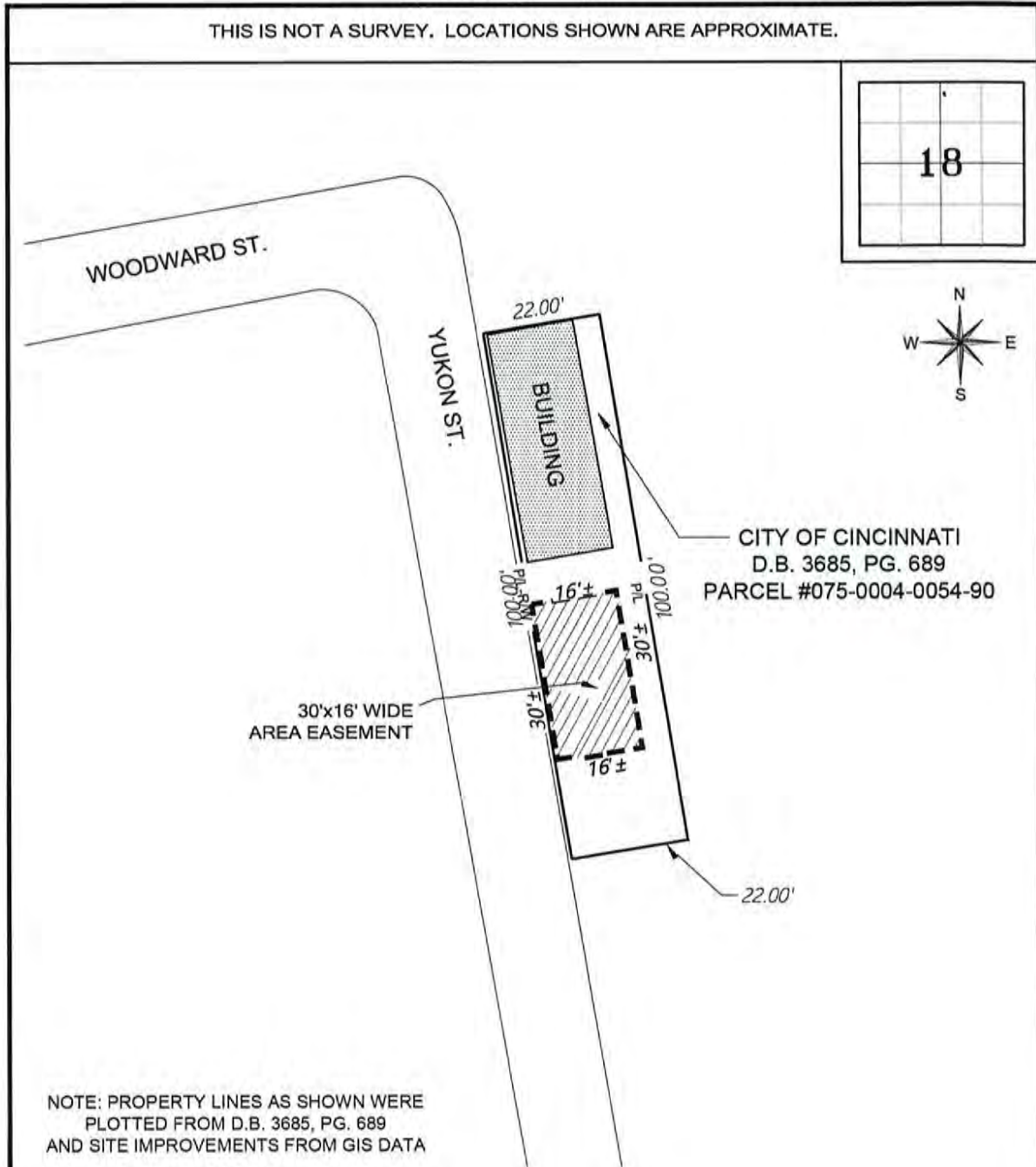
Situate in the City of Cincinnati, in the County of Hamilton and State of Ohio. Being known as 217 Woodward Street and part of out Lot No. 21, more particularly described as follows:

- Commencing at the south side of Woodward Street (formerly Franklin Street) between Main and Sycamore Streets, at the east side of a 20 foot alley called Hanover; running thence southwardly with said alley, 100 feet to an alley; thence eastwardly with the last named alley 22 feet; thence northwardly parallel with the first named alley 100 feet to Woodward Street; thence westwardly along the south line of Woodward Street, 22 feet to the place of beginning.

Being the same premises conveyed to the grantor, herein, by deed recorded in Deed Book 3520, Page 790, Hamilton County, Ohio Records.

