

HISTORIC CONSERVATION BOARD AGENDA

5th Floor Conference Room
805 Central Ave, II Centennial

Monday, September 26, 2016 at 3:00 pm

CALL TO ORDER

DISCUSSION ITEMS:

Item 1. 1701 Elm Street The applicant requests a Certificate of Appropriateness to construct a new five-story mixed use structure to be located on the northwest corner of Liberty Street and Elm Street in the Over-the-Rhine Historic District. This case was continued from 9/12/16.

Applicant: 224 W Liberty Block LLC

Owner: 224 W Liberty Block LLC

Staff Report: Beth Johnson

Item 2. 24 W. Liberty Street The applicant requests a Certificate of Appropriateness to introduce a new entry, to modify an existing entry, to add new site improvements on the structure's façade in the Over-the-Rhine Historic District.

Applicant: C. Francis Barrett

Owner: The Province Of St John

Staff Report: Beth Johnson

Item 3. 1418 Elm Street The applicant requests a Certificate of Appropriateness to paint exterior masonry of an existing structure in the Over-the-Rhine Historic District.

Applicant: Darren Myers of Kenneth R Bowerman Architect, Inc

Owner: Timothy & Teresa Tanner

Staff Report: Beth Johnson

Item 4. 1830 Race Street The applicant requests a Certificate of Appropriateness to rehabilitate the façade of an existing structure with the installation of new windows in the Over-the-Rhine Historic District.

Applicant: Wichman Gunther Architects

Owner: Liane E Axe

Staff Report: Beth Johnson

Item 5. 1535 Madison Road The applicant requests a Certificate of Appropriateness to construct a two story rear addition, and Zoning Relief for a numerical parking variance in the Woodburn Avenue NBD Historic District.

Applicant: South Block Properties LTD

Owner: South Block Properties LTD

Staff Report: Beth Johnson

Item 6. 4147 Hamilton Avenue The applicant requests Zoning Relief for the size and location of exterior signs in the Northside NBD Historic District.

Applicant: Atlantic Sign Company

Owner: Chicken Little Real Estate LLC

Staff Report: Beth Johnson

OTHER BUSINESS

ADJOURN

ITEM 1

September 26, 2016

**APPLICATION FOR
CERTIFICATE OF APPROPRIATENESS
HISTORIC CONSERVATION BOARD PUBLIC HEARING
STAFF REPORT**

APPLICATION #:
APPLICANT: Graham Kalabi, New Republic Architecture
OWNER: 224 W Liberty Block LLC
ADDRESS: **208-210 W Liberty Street, 1609- 1611, 1701-1909 Elm Street;
1608, 1612-1622 Logan Street; 211 Green Street Cincinnati OH
45202**
PARCELS: 133-0003-0023; 0022; 0027; 0028; 0036; 0037; 0038; 0039; 0040;
0029; 0030; 0031; 0032; 0033; 0034; 0130; 0035
ZONING: PD- Planned Development
OVERLAYS: Over the Rhine Historic District
COMMUNITY: Over the Rhine
REPORT DATE: September 1, 2016
HEARING DATE: Prehearing August 17, 2016
STAFF REVIEW: Beth Johnson, Urban Conservator

*Changes to the report that was submitted for the September 12, 2016 Historic Conservation Board are highlighted.

Nature of Request:

The applicant is requesting a Certificate of Appropriateness the construction of a 5 story mixed-use retail building at the corner of Liberty and Elm Street and the construction of a 155 space parking garage at Green and Logan.

Update of Request:

The applicants have updated their original request and design to incorporate the Historic Conservation Board comments regarding the color of the metal wall material on the corner building of the complex. The applicants have changed the color from a red to a warm metallic gray called Sunrise Silver Metallic. A sample of the color will be provided at the hearing with updated drawings.

The applicants have also clarified that the Allura wall cladding system is a dry system with no sealant as was the preferred system by the board.

Existing Conditions:

The site is mostly a vacant site. The overall project also includes 4 historic buildings that are being stabilized and/or rehabilitated. The current COA is for the construction of the new buildings on the vacant site.



Figure 1: Corner of Liberty and Elm Street. Image provided from Google Street Views.



Figure 2: Map of Liberty Corner. Map provided by Cagis.

Proposed Conditions:

The proposal is to construct a 5 story mixed-use retail building at the corner of Liberty and Elm Street and the construction of a 155 space parking garage at Green and Logan.

The new construction will feature the following on Liberty:

1. The building is set approximately 4 ft. behind the property line along Liberty Street to allow for pedestrian safety, patios, and enhanced vehicle visibility.
2. 5 story frame building broken into two masses. The west mass has a “warehouse architectural” language and design with buff and dark tan colored bricks, cast stone lintels and large multipane aluminum windows.
 - a. There are three openings along the ground floor for vehicular access and one for bicycle and pedestrian access and a third random opening.
 - b. One opening will have glazing in it to match the glazing/garage doors on the east building.
 - c. The western edge of the block will have the 5th floor stepped back for a

rooftop deck.

3. The eastern block will have a more contemporary architectural language and design.
 - a. The eastern block is separated from the western block by a recess.
 - b. The materials are warm silver/Sunrise Silver Metallic and white metal panels, cast stone, glass and aluminum, Allura cement board panel system in gray and metal windows.
 - c. The design will include 3 bays of double hung windows in individual openings and then two bays of grouped windows, one of which has a Juliet balcony.
 - d. A projecting metal cornice line is above the 5th floor windows and then a pediment wall above the cornice line.
 - e. The first floor has cast concrete and a commercial storefront with a canted entrance and overhead doors at the storefront glazing.

The New construction will feature the following on Elm:

4. Elm Street is set back slightly (2-3 feet) from the property line to allow for awnings and projecting signs to be completely on the property and not extend into the public right of way.
5. The southern block is similar in features and language to the eastern block along Liberty, but it goes in two sections. On the second (northern) portion of this section it is framed with the red metal panel and has a dark gray Allura panel. The first floor is a modern storefront system with glazing to the ground.
6. The next block to the north has 3 sections.
 - a. The base is a storefront system with sign panels above the storefront, a storefront lintel and modern glazing system with glazing to the ground.
 - b. The middle three floors are either a dark red or light red brick with a buff brick dividing the sections. Windows are double hung windows evenly spaced over the façade in either single openings or triple grouped. Windows have cast stone headers and sills.
 - c. The top/5th floor is separated from the middle with a cornice line and is clad in a gray Allura panel. The window pattern matches the floors below.
7. The next block is a connector that is clad completely in a curtain wall system. This portion is over the historic alley way. The first floor is the alley.
8. The northern most block is composed of 4 sections. The language of the middle and top sections match the block described in Item 6 with the exception of the storefronts of two of the four storefront include paneled bulkheads and the windows are either within individual openings or paired windows/doors. The fifth floor fenestration is slightly different than the floors below.

The rear and side of the building will feature the following:

9. The sides of the building will be using a colored CMU above the neighboring buildings and a non-colored CMU where they will have a party wall.
10. The rear will be a combination of single and paired windows and Juliet balconies with French doors.

11. The rear will be clad in two colors of the Allura panel system.

The parking garage will feature the following:

12. The parking garage will be a 3 deck parking garage.
13. Most of the parking garage will be masked by existing buildings along Green Street where the garage will be entered. A large blank concrete wall will be exposed.
14. Along Logan Street, the garage will have two different colored CMU clad along more than 50% of the wall that will have divisions to provide a rhythm along the street similar to the feel of a the townhouse rhythm on other streets. A regular fenestration will be provided to give the appearance of windows.
15. The other two elevations of the garage do not have cladding and do not front onto streets.

Previous Reviews: The project was originally heard and presented at the September 12, 2016 meeting. The Historic Conservation Board requested a tabling of the application with a direction that the applicants address the red color on the corner building as they felt that the bold color of the red accentuated the height of the building to the extent that did not comply with the guidelines.

Applicable Zoning Code Sections:

Zoning District: Section 1429 Planned Development Districts
Historic District/Reg: [Over the Rhine Historic District](#)
COA Standard: [Section 1435-09-2](#) Certificate of Appropriateness; Standard of Review

Details of Zoning Relief Required:

Being that the Planned Development is within a Historic District, procedure demands that the Board provide a zoning recommendation to the Planning Commission for their Final Plan approval. In that context, Zoning Administration supports the overarching proposal on many facets. Its height, mass and setbacks are within what was approved in the concept plan and are generally appropriate for the historic district and with adjacent structures. The proposed commercial and residential uses are permitted within the area and are appropriate for the area. The residential use will provide a much needed density and the parking garage will be able to provide adequate parking for the uses.

Certificate of Appropriateness Review

It is staff's recommendation that this project generally meets the guidelines for the Over-the-Rhine Historic District for New Construction.

The applicants have worked with staff over the last several months and have taken our guidance and recommendations into the design of this project.

There are two building within the development. The main building that fronts on Liberty and Elm Street and the appropriateness of the building is detailed below.

The second building is the garage building. Garage buildings are not directly addressed within the Guidelines; however the guidelines for parking lots are that they should be screened from public view. The parking garage does front onto two streets, Logan Street and Green Street. Both streets are not main streets within the district. The frontage of the garage onto Green Street is minimal as existing buildings block the majority of the building from view. The entrance fronts onto Green but it is set back from the street so it is not part of the streetscape. The Logan Street façade is clad with colored CMU that is broken into 25' sections that mimic a townhouse feel to make the façade more sympathetic and contextual. In the intent section below it allows for a balance and flexibility for programmatic needs and as the development is adding a lot of density into an area that already had a need for parking, being able to provide adequate parking is a necessity.

UPDATE TO STAFF RECOMMENDATION

After the September 12, 2016 meeting the applicants worked with staff to select a color for the metal on the corner building that would better blend into the neighborhood and not accentuate the height to the extent of the red color. The applicant and staff agreed upon a color called Sunrise Silver Metallic as it has a warm undertone that will work well with the warm tones of the buff brick of the Liberty Street Warehouse style building and the red brick on the buildings along Elm Street.

Staff comments on the Guidelines:

New Construction

A. Intent and General Guidelines

1. New construction is allowed on vacant sites in Over-the-Rhine, because gaps due to demolition weaken the streetscape and the overall character of the district. New construction can improve both the physical quality and economic vitality of the neighborhood.

This infill development is bringing back an important corner in Over-the Rhine and providing a continuity that was lost when the previous buildings were demolished. The project is providing an economic vitality to the neighborhood through providing density and more residents for existing and future business.

2. New construction should be well-designed but should not replicate the existing buildings. The exceptional quality of the existing buildings in the district provides an outstanding framework for new construction.

This infill development, while all one project and one building (two counting the parking garage) is designed in a way to be sympathetic to the neighborhood by breaking the buildings up into blocks and sections within those blocks. They use

the framework of the existing neighborhood; however the buildings provide a contemporary take on a row house and a warehouse language while also incorporating a contemporary building. The building does not try to replicate or recreate a historic building.

3. The Historic Conservation Board's review of new construction will focus on the design compatibility with the surrounding contributing structures. The appropriateness of design solutions will be based on balancing the programmatic needs of the applicant with how well the design relates to the neighboring buildings and to the intent of these guidelines. New design proposals should pay particular attention to composition, materials, openings, rhythm, scale, proportion and height.

Staff details the compatibility of the project with the guidelines and surrounding buildings below in the specific guidelines. Staff will also detail where flexibility is desired to help balance the programmatic needs of the project.

4. The new construction guidelines for this district will be used to judge the compatibility of new work. The specific site and programmatic needs of each project will be taken into consideration.

Staff details the compatibility of the project with the guidelines and surrounding buildings below in the specific guidelines

B. Specific Guidelines

1. **Composition:** New buildings should respond to the traditional subdivisions found on historic property: a base, a middle and a top. Most buildings in Over-the-Rhine are built of brick with the principal facade parallel to the street it faces. The most important features of buildings in Over-the-Rhine are the arrangement of openings on the principal facade and an overall vertical emphasis of the whole design. Each building provides its own variations, but collectively they share many basic features.

Base: New buildings should have a well-defined base. Within the district most buildings have a base that is distinguishable from the rest of the building. This is accomplished through a change of materials, a change of scale, and/or a lintel or other type of horizontal banding. In larger buildings the original base may include more than the first floor.

Along Elm Street there is a very strong base with the storefronts. The Corner building provides a strong base with a distinctive cast stone veneer and the rest

of Elm Street provides a strong lintel above the storefront. An added sign band helps to anchor the base. A similar design is used on all of the storefronts, but changes in colors and in some cases the addition of bulkheads creates variations.

Along Liberty Street, the Cast Stone at the corner is wrapped to continue a strong base. A band of lintels along Liberty for the parking service access helps to provide a base.

Middle: Details on new buildings should relate to the detailing of adjacent or nearby buildings. Buildings in the district often incorporate architectural details such as changes in plane or changes in materials on their upper floors. Decorative, horizontal bands indicating the floor lines, sill heights or lintel heights should not overpower the vertical emphasis of the design.

The middle is defined in each section of the base with the regular fenestration of the windows. While there are sills and lintels to provide a horizontal band to indicate the floor lines, they do not overpower the vertical nature of the building.

The corner building has a middle that is defined by its regular fenestration and a few changes in plane and materials. The horizontal consistency with the windows provides an indication of the floor lines while not overpowering the vertical nature of the building.

The Liberty Street building has windows that are grouped together but again in a horizontal line across the façade indicating the floors. While there are more horizontal in nature the strong brick columns create a strong vertical power on the façade.

Top: New construction must employ a strong element that terminates the uppermost part of the building. Distinctive elements in the architecture of Over-the-Rhine are elaborate projecting cornices, decorative parapets and the expressive use of materials.

The top of the building along Elm Street is defined by a fiberglass cornice line and then an additional story clad in Allura panels. This fifth floor provides a strong element at the top with using an expressive change in materials as well as changing the style of windows to not mimic the middle.

The corner building has a tall parapet to top the building. The change in material and plane make this a prominent element to set a distinctive top on the building.

The Liberty Street building has a simple top of just a thick band of the buff brick and cast stone lintels above the windows. As this building is picking up the language of a more warehouse feel that is prominent north of Liberty, a projecting cornice or decorative parapet would not be appropriate.

2. Roofs: Roofs for new construction should be similar to roofs of adjacent and nearby buildings of similar size and use. In the district, buildings of three or more stories generally have low-pitched shed roofs that are not visible above the principal facade. Smaller buildings in the district typically have simple gable roofs on which the gables are perpendicular to the principal facade. Institutional buildings in Over-the-Rhine have a variety of roof shapes, including dormers, multiple gables, hip roofs and towers. Roofs in this district have little or no overhang.

The roofs are a flat/shed roofs. This is appropriate for the district as the building is taller than three stories and buildings of three stories or more generally have low pitched shed roofs that are not visible above the principal façade.

The roof does not have an overhang.

3. Window Openings: Window openings are extremely important in this district. The openings of new buildings should be related to the size and placement of openings found on historic structures of similar use in the district. In residential buildings, window openings are typically found individually rather than in pairs or grouped. The openings are taller and wide (typically in a proportion of 2:1), window sash are set back from the wall surface, and openings have some form of definition, such as lintels, sills or decorative surrounds. Window openings, which are typically aligned vertically, usually occupy between 20% and 50% of the principal facade. In commercial, industrial and institutional buildings, windows are often grouped within a single opening. These building types may also use a combination of window sash, including double-hung, awning and hopper. If muntins are used in new window sash, they must provide true divided lights. Within the individual opening, window sash are usually divided into two or more lights. In all cases the glass must be clear; tinted or reflective glass is not acceptable. Also, roll down shutters and metal bar systems installed on the exterior of the building that cover door and window openings are not appropriate.

On Elm Street- which is more residential style architecture.

- *The majority of the windows are individual openings. There are some paired and triple openings found along the Elm Street façade. While typically we would want individual windows, a challenge to this building is to not make it feel cookie cutter and repetitive but provide interest and individuality along Elm Street. Having a regular fenestration with some slight variations helps to accomplish this as well as provide amenities such as Juliet balconies to the apartments.*
- *The windows are all taller than they are wide with a 2:1 proportion.*
- *Window sashes are set back from the wall surface*
- *They have lintels and sills*
- *They are aligned vertically and take up less than 50% of the façade with the exception of the curtain wall system over the alley.*
 - *Staff recommended the curtain wall system above the alley. Traditionally there would not have been a building over the alley. Providing a building that has more transparency pays respect to void that would have been over the alley as well as provide a strong visual break along the Elm Street façade.*

On Liberty which is a more commercial/warehouse building architecture

- *The windows are grouped into an individual opening*
- *The windows are simulated divided lights, not true, but provide the feel of true.*
- *They are multi-pane windows*
- *The glass is clear.*

On Corner Building/ mixed use feel.

- *Windows are a mix of fixed glass and double hung windows.*
- *Mix of individual openings per window as well as multi windows within one opening.*
- *Windows are all vertically oriented with a 2:1 ratio*
- *All the glass is clear*

4. Storefronts: New storefronts should relate to the characteristics of existing storefronts on historic buildings. Storefronts in the district are typically taller than individual upper floors; framed by piers and/or columns and have a lintel separating them from the upper floors; are divided into bays which increases their verticality and provides a pedestrian scale and proportion; and have large, fixed expanses of clear (not tinted or reflective) glass. As with rehabilitated original storefronts, roll down shutters and metal bar systems installed on the exterior of the building are not appropriate elements for new storefronts. The storefront lintels are 12 to 18 feet above grade; the

window sill height is between 18 inches and 3 feet above grade; and storefront windows are set back from the structural elements approximately 12 inches.

- *Storefronts are taller than the individual upper floors.*
- *They are framed by strong brick piers.*
- *They have a steel channel header or a cast stone header to provide variety, separating it from the upper floors*
- *They are divided into bays with doors on the center and storefront windows flanking on the south building on Elm Street and the northern portion of Elm Street they either have a strong brick pier dividing it into bays.*
- *There are large fixed expanses of clear glass.*
- *There is not any roll down shutter or metal bar systems installed.*
- *There is a proposed overhead door system at the corner. This treatment has been allowed along Vine Street in OTR on historic buildings. When down, it is a glazed/glass system that still provides the transparency required and desired along a storefront, but provides an opportunity for more interaction and openness to the street and providing an outdoor entertainment feel.*
- *The storefronts are 12 feet to the bottom of the header from above grade and about 16 feet to the top of the header from above grade*
- *Where bulkheads are provided they sit at more than 18 inches and less than 3 feet. Bulk heads are not provided for every window type. While providing bulkheads at every storefront would provide a storefront that would be consistent with the architecture of storefronts in OTR, many modern storefronts have been approved for the district within historic buildings that do not provide a bulkheads. As this is a contemporary building, providing a more modern design is appropriate. Providing a variety of those with and without provides an interest for the pedestrian and doesn't make it feel cookie cutter or too repetitive.*
- *Windows are set back 12' from the front of the brick piers/structural elements.*

5. Setback: Setback is an important issue in a dense urban area such as Over-the-Rhine. The setback for new construction should be consistent with the buildings of similar use on adjacent and nearby sites. In Over-the-Rhine, most commercial buildings are built up to the property line. Some residential property, especially detached buildings, has shallow setbacks but retain an "edge" at the property line with a fence. Some larger institutional buildings such as schools, churches and public buildings are setback from the street to provide public space and to add to their monumentality. In most cases new construction on corner sites should be built up to the edge of both outside property lines.

The building creates a continuous line along the street. It is set back just slightly from the property line along both streets to work within the parameters of DOTE regulations of outward swinging doors, awnings and signs onto public right of ways.

At the corner the upper floors are built to the property line, but the entrance is recessed and angled to provide a better connection with the pedestrian environment due to the sharp angle of the corner of Liberty Street and Elm Street.

6. Rhythm: New buildings should incorporate design features, such as window groupings, articulation of wall surfaces, and decorative elements such as columns or piers in an effort to maintain the rhythm that already exists in the district. New construction should avoid creating long unrelieved expanses of wall along the street by maintaining the rhythm of bays found on the district. Most buildings in Over-the-Rhine are relatively narrow, 25 to 50 feet in width. A building facade typically displays vertical subdivisions that establish a visual rhythm. In dense commercial areas such as Vine Street, there are no setbacks, creating a solid wall along the street. This wall is articulated by the individual buildings, which in turn are divided by window groupings, changes in wall planes and decorative elements such as pilasters, columns or piers.

The building achieves a rhythm through breaking up the building into 25' bays. This is particularly articulated along Elm Street through the change of brick material creating a bay rhythm that appears to create separate buildings. This division of buildings is further emphasized with the buildings stepping their way down the street to make sure entrances were at the grade level.

On Liberty Street this is more subtle but a slight break in warehouse type building does provide a distinct rhythm and breaks up the mass of the façade. Warehouse buildings typically had larger and wider facades than the residential buildings so a wider building using the warehouse language is an appropriate treatment.

7. Emphasis: New residential and mixed-use construction should have a vertical emphasis, because in Over-the-Rhine buildings are taller than they are wide, window openings are tall and narrow, and storefronts have slender columns, which emphasize verticality. Commercial and industrial buildings, which may have an overall horizontal emphasis, often incorporate vertical elements, such as pilasters or vertically oriented openings.

The building has many elements that provide a strong vertical emphasis.

- *The windows are taller than they are wide.*

- *There are strong brick columns at the edge and vertical oriented windows with slender columns planting the doors.*
- *Along the Elm Street façade a change in brick color provides another opportunity of emphasis for the vertical nature of the buildings.*
- *At the corner a vertical emphasis is again achieved with windows that are taller than they are wide as well as with a slight recess that creates a very strong vertical boarder.*
- *The interplay of Allura panels with metal in vertical columns also creates a strong vertical emphasis.*

The frontage along Liberty takes on a more industrial warehouse feelings that is appropriate for the north of Liberty portion of Over the Rhine with its predominance of old brewery and warehousing structures. While the multi-pane walls of windows have a horizontal plane, they are broken up with very strong and wide columns of brick.

8. Height: The height of new construction should not vary more than one story from adjacent contributing buildings. Most buildings in Over-the-Rhine are between two- and five-stories.

The heights of all sections of the new construction are 5 stories. The designers, seeking to add visual interest, used the opportunity to further define the unique sections of the project by working with the natural grades of the site and the rooflines to better articulate distinct “buildings”. Thus, the height of the sections, though all 5 stories, varies from 60’ 8” to 73’. The tallest section is the contemporary corner section, seeking to act as a landmark corner at 73 ft. An extension of the parapet walls adds the height as well as allows shielding of rooftop mechanicals. On Liberty, the warehouse section measures 64 ft. and is only 3’ 6” taller than the historic 4.5 story rehab adjacent to and within this project. On Elm, the natural sloping grade of the site, allows the illusion of a reduction of a story. The height illusion is enhanced with extended parapets in the center rowhouse section and shallow parapets in the northern rowhouse section until it meets the historic 3.5 story rehab within the project. Though the envelope has been slightly modified from the Concept Plan, the applicant has not effectively added a usable floor on the project. Staff feels the undulation of heights is critical to hinder the creation of an uncharacteristically long horizontal plane on the roofline while maintaining the efficiency of creating a single functional building. This infill should not read as a single building. Looking down Elm Street towards Findlay Market, there are many instances of buildings varying by one or two stories and there is not a single instance of almost an entire block face being one single height. The roofline treatment is key to maintaining the scale of a multi building streetscape.



Figure 3: Picture of the 1700 Block of Liberty looking south that shows a variation of height. There are 3, 4, and 5 story buildings. Image provided by Google Street views.

9. Materials: New construction should use materials that are found on the historic buildings in Over-the-Rhine. Clearly the dominant material in Over-the-Rhine is brick, but other materials such as limestone, sandstone, cast-iron, slate, wood and sheet metal are important as well. Materials such as stucco, synthetic stucco and plastic are not appropriate and should not be considered as exposed finish materials for new construction in this district.

Proposed materials include, brick, sheet metal, cast stone, CMU, Allura panels.

Brick, sheet metal, and cast stone have been materials that have been approved in many treatments on other infill projects in Over-the-Rhine.

The Allura panel is a new material submittal. It is a cement board/panel that is similar to the Nichiha panels. Product sheets are attached with sections highlighted showing that the material make-up is the same using Portland cement and wood fibers as the base, both have a smooth finish, come in custom colors, and provide the same type of warranty. The main difference is that the Allura panels are about half of the width of the Nichiha panels which provides multiple advantages for construction and labor costs. The Nichiha panels have been approved in multiple infill, additions and new construction projects in Over-the-Rhine such as Mercer Commons and most recently on 1725 Vine Street.

Other Considerations:

Prehearing Results

August 17, 2016 - Only the architects were in attendance.

June 29, 2016- The architects and representatives from the OTR Infill committee were present. There was a lot of discussion about the design. The architects took comments and revised plans.

Comments Provided to Staff: Staff has received both support and opposition letters they are attached.

The support letters include

- 1) Source 3 response to OTR Infill Committee dated 9/6/2016
- 2) Email from Ron Fresh dated 9/7/2016
- 3) Email from David Reid dated 9/7/2016
- 4) Email from Patricia Hubbard dated 9/6/2016
- 5) Letter from Jin and Lauren Kong submitted 9/6/2016
- 6) Letter from John Walter submitted 9/6/2016
- 7) Email from John Donaldson submitted on 9/9/2016
- 8) Letter from Daniel Souder
- 9) Letter from DiSalvo Development from April 22, 2016
- 10) Letter from John P Tafaro submitted May 10, 2016
- 11) Letter from Jeffery S Schloemer from May 9, 2016
- 12) Letter from David Blair
- 13) A petition signed by 33 different businesses
- 14) Letter from Pete DiSalvo
- 15) Email from Denny Dillinger dated 9/12/2016
- 16) Email from Harold A Schuck dated 9/9/2016

The opposition letters include

- 1) OTR Infill Committee letter and support documents submitted 9/5/2016
- 2) Letter from Patricia Bittner submitted 9/6/2016
- 3) Email from June Alexander submitted 9/3/2016
- 4) Email from Kate Silver submitted 9/3/2016
- 5) Letter submitted by Bonnie Neumeier submitted 9/2/2016
- 6) Letter from Adam Rayne dated 9/12/2016
- 7) Letter from Margy Waller dated 9/12/2016

Recommendation:

Staff recommends the Historic Conservation Board take the following actions:

1. **APPROVE** a Certificate of Appropriateness for infill development at the Corner of Liberty and Elm Street at 208-210 W Liberty Street, 1609- 1611 Elm Street, 1701-1909 Elm Street; 1608 Logan Street, 1612-1622 Logan Street and 211 Green Street per drawings submitted by New Republic Architects dated 7/22/2016 including any revisions dated 9/12/2016 with the following conditions.
 - a. The Certificate of Appropriateness must be issued before the expiration of Final Development Plan or it shall expire.

- b. All former red metallic panels shall be replaced with a warm metallic gray called Sunrise Silver Metallic or equivalent color.
- c. The Allura wall cladding system or its equivalent shall be a dry system with no sealant required.
- d. All signs and awnings will be approved through a Certificate of Appropriateness process and shall follow the Over-the-Rhine Historic Guidelines for signs.
- e. The western most opening along Liberty Street that is proposed to be used for bike and pedestrian traffic should have a storefront system similar in design to the other glazing on the façade.

2. **FINDING:** The Board makes this determination per Section 1435-09-2:
- (a) That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.



LIBERTYCorner

Liberty & Elm in OTR

Historic Conservation Board
City of Cincinnati

09.12.16

VIEW LOOKING SOUTHEAST





LIBERTYCorner

Liberty & Elm in OTR

Historic Conservation Board
City of Cincinnati

09.12.16

VIEW LOOKING SOUTHEAST





LIBERTY Corner

Liberty & Elm in OTR

Historic Conservation Board
City of Cincinnati

09.12.16

VIEW LOOKING SOUTHWEST





To: OTR Infill Committee

From: Source 3 Development

9/6/2016

RE: Developer's Response to Infill committee's letter to Urban Conservator

Dear OTR Infill Committee,

Thank you for your letter. We appreciate your ambition, and care for the OTR neighborhood.

We have received your letter and all of your concerns of the project. We feel we need to respond issue by issue in order to clarify a few things. We do not feel your letter fairly encompasses the efforts, made on the developer's part, to bring a great project to the OTR Neighborhood. We have received a lot of support from many people in the community, and around the city. Our inclusive work with many groups in the OTR community, the city, and fellow developers, will create a catalytic project that respects the neighborhood, preservation, and historic fabric of OTR.

Below, please review our responses:

Proposed Issues:

- I.) **Height** – Developer was accused of adding height to the building from the planning commission submittal on May 20th. Developer is also accused of being more than one story above adjacent buildings.

Developer Response: The Height has not changed from the Planning Commission hearing. The developer was criticized for the height during early meetings with Community Council & the OTRIC. Hearing this, the developer elected to remove an entire floor from the building. In addition, the developer revised the northern portion of the building to visually reduce the massing and to reflect the adjacent historic context more appropriately. Although the elimination of the upper floor and reduction of 20 apartment units created an economic challenge, the developer recognized this was a major concern of the community and revised the design appropriately. The infill committee is welcome to speak further with our architect, Graham Kalbli, about height questions.

Also, if you review the elevations, the new infill building is not more than 1 story above the adjacent buildings. A few infill committee members make the argument that the building "step up" makes it higher than one story as you move to the corner of Liberty and Elm.

The "step up" method was thought to be agreed to after the developer took a floor off the building to compromise with the infill committee. Also, because it is a new infill building, and it only steps up one story, it still meets with the guidelines of being one story above the adjacent building.

ii.) **Design And Architecture:** The developer is accused of not working closely enough with the infill committee

Developer Response: The first design meeting with the infill committee was on June 7th. The infill committee brought outside architects to discuss options with our architects. Source 3 felt there was agreement with materials being used, along with the design approach employed by the design team. Everyone seemed to agree on the percentage of materials being used with brick being the predominant material. There seemed to be agreement with the transition from the typical mixed-use building prototype along Elm Street to a "Warehouse" feel on the Liberty Street elevation.

After the June 7th meeting, the following communications occurred:

-June 10 - We submitted our drawings to the infill committee, and to Beth Johnson, the Urban Conservator.

-June 29th - We met with the Infill committee, Beth Johnson, and Matt Schad at the HCB pre hearing. It was a positive discussion, with the infill committee having some issues, but nothing specific was identified to change.

- June 29th - Source 3 sent the new updated garage renderings.

-Source 3 moved back the HCB meeting twice to evaluate the condition of 1711 Elm Street, and to explore garage options and costs. The new infill building was going through minor material changes, and Source 3 was over budget and working diligently to make the project come together.

-July 18th - Mike Heekin (S3D) spoke with Nancy (Operations manager of the infill committee) to discuss 1711, and explain the reasoning behind the push back of the HCB meeting.

-August 17th – Sent most updated renderings to the infill committee. Only a few minor material changes from the June 10th submission.

-August 30th – S3D receives a letter of non support from the infill committee

** As a note, the infill committee was given the contact information of the developer and architect, if they wanted to reach out and discuss further after the June 7th meeting. Source 3 shared all our information throughout the process.

III.) **Design and Architecture Part II:** The style doesn't belong in OTR

Given the numerous positive meetings with the OTRIDC, approval from the OTR Community Council, approval from the City Council Neighborhood Committee and statements of support from various OTR advocates, it is perplexing to the developer that there is non-support for the design & architecture of the building.

The developer and design team have listened to the comments from the OTRIDC and folded most of the concerns into the architectural design of the project;

1.) ***Relate the architecture for the new building carefully into the surrounding OTR context.***

The developer's design team has broken down the massing of the building by using a 25' wide horizontal module while defining a top/middle/bottom vertical composition for the design of the Elm Street façade reflective of these important OTR characteristics. Additionally, the design celebrates Freeport Alley by providing a ground floor connection through the building to allow public access. The break in the ground floor created by the alley is further reflected above with glass curtain wall to provide a strong visual separation between the northern & southern portions of the building, thereby, visually breaking the building into two buildings.

The design team has selected the warehouse character of Logan Street & Central Parkway as inspiration for the Liberty Street façade. In an effort to again break down the massing of the new building, larger punched window openings and minimal glass curtain wall are used to provide vertical division without compromising the architectural integrity of the Elm Street façade. The convergence of the two treatments creates an iconic architectural feature as well as a much-needed gateway to the Brewery District and Findlay Market area.

2.) *Use materials consistent with the historic buildings in OTR.* The majority of the new building exterior material is brick while complimentary materials such as cast stone, cement board panels, and glass are being used to provide visual breaks to the massing of the building.

Unlike a typical renovation of *existing* historic buildings in OTR, the Liberty & Elm project is a large *new* infill building on a large *open* piece of ground. The developer recognizes this as a challenge, and has researched historic Sanborn Maps to identify previous structures that once occupied the open ground being developed. Using those maps as a guide, the developer has purposely mimicked the previous footprints & massing of the former buildings to bring a context sensitive site plan and corresponding façade to the site.

The developer has shared best practice examples of similar scaled projects in other historic districts, such as Washington DC, to provide examples of how other developers and preservation advocates have found common ground to integrate new buildings into the fabric of existing historic districts, in a way, that expresses tasteful, contemporary architecture through a context sensitive design approach.

Without sounding defensive, the developer has been somewhat frustrated through this process. Specifically, negotiating the appropriateness of architecture, with a non-codified committee, that only articulates their collective opinions of what is acceptable, with an abbreviated *written* list of Design Standards, but without *visual* architectural examples or reference of what they find acceptable. When examples of new infill development currently existing in OTR were brought up by the developer, the committee argued those examples do not reflect the committee's opinion, and that the fact they are built in OTR should not be considered precedent.

IV.) **July 20th Pre hearing Meeting:** Developer is accused of not attending

Developer's response: We changed our HCB meeting from August 22 to September 12. Source 3 attended the August 17th pre hearing meeting with Beth Johnson. The developer was unaware of having to attend any meeting on July 20th, and apologizes if anyone felt slighted.

V.) **1711 Elm Street:** Infill committee is worried about the unknown of this building.

Developer's response: 1711 Elm is in dangerous condition. The building inspector recognized that it could potentially fall down if not stabilized. S3D is not the current owner, and has had no control over the condition of the building. Although, the worsening conditions has added cost to the project. S3D has agreed to do everything possible to

restore the building in lieu of knocking down. S3D has sent two structural engineers through the property, and has also received construction numbers from two different groups. S3D is moving ahead with restoring the building as planned.

VI.) **Murals on the garage:** Will these be included?

Developer's response: If the garage is built this will create an opportunity for public art and murals. As stated in our meeting on June 29th, these murals were placeholders to show the opportunity of where the desired art could be placed. S3D was open about not having the funds to produce these, but were open to the community engaging whoever necessary to do the work, and conjure up funds. With a very tight budget, the developer cannot shoulder the excess money it would take to create these murals, but would certainly be open to working with the community to allow public art to be in the project.

Johnson, Beth

From: Ron Fresh <ron.fresh@usi.com>
Sent: Wednesday, September 07, 2016 3:40 PM
To: Johnson, Beth
Subject: Liberty & Elm Project

Follow Up Flag: Flag for follow up
Flag Status: Flagged

Ms. Johnson,

My wife and I are residents of 512 Klotter Avenue, one of the last two streets, along with Conroy, in OTR. My wife and I bought our home in December, 2000. Since that time we have gone through some tough times, including the riots of 2001. In spite of that, we are pleased to live where we do because of the extraordinary change that OTR is undergoing. We believe the proposed development at Liberty & Elm will provide even greater momentum to the re-birth of OTR. Given that the property is virtually a vacant lot as this time, I would be hard pressed to find any reason for the project not to proceed.

Thank you for your kind consideration.

Ron & Jan Fresh

Ronald L. Fresh, CFP®
Registered Representative
USI Securities, Inc.

513-852-6374 Office
513-226-7773 Cell
610-537-9798 Fax

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95 Glastonbury Blvd., Glastonbury, CT 06033, 860-652-3239

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Johnson, Beth

From: H. David Reid <hdreid@fioptics.com>
Sent: Wednesday, September 07, 2016 11:08 AM
To: Johnson, Beth; Maynes, Kasandra; John Walter
Subject: Liberty and Elm Project

As long time residents of Over the Rhine my wife and I would like to offer our support for the Liberty and Elm Project. We have watched the ongoing development of many historic buildings and properties in the area and believe the progress should continue to help make Cincinnati a truly great place to live and do business.

Yours;

H. David & Anne Reid
530 Klotter Ave
Cincinnati OH. 45214

Johnson, Beth

From: Maynes, Kasandra
Sent: Wednesday, September 07, 2016 8:55 AM
To: Johnson, Beth
Cc: Martinez, Charles
Subject: FW: ELM/LIBERTY

Another email in support.....

-----Original Message-----

From: Patty Hubbard [<mailto:phubbard37@gmail.com>]
Sent: Tuesday, September 06, 2016 8:33 PM
To: Maynes, Kasandra
Subject: ELM/LIBERTY

I am a resident of OTR (Last street above Central Parkway on many maps.) I have lived here since 2001 and have watched OTR change one building at a time. I proudly belong to the WECC. I have seen how OTR has changed for the better, and realize that a wonderful building at Liberty and Elm would enhance the entire area!
Patricia Hubbard, 516 Conroy Street, Cincinnati OH 45214

Liberty and Elm Project – In Support

We are business owners and community advocates. We have just recently moved into the Clifton Heights and OTR neighborhood and would like to express our support for the Liberty and Elm Project.

We believe this Project is to everyone's benefit and we make the following observations:

- The Project developer seems engaged and willing to listen to community needs.
- The targeted vacant parcel at Liberty and Elm has a large value-upside through promoting residential density, which translates to a larger tax-base for the municipality.
- Demand is growing with more young professionals and entrepreneurs seeking residential and business solutions between the UC, XU, OTR and the downtown business district.
- Promoting community and engagement in this Project and surrounding area will promote diversity and inclusion and help promote general regional growth.
- Public transportation is beginning to attract a more diverse need-based and choice ridership serving this Project area (e.g., Red Bike, Connector street car), and this further strengthens the sustainability and viability of this city and region.

Our hope is that the members of the Historic Conservation Board have the vision to support this Project. We believe the Board should advocate for an integrated approach and involve more mixed-income residents and businesses in the Project area with the developer's ongoing improvement process. Active engagement and collaborative building of not just buildings, but people and places, will serve to turn this blighted corner of OTR into becoming a catalyst to jump start many other residential and business projects so sorely needed north of Liberty.

Thank you,

Jin & Lauren Kong

Jin Kong, Esq., Six Sigma Black Belt, LEED GA, Sole Member of Kong Esq. LLC, Co-founder and Pathfinder of BrainBox Ltd, Chairman of the Board Greater Cincinnati Chinese Chamber of Commerce, Board of Directors Keep Covington Beautiful, Advisor to Cincinnati USA Sister City Association

Lauren Campbell Kong, LEED AP BD+C, Co-founder and CEO of BrainBox Ltd, Co-chair Green Umbrella Waste Reduction Team, Secretary The American Legion Ohio Post 484, Board of Directors Keep Covington Beautiful

Liberty and Elm Project – In Support

I have been very active as a leader, developer, and landlord in the OTR neighborhood of Klotter / Conroy since 1981 and have lived there since 1984. I am currently a trustee in the OTRCC, which has afforded me insight into the Liberty and Elm project. I am **very strongly in support** of this project for the following reasons:

- The developer since the project has been made public has bent over backwards, changing major design features of the project, mitigating design issues raised by a small number of voices in the community. This in my opinion shows a very healthy level of commitment to the OTR community in bringing forth a project that will serve as a catalyst for sorely needed residential and commercial development north of Liberty.
- High density, residential projects such as this, which grow the local tax base and economy, are exactly what the streetcar advocates promised voters in exchange for the \$150 Million plus of public tax dollars spent on the streetcar project. The large vacant parcel at Liberty and Elm is one of only a few parcels in OTR that have the potential of adding the residential density so sorely needed to grow the OTR economy, benefitting all.
- This project will result in a large number of residents within one block of Findlay Market using the streetcar and shopping at Findlay Market on a regular basis. The OTR neighborhood north of Liberty is currently a very low density neighborhood, which acts as a vacuum attracting drug dealing, prostitution, accumulated litter and overall blight. I'm quite sure merchants at the Market would be glad to have several hundred customers living one block away, especially during slow mid-week times and winter months. I'm also quite sure the streetcar operators would be glad to have several hundred customers that would populate the streetcar during all hours of operation (not just peak times and days) enhancing the sustainability and public safety of the streetcar.
- As a landlord in OTR, I hear from many people looking for apartments, that there are none available in OTR. The truth is the supply and demand of quality residential housing in OTR is out of balance, with high demand and very short supply, resulting in artificially high rents in recently developed areas of OTR. Until major housing supply like the Liberty and Elm project is added, rents will be unaffordable for many workers in the CBD and OTR communities, negatively impacting Cincinnati's urban economic growth.

My hope is the members of the Historic Conservation Board have the vision to support this project, allowing this blighted corner of OTR to become the catalyst needed to jump start many other residential projects so sorely needed north of Liberty.

Thank you,

John Walter

Klotter Properties

OTRCC Trustee



Urban Conservator
Two Centennial Plaza
805 Central Avenue, Fifth Floor
Cincinnati, OH 45202

August 30, 2016

Re: COA application for "Liberty Corner" Planned Development at northwest corner of Elm St. and W. Liberty St.

Dear Ms. Johnson,

The Over-the-Rhine Foundation does not support the request for a Certificate of Appropriateness on the project titled "Liberty Corner," as currently designed.

While we appreciated the dialogue Source 3 development engaged in with the community in the early phases of the project, most of the Foundation's concerns have still not been addressed and new concerns about the project have arisen. In a letter to the Planning Commission dated April 12, 2016, the Foundation expressed appreciation for this early collaboration as well as a list of concerns about the project, in particular the height of the proposed development, which the Foundation felt was unacceptable.

In response to these concerns, the developers did make some changes to their design and in a letter dated May 20, 2016, the Joint Committee of the Over-the-Rhine Foundation's Infill Committee and the Over-the-Rhine Community Council expressed general support for the Applicant's concept plan of May 6, 2016. Support was offered principally on the basis of the Applicant having reduced the height of the proposed structure in accordance with the request of the community. The Joint Committee struck a supportive tone, and asked that the Applicant continue to work closely and meaningfully with the Joint Committee on issues of design and architecture, as well as several other key issues viewed by the community as critical to the success of the project.

However, at the Planning Commission hearing of May 20, 2016, what was presented to the Commission for approval was significantly different than what the Joint Committee had agreed to, and to what was presented in the May 6 concept plan. Specifically, Over-the-Rhine Foundation support limited the maximum height for the project at 65' for the corner structure at Elm and Liberty. The remaining portion of the building, both north and south of Freeport Alley along Elm Street, as well as west of the corner structure on Liberty and up to the existing buildings, at a maximum height of 55'. Since that hearing, renderings of the proposed structure have shown a

height that has continued to go up, relative to what was proposed in the May 6 drawings. The current design appears to exceed these limitations by more than 10'.

This height creep is unacceptable to the Over-the-Rhine Foundation in light of the positive, compromising approach that the Foundation had been pursuing in good faith. It must be noted that the guidelines for new construction in the Over-the-Rhine historic district do not permit structures that vary by more than one story from adjacent contributing buildings. The proposed structure does not abide by this guideline in several respects, and for that reason alone the COA should be denied.

Regarding design and architecture, as noted previously the Joint Committee's support for the concept plan of May 6, 2016 was conditioned upon the Applicant continuing to work "closely and meaningfully" with the community on issues including design. At best, it is debatable whether this has happened. The Applicant and the Over-the-Rhine Foundation's Infill Committee had one meeting to discuss design, but the Applicant did not have designs prepared for that meeting, and thus no review could take place. The only other meeting that has taken place with both parties in attendance was the June 29 prehearing to the Historic Conservation Board hearing, which was organized and led by the Urban Conservator. A subsequent prehearing meeting was scheduled for July 20 after the Applicant requested a postponement to their Historic Conservation Board hearing, but the Applicant did not attend this meeting to engage with the Community's feed back.

The Foundation Infill Committee's individualized critiques of the proposed design are enumerated in the attached report. The overarching problem with the design, however, cannot be corrected by tweaking individual design elements to nudge them incrementally closer to being in compliance with the guidelines; rather, the problem is that the architecture is stylistically suited for other cities or other neighborhoods – not the Over-the-Rhine historic district. While the design may be appropriate for and blend in with the style of buildings being constructed in Uptown, for example, it is not at all stylistically appropriate to Over-the-Rhine. This is a major problem and one of the principal reasons why we cannot support the proposed design at this time.

The Foundation is also deeply concerned by the currently unanswered question of demolition of the historic, contributing building at 1711 Elm Street. The Over-the-Rhine Foundation is never in favor of demolition of contributing structures in the Over-the-Rhine historic district.

Finally, the garage portion of the project has not been considered at this time. Large murals are shown in the elevations. If they are to be a part of the approved design, it is unclear how the developer is guaranteeing they will be produced and whether the murals are a replacement for architecture that is consistent with the guidelines.

For all of the above listed reasons, as well as the critique laid out in the attached report, the Over-the-Rhine Foundation respectfully asks that a COA not be approved at this time.

Respectfully submitted,

W. Kevin Pape
President
The Over-the-Rhine Foundation



January 18, 2016

Source 3 Development
308 East Eighth Street
Suite 500
Cincinnati, OH 45202

Dear John, Craig, and Mike,

Thank you for meeting with us on Wednesday, January 6 and engaging us in a discussion of your project. It means a lot and says a great deal that you involved us, and listened. It is thrilling that your team is investing in our cherished Over-the-Rhine neighborhood, on the site of the significant Elm and Liberty infill opportunity. It is clear that you have experience and expertise in your organization to improve the urban fabric, with an understanding of markets and trends.

Having had more time post-holidays to engage internally as a committee, we have discussed your project at length and offer here clear, specific, and detailed information as to our position on your project as proposed in the preliminary massing drawings. As stated in our meeting, one of the pillars of the Over-the-Rhine Foundation's mission is to support the protection and preservation of Over-the-Rhine's historic district. In view of this, we have three specific areas of comment related to the project at this stage of design development; the first two were discussed in concept at the meeting, and the third developed from further commentary within our committee, as follows:

First, in order to preserve and respect the existing scale of the Over-the-Rhine historic district, it is critical that the height of any new building be aligned with the heights of adjacent and nearby buildings in the district. In this case, "adjacent and nearby buildings" include those that are immediately abutting (three historic buildings on Liberty and two on the West side of Elm), those on the interior of the block bounded by Liberty, Green, Elm and Logan, and those on the East side of Elm between Liberty and Green. It is crucial that the tallest part of any new development at this site be aligned with the height of this existing fabric, and in any case not exceed the height of the tallest existing building within these bounds. Ideally some portion of the new building would also correspond in height to the (majority) three story historic buildings present in the existing fabric.

We appreciate the meaningful dialogue we have had on this topic to date, and appreciate that your team has acknowledged our concerns related to the height of the project as currently proposed. We look forward to further engagement on this subject. It is our intention here to provide transparency around what our Foundation would consider an acceptable height for such a project.

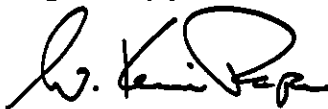
Our second comment addresses the proposed development on and loss of two public alleys (Campbell Alley and Freeport Alley). Alleys are a character defining and essential part of the Over-the-Rhine fabric, and both of the alleys in this case retain their systems of historic brick pavers. Additionally, Campbell Alley, oriented in the north-south direction, is a continuation of a three-block alley system. While there are examples in Over-the-Rhine of alleys being fenced-in for private use, the Elm & Liberty project as proposed would be the largest and most substantial privatization and development of public alleys in Over-the-Rhine to date. This would result in the permanent loss of these alleys as part of the historic infrastructure. We would look more favorably upon the privatization of the alleys in this case if they were preserved, not built upon, and treated as project amenities.

We greatly appreciate your recognition of the importance of the alleys to the Over-the-Rhine community, and again look forward to further discourse on this subject.

Our final comment concerns the frontage of the parking garage along a prominent pedestrian right of way -- Logan Street. While several parking garages have been developed in Over-the-Rhine in recent years, the pattern has been to "hide" them behind a veneer of apartments and commercial space (see, for example, the Mercer development on Vine Street), or, at a minimum, to provide a façade treatment to mitigate the street-level impact of the garage face. A similar façade treatment in this case would help to mitigate the impact of a parking garage to the pedestrian experience along Logan.

We look to support your development of the Elm and Liberty opportunity through design decisions that respect the Over-the-Rhine historic district and the decades of work and commitment towards its preservation and revitalization. We welcome another in-person meeting with you in the near future to build this as a successful project for your venture and the community.