EXHIBIT B

THIS IS NOT A SURVEY. LOCATIONS SHOWN ARE APPROXIMATE.



NOTE: PROPERTY LINES AS SHOWN WERE
PLOTTED FROM D.B. 3685, PG. 689
AND SITE IMPROVEMENTS FROM GIS DATA

HAMILTON COUNTY, OHIO

SITE NAME: CITY OF CINCINNATI TOWNSHIP SECTION 18 T-4E, R-1N

	DR. JM	EXHIBIT MAP OF: EASEMENT	
	CK. NPA	EXHIBIT MAP FOR: CITY OF CINCINNATI	
	DATE 2-7-2024	LOCATION WOODWARD ST., CINCINNATI, OH	WO #47919163-20
EXHIBIT 'A'			

Cincinnati Park Board

Financial Presentation – September 2024

BOARD OF PARK COMMISSIONERS

Molly North
Kick Lee
John Neyer

Susan F Castellini
Phyllis McCallum

Jason Barron – *DIRECTOR* Jenny Mobley - *Deputy Director* Rocky Merz - *DIVISION MANAGER*
Crystal Courtney - *DIVISION MANAGER* Joel Gross - *DIVISION MANAGER* Herta Fairbanks - *DIVISION MANAGER*

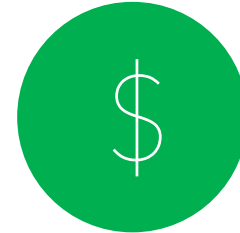
Table of Contents



SUMMARY



EXPENSES



YTD REVENUE



YTD PARK BOARD
FUND BALANCES



YTD PARK BOARD
TRUST BALANCES



FUND PURPOSE

Year to Date Expenses By Expense Type

As of August 31, 2024

Category	YTD Expended	Budget	Target Spend %	Actual Spend %	Variance
Advertising	\$ 23,332	\$ 40,788	15.0%	57%	42.2%
Auto & Truck Expense	\$ 74,358	\$ 495,537	18.3%	15.0%	-3.3%
Bank Fees	\$ 23,884	\$ 62,980	7.3%	37.9%	30.7%
Benefits & Taxes	\$ 798,400	\$ 4,648,440	17.6%	17.2%	-0.5%
Equipment	\$ -	\$ 56,178	0.0%	0.0%	0.0%
Fuel	\$ 40,107	\$ 186,560	19.5%	21.5%	2.0%
Insurance	\$ -	\$ 31,310	0.0%	0.0%	0.0%
IT	\$ 55,977	\$ 93,782	25.9%	59.7%	33.7%
Postage	\$ 444	\$ 3,308	10.5%	13.4%	2.9%
Professional Services	\$ 222,181	\$ 3,068,548	13.6%	7.2%	-6.4%
Rentals	\$ 60,562	\$ 315,199	6.3%	19.2%	12.9%
Salaries	\$ 2,302,157	\$ 12,106,010	15.0%	19.0%	4.0%
Supplies	\$ 288,020	\$ 1,459,621	14.9%	19.7%	4.8%
Taxes	\$ 5,990	\$ 979,741	25.7%	0.6%	-25.1%
Travel & Training	\$ 9,613	\$ 47,764	10.8%	20.1%	9.4%
Utilities	\$ 138,378	\$ 947,784	15.3%	14.6%	-0.7%
	\$ 4,043,405	\$ 24,543,550	13.5%	20.2%	6.7%

Year to Date Expenses by Fund

As of August 31, 2024

Fund Name	Expenses	Budget	Target % Spend^	Actual % Spend	% Variance
General Fund	\$ 2,565,554	\$ 11,556,710	23.5%	22.2%	-1.3%
Stormwater Fund	\$ -	\$ 1,954,020	0.2%	0.0%	-0.2%
Hwy Greenspace (Street Construction Management)	\$ 65,497	\$ 421,230	15.9%	15.5%	-0.4%
Infrastructure Fund (Income Tax-Infrastructure)	\$ 368,762	\$ 1,629,270	13.6%	22.6%	9.0%
Sawyer Point	\$ 90,834	\$ 1,194,630	8.6%	7.6%	-1.0%
Park Donations and Special Activity	\$ 90,048	\$ 1,058,520	16.2%	8.5%	-7.7%
W.M. Ampt Fund (Free Concerts)	\$ 2,150	\$ 17,210	13.5%	12.5%	-1.1%
Groesbeck Fund (endowment)	\$ -	\$ 20,240	13.5%	0.0%	-13.5%
Cincinnati Riverfront Park	\$ 59,598	\$ 1,558,180	13.5%	3.8%	-9.7%
Park Lodge / Pavilion Deposits	\$ 1,270	\$ 271,000	1.4%	0.5%	-1.0%
Krohn Conservatory	\$ 261,836	\$ 1,611,260	7.5%	16.3%	8.7%
Yeatman's Cove Trust	\$ -	\$ -	0.0%	--	--
Urban Forestry	\$ -	\$ 50,500	12.0%	0.0%	-12.0%
Private Endowment	\$ 158,783	\$ -	14.3%	--	--
Forestry Assessment	\$ 379,074	\$ 3,200,780	14.0%	11.8%	-2.1%
	\$ 4,043,405	\$ 24,543,550	11.2%	9.3%	-2.5%