Respectfully yours,

A handwritten signature in black ink, appearing to read "W. Kevin Pape". The signature is fluid and cursive, with a large initial "W" and "K".

W. Kevin Pape
President
The Over-the-Rhine Foundation



April 12, 2016

City Planning Commission
Two Centennial Plaza
805 Central Avenue, Seventh Floor
Cincinnati, OH 45202

Re: Proposed change in zoning at the northwest corner of Elm St. and W. Liberty St.

Dear Planning Commission Members,

The Over-the-Rhine Foundation does not support the request for a planned development zoning on the project titled "Liberty Corner", as currently designed.

We appreciated the early dialogue the Source 3 development team started with the community regarding the project. They requested our feedback on multiple occasions and we provided our responses and opinion as you can see in the attached letter, dated January 18, 2016. Through the support of the Economic Development Department Major Projects Team, the Over-the-Rhine Foundation provided additional comments as part of the Joint Committee meetings made up of the Over-the-Rhine Community Council and the Over-the-Rhine Foundation. These comments are dated March 24, 2016, and can also be found attached.

However, despite these early good intentions, most of our concerns have not been addressed. In fact, no response was received from the development team to the joint committee items. As it relates to this commission particularly, the proposed building height as shown in the renderings is not acceptable to our organization. No other structure in the context of the surrounding neighborhood comes close to this height. Because the height and mass of this proposed development are out of scale in terms of community context, its construction, and the precedent this project will set, has the potential to create a permanent negative impact on our historic community.

We look to support development of the Elm and Liberty project through design decisions that respect the Over-the-Rhine historic district and the decades of work and commitment that have been invested in its preservation and revitalization. Thank you

for careful consideration on this project and for protecting the historic integrity of our own Over-the-Rhine, an historic and vital community unlike any other in the nation.

Respectfully yours,

A handwritten signature in black ink, appearing to read "W. Kevin Pape". The signature is fluid and cursive, with the first name "W." and last name "Pape" clearly legible.

W. Kevin Pape
President
The Over-the-Rhine Foundation



March 24, 2016

Stephen W. Eastridge, Development Analyst
Major Projects Team
Department of Community and Economic Development
City of Cincinnati
Phone: 513-352-4546
Email: Stephen.eastridge@cincinnati-oh.gov


RE: Elm & Liberty Development Project

Mr. Eastridge,

Attached please find the Over-the-Rhine Joint Committee's project response summary as requested. The Joint Committee is comprised of representatives of the Over-The-Rhine Community Council, the Over-the-Rhine Foundation and individual community residents. This summary outlines each of the concerns that have been raised in committee as well as potential ways to address them. This list is organized in chronological order to when the concern was brought to the committee.

We look forward to continuing this important conversation as well as working towards a very successful project in our community.

Warm Regards,


Jennifer LeMasters Wirtz, Trustee
Over-the-Rhine Foundation

Over-the-Rhine Community Council, Over-the-Rhine Foundation, & Individual Community Residents

Joint Committee

Elm & Liberty Development Project

Item	Concern	Impact	Potential Solutions
1	Development on and loss of two public alleys (Campbell Alley and Freeport Alley)	Alleys are a character defining and essential part of the Over-the-Rhine fabric, and both of the alleys in this case retain their systems of historic brick pavers. Additionally, Campbell Alley, oriented in the north-south direction, is a continuation of a three-block alley system. While there are examples in Over-the-Rhine of alleys being fenced-in for private use, the Elm & Liberty project as originally proposed would be the largest and most substantial privatization and development of public alleys in Over-the-Rhine to date. This would result in the permanent loss of these alleys as part of the historic infrastructure.	<p>Potential Solutions</p> <p>We would look more favorably upon the privatization of the alleys in this case if they were preserved, not built upon, and treated as project amenities.</p> <p>In the most recent solution presented, this concern was partially solved with the retention of Freeport Alley and the alignment of the garage entrances with the alleys. Maintenance of the historic pavers is requested.</p>
2	Height	The proposed height of the structure dwarfs all buildings in the surrounding area especially considering the smaller scale of Elm Street and the topographic elevation change from Liberty St. northbound on Elm. This will not only change the historic character of Elm Street and the Over-the-Rhine Historic District, but eliminate the views of Downtown Cincinnati's skyline enjoyed by residents on Elm and Logan. These views, which are valuable assets of these properties, will be lost from Green Street, up to Elder Street. Additionally, the viewshed impacts from above the district looking down from the hillside communities will also lose historic quality of small-scaled patterning.	<p>a) Along Elm Street, reduce the height of the structure such that it does not exceed the height of the tallest building on the opposite side of Elm between Liberty and Green, or the immediately adjacent structures on Elm to bounded by Logan. This includes topographic elevation changes -- i.e. total height of topographic elevation plus new building does not exceed total height of existing fabric. Use the length of the development on Elm Street to transition the building facade from a shorter height (in line with the existing historic buildings) on the north to a taller height as it meets Liberty on the south.</p> <p>b) Along Liberty Street reduce height such that it does not exceed the tallest building on Liberty (not including the steeples of St. Francis Seraph). However, the depth of any Liberty Street-fronting building should only go as far back as the first contributing building on the opposite side of Elm (in other words, as soon as the historic fabric begins on the interior of Elm Street, the height of the building should match and not exceed the height of such fabric). It would be appropriate to have a rhythm of a collection of narrower buildings along this long stretch with varying perceived heights.</p> <p>c) Consider incorporating the top story as a part of what is perceived as the cornice from below.</p> <p>d) If additional density is needed, build additional units on top of the garage structure facing an interior courtyard and/or Logan Street to reduce the height and maintain density (lightweight frame construction will easily be accommodated on top of a reinforced concrete garage structure). Petition the city for reduced parking requirements -- particularly given the location along a transit line -- so that the size of the garage can be reduced and more square footage dedicated to finished leasable area.</p> <p>e) Eliminating the setback on the corner will also add additional square footage.</p>

<p>3</p> <p>The frontage of the parking garage along a prominent pedestrian right of way -- Logan Street.</p>	<p>While several parking garages have been developed in Over-the-Rhine in recent years, the pattern has been to "hide" them behind a veneer of apartments and commercial space (see, for example, the Mercer development on Vine Street), or, at a minimum, to provide a façade treatment to mitigate the street-level impact of the garage face.</p>	<p>A similar façade treatment in this case would help to mitigate the impact of a parking garage to the pedestrian experience along Logan.</p>
<p>4</p> <p>Cut-Away Corner</p>	<p>The cut-away corner is contrary to the historic design of the neighborhood. No historic examples exist of 1-2-story patios or a cut-away, below-grade plaza.</p>	<p>Look at other corner examples in the neighborhood, like 224 Liberty, 1301 Main or 1201 Main, that are built to the sidewalk and use a tall, narrow rectangular or flatiron design to define the corner and define a corner with detailing.</p>
<p>5</p> <p>Design/Architecture</p>	<p>Designs tell the stories of the neighborhood, and it's important to keep this tradition alive.</p>	<p>More budget spent on the facade/building envelope. Higher quality of materials and design. This should be a signature, landmark building for the residents of Over-the-Rhine, and for visitors riding the streetcar up to Findlay Market. The design and quality need to be exemplary. The use of modern brick as a finish material needs to be implemented very carefully, as it often clashes with historic brick finishes. Brick should be selected to match size, texture, and mortar joint opening of historic brick.</p> <p>Add details to the facades that are historically in line, but don't copy what's already in the neighborhood.</p> <p>Example ideas:</p> <ul style="list-style-type: none"> - a "cornerstone"/stones in the masonry with the street names on them. See 1200 Main as one example. (Make sure not to use any prior name that Liberty used to have; use the contemporary names.) - naming some of the "building" pieces of the facade with stone wording. ie "The Woodward" at 1400 Main or "Othello" at 1308 Broadway. Put your permanent stamp on your development. With 3 parts of your development team, you have plenty of choices to put your individual stamps on different sections. - Including individual symbolism into any embellishments. Many buildings have remnants of what they once were or who built them, (for example hop flowers in cornices or ironwork when built by brewers, grapes in iron work at 1608 Main for a past bar) Continue the tradition with symbols that mean something about you. - Include the date of your development like 1435 Main did in the past. It makes it clear that this isn't old, even if it's the same style. - Lintels, cornices, and retail window/storefront style are important. - Tell the story of evolving land use and construction at this corner through allusion and the incorporation of design elements or treatments from the 19th century buildings which stood previously on the property. <p>Create new history for this space that will be celebrated for the next 100 years.</p>

6	Commercial Rental/Sale Goals and Plans	Retain unique shopping experience with indie commercial; add commercial that meets needs of entire neighborhood; equitable development strategies	Bring in independent local shops, restaurants, and bars, in keeping with Over-the-Rhine's historical development and the types of tenants being introduced along Vine and Main Streets and around Findlay Market. National chain tenants are discouraged.
7	Jobs/Hiring/Wages and Benefits for construction and renovation	Support of local economy	Wages/Benefits should pay enough for workers to afford the basics; Hiring should prioritize neighborhood and nearby
8	Jobs/Hiring/Wages and Benefits in commercial properties	Support of local economy	Wages/Benefits should pay enough for workers to afford the basics; Hiring should prioritize neighborhood and nearby
9	Targeted Demographics for rentals	Committed community	Full time residents, workforce housing, larger units for families
10	Guided by existing plans	Support the Over-the-Rhine Comprehensive Plan Goals and the Brewery District Master Plan	Consider housing plans (pricing and unit size), Gateways, etc.
11	Streetscape/Public Space	Continuity of community pride, community engagement, increased value of property.	Engage community neighbors, designers, artists in development of plans for streetscape or public spaces, including seating space, public art, greenspace, shade, design elements, sidewalk art. Public/private funding may be available if community is engaged and local artists involved.
12	Public Art/Artist Engagement	Continuity of community pride and character, community strengthening, increased value to property.	Art Academy of Cincinnati or other local artists could help in designing embellishments, murals, etc. Also, artists contribute to community engagement and support with ideas and entrepreneurial activities. Artists can alleviate construction fatigue and bad press with positive pop-up activities. (See Springboard for the Arts, Irrigate initiative. Private and public funding may be available for these efforts too. http://springboardforthearts.org/community-development/irrigate/)

May 18, 2016

The Over-the-Rhine Joint Committee is deeply appreciative of the Source3's efforts to consider the concerns of the community, and to revise their proposal based on a respect for those concerns and an acknowledgement of community members' passion for Over-the-Rhine. The Committee recognizes the Developer's efforts to revise the project, and admires and respects the courage that it took to make such revisions. In light of these changes, the Committee wishes to move forward with the Developer Team in a mutually supportive, collaborative manner that allows for the best project possible for our community.

We remain concerned about the very large size, scale, and massing of the proposed building – even after the aforementioned revisions – and the impact it is likely to have on the feel of our community once built. In particular we are concerned that the height exceeds the allowable height limits set by the Over-the-Rhine Historic District Guidelines for new construction, and would represent the first new infill construction project that exceeds these height limits and the heights of the surrounding historic fabric. More specific height related concerns include the parapet walls and the effect they will have on the height of the structure once added, and the penetration of the 5-story portion of the building to mid-block in the interior block of Elm.

In light of these issues, the design and architecture, commercial tenancy, public art, and quality of materials aspects of the project will be especially crucial in ensuring that the building blends in and creates an overall positive benefit to the community. The Committee wishes to have continued meaningful engagement with the Developer Team on these and other issues moving forward. Therefore the Committee is able to support the concept plan of May 6, 2016, conditioned upon the following:

- 1) That the Developer Team agree to work closely and meaningfully with our Joint Committee on the architectural design of the project moving forward, in recognition of our mutual goal of creating superior urban design at this important corner location
- 2) That the Developer Team agree to work closely and meaningfully with our Joint Committee on other issues affecting the project, including but not limited to identifying and finding commercial tenants, incorporating public art into the project, and hiring low income residents to work at the project.
- 3) That this letter become part of the City Planning Commission's motion to approve the PD concept plan.

The Joint Committee acknowledges the Developer Team's good faith efforts to improve the concept plan/massing envelope of the proposed project, and looks forward to a mutually supportive and beneficial relationship that allows us to reach the shared goal of a project that Cincinnati and Over-the-Rhine can be proud of.

The Joint Committee is a group of concerned residents and stakeholders, including representatives of the Over-the-Rhine Foundation and members of the Over-the-Rhine Community Council. The Committee does not represent the Community Council, which has not yet had a chance to weigh in on this project.

Sincerely,

The Joint Committee

Memorandum

To: The Historic Conservation Board
 c/o Beth Johnson
 Urban Conservator
 513-352-4848
 beth.johnson@cincinnati-oh.gov



From: Over-the-Rhine Foundation
 1219 Sycamore Street
 Cincinnati, Ohio 45202

Date: 6/24/2016

CERTIFICATE OF APPROPRIATENESS REPORT

PROJECT: LIBERTY CORNER, NWC LIBERTY STREET & ELM STREET
 OVER-THE-RHINE HISTORIC DISTRICT

Applicant	Source3 Development and New Republic Architecture
Type of Request	COA for Planned Development Mixed-use Multi-family new construction

After review, the Over-the-Rhine Foundation does not support this application.

Please note the following:

- The itemized review below discusses details of the Elm Street and Liberty Street elevations only. **The Logan Street and Green Street elevations broadly do not meet the guidelines and thus are not addressed further herein.)**
- A project of the scale must include the context of the neighboring buildings on the block, not just outlines of immediately adjacent structures in order to understand the design's responsiveness to Rhythm, Height, Materials, and other key composition metrics.

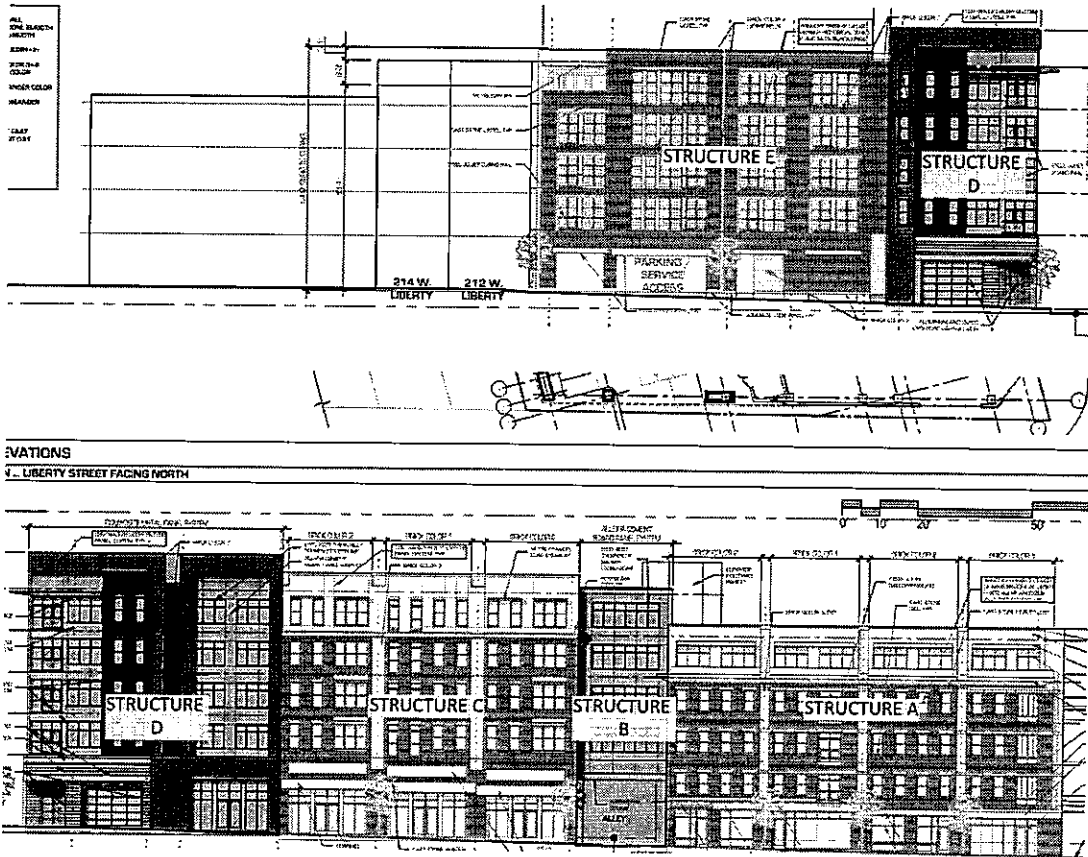
Note: This checklist was developed by the Over-the-Rhine Foundation and compares the proposed project with the applicable guidelines for new construction in the Over-the-Rhine Historic District

SUMMARY CHECKLIST

Specific Guideline	Meets Guideline?			Conditions
	Yes	No	Partial	
1. Base		X		See comments.
2. Middle			X	See comments.
3. Top		X		See comments.
4. Roofs	N/A	N/A	N/A	Not enough information to evaluate.
5. Windows			X	See comments.
6. Storefronts		X		See comments.
7. Setback			X	See comments.
8. Rhythm	N/A	N/A	N/A	Not enough information to evaluate.
9. Vertical Emphasis	N/A	N/A	N/A	Not enough information to evaluate.
10. Height		X		See comments.
11. Materials	N/A	N/A	N/A	Not enough information to evaluate.
12. Other Comments	N/A	N/A	N/A	Not enough information to evaluate.

DRAFT CERTIFICATE OF APPROPRIATENESS REPORT
Elm & Liberty

IMAGE KEY: This review performed on the individual structures that make up the Elm Street and Liberty Street building mass as follows:



DETAILED CHECKLIST REVIEW

1. Composition - Base: / Storefronts:

Does the project meet the applicable guidelines for Composition – Base/ Storefronts?	Yes	No	Partial
		X	

“New buildings should have a well-defined base. Within the district most buildings have a base that is distinguishable from the rest of the building. This is accomplished through a change of materials, a change of scale, and/or a lintel or other type of horizontal banding. In larger buildings the original base may include more than the first floor.”

Comment: *Insufficient contextual information provided to allow evaluation of the project’s relationship to adjacent and surrounding fabric*

DRAFT CERTIFICATE OF APPROPRIATENESS REPORT

Elm & Liberty

Elevation and plan detail do not match (A201). Reviewed based on Elevation being accurate/current. Storefront level elevation details with dimensions should be provided for clarity. Overall project does not have storefronts with slender columns, which emphasize verticality.

STRUCTURE A: The column structures of the individual storefronts are not consistent in width or rhythm with the contextual community. Large columns mid-span in the storefront are irregular to community context. Although dimensions of these columns are not provided, they appear inappropriately wide. The large brick section shown in the northernmost bay is not appropriate. Set back of glazing is not clear but appears to be less than 12"-18" typical of context. The primary base issues with this section are more accurately covered in the 'Rhythm' section.

STRUCTURE B: Drawings are not clear on the material used on the columns flanking the alley. Opening is under-detailed and not consistent with Courtyard building typologies in the context. Proportions and hierarchy of opening should treat this as a major entrance into the complex with decorative lighting, appropriate materials and perhaps appropriate signage.

STRUCTURE C: The lintel and the horizontal banding is inappropriately tall. Additionally, the "sign band" is inappropriate for the historic context. Varying column widths on storefronts are inconsistent with the neighborhood context, column widths should at least be consistent within the bay. The appearance of double columns between storefronts is inappropriate unless a planar change is made in the E-W direction. The storefront mullions are oversized. If the floors above are at the same level, it is unclear why the steel channel headers above the storefronts change elevation with the sidewalk. Further information is needed on sign bands.

STRUCTURE D: The metal panel composition does not relate to the characteristics on existing historic storefronts. Additionally, the lintel and the horizontal banding is inappropriately tall on both sections of this structure. Aluminum garage doors are not appropriate in this structure. Nana-wall or sim is an appropriate alternative. Analysis of the base of this portion of the project is difficult due to a lack of visual association with any vernacular building type. Most of the architectural elements shown on the Structure D base are not associated with any historic Over-the-Rhine building type.

STRUCTURE E: Bricked in storefront/ base does not relate to the characteristics on existing historic storefronts, particularly on a primary corridor. It is also typical that the lintel/ horizontal banding on warehouse/ institutional structures extends the width of the primary façade. This structure appears to be attempting to echo a historically commercial Over-the-Rhine structure such as 1212 Jackson, or 1201 Walnut but lacks the conformity and base regularity to do so.

DRAFT CERTIFICATE OF APPROPRIATENESS REPORT
Elm & Liberty

2. Composition – Middle & Windows

Does the project meet the applicable guidelines for Composition – Middle & Windows?	Yes	No	Partial
			X

“Details on new buildings should relate to the detailing of adjacent or nearby buildings. Buildings in the district often incorporate architectural details such as changes in plane or changes in materials on their upper floors. Decorative, horizontal bands indicating the floor lines, sill heights or lintel heights should not overpower the vertical emphasis of the design.”

“Window openings are extremely important in this district. The openings of new buildings should be related to the size and placement of openings found on historic structures of similar use in the district. In residential buildings, window openings are typically found individually rather than in pairs or grouped. The openings are taller and wide (typically in a proportion of 2:1), window sash are set back from the wall surface, and openings have some form of definition, such as lintels, sills or decorative surrounds. Window openings, which are typically aligned vertically, usually occupy between 20% and 50% of the principal facade. In commercial, industrial and institutional buildings, windows are often grouped within a single opening. These building types may also use a combination of window sash, including double-hung, awning and hopper. If muntins are used in new window sash, they must provide true divided lights. Within the individual opening, window sash are usually divided into two or more lights. In all cases the glass must be clear; tinted or reflective glass is not acceptable. Also, roll down shutters and metal bar systems installed on the exterior of the building that cover door and window openings are not appropriate.”

Comment: *Insufficient contextual information provided to allow evaluation of the project’s relationship to adjacent and surrounding fabric*

STRUCTURE A: Overall vertical divisions between bays do not continue through to the ground plane. Please provide a precedent for the strategy of wide vertical divisions. This application creates unbalanced individual bay facades and fails to break the cornice. These wide divisions create a “faux” façade that is not appropriate to the historic context. The window sashes should be divided into two or more lights. Triple grouping of windows in the top-most row not characteristic of residential/mixed-use buildings unless it is within an oriel. The double door openings are not appropriately contextual. The wide brick column to the north of these door openings is inappropriately wide. Brick color pattern recommended from S to N as brick 1, brick 1, brick 2, brick 2 so that the scale of the façade is broken into a more appropriate scale to the overall massing. Need more detail on cast stone accent band. Where this feature would typically serve as an integral lintel, this design appears to show lintels plus infill stone pieces which is not typical. Similarly, when accent band show up on Over-the-Rhine facades they are typically both as the lintel levels and the sill levels. Accenting only the tops of windows leave the bottoms feeling soft.

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Elm & Liberty

STRUCTURE B: Bridge structure would be more successful taking cues from the Building E “warehouse” structure. Very strong horizontal windows are not consistent with guidelines; further divided lights is recommended. Material is not appropriate for the historic context. Improved window detailing may offset. Architect has previously described this structure as a glass element, but it does not read that way. If the concept is to have Structure B fade away from the more primary facade types, it would achieve this more successfully if it were one story shorter and set back slightly more from the property line.

STRUCTURE C: Top-most row of windows appears to be pushed up against the cornice which is not characteristic of the context. Triple grouping of windows not characteristic of residential/mixed-use buildings unless it is within an oriel. Large lintel over triple windows not appropriate. Generally speaking, the strategy of including a field of windows above the cornice (Structures A & C) diminishes the role of a typical ‘middle’ and blurs the line between middle and top. In Over the Rhine this is only typically found in French Second Empire structures which are fairly rare and always a much smaller scale than this project.

STRUCTURE D: Overall composition not clear in elevation and plan. 3D renderings should be provided as this structure drastically diverges from guidelines and is the most visible portion of the project. This piece should be the most scrutinized volume and cannot be evaluated without more imagery and detail.

STRUCTURE E: Visually there’s a lot going on in the large frame piece trying to express the corner. There appear to be plane, texture and color changes. Toning down the color but keeping the patterning and textural changes and working with subtle variations of tone would express this element more successfully. Right now the large frame piece is very superficial and stands out too much but with effort that piece can evolve. Window groupings within large openings is appropriate. Divided lights are appropriate. The large mullion in the window groupings are not appropriate. If the goal is to echo a commercial style building, a vertical division down the center is less relevant. Opening sizes should be consistent in all of Structure E and the west bay should not drop down a floor. Please provide precedent images of other OTR commercial structures and explore how this part of the project takes cues from them.

3. **Composition – Top:**

Does the project meet the applicable guidelines for Composition - Top?	Yes	No	Partial
		X	

“New construction must employ a strong element that terminates the uppermost part of the building. Distinctive elements in the architecture of Over-the-Rhine are elaborate projecting cornices, decorative parapets and the expressive use of materials.”

Comment: *Insufficient contextual information provided to allow evaluation of the project’s relationship to adjacent and surrounding fabric*

DRAFT CERTIFICATE OF APPROPRIATENESS REPORT
Elm & Liberty

STRUCTURE A: Topmost parapet is overly tall, exceeding the overall height supported by the community at the planning commission. Fiberglass cornice on top of brick should extend to the northernmost point of brick wall and wrap corner. Level four floor plan has not been provided. This is needed to fully describe the setback. If no setback provided, then the uppermost story does not relate appropriately to the façade it tops. The openings break the rhythm established by the middle of the structure. The material change is therefore also not justified.

STRUCTURE B: No termination to the top is provided.

STRUCTURE C: Topmost parapet is overly tall, exceeding the overall height supported by the community at the planning commission. The material change is not justified without a planar change. The top of Structures A and C are foreign to the neighborhood. Properties like 1616 Race, 1622 Vine, and 1130 Main should be analyzed for their division of the top floor from the lower floors.

STRUCTURE D: Overall composition not clear in elevation and plan. 3D renderings should be provided as this structure drastically diverges from guidelines.

STRUCTURE E: No termination to the top is provided.

4. Roofs:

Does the project meet the applicable guidelines for Roofs?	Yes	No	Partial

“Roofs for new construction should be similar to roofs of adjacent and nearby buildings of similar size and use. In the district, buildings of three or more stories generally have low-pitched shed roofs that are not visible above the principal facade. Smaller buildings in the district typically have simple gable roofs on which the gables are perpendicular to the principal facade. Institutional buildings in Over-the-Rhine have a variety of roof shapes, including dormers, multiple gables, hip roofs and towers. Roofs in this district have little or no overhang.”

Comment: Not sufficient information to allow for review.

STRUCTURE A: TBD
STRUCTURE B: TBD
STRUCTURE C: TBD
STRUCTURE D: TBD
STRUCTURE E: TBD

DRAFT CERTIFICATE OF APPROPRIATENESS REPORT
Elm & Liberty

5. **Setback:**

Does the project meet the applicable guidelines for Setback?	Yes	No	Partial
			X

“Setback is an important issue in a dense urban area such as Over-the-Rhine. The setback for new construction should be consistent with the buildings of similar use on adjacent and nearby sites. In Over-the-Rhine, most commercial buildings are built up to the property line. Some residential property, especially detached buildings, have shallow setbacks but retain an “edge” at the property line with a fence. Some larger institutional buildings such as schools, churches and public buildings are setback from the street to provide public space and to add to their monumentality. In most cases new construction on corner sites should be built up to the edge of both outside property lines.”

Comment:

Insufficient contextual information provided to allow evaluation of project’s relationship to adjacent and surrounding fabric

STRUCTURE A: The base is setback from the façade of the building above and from adjacent and nearby historic structures. This characteristic is not appropriately related to the historic context. The base should be within the plane of the structure above. Upper sections appear to extend over property line, which is not characteristic of surrounding context. Bringing the base up to the property line and setting the 5th floor back about 5 feet from façade would help mitigate the scale issue of the building and create street-level setbacks more consistent with neighborhood and Guidelines.

STRUCTURE B: The setback is appropriate to accentuate the preserved alley.

STRUCTURE C: The base is setback from the façade of the building above and from adjacent and nearby historic structures. This characteristic is not appropriately related to the historic context. The base should be within the plane of the structure above. Upper sections appear to extend over property line, which is not characteristic of surrounding context. Bringing the base up to the property line and setting the 5th floor back about 5 feet from façade would help mitigate the scale issue of the building and create street-level setbacks more consistent with neighborhood and Guidelines.

STRUCTURE D: Overall composition not clear in elevation and plan. 3D renderings should be provided as this structure drastically diverges from guidelines. This piece should be the most scrutinized volume and cannot be evaluated without more imagery and detail.

STRUCTURE E: The setback is appropriate.

DRAFT CERTIFICATE OF APPROPRIATENESS REPORT
Elm & Liberty

6. Rhythm:

Does the project meet the applicable guidelines for Rhythm?	Yes	No	Partial
			X

“New buildings should incorporate design features, such as window groupings, articulation of wall surfaces, and decorative elements such as columns or piers in an effort to maintain the rhythm that already exists in the district. New construction should avoid creating long unrelieved expanses of wall along the street by maintaining the rhythm of bays found on the district. Most buildings in Over-the-Rhine are relatively narrow, 25 to 50 feet in width. A building facade typically displays vertical subdivisions that establish a visual rhythm. In dense commercial areas such as Vine Street, there are no setbacks, creating a solid wall along the street. This wall is articulated by the individual buildings, which in turn are divided by window groupings, changes in wall planes and decorative elements such as pilasters, columns or piers.”

Comment: Overall subdivisions in 25’ parcel bays is an appropriate response to the contextual fabric. Other issues of rhythm were discussed in other sections. There are several instances where small elements throw off symmetry and/or uniformity within a bay or architectural element. The entire facade needs to be cleaned up to add overall consistency. The project is being analyzed at such a macro level that it becomes difficult to confirm that window sizes and spacing connect to the neighborhood, storefront bays connect to the other Elm Street facades, etc. Contextual comparisons and detail drawings are needed to do so properly.

- STRUCTURE A: See above.
- STRUCTURE B: See above.
- STRUCTURE C: See above.
- STRUCTURE D: See above.
- STRUCTURE E: See above.

7. Emphasis:

Does the project meet the applicable guidelines for Emphasis?	Yes	No	Partial

“New residential and mixed-use construction should have a vertical emphasis, because in Over-the-Rhine buildings are taller than they are wide, window openings are tall and narrow, and storefronts have slender columns, which emphasize verticality. Commercial and industrial buildings, which may have an overall horizontal emphasis, often incorporate vertical elements, such as pilasters or vertically oriented openings.”

DRAFT CERTIFICATE OF APPROPRIATENESS REPORT
Elm & Liberty

Comment: *Insufficient contextual information provided to allow evaluation of project’s relationship to adjacent and surrounding fabric*

- STRUCTURE A: See above.
- STRUCTURE B: See above.
- STRUCTURE C: See above.
- STRUCTURE D: See above.
- STRUCTURE E: See above.

8. **Height:**

Does the project meet the applicable guidelines for Height?	Yes	No	Partial
		X	

“The height of new construction should not vary more than one story from adjacent contributing buildings. Most buildings in Over-the-Rhine are between two- and five-stories.”

Comment: Height continues to be a major concern, particularly relative to the existing scale of historic buildings along Elm Street heading towards Findlay Market.

- STRUCTURE A: Structure is 2 stories taller than adjacent 3-story building at 1711 Elm
- STRUCTURE B: Structure is 2-3 stories taller than adjacent 3-story building at 1711 Elm
- STRUCTURE C: Structure is 2-3 stories taller than adjacent 3-story building at 1711 Elm
- STRUCTURE D: Structure is 3-4 stories taller than adjacent 3-story building at 1711 Elm, and 2 stories taller than adjacent building at 212 W. Liberty
- STRUCTURE E: Structure does not vary by more than one story from adjacent building at 212 W. Liberty and is therefore appropriate.

9. **Materials:**

Does the project meet the applicable guidelines for Materials?	Yes	No	Partial

“New construction should use materials that are found on the historic buildings in Over-the-Rhine. Clearly the dominant material in Over-the-Rhine is brick, but other materials such as limestone, sandstone, cast-iron, slate, wood and sheet metal are important as well. Materials such as stucco, synthetic stucco and plastic are not appropriate and should not be considered as exposed finish materials for new construction in this district.”

DRAFT CERTIFICATE OF APPROPRIATENESS REPORT
Elm & Liberty

Comment: Far more information is necessary to properly analyze the materials of this project. While understanding color and type of brick is extremely important, there is an unprecedented amount of non-native metal panels being proposed. On smaller infill projects there exists an opportunity for metal panel to be thoughtfully detailed and arranged. On a project of this scale, introducing a historically inappropriate material for such a wide variety of applications (some tops, some middles, portions of base) could serve to drastically hurt this project and serve as a dangerous precedent for future infill. Resolving the details of a panel system for so many situations would be a challenge for any architectural team. Need proposed colors, joints, metal gauge, etc for metal panels. With the information provided, metal panels cannot be responsibly approved given the multitude of issues that can arise if not properly designed and installed (oil canning, water staining, over reflectance, etc).

STRUCTURE A: See above.

STRUCTURE B: See above.

STRUCTURE C: See above.

STRUCTURE D: See above.

STRUCTURE E: See above.

12. Other Comments:

Large murals are shown on garage elevations. If they are to be a part of the approved design how is the developer guaranteeing they will be produced? Are murals a replacement for architecture that is consistent with the guidelines? The committee supports community collaboration on public art, but more information about that process and commitment is needed.

6 September 2016

Dear Historic Conservation Board members,

I am a resident of OTR, an architect, local developer, and a former member of the Historic Conservation Board. I want to thank you for your service to the community. I appreciate the time commitment you have made and the complexity of some of the issues that come before you. Please know that I offer the following opinion with no disrespect.

The HCB has the important job of protecting irreplaceable historic assets and insuring that new infill projects do not diminish the unique historic quality of our district by adhering to the district's design guidelines. This is important not only for cultural reasons but also economic. Many studies have shown that intact revitalized historic districts provide a more stable local economy. These districts see lower vacancy rates, more business start-ups, more tourism dollars and higher property values that weather down-turns in the economy when compared with non historic districts. For those reasons I have invested heavily in my neighborhood.

As a developer I have done my best to follow the guidelines. There are costs associated with development within a historic district that I would not experience with new construction outside the district, but I understand the importance of bearing a portion of that financial hardship to protect the district and in turn protect my investment.

As a property owner I have relied upon the good faith of the city and the board to enforce the guidelines equally. It is not fair to those of us who have made investments to see our properties adversely affected by inappropriate infill development and the demolition of historic assets (find a vacant lot!).

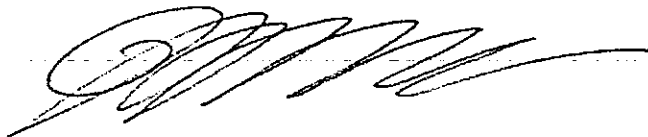
As an architect it is my opinion that Cincinnati's historic guidelines are relatively easy to work within. Typically they provide enough flexibility to produce innovative solutions to most hardship complaints made by applicants and do not warrant a compromise.

As a former board member and concerned resident, I have seen proposals from architects and developers that are clearly outside the guidelines and lack an appreciation of the district. I am concerned they may be relying upon the board to meet them halfway thus encouraging intentionally inappropriate designs. This practice is disrespectful of your time and will set a bad precedent for the district.

My advice to you, when in doubt just rely upon the guidelines. At the very least, enforcing them will result in appropriately scaled buildings that blend into the context and do not adversely affect other property values.

It is my opinion that the proposed development at Elm and Liberty does not currently meet the guidelines largely due to its excessive massing, but also because the submittal lacks sufficient detail to form an opinion regarding the building's detailing. Further, any proposed demolition of an intact historic building should be 'off the table' without question.

Respectfully,



Patricia Bittner, Architect.

Johnson, Beth

From: June Alexander <missjuneart@gmail.com>
Sent: Saturday, September 03, 2016 6:03 PM
To: Conservator, Urban
Subject: Liberty and Elm Opposition

Mr. Mike Burson, Chair
Historic Conservation Board
Two Centennial Plaza
805 Central Avenue, Fifth Floor
Cincinnati, OH 45202

RE: 09/12/2016 HCB Hearing, "Liberty and Elm"

Dear Mr. Burson and the Historic Conservation Board,

I do not support the request for a Certificate of Appropriateness on the project titled "Liberty Corner," as currently designed.

While Source 3 presented to the Over-the-Rhine Community Council (ORCC) several months ago and previously had met with Joint Committee of the Over-the-Rhine Foundation's Infill Committee and ORCC most of the issues brought to the attention of Source 3 have not been addressed or resolved. Below is a list of the primary reasons I currently do not support the "Liberty Corner" project you are considering:

- The height of the proposed structure is significantly higher than surrounding historic buildings.
- The architectural style is not appropriate for the area.
- The proposed parking garage creates a large, windowless wall. A mural is proposed for this wall, though there has been no noticeable community outreach to determine what the mural might depict. Our understanding is that Source 3 has not named funding for the potential mural.
- Source 3 has sought very minimal and insignificant input from the community.
- Source 3 has made no noticeable effort to reach out directly to people living in the blocks surrounding this site.
- While they presented to the Over-the-Rhine Community Council and received a contested, yet favorable vote for their "concept plan," the "concept plan" they presented to the Planning Commission was not the "concept plan" they showed to the ORCC. In fact at the ORCC meeting Source 3 presented that they had made notable changes to their design in light of the Joint Committee's input, including lowering the height of the proposed structure. However, the "concept" show to the Planning Commission showed an increased height and since that hearing the height seems to have further increased. Not only have they presented a concept different from the concept that was supported by the ORCC, but they are not in compliance with the requirement that new structures not vary by more than one story as compared to surrounding buildings.
- In a neighborhood that has lost more than 2,300 units of affordable housing in the last 16 years, this proposed development includes zero housing units affordable to households called for in the Over-the-Rhine Comprehensive Plan: 0-30% and 31 to 60% of Area Median Income (AMI). This not only limits opportunity for people with lower incomes, but also creates an exclusive development that as history shows, will increase the

cost of living for nearby residents that cannot afford this increase. When asked about why they planned to offer no affordable housing, they simply explained that is not what they do, but we know it can be done.

It is for these reasons that I ask your board to not approve the COA for "Liberty Corner" submitted by Source 3.

Sincerely,

June P. Alexander

Johnson, Beth

From: Kate Silver <kate.e.silver@gmail.com>
Sent: Saturday, September 03, 2016 5:34 PM
To: Conservator, Urban
Subject: 09/12/2016 HCB Hearing, "Liberty and Elm"

Dear Mr. Burson and the Historic Conservation Board,

I do not support the request for a Certificate of Appropriateness on the project titled "Liberty Corner," as currently designed.

While Source 3 presented to the Over-the-Rhine Community Council (ORCC) several months ago and previously had met with Joint Committee of the Over-the-Rhine Foundation's Infill Committee and ORCC most of the issues brought to the attention of Source 3 have not been addressed or resolved. Below is a list of the primary reasons I currently do not support the "Liberty Corner" project you are considering:

- The height of the proposed structure is significantly higher than surrounding historic buildings.
- The architectural style is not appropriate for the area.
- The proposed parking garage creates a large, windowless wall. A mural is proposed for this wall, though there has been no noticeable community outreach to determine what the mural might depict. Our understanding is that Source 3 has not named funding for the potential mural.
- Source 3 has sought very minimal and insignificant input from the community.
- Source 3 has made no noticeable effort to reach out directly to people living in the blocks surrounding this site.
- While they presented to the Over-the-Rhine Community Council and received a contested, yet favorable vote for their "concept plan," the "concept plan" they presented to the Planning Commission was not the "concept plan" they showed to the ORCC. In fact at the ORCC meeting Source 3 presented that they had made notable changes to their design in light of the Joint Committee's input, including lowering the height of the proposed structure. However, the "concept" show to the Planning Commission showed an increased height and since that hearing the height seems to have further increased. Not only have they presented a concept different from the concept that was supported by the ORCC, but they are not in compliance with the requirement that new structures not vary by more than one story as compared to surrounding buildings.
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they planned to offer no affordable housing, they simply explained that is not what they do, but we know it can be done.

It is for these reasons that I ask your board to not approve the COA for "Liberty Corner" submitted by Source 3.

Sincerely,

Kate Silver

September 2, 2015

Mr. Mike Burson, Chair
Historic Conservation Board
Two Centennial Plaza
805 Central Avenue, Fifth Floor
Cincinnati, OH 45202

RE: 09/12/2016 HCB Hearing, "Liberty and Elm"

Dear Mr. Burson and the Historic Conservation Board,

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- In a neighborhood that has lost more than 2,300 units of affordable housing in the last 16 years, this proposed development includes zero housing units affordable to households called for in the Over-the-Rhine Comprehensive Plan: 0-30% and 31 to 60% of Area Median Income (AMI). This not only limits opportunity for people with lower incomes, but also creates an exclusive development that, as history shows will increase the cost of living for nearby residents that cannot afford this increase. When asked about why they planned to offer no affordable housing, they simply explained that is not what they do, but we know it can be done.

It is for these reasons that I ask your board to not approve the COA for "Liberty Corner" submitted by Source 3.

Sincerely,

Bonnie Neumeier email: bonsunflower@gmail.com

10 W. 14th Street #3, Cincinnati, OH 45202

Johnson, Beth

From: John Donaldson <john.amy@gmail.com>
Sent: Friday, September 09, 2016 10:58 AM
To: Maynes, Kasandra; Johnson, Beth
Subject: Support for Liberty and Elm development

Kasandra, Beth,

I have lived in OTR since 1999, before that I lived in Eden park, before that Mt Adams.

I am a graduate of UC, an OTR business owner and currently raising 3 OTR children ages 3, 7, 10 who all attend CPS.

I was a founding member of the Brewery District, a community council board member, and I started the first OTR citizens on patrol.

My family is 100% in favor of this development. OTR desperately needs this.

Thank you
John Donaldson

Sent from my iPhone

Kathryn Keough- Jurs
Supervising City Planner
Steve Briggs Plan Examiner
Suite 500
805 Central Avenue
Cincinnati, Ohio 45202

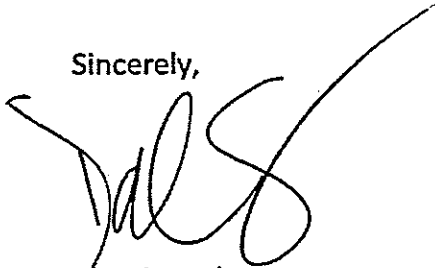
Honorable John J Cranley
Mayor of Cincinnati
801 Plum Street Suite 150
Cincinnati, Ohio 45202

Dear Ms. Keough- Jurs, Mr. Briggs and Mayor Cranley,

We are in support of Source Development's visionary new project at the northwest corner of Liberty & Elm adjacent to the streetcar line and 1 ½ blocks from Findlay Market. This is a new commitment to this area to add housing to the area surrounding this key landmark of Cincinnati history.

The connectivity of the historic Findlay Market area to the Banks in addition to the population growth in the downtown core will help make the streetcar a success and will add greatly to the community as a whole and OTR as continuing district to invest and grow.

Sincerely,

A handwritten signature in black ink, appearing to read 'DS', with a long, sweeping flourish extending upwards and to the right.

Daniel Souder
Co-Owner, Pleasantry
118 w 15th St. | Cincinnati, OH, 45202

SCHEMATIC DESIGN - NOT FOR CONSTRUCTION

NEW MIXED USE DEVELOPMENT
LIBERTY CORNER
 4000 LIBERTY STREET, SUITE 1000
 OVER THE HILL, MISSOURI 63110



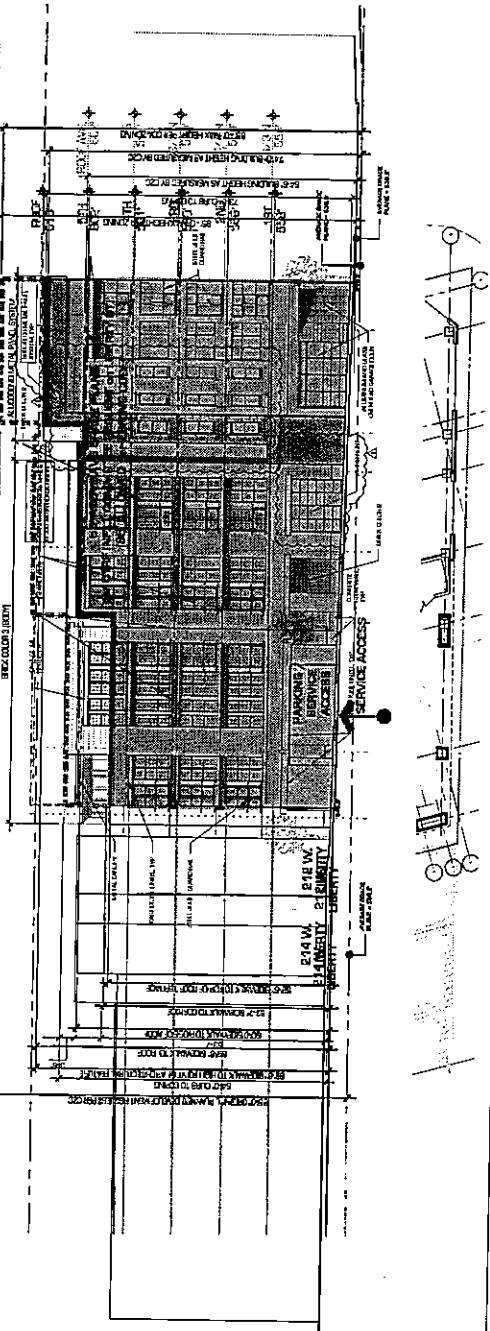
NEW REPUBLIC ARCHITECTURE
 1111 MARKET STREET, SUITE 200
 ST. LOUIS, MISSOURI 63102
 314.433.8888

LIBERTY CORNER
 VALUE ENGINEERING
 22 JULY 2016

BUILDINGS	
NO.	NAME
1	LIBERTY CORNER
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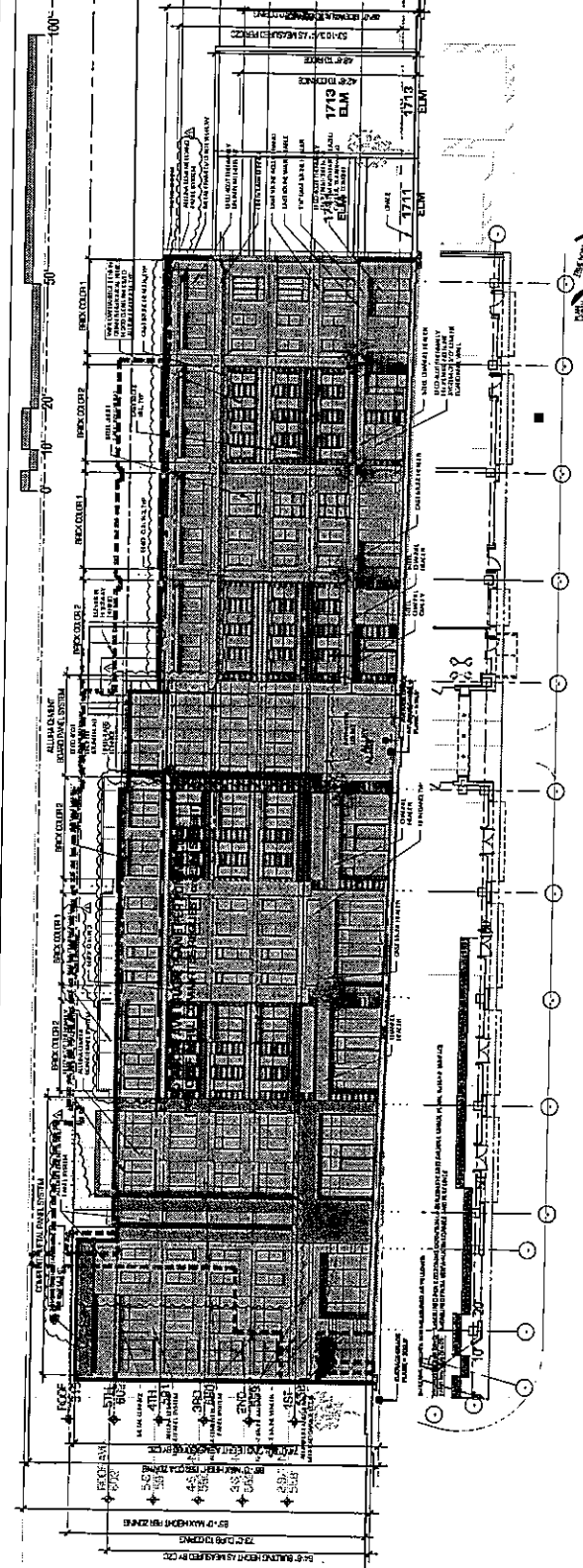
A201
 03/20/16

Not for Construction
 03/20/16



MASONRY SCHEDULE
 BRICK COLOR: 1. ALL BRICK MASONRY BRICK
 BRICK COLOR: 2. CHAMBERLAIN BRICK (SEE QUALITY CONTROL SHEET)
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E1 BUILDING ELEVATIONS
 FRONT ELEVATION - LIBERTY STREET FACING NORTH



A1 BUILDING ELEVATIONS
 FRONT ELEVATION - ELM STREET FACING WEST



3/20/16

DiSalvo Development Advisors, LLC



April 22, 2016

6000 Thatcher Drive
Dublin, Ohio 43017

Phone: 614.260.2501
Website: www.DDAdvise.com
E-mail: info@DDAdvise.com

Craig Gossman, Principal
Source 3 Development
308 East 8th Street, Suite 500
Cincinnati, OH 45202

Dear Mr. Gossman:

Re: Liberty & Elm Project, Over The Rhine

DiSalvo Development Advisors (DDA) has reviewed the elevation and housing density of the Liberty & Elm Project as it relates to appropriate scale adjacent Cincinnati's streetcar system and neighboring buildings.