unspent dollars returned to the City

^target increases monthly

Year to Date Revenue

As of August 31, 2024

Fund Description	FY25 Revenue	FY25 Budget	Target % Revenue	Actual % Revenue	% Variance
318 - Sawyer Point	\$240,429	\$648,500	22.8%	37.1%	14.3%
326 - Parks Donations and Special Activity	\$70,049	\$715,250	11.9%	9.8%	-2.1%
329 - Smale Fund	\$230,864	\$1,431,000	16.1%	16.1%	0.0%
330 - Pavilions	\$0	\$282,630	44.7%	0.0%	-44.7%
332 - Krohn	\$403,794	\$1,805,000	4.0%	22.4%	18.4%
Grand Total	\$945,137	\$4,882,380	19.9%	17.1%	-2.8%

Park Board Fund Balances

As of August 31, 2024

Cincinnati Park Board *Fund Balances*

Fund Name	Balance as of	
	7/31/2024	8/31/24
318 Sawyer Point	\$1,289,846	\$1,370,267
326 Park Misc Revenue & Special Activity	\$1,083,603	\$1,047,028
327 WM Ampt Free Concerts	\$24,322	\$22,172
328 Groesbeck Endowment	\$173,596	\$173,596
329 Cincinnati Riverfront Park	\$3,069,755	\$3,173,561
330 Park Lodge/Pavilion Deposits	\$1,844,384	\$1,843,719
332 Krohn Conservatory	\$1,484,781	\$1,535,540
335 Schmidlapp Endowment	\$4,312	\$4,312
403 Yeatman's Cove Park Trust	\$611,709	\$611,709
428 Urban Forestry	\$539,592	\$539,559
430 Parks Private Endowment	\$822,615	\$718,737
706 Ampt Trust	\$126,987	\$128,598
707 Groesbeck Trust	\$38,696	\$38,965
708 Schmidlapp Music	\$50,703	\$50,703
752 Permanent Capital Improvement	\$938,993	\$946,754
792 Forestry Assessment	\$3,885,314	\$3,753,786
Total All Funds	\$15,989,208	\$15,959,006

Park Board

Funds Remaining Available Spend

As of August 31, 2024

Cincinnati Park Board

Available Spend Calculation

Fund Name	August '24 Balance	Remaining Expenses	Remaining Revenue**	Recommend Reserves	Available for Spend Dollars
318 Sawyer Point	\$1,370,267	\$1,103,796	\$515,873	\$450,000	\$332,344
326 Park Donations and Special Activity	\$1,047,028	\$968,472	\$687,343	\$400,000	\$365,900
329 Cincinnati Riverfront Park	\$3,173,561	\$1,498,582	\$1,242,026	\$800,000	\$2,117,005
330 Park Lodge/Pavilion Deposits	\$1,843,719	\$269,730	\$282,630	\$200,000	\$1,656,619
332 Krohn Conservatory	\$1,535,540	\$1,349,424	\$1,602,040	\$700,000	\$1,088,156
403 Yeatman's Cove Park Trust	\$611,709	\$0	\$0	\$500,000	\$111,709
752 Permanent Capital Improvement*	\$946,754	(\$158,783)	\$7,761	\$600,000	\$513,297
Total Available	\$10,528,577	\$5,031,221	\$4,337,674	\$3,650,000	\$6,185,030