As you know, we are in the process of completing comparative case studies of streetcar systems, for a non-profit streetcar organization, to gauge ridership and Transit Oriented Development (TOD) potential. For this comparison DDA has studied multiple streetcar systems, existing and planned, which includes Cincinnati's streetcar system.

Higher density development is an important factor supporting ridership and the overall success of a streetcar system. The key riders of streetcar systems include visitors, employees and local residents. The ridership and ultimate success of a streetcar is not only based on the destinations and attractions available near the streetcar, but the depth of ridership support from each of these segments.

Achieving high density residential at your site is important because there appears to be limited sizeable infill housing opportunities near the streetcar system. We identified a total of 36 acres of commercial vacant land located in numerous small parcels within the entire area surrounding the streetcar line that is considered to have TOD potential. A cursory review of ownership and acreage of the vacant parcels indicates that there are likely no more than a dozen or so sites throughout the entire area that will support a high density development of appreciable size. Given the limited opportunities, it is our opinion that every effort should be made to maximize density at all of the TOD infill sites, including the Liberty & Elm site.

In addition to increasing ridership of the streetcar, the residents of higher density housing development will yield much higher consumer spending. The additional spending will support existing businesses in the neighborhood and along the streetcar line. This also will also bolster support for new resident-oriented retail and entertainment businesses. Another effect of having housing adjacent the streetcar line is a reduction in car dependency among residents.



www.chatfield.edu

Saint Martin Campus
20918 State Route 251
St. Martin, OH 45118
(513) 875-3344

Cincinnati Campus
1544 Central Parkway
Cincinnati, OH 45202
(513) 921-9856

John P. Tafaro
President
513-875-3344, ext. 120
john.tafaro@chatfield.edu

May 10, 2016

Ms. Kathryn Keough-Jurs
Supervising City Planner
City of Cincinnati
805 Central Avenue, Suite 500
Cincinnati, OH 45201

Mr. Steve Briggs
Plan Examiner
City of Cincinnati
805 Central Avenue, Suite 500
Cincinnati, OH 45201

The Honorable John C. Cranley ✓
Mayor of Cincinnati
801 Plumb St., Suite 150
Cincinnati, OH 45202

Dear Mayor Cranley, Ms. Keough-Jurs, and Mr. Briggs:

Chatfield College supports Source Development's new project proposed at Liberty and Elm, directly across Liberty St. from our new OTR campus.

As you may know, we have made a big investment in the redevelopment of two formerly vacant structures on Central Parkway, south of Liberty. Our students, instructors, and staff are excited to be a part of the active and growing OTR community. The housing, targeted to middle-income individuals, and other components of this exciting project will greatly enhance the neighborhood and make it more attractive to prospective Chatfield students.

Sincerely yours,

John P. Tafaro



JEFFREY S. SCHLOEMER
513.357.9609
schloemer@taftlaw.com

May 9, 2016

Ms. Katherine Keough-Jurs
Supervising City Planner
City of Cincinnati
Two Centennial Plaza
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

Mr. Steve Briggs
Plan Examiner
City of Cincinnati
Two Centennial Plaza
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

Mr. Gregory Q. Roberson
Senior Development Analyst
City of Cincinnati Community & Economic Development
Two Centennial Plaza
805 Central Avenue, Suite 700
Cincinnati, Ohio 45202

Re: Proposed Source Development project at Liberty and Elm Streets

Ladies and Gentlemen:

I am writing as a soon to be resident of the Over-the-Rhine neighborhood. My wife and I are building our new home on Race Street just south of Liberty Street and expect to be living in the neighborhood by the end of this year. We are investing a substantial amount of money in a neighborhood in which we have much faith, but that still has material risks associated with it.

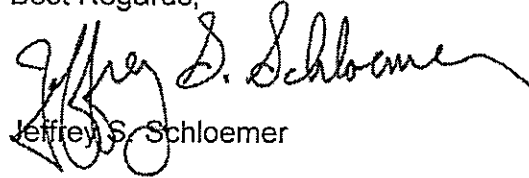
As a result, I believe that it is vital that the City prove friendly to developments, particularly in the area north of Liberty, which is trying to develop the momentum already existing south of Liberty. I have reviewed the plans for the proposed Source Development project at Liberty and Elm Streets and wholeheartedly support the City granting necessary approvals to them. It is clear that they have been developed by top

May 9, 2016
Page 2

notch architects and that they fit appropriately in the neighborhood, both from a scale and design perspective.

This is an important project for the north of Liberty sector and I hope that the City will move quickly to facilitate getting this project built.

Best Regards,

A handwritten signature in black ink, appearing to read "Jeffrey S. Schloemer". The signature is fluid and cursive, with a long horizontal stroke at the end.

Jeffrey S. Schloemer



Bair Build Co
1418 Main St
Cincinnati, OH 45202

FROM THE DESK OF DJ BAIR

To Whom It May Concern

My name is DJ Bair, a resident of OTR, and I am writing today in support of the proposed project at Liberty & Elm St.

I am also the Managing Partner at Bair Build Co., a real estate development and construction firm, located in OTR. We have multiple projects under construction in the neighborhood, on a number of streets immediate to this, which represent a significant investment in the neighborhood. As such, we are a big proponent of development that emphasizes smart use of space along with good design. I feel the proposed design utilizes both of the above elements, and more importantly, does so in an area (Liberty St) that greatly needs it.

It is projects such as this that will work to bridge that gap the "exists" between South of Liberty and North of Liberty, thus further driving demand and development in areas of our City that greatly need it. Furthermore, it is not hard to imagine a future where Liberty St becomes an area that has desirability, flanked on all sides by quiet streets and narrow alleys, full of the vibrancy that makes a city come to life.

The proposed project will represent a great step forward in signaling that our city is a great place to live, work, and play, while still respecting our past.

David (DJ) Bair, Jr



Bair Build Co
1418 Main St
Cincinnati, OH 45202

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David (DJ) Bair, Jr

Kathryn Keough- Jurs
Supervising City Planner
Steve Briggs Plan Examiner
Suite 500
805 Central Avenue
Cincinnati, Ohio 45202

Honorable John J Cranley
Mayor of Cincinnati
801 Plum Street Suite 150
Cincinnati, Ohio 45202

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The connectivity of the historic Findlay Market area to the Banks in addition to the population growth in the downtown core will help make the streetcar a success and will add greatly to the community as a whole and OTR as continuing district to invest and grow.

Sincerely

Adrian's

A Mother's Touch Cakes

Apple Ridge Farm

Areti's Gyros



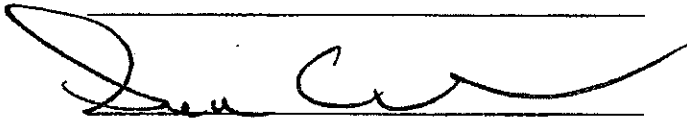
Artichoke

Backacres Farm

Backyard Orchard

BANDI Wear

Bee Haven LLC



• Bender Meats

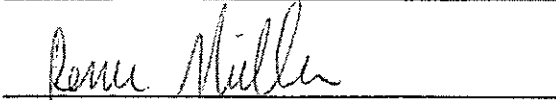
Betina's

Blue Oven Bakery

Blue Rock Medicine

Boone Creek

Bouchard's



Breezy Acres

Bridges

Brunch

• Busch's Country Corner



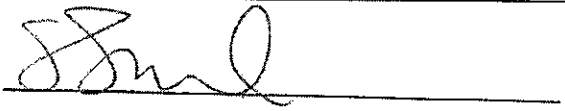
Cake Rack Bakery

Carriage House Farm

• Catanzano Family Produce



Chocolats Latour



Churchill's Fine Teas

Cincinnati Mind Body Studio LLC

Colonel De Gourmet Herbs & Spices



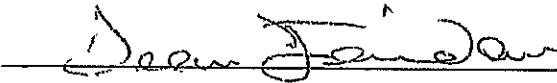
Crigger Farm

Dad's Favorites

Daisy Mae's Market

Dark Wood Farm

Dean's Mediterranean Imports



DIRT: A Modern Market

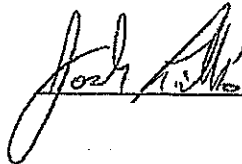
Dojo Gelato



Donna's Gourmet Cookies

Dorsa Studios

Eckerlin Meats



Elaine Adams Productions

Eli's BBQ

Em's Sourdough Bread

Mel Eggenbert

Fab Ferments

Farm Beach Bethel

Fireside Pizza

Foxtail Farm

• Frank's Fish & Seafood Market 2

Glasser

Fresh Table

Meredith Trombly owner Fresh Table

Gaudio Produce

Gramma Debbie's Kitchen

Debbie Knuen Amundson

Grateful Grahams

Heist Fish & Poultry

Tom Heist

Hollmeyer's Orchard

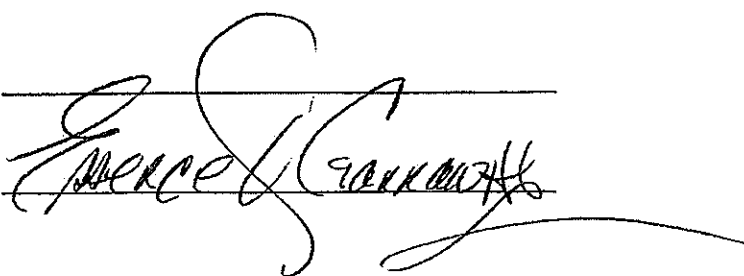
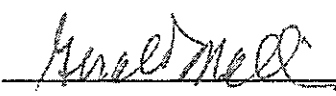
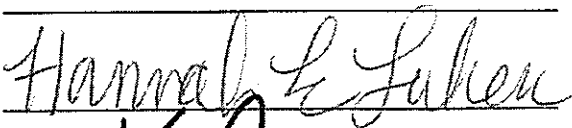
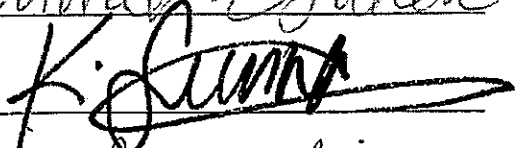
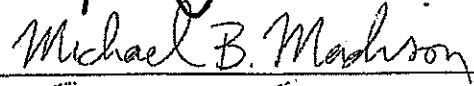
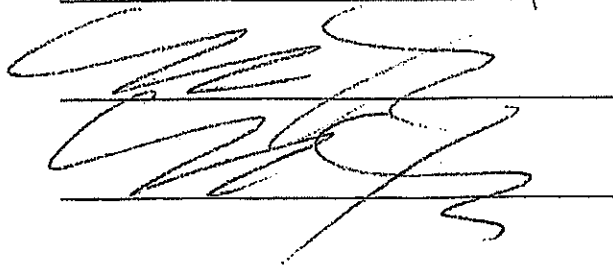
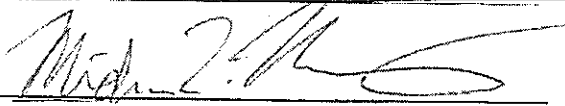
Ida Candles

It's All My Stuff

J. E. Gibbs Cheese

John (Dad) Gibbs (M.H.E.K.)

Jenny's Homemade Cookies

- Jewelry by P.J. _____
- Kist Gardens _____
- Kroeger & Sons Meats  _____
- Lah V Dah _____
- Leader Furniture  _____
- LeGrand Vegetables _____
- Linda's Luxuries _____
- LL Spirits _____
- Lobenstein Farm _____
- Luken's Poultry, Fish, & Seafood  _____
- Mackie Quality Meats  _____
- Madison's at Findlay Market  _____
- Mama Lo Hizo  _____
- Mama Made It _____
- Market Center _____
- Market Wines  _____

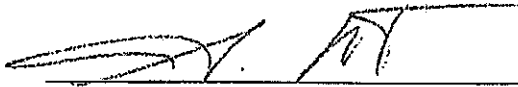
Maumee World Traders



Maverick Chocolate



Mike's Meats



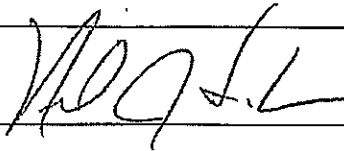
Mimi's Gourmet Egg Rolls & Curry

Mockingbird Hill Farm

Mt. Kofinas

Nature's Gifts

Nay Nay's



Neil Luken Meats LLC

Niemeyer Farm

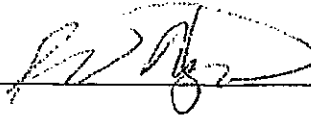
Northgate Greenhouse

OTR Candy Bar

Pet Wants



Pho Lang Thang



Rebecca's Raj Express

ROC Woodworks

Royaltees

Saigon Market

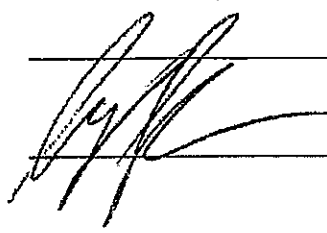
Salatin's Orchard

Scott Family Farms

Seating

Shady Grove Farms

Silverglade's

A handwritten signature in black ink, appearing to be 'D. J. ...', is written across the lines for Silverglade's and Simpson Produce.

Simpson Produce

Summuh

Taste of Belgium

The Beautiful Bags Lady

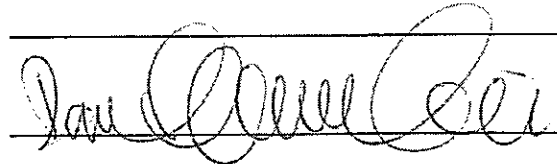
The Cottage Bakery

Todd's Run Nursery

Turner Farm

Tweedles Mini Donuts

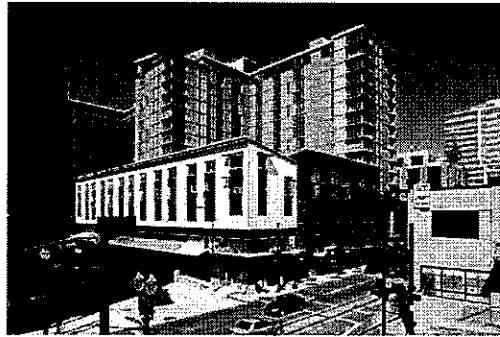
Urbana Cafe

A large, stylized handwritten signature in black ink, appearing to be 'Dan ...', is written across the lines for Tweedles Mini Donuts and Urbana Cafe.

Wilkey Flower Farm

Zinncinnati

The proposed elevation of six stories is two stories higher than the tallest neighboring buildings. This difference in elevation is minor compared to the elevation changes that we observed in Portland's Pearl District along the streetcar line where two- to four-story buildings were flanked by high rise residential buildings (see photo of Asa Lofts on right).



Asa Flats and Lofts, Portland, Oregon

We do recognize, however, that the Over-The-Rhine (OTR) neighborhood has an attractive historic character that is unique to other markets. We spoke with local historic preservationist, Franklin Conaway, who has prior experience with historic restoration in the OTR neighborhood, regarding the impact of the proposed higher elevation. Mr. Conaway indicated that depending on the building design, a two-story variation is generally acceptable and not considered intrusive to the historic character of the adjacent buildings.

In summary, we believe it is essential that the proposed development maximizes housing density. There are limited opportunities to develop a significant high density property at the corner of the streetcar system and those few should be capitalized upon to support ridership and other businesses along the streetcar line and in the neighborhood.

Sincerely,

Pete DiSalvo
Principal
DiSalvo Development Advisors, LLC

Johnson, Beth

From: Denny Dellinger <dennyd.dellinger@gmail.com>
Sent: Monday, September 12, 2016 9:00 AM
To: Johnson, Beth
Cc: johnwalter@cinci.rr.com
Subject: Liberty Corner

Dear Beth,

I would like to express my support for the approval by the Historic Conservation Board, of the Liberty Corner Project.

Unfortunately, I am unable to attend the meeting this afternoon. I would like to note that I think this revised design is a good example for the kind of new infill construction needed and desired in OTR.

I also believe this is an especially important project, as it will give others more confidence in redeveloping properties North of Liberty Street.

Thank you,

Denny Dellinger, AIA

228 Mohawk St.

Cincinnati, OH 45214

Adam Rayne
2233 Park Ave
Cincinnati OH 45206

Mr. Mike Burson, Chair
Historic Conservation Board
Two Centennial Plaza
805 Central Avenue, Fifth Floor
Cincinnati, OH 45202

RE: 09/12/2016 HCB Hearing, "Liberty and Elm"

Dear Mr. Burson and the Historic Conservation Board,

My name is Adam Rayne. I am a resident of Walnut Hills and used to be a resident in OTR. I am also a designer and graduate from the Architecture Graduate School at DAAP. I am very concerned with how our incredible resource of our urban core is developed at this time and I believe we are at real cross roads in tempering development in OTR and other urban core neighborhoods to benefit the City as whole. We must act accordingly to create a neighborhood that has national significance as a historic treasure and urban space. I am also a long standing member of Over-the-Rhine Foundation's Infill Committee.

I do not support the request for a Certificate of Appropriateness on the project titled "Liberty Corner," as currently designed.

While Source 3 presented to the Over-the-Rhine Community Council (ORCC) several months ago and previously had met with Joint Committee of the Over-the-Rhine Foundation's Infill Committee and ORCC most of the issues brought to the attention of Source 3 have not been addressed or resolved. Below is a list of the primary reasons I currently do not support the "Liberty Corner" project you are considering:

- The height of the proposed structure is significantly higher than surrounding historic buildings.
- The architectural style is not appropriate for the area.
- The proposed parking garage creates a large, windowless wall. A mural is proposed for this wall, though there has been no noticeable community outreach to determine what the mural might depict. Our understanding is that Source 3 has not named funding for the potential mural.
- Source 3 has sought very minimal and insignificant input from the community.
- Source 3 has made no noticeable effort to reach out directly to people living in the blocks surrounding this site.
- While they presented to the Over-the-Rhine Community Council and received a contested, yet favorable vote for their "concept plan," the plan they are presenting to the Historic Conservation Board is not the same plan they showed to the ORCC in terms of the height of the buildings. In fact, the plan being presented to the HCB shows a significant increase in height of at least 5' for the length of the Elm Street side of the development. Not only have they presented a concept different from the concept that was supported by the ORCC, but they are not in compliance with the requirement that new structures not vary by more than one story as compared to surrounding buildings.
- In a neighborhood that has lost more than 2,300 units of affordable housing in the last 16 years, this proposed development includes zero housing units affordable to households called for in the Over-the-Rhine Comprehensive Plan: 0-30% and 31 to 60% of Area Median Income (AMI). This not only limits opportunity for people with lower incomes, but also creates an exclusive development that as history shows, will increase the cost of living for nearby residents that cannot afford this increase. When asked about why they planned to offer no affordable housing, they simply explained that is not what they do, but we know it can be done.

My final concern is that allowing this development to move forward 'as is' sets a very dangerous precedent that will lead down a road we may regret and that that future generations will condemn us for.

It is for these reasons that I ask your board to not approve the COA for "Liberty Corner" submitted by Source 3.

Sincerely,

Mr. Mike Burson, Chair
Historic Conservation Board
Two Centennial Plaza
805 Central Avenue, Fifth Floor
Cincinnati, OH 45202

RE: 09/12/2016 HCB Hearing, "Liberty and Elm"

Dear Mr. Burson and the Historic Conservation Board,

I do not support the request for a Certificate of Appropriateness on the project titled "Liberty Corner", as currently designed. I am a resident of Over-the-Rhine and have been part of the effort, with other residents, to work with Source 3 to find a workable solution that the neighborhood can support. I walk and drive and ride by the location nearly every day. Several times a week I pass it on my way to shop at Findlay Market.

Source 3 is requesting a significant economic benefit from the city with this zoning change. In exchange, Source 3 should be obligated to respect the historic nature of the place and the interests of residents. In this letter, I outline the failure of Source 3 to do so. It is for these reasons that I ask your board to not approve the COA for "Liberty Corner" submitted by Source 3.

While Source 3 presented to the Over-the-Rhine Community Council (ORCC) several months ago and previously had met with Joint Committee of the Over-the-Rhine Foundation's Infill Committee and ORCC **most of the issues brought to the attention of Source 3 have not been addressed or resolved.**

In particular, Source 3 agreed to meet with me to discuss engaging local artists in a process to discover artistic and cultural means to engage citizens in ways that would enable residents and stakeholders to provide input into the process. We had discussed efforts in other places where residents are able to present information about history and culture of the area that can be incorporated into the new development. These efforts provide connection to the space and enhance value.

We were not proposing to require that Source 3 adopt any such proposals, merely that they engage in a process designed to reach current residents of the area. Despite agreeing to do so, and scheduling a meeting with me to discuss moving forward (a meeting they canceled they canceled), they chose to proceed with their plans without ever following up on this promise. Some of the items listed below could have been discussed and addressed as part of this process.

Below is a list of the additional reasons I currently do not support the "Liberty Corner" project you are considering:

- The **height** of the proposed structure is significantly higher than surrounding historic buildings.
- The **architectural style** is not appropriate for the area.
- The proposed **parking garage creates a large, windowless wall**. A mural is proposed for this wall, though there has been no noticeable community outreach to determine what the mural might depict. Our understanding is that Source 3 has not named funding for the potential mural.
- Source 3 has **sought very minimal and insignificant input from the community**. Source 3 has made no noticeable effort to reach out directly to people living in the blocks surrounding this site.
- While they presented to the Over-the-Rhine Community Council and received a contested, yet favorable vote for their "concept plan", the **plan they are presenting to the Historic Conservation Board is not the same plan they showed to the ORCC in terms of the height of the buildings**. In fact, the plan being presented to

the HCB shows a significant increase in height of at least 5' for the length of the Elm Street side of the development. Not only have they presented a concept different from the concept that was supported by the ORCC, but they are not in compliance with the requirement that new structures not vary by more than one story as compared to surrounding buildings.

- In a neighborhood that has lost more than 2,300 units of affordable housing in the last 16 years, this proposed development includes **zero housing units affordable to households called for in the Over-the-Rhine Comprehensive Plan**: 0-30% and 31 to 60% of Area Median Income (AMI). This not only limits opportunity for people with lower incomes, but also creates an exclusive development that, as history and research data show, will increase the cost of living for nearby residents that cannot afford this increase. When asked about why they planned to offer no affordable housing, they simply explained that is not what they do, but we know it can be done.
- This corner is a vitally important gateway to multiple neighborhoods. People riding the streetcar will pass it. It is critical that the development on this site complements and enhances this historic and nationally unique neighborhood. We are confident that a developer who shares this respect for historic places will be interested in this site if Source 3 won't respect the wishes of the neighborhood.

Source 3 is requesting a significant economic benefit from the city with this zoning change. In exchange, Source 3 should be obligated to respect the historic nature of the place and the interested of residents. It is for these reasons that I ask your board to not approve the COA for "Liberty Corner" submitted by Source 3.

Sincerely,

Margy Waller
219 Magnolia Street
Cincinnati, Ohio 45202

Johnson, Beth

From: Maynes, Kasandra
Sent: Friday, September 09, 2016 2:55 PM
To: Harold Schuck; John Walter
Cc: Conservator, Urban
Subject: RE: Liberty & Elm Development.

Good Afternoon:

Thank you for your email. According to the Historic Conservation Board's Rules of Procedure Section 5, regarding written submissions, "The Board shall accept written correspondence or documents from any person wishing to be heard on an application. Written documents shall be submitted to the Secretary not later than five (5) business days prior to the date of the hearing or at a time closer to the hearing in the Chair's discretion."

Although your letter was received outside the guidelines, a hardcopy will be presented to the Chairmen of the Board at the hearing. It will be at the Board's discretion if your letter can be introduced as evidence at the hearing.

Please let me know if you have any additional questions.

Respectfully,
Kasandra

From: Harold Schuck [<mailto:hschuck42@gmail.com>]
Sent: Friday, September 09, 2016 1:49 PM
To: Maynes, Kasandra; John Walter
Subject: Liberty & Elm Development.

Kasandra, As a 35 year + resident of the McMicken, Klotter, Conroy NW section of OTR I whole heartedly agree with John Walter's letter of Sept 6th in support of the Liberty & Elm project.

Harold A. Schuck 606 Conroy Alley, 45214

LIBERTY CORNER

Liberty & Elm in OTR

Historic Conservation Board
City of Cincinnati
09.12.16
VIEW LOOKING SOUTHEAST



LIBERTY CORNER

Liberty & Elm in OTR

Historic Conservation Board
City of Cincinnati
09.12.16
VIEW LOOKING SOUTHWEST



**APPLICATION FOR
CERTIFICATE OF APPROPRIATENESS
HISTORIC CONSERVATION BOARD PUBLIC HEARING
STAFF REPORT**

APPLICATION #: COA2016065
APPLICANT: Jim Kasier, PCA- Architecture
OWNER: The Province of St. John
ADDRESS: **24 W Liberty Street**
PARCELS: 094-0008-0086
ZONING: RM 1.2
OVERLAYS: Over-the-Rhine Historic District
COMMUNITY: Over the Rhine
REPORT DATE: September 12, 2016
HEARING DATE: August 31, 2016 pre-hearing
STAFF REVIEW: Beth Johnson, Urban Conservator

Nature of Request:

The applicant is requesting a Certificate of Appropriateness (COA) for modification to the entryway on Republic Street side of the building, improvements to the loading dock, new windows, and the construction of a lift.

Existing Conditions:

The property at 24 W Liberty Street was built in 1959 and is a non-contributing building to the Over-the-Rhine Historic District. It is a three story building with a buff brick base and stone and metal second and third stories. The building sits at the corner of Liberty Street and Republic Street with a loading dock and entrances on Republic Street.



Figure 1: 24 W Liberty Street. Photo provided by Google Street Views

Proposed Conditions:

The applicant is proposing to modify the site in the following

- Install a new planting strip at the corner of Liberty and Republic Street
- Create a new entry to the St. Anthony Center along Republic Street to include cutting into the brick wall to provide a recessed entryway.
- New window openings on the north wall.
- New planting strips
- 6' Rolling gate and 6" fence
- Install a new entry lift, planters and landscaping at the north entrance way.
- Install a 6' gate between the two buildings.

- Install new windows throughout the building to match style to the existing windows

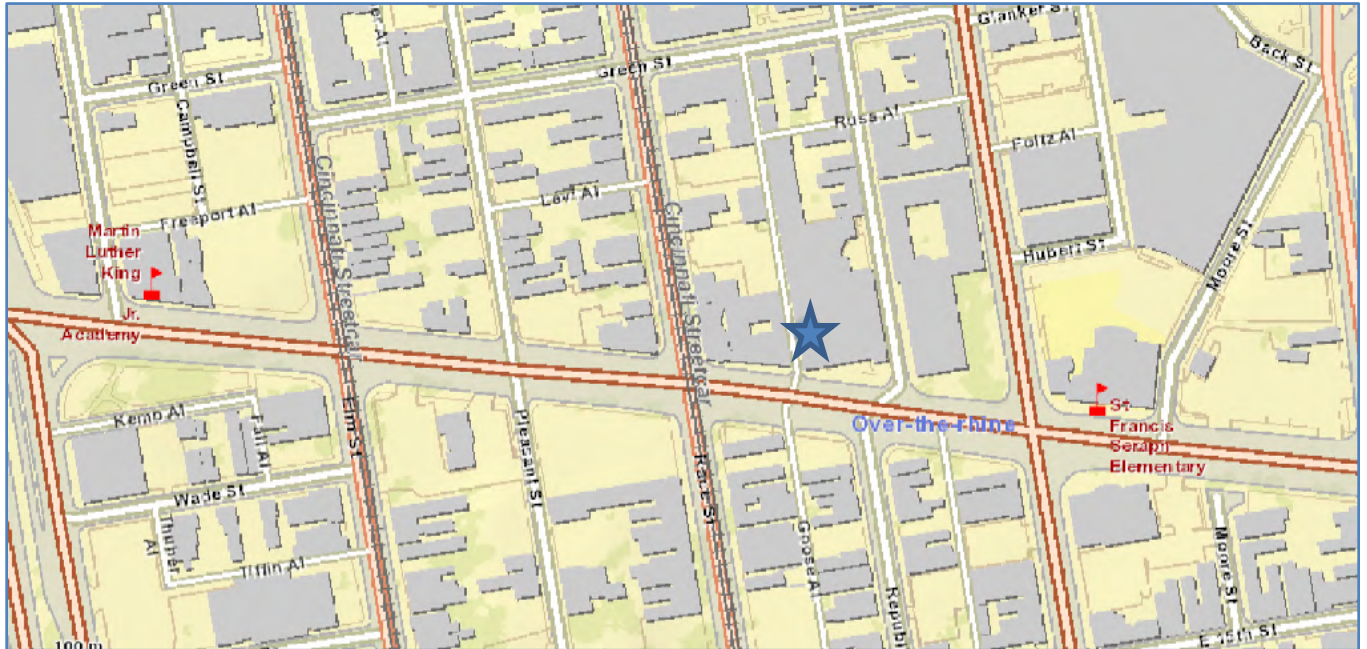


Figure 2: Map of 24 W Liberty Street. Map provided from Cagis Maps.

Previous Reviews: December 21, 2015. Zoning relief for a conditional use variance required for change of use and interior rehabilitation of existing structures to use them as a Community Service Facility, a conditional use of the RM-1.2 zoning district. The conditional use was granted.

Applicable Zoning Code Sections:

Zoning District: Section 1405 RM 1.2 District
 HCB authority: [Section 1435-05-4](#)
 Overlays: [Section 1435](#) Historic Preservation
 Historic District/Reg: [Over the Rhine Historic District](#)
 COA Standard: [Section 1435-09-2](#) Certificate of Appropriateness;
 Standard of Review

Zoning Review

All zoning compliant and no request for Zoning Relief is sought. The property was granted a conditional use variance in December, 2015 to be used as a Community Service Facility.

Certificate of Appropriateness Review:

While the property is a non-contributing building in the Over-the-Rhine historic district, a Certificate of Appropriateness is still required for changes to the building.

Staff feels the proposed changes to the building are appropriate to the building and its individual architecture as well as to the Over-the-Rhine Historic District and substantially

conforms to the applicable conservation guidelines.

Comments on Applicable Guidelines

Non-Contributing Buildings

B. Specific Guidelines

1. **Rehabilitation:** The rehabilitation of non-contributing buildings should comply with the guidelines for rehabilitation, as outlined in the "Rehabilitation" section of this document. These rehabilitation guidelines provide a framework for maintaining a building's basic architectural character; they do not suggest that a building be redesigned or altered to appear older than it is. Alterations to a newer building should be compatible with the original architectural character of that structure or should help the building to relate better architecturally to the surrounding historic district. The rehabilitation of an older, altered structure should restore elements of the building's historic character, whenever possible, based on remaining physical evidence, historic documentation, or similar buildings nearby. Alterations to non-contributing buildings should not create a false sense of history. In many cases it is preferable to rehabilitate and reuse a non-contributing building than to have a vacant parcel or parking lot.

2. **Additions:** Additions to non-contributing buildings should comply with the guidelines outlined in the "Additions" section of this document. Additions should be designed to relate architecturally to adjacent buildings and to the building of which they are a part. Additions should not overpower the original building.

Rehabilitation

2. **Door and Window Openings:** Among the most important features of any building are its openings — its windows and doors. The size and location of openings are an essential part of the overall design and an important element in the building's architecture. Don't alter or fill-in original openings. Roll down shutters and metal bar systems installed on the exterior of the building that cover door and window openings are not appropriate.

The new entrance on Republic Street is located on a wall that originally did not have any openings. The new design has a recessed entrance way that is respectful of the architecture of the building and is designed in a way that doesn't detract from neighboring contributing building. The new entrance puts a focus onto Republic Street and provides interest to the pedestrian rather than a blank wall.

The addition of the lift onto the Mary Magdalene entrance is done in a way that hides the lift from dominating the entrance. As the entrance is also set back far from the street, it is not visible from the street. The addition of planters and a gate towards the street helps identify the entrance

3. **Door and Window Sash:** Repair original doors and window sashes rather than replace whenever possible. If replacement is necessary, the new door or window

sash should match the original in material, size and style as closely as possible. Synthetic replacement windows are generally discouraged. Consult with the Historic Conservation Office about acceptable replacement windows.

The applicant is proposing new windows that match the existing windows in size and style. The windows proposed are appropriate for the building.

Site Improvements

3. Fences and Walls: Wrought-iron or cast-iron fences are encouraged along the sidewalks of vacant lots or where buildings are setback from the sidewalk. Fencing may be set between wrought iron and cast-iron posts, natural stone posts or pre-cast concrete posts. Fencing may also be set on a concrete curb or on top of a retaining wall. Landscaping in front of a fence is encouraged. Plain board fences (vertical boards nailed side-by-side on horizontal stringers) or wire fences are appropriate at the rear of the property or along the side of the property. Wood fences should be painted or stained but not left to weather naturally. Chain link, stockade, shadow board, basket weave and lattice designs are not appropriate. Masonry privacy walls are not encouraged.

All fences being proposed are a simple black metal fence that is appropriate to the district. At the south entrance/Entrance to St. Anthony Center to provides security as well as acting as a screening with the proposed landscape buffers to the parking and loading docks on Republic Street. The fence at the entrance to the Mary Magdalene is combined with a wall and sign signifying the entrance. The wall and fence are set into the property and are appropriate for the lot.

Other Considerations: N/A

Prehearing Results: A Prehearing was held on August 31, 2016. The applicant and a representative from The Province of St. John were in attendance.

Comments Provided to Staff: There have been 20 letters of support submitted to staff. They are included into packet.

Consistency with *Plan Cincinnati (2012)*:
“Sustain” Initiative Area “Preserve our built history”

Recommendation:

Staff recommends the Historic Conservation Board take the following actions:

I. CERTIFICATE OF APPROPRIATENESS

- A. **APPROVE** a Certificate of Appropriateness for 24 W Liberty Street submitted by PCA Architects on September 7, 2016 including any revisions submitted for permit subject to staff review and approval. With the following conditions:
1. The building permits must be issued within two years of the decision date or the Certificate of Appropriateness shall expire.

- B. **FINDING:** The Board makes this determination per Section 1435-09-2:
1. That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

APPLICATION

HCB
HISTORIC
CONSERVATION
BOARD

CERTIFICATE OF APPROPRIATENESS

APPLICATION BUILDING ADDRESS: 24 W. Liberty Street
1615-1629 Republic Street
DISTRICT NAME: Over-the-Rhine Historic District
(if applicable)

HC B USE ONLY	
DATE RECEIVED BY HCB:	_____
PERMIT/APD NO:	_____
APP. COMPLETION DATE:	_____

OWNER NAME: The Province of St. John

ADDRESS: 1615 Republic Street, Cincinnati OH 45202

PHONE NO: (513) 503-6997

EMAIL: cschueeman@sfsministries.org

CONTRACTOR NAME: Construction Process Solutions, Ltd.

ADDRESS: 4327 Red Bank Road, Cincinnati OH 45227

PHONE NO: (513) 271-9026, ext. 109

EMAIL: tschap@cpsconsult.com

ARCHITECT NAME: Jim D. Kaiser, R.A.

PHONE NO: (859) 431-8612

ADDRESS: 1881 Dixie Highway, Ft. Wright, KY 41011

EMAIL: jkaiser@pca-arch.com

IT IS YOUR RESPONSIBILITY TO NOTIFY THE URBAN CONSERVATOR IF ANY OF THIS INFORMATION CHANGES DURING THE PENDING REVIEW OF YOUR

WORK PROPOSED: (Describe type of work, existing conditions, and methods to be used, materials proposed)

HC B USE ONLY	
<input type="checkbox"/>	MINOR ALTERATION
<input type="checkbox"/>	NEW CONSTRUCTION
<input type="checkbox"/>	ADDITION
<input type="checkbox"/>	DEMOLITION
<input type="checkbox"/>	REHABILITATION
<input type="checkbox"/>	OTHER _____

Modification of the entryway on the Republic Street side of the building. Construction of a new entrance into the building north of the existing entrance, which has an address of 1615 Republic Street, and improvements to the recessed area immediately to the north, where the loading dock is located, are necessary to accommodate the community service facilities which will occupy these buildings.

IN ORDER TO EXPEDITE HCB ACTION, PLEASE ATTACH ADDITIONAL INFORMATION, IF AVAILABLE, AS MAY BE APPROPRIATE. LIST ANY INFORMATION ATTACHED: (Elevations, site plans, specifications, photos, material samples, additional drawings or written matter)

Please see the attached plans, elevations, architectural drawings and related materials which describe the subject property and the proposed improvements.

Attach a letter explaining the justification for the issuance of the desired Certificate of Appropriateness. Be advised that the burden of proof is on the applicant.

BARRETT & WEBER
A LEGAL PROFESSIONAL ASSOCIATION

C. FRANCIS BARRETT
H. PATRICK WEBER
JANET L. BELL
JOSHUA L. GOODE

500 FOURTH & WALNUT CENTRE
105 EAST FOURTH STREET
CINCINNATI, OHIO 45202-4015

TELEPHONE (513) 721-2120
FACSIMILE (513) 721-2139

August 12, 2016

Historic Conservation Board
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

via Hand Delivery

Attention: Beth Johnson, Urban Conservator

Re: 24 W. Liberty Street and 1615-1629 Republic Street
Over-the-Rhine Historic District
Modification of Entryway on Republic Street, north of W. Liberty Street

Dear Ms. Johnson:

Pursuant to your instructions, enclosed are the following materials:

1. The original and three copies of the Application for Certificate of Appropriateness;
2. The original and three copies of the Statement of Justification;
3. Check in the amount of \$550.00 payable to the order of the City of Cincinnati for the requisite filing fee;
4. Three copies of the Hamilton County Auditor's Property Reports for the subject property in the name of The Province of St. John, 1615 Republic Street, Cincinnati, Ohio, for the properties consisting of 24 W. Liberty Street and 1615-1629 Republic Street which are identified as Hamilton County Auditor's Plat Book 94, Page 8, Parcel 86, Parcel 100, and Parcel 366;
5. Three copies of the architectural plans, elevations and drawings;
6. A CD of the aforesaid drawings; and
7. Three copies of the list of applicant's witnesses and expert witnesses expected to testify at the hearing.

BARRETT & WEBER

A LEGAL PROFESSIONAL ASSOCIATION

August 12, 2016

Page 2

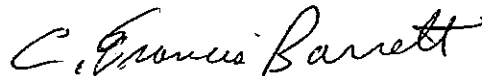
It is our understanding that our request will be considered by the Historic Conservation Board at its meeting on Monday afternoon, September 26, 2016 at 3:00 p.m.

It is also our understanding that our client's architect will be advised as to any changes to be made in these drawings so that thereafter he can submit ten (10) hard copies and a new digital copy to your office.

If you have any questions, or if any additional information is needed, please do not hesitate to contact the undersigned.

Sincerely,

BARRETT & WEBER



C. Francis Barrett

Enclosures

cc: The Province of St. John the Baptist
St. Francis Seraph Ministries

APPLICATION



CERTIFICATE OF APPROPRIATENESS

APPLICATION BUILDING ADDRESS: 24 W. Liberty Street
1615-1629 Republic Street

DISTRICT NAME: Over-the-Rhine Historic District
(if applicable)

OWNER NAME: The Province of St. John

ADDRESS: 1615 Republic Street, Cincinnati OH 45202

EMAIL: cschueneman@sfsministries.org

CONTRACTOR NAME: Construction Process Solutions, Ltd.

ADDRESS: 4327 Red Bank Road, Cincinnati OH 45227

EMAIL: tschap@cpsconsult.com

ARCHITECT NAME: Jim D. Kaiser, R.A.

ADDRESS: 1881 Dixie Highway, Ft. Wright, KY 41011

EMAIL: jkaiser@pca-arch.com

HCB USE ONLY	
DATE RECEIVED BY HCB:	_____
PERMIT/APD NO:	_____
APP. COMPLETION DATE:	_____

PHONE NO: (513) 503-6997

PHONE NO: (513) 271-9026, ext. 109

PHONE NO: (859) 431-8612

IT IS YOUR RESPONSIBILITY TO NOTIFY THE URBAN CONSERVATOR IF ANY OF THIS INFORMATION CHANGES DURING THE PENDING REVIEW OF YOUR

WORK PROPOSED: (Describe type of work, existing conditions, and methods to be used, materials proposed)

HCB USE ONLY	
<input type="checkbox"/>	MINOR ALTERATION
<input type="checkbox"/>	NEW CONSTRUCTION
<input type="checkbox"/>	ADDITION
<input type="checkbox"/>	DEMOLITION
<input type="checkbox"/>	REHABILITATION
<input type="checkbox"/>	OTHER _____

Modification of the entryway on the Republic Street side of the building. Construction of a new entrance into the building north of the existing entrance, which has an address of 1615 Republic Street, and improvements to the recessed area immediately to the north, where the loading dock is located, are necessary to accommodate the community service facilities which will occupy these buildings.

IN ORDER TO EXPEDITE HCB ACTION, PLEASE ATTACH ADDITIONAL INFORMATION, IF AVAILABLE, AS MAY BE APPROPRIATE. LIST ANY INFORMATION ATTACHED: (Elevations, site plans, specifications, photos, material samples, additional drawings or written matter)

Please see the attached plans, elevations, architectural drawings and related materials which describe the subject property and the proposed improvements.

Attach a letter explaining the justification for the issuance of the desired Certificate of Appropriateness. Be advised that the burden of proof is on the applicant.

**STATEMENT OF JUSTIFICATION
FOR THE ISSUANCE OF THE
CERTIFICATE OF APPROPRIATENESS**

**REQUEST FOR APPROVAL OF MODIFIED ENTRYWAY
FOR THE PROPERTY AT 24 W. LIBERTY STREET
AND 1615-1629 REPUBLIC STREET
IN THE OVER-THE-RHINE HISTORIC DISTRICT**

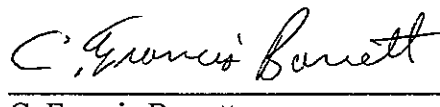
On December 21, 2015, the Historic Conservation Board voted unanimously to approve the application for conditional use approval for St. Francis Seraph Ministries to introduce a Community Service Facility use on the subject property in the RM-1.2 Residential Multi-Family zoning district in the Over-the-Rhine neighborhood. That approval allowed St. Francis Seraph Ministries to move forward with the plans to make interior improvements to the existing building structures to accommodate the relocation and expansion of the social service-oriented mission of the Franciscan Friars. The subject property is owned by the Province of St. John the Baptist, and the Franciscan Friars of the Province of St. John the Baptist oversee the outreach ministries of St. Francis Seraph Church located at the northwest corner of Liberty and Vine Streets and of the Franciscan Friars of the Province of St. John the Baptist. St. Francis Seraph Ministries maintains a covenant relationship with both the Friars and the Parish who continue to support this organization with Board membership, volunteers, and financial assistance. The mission of St. Francis Seraph Ministries is to nurture and nourish the urban poor in mind, body, and spirit.

As a result of the approval granted by the Historic Conservation Board last December, St. Francis Seraph Ministries has proceeded to implement its efforts to consolidate a number of social service agencies and programs in this building complex. These include the Sarah Center, the Soup Kitchen, the bag lunch program, Tri-Health Nurse Outreach Ministries, Haircuts from the Heart, and administrative offices. The third floor of the building will be occupied by the Center for Respite Care. Since the Center for Respite Care on the third floor is a form of "Assisted Living", it is a permitted use in this zoning district. The aforesaid programs proposed by St. Francis Seraph Ministries constitute a "Community Service Facility" which qualifies as a conditional use in this district, and as approved by the Historic Conservation Board. The rear "L-shaped" building, which has an address of 1629 Republic Street, is now proposed to be occupied by the Mary Magdalen House. The Mary Magdalen House is presently located at 1223 Main Street in Over-the-Rhine and is proposing to invest \$1.8 million into this building to enable the Mary Magdalen House to relocate to this facility to better accommodate the needs of those it serves. (New Life Furniture had previously been proposed for this L-shaped building, but it is now more advantageous to serve the poor of OTR at this location through the Mary Magdalen House.)

With the Soup Kitchen having a dining room of 240 seats and the ability to serve 300 meals at dinner, with the homeless who will be coming and going to take advantage of the bag lunch program, and with all of those who will be taking advantage of the Mary Magdalen House, a larger, safer, more secure entryway system is needed. Hence, it is proposed to construct a new entrance into the building at the northwest corner of Liberty and Republic, just north of the existing entrance which has an address of 1615 Republic.

The proposed modifications to this building complex to accommodate the new entryway will be solely on the west side of Republic Street, north of Liberty Street, and opposite St. Francis Seraph Church and St. Francis Seraph Ministries which are located on the east side of Republic Street. As reflected in the architectural drawings, these improvements will be appropriate and compatible with both the existing historic area and the current, existing architecture. The Republic Street entryway will be enlarged to accommodate the high number of persons going to the Soup Kitchen and to the Mary Magdalen House. It will also have a security checkpoint and security station, in addition to being handicap accessible. A decorative gate will be placed across the frontage of the open area where the delivery dock is located, and landscaping will be added. The Mary Magdalen House to the rear at 1629 Republic Street will also have a direct gated entryway from Republic Street near the north end of the property.

It is respectfully submitted that these modifications to the approved plans are necessary and beneficial for the operations of these community service facilities which attend to the essential needs of the urban poor in Over-the-Rhine. It is therefore respectfully requested that the Board approve this application.

 8/12/16

C. Francis Barrett
Attorney for The Province of John the Baptist
and St. Francis Seraph Ministries


Dusty Rhodes, Hamilton County Auditor

generated on 8/11/2016 9:29:33 AM EDT

Property Report

Parcel ID: 094-0008-0086-00 Address: 24 W LIBERTY ST Index Order: Parcel Number Tax Year: 2015 Payable 2016

Property Information

Tax District 001 - CINTI CORP-CINTI CSD	School District CINCINNATI CSD	Images/Sketches 
Appraisal Area 01801 - OVER THE RHINE 01	Land Use 340 - LIGHT MANUFACTURING	
Owner Name and Address PROVINCE OF ST JOHN THE 1615 REPUBLIC ST CINCINNATI OH 45202 (call 946-4015 if incorrect)	Mailing Name and Address ST ANTHONY MESSENGER 28 W LIBERTY ST CINCINNATI OH 45202 (call 946-4800 if incorrect)	
Assessed Value 361,560	Effective Tax Rate 87.643979	Total Tax \$31,795.42
Property Description LIBERTY-REPUBLIC 122.52x2 29 IR- LOT 53-57 INC PT 58 FINDLAY&GARRARD SUB PRS 86 TH 96 CONS-TIF ABATEMENT		

Appraisal/Sales Summary

Year Built	1959
Total Rooms	0
# Bedrooms	0
# Full Bathrooms	0
# Half Bathrooms	0
Last Sale Date	1/1/1900
Last Sale Amount	\$0
Conveyance Number	0
Deed Type	WE - Warranty Deed (EX)
Deed Number	
# of Parcels Sold	1
Acreage	0.585
Front Footage	546.00

Tax/Credit/Value Summary

Board of Revision	No
Rental Registration	No
Homestead	No
Owner Occupancy Credit	No
Foreclosure	No
Special Assessments	Yes
Market Land Value	143,840
CAUV Value	0
Market Improvement Value	889,210
Market Total Value	1,033,050
TIF Value	85,550
Abated Value	0
Exempt Value	0
Taxes Paid	\$31,795.42
Tax as % of Total Value	0.000%

Notes

1) 11-23-04 30 YEAR TIF ABATEMENT BEGAN 2003 THRU 2032


Dusty Rhodes, Hamilton County Auditor

generated on 8/11/2016 9:33:47 AM EDT

Property Report

Parcel ID: 094-0008-0100-00 Address: 1629 REPUBLIC ST Index Order: Parcel Number Tax Year: 2015 Payable 2016

Property Information

Tax District 001 - CINTI CORP-CINTI CSD	Images/Sketches 	
School District CINCINNATI CSD		
Appraisal Area 01801 - OVER THE RHINE 01	Land Use 340 - LIGHT MANUFACTURING	
Owner Name and Address PROVINCE OF ST JOHN THE 1615 REPUBLIC ST CINCINNATI OH 45202 (call 946-4015 if incorrect)	Mailing Name and Address ST ANTHONY MESSENGER 28 W LIBERTY ST CINCINNATI OH 45202 (call 946-4800 if incorrect)	
Assessed Value 1,910	Effective Tax Rate 87.643979	Total Tax \$175.22
Property Description 1629 REPUBLIC ST 20 FT IRR PT LOT 61-62 FINDLAY- TIF ABATEMENT		

Appraisal/Sales Summary

Year Built	
Total Rooms	
# Bedrooms	
# Full Bathrooms	
# Half Bathrooms	
Last Sale Date	1/22/1997
Last Sale Amount	\$0
Conveyance Number	0
Deed Type	WE - Warranty Deed (EX)
Deed Number	801696
# of Parcels Sold	2
Acreage	0.055
Front Footage	40.00

Tax/Credit/Value Summary

Board of Revision	No
Rental Registration	No
Homestead	No
Owner Occupancy Credit	No
Foreclosure	No
Special Assessments	Yes
Market Land Value	5,470
CAUV Value	0
Market Improvement Value	0
Market Total Value	5,470
TIF Value	0
Abated Value	0
Exempt Value	0
Taxes Paid	\$175.22
Tax as % of Total Value	0.000%

Notes

1) 11-23-04 30 YEAR TIF ABATEMENT BEGAN 2003 THRU 2032


Dusty Rhodes, Hamilton County Auditor

generated on 8/11/2016 9:34:44 AM EDT

Property Report

Parcel ID: 094-0008-0366-00 Address: 1629 REPUBLIC ST Index Order: Parcel Number Tax Year: 2015 Payable 2016

Property Information

Tax District 001 - CINTI CORP-CINTI CSD	School District CINCINNATI CSD	Images / Sketches 	
Appraisal Area 01801 - OVER THE RHINE 01	Land Use 340 - LIGHT MANUFACTURING		
Owner Name and Address PROVINCE OF ST JOHN THE 1615 VINE ST CINCINNATI OH 45202 (call 946-4015 if incorrect)	Mailing Name and Address PROVINCE OF ST JOHN THE BAPTIST FRIARS 1615 VINE ST CINCINNATI OH 45202 (call 946-4800 if incorrect)		
Assessed Value 60,940	Effective Tax Rate 87.643979	Total Tax \$5,356.68	
Property Description GOOSE ALLEY 0.070 AC PT LOTS 58 TH 61 FINDLAY & GARRARDS SUB PARS 366-368 CONS TIF ABATEMENT			

Appraisal/Sales Summary

Year Built	2001
Total Rooms	0
# Bedrooms	0
# Full Bathrooms	0
# Half Bathrooms	0
Last Sale Date	6/2/1999
Last Sale Amount	\$11,900
Conveyance Number	7951
Deed Type	WE - Warranty Deed (EX)
Deed Number	874987
# of Parcels Sold	1
Acreage	0.070
Front Footage	80.00

Tax/Credit/Value Summary

Board of Revision	No
Rental Registration	No
Homestead	No
Owner Occupancy Credit	No
Foreclosure	No
Special Assessments	Yes
Market Land Value	10,430
CAUV Value	0
Market Improvement Value	163,690
Market Total Value	174,120
TIF Value	0
Abated Value	0
Exempt Value	0
Taxes Paid	\$5,356.68
Tax as % of Total Value	0.000%

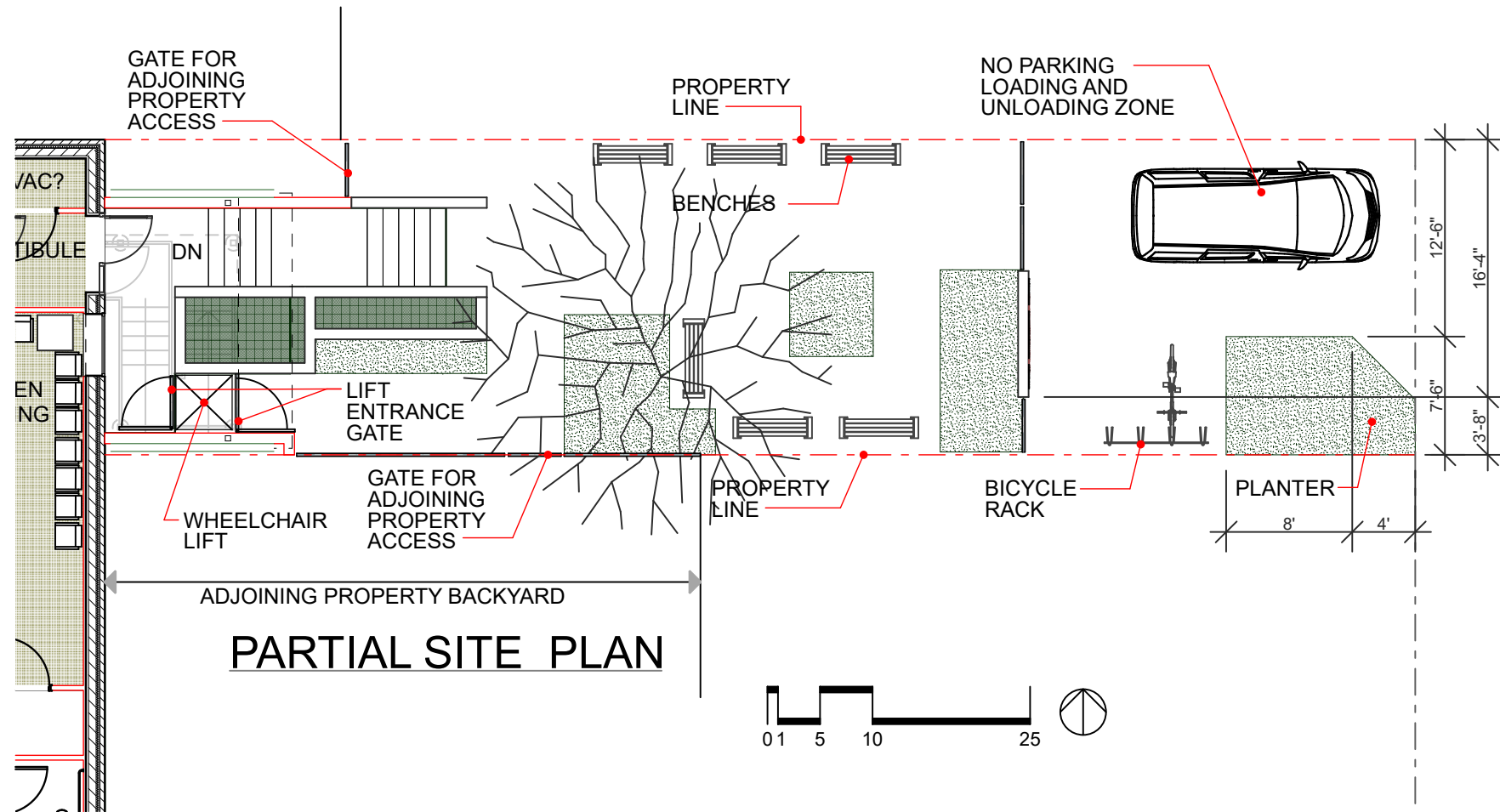
Notes

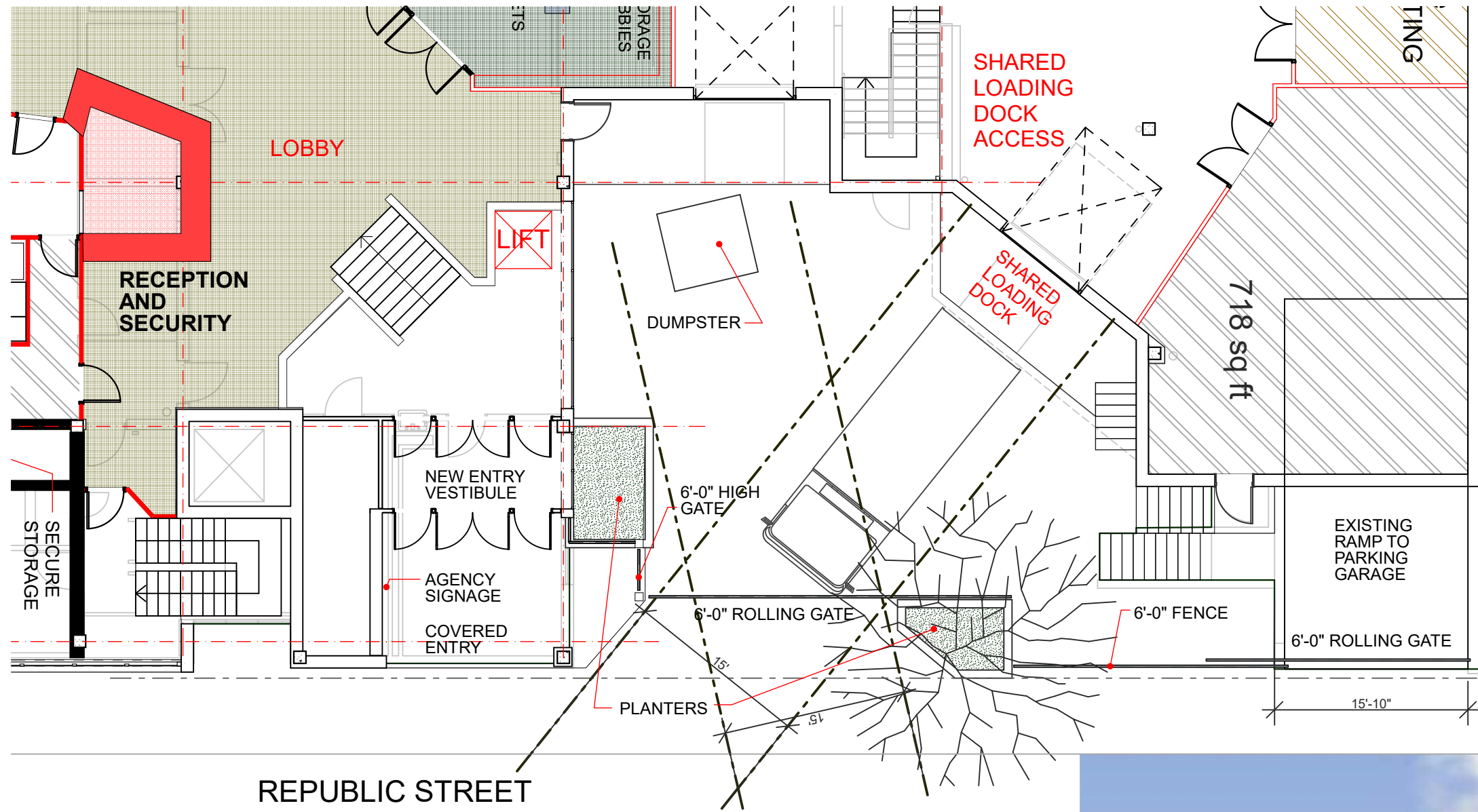
1) 11-23-04 30 YEAR TIF ABATEMENT BEGAN 2003 THRU 2032

SAINT ANTHONY CENTER

1615 Republic Street
Cincinnati, OH 45202

MARY MAGDALENE COURTYARD / LIFT OPTION





REPUBLIC STREET
PARTIAL SITE PLAN



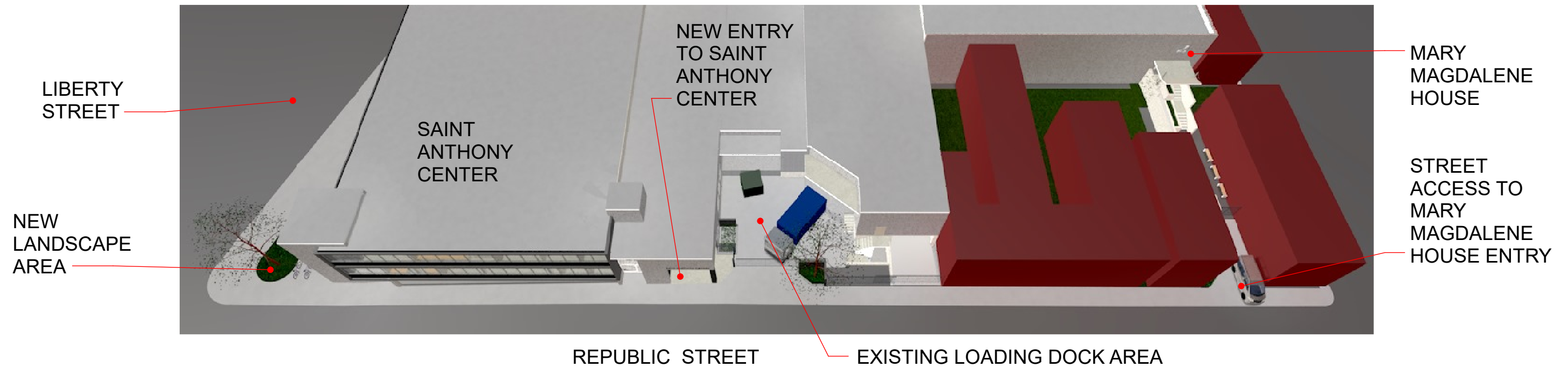
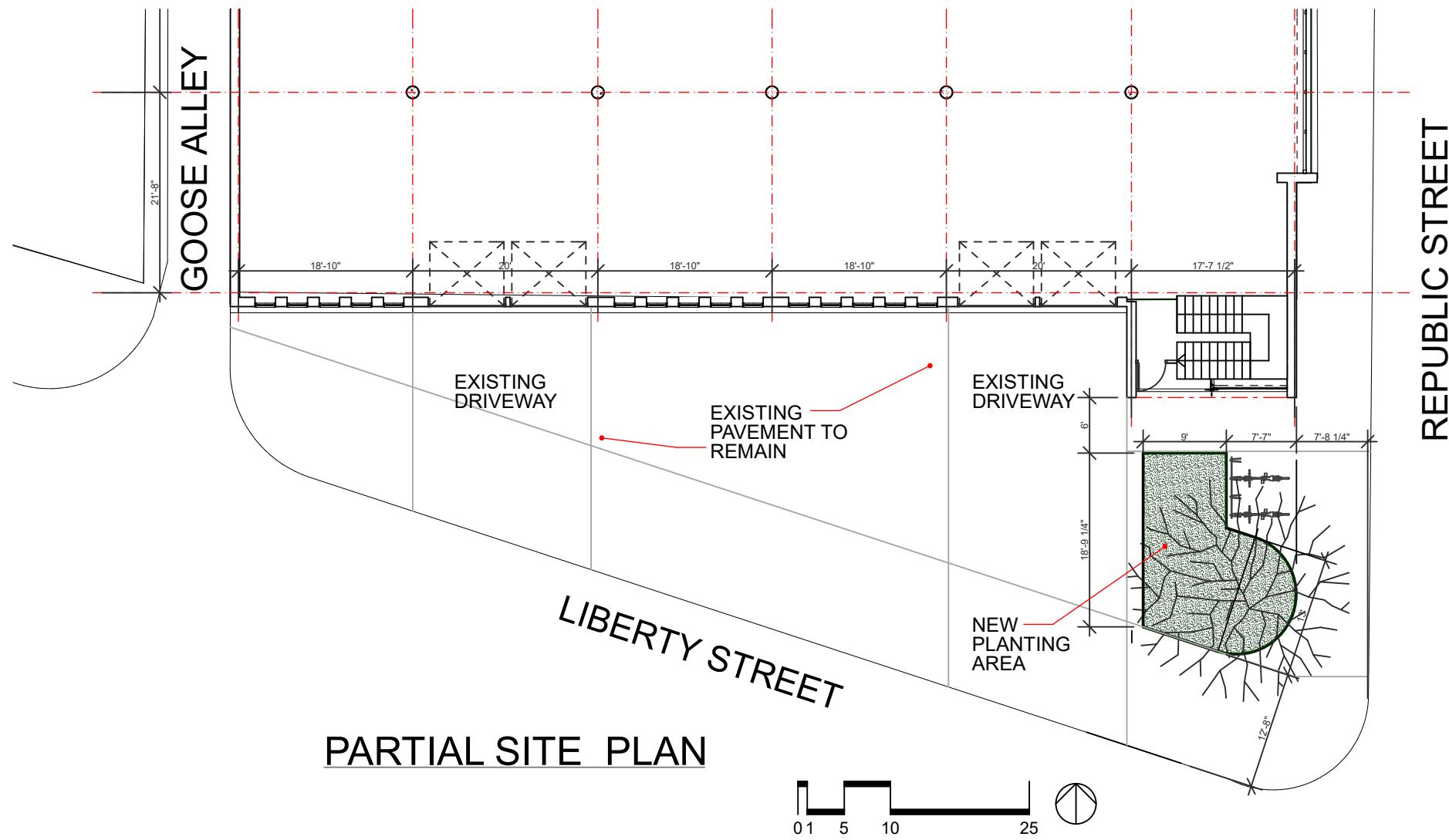
SAINT ANTHONY CENTER

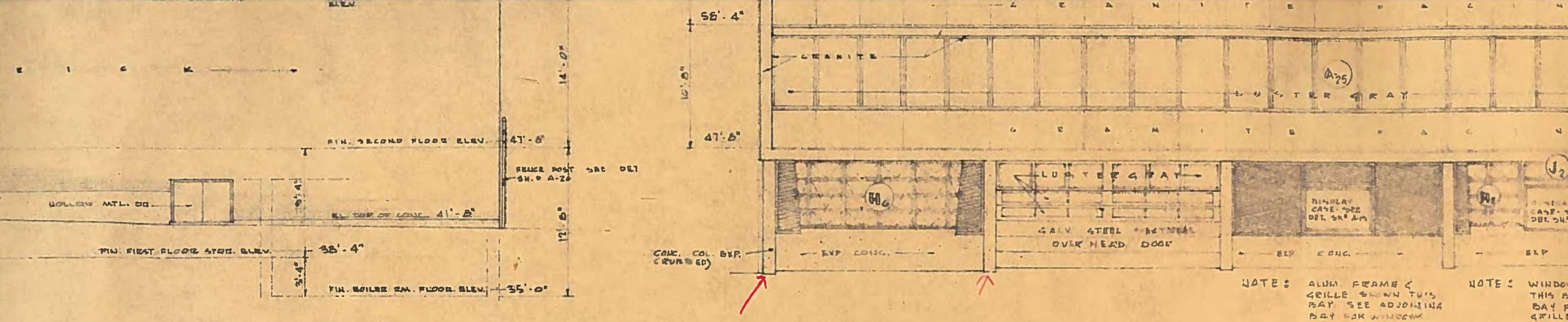
1615 Republic Street
Cincinnati, OH 45202



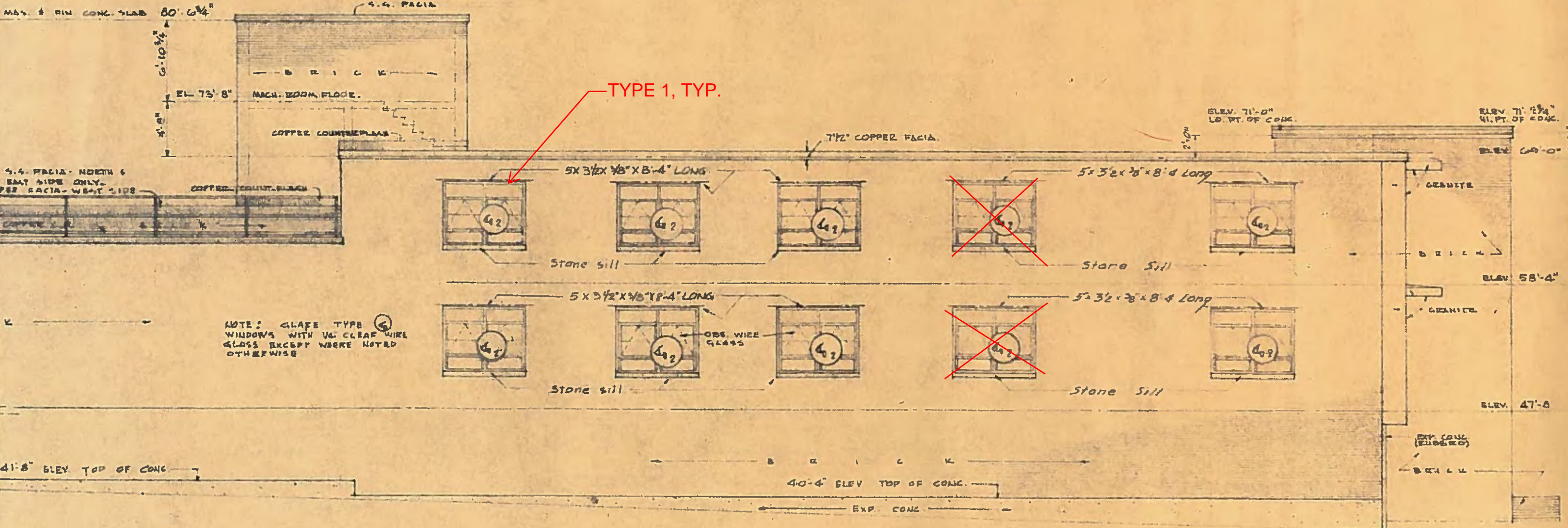
SAINT ANTHONY CENTER

1615 Republic Street
Cincinnati, OH 45202

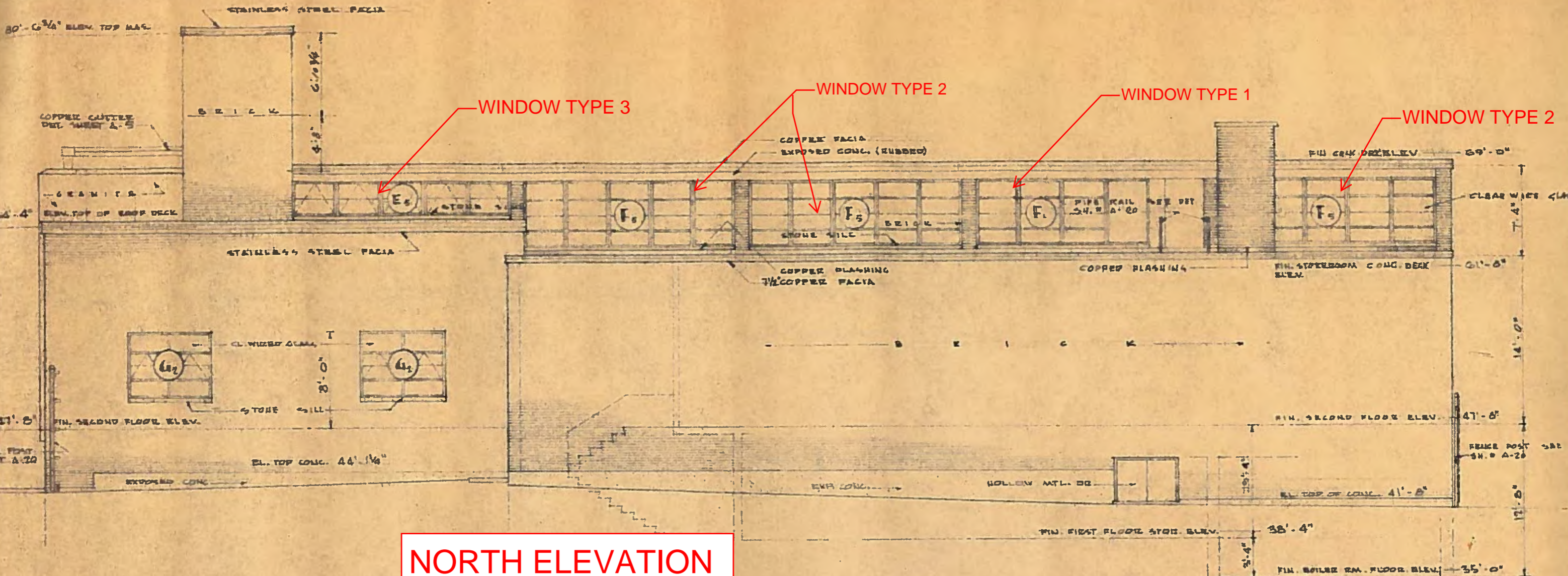




SCALE = 1/8" = 1'-0" SOUTH ELEVATION



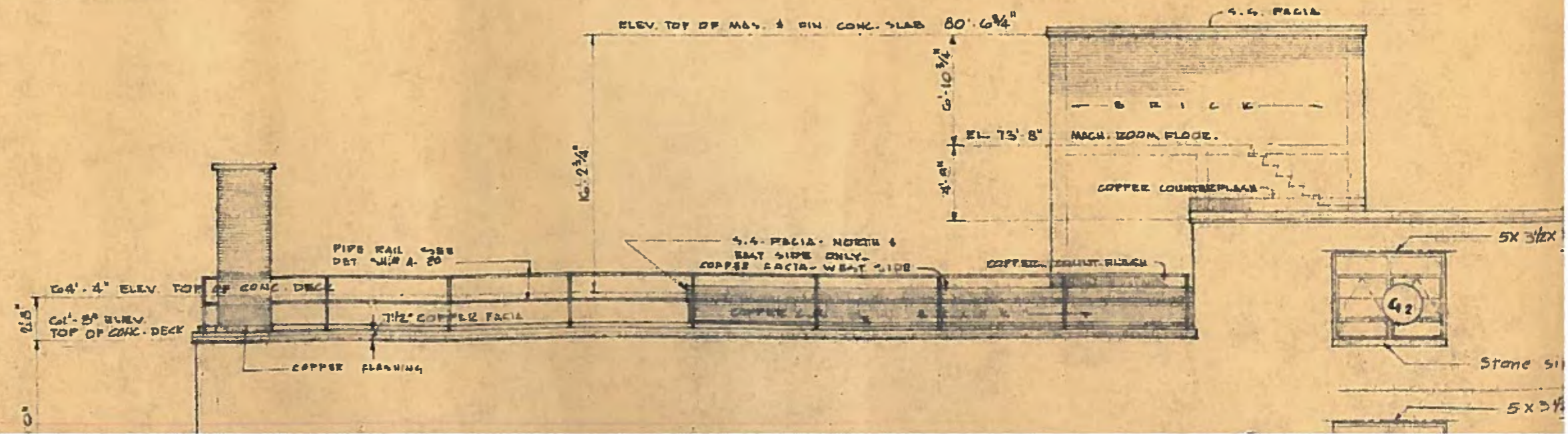
WEST ELEVATION



NORTH ELEVATION

N O R T H E L E V A T I O N

SCALE = 1/8" = 1'-0"





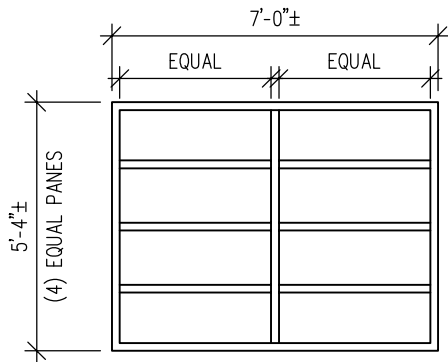
FIRST FLOOR SOUTH WINDOW
NEW WINDOWS TO MATCH THIS CLEAR ANODIZED FRAME



TYPICAL WINDOW TO BE REPLACED

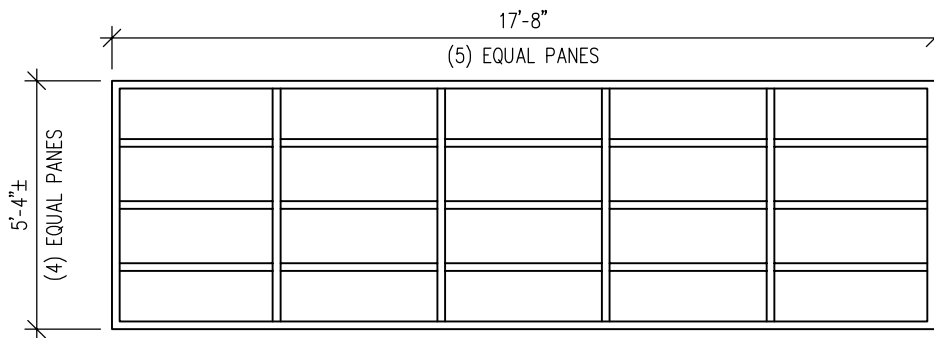


EXISTING SECOND-THIRD FLOOR SOUTH WINDOWS
NEW WINDOWS TO MATCH GRAY TINT OF THESE WINDOWS

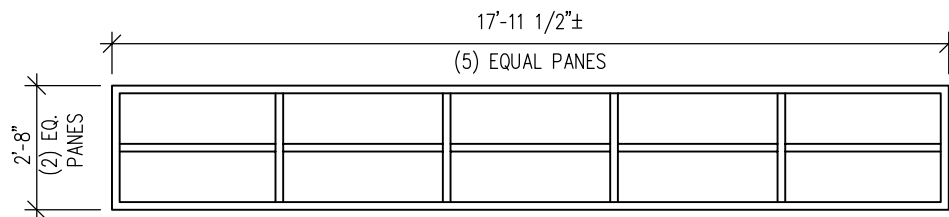


NOTE: NEW WINDOWS TO BE CLEAR ANODIZED (MATCHING FINISH OF EX. STOREFRONT) ALUMINUM STOREFRONT. GLASS TO BE FIXED LOW-E, INSULATING GLASS W/ GRAY TINT TO MATCH EXISTING SOUTH WINDOWS AT SECOND AND THIRD FLOORS.

WINDOW TYPE 'W1'



WINDOW TYPE 'W2'



WINDOW TYPE 'W3'

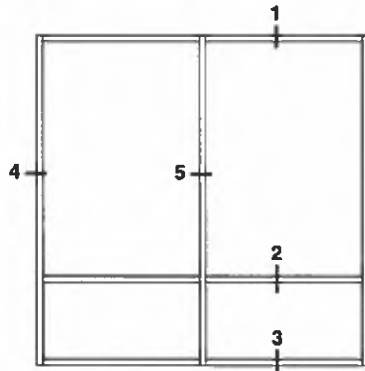
REPLACEMENT WINDOW ELEVATIONS



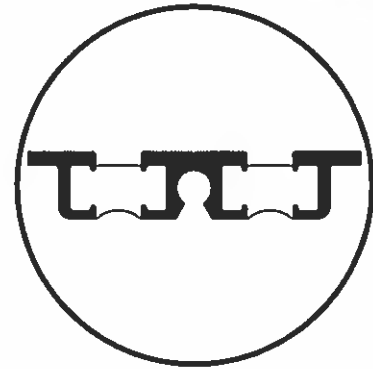
1881 DIXIE HIGHWAY
SUITE 130
FT. WRIGHT, KY 41011
P: 859.431.8612
F: 859.431.8611

INTERIOR & EXTERIOR MODIFICATIONS
ST. ANTHONY CENTER
24 W. LIBERTY ST. & 1629 REPUBLIC ST. - CINCINNATI, OH

SCALE 3" = 1'-0"



ELEVATION IS NUMBER KEYED TO DETAILS



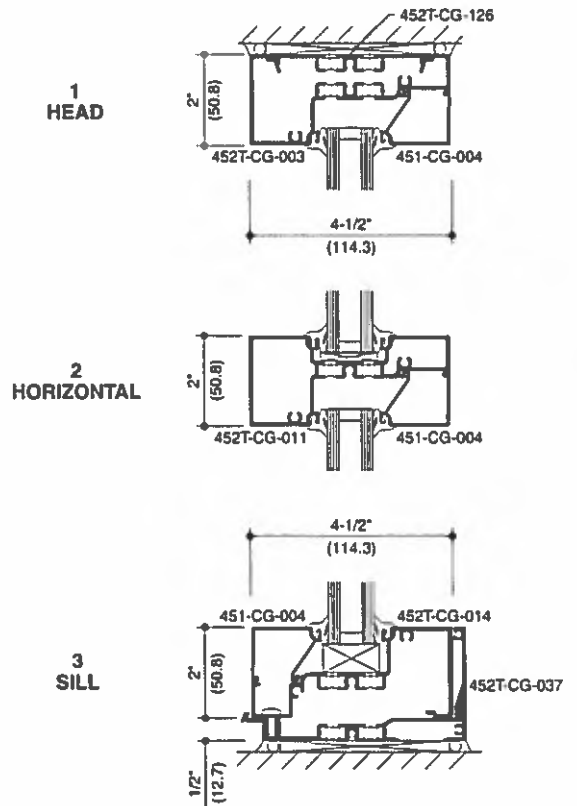
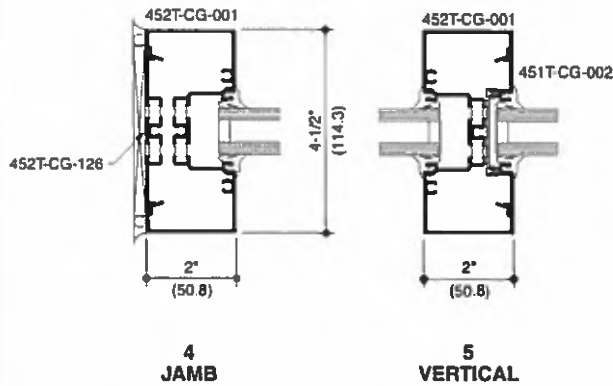
DUAL ISOLOCK THERMAL BREAK

SCREW SPLINE

Laws and building and safety codes governing the design and use of glazed entrances, windows, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.

© Kawneer Company, Inc., 2012



Our Daily Bread

Serving Up Hope in Cincinnati

Since 1985

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Founder

Staff

Georgine Getty
Executive Director

Kathy Schickel
Director of Operations

Julia M. Sharp
Director of Development

Valerie Elfers
Office Administrator

Jeni Jenkins
Director of Communications

Pamela Lewis
Social Worker

Kate Daly & Kay Limbach
Kids Club Coordinators

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Shawna Langworthy
Tim VonderHaar

Historic Conservation Board
City of Cincinnati
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

September 1, 2016

Re: Zoning approval for new entryway for the Franciscan Friars' property at 1615-1629 Republic Street

Dear Members of the Historic Conservation Board,

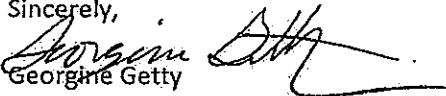
Our Daily Bread is in support of the efforts of the Franciscan Friars to procure zoning approval for the new entryway on the east side of their building at the northwest corner of W. Liberty Street and Republic Streets in Over-the-Rhine, to accommodate the community service facilities proposed for this location.

We concur with the Franciscans that the new entryway is necessary for the operation of the community service facilities, which are both necessary and beneficial. At this location, the St. Francis Seraph Ministries will operate the Sarah Center, the soup kitchen and bag lunch program, and administrative offices. There will also be the Center for Respite Care, the OTR food pantry, the TriHealth nurse outreach, Haircuts from the Heart, and the Mary Magdalen House.

This zoning approval will allow local non-profit organizations to partner and remodel this empty building in Over-the-Rhine. The central location of this building and adjacent warehouse space will help support innovation and collaboration among several non-profit organizations to better serve the poor. Private funds of \$4 million are committed to remodel this empty building which will provide new facilities and expanded programs for serving the poor within the urban core of Cincinnati itself.

Since the Franciscan Friars have a long tradition of commitment and service throughout Greater Cincinnati, we hope the Historic Conservation Board will approve the Friars' request for this zoning approval.

Sincerely,


Georgine Getty
Executive Director

1730 Race Street, Cincinnati, OH 45202

P: 513-621-6364 F: 513-621-3513

www.ourdailybread.us



Over-The-Rhine
Walnut Hills
Kitchens & Pantry
Cincinnati's Oldest Soup Kitchen

August 21, 2016

Historic Conservation Board
City of Cincinnati
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

RE: Zoning approval for new entryway for the Franciscan Friars' property
at 1615-1629 Republic Street

Dear Members of the Historic Conservation Board:

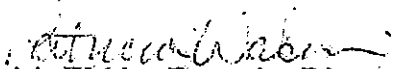
Over-The-Rhine Kitchen dba/Over-The-Rhine and Walnut Hills Kitchens & Pantry are in support of the efforts of the Franciscan Friars to procure zoning approval for the new entryway on the east side of their building at the northwest corner of W. Liberty Street and Republic Streets in Over-the-Rhine, to accommodate the community service facilities proposed for this location.

We concur with the Franciscans that the new entryway is necessary for the operation of the community service facilities, which are both necessary and beneficial. At this location, the St. Francis Seraph Ministries will operate the Sarah Center, the soup kitchen and bag lunch program, and administrative offices. There will also be the Center for Respite Care, the OTR food pantry, the Tri-Health nurse outreach, Haircuts from the Heart, and the Mary Magdalen House.

This zoning approval will allow local non-profit organizations to partner and remodel this empty building in Over-the-Rhine. The central location of this building and adjacent warehouse space will help support innovation and collaboration among several non-profit organizations to better serve the poor. Private funds of \$4 million are committed to remodel this empty building which will provide new facilities and expanded programs for serving the poor within the urban core of Cincinnati itself.

Since the Franciscan Friars have a long tradition of commitment and service throughout Greater Cincinnati, we hope the Historic Conservation Board will approve the Friars' request for this zoning approval.

Sincerely,


Patricia Wakim, Executive Director
Over-The-Rhine Kitchen
dba/Over-The-Rhine & Walnut Hills Kitchens & Pantry
P.O. Box 6045
Cincinnati, OH 45206

P.O. Box 6045
Cincinnati, OH 45206

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Patricia Wakim
Executive Director
aposervice01@gmail.com

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Freestore Foodbank

In Loving Memory of
Ruth Marie Tearney
Gladys E. Ellerhorst



August 17, 2016



Historic Conservation Board
City of Cincinnati
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

Re: Zoning approval for new entryway for the Franciscan Friars' property
at 1615-1629 Republic Street

Dear Members of the Historic Conservation Board:

Rachel Foote, Conference Center Director- Interact for Health, is in support of the efforts of the Franciscan Friars to procure zoning approval for the new entryway on the east side of their building at the northwest corner of W. Liberty Street and Republic Streets in Over-the-Rhine, to accommodate the community service facilities proposed for this location.

We concur with the Franciscans that the new entryway is necessary for the operation of the community service facilities, which are both necessary and beneficial. At this location, the St. Francis Seraph Ministries will operate the Sarah Center, the soup kitchen and bag lunch program, and administrative offices. There will also be the Center for Respite Care, the OTR food pantry, the TriHealth nurse outreach, Haircuts from the Heart, and the Mary Magdalen House.

This zoning approval will allow local non-profit organizations to partner and remodel this empty building in Over-the-Rhine. The central location of this building and adjacent warehouse space will help support innovation and collaboration among several non-profit organizations to better serve the poor. Private funds of \$4 million are committed to remodel this empty building which will provide new facilities and expanded programs for serving the poor within the urban core of Cincinnati itself.

Since the Franciscan Friars have a long tradition of commitment and service throughout Greater Cincinnati, we hope the Historic Conservation Board will approve the Friars' request for this zoning approval.

Sincerely,

A handwritten signature in cursive script that reads "Rachel Foote".

Rachel Foote
Director, Conference Center
Interact for Health

FarmChef Services, LLC
Jamie Stoneham
451 Klotter Avenue
Cincinnati, Oh 45214
jamie@thefarmchef.com



August 31, 2016

Historic Conservation Board
City of Cincinnati
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

Re: Zoning approval for new entryway for the Franciscan Friars' property
at 1615-1629 Republic Street

Dear Members of the Historic Conservation Board:

FarmChef Services, LLC is in support of the efforts of the Franciscan Friars to procure zoning approval for the new entryway on the east side of their building at the northwest corner of W. Liberty Street and Republic Streets in Over-the-Rhine, to accommodate the community service facilities proposed for this location.

We concur with the Franciscans that the new entryway is necessary for the operation of the community service facilities, which are both necessary and beneficial. At this location, the St. Francis Seraph Ministries will operate the Sarah Center, the Cooking for the Family program, the soup kitchen and bag lunch program, and administrative offices. There will also be the Center for Respite Care, the OTR food pantry, the TriHealth nurse outreach, Haircuts from the Heart, and the Mary Magdalen House.

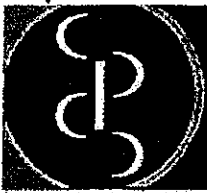
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Since the Franciscan Friars have a long tradition of commitment and service throughout Greater Cincinnati, we hope the Historic Conservation Board will approve the Friars' request for this zoning approval.

Sincerely,

A handwritten signature in cursive script that reads 'Jamie Stoneham'.

Jamie Stoneham
Owner, program director of Cooking for the Family
FarmChef Services, LLC



August 16, 2016

Historic Conservation Board
City of Cincinnati
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

Re: Zoning approval for new entryway for the Franciscan Friars' property
at 1615-1629 Republic Street

Dear Members of the Historic Conservation Board:

Construction Process Solutions, Ltd., is in support of the efforts of the Franciscan Friars to procure zoning approval for the new entryway on the east side of their building at the northwest corner of W. Liberty Street and Republic Streets in Over-the-Rhine, to accommodate the community service facilities proposed for this location.

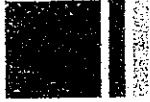
We concur with the Franciscans that the new entryway is necessary for the operation of the community service facilities, which are both necessary and beneficial. At this location, the St. Francis Seraph Ministries will operate the Sarah Center, the soup kitchen and bag lunch program, and administrative offices. There will also be the Center for Respite Care, the OTR food pantry, the TriHealth nurse outreach, Haircuts from the Heart, and the Mary Magdalen House.

This zoning approval will allow local non-profit organizations to partner and remodel this empty building in Over-the-Rhine. The central location of this building and adjacent warehouse space will help support innovation and collaboration among several non-profit organizations to better serve the poor. Private funds of \$4 million are committed to remodel this empty building which will provide new facilities and expanded programs for serving the poor within the urban core of Cincinnati itself.

Since the Franciscan Friars have a long tradition of commitment and service throughout Greater Cincinnati, we hope the Historic Conservation Board will approve the Friars' request for this zoning approval.

Sincerely,

Timothy J. Schap, AIA
Chief Operations Officer



Anne M. Maxfield, LLC

August 20, 2016

City of Cincinnati
Historic Conservation Board
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

RE: Zoning approval for new entryway for the Franciscan Friars' property at 1615-1629 Republic Street

Dear Members of the Historic Conservation Board,

My first encounter with the Franciscan Friars was in fall of 2014 when I was invited by the Board of Directors of St. Francis Seraph Ministries to serve as the interim executive director until a new leader was recruited and on-boarded. I witnessed first-hand the Friars' long tradition of commitment and service throughout the Greater Cincinnati area. It was also the first time I had ever worked in Over-the-Rhine – and I loved every minute of it.

There is so much potential for this area of the urban core. I am thrilled that the Friars and their sponsored ministry, St. Francis Seraph Ministries, are taking an inclusive and strategic approach to bring together nonprofit organizations whose disparate missions will benefit the local community.

I am in support of the efforts of the Franciscan Friars to procure zoning approval for the new entryway on the east side of their building at the northwest corner of W. Liberty Street and Republic Streets in Over-the-Rhine, to accommodate the community service facilities proposed for this location.

In addition, I concur with the Franciscans that the new entryway is necessary for the operation of the community service facilities, which are both necessary and beneficial. At this location, the St. Francis Seraph Ministries will operate the Sarah Center, the soup kitchen and bag lunch program, and administrative offices. There will also be the Center for Respite Care, the OTR food pantry, the TriHealth nurse outreach, Haircuts from the Heart, and the Mary Magdalen House.

This zoning approval will allow local non-profit organizations to partner and remodel this empty building in Over-the-Rhine. The central location of this building and adjacent warehouse space will help support innovation and collaboration among several non-profit organizations to better serve the poor. Private funds of \$4 million are committed to remodel this empty building which will provide new facilities and expanded programs for serving the poor within the urban core of Cincinnati itself.

It is my highest hope that the Historic Conservation Board will approve the Friars' request for zoning approval. This initiative will make Over-the-Rhine a more vibrant community for the people who work in this area of Cincinnati, and of course, who *call it home*.

Sincerely,

Anne M. Maxfield

The Wasserstrom Company



August 26, 2016

Historic Conservation Board
City of Cincinnati
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

Re: Zoning approval for new entryway for the Franciscan Friars' property
at 1615-1629 Republic Street

Dear Members of the Historic Conservation Board:

The Wasserstrom Company is in support of the efforts of the Franciscan Friars to procure zoning approval for the new entryway on the east side of their building at the northwest corner of W. Liberty Street and Republic Streets in Over-the-Rhine, to accommodate the community service facilities proposed for this location.

We concur with the Franciscans that the new entryway is necessary for the operation of the community service facilities, which are both necessary and beneficial. At this location, the St. Francis Seraph Ministries will operate the Sarah Center, the soup kitchen and bag lunch program, and administrative offices. There will also be the Center for Respite Care, the OTR food pantry, the TriHealth nurse outreach, Haircuts from the Heart, and the Mary Magdalen House.

This zoning approval will allow local non-profit organizations to partner and remodel this empty building in Over-the-Rhine. The central location of this building and adjacent warehouse space will help support innovation and collaboration among several non-profit organizations to better serve the poor. Private funds of \$4 million are committed to remodel this empty building which will provide new facilities and expanded programs for serving the poor within the urban core of Cincinnati itself.

Since the Franciscan Friars have a long tradition of commitment and service throughout Greater Cincinnati, we hope the Historic Conservation Board will approve the Friars' request for this zoning approval.

Sincerely,

Jay Fischer
Assistant Equipment Engineer
Food Service Equipment
The Wasserstrom Company
Direct line: (513) - 542 - 7000 Ext. 8367
Cell: (513) - 304 - 1337
1-800-860-7499 Ext. 8367
Fax: (614) - 737 - 3186
Email: jayfischer@wasserstrom.com

477 South Front Street
Columbus, Ohio 43215
614-228-6525

2777 Silver Drive
Columbus, Ohio 43211
614-737-8223

4020 Rev Drive
Cincinnati, Ohio 45232
513-542-7000

1949 Needmore Road
Dayton, Ohio 45414
937-853-0930

tdriscoll@fbtlaw.com

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COMPOSE

Inbox

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Sent Mail



Chris

No recent chats
Start a new one

Steve Sunderland

to me

August 20, 2016

Historic Conservation Board
City of Cincinnati
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

Re: Zoning approval for new entryway for the Franciscan Friars' property at 1615-1629 Republic Street

Dear Members of the Historic Conservation Board:

As director of the Peace Village Cancer Project/Cancer Justice Network, I wish to add Franciscan Friars to procure zoning approval for the new entryway on the east side of W. Liberty Street and Republic Streets in Over-the-Rhine, to accommodate the comm location.

We concur with the Franciscans that the new entryway is necessary for the operation are both necessary and beneficial. At this location, the St. Francis Seraph Ministries kitchen and bag lunch program, and administrative offices. There will also be the Cen pantry, the TriHealth nurse outreach, Haircuts from the Heart, and the Mary Magdaler

This zoning approval will allow local non-profit organizations to partner and remodel th central location of this building and adjacent warehouse space will help support innov non-profit organizations to better serve the poor. Private funds of \$4 million are comm which will provide new facilities and expanded programs for serving the poor within th

Since the Franciscan Friars have a long tradition of commitment and service throughc Historic Conservation Board will approve the Friars' request for this zoning approval.

Sincerely,

Steve Sundeland, PhD, Director
Peace Village Cancer Project/Cancer Justice Network
steve.c.sunderland@icloud.com
513.919.2538
cancerjusticenetwork.org





SRMC

Trusted Security Advisors

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Columbus, OH 43215
614.224.3100 Phone
614.224.3252 Fax
www.srmcllc.com

August 25, 2016

Historic Conservation Board
City of Cincinnati
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

Re: Zoning approval for new entryway for the Franciscan Friars' property
at 1615-1629 Republic Street

Dear Members of the Historic Conservation Board:

Security Risk Management Consultants, LLC is in support of the efforts of the Franciscan Friars to procure zoning approval for the new entryway on the east side of their building at the northwest corner of West Liberty and Republic Streets in Over-the-Rhine, to accommodate the community service facilities proposed for this location.