*Capital Improvement Budget has not been released yet

**Negative Remaining Revenue balance indicates greater than anticipated revenue

Park Board Endowment Fund Summary

As of August 31, 2024

Fund Name	EO 3rd Qtr	EO 4th Qtr	Jul-24 Balance	Aug-24 Balance
<u>Trustee</u>				
Bettman	\$2,768,422	\$2,794,919	\$2,859,649	\$2,911,431
Drabner	\$1,445,369	\$1,459,107	\$1,498,483	\$1,527,323
Fleischmann	\$867,531	\$875,328	\$898,903	\$916,147
Fleischmann	\$3,127,350	\$3,156,963	\$3,242,165	\$3,304,575
Geier	\$2,154,835	\$2,175,241	\$2,233,940	\$2,276,945
Miles-Edwards	\$5,009,565	\$5,139,297	\$3,487,817	\$5,464,422
Levy	\$42,091	\$43,339	\$44,057	\$45,004
Sub-total	\$15,415,163	\$15,644,194	\$14,265,014	\$16,445,847
<u>Beneficiary Only</u>				
Hauck- Sooty Acres	\$562,721	\$542,363	\$555,216	\$565,251
Hauck - Fountain Sq	\$1,549,600	\$1,510,557	\$1,546,265	\$1,573,965
Meyer	\$5,018,763	\$4,845,413	\$4,960,778	\$5,051,267
Sub-total	\$7,131,084	\$6,898,333	\$7,062,259	\$7,190,483
Endowment Total	\$22,546,247	\$22,542,527	\$21,327,273	\$23,636,330
Commissioner Fund 430	\$462,989	\$860,715	\$822,614	\$718,737
Commissioner Money Market Acct	\$2,397,684	\$1,615,023	\$1,663,038	\$1,812,583
Commissioner Investment Acct	\$1,643,345	\$1,663,058	\$1,668,132	\$1,675,553
Total Commissioner Dollars	\$4,504,018	\$4,138,796	\$4,153,784	\$4,206,873
Grand Total	\$27,050,265	\$26,681,323	\$25,481,057	\$27,843,203

Fund Purpose

Fund Number	Fund Name	Fund Purpose
50	General Fund	City Tax Fund - Used for General Operational Expenses
107	Stormwater Fund	Used for litter pickup (Salary reimbursement)
301	Hwy Greenspace (Street Construction Management)	Ohio motor vehicle tax fund - used for Hwy Greenspaces
302	Infrastructure Fund (Income Tax-Infrastructure)	City Tax Fund - Used for General Operational Expenses
318	Sawyer Point	To account for receipts and expenditures in the operation and maintenance of Bicentennial Commons at Sawyer Point, including the support of capital improvements and all monies received from fees and contributions
326	Park Donations and Special Activity	Fund No. 326 was established in 1932 for the purpose of accounting for donations made for various Parks Department purposes, but expanding the purpose of this fund to include capital improvements as an eligible use will enable the Parks Department to make improvements to Parks facilities
327	W.M. Ampt Fund (Free Concerts)	To account for money received as income from Investment of bequest and expenditures for the costs of concerts in various parks
328	Groesbeck Fund (endowment)	To account for money received from the investment of bequest and expenditures for the cost of concerts in Burnet Woods.
329	Cincinnati Riverfront Park	Established for the purpose of accepting donations, program funds, event funds, lease revenues and common area maintenance income from public and private entities to be used for park operations maintenance and capital replacements.
330	Park Lodge / Pavilion Deposits	Fund No. 330 was established in 1937 for the purpose of accounting for deposits made for the use of lodges and the expenditures for the maintenance of the lodges, replacements of damages to the lodges, and refunds of overages contained in the amounts collected, but expanding the purpose of this fund to include capital improvements as eligible expenditures will allow the Parks Department to make upgrades to lodges and pavilions;

Fund Purpose

Fund Number	Fund Name	Fund Purpose
332	Krohn Conservatory	To account for deposits for admissions and programs for Krohn. To deposit and expend monies collected by the Park Board Volunteers through the Friends of the Krohn organization and to receive donations from private sources and making expenditures for permanent improvements and operating expense at Krohn
335	Schmidlapp Endowment	To account for money received as income from Investment of bequest and expenditures for the costs of concerts in various parks.
403	Yeatman's Cove Trust	To receive \$500,000 gift from Proctor & Gamble to be used for the operation and maintenance of said park in accordance with the terms and conditions of the Trust Agreement.
428	Urban Forestry	To receive funds from the sale of forest products, donations, permit fees and compensatory payments and to make sure such expenditures to maintain the Urban Forest Management Program
430	Private Endowment	Established for the purpose of accounting for revenue from various private endowments to be used for park operations, maintenance, programs, events, and capital projects only at Parks facilities.
752	Permanent Improve Fund	To account for the revenue received from the rental, lease or sale of any park property. Expenditures may be made for maintaining and operating the property, including the payment of taxes, pending the use of the property for park purposes, and purchasing, constructing or acquiring permanent improvements for park purposes, but only when specifically authorized by ordinance.
792	Forestry Assessment	Based on a summary of the special assessment for street trees provided by the Hamilton County Auditor's office, the following detailed information is provided concerning the assessment revenue. The revenue is calculated at the rate of 21 (as of 2019) cents per front footage for all property within the City limits that abuts a public right-of-way.