We concur with the Franciscans that the new entryway is necessary for the operation of the community service facilities, which are both essential and beneficial. At this location, the St. Francis Seraph Ministries will operate the Sarah Center, soup kitchen and bag lunch programs, and administrative offices. There will also be the Center for Respite Care, the OTR food pantry, the TriHealth nurse outreach, Haircuts from the Heart, and the Mary Magdalen House.

This zoning approval will allow local non-profit organizations to partner and remodel this empty building in Over-the-Rhine. The central location of this building and adjacent warehouse space will help support innovation and collaboration among several non-profit organizations to better serve the poor. Private funds of \$4 million are committed to the remodeling of this empty building that will provide new facilities and expanded programs for serving the poor within the urban core of Cincinnati itself.

Since the Franciscan Friars have a long tradition of commitment and service throughout Greater Cincinnati, we hope the Historic Conservation Board will approve the Friars' request for this zoning approval.

Sincerely,

Lynda L. Buel, CPP, CFE, CSC, CPTED Practitioner
CEO

Threats Evolve. Principles Endure.®



The mission of the Center for Respite Care is to provide quality, holistic medical care to homeless people who need a safe place heal, while assisting them in breaking the cycle of homelessness.

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www.centerforrespitecare.org

Historic Conservation Board
City of Cincinnati
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

August 18, 2016

Re: Zoning approval for new entryway for the Franciscan Friars' property at 1615-1629 Republic Street

Dear Members of the Historic Conservation Board:

(Your organization name and title goes here) (is or are) in support of the efforts of the Franciscan Friars to procure zoning approval for the new entryway on the east side of their building at the northwest corner of W. Liberty Street and Republic Streets in Over-the-Rhine, to accommodate the community service facilities proposed for this location.

We concur with the Franciscans that the new entryway is necessary for the operation of the community service facilities, which are both necessary and beneficial. At this location, the St. Francis Seraph Ministries will operate the Sarah Center, the soup kitchen and bag lunch program, and administrative offices. There will also be the Center for Respite Care, the OTR food pantry, the TriHealth nurse outreach, Haircuts from the Heart, and the Mary Magdalen House.

This zoning approval will allow local non-profit organizations to partner and remodel this empty building in Over-the-Rhine. The central location of this building and adjacent warehouse space will help support innovation and collaboration among several non-profit organizations to better serve the poor. Private funds of \$4 million are committed to remodel this empty building which will provide new facilities and expanded programs for serving the poor within the urban core of Cincinnati itself.

Since the Franciscan Friars have a long tradition of commitment and service throughout Greater Cincinnati, we hope the Historic Conservation Board will approve the Friars' request for this zoning approval.

Sincerely,

Laurel D. Nelson
CEO

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Medical Respite
Award for Excellence

Presented in 2013 by
NATIONAL HEALTH CARE for the HOMELESS COUNCIL



110 Compton Road
Cincinnati, OH 45215
513.761.1697
franciscanministriesinc.org

September 2, 2016

Historic Conservation Board
City of Cincinnati
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

Re: Zoning approval for new entryway for the Franciscan Friars' property
at 1615-1629 Republic Street

Dear Members of the Historic Conservation Board:

Franciscan Ministries Inc. in support of the efforts of the Franciscan Friars to procure zoning approval for the new entryway on the east side of their building at the northwest corner of W. Liberty Street and Republic Streets in Over-the-Rhine, to accommodate the community service facilities proposed for this location.

We concur with the Franciscans that the new entryway is necessary for the operation of the community service facilities, which are both necessary and beneficial. At this location, the St. Francis Seraph Ministries will operate the Sarah Center, the soup kitchen and bag lunch program, and administrative offices. There will also be the Center for Respite Care, the OTR food pantry, the TriHealth nurse outreach, Haircuts from the Heart, and the Mary Magdalen House.

This zoning approval will allow local non-profit organizations to partner and remodel this empty building in Over-the-Rhine. The central location of this building and adjacent warehouse space will help support innovation and collaboration among several non-profit organizations to better serve the poor. Private funds of \$4 million are committed to remodel this empty building which will provide new facilities and expanded programs for serving the poor within the urban core of Cincinnati itself.

Since the Franciscan Friars have a long tradition of commitment and service throughout Greater Cincinnati, we hope the Historic Conservation Board will approve the Friars' request for this zoning approval.

Sincerely,

Elaine Ward
Executive Director



MARY MAGDALEN HOUSE

August 17, 2016

Historic Conservation Board
City of Cincinnati
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

Re: Zoning approval for new entryway for the Franciscan Friars' property
at 1615-1629 Republic Street

Dear Members of the Historic Conservation Board:


As a Trustee of The Mary Magdalen House, I am writing to let you know that I am in support of the efforts of the Franciscan Friars to procure zoning approval for the new entryway on the east side of their building at the northwest corner of W. Liberty Street and Republic Streets in Over-the-Rhine, to accommodate the community service facilities proposed for this location.

We concur with the Franciscans that the new entryway is necessary for the operation of the community service facilities, which are both necessary and beneficial. At this location, the St. Francis Seraph Ministries will operate the Sarah Center, the soup kitchen and bag lunch program, and administrative offices. There will also be the Center for Respite Care, the OTR food pantry, the TriHealth nurse outreach, Haircuts from the Heart, and the Mary Magdalen House.

This zoning approval will allow local non-profit organizations to partner and remodel this empty building in Over-the-Rhine. The central location of this building and adjacent warehouse space will help support innovation and collaboration among several non-profit organizations to better serve the poor. Private funds of \$4 million are committed to remodel this empty building which will provide new facilities and expanded programs for serving the poor within the urban core of Cincinnati itself.

Since the Franciscan Friars have a long tradition of commitment and service throughout Greater Cincinnati, we hope the Historic Conservation Board will approve the Friars' request for this zoning approval.

Sincerely,


Peggy G. Johns
Trustee

"Dignity is the Beginning of Hope"

1221 Main Street
Cincinnati, Ohio 45202-7661
(513) 721-4811



MARY MAGDALEN HOUSE

August 17, 2016

Historic Conservation Board
City of Cincinnati
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

Re: Zoning approval for new entryway for the Franciscan Friars' property
at 1615-1629 Republic Street

Dear Members of the Historic Conservation Board:

As a Trustee of The Mary Magdalen House, I am writing to let you know that I am in support of the efforts of the Franciscan Friars to procure zoning approval for the new entryway on the east side of their building at the northwest corner of W. Liberty Street and Republic Streets in Over-the-Rhine, to accommodate the community service facilities proposed for this location.

We concur with the Franciscans that the new entryway is necessary for the operation of the community service facilities, which are both necessary and beneficial. At this location, the St. Francis Seraph Ministries will operate the Sarah Center, the soup kitchen and bag lunch program, and administrative offices. There will also be the Center for Respite Care, the OTR food pantry, the TriHealth nurse outreach, Haircuts from the Heart, and the Mary Magdalen House.

This zoning approval will allow local non-profit organizations to partner and remodel this empty building in Over-the-Rhine. The central location of this building and adjacent warehouse space will help support innovation and collaboration among several non-profit organizations to better serve the poor. Private funds of \$4 million are committed to remodel this empty building which will provide new facilities and expanded programs for serving the poor within the urban core of Cincinnati itself.

Since the Franciscan Friars have a long tradition of commitment and service throughout Greater Cincinnati, we hope the Historic Conservation Board will approve the Friars' request for this zoning approval.

Sincerely,

Linda G. Mueller
Trustee

"Dignity is the Beginning of Hope"

1221 Main Street
Cincinnati, Ohio 45202-7661
(513) 721-4811



MARY MAGDALEN HOUSE

August 16, 2016

Historic Conservation Board
City of Cincinnati
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

Re: Zoning approval for new entryway for the Franciscan Friars' property
at 1615-1629 Republic Street

Dear Members of the Historic Conservation Board:

As Director of The Mary Magdalen House, I am writing to let you know that I am in support of the efforts of the Franciscan Friars to procure zoning approval for the new entryway on the east side of their building at the northwest corner of W. Liberty Street and Republic Streets in Over-the-Rhine, to accommodate the community service facilities proposed for this location.

We concur with the Franciscans that the new entryway is necessary for the operation of the community service facilities, which are both necessary and beneficial. At this location, the St. Francis Seraph Ministries will operate the Sarah Center, the soup kitchen and bag lunch program, and administrative offices. There will also be the Center for Respite Care, the OTR food pantry, the TriHealth nurse outreach, Haircuts from the Heart, and the Mary Magdalen House.

This zoning approval will allow local non-profit organizations to partner and remodel this empty building in Over-the-Rhine. The central location of this building and adjacent warehouse space will help support innovation and collaboration among several non-profit organizations to better serve the poor. Private funds of \$4 million are committed to remodel this empty building which will provide new facilities and expanded programs for serving the poor within the urban core of Cincinnati itself.

Since the Franciscan Friars have a long tradition of commitment and service throughout Greater Cincinnati, we hope the Historic Conservation Board will approve the Friars' request for this zoning approval.

Sincerely,

Br. Giancarlo Bonutti, SM
Director

"Dignity is the Beginning of Hope"

1221 Main Street
Cincinnati, Ohio 45202-7661
(513) 721-4811



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MEDIA**

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28 W. Liberty Street
Cincinnati, OH 45202-6498
513-241-5615 | 800-488-0488
513-241-0399 (fax)
FranciscanMedia.org

August 16, 2016

Historic Conservation Board
City of Cincinnati
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

Re: Zoning approval for new entryway for the Franciscan Friars'
property at 1615-1629 Republic Street

MAGAZINE

St. Anthony Messenger

BOOKS

Franciscan Media Books

Servant Books

Audiobooks/downloads

E-books

MULTIMEDIA

Saint of the Day

American Catholic Radio

AmericanCatholic.org

Catholic Greetings e-cards

On-demand channels

Mobile apps

Live-streaming events

Sunday & Weekday

Homily Helps

Dear Members of the Historic Conservation Board:

Franciscan Media, LLC, is in support of the efforts of the Franciscan Friars to procure zoning approval for the new entryway on the east side of their building at the northwest corner of W. Liberty Street and Republic Streets in Over-the-Rhine, to accommodate the community service facilities proposed for this location.

We concur with the Franciscans that the new entryway is necessary for the operation of the community service facilities, which are both necessary and beneficial. At this location, the St. Francis Seraph Ministries will operate the Sarah Center, the soup kitchen and bag lunch program, and administrative offices. There will also be the Center for Respite Care, the OTR food pantry, the TriHealth nurse outreach, Haircuts from the Heart, and the Mary Magdalen House.

This zoning approval will allow local non-profit organizations to partner and remodel this empty building in Over-the-Rhine. The central location of this building and adjacent warehouse space will help support innovation and collaboration among several non-profit organizations to better serve the poor. Private funds of \$4 million are committed to remodel this empty building which will provide new facilities and expanded programs for serving the poor within the urban core of Cincinnati itself.

Since the Franciscan Friars have a long tradition of commitment and service throughout Greater Cincinnati, we hope the Historic Conservation Board will approve the Friars' request for this zoning approval.

Sincerely,


Daniel Kroger, OFM, Publisher

St. Francis Seraph School



"A Beacon of Light in Over the Rhine"

August 19, 2016

Historic Conservation Board - City of Cincinnati
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

Re: Zoning approval for new entryway for the Franciscan Friars' property
at 1615-1629 Republic Street

Dear Members of the Historic Conservation Board:

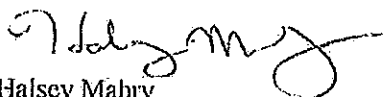
St. Francis Seraph School is in support of the efforts of the Franciscan Friars to procure zoning approval for the new entryway on the east side of their building at the northwest corner of W. Liberty Street and Republic Streets in Over-the-Rhine, to accommodate the community service facilities proposed for this location.

We concur with the Franciscans that the new entryway is necessary for the operation of the community service facilities, which are both necessary and beneficial. At this location, the St. Francis Seraph Ministries will operate the Sarah Center, the soup kitchen and bag lunch program, and administrative offices. There will also be the Center for Respite Care, the OTR food pantry, the TriHealth nurse outreach, Haircuts from the Heart, and the Mary Magdalen House.

This zoning approval will allow local non-profit organizations to partner and remodel this empty building in Over-the-Rhine. The central location of this building and adjacent warehouse space will help support innovation and collaboration among several non-profit organizations to better serve the poor. Private funds of \$4 million are committed to remodel this empty building which will provide new facilities and expanded programs for serving the poor within the urban core of Cincinnati itself.

Since the Franciscan Friars have a long tradition of commitment and service throughout Greater Cincinnati, we hope the Historic Conservation Board will approve the Friars' request for this zoning approval.

Sincerely,


Halsey Mabry
Principal



ST. FRANCIS SERAPH Parish & School www.SFSParish.org

1615 Vine Street, Cincinnati, OH 45202 Parish 513.535.2719 • School 513.721.7778

August 30, 2016

Historic Conservation Board
City of Cincinnati
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

Re: Zoning approval for new entryway for the Franciscan Friars' property
at 1615-1629 Republic Street

Dear Members of the Historic Conservation Board:

We at **St. Francis Seraph Parish and School** are in support of the efforts of the Franciscan Friars to procure zoning approval for the new entryway on the east side of their building at the northwest corner of W. Liberty Street and Republic Streets in Over-the-Rhine, to accommodate the community service facilities proposed for this location.

We concur with the Franciscans that the new entryway is necessary for the operation of the community service facilities, which are both necessary and beneficial. At this location, the St. Francis Seraph Ministries will operate the Sarah Center, the soup kitchen and bag lunch program, and administrative offices. There will also be the Center for Respite Care, the OTR food pantry, the TriHealth nurse outreach, Haircuts from the Heart, and the Mary Magdalen House.

This zoning approval will allow local non-profit organizations to partner and remodel this empty building in Over-the-Rhine. The central location of this building and adjacent warehouse space will help support innovation and collaboration among several non-profit organizations to better serve the poor. Private funds of \$4 million are committed to remodel this empty building which will provide new facilities and expanded programs for serving the poor within the urban core of Cincinnati itself.

Since the Franciscan Friars have a long tradition of commitment and service throughout Greater Cincinnati, we hope the Historic Conservation Board will approve the Friars' request for this zoning approval.

Sincerely,

Fr. David Kohut, O.F.M.

Fr. David Kohut, O.F.M.
Pastor

August 18, 2016

Historic Conservation Board
City of Cincinnati
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

Re: Zoning approval for new entryway for the Franciscan Friars' property
at 1615-1629 Republic Street

Dear Members of the Historic Conservation Board:

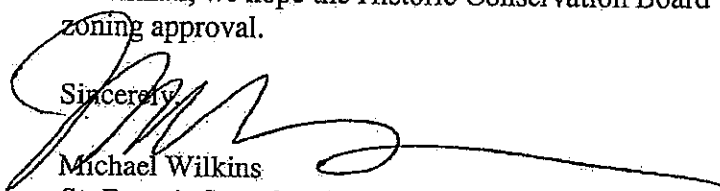
As a member of the St. Francis Seraph Ministries Board of Directors I am in full support of the efforts of the Franciscan Friars to procure zoning approval for the new entryway on the east side of their building at the northwest corner of W. Liberty Street and Republic Streets in Over-the-Rhine, to accommodate the community service facilities proposed for this location.

We concur with the Franciscans that the new entryway is necessary for the operation of the community service facilities, which are both necessary and beneficial. At this location, the St. Francis Seraph Ministries will operate the Sarah Center, the soup kitchen and bag lunch program, and administrative offices. There will also be the Center for Respite Care, the OTR food pantry, the TriHealth Outreach Ministries, Haircuts from the Heart, and the Mary Magdalen House.

This zoning approval will allow local non-profit organizations to partner and remodel this empty building in Over-the-Rhine. The central location of this building and adjacent warehouse space will help support innovation and collaboration among several non-profit organizations to better serve the poor. Private funds of \$4 million are committed to remodel this empty building which will provide new facilities and expanded programs for serving the poor within the urban core of Cincinnati itself.

Since the Franciscan Friars have a long tradition of commitment and service throughout Greater Cincinnati, we hope the Historic Conservation Board will approve the Friars' request for this zoning approval.

Sincerely,



Michael Wilkins
St. Francis Seraph Ministries
Board Vice President

Tiffany M Turner

72 Glenwood Avenue, Cincinnati, Ohio 45217
513-238-6656
Celuici2000@gmail.com

August 15, 2016

Historic Conservation Board
City of Cincinnati
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

Re: Zoning approval for new entryway for the Franciscan Friars' property
at 1615-1629 Republic Street

Dear Members of the Historic Conservation Board:

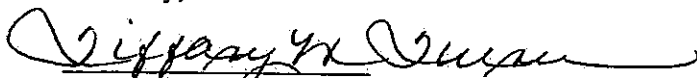
I am in support of the efforts of the Franciscan Friars to procure zoning approval for the new entryway on the east side of their building at the northwest corner of W. Liberty Street and Republic Streets in Over-the-Rhine, to accommodate the community service facilities proposed for this location.

We concur with the Franciscans that the new entryway is necessary for the operation of the community service facilities, which are both necessary and beneficial. At this location, the St. Francis Seraph Ministries will operate the Sarah Center, the soup kitchen and bag lunch program, and administrative offices. There will also be the Center for Respite Care, the OTR food pantry, the TriHealth nurse outreach, Haircuts from the Heart, and the Mary Magdalen House.

This zoning approval will allow local non-profit organizations to partner and remodel this empty building in Over-the-Rhine. The central location of this building and adjacent warehouse space will help support innovation and collaboration among several non-profit organizations to better serve the poor. Private funds of \$4 million are committed to remodel this empty building which will provide new facilities and expanded programs for serving the poor within the urban core of Cincinnati itself.

Since the Franciscan Friars have a long tradition of commitment and service throughout Greater Cincinnati, we hope the Historic Conservation Board will approve the Friars' request for this zoning approval.

Sincerely,



Tiffany M Turner

Board Director

St. Francis Seraph Ministries

August 15, 2016

Historic Conservation Board
City of Cincinnati
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

Re: Zoning approval for new entryway for the Franciscan Friars' property
at 1615-1629 Republic Street

Dear Members of the Historic Conservation Board:

I, Kelly Bonnell, Chief Operations Officer of BGR, Inc. and Board of Directors Member for St. Francis Seraph Ministries am in support of the efforts of the Franciscan Friars to procure zoning approval for the new entryway on the east side of their building at the northwest corner of W. Liberty Street and Republic Streets in Over-the-Rhine, to accommodate the community service facilities proposed for this location.

We concur with the Franciscans that the new entryway is necessary for the operation of the community service facilities, which are both necessary and beneficial. At this location, the St. Francis Seraph Ministries will operate the Sarah Center, the soup kitchen and bag lunch program, and administrative offices. There will also be the Center for Respite Care, the OTR food pantry, the TriHealth nurse outreach, Haircuts from the Heart, and the Mary Magdalen House.

This zoning approval will allow local non-profit organizations to partner and remodel this empty building in Over-the-Rhine. The central location of this building and adjacent warehouse space will help support innovation and collaboration among several non-profit organizations to better serve the poor. Private funds of \$4 million are committed to remodel this empty building which will provide new facilities and expanded programs for serving the poor within the urban core of Cincinnati itself.

Since the Franciscan Friars have a long tradition of commitment and service throughout Greater Cincinnati, we hope the Historic Conservation Board will approve the Friars' request for this zoning approval.

Sincerely,



Kelly Bonnell

COO, BGR, Inc.

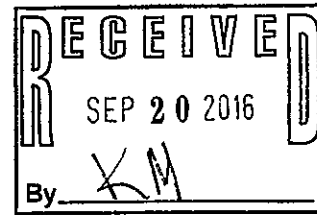
Board of Directors Member, St. Francis Seraph Ministries



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CUSTOMER CONNECTION CENTER

112 East Liberty Street
Cincinnati, Ohio 45202-6510
(513) 241-1064
(513) 357-4683 fax
www.freestorefoodbank.org



September 13, 2016

Historic Conservation Board
City of Cincinnati
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

Re: Zoning approval for new entryway for the Franciscan Friars' property
Located at 1615-1629 Republic Street

Dear Members of the Historic Conservation Board:

The Freestore Foodbank in support of the efforts of the Franciscan Friars to procure zoning approval for the new entryway on the east side of their building at the northwest corner of W. Liberty and Republic Streets in Over-the-Rhine, to accommodate the community service facilities proposed for this location.

We concur with the Franciscans that the new entryway is necessary for the operation of the community service facilities, which are both necessary and beneficial. At this location, the St. Francis Seraph Ministries will operate the Sarah Center, the soup kitchen and bag lunch program, and administrative offices. There will also be the Center for Respite Care, the OTR Faith Alliance food pantry, the TriHealth nurse outreach, Haircuts from the Heart, and the Mary Magdalen House.

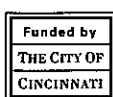
Please note that the OTR Faith Alliance Food Pantry will help to replace services lost when the Mercy Franciscan pantry closed last year.

This zoning approval will allow local non-profit organizations to partner and remodel this empty building in Over-the-Rhine. The central location of this building and adjacent warehouse space will help support innovation and collaboration among several non-profit organizations to better serve the families who rely on the services provided by these organizations. Private funds of \$4 million have been committed to remodel this empty building which will provide new facilities and expanded programs for serving our neighbors within the urban core of Cincinnati.

Since the Franciscan Friars have a long tradition of commitment and service throughout Greater Cincinnati, we hope the Historic Conservation Board will approve the Friars' request for this zoning approval.

Sincerely,

Bernice Cooper
Vice President Customer Connection Center



APPLICATION FOR CERTIFICATE OF APPROPRIATENESS HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

APPLICATION #: COA2016067
APPLICANT: Darren Meyers
OWNER: Tim and Teresa Tanner
ADDRESS: **1418 Elm Street**
PARCELS: 081-0002-0367
ZONING: RM 1.2
OVERLAYS: Over-the-Rhine Historic District
COMMUNITY: Over the Rhine
REPORT DATE: September 13, 2016
HEARING DATE: August 31, 2016 pre-hearing
STAFF REVIEW: Beth Johnson, Urban Conservator

Nature of Request:

The applicant is requesting a Certificate of Appropriateness (COA) to paint an unpainted brick home in the Over-the-Rhine Historic District.

Existing Conditions:

The property at 1418 Elm Street is a brick 3 story Italianate residential structures that was built around 1900. The house is on the east side of Elm Street between 14th and 15th Street. The house is currently undergoing rehabilitation work including an addition that was approved at the August 10, 2015 HCB meeting.

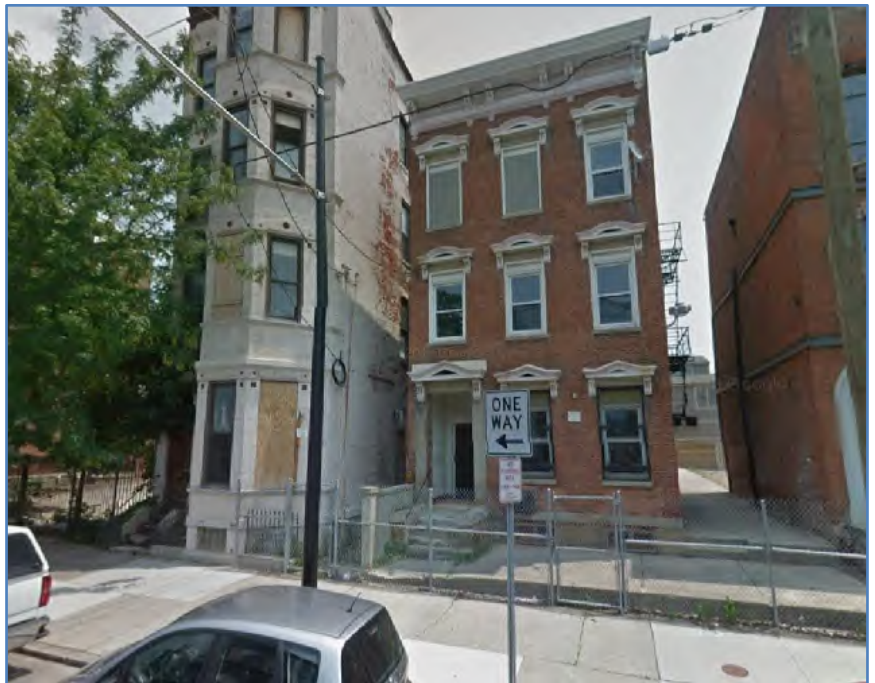


Figure 1: 1418 Elm Street. Photo provided by Google Street Views

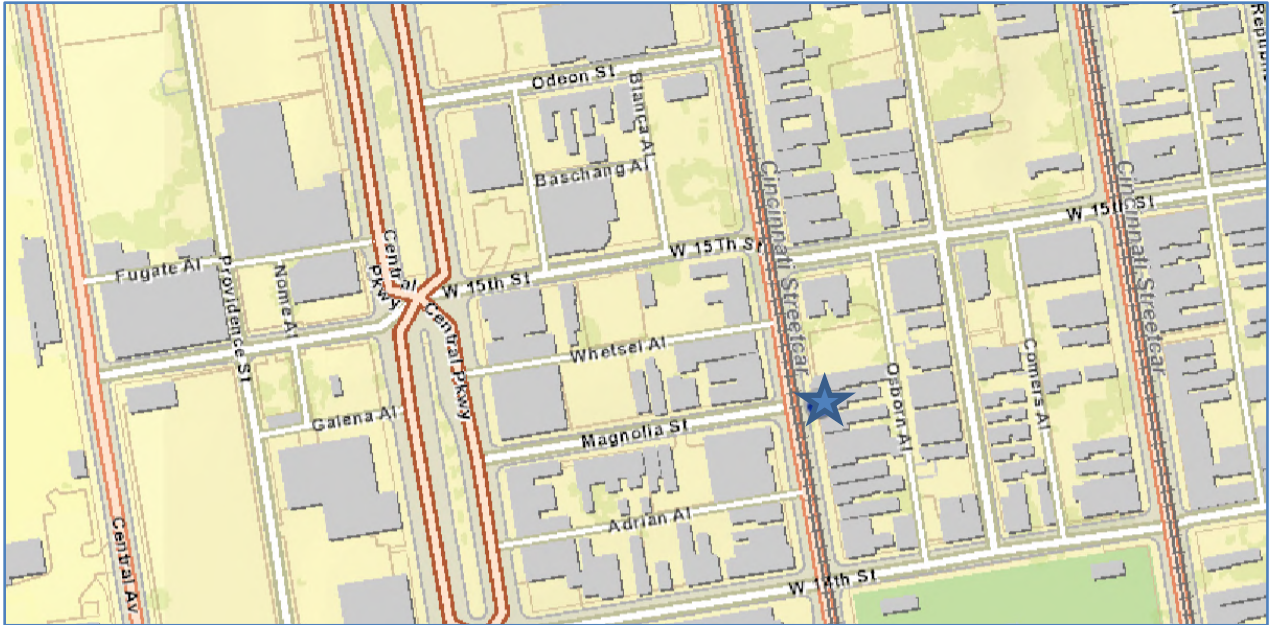


Figure 2: Map of 1418 Elm Street. Map provided by Cagis Maps

Proposed Conditions:

The applicant is proposing to modify the site in the following

- Paint unpainted brick

Previous Reviews: August 10, 2015 rehabilitation work and zoning variance for addition and deck.

Applicable Zoning Code Sections:

- Zoning District: Section 1405 RM 1.2 District
- HCB authority: [Section 1435-05-4](#)
- Overlays: [Section 1435](#) Historic Preservation
- Historic District/Reg: [Over the Rhine Historic District](#)
- COA Standard: [Section 1435-09-2](#) Certificate of Appropriateness; Standard of Review

Zoning Review

All zoning is compliant and the required zoning relief was granted at the August 10, 2015 HCB meeting.

Certificate of Appropriateness Review:

A Certificate of Appropriateness is required for the work to paint unpainted brick as the guidelines do not permit unpainted brick to be painted.

Comments on Applicable Guidelines

Rehabilitation

B. Specific Guidelines

9. Painting: Repaint buildings that were historically painted. Most buildings built before 1890 in Over-the-Rhine were originally painted. Paint is part of the aesthetic design of

these buildings and should be maintained. Paint also protects porous nineteenth century masonry and masks alterations and inappropriate repairs. Masonry that has not been painted in the past should not be painted. Because color can have a significant impact on the neighborhood, use paint colors that are appropriate to your building's age and style. Historically, most paint schemes were relatively simple. The Historic Conservation Office can provide owners with color combinations that are appropriate for a building's age and style. Varying the choice of color between neighboring buildings is preferred.

The building was built in 1900 and has had many spots on the front façade and side that have been either damaged or replaced. The new bricks do not match the old bricks and the mortar used doesn't match the historic mortar in color or joint size. While it is not usually recommended to paint brick buildings that have not been painted, there are some circumstances where painting brick is appropriate and this includes when large sections of the original wall have been replaced with new brick that is clearly different in color, size, shape or mortar joint from the original brick.

1418 Elm Street meets this condition.

The attached pictures provided by the applicant show the many instances of different brick on the façade and elsewhere on the building including many spots where there has been significant weathering of the brick.

Other Considerations:

N/A

Prehearing Results: A Prehearing was held on August 31, 2016. The applicant was present

Comments Provided to Staff: NA

Consistency with *Plan Cincinnati (2012)*:
"Sustain" Initiative Area "Preserve our built history"

Recommendation:

Staff recommends the Historic Conservation Board take the following actions:

I. CERTIFICATE OF APPROPRIATENESS

- A. **APPROVE** a Certificate of Appropriateness for 1418 Elm Street to paint unpainted brick due to the large sections of replacement bricks and damaged brick on the building.
- B. **FINDING:** The Board makes this determination per Section 1435-09-2:
 - 1. That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

APPLICATION

HC B
HISTORIC
CONSERVATION
BOARD

CERTIFICATE OF APPROPRIATENESS

APPLICATION

BUILDING ADDRESS: 1418 ELM STREET

DISTRICT NAME: OVER THE RHINE
(if applicable)

OWNER NAME: TIM + TERESA TANNER

ADDRESS: 877 GORHAM DR. CINCI, OH 45245 PHONE NO: (513) 706-7925

EMAIL: TTANNER@CINCI.RR.COM

CONTRACTOR NAME: JOHN HUEBER HOMES

PHONE NO: (513) 505-2474

ADDRESS: 526 WARDCORNER RD. SUITE 'B'
LOVELAND, OH 45140

EMAIL: MARCO.HUEBER.HOMES.COM

ARCHITECT NAME: DARREN MYERS OF KENNETH P.

PHONE NO: (513) 791-6778 (EXT. 303)

BOWERMAN ARCHITECT, INC.

ADDRESS: 8050 HESBROCK RD. SUITE 106, CINCI, OH 45236

EMAIL: DARRENMYERS@FUSE.NET

HC B USE ONLY

DATE RECEIVED BY HCB: _____

PERMIT/APD NO: _____

APP. COMPLETION DATE: _____

IT IS YOUR RESPONSIBILITY TO NOTIFY THE URBAN CONSERVATOR IF ANY OF THIS INFORMATION CHANGES DURING THE PENDING REVIEW OF YOUR

WORK PROPOSED: (Describe type of work, existing conditions, and methods to be used, materials proposed)

HC B USE ONLY

- MINOR ALTERATION
- NEW CONSTRUCTION
- ADDITION
- DEMOLITION
- REHABILITATION
- OTHER _____

ALREADY HAVE A C.O.A. FOR ALL ADDITIONS & RENOVATIONS TO THE EXTERIOR OF THE BUILDING, EXCEPT IN REGARDS TO PAINTING THE MASONRY.

WE ARE RE-APPLYING FOR A SEPERATE/NEW C.O.A. SO THAT WE CAN ADDRESS THE BOARD TO DISCUSS PAINTING OF THE EXTERIOR

MASONRY. PLEASE SEE ATTACHED CORRESPONDENCE.

IN ORDER TO EXPEDITE HCB ACTION, PLEASE ATTACH ADDITIONAL INFORMATION, IF AVAILABLE, AS MAY BE APPROPRIATE. LIST ANY INFORMATION ATTACHED: (Elevations, site plans, specifications, photos, material samples, additional drawings or written matter)

- DRAWINGS OF APPROVED ELEVATIONS

- PHOTOS OF MISMATCHED & DETERIORATING BRICK.

- LETTER FROM THE ARCHITECT

- PHOTOS OF OTHER PAINTED BUILDINGS @ 116 + 118 W. 15TH

Attach a letter explaining the justification for the issuance of the desired Certificate of Appropriateness.

Be advised that the burden of proof is on the applicant.

APPLICATION



CERTIFICATE OF APPROPRIATENESS

APPLICATION

BUILDING ADDRESS: 1418 ELM STREET

DISTRICT NAME: OVER THE RHINE
(if applicable)

OWNER NAME: TIM + TERESA TANNER

ADDRESS: 877 GORHAM DR. CINCI, OH 45245

EMAIL: TTANNER@CINCI.RR.COM

CONTRACTOR NAME: JOHN HUEBER HOMES

ADDRESS: 526 WARDS CORNER RD. SUITE 'B'
LOVELAND, OH 45140

EMAIL: MARC@HUEBERHOMES.COM

ARCHITECT NAME: DARREN MYERS OF KENNETH P.

BOWERMAN ARCHITECT, INC.

ADDRESS: 8050 HOSBROOK RD. SUITE 106, CINCI, OH 45236

EMAIL: DARRENMYERS@FUSE.NET

HC B USE ONLY

DATE RECEIVED BY HCB: _____

PERMIT/APD NO: _____

APP. COMPLETION DATE: _____

IT IS YOUR RESPONSIBILITY TO NOTIFY THE URBAN CONSERVATOR IF ANY OF THIS INFORMATION CHANGES DURING THE PENDING REVIEW OF YOUR

WORK PROPOSED: (Describe type of work, existing conditions, and methods to be used, materials proposed)

HC B USE ONLY

- MINOR ALTERATION
- NEW CONSTRUCTION
- ADDITION
- DEMOLITION
- REHABILITATION
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-DRAWINGS OF APPROVED ELEVATIONS

-PHOTOS OF MIS MATCHED & DETERIORATING BRICK.

-LETTER FROM THE ARCHITECT

-PHOTOS OF OTHER PAINTED BUILDINGS @ 116 + 118 W. 15TH

Attach a letter explaining the justification for the issuance of the desired Certificate of Appropriateness.

Be advised that the burden of proof is on the applicant.

KENNETH R. BOWERMAN,
ARCHITECT, INC.

City of Cincinnati Application for HCB Certificate of Appropriateness,
1418 Elm Street, Cincinnati, OH 45202

My clients, Tim & Teresa Tanner, purchased the property @ 1418 Elm Street over a year ago. Since then they have grown to love the neighborhood, as well as the building they are bringing back to life and transforming into their own personal residence. They have researched and discovered the history of the home as well as its original owner, C.E. Brockmann. Mr. Brockmann was the founder and owner of The Brockmann Pottery Company here in Cincinnati. He had this family residence built in about 1866 according to records. The Tanner's intend on having a plaque made acknowledging the building as the former home of Mr. Brockmann once the updates, renovations, and additions are completed.

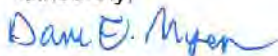
I bring this up in order to make it known that the home owners are respectful of the existing building, its history and appearance. Equally they understand the intent of the Conservation Guidelines for the Over-the-Rhine Historic District and appreciate the oversight and supervision that the Historic Conservation Board provides for buildings such as theirs. They are aware of the sentiment expressed in the Guidelines for Rehabilitation, Specific Guidelines, under Painting, that *"masonry that has not been painted in the past should not be painted"*. However, they would ask you to consider the guidelines for what they actually are, "guidelines". This is stated in the guidelines under Rehabilitation, Intent and General Guidelines as follows, *"the guidelines are not hard-and-fast rules, but are used by the Historic Conservation Board as a guide to assess the compatibility and the appropriateness of proposed changes"*.

The home has been added to at least twice during its lifetime. The resulting brick is mismatched and spotty. As well, there are large portions of the brick which have a different size and type of mortar joint that causes it to look out of place. On the south side of the original three story home, much of the brick and mortar has been worn away and has etched because of years of exposure to corrosive environmental elements. It has developed a texture which is noticeably different than the rest of the building. Please refer to the included photos for examples of the various brick conditions mentioned. The homeowners would like to paint the existing brick in order to provide it with some protection and minimize the hodgepodge look. It is even stated in the guidelines themselves, under Rehabilitation, Painting that *"paint also protects porous nineteenth century masonry and masks alterations and inappropriate repairs"*. It also says *"most buildings built before 1890 in Over-the-Rhine were originally painted"*. As the home was built in 1866, it is of the appropriate time period referred to. We are not implying that all buildings were painted at the time, but merely suggesting that painting a building of this age would not be unusual or out of character for homes of the time period. In fact, it was common. Tim and Teresa Tanner do not have a specific color choice in mind and are more than willing to work with the Historic Conservation Office in selecting a color combination that is appropriate for a building of this period.

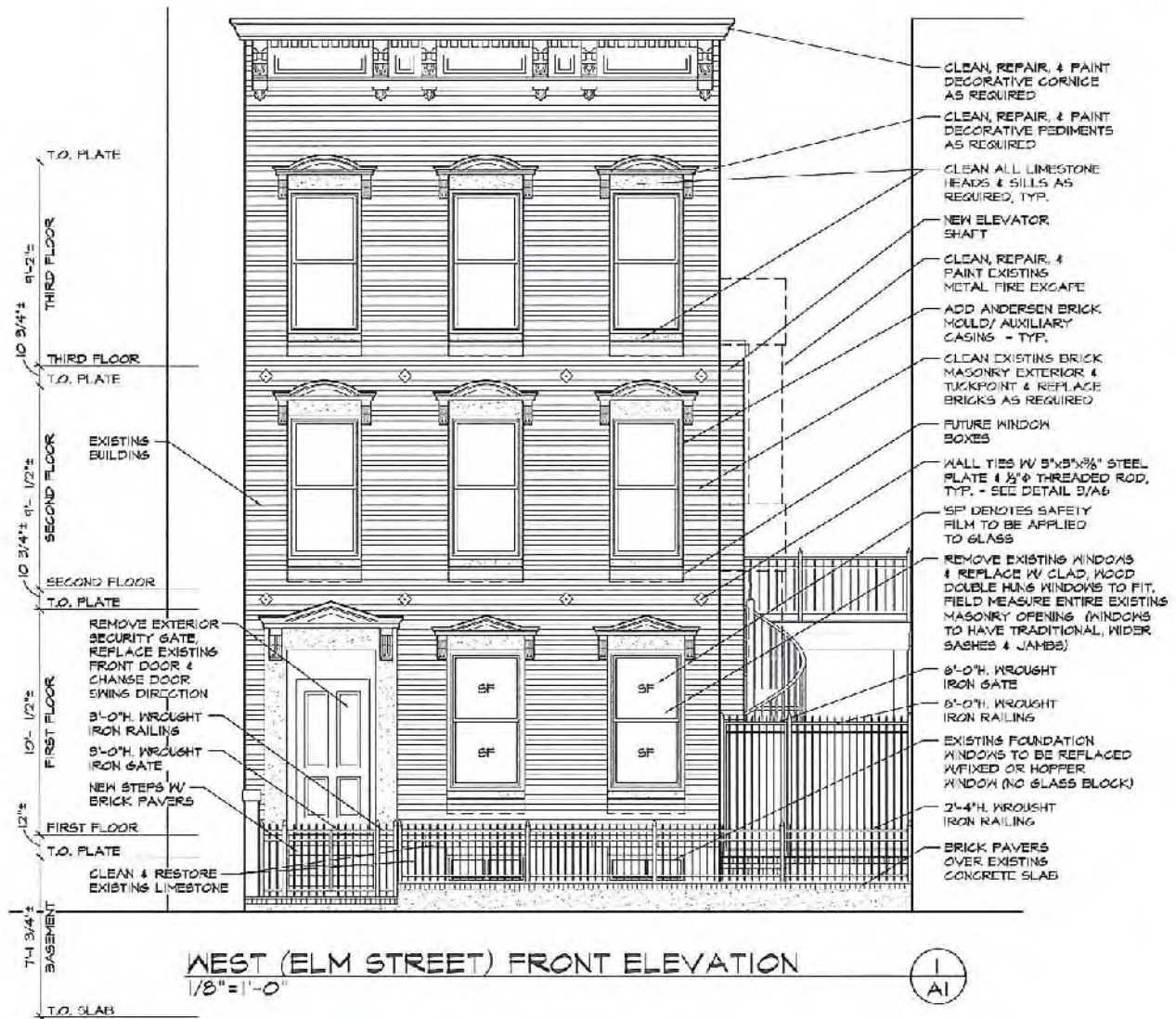
It is also evident to us that other masonry buildings of the same style and time frame in Over-the-Rhine have already been painted. Take for example the buildings that are within a half block from 1418 Elm. The buildings are at 116 and 118 West 15th Street. One of them is the new restaurant, Pleasantry. We have included photos of the buildings showing their previous unpainted state and their new painted condition.

The homeowner's have given much consideration and research before arriving at the conclusion that the best and most desirable solution for them is to paint this building. We are asking the board to take into consideration all that has been previously mentioned and issue a new C.O.A. that will allow them to paint the exterior of their home.

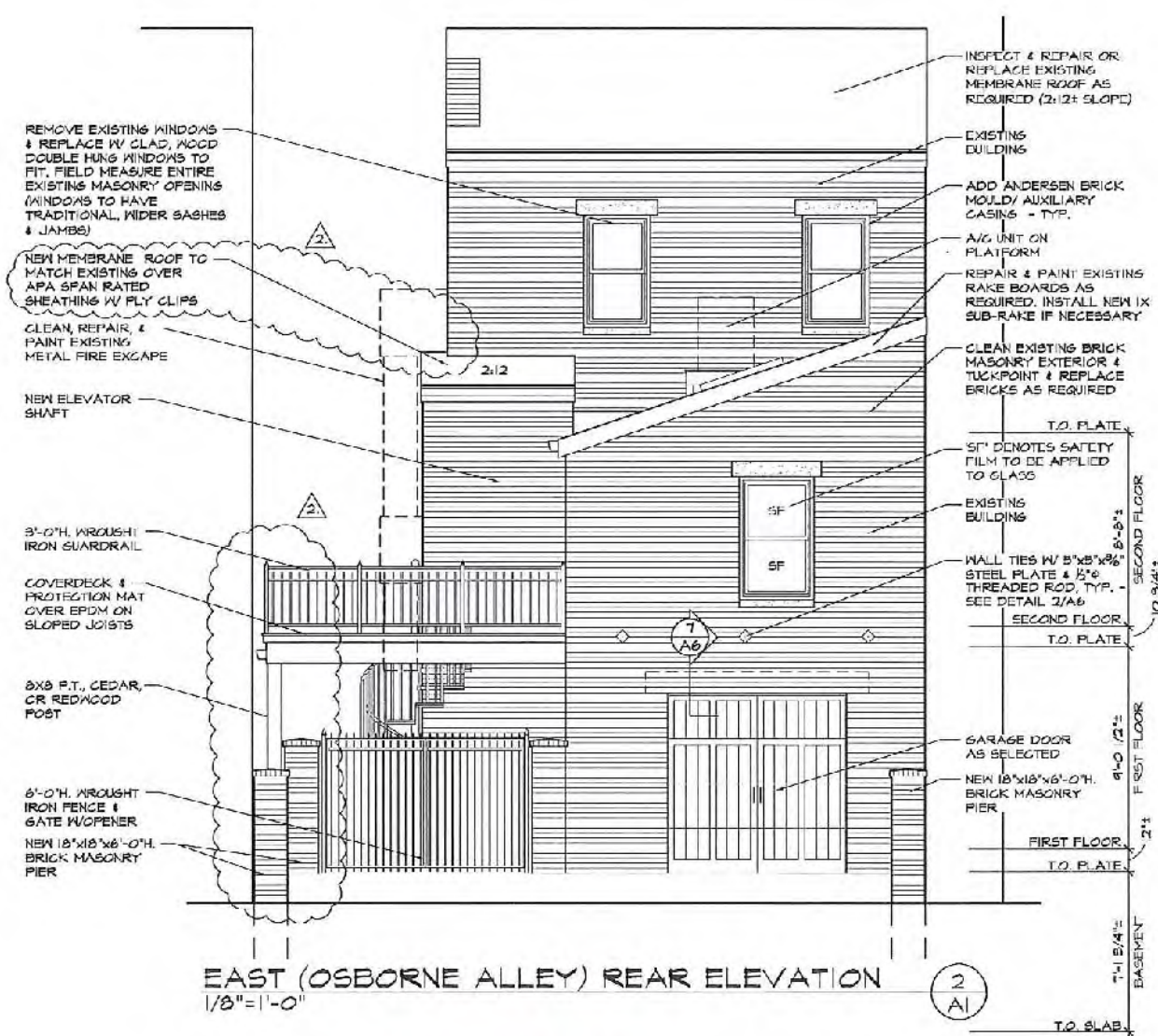
Sincerely,



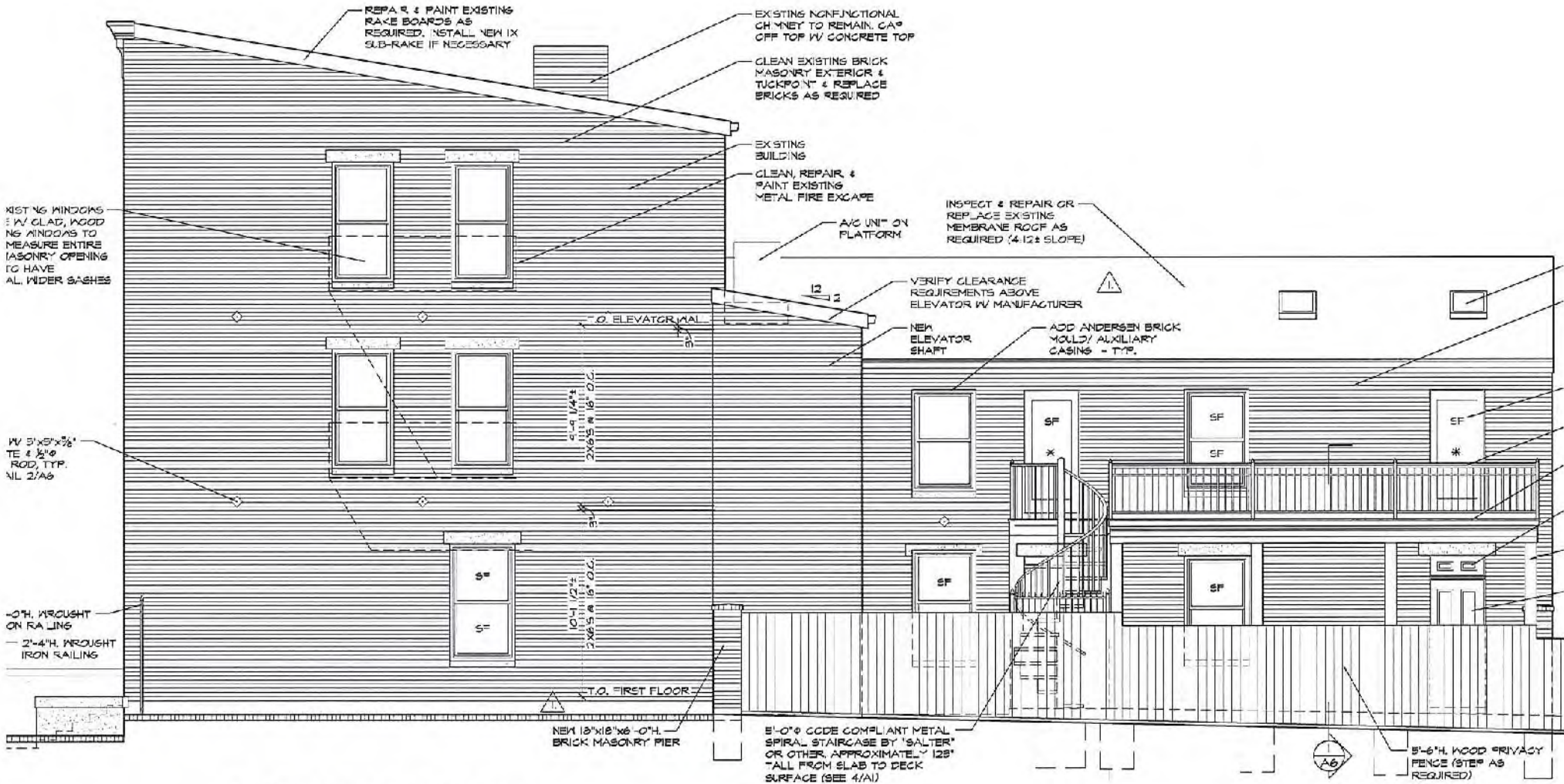
Darren E. Myers (Architect & Owner Agent)



1418 ELM STREET
 (TIM & TERESA TANNER)



1418 ELM



SOUTH SIDE ELEVATION
1/4" = 1'-0"

3
A1

1418 ELM

EAST ELEVATION - MISMATCHED BRICK
FROM DIFFERENT ERAS



POOR EXISTING PATCH JOB
EAST ELEV @ ALLEY

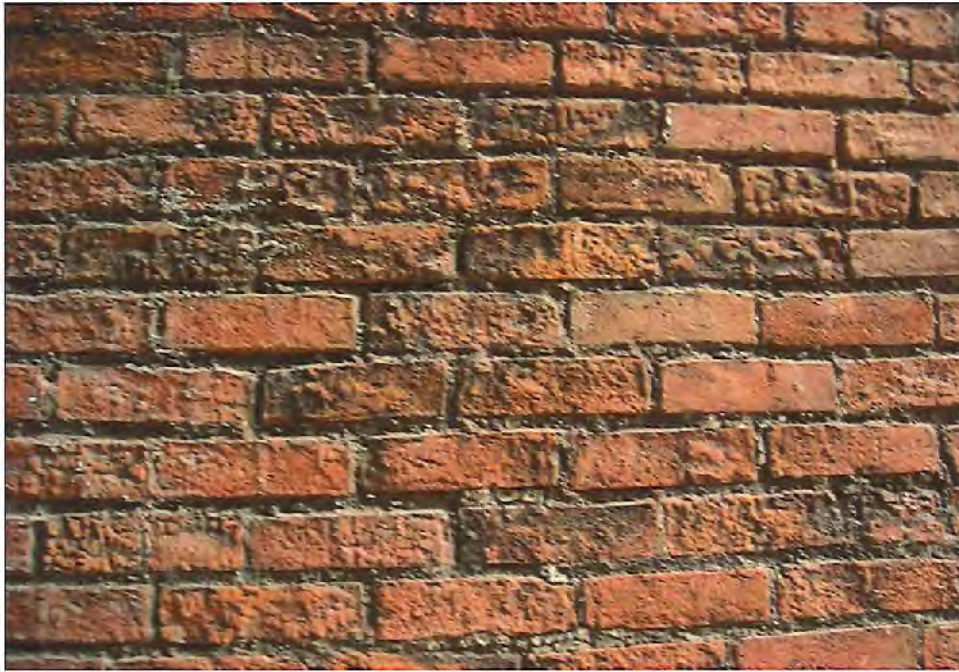


UNDER FRONT WINDOWS - FACING ELM



TRANSITION @ PREVIOUS ADDITION (TWO-STORIES)

SOUTH ELEVATION
ETCHED BRICK & MORTAR



EXPOSED @ COVERED ENTRY



VARRIED MORTAR SCALE & TYPE



PHOTOS SHOWING MISMATCHED BRICK (COLOR, SIZE, MORTAR JOINTS, CONDITION)



Google earth



116 W. 15TH STREET



Google earth

feet
meters



118 W. 15th STREET

116+118 W. 15TH STREET



APPLICATION FOR CERTIFICATE OF APPROPRIATENESS HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

APPLICATION #: COA2016070
APPLICANT: Wichman Gunther Architects
OWNER: Liane Axe
ADDRESS: **1830 Race Street**
PARCELS: 094-0008-0322
ZONING: CC-P
OVERLAYS: Over the Rhine Historic District
COMMUNITY: Over the Rhine
REPORT DATE: September 13, 2016
HEARING DATE: August 31, 2016 pre-hearing
STAFF REVIEW: Beth Johnson, Urban Conservator

Nature of Request:

The applicant is requesting a Certificate of Appropriateness (COA) for one over one vinyl windows.

Existing Conditions:

The property at 1830 Race Street is a brick Queen Anne building with a first floor storefront and decorative window lintel headers and a decorative cornice window hoods and a decorative bracketed cornice. The house sits on the east side of Race Street between Elder Street and Findley Street. The house has vinyl windows that were installed in 2013 without approval by the City on the front, side and rear.

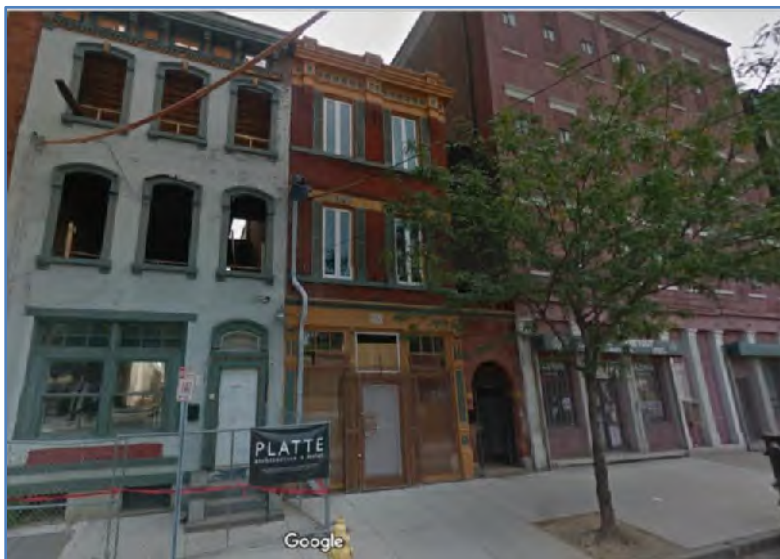


Figure 1: 1830 Race Street. Image from Google Images

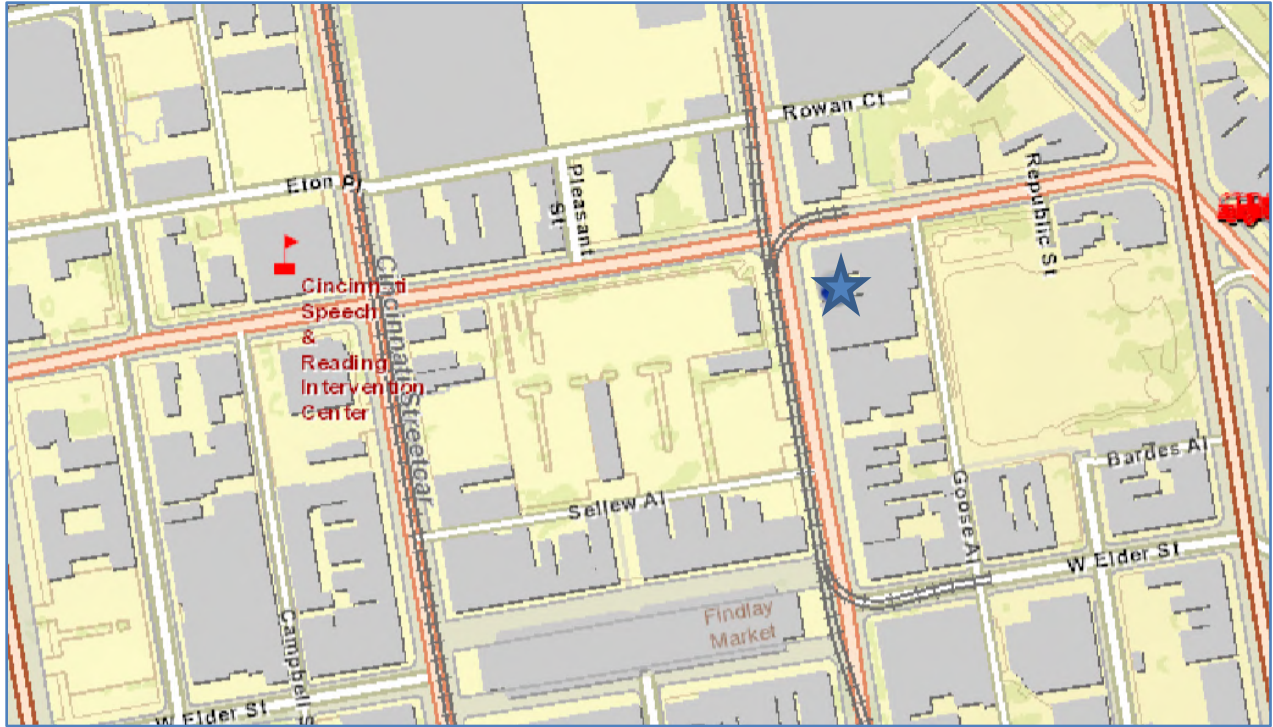


Figure 2: Map of 1830 Race Street. Map provided from Cagis Maps.

Proposed Conditions:

The applicant is proposing to retain the vinyl windows on the side and rear due to low visibility and has been approved for restoration and rehabilitation work on the front façade which includes the installation of one over one Lincoln Aluminum Double hung aluminum clad wood windows on the second and third story. The white vinyl windows that are proposed to be kept on the sides and rear will be painted bronze to match the windows on the front of the building. The windows on the side and rear are single light fixed windows with no divisions.

The applicant is seeking vinyl windows on the side and rear due to their lack of visibility from the street and their support from the neighboring building owner.



Figure 3: Side of 1830 Race Street. Image provided by applicant.

Previous Reviews: N/A

Applicable Zoning Code Sections:

Zoning District: Section 1409 CC-P
HCB authority: [Section 1435-05-4](#)
Overlays: [Section 1435](#) Historic Preservation
Historic District/Reg: [Over the Rhine Historic District](#)
COA Standard: [Section 1435-09-2](#) Certificate of Appropriateness;
Standard of Review

Zoning Review

All zoning compliant and no request for Zoning Relief is sought.

Certificate of Appropriateness Review:

A Certificate of Appropriateness is required whenever windows are repaired or replaced in the district. For the vinyl windows as vinyl windows do not comply with the Over-the-Rhine Conservation Guidelines, the Urban Conservator has no authority to approve windows without approval of the HCB. While there is not high visibility to the windows on the south and rear, the guidelines still require replacement of original windows with a similar type of window.

Comments on Applicable Guidelines

REHABILITATION

3. Door and Window Sash: Repair original doors and window sashes rather than replace whenever possible. If replacement is necessary, the new door or window sash should match the original in material, size and style as closely as possible. Synthetic replacement windows are generally discouraged. Consult with the Historic Conservation Office about acceptable replacement windows

As this application is retroactive and the windows were previously removed, the quality of condition of the original windows could not be assessed.

While staff does approve of the change of the front inappropriate vinyl windows to the historically appropriate double hung one over one window aluminum clad wood window, vinyl windows on other elevations of the house still do not comply with the guideline as the material, size and style of the windows are different than the original wood one over one double hung windows. The Historic Conservation Board and Staff have been consistent in the interpretation that vinyl windows on any façade are not an appropriate treatment.

Material: Vinyl is not the same material as wood and while the Historic Conservation Board has allowed aluminum clad and certain fiberglass windows the reasoning for allowing other windows has been because they are able to replicate the size and style of wood windows to the satisfaction of the board and staff.

Size: Staff has located cut sheets that show the Vinyl windows have a flat profile and the meeting, and top and bottom rails would not be the same size as a historic wood window.

Style: The windows on the side are fixed pane windows where the original windows would have been double hung one-over-one windows.

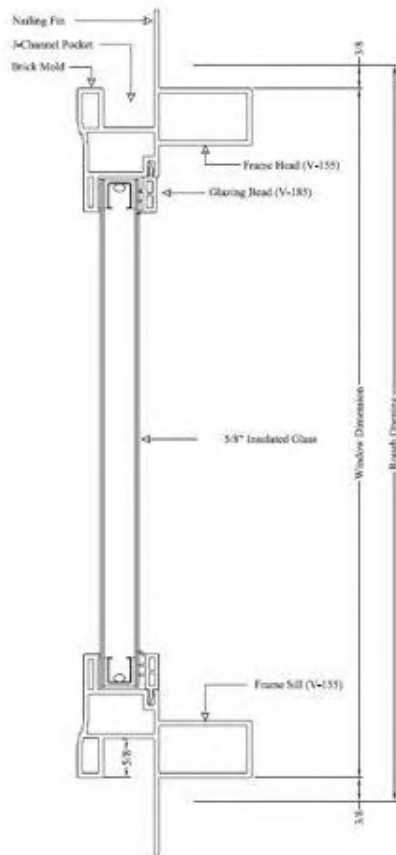


Figure 5: Vinyl window cross section of a fixed window.

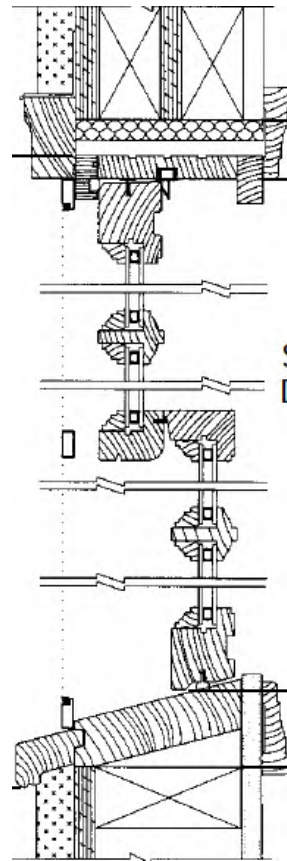


Figure 4: Typical Historic Wood Window Profile

Other Considerations:

Applicant Reasoning: The applicant is asking for relief on the side and rear windows due to lack of visibility of the side windows and low visibility on the rear windows. The applicant worked with a window company and she believed that she was doing things correctly with their guidance.

While staff is sympathetic that the homeowner trusted her contractors to make the right decisions and know the process, ultimately it is the homeowners responsibility to get the proper permits and approvals for work on the property.

Prehearing Results: A Prehearing was held on August 31, 2016. The applicant and home owner were present.

Comments Provided to Staff: A support letter from the owner of the neighboring property was provided with the application.

Consistency with *Plan Cincinnati (2012)*:
“Sustain” Initiative Area “Preserve our built history”

Recommendation:

Staff recommends the Historic Conservation Board take the following actions:

I. CERTIFICATE OF APPROPRIATENESS

- A. **DENY** a Certificate of Appropriateness for 1830 Race Street submitted by Wichman Gunther Architects including any revisions submitted for permit subject to staff review and approval as the proposed vinyl windows are not appropriate replacement material as they do not match the historic windows in material, size or style.

- B. **FINDING:** The Board makes this determination per Section 1435-09-2:
 - 1. That the property owner has not demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines or that there is an economic hardship.

APPLICATION

HC
B
HISTORIC
CONSERVATION
BOARD

CERTIFICATE OF APPROPRIATENESS

APPLICATION
BUILDING ADDRESS: 1830 RACE ST.

DISTRICT NAME: OTR
(if applicable)

OWNER NAME: LIANE AXE

ADDRESS: 1830 RACE ST. 45202

EMAIL: liane.axe@gmail.com

CONTRACTOR NAME: TBD

ADDRESS: _____

EMAIL: _____

ARCHITECT NAME: WICHMAN GUNTHER
ARCHITECTS

ADDRESS: _____

EMAIL: 810 PLUM ST. 45202
mark@wichmanguntherarchitects.com

HC	
DATE RECEIVED BY HCB:	_____
PERMIT/APD NO:	_____
APP. COMPLETION DATE:	_____

PHONE NO: 509-7982

PHONE NO: _____

PHONE NO: 241-9933

IT IS YOUR RESPONSIBILITY TO NOTIFY THE URBAN CONSERVATOR IF ANY OF THIS INFORMATION CHANGES DURING THE PENDING REVIEW OF YOUR

WORK PROPOSED: (Describe type of work, existing conditions, and methods to be used, materials proposed)

HC	
<input type="checkbox"/>	MINOR ALTERATION
<input type="checkbox"/>	NEW CONSTRUCTION
<input type="checkbox"/>	ADDITION
<input type="checkbox"/>	DEMOLITION
<input type="checkbox"/>	REHABILITATION
<input type="checkbox"/>	OTHER _____

Installation of new replacement windows
@ West (Race) facade & approval of
previously-installed replacement
windows @ South & East facades.

IN ORDER TO EXPEDITE HCB ACTION, PLEASE ATTACH ADDITIONAL INFORMATION, IF AVAILABLE, AS MAY BE APPROPRIATE. LIST ANY INFORMATION ATTACHED: (Elevations, site plans, specifications, photos, material samples, additional drawings or written matter)

Proposed Elevation drawing, photos of
existing conditions & letters of explanation
and support are included w/ application

Attach a letter explaining the justification for the issuance of the desired Certificate of Appropriateness. Be advised that the burden of proof is on the applicant.

July 14, 2016

To whom it may concern,

Model Group is currently under construction on a \$21MM renovation of most of the buildings located in the 1800 block of Race St. in Over the Rhine, including my home at 1800 Race Street and my office building at 1826 Race Street which is adjacent to Liane Christopher's home at 1830 Race. In 2014, early in our development cycle, we met with Liane Christopher in her home at 1830 Race Street, I was impressed with the high quality renovation of her home and committed to her that the scope and quality of our renovations would complement the great work she had already completed.

This letter is to confirm my support for her latest phase of renovation, including the retention of the windows on the south side next to our office building that make up the "art wall". The windows on the north side of our renovated office building will have offices and cubicles looking directly into the windows of 1830 Race St. which make the retention of the "art wall" especially important for both our office building and Liane's home to maintain both privacy and sunlight.

If you have any questions, please contact me at 513-559-0048.

Sincerely,



Stephen C. Smith
Chief Executive Officer

WICHMAN GUNTHER
ARCHITECTS

August 12, 2016

Ms. Beth Johnson, Urban Conservator
Historic Conservation Office
City of Cincinnati

Re: Certificate of Appropriateness for Window Installation at 1830 Race Street

Dear Beth,

The application is requesting a retroactive approval for this single family residence located in Over the Rhine. As outlined by the owner in the enclosed narrative, this is an unfortunate circumstance of neither party (owner or supplier/contractor) being aware of the COA requirement. The primary Race Street façade will be altered to have new, compliant clad wood double hung windows. The secondary facades on the South and East sides are not visible from any public right of way. The adjacent office building under renovation to the South (see enclosed correspondence from this property owner) is nearly two stories taller than 1830 and on the East façade, windows are setback from the rear alley by 65 feet. All of the windows in question still retain the original wood brick mold in the masonry openings. The existing vinyl frames will be painted to match the dark bronze finish of the new Race Street façade clad windows. Although the original units were double hung, these replacements, as a single fixed pane, are part of the dual composition formed by the internal stain glass pane. Again, there has been no alteration or infill of original openings.

Although the guidelines state that "synthetic replacement windows are generally discouraged" I hope you will consider the unique condition we have here. Knowing everything that comes before this office and the Board is on a "case by case basis", I would emphasize the honest intent of the owner to create a energy efficient, aesthetically pleasing visual buffer to the commercial activity of the adjacent property.

I have included photos of the openings in question, along with overall building views. Additionally, the Race Street façade improvements are presented in graphic form. Please let me know if any other documentation is needed and/or appropriate for inclusion in the report to the Board.

Sincerely,



Mark A. Gunther, RA, NCARB
for Wichman Gunther Architects

cc: Liane Axe

August 1, 2016

Liane Christopher

RE: 1830 Race Street Property Narrative Summary

I, Liane (Axe) Christopher, purchased 1830 Race Street in August 2013. Like many other Cincinnatians, I love our city and the progress for which the downtown community has made to make 45202, and more specifically the Brewery District of OTR my home. In the 3 years of owning the home, changes to my street have been abundant. The purchase was at about my maximum in budget and renovations did not seem necessary due to purchasing it from North Point Realty, who just renovated the building for the sale. A few months went by and things were great; but unfortunately as autumn set in; it became apparent that the windows had more issues than being painted shut with gaps, but seeped in cold air to such a degree that my house was perpetually 45-55 degrees.

A fast acting solution before winter hit was to replace the windows. I immediately turned to my Angie's List account and researched window companies. It led me to Zen Windows, where the Owner/President Dan Wolt prepared a quote. I shared my concern with the predicament I was in; regretting that my home inspection, which was conducted in June, during the peak of summer did not detect issues with so many of the windows. Dan's quote covered what was needed to get high quality windows in promptly and we proceeded with the installation. With resolution completed; it seemed everything could continue on, to the next project on my list for my home.

Nearly 3 years pass and now my quiet and abandoned 1800 block of Race Street has morphed into a bustle of rebuild and rehabilitation on every single building thanks to the tireless efforts of Steve Smith and his team at Model Group as well as Blackrock Construction. But then in June I was notified by Greg Wiles, City Inspector that the windows installed 3 years prior were not up to historic standards. (Case number CBG1600292).

In efforts of transparent honesty, I had no idea the decisions made in 2013 would be incorrect. In working up quotes with several companies before choosing Zen Windows; none of them had suggested a certain style being on the short list of limited options for the building. I made the purchase decision with their guidance and really thought that with a professional window installer leading the project; I was doing things correctly. I ended up choosing what I thought were high quality windows; even upgrading several features so that they would have "3 Coats of Cardinal Engineered LoE3 Glass/Argon Gas/NEAT Glass."

In conjunction with that decision; I had become aware of a company which designs and installs stained glass, Stained Glass Overlay, in Elsmere, Kentucky. For added installation, security and home appeal; I installed a 3rd layer of stained glass in the side windows. The 'art wall' instantly made the home save on energy costs and provided safety, not to mention the beauty which stained glass draws in from the sunlight. My thought process was that I already knew I was fortunate to buy a piece of Cincinnati history when I acquired this home; while adding the stained glass gave it even more safety and splendor of the re-birth of the 1800 block of Race Street.

The background information I have shared provides context of the past and present, leading up to resolution of the violation order. Thanks to the Blackrock Construction Project Manager next door at 1832 Race Street, Cherisse Lindsay, she suggested a few architects who would be able to design improvements to my house in order to reach resolution on the windows as well as commence my long awaited project to mortar and paint the entire house. At the top of that list is my architect, Mark Gunther, of Wichtman & Gunther Architects. While in an incredible small world, Mark had drawn the plans with North Point Realty in 2012 for this home. So with his familiarity of the house already; his expertise will go far to improve the front façade.

Mark and I have had several meetings to draft plans. While preparing these plans, I have gained support from Steve Smith of the 'art wall' side windows; as this view can be seen from the office building he is renovating at 1826 Race Street.

To resolve the window issues; the architectural plans include replacing the front of the house's 4 front windows. They will be changed to wood windows with a bronze casing and double-hung. The paint will be scraped and repainted on the window sills and the tuck-pointed repaired. The unoccupied store front will receive a new door and tile work cleaned and given new life.

As for the side windows of the home; by how deep set, off the street, on the 2nd and 3rd floors of the building; they are not visible from the street. The only vantage point will be from the top 2 floors (which is 4th and 5th story heights) of the 1826 Race Street office building only when looking down from their side windows. The side windows are currently in a white frame; which included in the scope of the repainting effort of the house is to paint the windows in the identical bronze shade as the new front windows with matching window sill accompaniment.

With your support; I can commence the project with Mark.

Sincerely,



Liane (Axe) Christopher

NEW CLAD WD. DBL HUNG WINDOWS IN EXISTING OPNGS. RETAIN ORIGINAL BRICK MOLD. LINCOLN STANDARD IN BRONZE OR TRIMLINE DR300 IN BRONZE. REMOVE EXISTING WINDOWS. (TYP. OF 4)

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0'-9" 5'-7" 3'-8" 5'-7"

WEST (RACE) ELEVATION

1830 RACE STREET

**1830 RACE
EAST
ELEVATION**





1830 RACE WEST ELEVATION



1830 RACE INTERIOR @ 2ND FLR.



1830 RACE COURTYARD LOOKING SOUTH



1830 RACE SOUTH ELEVATION



1830 RACE EAST ELEVATION @ RESIDENCE



**1830 RACE
@ 3RD FLR.**

WICHMAN GUNTHER
ARCHITECTS

August 12, 2016

Ms. Beth Johnson, Urban Conservator
Historic Conservation Office
City of Cincinnati

Re: Certificate of Appropriateness for Window Installation at 1830 Race Street

Dear Beth,

The application is requesting a retroactive approval for this single family residence located in Over the Rhine. As outlined by the owner in the enclosed narrative, this is an unfortunate circumstance of neither party (owner or supplier/contractor) being aware of the COA requirement. The primary Race Street façade will be altered to have new, compliant clad wood double hung windows. The secondary facades on the South and East sides are not visible from any public right of way. The adjacent office building under renovation to the South (see enclosed correspondence from this property owner) is nearly two stories taller than 1830 and on the East façade, windows are setback from the rear alley by 65 feet. All of the windows in question still retain the original wood brick mold in the masonry openings. The existing vinyl frames will be painted to match the dark bronze finish of the new Race Street façade clad windows. Although the original units were double hung, these replacements, as a single fixed pane, are part of the dual composition formed by the internal stain glass pane. Again, there has been no alteration or infill of original openings.

Although the guidelines state that "synthetic replacement windows are generally discouraged" I hope you will consider the unique condition we have here. Knowing everything that comes before this office and the Board is on a "case by case basis", I would emphasize the honest intent of the owner to create a energy efficient, aesthetically pleasing visual buffer to the commercial activity of the adjacent property.

I have included photos of the openings in question, along with overall building views. Additionally, the Race Street façade improvements are presented in graphic form. Please let me know if any other documentation is needed and/or appropriate for inclusion in the report to the Board.

Sincerely,



Mark A. Gunther, RA, NCARB
for Wichman Gunther Architects

cc: Liane Axe

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Sincerely,



Mark A. Gunther, RA, NCARB
for Wichman Gunther Architects

cc: Liane Axe

July 14, 2016

To whom it may concern,

Model Group is currently under construction on a \$21MM renovation of most of the buildings located in the 1800 block of Race St. in Over the Rhine, including my home at 1800 Race Street and my office building at 1826 Race Street which is adjacent to Liane Christopher's home at 1830 Race. In 2014, early in our development cycle, we met with Liane Christopher in her home at 1830 Race Street, I was impressed with the high quality renovation of her home and committed to her that the scope and quality of our renovations would complement the great work she had already completed.

This letter is to confirm my support for her latest phase of renovation, including the retention of the windows on the south side next to our office building that make up the "art wall". The windows on the north side of our renovated office building will have offices and cubicles looking directly into the windows of 1830 Race St. which make the retention of the "art wall" especially important for both our office building and Liane's home to maintain both privacy and sunlight.

If you have any questions, please contact me at 513-559-0048.

Sincerely,



Stephen C. Smith
Chief Executive Officer

August 1, 2016

Liane Christopher

RE: 1830 Race Street Property Narrative Summary

I, Liane (Axe) Christopher, purchased 1830 Race Street in August 2013. Like many other Cincinnatians, I love our city and the progress for which the downtown community has made to make 45202, and more specifically the Brewery District of OTR my home. In the 3 years of owning the home, changes to my street have been abundant. The purchase was at about my maximum in budget and renovations did not seem necessary due to purchasing it from North Point Realty, who just renovated the building for the sale. A few months went by and things were great; but unfortunately as autumn set in; it became apparent that the windows had more issues than being painted shut with gaps, but seeped in cold air to such a degree that my house was perpetually 45-55 degrees.

A fast acting solution before winter hit was to replace the windows. I immediately turned to my Angie's List account and researched window companies. It led me to Zen Windows, where the Owner/President Dan Wolt prepared a quote. I shared my concern with the predicament I was in; regretting that my home inspection, which was conducted in June, during the peak of summer did not detect issues with so many of the windows. Dan's quote covered what was needed to get high quality windows in promptly and we proceeded with the installation. With resolution completed; it seemed everything could continue on, to the next project on my list for my home.

Nearly 3 years pass and now my quiet and abandoned 1800 block of Race Street has morphed into a bustle of rebuild and rehabilitation on every single building thanks to the tireless efforts of Steve Smith and his team at Model Group as well as Blackrock Construction. But then in June I was notified by Greg Wiles, City Inspector that the windows installed 3 years prior were not up to historic standards. (Case number CBG1600292).

In efforts of transparent honesty, I had no idea the decisions made in 2013 would be incorrect. In working up quotes with several companies before choosing Zen Windows; none of them had suggested a certain style being on the short list of limited options for the building. I made the purchase decision with their guidance and really thought that with a professional window installer leading the project; I was doing things correctly. I ended up choosing what I thought were high quality windows; even upgrading several features so that they would have "3 Coats of Cardinal Engineered LoE3 Glass/Argon Gas/NEAT Glass."

In conjunction with that decision; I had become aware of a company which designs and installs stained glass, Stained Glass Overlay, in Elsmere, Kentucky. For added installation, security and home appeal; I installed a 3rd layer of stained glass in the side windows. The 'art wall' instantly made the home save on energy costs and provided safety, not to mention the beauty which stained glass draws in from the sunlight. My thought process was that I already knew I was fortunate to buy a piece of Cincinnati history when I acquired this home; while adding the stained glass gave it even more safety and splendor of the re-birth of the 1800 block of Race Street.

The background information I have shared provides context of the past and present, leading up to resolution of the violation order. Thanks to the Blackrock Construction Project Manager next door at 1832 Race Street, Cherisse Lindsay, she suggested a few architects who would be able to design improvements to my house in order to reach resolution on the windows as well as commence my long awaited project to mortar and paint the entire house. At the top of that list is my architect, Mark Gunther, of Wichtman & Gunther Architects. While in an incredible small world, Mark had drawn the plans with North Point Realty in 2012 for this home. So with his familiarity of the house already; his expertise will go far to improve the front façade.

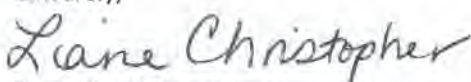
Mark and I have had several meetings to draft plans. While preparing these plans, I have gained support from Steve Smith of the 'art wall' side windows; as this view can be seen from the office building he is renovating at 1826 Race Street.

To resolve the window issues; the architectural plans include replacing the front of the house's 4 front windows. They will be changed to wood windows with a bronze casing and double-hung. The paint will be scraped and repainted on the window sills and the tuck-pointed repaired. The unoccupied store front will receive a new door and tile work cleaned and given new life.

As for the side windows of the home; by how deep set, off the street, on the 2nd and 3rd floors of the building; they are not visible from the street. The only vantage point will be from the top 2 floors (which is 4th and 5th story heights) of the 1826 Race Street office building only when looking down from their side windows. The side windows are currently in a white frame; which included in the scope of the repainting effort of the house is to paint the windows in the identical bronze shade as the new front windows with matching window sill accompaniment.

With your support; I can commence the project with Mark.

Sincerely,



Liane (Axe) Christopher

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**APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS AND A SPECIAL EXCEPTION
HISTORIC CONSERVATION BOARD PUBLIC HEARING
STAFF REPORT**

APPLICATION #: ZH20160146
APPLICANT: South Block Properties
OWNER: South Block Properties
ADDRESS: **1535 Madison Road**
PARCELS: 061-0001-0080
ZONING: CC-P Commercial Community
OVERLAYS: Woodburn Avenue NBD Historic District
COMMUNITY: Over-the-Rhine
REPORT DATE: September 14, 2016
HEARING DATE: August 31, 2016 (pre-hearing)
STAFF REVIEW: Beth Johnson, Urban Conservator

Nature of Request:

The applicant originally was requesting a Certificate of Appropriateness for a rear addition and Zoning Relief from Section 1425-19: Off-Street Parking and Loading Requirements in the form of a Parking Variance to require 0 parking spaces for a new Eating and Drinking Establishment with a patio serving as an Outdoor Area.

The applicant, on recommendation that staff would not be supportive of their requested parking variance, has also considered seeking a Special Exception to substitute a parking lease arrangement in lieu of a parking ownership interest per Section 1425-15(c). Off-site parking is typically permitted within 600 feet of the subject property, but would in this instance, be through a long-term lease that shall be required for the life of the Eating and Drinking Establishment. A Special Exception is required to replace the required covenant with a long-term lease. The applicant has also requested a 50% parking reduction from the Zoning Administrator per Section 1425-23(a).

Existing Conditions:

The subject property is situated on the southwest corner of Woodburn Avenue and Madison Road. The one and half story building 1926 bank building is an Art Deco building with smooth stone veneer and a canted entrance with marble and decorative metal entrance.



Figure 1: 1535 Madison Road. Picture provided by applicant.

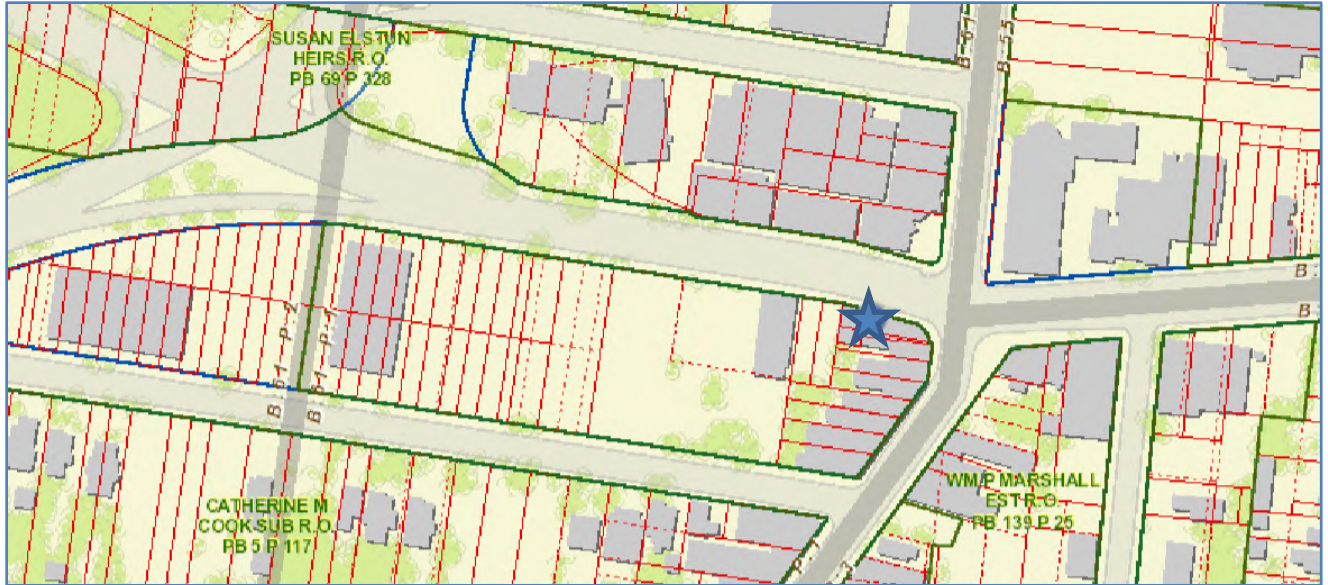


Figure 2: Map of 1535 Madison Road. Map provided by Cagis Maps.

Proposed Conditions:

The applicant is proposing a rear addition on the west face of the building. As this is a corner lot the rear is visible from the street. The applicants are seeking Historic Rehabilitation Tax Credits and have received Part II approval for the rehabilitation work, including restoration of the façade and the rear addition as well as historic tax credits from the State of Ohio. The rear addition includes the following work.

- A multi-story, 23’ by 9’ addition that will be lower than the height of the building.
- The addition is for a stairwell to provide required egress for the eating and drinking establishment
- It will be sided in brick to match the brick on the rear of the building.
- It will have two windows on the west face with bronze aluminum fixed windows with small cast concrete sills.
- A bronze aluminum door and sidelight on the south face
- Concrete steps and a black metal railing on the north face for emergency egress
- 6 ft. brick wall enclosure for the trash dumpster on the western edge of the property
- proposed future patio (designs TBD and will be submitted for review)
- Planters on the western foot of the addition

The applicant originally asked for a variance from all parking requirements, but on recommendation from Staff is proposing a long-term lease for the required parking for the project for the life of the establishment, rather than the required covenant, easement or off premise ownership requirement. The applicant has two principle zoning uses within the development, necessitating an off-site parking requirement

- 3000 sq. ft. - Eating & Drinking Establishment, requiring 20 parking spaces
- 2000 sq. ft. - future Outdoor Area, requiring 14 parking spaces
- Total required parking = 34 spaces for a total of 34 spaces.

Applicant is proposing to provide off-street parking spaces at one or more Parking Facilities, either publicly or privately controlled, within 600 feet of the development. Per Section 1425-19, 34 parking spaces are required for the Eating and Drinking Establishment. A 50% reduction in required parking may be permissively granted by the Zoning Administrator per Section 1425-23(a). This permission shall be granted in this case because of the current capacity of the Parking Facilities currently available for anyone. It should be noted that Zoning is monitoring Parking Facility capacities and has exercised restraint when the demand generators begin to outstrip supply. This permission has resulted in a reduction in the number of spaces the applicant must control to 17. Thus, it is applicant's responsibility to obtain the additional spaces, normally offsite by ownership, covenant or easement.

Previous Reviews: NA

Applicable Zoning Code Sections:

Zoning District:	Section 1405	CC-P District
Variance Request:	Section 1425-15 Section 1425-19 Section 1419-21	Location of Parking Amount of Parking required Conditional Use for Outdoor Space
Variance Authority:	Section 1445-07	HCB authority: Section 1435-05-4
Variance Standard:	Section 1445-13 Section 1445-15	General Standards: Public Interest Standards for Variances
Overlays:	Section 1435	Historic Preservation
Historic District/Reg:	Woodburn Avenue	NBD Historic District.
COA Standard:	Section 1435-09-2	Certificate of Appropriateness; Standard of Review

Details of Zoning Relief Required:

The applicant's original request was for a **Numerical Variance** from the 17 required parking spaces after the 50% reduction was granted.

- This request is in violation of **Section 1425-19** of Cincinnati Zoning Code which requires that 34 spaces be provided based on the indoor and outdoor areas proposed. A 50% reduction based on Section 1425-23(a) was granted making the required number 17 spaces.

The applicant and/or owner(s) on the recommendation of staff is also requesting a **Special Exception** to Section 1425-15(c)(3) regarding how required off-site parking shall be established and maintained.

- The project is in violation of **Section 1425-15(c)(3)** of Cincinnati Zoning Code, which requires a covenant or reciprocal easement for off-site parking.
- The applicant requires a Special Exception to allow for the following parking solution as conditioned below:
 - Property owner shall control the rights to at least **17** parking spaces within 600 feet of the property during normal working hours of the Eating and Drinking Establishment for the life of the project.

- Property Owner shall initially demonstrate control for a period of at least 5 years and maintain documentation of such rights in a form approved by the City Solicitor. Said documentation shall be provided to the City of Cincinnati at any time within 3 business days of being requested to do so.
- Such control shall be established prior to issuance of the first Certificate of Occupancy.
- Termination or substitution of control shall be upon the prior written consent of the City. Such consent would not be withheld if an equivalency of parking spaces is provided or subsequent legislative actions reduce or eliminate the parking requirement.

The applicant is requesting a **Special Exception** to Section **1425-15(c)(1)** to allow off-site parking to be located 600 ft. from the principle structure.

The project will also need a **Conditional Use** for an outdoor patio that is larger than 50% of the indoor space accessible to the public as is required by Section 1419-21(c). The applicant has the bar/restaurant space listed as 3000 sf, 50% of this would be 1500. The outdoor space was calculated to be 2000 sf and the applicant will be required to see a Conditional Use for the 2000 sf patio as it is within 500 feet on a residential district.

- The project is in violation of **Section 1419-21(c)** of Cincinnati Zoning Code.
- Per Section 1419-21(c): Outdoor Patios within 500 feet of a residential district boundary line must be 50% or less of the indoor space accessible to the public requires a Conditional Use Approval.

Zoning Analysis:

The use of a restaurant and bar is permitted in the CC-P zone and they are permitted to have outdoor patios but are limited to patios that are 50% of the of indoor space accessible to the public. The patio is at 2000 sq. ft. and therefore requires a Conditional Use. The space will not be permitted to have outdoor entertainment.

The patio also contributes significantly to the parking requirements. The 3000 sq. ft., indoor space requires 20 spots and the outdoor patio space, at 2000 sq. ft. requires 14 spots. The total requirement is 34 spots; however they have been granted a 50% reduction because of their proximity to public parking facilities therefore making the requirement only 17 spots.

The applicant’s initial request was for a Numerical Variance for the 17 required parking spaces. Staff informed the applications that staff’s recommendation would be to deny the request and we encouraged them to seek a lease for the spots. Staff has consistently been requiring projects to provide the parking required per the Zoning Code since Buildings & Inspections has managed Zoning in 2015. In this location, while onsite the applicant does not have the space to fulfill their parking requirements, there are plenty of parking facility opportunities available for them to enter into a lease to meet their legal requirements for parking.

The applicant is proposing to provide and control up to 17 parking spaces through a parking lease. The applicants have been talking with the East Walnut Hills Assembly

owner of the “Woodburn Lot” and manager of the “Madison Lot”. Additionally, there are multiple other opportunities within 600 feet of the property that the applicants could pursue lease arrangements with, with assistance of Community and Economic Development. The applicants must be able to show that the spots meet conditions listed above and that the parking spaces are available and not dedicated or reserved for other users.

Below is analysis of the consideration factors for all of the requested zoning actions, utilizing Section 1445-13, General Standards; Public Interest.

- a. **Zoning.** The proposed work conforms to the underlying zone district regulations and is in harmony with the general purposes and intent of the Cincinnati Zoning Code.

The underlying zoning is CC-P. The proposed use of the subject property conforms to the underlying zone district regulations and is in harmony with the general intent of the Zoning Code. Outdoor Areas are permitted, however as the patio is larger than 1500 sf they are required to get a Conditional Use.

- b. **Guidelines.** The proposed work conforms to any guidelines adopted or approved by Council for the district in which the proposed work is located.

The proposed work conforms to the Historic District guidelines for the district.

- c. **Plans.** The proposed work conforms to a comprehensive plan, any applicable urban design or other plan officially adopted by Council, and any applicable community plan approved by the City Planning Commission.

This project conforms to the Walnut Hills Community Plan.

- d. **Traffic.** Streets or other means of access to the proposed development are suitable and adequate to carry anticipated traffic and will not overload the adjacent streets and the internal circulation system is properly designed.

Traffic will not be impacted by the proposed project, if the project provides 17 off-street parking spaces. Providing 17 off-street parking spaces will help to remove cars from the street during operating hours of the establishment. While there is parking available, as development continues and the parking demand increases, the City needs to enforce the Zoning Code Parking requirements equally and fairly. As there is public parking available nearby, the City has already granted relief through a 50% reduction in parking therefore only requiring that they control 17 spaces rather than 34. There is also the potential to provide parking onsite where the proposed patio is located in the rear yard, particularly for valet parking. However, the tight geometry and difficult access point make this parking problematic, except potentially for a Valet Service. The applicant also is compounding the parking problem by developing the area for additional business capacity, increasing parking demand while not addressing parking solutions.



Potential parking sites where spots could be leased.

- A. DeSales Church
- B. Tool Warehouse
- C. Fire Station
- D. UC Health Business Offices
- E. Madison Lot - City owned, EWHA managed
- F. Woodburn Lot - EWHA owned
- G. Gilligan Funeral Home
- H. Hamilton Co. Developmental Services

e. **Buffering.** Appropriate buffering is provided to protect adjacent uses or properties from light, noise and visual impacts.

The application has landscaping but per Section 1419-21(d), the outdoor patio will be required to have a decorative wall or fence to enclose the area. The space is already enclosed by fences and walls.

f. **Landscaping.** Landscaping meets the requirements of Chapter 1423, Landscaping and Buffer Yards.

Not applicable to this request.

g. **Hours of Operation.** Operating hours are compatible with adjacent land uses.

Hours of operation are compatible with adjacent land uses.

- h. **Neighborhood Compatibility.** The proposed work is compatible with the predominant or prevailing land use, building and structure patterns of the neighborhood surrounding the proposed development and will not have a material net cumulative adverse impact on the neighborhood.

The proposed leasing parking arrangement is compatible with the use and patterns of the neighborhood and will not have an adverse impact on the neighborhood.

Granting a Numerical Variance to exempt the project from all parking requirements will have an adverse impact on the neighborhood as it will increase the demand for on-street parking. It is imperative that the City balances development with the parking requirements.

The proposed outdoor patio is compatibly with the use and patterns of the neighborhood and will not have an adverse impact on the neighborhood.

- i. **Proposed Zoning Amendments.** The proposed work is consistent with any proposed amendment to the zoning code then under consideration by the City Planning Commission or Council.

There are no zoning amendments proposed at this time.

- j. **Adverse Effects.** Any adverse effect on the access to the property by fire, police, or other public services; access to light and air from adjoining properties; traffic conditions; or the development, usefulness or value of neighboring land and buildings.

There are no adverse impacts anticipated if parking is provided through a lease, as off-street parking will be provided for the use. It should be noted though that Zoning Administration shall be conscious of the amount of parking committed within the Walnut Hill Parking facilities.

There are anticipated adverse impacts anticipated if the project is given an exemption from all parking requirements as it will increase the demand for on-street parking and will favor development at the expense of parking demand in the neighborhood.

There are no adverse impacts anticipated for the outdoor patio space. The neighboring properties are businesses and other eating and drinking establishments. With a proper fence or wall, the outdoor space will be enclosed to provide buffer from the neighboring properties.

- k. **Blight.** The elimination or avoidance of blight.

Providing off-street parking through a lease will allow the project to move forward, returning a vacant building into productive office use.

Improvements to the outdoor space including the patio and loading space will improve a vacant and overgrown parcel.

- l. **Economic Benefits.** The promotion of the Cincinnati economy.

The proposed parking lease arrangement is necessary for the establishment of the proposed business as parking is not being provided

on-site. The use will increase property taxes of this parcel and nearby properties. It will also provide a consistent revenue stream for the parking facility.

Granting a Numerical Variance to exempt the project from all parking requirements could have a negative economic benefit to surrounding properties and future development as parking demand increases.

The outdoor patio will add economic benefit to the property as it will provide more area for service.

- m. **Job Creation.** The creation of jobs both permanently and during construction.
The proposed project will create permanent jobs by adding staff to the proposed bar/night club.
- n. **Tax Valuation.** Any increase in the real property tax duplicate.
Property tax values will increase by adding a viable use to a vacant space.
- o. **Private Benefits.** The economic and other private benefits to the owner or applicant.
The owner has an economic benefit to the proposed establishment.
- p. **Public Benefits.** The public peace, health, safety or general welfare.
There is no measurable detriment to public peace, health, safety or welfare as a result of the proposed work if the parking is provided through a parking lease arrangement and for providing an outdoor patio space.
If a Numerical Variance is granted to exempt the project from all parking requirements, the precedent has been set to exempt other developments from their parking requirements. Parking will become an issue as development continues in the neighborhood while increasing the demand and requirements for parking. It is in the best interest of the City to be proactive about making sure parking requirements are managed appropriately, equally, and fairly.

Standards for Special Exceptions and Conditional Uses per Section 1435-05-4

- (a) Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the Historic District of Historic Asset; or

The proposed special exemption for a parking lease and the outdoor patio will not have an adverse effect on the historic architecture or aesthetic integrity of the Historic District. The proposed rehabilitation work associated with the project is necessary and appropriate to the interest of the historic architecture and aesthetic integrity of the Historic District and building.

The denial of the Variance to exempt the property of all parking requirements is not necessary and appropriate in the interest of historic conservation as the applicant has the ability to seek a Special Exception to still provide their required parking spaces.

- (b) Is necessary where the denial thereof would result in a deprivation of all economically viable uses of the property as viewed in its entirety. In making such a determination, the Historic Conservation Board may consider the factors set forth in Section 1435-09-2 (aa) to (ff).

The denial of the requested Special Exception would deprive the property of all economically viable uses, as the rehabilitation of the vacant building is contingent upon providing the required number of off-street parking spaces.

The denial of the Variance to exempt the property of all parking requirements would not deprive the property of all economically viable uses, as the applicant has the ability to seek a Special Exception to still provide their required parking spaces.

Certificate of Appropriateness Review:

A Certificate of Appropriateness is required for the rear addition on the property. The façade restoration work is considered maintenance and does not require a Certificate of Appropriateness as original windows and materials are being restored.

Applicable Guidelines:

Additions Intent and General Guidelines

1. Additions are allowed and should follow new construction guidelines. They should be compatible in character with the original. They should be sympathetic but not imitative in design.

The addition is a simple addition that is compatible with the original building as it is being sided in brick to match the west façade of the building. The height of the addition is lower than the building and is sympathetic the building.

2. Additions should be designed to relate architecturally to adjacent buildings in general and to the building they are a part of in particular.

As this building is a corner building the rear of the building still has frontage along Madison Road and the edge of the Woodburn Avenue NHD is the western and rear property line of this property. The design of the addition is meant to be non-descript and to blend into the rear brick façade of the building. As this building is also getting Historic Rehabilitation Tax Credits, the addition has been approved by the SHPO, which has decided that this addition meets the Secretary of Interior Standards for Rehabilitation regarding additions.

3. Additions should not overpower the original building.

The addition does not overpower the original building as it is only the size necessary to enclose the building egress stairs that are required by the Ohio Building Code.

4. The appropriateness of design solutions will be based on balancing the program needs of the applicant with:

1) how well the proposed design relates to the original building and neighboring buildings and
See answer to #2 above.

2) how closely the proposal meets the intent of these general guidelines and the specific guidelines for new construction.

Applicable Guidelines in New Construction:

As this is addition many of the New Construction Guidelines are not applicable as this is small addition required to meet the Ohio Building Code. Below are the applicable guidelines for this addition.

2. Roofs: Roofs for new construction should be similar to roofs of adjacent and nearby buildings of similar size and use. Roofs in this district are generally flat or low pitched and have little or no overhang.

The addition has a flat roof similar to the roof on the main building.

8. Height: The height of new construction should not vary considerably from adjacent contributing buildings. Most buildings on Woodburn Avenue are between two and three stories, with prominent ones rising up to seven stories.

The height of the addition is lower than the main building and is the height required for the egress stair addition for two flights of stairs.

9. Materials: New construction should use materials that are found on the historic buildings in the Woodburn Avenue NBD. Clearly the dominant material in the district is brick, but other materials such as limestone, sandstone, cast-iron, slate, wood and tin sheathing are important as well. Materials such as synthetic stucco, vinyl or metal siding and plastic trim are not appropriate and should not be considered as exposed finish materials for new construction in this district.

The proposed material matches the brick on the western façade.

3. Fences and Walls: Wrought-iron, aluminum or cast-iron fences are encouraged along the sidewalks of vacant lots or where buildings are setback from the sidewalk. Fencing may be set between metal posts, natural stone or brick piers, or pre-cast concrete posts. Fencing may also be set on a concrete curb or on top of a retaining wall. Landscaping in front of a fence is encouraged. Plain board fences (vertical boards nailed side-by-side on horizontal stringers) or wire fences are appropriate at the rear of the property or along the side of the property. Wood fences should be painted or stained but not left to weather naturally. Chain link, stockade, shadow board, basket weave and lattice designs are not appropriate.

Retaining walls built along the front property line or along street frontage should be built of or faced with fieldstone or limestone. Retaining walls at other locations should be built

of fieldstone, limestone, brick or specialized masonry block having the appearance of stone. Concrete products including cinder block, stucco and unfinished concrete masonry units should not be used as the finish material for any retaining wall.

The proposed wall is a 6ft brick enclosure for the trash dumpster along the western portion of the property. The wall is appropriate material and an appropriate height. The wall is set back from the property line along Madison Road and has one corner that abuts the neighboring property where an outdoor patio area is currently located. The location of the dumpster is necessary to allow for access to empty the dumpster and to provide a loading area for deliveries in the rear.

Other Considerations: N/A

Prehearing Results: Representatives from neighboring properties and from the East Walnut Hills Neighborhood Assembly were present. The representative from the East Walnut Hills Neighborhood Assembly spoke in support of the project and neighboring property owners were concerned about parking and the placement of the dumpster.

Comments Provided to Staff: N/A

Consistency with *Plan Cincinnati (2012)*:
“Sustain” Initiative Area “Preserve our built history”

Recommendation:

Staff recommends the Historic Conservation Board take the following actions:

I. ZONING RELIEF

- A. **DENY** the **Numerical Variance** request from the requirements of **1425-19** requiring the property to provide 17 parking spaces after a 50% reeducation has been granted per 1425-23(a).
- B. **FINDING:** The Board makes this determination that per Section 1435-05-4:
 - 1. Such relief from literal implication of the Zoning Code will be materially detrimental to the public health, safety and welfare or injurious to property within the district or vicinity where property is located; and
 - 2. Is not necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the district.
- C. **APPROVE** the **Special Exception** request **1425-15(c)(3)** regarding how required off-site parking shall be established and maintained.
 - 1. Property owner shall control the rights to at least **17** parking spaces within 600 feet of the property during normal operating hours for the life of the Eating and Drinking Establishment.

2. Property Owner shall initially demonstrate control for a period of at least 5 years and maintain documentation of such rights in a form approved by the City Solicitor. Said documentation shall be provided to the City of Cincinnati at any time within 3 business days of being requested to do so.
3. Such control shall be established through lease prior to issuance of the first Certificate of Occupancy.
4. Termination or substitution of control shall be upon the prior written consent of the City. Such consent would not be withheld if an equivalency of parking spaces is provided or subsequent legislative actions reduce or eliminate the parking requirement.

D. **APPROVE** the **Conditional Use** request to allow Outdoor Patio greater than 50% of the indoor area accessible to the public on the subject property per the following conditions.

1. Outdoor Entertainment shall not be permitted at this site per this approval.
2. Furniture and fixtures provided for use in an outdoor area may consist only of movable tables, chairs, umbrellas, planters, lights and heaters. Lighting fixtures may be permanently affixed onto the exterior of the building. All movable furniture and fixtures must be removed during the off-season.

E. **FINDING:** The Board makes this determination that per Section 1435-05-4:

1. Such relief from literal implication of the Zoning Code will not be materially detrimental to the public health, safety and welfare or injurious to property within the district or vicinity where property is located; and
2. Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the district.

II. CERTIFICATE OF APPROPRIATENESS

A. **APPROVE** a Certificate of Appropriateness for rehabilitation and new construction, including an addition and a wall, at 1535 Madison Road submitted by South Bank Properties LTD dated 8/12/2016 including any revisions submitted for permit subject to staff review and approval with the following conditions:

- a. The applicant must get Department of Transportation and Engineering approval for proposed driveway curb cut on Madison Road.
- b. The applicant shall submit designs for the future patio that is approximately 2000 sq. ft. for review and get all necessary approvals and permits for the improvements.

B. **FINDING:** The Board makes this determination per Section 1435-09-2:

- a. That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

THE EAST WALNUT HILLS ASSEMBLY, INC.

P.O. Box 68050
Cincinnati, Ohio 45206

September 16, 2016

Historic Conservation Board
c/o Ms. Beth Johnson
City of Cincinnati, Department of Urban Conservator
805 Central Ave., Suite 500
Cincinnati, OH 45202

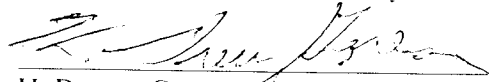
Dear Ms. Johnson:

I am the President of the Board of the East Walnut Hills Assembly, Inc. (EWHA), the community council for East Walnut Hills. South Block Properties, LTD., is the owner of the property at 1535 Madison Road in the DeSales Corner business district in East Walnut Hills. It is the EWHA Board's understanding that South Block has submitted a request for a certificate of appropriateness to the Historic Conservation Board to be discussed in a hearing of the Conservation Board on September 26, 2016. It is our further understanding that South Block, at that hearing, will be requesting a variance from the requirement that South Block acquire or lease up to 34 spaces to support the restaurant that South Block is intending to open at 1535 Madison Road.

Because of the timing of the Conservation Board hearing, the members of the EWHA Assembly, (the Assembly meets monthly) has not been presented with this issue. The Board of EWHA, however, supports South Block's request for the variance to eliminate the need for the required parking. The DeSales Corner Business District has ample existing public parking for the entire business district, including those patrons who will enjoy the new restaurant once it opens. EWHA owns a lot on Woodburn Avenue that has approximately 40 spaces. EWHA leases a second lot between Madison Road and Myrtle Avenue from the City of Cincinnati that has approximately 80 spaces. Both lots are open to the public to park both day and night. Both lots are within 600 feet of the proposed South Block restaurant at 1535 Madison.

This is an exciting time in the resurgence and redevelopment of the DeSales Corner Business District. We have welcomed a variety of new businesses in recent years and hope to welcome more in the future. The opening of South Block Properties' restaurant is being greeted with excitement and much anticipation in the community. The Board of EWHA wants to continue the positive momentum of controlled development in our community and in our business district. We believe requiring South Block to acquire or lease the parking spaces (for which the variance is being requested) will slow down this positive momentum. So, the Board respectfully requests that the variance be granted to South Block to eliminate the need for the required parking spaces.

The East Walnut Hills Assembly, Inc.



H. Drewry Gores, President



3936 Spring Grove Avenue, Cincinnati, OH 45223 ♦ (513) 646-8447 ♦ norwood.clare@gmail.com

August 12, 2016

Ms. Beth Johnson
Urban Conservator
City of Cincinnati, Buildings & Inspections
805 Central Avenue, Suite 500
Cincinnati, OH 45202

Re: Certificate of Appropriateness: The Bank Building, 1535 Madison Road

Dear Ms. Johnson,

With this cover letter I am including the Certificate of Appropriateness application for the proposed two-story exterior staircase to be constructed at the rear elevation of 1535 Madison Road. In addition to the application I am including a description of the proposed work, relevant architectural drawings, photos of the exterior, and the Part II approval form from Mariangela Pfister of the State Historic Preservation Office. Additionally, you will find an application for zoning relief in regards to parking. There are three copies of all materials included with this letter, as well as a digital copy.

The exterior stair addition design was approved by SHPO, and several of the design specifics were mandated by SHPO. Adding the stairs provides the adequate egress/ingress as provided by code. It also allows for the mechanicals to be stored in the mezzanine area located in the interior rear of the building, rather than on the roof. Placing the mechanicals on the roof would leave them visible and interrupt the clean line of the roof.

The exterior stairs will be sympathetic with the historic look and color of the Bank Building; there will be a smooth transition between the building and the staircase; however it will be clear that the stairs are new and are not original to the building.

Thank you for your time and expertise in this matter. If there is any additional information that would be helpful please contact me at 513.646.8447 or clare@formbuilding.com.

Best regards,

Clare Norwood
Project Manager
South Block Properties

APPLICATION



CERTIFICATE OF APPROPRIATENESS

APPLICATION
BUILDING ADDRESS: 1535 Madison Road

DISTRICT NAME: _____
(if applicable)

OWNER NAME: South Gate Properties, Ltd.

ADDRESS: 3936 Spring Grove Avenue

EMAIL: michael@fermbuilding.com

CONTRACTOR NAME: Form Building Solutions, Ltd.

ADDRESS: 3936 Spring Grove Avenue

EMAIL: clare@fermbuilding.com

ARCHITECT NAME: Bob Stronc / Mike Stehlin

ADDRESS: _____

EMAIL: robert.stronc@gmail.com / mstehlin@gmail.com

HCB USE ONLY

DATE RECEIVED BY HCB: _____

PERMIT/APD NO: _____

APP. COMPLETION DATE: _____

PHONE NO: 513.910.2203

PHONE NO: 513.646.8447

PHONE NO: Bob 513.708.2974 / Mike 513.784.9522

IT IS YOUR RESPONSIBILITY TO NOTIFY THE URBAN CONSERVATOR IF ANY OF THIS INFORMATION CHANGES DURING THE PENDING REVIEW OF YOUR

WORK PROPOSED: (Describe type of work, existing conditions, and methods to be used, materials proposed)

HCB USE ONLY	
<input type="checkbox"/>	MINOR ALTERATION
<input type="checkbox"/>	NEW CONSTRUCTION
<input checked="" type="checkbox"/>	ADDITION <u>stairs</u>
<input type="checkbox"/>	DEMOLITION
<input type="checkbox"/>	REHABILITATION
<input type="checkbox"/>	OTHER _____

* see attached description of proposed work

IN ORDER TO EXPEDITE HCB ACTION, PLEASE ATTACH ADDITIONAL INFORMATION, IF AVAILABLE, AS MAY BE APPROPRIATE. LIST ANY INFORMATION ATTACHED: (Elevations, site plans, specifications, photos, material samples, additional drawings or written matter)

* see attached elevations, site plans, and photos

Attach a letter explaining the justification for the issuance of the desired Certificate of Appropriateness. Be advised that the burden of proof is on the applicant.

Certificate of Appropriateness 1535 Madison Road

Proposed Work: Two-story exterior stair addition
Owner/Developer: South Block Properties, Ltd.
General Contractor: FORM Building Solutions, Ltd.

Two-Story Stair Addition

A stair addition will be constructed on the west exterior façade leading to and from the basement and provide access to mechanicals that will be located above the first floor vault and mezzanine. The proposed stair addition will be clad in brick that is similar to the existing exterior brick. According to the Secretary of Interior Standards item 9, "The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features." The design conforms to the Secretary of the Interior Standards item 10, which states, "New additions shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired." This exterior stair addition will serve the basement for kitchen use and allow access to the mezzanine level where the mechanical will be located along with any other items stored in the mezzanine area. The stair addition will be 8'-0" by 21'-8" and will provide the required egress from the basement and access to the above mechanical mezzanine.

Brick and mortar color will be submitted to SHPO for review and approval prior to commencing work. Detailed photographs of the stair addition will be submitted to SHPO in Part 3.

Dusty Rhodes, Hamilton County Auditor

Property Report

generated on 8/12/2016 11:23:14 AM EDT

Parcel ID
061-0001-0080-00

Address
1535 MADISON RD

Index Order
Parcel Number

Tax Year
2015 Payable 2016

Property Information

Tax District 001 - CINTI CORP-CINTI CSD	School District CINCINNATI CSD	Images/Sketches 
Appraisal Area 00710 - EAST WALNUT HILLS 10	Land Use 420 - SM DETACHED RET (UNDER 10	
Owner Name and Address SOUTH BLOCK PROPERTIES LTD 3639 SPRING GROVE AVE CINCINNATI OH 45223 (call 946-4015 if incorrect)	Mailing Name and Address SOUTH BLOCK PROPERTIES LTD 3639 SPRING GROVE AVE CINCINNATI OH 45223 (call 946-4800 if incorrect)	
Assessed Value 63,000	Effective Tax Rate 87.643979	Total Tax \$6,583.57

Property Description

MADISON&WOODBURN AV 45.84x165.44 IR LOT 39-40 PTS 37-38 C M COOK SUB PAR 80-81-85-86 CON-TIF ABATEMENT

Appraisal/Sales Summary

Year Built	1926
Total Rooms	0
# Bedrooms	0
# Full Bathrooms	0
# Half Bathrooms	0
Last Sale Date	6/17/2016
Last Sale Amount	\$15,000
Conveyance Number	112701
Deed Type	WD - Warranty Deed (Conv)
Deed Number	
# of Parcels Sold	1
Acreage	0.200
Front Footage	172.00

Tax/Credit/Value Summary

Board of Revision	YES(16)
Rental Registration	No
Homestead	No
Owner Occupancy Credit	No
Foreclosure	No
Special Assessments	Yes
Market Land Value	50,270
CAUV Value	0
Market Improvement Value	129,730
Market Total Value	180,000
TIF Value	93,600
Abated Value	0
Exempt Value	0
Taxes Paid	\$6,583.57
Tax as % of Total Value	0.000%

Notes

1) 30 YEAR TIF ABATEMENT BEGAN 2003 THRU 2032.

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

SHPO
logged

**Historic Preservation Certification Application
State Historic Preservation Office Review & Recommendation Sheet
Rehabilitation--Part 2/Part 3**

Project number: _____

NUMBER
1

Bank Building
(Property)
1535 Madison Road

Cincinnati Ohio 45206

Certified Historic Structure? _____ yes X pending

Type of Request: X Part 2
_____ Part 3 (Part 2 previously reviewed)
_____ Part 3 (Part 2 not previously reviewed)
_____ Amendment

Date application received by State 03/31/2015

Date(s) additional information requested by State 04/14/2015 , 05/08/2015 ,
05/21/2015 , _____ , _____ , _____

Complete information received by State 05/21/2015

Date of transmittal to NPS 05/26/2015

Property visited by State staff X (before) _____ (during) _____ (after) rehab.

W Palmer 03/03/2015

- _____ Preliminary done
- _____ Non-standard billing
- _____ Fee Payment by Credit Card form

SHPO REVIEW SUMMARY

- X Fully reviewed by SHPO
- X No outstanding concerns
- X Owner informed of SHPO recommendation
- _____ In-depth NPS review requested
- _____

NUMBER
2

STATE RECOMMENDATION:

William Palmer W.P. , who meets the Secretary of the Interior's Professional Qualification Standards, has reviewed this application.

The project:

- X meets the Standards.
 - _____ meets the Standards *only* if the attached conditions are met.
 - _____ does not meet Standard number(s) _____ for the reasons listed on the reverse.
 - _____ warrants denial for lack of information
 - _____ This application is being forwarded without recommendation.
- For completed work previously reviewed, check as appropriate:
- _____ completed rehabilitation conforms to work previously approved.
 - _____ completed rehabilitation differs substantively from work previously approved (describe divergences from Part 2 application on reverse).

5/26/15 Mariangela Pister
Date State Official Signature

Technical Preservation Services
Ohio Historic Preservation Office
800 E. 17th Avenue
Columbus, OH 43211
614/296-2000

This is a review sheet only and does not constitute an official certification of rehabilitation.

OHPO number 3,578

NUMBER 3	ISSUES	<input type="checkbox"/> Alteration of significant exterior features or surfaces
	<input type="checkbox"/> Additions, including rooftop	<input type="checkbox"/> Adjacent new construction, extensive site work, or demolition of adjacent structures
	<input type="checkbox"/> Alteration, removal, or covering of significant interior finishes or features	<input type="checkbox"/> Window replacements on any major elevation that do not match historic configuration, material, and profiles
	<input type="checkbox"/> Changes to significant interior spaces or plan features (including circulation patterns)	<input type="checkbox"/> Other (explain)
	<input type="checkbox"/> Damaging or inadequately specified masonry treatments	

NUMBER 4 Basis for recommendation. Focus on how the issues checked in NUMBER 3 are being addressed. Where denial is recommended, explain fully. Comment on noteworthy aspects of the project, including any technical or design innovations, or creative solutions.

STATE EVALUATION OF PROJECT AND CONCERNS:

Located in Cincinnati, Ohio, 1535 Madison Road is a contributing resource in the Madison & Woodburn National Register Historic District. It will be rehabilitated for commercial use on the street level/first floor and the basement level. Please note that Part 2 photographs were submitted to NPS with the recent Part 1 application. There are additional photographs with this application.

Site work: The rear parking lot will be repaved and lined for parking and egress from the new stair addition and new exit stairs. A three-sided fence will be constructed for the trash receptacle. No sidewalk work is planned.

Exterior work: The historic Art Deco ironwork and glass entry façade, including the two fluted columns capped with owls will be retained and rehabilitated as well as other decorative Art Deco bronze features. The masonry walls of limestone and brick at the rear wall of the building will be gently cleaned. Mortar joints of missing or deteriorated mortar will receive spot repointing. A new stair addition will be constructed of brick at the rear of the building. The new stairs will travel from the basement level to the mezzanine level. Two new exit doors at the rear of the building, one from the basement level and one from the first floor, will be added, each will include exit stairs to the parking lot. The seven historic metal windows of the north elevation will be rehabilitated with some badly deteriorated sections reconstructed. New glass will be retrofitted. The four basement windows of metal frames and glass will be rehabilitated and receive new glass; the existing iron security grates will be reattached and painted. The existing flat roof will be replaced.

Interior work: Historically, the building was entered at the east façade through a revolving door vestibule. The vestibule was constructed of mahogany and will be retained and rehabilitated. The four historic mahogany revolving doors, due to ADA compliance and safety code issues, will be removed and stored onsite with one door proposed for relocation to the rear opening of the vestibule. The interior of the first floor being converted to a restaurant with a kitchen at the rear of the floor retains all of the historic materials of the former bank including floors, exterior walls and ceiling. The historic terrazzo floor tile will be retained and restored. Where concrete historically occurred, these areas will receive new finishes complementary to the historic terrazzo. The plaster walls with fluted pilasters will be rehabilitated; the historic veneer wainscoting restored; the historic wall sconces with plaster base and curved glass will be retained and where missing, a new historically compatible fixture will be installed. The bank vault will be incorporated into the new use with the vault door retained as a decorative feature. The four historic decorative coffered panels of the ceiling with Art Deco detailing will be restored. A set of new stairs is proposed at the front of the building leading down to the new public restrooms in the basement. The basement of clay tile walls with cement parging will have a secondary kitchen area at the rear of the space. The concrete floor will receive a new finish. A second vault in the basement will also be retained and incorporated into the new use with the vault door kept in place as a decorative feature. At the rear of the interior space is the historic, narrow stairs with Art Deco railing that provided access for the bank employees between the first floor and basement and to the secondary vault. Unable to develop a kitchen plan that incorporated and retained the stair and railing, the owners will retain the stairs in place, remove the railing for onsite storage and cover the floor opening with a panel that could be removed in the future to reintroduce the stairs.

The building will receive all new HVAC, plumbing and electrical systems. The air handling units will be installed at the new mezzanine located over the first floor vault; the condensing units will be located on the roof. Ductwork will run above the ceiling; air diffusers will be located in the flat panel area of the plaster ceiling along the walls. The basement will have one air handler and exposed spiral ductwork. Sprinklers are not required.

This review is limited to the work described in the attached Part 2 narrative. It is our opinion that the work as proposed will meet the Secretary of the Interior's Standards for Rehabilitation.

INNOVATIVE SOLUTIONS/NOTEWORTHY ASPECTS:

new technical process creative design solution noteworthy project

See attachments: folded plans specifications photographs other: application & correspondence
 Items sent separately plans specifications photographs other:

Other documentation on file in State:

NPS COMMENTS:

Date _____ National Park Service Reviewer _____

APPLICATION FOR ZONING RELIEF

1. SUBJECT PROPERTY
 ADDRESS 1535 Madison Road, Cincinnati, OH 45206
 AUDITOR'S PARCEL ID(S) _____
 BASE ZONING CLASSIFICATION _____
 ZONING OVERLAY (if applicable) _____

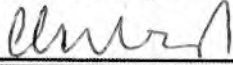
2. APPLICANT
 NAME South Block Properties CONTACT PERSON (if legal entity) Clare Newwood
 ADDRESS 3936 Spring Grove Ave. Cincinnati, OH 45223
 EMAIL clare@fambuilding.com
 TELEPHONE 513.646.8447 RELATIONSHIP TO OWNER Employee

3. OWNER
 NAME South Block Properties CONTACT PERSON (if legal entity) Michael Berry
 ADDRESS 3936 Spring Grove Ave. Cincinnati, OH 45223
 EMAIL michael@fambuilding.com
 TELEPHONE 513.910.2208

4. NATURE OF RELIEF REQUESTED (select all that apply)
 Variance Use Variance Special Exception Conditional Use Use Permit
 Expansion or Substitution of Nonconforming Use Hillside Overlay District Permission
 Urban Design Overlay District Permission DD District Phased Development Approval

5. BRIEF DESCRIPTION OF RELIEF REQUESTED (You may attach a statement to this application if the space provided is insufficient) Variance to waive parking space allotment requirement.

6. SUMMARY OF REASONS WHY RELIEF SHOULD BE GRANTED. You must provide a written statement explaining how your project meets the standards for all relief requested. Separate instruction forms for preparing this statement are provided. If you fail to follow the instructions for requesting a variance, use variance, special exception, conditional use, use permit, certificate of appropriateness, expansion or substitution of nonconforming use, hillside overlay district permission, urban design overlay district permission, and/or DD district phased development approval, your application may be denied.

7. SIGNATURE. The undersigned does hereby certify that the information provided in connection with this application is, to the best of his or her knowledge, true and correct.
 Print Name Clare Newwood Signature  Date 8/12/16

8. ADDITIONAL DOCUMENTATION SUBMISSION REQUIREMENTS. Submit three copies of the following documentation. If you fail to complete the application and provide all information requested, your application may be denied.

<input checked="" type="checkbox"/>	The written statement required in Section 6 above.
<input checked="" type="checkbox"/>	Survey plats, site plans, or other accurate drawings showing boundaries, dimensions, area, topography, and frontage of the property involved, as well as the location and dimensions of all structures existing and proposed from the nearest property lines. When landscaping is required by the zoning code, a landscaping plan must also be provided. <i>Included w/ certification of Appropriateness and to be provided at a future date</i>
<input checked="" type="checkbox"/>	Plans, architectural drawings, photographs, elevations, specifications, and other detailed information depicting fully the exterior appearance of the existing and proposed construction, including parking and access, exterior lighting, landscaping, and signs involved in the application. " "
<input checked="" type="checkbox"/>	If the Hamilton County Auditor's official records do not list the applicant or owner as the owner of the property, a lease, contract to purchase, or other agreement demonstrating the applicant or owner's legal basis to seek the relief requested.
<input checked="" type="checkbox"/>	All other documents or information you intend to introduce at the hearing on this application.
<input type="checkbox"/>	A list of witnesses and expert witnesses who you expect to testify at the hearing on this application.
<input checked="" type="checkbox"/>	A non-refundable application fee. The fee must be paid with a <u>check</u> made payable to "City of Cincinnati." Fees are as follows: \$500-use variances; \$300-all other relief.

To help avoid delays, it is strongly suggested that you present your application to neighboring property owners and any interested neighborhood community groups prior to the hearing on your application. This will give you a prior opportunity to address your neighbors' concerns or objections and can facilitate the approval of your application.

REMEMBER: YOU MUST PAY THE REQUIRED FEE AT THE TIME YOU SUBMIT YOUR APPLICATION. (\$500-USE VARIANCES; \$300-ALL OTHER RELIEF)

Application for Zoning Relief
Variance to waive parking requirement
Section 6: Summary of Reasons Why Relief Should Be Granted

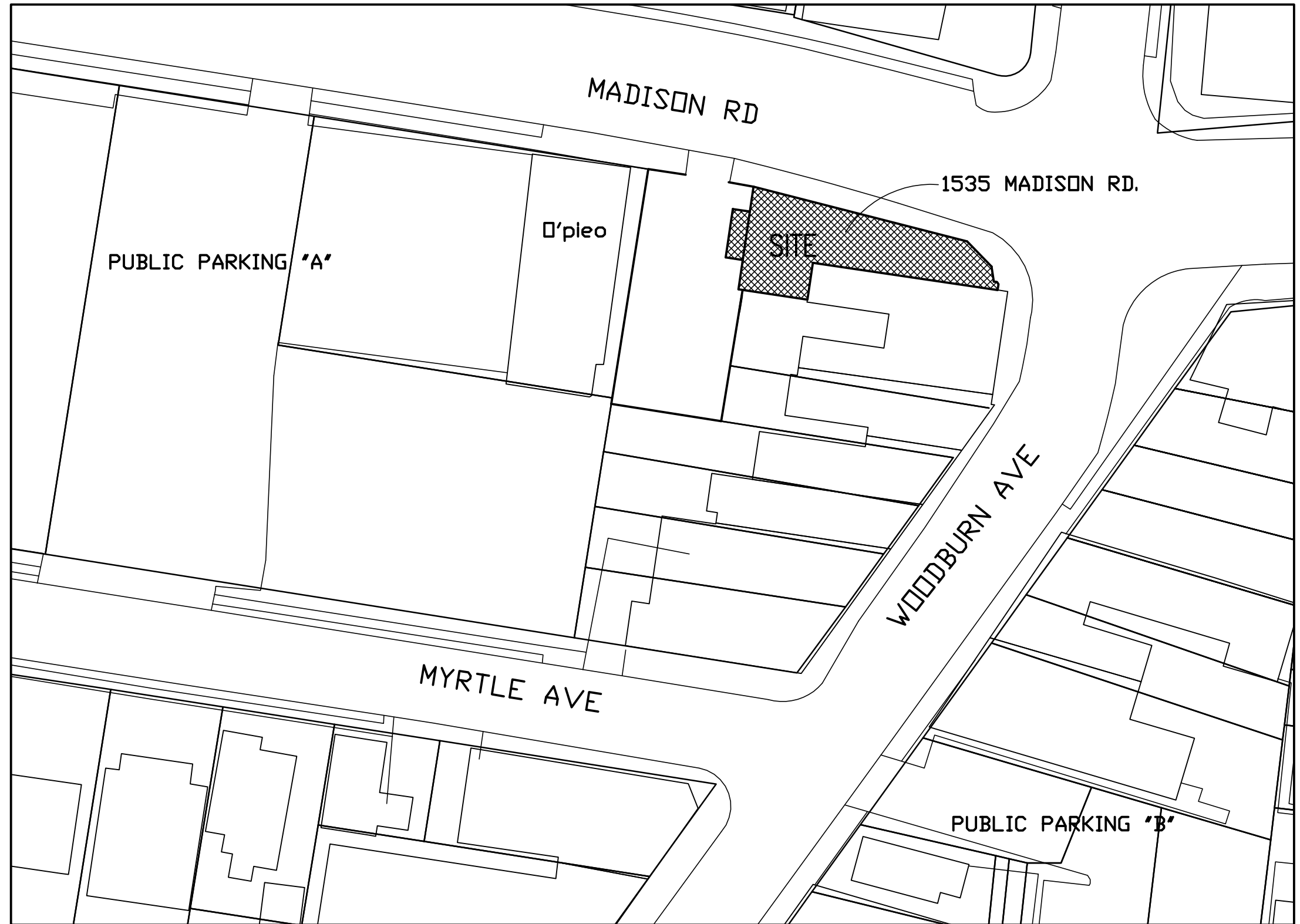
According to Cincinnati Municipal Code 1445-13

The redevelopment of the historic Central Trust Bank Building located at 1535 Madison Road is in the public interest of the neighborhood residents and the City of Cincinnati. Of all the projects made available for residents to choose, they chose unanimously chose South Block Properties, Ltd. as the developer and our concept of an upscale Restaurant/Bar that will also offer a more affordable lunch menu in addition to a pricier drink and food dinner menu. The proposed work is: a. "in harmony with the general purposes and intent of the Cincinnati Zoning Code; b. "the proposed work conforms to the guidelines adopted by Council" for the neighborhood; c. the proposed work conforms to PLAN Cincinnati and the neighborhood community plan; d. streets are adequate to carry anticipated traffic, as is public parking; g. the operating hours are compatible with adjacent land uses; h. the project is compatible with the neighborhood; i. the project is in line with zoning amendments; j. the project has no adverse effects on access to the property- rather it improves access to the property; k. the project contributes to the elimination of blight; l. the project will greatly increase the neighborhood tax base and provide other economic benefits; m. the project will create 20 full time equivalent jobs; n. the project will increase tax base, o. the future building tenant will benefit from the project; and p. the project builds community, stabilizes the building stock, and increases the safety of the neighborhood, as well as general welfare.

Additionally there is a large public parking lot at the corner of Madison and Woodburn for area businesses and business patrons to use. The lot is free to the public and parking in the lot is sufficient to handle the parking of patrons to the restaurant/bar. Additionally, further down on Woodburn there is another free public lot. In addition to the public parking lots, there is ample metered street parking. There simply is not sufficient room to provide parking in the small rear lot behind the bank building. Space is required for ingress/egress and life safety requirements. The space will also be occupied by a fenced in dumpster and area for recycling. The little remaining space is intended for a future outdoor seating area.

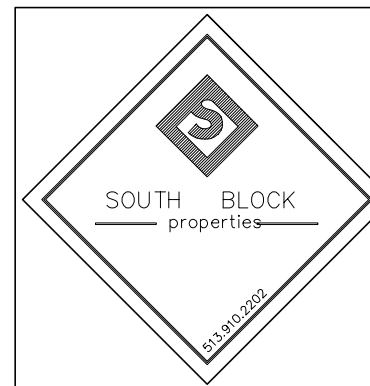
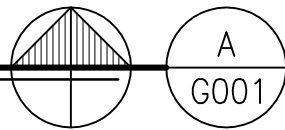
According to Cincinnati Municipal Code 1445-15

The capacity for the proposed bar/restaurant at the Bank Building will not exceed 99 individuals and the existing public parking in the neighborhood is more than sufficient to handle the increase in neighborhood patron parking. Additionally, a variance is "necessary for the preservation and enjoyment of" the building owners' and the building tenants' as is possessed by owners of other properties in the same vicinity. Bringing additional business to the neighborhood is a boon to the other area businesses and the neighborhood housing market. As well, the building and business owners of the bank building have the right to use the exterior space behind the building for the use of the business and to provide continued enjoyment to the neighborhood, neighboring businesses, and patrons of the business to be located at 1535 Madison Avenue.



VICINITY
AREA PLAN

SCALE: 1" = 50'-0"



THE BANK BUILDING AT
1535 Madison Rd.
Cincinnati, OH - Walnut Hills 45206

South
Block
Properties **L**td.

3936 Spring Grove Ave.
CINCINNATI, OH 45223
513.910.2202

VICINITY MAP

Zoning 8-12-16

Drawn: Project No:
BS

Sheet No.
G002

REVISIONS/ADDITION TO EXISTING STRUCTURE
1535 MADISON ROAD
 CINCINNATI OH 45206

CODE SUMMARY

Walnut Hills Bank Bldg - Renovations to Existing Building

Address: 1535 Madison Road
OBC edition: 2011
Use Group Class: A2
Other Use: --
Construction Type: IIB
Height: 1 story, 20 feet (2 story, 55' allowed)
Actual Area in SF: 2,400 SF gross first floor
Occupant Load (1008.1.2): 1,040 SF dining / 15 = 70 dining, plus staff and basement occ
 70 seats shown at tables, 17 at bar = 87 + 12 staff = 99 max
Aisle Width (1011.3): 44"
Toilets Required: one for each sex if occ load 80 or under. If occ load is 99, then two toilets req'd for women and one toilet and one urinal req'd for men.
Zoning: CCP
Sprinkler Required: Required if occ load over 100 or if windowless story
Sprinkler Provided: No
Number of exits required: 2
Alarm System: No

PARKING:
 Zoning Code section 1425-23-A allows that parking can be eliminated for the following reason:
"Proximity to Public Parking Facilities. In the O, C, UM, and M Districts, where a use is located within 600 feet of a public parking facility, either publicly or privately owned and operated and the facility could provide 50 percent or more of the parking spaces required for the use, the director may approve a 50 percent reduction in the parking requirements for the use. If the reduced requirement results in fewer than five spaces being required, no spaces need be provided."
 There is a public parking lot 100' West of this site. This lot is specifically intended for this business district. It has 70 spaces.
 Code requires one parking space per 150 square feet. The Bar is 3,000 SF which would require 20 spaces. According to 1425-23 this can be reduced by 50% because of the adjacent parking, and if parking total is less than 5, the requirement can be waived. 10 spaces must be provided.
 There is abundant public transportation in this area, including a bustop on the curb of the business.

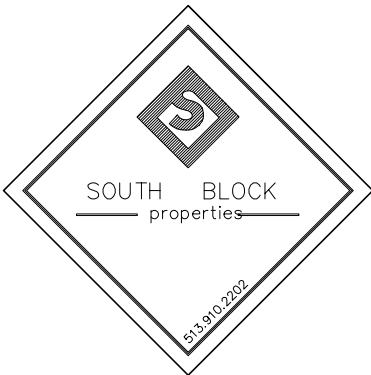
BUILDING OWNER:
 South Block Properties
 3936 Spring Grove Avenue
 Cincinnati, OH 45223

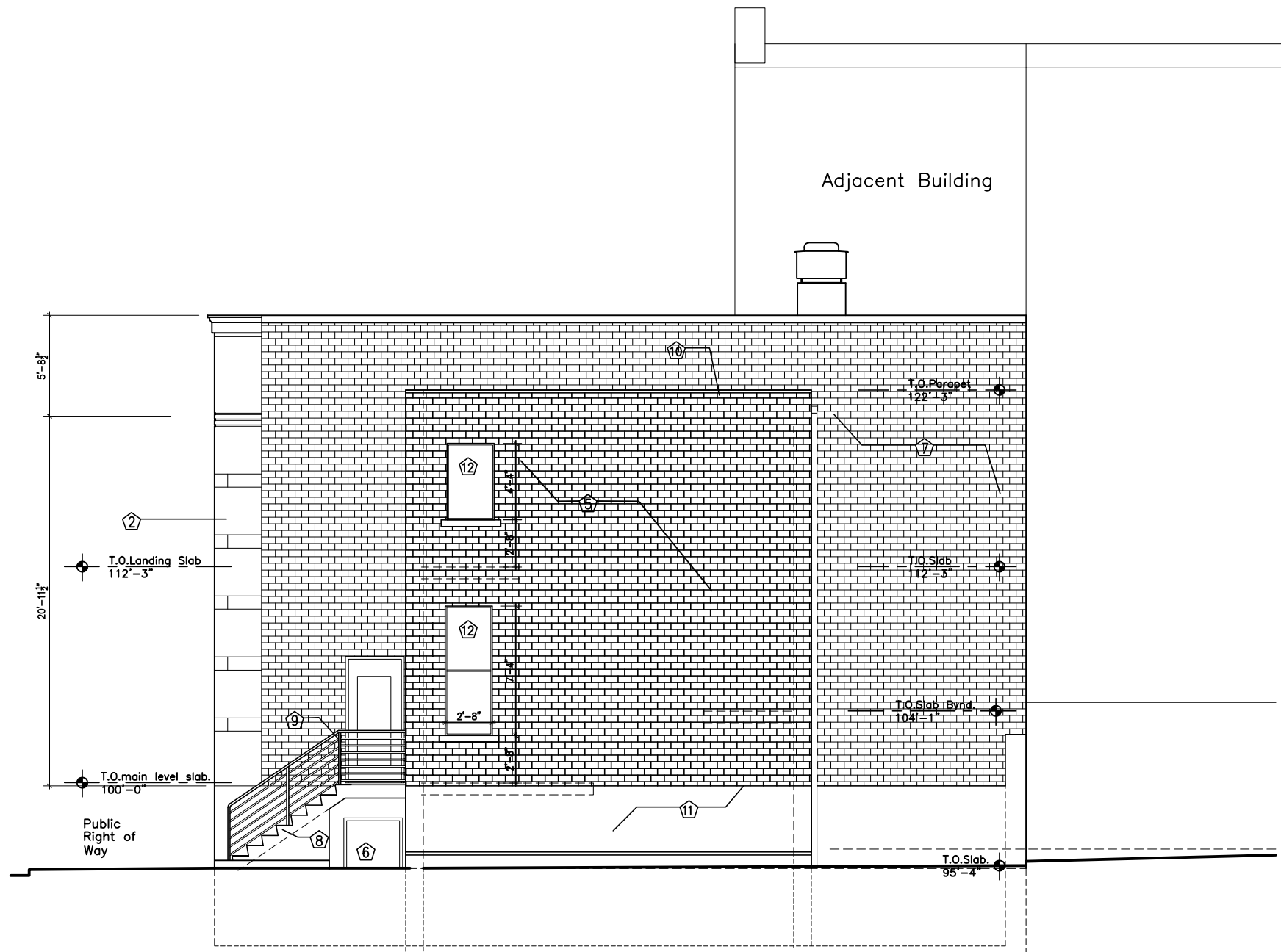
ARCHITECT:
 Mike Stehlin, AIA
 1222 Race Street
 Cincinnati, OH 45202
 ms@pastarc.com
 784-9522

ENGINEER
 CCI Engineering, Inc
 3546 Eastern Avenue
 Cincinnati, OH 45226
 513-272-8776

DRAWING INDEX

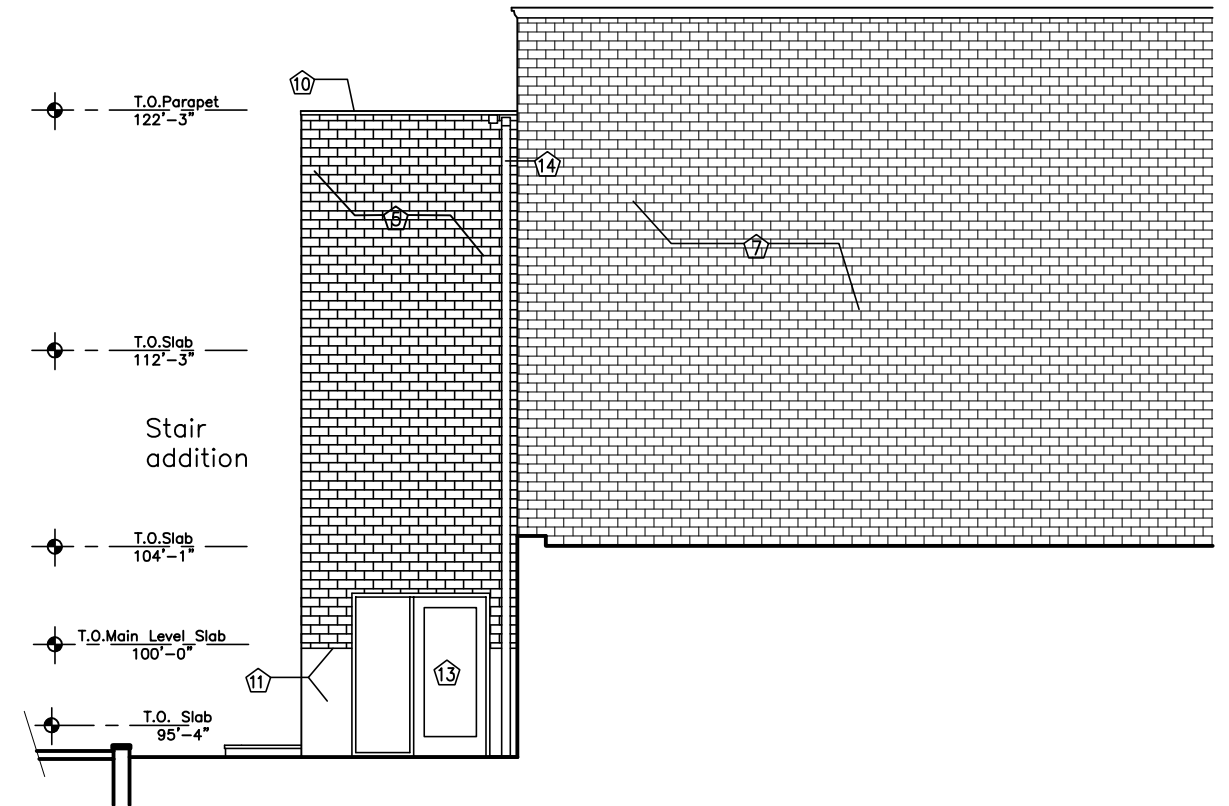
SHT #	DESCRIPTION:
G001:	TITLE SHEET / INDEX
G002:	VICINITY MAP
A001:	SITE PLAN
A100:	BASEMENT PLAN
A101:	MAIN LEVEL FLOOR PLAN
A102:	UPPER LEVEL CEILING PLAN
A200:	NORTH BUILDING ELEVATION
A201:	WEST/SOUTH BUILDING ELEVATIONS

	THE BANK BUILDING AT 1535 Madison Rd. Cincinnati, OH - Walnut Hills 45206	TITLE SHEET INDEX	Zoning	8-12-16
	S outh B lock P roperties L td.		3936 Spring Grove Ave. CINCINNATI, OH 45223 513.910.2202	Drawn: BS
			Sheet No.	G001



West Elevation

Scale: 1/8" = 1'-0"

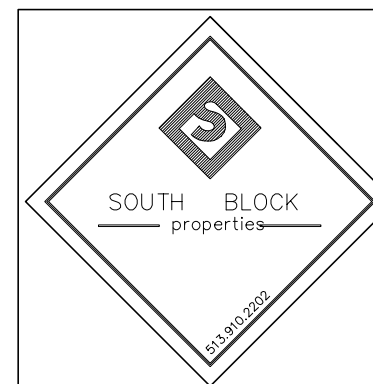


South Elevation

Scale: 1/8" = 1'-0"

General Notes

- ① Existing entry doors to be remain. Modifications must be made to lock doors in open position during working hours.
- ② Clean existing exterior Limestone.
- ③ Restore existing windows. Remove rust prime and paint stl. frames.
- ④ Restore existing decorative ironwork above main entry.
- ⑤ Proposed stair addition. Match existing brick at west wall. Color, size, pattern and grout.
- ⑥ New concrete Egress stair from basement. Steel door and frame.
- ⑦ Existing Brick exterior. Clean and repoint with matching mortar as required.
- ⑧ Proposed concrete steps for emergency egress.
- ⑨ Proposed steel guardrail at 42" above with handrail at 34" above nose of tread. Paint black
- ⑩ Parapet with painted aluminum sht.mtl.cap
- ⑪ Align new concrete foundation with existing.
- ⑫ Proposed bronze aluminum frame fixed window unit.
Sill at 32" above F.F. 32" masonry wide opening with bond beam block header and 3" x 4" x 1/4" stl. angle at brick. Precast 3" sill.
- ⑬ Proposed bronze aluminum frame and stl. door with fixed sidelite.
- ⑭ Aluminum downspout. Connect to storm sewer.

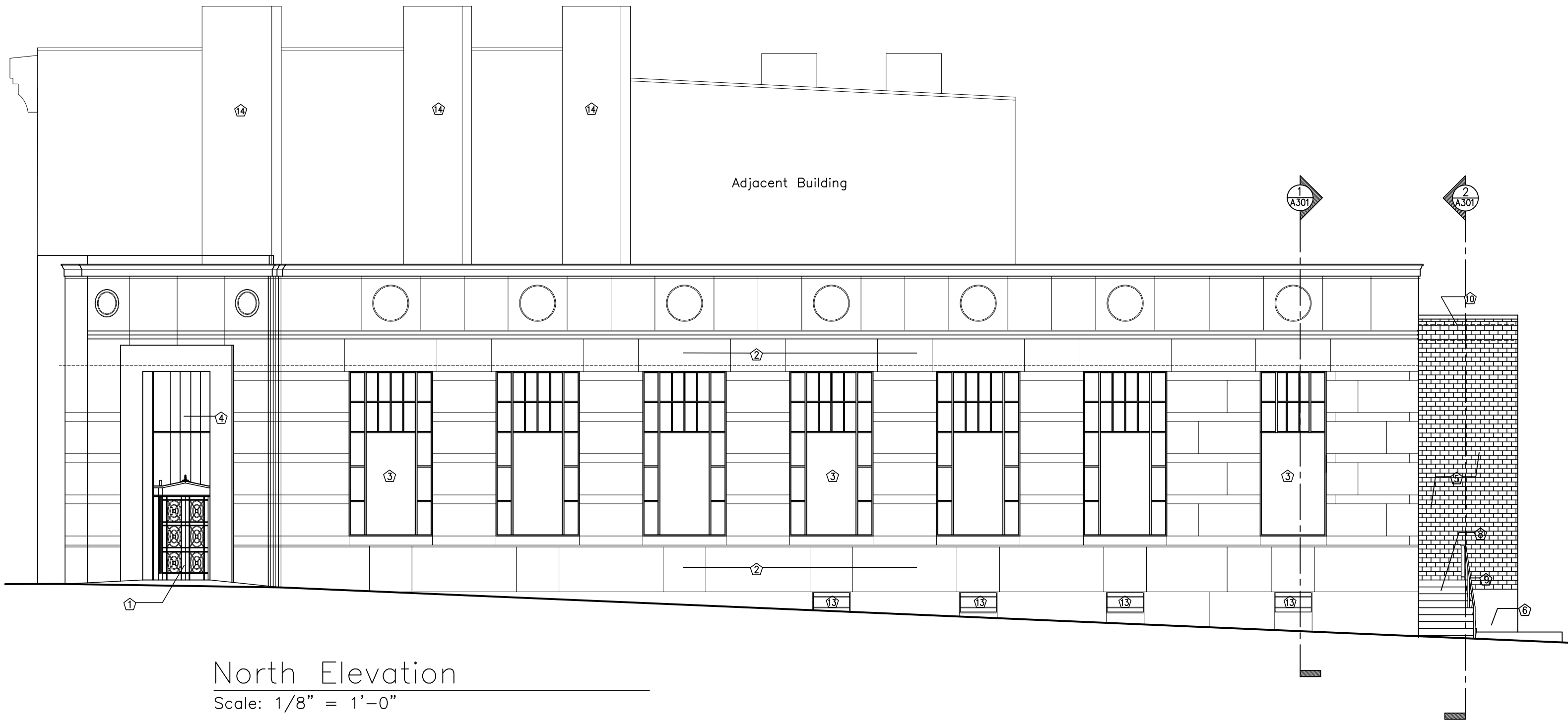


THE BANK BUILDING AT
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Properties Ltd.

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Zoning	8-12-16
Drawn: BS	Project No:
Sheet No.	A201

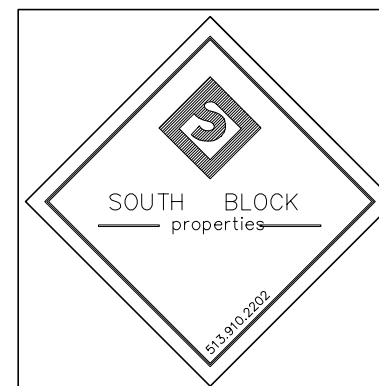


North Elevation

Scale: 1/8" = 1'-0"

General Notes

- | | | |
|--|--|--|
| <p>① Existing entry doors to be remain. Modifications must be made to lock doors in open position during working hours.</p> <p>② Clean existing exterior Limestone.</p> <p>③ Restore existing windows. Remove rust prime and paint stl. frames.</p> <p>④ Restore existing decorative ironwork above main entry.</p> <p>⑤ Proposed stair addition. Match existing brick at west wall. Color, size, pattern and grout.</p> | <p>⑥ New Egress stair from basement</p> <p>⑦ Existing Brick exterior. Clean and repoint with matching mortar as required.</p> <p>⑧ Proposed concrete steps for emergency egress.</p> <p>⑨ Proposed steel guardrail with handrail at 34" above nose of tread. Paint black</p> <p>⑩ Parapet with painted aluminum sht.mtl.cap</p> <p>⑪ Align new concrete foundation with existing.</p> <p>⑫ Proposed aluminum frame fixed window unit. 30" sill hgt. with bond beam header.</p> | <p>⑬ Repair existing basement window units.</p> <p>⑭ Use existing chimneys to exhaust restrooms/plumbing stacks and take in fresh air.</p> |
|--|--|--|



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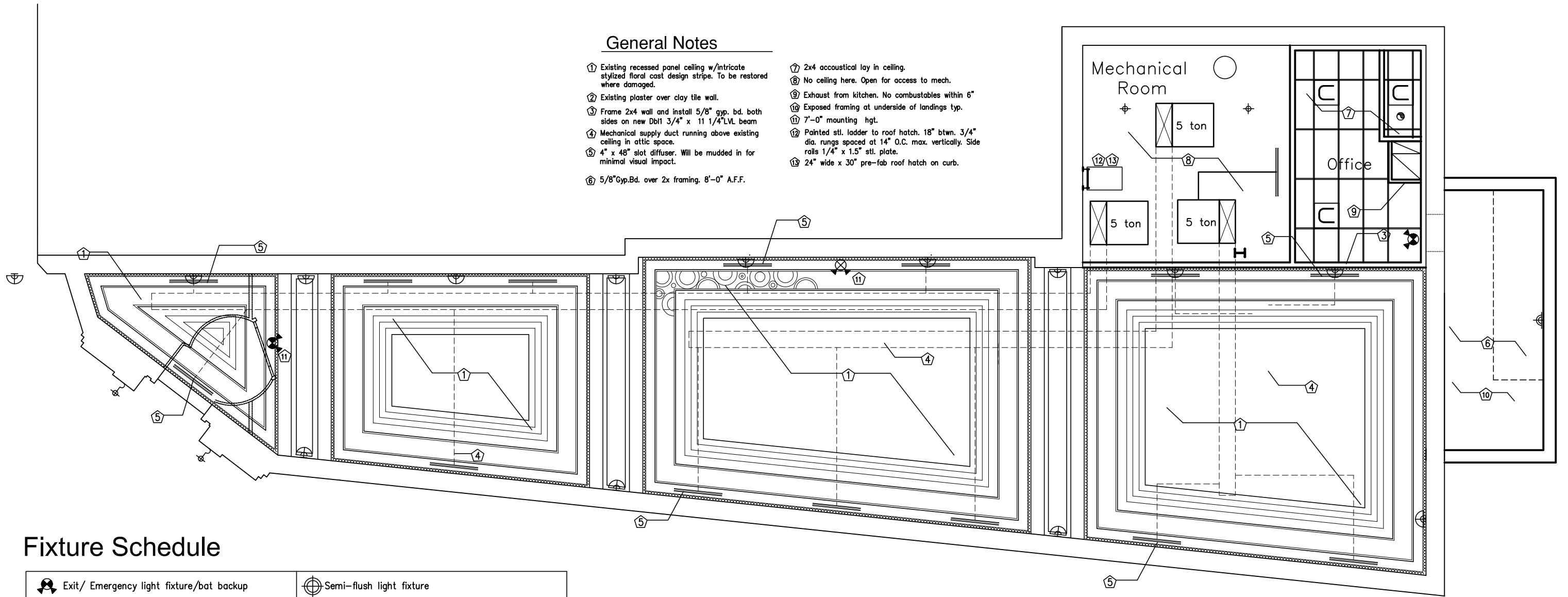
Zoning 8-12-16

Drawn: Project No:
BS

Sheet No.
A200

General Notes

- ① Existing recessed panel ceiling w/intricate stylized floral cast design stripe. To be restored where damaged.
- ② Existing plaster over clay tile wall.
- ③ Frame 2x4 wall and install 5/8" gyp. bd. both sides on new Dbl1 3/4" x 11 1/4"LVL beam
- ④ Mechanical supply duct running above existing ceiling in attic space.
- ⑤ 4" x 48" slot diffuser. Will be mudded in for minimal visual impact.
- ⑥ 5/8"Gyp.Bd. over 2x framing. 8'-0" A.F.F.
- ⑦ 2x4 accoustical lay in ceiling.
- ⑧ No ceiling here. Open for access to mech.
- ⑨ Exhaust from kitchen. No combustables within 6"
- ⑩ Exposed framing at underside of landings typ.
- ⑪ 7'-0" mounting hgt.
- ⑫ Painted stl. ladder to roof hatch. 18" btwn. 3/4" dia. rungs spaced at 14" O.C. max. vertically. Side rails 1/4" x 1.5" stl. plate.
- ⑬ 24" wide x 30" pre-fab roof hatch on curb.

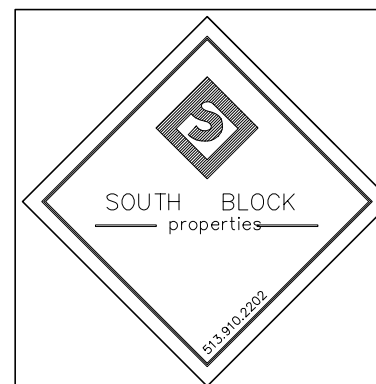


Fixture Schedule

Exit/ Emergency light fixture/bat backup	Semi-flush light fixture
Emergency light w/batt back-up	backbar strip lighting/under cabinet
Wall mounted vanity fixture	Pendant light. LED dimable
Clg mounted utility light	Refurbished deco fixture to remain
exterior flood on photo cell	Ceiling fan/light with independant switches
Exhaust Fan, Vent to exterior.	LED surface mounted. wrap around lens
Exterior fixture. Connected to photocell.	2x2 fluorescent or LED troffer
	Wall mounted sconce. New

Main Level Ceiling Plan

Scale: 1/8" = 1'-0"



THE BANK BUILDING AT
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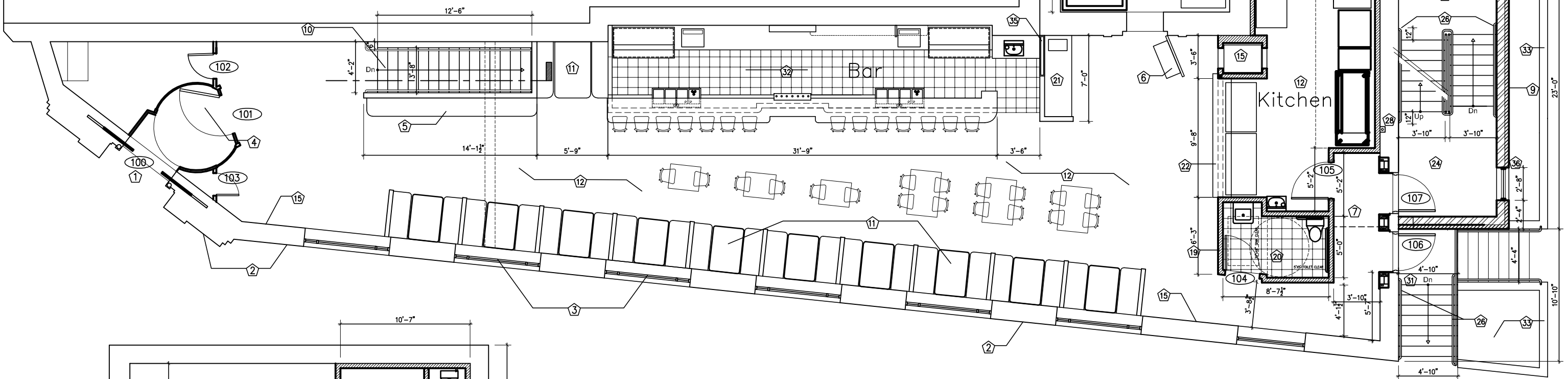
Zoning 8-12-16

Drawn: Project No:
BS

Sheet No.
A102

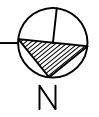
General Notes

- 1 Existing pocket entry doors to be remain. Modifications must be made to lock doors in open position during working hours. Sign must be posted.
- 2 Clean existing exterior Limestone.
- 3 Restore existing windows. Remove rust prime and paint stl. frames.
- 4 Existing wooden entry air lock to remain. Install 39 1/4" existing door panel. Maintain existing push plate and bars. replace glass with tempered. Must be operated without any special knowledge in panic situation.
- 5 Deco built in banquet.
- 6 Existing Vault and vault door to remain.
- 7 Proposed Doors and new openings in existing masonry wall. Install rigid stl. frame per structural drawings.
- 8 Proposed walk-in cooler and freezer.
- 9 Proposed stair addition. Brick over 8" Block wall.
- 10 New stairs to basement. Stl channel frame with concrete pan tread and stl. riser.
- 11 New Dining booths w/deco detailing
- 12 Epoxy floor coating over existing conc. slab
- 13 Infill area with 2x10 joists @ 16" O.C and 3/4" T&G Plywd. sheathing. T.O. Plywd. 12'-3" above main level floor. Laminate flooring
- 14 Build new 2x4 framed wall with 5/8" gyp.bd. both sides on new (2) 9 1/4" LVL beam.
- 15 Install dumbwaiter with 20" x 30" car per mfg. spec. Doors on 2 sides. Travel to bsmt. See A100 for details.
- 16 Kitchen exhaust and makeup air to roof in required non combustible enclosure. 6" min. clearance to combustible material.
- 17 Repair existing exterior plaster walls throughout.
- 18 Furr-out walls at kitchen with 2x4 PT framing, 5/8" gyp.bd. and frp sheathing. Stainless stl. behind hood.
- 19 New 2x4 framed partitions with 5/8" gyp.bd. both sides. Pressure treated plate top.
- 20 Single user ADA equipped restroom. See dtls. Install ceramic tile floor and walls to 52"
- 21 52" tall partition and bus station. Counter and cabinets below w/trash can
- 22 Order pick-up. 50" above floor, 30" tall. stainless stl. surround
- 23 Existing steel wide flange post to remain.
- 24 3 1/2" concrete slab over corrugated stl deck. Mt. pan with 1" concrete treads typ.
- 25 Saw cut opening into vault. Furr out rough opening and clad with frp over 5/8" gyp.bd.
- 26 1 1/2" dia. painted stl. handrail. Mount at 34" above nose of tread, 1 1/2" away from wall. Extend 12" past riser top.
- 27 Painted stl. ladder to roof hatch. 18" btwn. 3/4" dia. rungs spaced at 14" O.C. max. vertically. Side rails 1/4" x 2" stl. plate. Side rails fully welded to horizontal members for attachment to wall @ 4'-0" O.C. vertically with 2" x 4" x 3/8" stl. mounting plate.
- 28 Route restroom vent to existing cavity in wall to roof.
- 29 Infill opening at slab with 3 1/2" thick poured concrete in stl. pan. Support with 3"x4" x1/4" stl angle attached with 4" long x 1/2" dia anchors and epoxy @ 16" O.C.
- 30 4" concrete slab on compacted granular fill. Slope @ 1/4" per ft. away from building
- 31 Concrete landing and steps. Dowel into existing foundation.
- 32 Existing tile flooring. Clean and restore
- 33 Planter with 8" concrete block wall and stone or precast cap.
- 34 4" concrete slab on compacted granular fill and vapor barrier. Hold wall down 4" for slab at door
- 35 Existing partition to remain.
- 36 Fixed window in anodized aluminum frame. 30" sill hgt. Bond beam header.



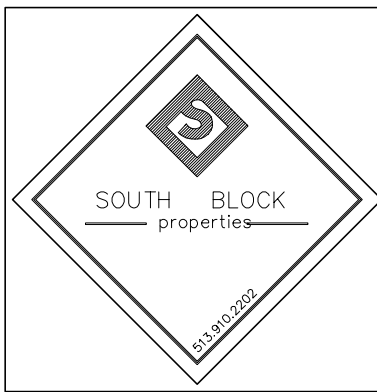
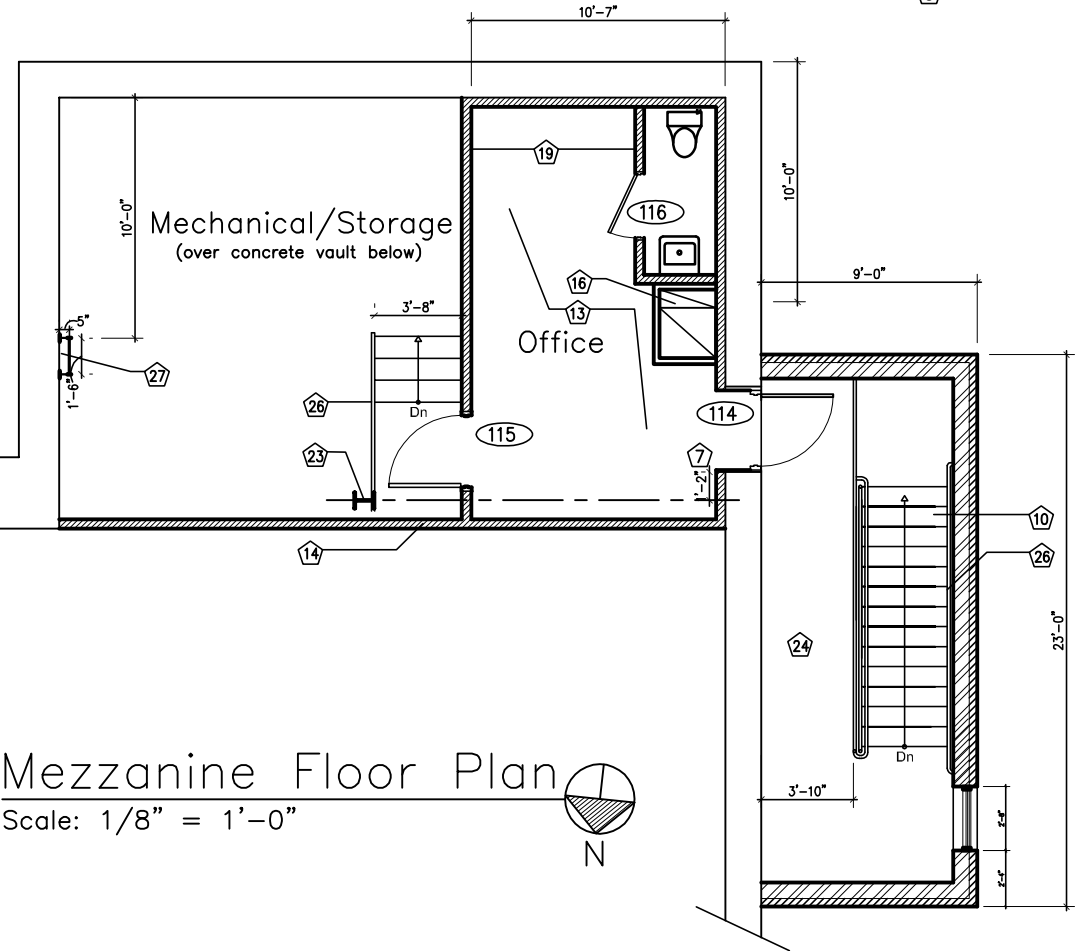
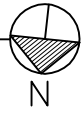
Main Level Floor Plan

Scale: 1/8" = 1'-0" 2478 S.F.



Mezzanine Floor Plan

Scale: 1/8" = 1'-0"



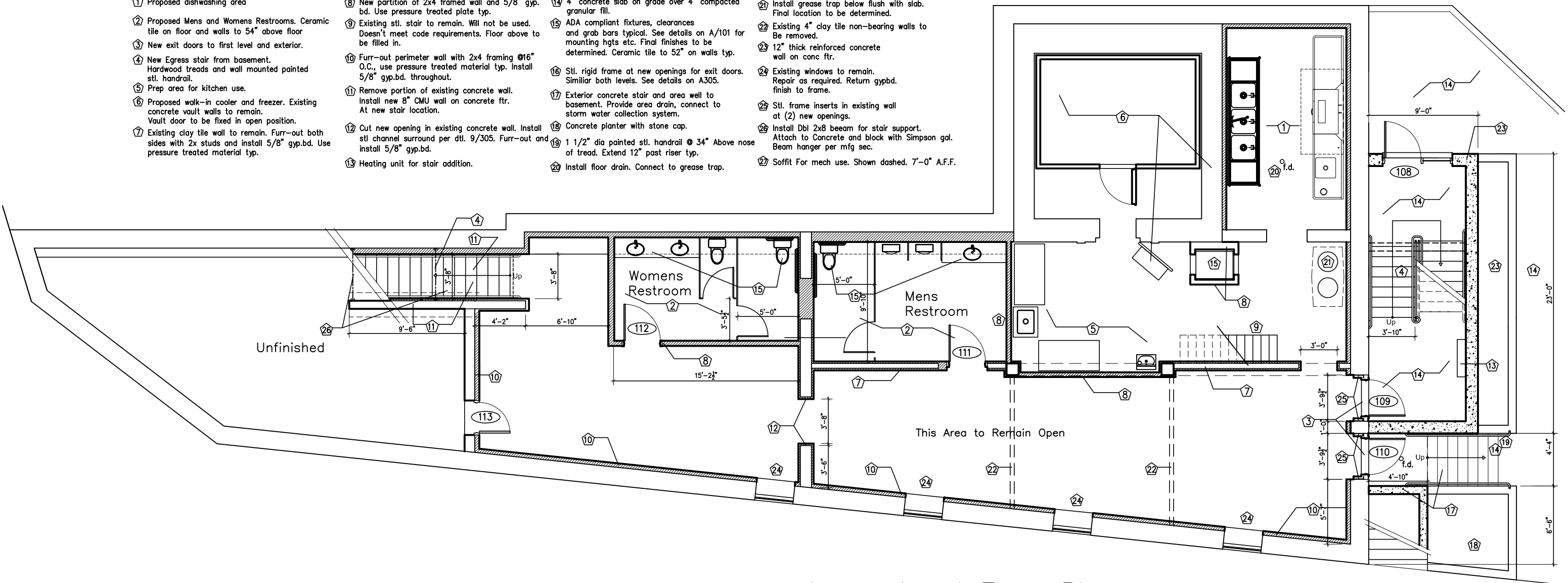
THE BANK BUILDING AT
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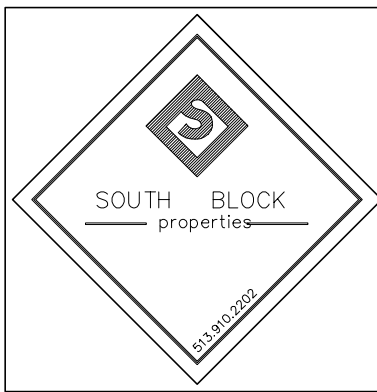
Zoning	8-12-16
Drawn:	Project No:
BS	
Sheet No.	A101

General Notes

- 1 Proposed dishwashing area
- 2 Proposed Mens and Womens Restrooms. Ceramic tile on floor and walls to 54" above floor
- 3 New exit doors to first level and exterior.
- 4 New Egress stair from basement. Hardwood treads and wall mounted painted stl. handrail.
- 5 Prep area for kitchen use.
- 6 Proposed walk-in cooler and freezer. Existing concrete vault walls to remain. Vault door to be fixed in open position.
- 7 Existing clay tile wall to remain. Furr-out both sides with 2x studs and install 5/8" gyp.bd. Use pressure treated material typ.
- 8 New partition of 2x4 framed wall and 5/8" gyp. bd. Use pressure treated plate typ.
- 9 Existing stl. stair to remain. Will not be used. Doesn't meet code requirements. Floor above to be filled in.
- 10 Furr-out perimeter wall with 2x4 framing @16" O.C., use pressure treated material typ. Install 5/8" gyp.bd. throughout.
- 11 Remove portion of existing concrete wall. Install new 8" CMU wall on concrete ftr. At new stair location.
- 12 Cut new opening in existing concrete wall. Install stl channel surround per dtl. 9/305. Furr-out and install 5/8" gyp.bd.
- 13 Heating unit for stair addition.
- 14 4" concrete slab on grade over 4" compacted granular fill.
- 15 ADA compliant fixtures, clearances and grab bars typical. See details on A/101 for mounting hghts etc. Final finishes to be determined. Ceramic tile to 52" on walls typ.
- 16 Stl. rigid frame at new openings for exit doors. Similar both levels. See details on A305.
- 17 Exterior concrete stair and area well to basement. Provide area drain, connect to storm water collection system.
- 18 Concrete planter with stone cap.
- 19 1 1/2" dia painted stl. handrail @ 34" Above nose of tread. Extend 12" past riser typ.
- 20 Install floor drain. Connect to grease trap.
- 21 Install grease trap below flush with slab. Final location to be determined.
- 22 Existing 4" clay tile non-bearing walls to Be removed.
- 23 12" thick reinforced concrete wall on conc ftr.
- 24 Existing windows to remain. Repair as required. Return gypbd. finish to frame.
- 25 Stl. frame inserts in existing wall at (2) new openings.
- 26 Install Dbl 2x8 beam for stair support. Attach to Concrete and block with Simpson gal. Beam hanger per mfg sec.
- 27 Soffit For mech use. Shown dashed. 7'-0" A.F.F.



Lower Level Floor Plan
 Scale: 1/4" = 1'-0" 1916 S.F.



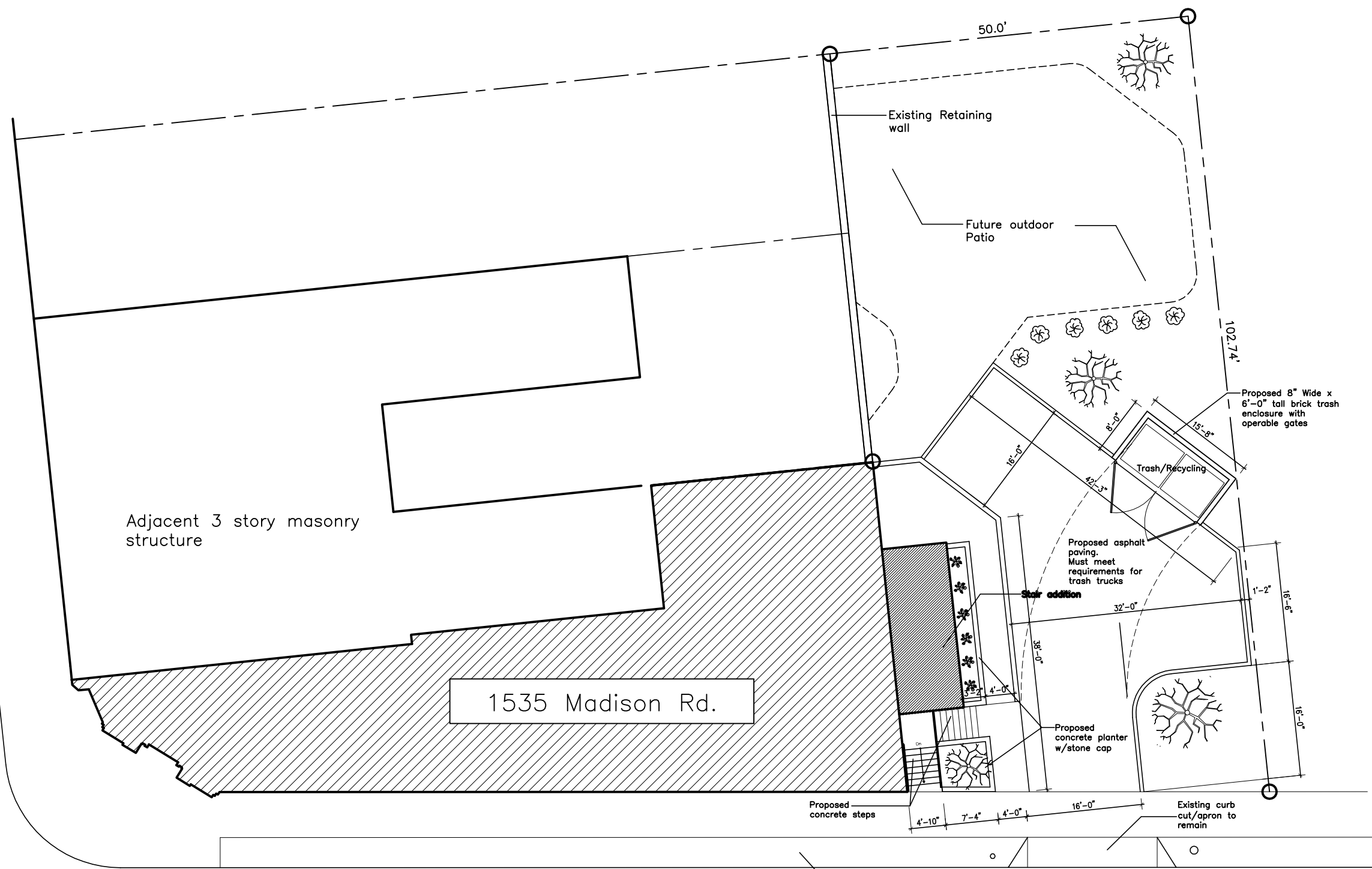
THE BANK BUILDING AT
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South
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 513.910.2202

Zoning	8-12-16
Drawn:	Project No:
BS	BS
Sheet No.	A100

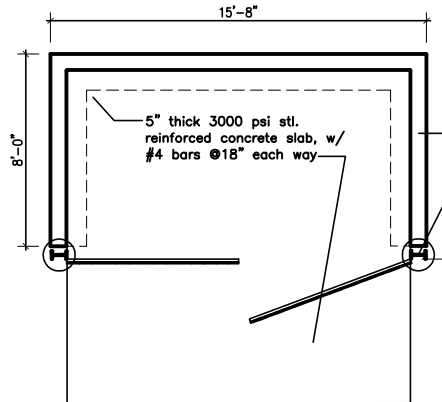
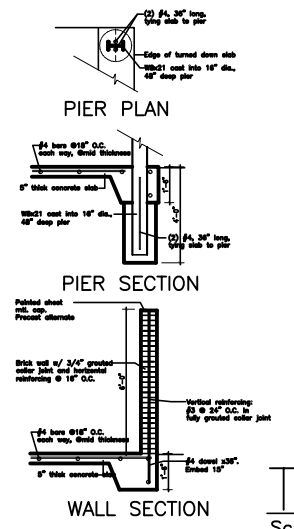
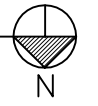
Woodburn Ave.



1535 Madison Rd.

Madison Rd.

Site Plan
Scale: 1" = 16'-0"



5" thick 3000 psi stl. reinforced concrete slab, w/ #4 bars @18" each way

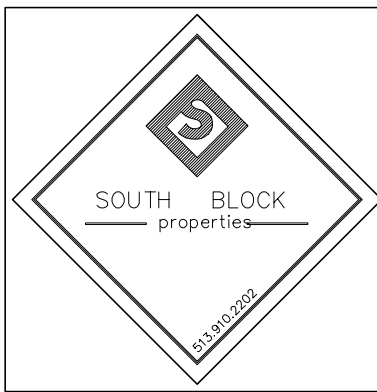
6'-0" tall brick wall on 18" deep thickened slab. See details for reinforcing

Galvanized WBx21 stl. wide flange section. Cast into 16" Dia. concrete pier, 48" deep. See dtl.

Gates
2" Stl. tube frame (galvanized and painted) w/ pressure treated vertical cladding, heavy duty hinges. Provide cane bolt and latch and diagonal bracing.

Verify all dimensions with trash collection service. Adjust as required.

Trash Enclosure
Scale: 1/8" = 1'-0"



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Zoning	8-12-16
Drawn:	Project No:
BS	
Sheet No.	A001


MADISON 1535


PUSH
BUTTON
FOR
WALK
LIGHT



AVAILABLE

Urban Fast Forward
Matthew Shad
513-429-2419
Ethan Bentley
513-475-4351

AVAIL

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TO: **Beth Johnson**
Urban Conservator
805 Central Ave. (Suite 500)
Cincinnati, OH 45202

FR: **Lou Ginocchio**
General Manager, O Pie O
1527 Madison Road
Cincinnati, OH 45206

RE: A Letter of Complaint Regarding Requested Variances by 1535 Madison Road

Dear Beth Johnson,

This is a letter of complaint regarding the requested variances by the owners of **1535 Madison Road**, which is the building adjacent to our restaurant located at 1527 Madison Road.

We here at O Pie O are thrilled that 1535 Madison Road is under renovation and will open as a restaurant in the near future. This is a project that will bring great value to the neighborhood of East Walnut Hills and the City of Cincinnati. With great anticipation, we await the buildings renovation and opening.

However, some of the variances requested by 1535 Madison Road will negatively impact our existing business to a great degree if they come to fruition. Specifically:

- 1) The requested variance to remove 1535 Madison Road's parking lot will lead to their customers using our parking lot, which in effect removes their own responsibility for providing parking and places an unfair and undue burden on us to provide parking for their customers.
- 2) Most importantly, from our point of view, the requested variance plans by 1535 Madison Road place their restaurant's dumpster alongside our patio, which provides us space for 30 seats and is integral to our success as a restaurant. If a dumpster is placed alongside our patio, our seating capacity is effectively cut in half because – well – who wants to sit next to a smelly dumpster?

I thank you for reading this letter and taking our concerns as a thriving business in East Walnut Hills into consideration.

Best,

Lou Ginocchio
General Manager, O Pie O
lou@opieo.com
513-659-5306

THE EAST WALNUT HILLS ASSEMBLY, INC.

P.O. Box 68050
Cincinnati, Ohio 45206

September 16, 2016

Historic Conservation Board
c/o Ms. Beth Johnson
City of Cincinnati, Department of Urban Conservator
805 Central Ave., Suite 500
Cincinnati, OH 45202

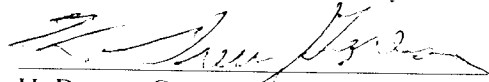
Dear Ms. Johnson:

I am the President of the Board of the East Walnut Hills Assembly, Inc. (EWHA), the community council for East Walnut Hills. South Block Properties, LTD., is the owner of the property at 1535 Madison Road in the DeSales Corner business district in East Walnut Hills. It is the EWHA Board's understanding that South Block has submitted a request for a certificate of appropriateness to the Historic Conservation Board to be discussed in a hearing of the Conservation Board on September 26, 2016. It is our further understanding that South Block, at that hearing, will be requesting a variance from the requirement that South Block acquire or lease up to 34 spaces to support the restaurant that South Block is intending to open at 1535 Madison Road.

Because of the timing of the Conservation Board hearing, the members of the EWHA Assembly, (the Assembly meets monthly) has not been presented with this issue. The Board of EWHA, however, supports South Block's request for the variance to eliminate the need for the required parking. The DeSales Corner Business District has ample existing public parking for the entire business district, including those patrons who will enjoy the new restaurant once it opens. EWHA owns a lot on Woodburn Avenue that has approximately 40 spaces. EWHA leases a second lot between Madison Road and Myrtle Avenue from the City of Cincinnati that has approximately 80 spaces. Both lots are open to the public to park both day and night. Both lots are within 600 feet of the proposed South Block restaurant at 1535 Madison.

This is an exciting time in the resurgence and redevelopment of the DeSales Corner Business District. We have welcomed a variety of new businesses in recent years and hope to welcome more in the future. The opening of South Block Properties' restaurant is being greeted with excitement and much anticipation in the community. The Board of EWHA wants to continue the positive momentum of controlled development in our community and in our business district. We believe requiring South Block to acquire or lease the parking spaces (for which the variance is being requested) will slow down this positive momentum. So, the Board respectfully requests that the variance be granted to South Block to eliminate the need for the required parking spaces.

The East Walnut Hills Assembly, Inc.



H. Drewry Gores, President

**APPLICATION FOR
CERTIFICATE OF APPROPRIATENESS
AND DIMENSIONAL/ LOCATIONAL VARIANCES
HISTORIC CONSERVATION BOARD PUBLIC HEARING
STAFF REPORT**

APPLICATION #: ZH20160145
APPLICANT: Atlantic Sign Company
OWNER: Chicken Little Real Estate
ADDRESS: **4147 Hamilton Avenue**
PARCELS: 196-0025-0066-00
ZONING: CC-P Commercial Community
OVERLAYS: Northside NBD Historic District
COMMUNITY: Northside
REPORT DATE: August 31, 2016
HEARING DATE: September 14, 2016, 2016
STAFF REVIEW: Beth Johnson, Urban Conservator

Nature of Request:

The applicant is requesting Zoning Relief for a Dimensional Variance and Locational Variance to allow for an illuminated wall sign of 57 square feet on the north wall which does not have street frontage.

This is a locational, dimensional and numerical variance from Section 1427-37 Sign Standards for the C and UM District of the Cincinnati Zoning Code which only allows for signs on facades that have building frontages.

Existing Conditions:

The property at 4147 Hamilton Avenue is a non-contributing building in the Northside Historic District at the corner of Knowlton Avenue and Hamilton Avenue. It is a Taco Bell and Kentucky Fried Chicken combination fast food restaurant. Currently the building is out of compliance with the zoning code in regards to signs. The building has two signs on the south of the building along Knowlton Street, one on the east along Hamilton Avenue and two on the north façade along the parking lot. The property also has a nonconforming pole style ground sign and exempt directional signs. The pole sign significantly exceeds the standards for height and total area depicted in the chart below.

The building recently was issued both a Certificate of Appropriateness and Building permit for exterior changes to include minor changes to the pediments, painting and awning removal.

CN-P & CC-P District	Ground Signs
Permitted Signs	Conditional
Max. # of Signs	1 per site
Max. Sign Area	30 square foot per sign space
Max. # of Sign Faces Permitted	2
Max. Sign Height	6 ft.
Max. Sign Width	6 ft.
Min. Setback from any lot line	One-half the height of the sign
Permitted Illumination	External or Internal

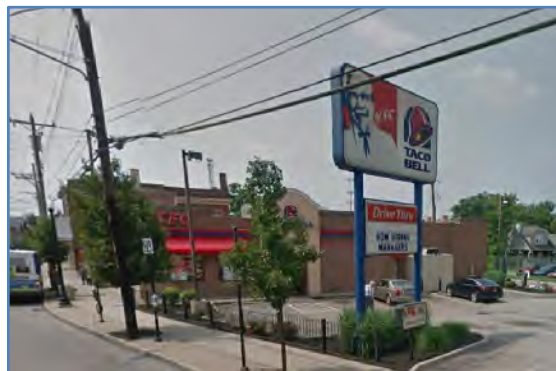


Figure 1: 4147 Hamilton Avenue Street Views. Images provided by Google Street Views.

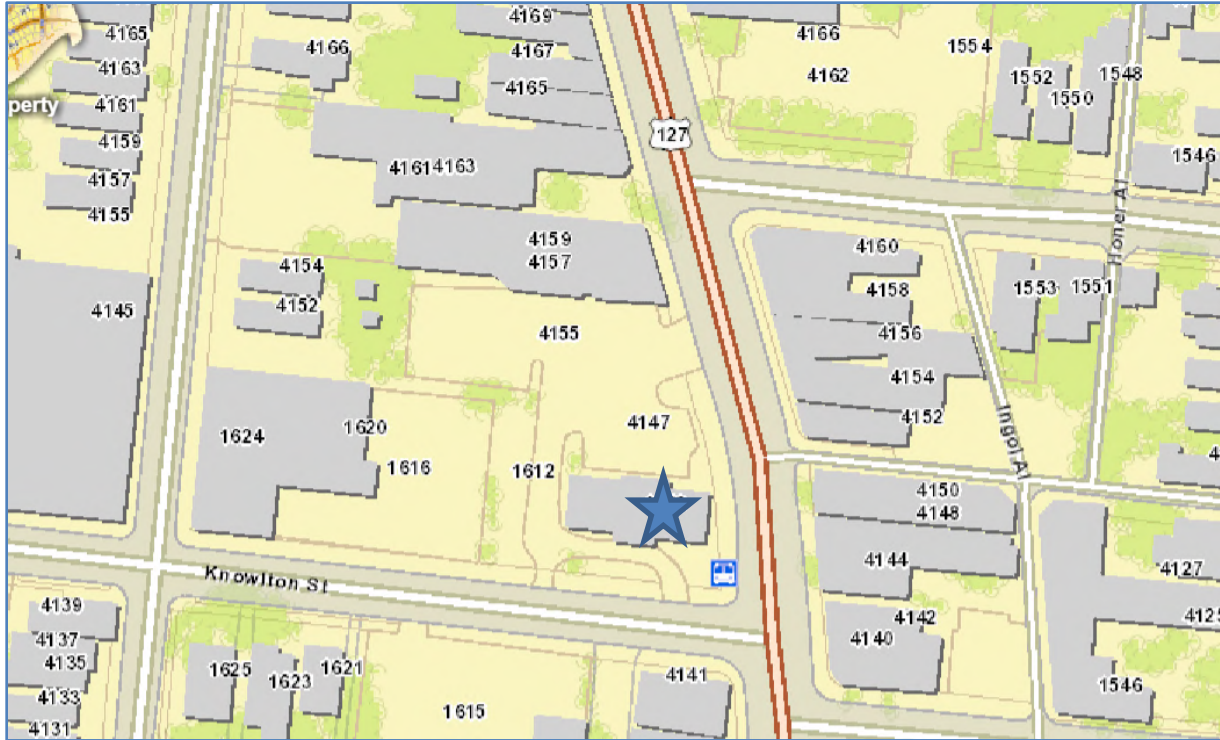


Figure 2: Map of 4147 Hamilton Avenue. Map provided by Cagis Map.

Proposed Conditions:

The applicant is proposing the following.

- One sign on the south façade that 14.67 square feet on a street frontage of 84 linear feet (Compliant with Zoning and Compliant with Historic District Guidelines)
- One sign on the east façade that has a graphic that is 30.52 square feet and a painted striped panel with the graphic that is 156 square feet on a façade that is 33 linear feet (Staff is of the opinion that the striped panel is part of the sign and therefore this is not in compliant with the zoning code of 1 sf per lineal feet)
- One sign on the north façade that is 57 square feet. This façade is not on a street frontage, but faces the parking lot.
- Face changes for the nonconforming pole sign and directions signs. (Allowable as a legal nonconforming use to be changed, but far from compliant with height and size requirements).

Previous Reviews: A Certificate of Appropriateness was approved at the staff level for new paint, removal of awnings, and the removal of the Mission Style pediment on both the south and north facades. As this is a non-contributing building all of this work was consistent with the architecture and removed architectural features that were inconsistent with the historic district.

Applicable Zoning Code Sections:

Zoning District: Section 1409 Commercial
Variance Request: Section 1427-37 Development Regulations
Variance Authority: [Section 1445-07](#) HCB authority: [Section 1435-05-4](#)
Variance Standard: [Section 1445-13](#) General Standards: Public Interest
[Section 1445-15](#) Standards for Variances
Overlays: [Section 1435](#) Historic Preservation
Historic District/Reg: [Northside NBD Historic District](#)
COA Standard: [Section 1435-09-2](#) Certificate of Appropriateness;
Standard of Review

Details of Zoning Relief Required:

The applicant and/or owner(s) are requesting a **Locational Variance** to allow a sign on a non-street fronting elevation.

- The project is in violation of **Section 1427-37** of the Cincinnati Zoning Code.
- Per Section 1427-37, signs are not permitted on non-street fronting elevations.
 - A Locational Variance is required to allow a sign on a non-street facing elevation

The applicant and/or owner(s) are requesting a **Numerical Variance** to allow for 1 sign on a façade that does not allow signs.

- The project is in violation of **Section 1427-37** of Cincinnati Zoning Code.
- Per Section 1427-37, non-street fronting elevations are allowed 0 signs.
 - A Numerical Variance of 1 sign required to allow a sign on the façade.

The applicant and/or owner(s) are requesting a **Dimensional Variance** to allow a 57 sf sign on an elevation that is allowed to have a sign of 0 sf.

The project is in violation of **Section 1427-37** of the Cincinnati Zoning Code.

- Per Section 1427-37, signs are not permitted on non-street fronting elevations.
 - A Dimensions Variance of 57 sf is required to allow a sign on the north façade.

The applicant and/or owner(s) are requesting a **Dimensional Variance** to allow a 156 sf sign on an elevation that is allowed to have a sign of 33 sf.

The project is in violation of **Section 1427-37** of the Cincinnati Zoning Code.

- Per Section 1427-37, signs on street fronting elevation are allowed 1 sf per lineal sf of street frontage
 - A Dimensions Variance of 123 sf is required to allow a sign of 156 sf on the east elevation.

Zoning Analysis:

Below is analysis of the consideration factors for the proposed Variances for signs at 4147 Hamilton Avenue, utilizing Section 1445-13, General Standards; Public Interest.

- a. **Zoning.** The proposed work conforms to the underlying zone district regulations and is in harmony with the general purposes and intent of the Cincinnati Zoning Code.

The underlying zoning is CC-P which is a Commercial Community with a Pedestrian Designation. The Zoning code states that Pedestrian Community Character is described as

“This district designation is intended for areas with a traditional urban character, where buildings are required to be built to the street or sidewalk line, to provide a close relationship between pedestrians and shops. Design standards will reinforce this character and require treatments that provide an interesting pedestrian environment. This designation may apply to some areas where a few auto-oriented uses exist, but where restoring the pedestrian character is specified in a community plan or other documentation approved by the Planning Commission.”

The underlying use of the property is a fast food restaurant with a drive-thru. This is not in harmony with the CC-P designation, but the use is grandfathered into this designation as well as to the Northside Historic District. The application for new signs is overall reducing the number of signs on the building which is reducing sign clutter and making the building more in harmony with the CC-P district. The north elevation currently has two signs which are non-compliant with the zoning code and they are just requesting to replace one of the signs.

The east elevation has both a striped panel and a vinyl image and text overlay, while the text and image are under the required square footage, Staff does interpret that the entire panel because the red and white stripe pattern is part of the KFC branding to be considered part of the sign. This makes the sign 123 sf larger than the allowed signage on the east and therefore this does not conform to the underlying zoning and is not a pedestrian scale sign and therefore is not in harmony with the Pedestrian Community Character. Staff recommends that the front panel be painted one color to remove the required dimensional variance from the east elevation.

- b. **Guidelines.** The proposed work conforms to any guidelines adopted or approved by Council for the district in which the proposed work is located.

The proposed work substantially conforms to the Northside Historic District guidelines that have been adopted for the district.

- c. **Plans.** The proposed work conforms to a comprehensive plan, any applicable urban design or other plan officially adopted by Council, and any applicable community plan approved by the City Planning Commission.

This project conforms to the Northside Comprehensive Plan in the following

Respect the historic character of the Hamilton Avenue Business District while providing for new and expanded retail opportunities. The project meets this standard by reducing the amount of overall signage on the property to help reduce sign clutter in a historic district. The new signs

also meet the Historic District guidelines established for Northside though the ground sign does not.

The large sign on the east elevation is not a pedestrian scale and is also does not conform to the historic character of Hamilton Avenue. Most signs along Hamilton Avenue are simply at the top of the building to keep the storefront open and this sign takes up much of the front façade and not in keeping with its neighbors.

- d. **Traffic.** Streets or other means of access to the proposed development are suitable and adequate to carry anticipated traffic and will not overload the adjacent streets and the internal circulation system is properly designed.
Traffic will not be adversely impacted by the proposed project as the number of signs and placement of signs are not substantially changing from the existing placement.
- e. **Buffering.** Appropriate buffering is provided to protect adjacent uses or properties from light, noise and visual impacts.
No buffering is required. No adverse impacts due to light, noise, and visual elements are anticipated.
- f. **Landscaping.** Landscaping meets the requirements of Chapter 1423, Landscaping and Buffer Yards.
This is not applicable.
- g. **Hours of Operation.** Operating hours are compatible with adjacent land uses.
This is not applicable.
- h. **Neighborhood Compatibility.** The proposed work is compatible with the predominant or prevailing land use, building and structure patterns of the neighborhood surrounding the proposed development and will not have a material net cumulative adverse impact on the neighborhood.
The property and its architecture are non-contributing to the Historic District and are therefore not compatible; however the proposed work will be reducing the number of signs that is currently on the property. The north elevation currently has two signs which are non-compliant with the zoning code and they are just requesting to replace one of the signs.
- i. **Proposed Zoning Amendments.** The proposed work is consistent with any proposed amendment to the zoning code then under consideration by the City Planning Commission or Council.
There are no proposed amendments under consideration that would impact this proposed project.
- j. **Adverse Effects.** Any adverse effect on the access to the property by fire, police, or other public services; access to light and air from adjoining properties; traffic conditions; or the development, usefulness or value of neighboring land and buildings.
There are no adverse impacts anticipated.
- k. **Blight.** The elimination or avoidance of blight.
This is not applicable.

- l. **Economic Benefits.** The promotion of the Cincinnati economy.
The proposed work is updating the location to be consistent with the current branding of the restaurants.
- m. **Job Creation.** The creation of jobs both permanently and during construction.
The proposed project may create temporary construction jobs.
- n. **Tax Valuation.** Any increase in the real property tax duplicate.
Property tax values may increase by making improvements to the property.
- o. **Private Benefits.** The economic and other private benefits to the owner or applicant.
The owner has an economic benefit to the proposed improvements.
- p. **Public Benefits.** The public peace, health, safety or general welfare.
There is no measurable detriment to public peace, health, safety or welfare as a result of this proposed project.

Standards for Variances per Section 1435-05-4

- (a) Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the Historic District of Historic Asset; or
The proposed projecting sign will not have an adverse effect on the historic architecture or aesthetic integrity of the Historic District. The building is a non-contributing building and the project is reducing the number of signs on the building.
- (b) Is necessary where the denial thereof would result in a deprivation of all economically viable uses of the property as viewed in its entirety. In making such a determination, the Historic Conservation Board may consider the factors set forth in Section 1435-09-2 (aa) to (ff).
The denial of the requested variance would not deprive the property of all economically viable uses.

Certificate of Appropriateness Review:

A Certificate of Appropriateness is required for the signs and if not for the required variances the signs could be approved at a staff level.

Based on the Conservation Guidelines outlined below, staff feels the proposed signs are generally appropriate in the Northside NBS Historic District and substantially conforms to the applicable conservation guidelines for buildings of a later period as the signs are reducing the number of overall signs and are generally being placed where existing signs are located.

Applicable Guidelines
REHABILITATION

BUILDINGS OF A LATER PERIOD

Buildings of a later period were generally constructed after most of the rest of the district was built and are of a different architectural character than the district due to their age and the different character of their scale, material, and detailing. The following "later period" buildings are subject to this review criteria:

4110 Hamilton

4143 Hamilton

4147 Hamilton at Spring Grove

White Castle

Standard Oil Station at Spring Grove

Additions, alterations and rehabilitation to the above buildings shall either be compatible with the style and character each possesses, or shall cause the above building to become more compatible with the district. This has significantly improved compatibility, but for the legally non-compliant ground sign.

Other Considerations:

Prehearing Results: A prehearing was held on August 31, 2016.

Comments Provided to Staff: N/A

Consistency with *Plan Cincinnati (2012)*:

"Sustain" Initiative Area "Preserve our built history"

Recommendation:

Staff recommends the Historic Conservation Board take the following actions:

I. ZONING RELIEF

- A. **APPROVE** the **Locational Variance** to allow a sign on the north elevation, a non-street fronting elevation, as per plans submitted by Atlantic Sign Company and dated July, 2016.
- B. **APPROVE** the **Numerical Variance** for 1 sign on the north elevation, a non-street fronting elevation, as per plans submitted by Atlantic Sign Company and dated July, 2016.
- C. **APPROVE** the **Dimensional Variance** to allow a sign totaling 57 sq. ft. on the north elevation, a non-street fronting elevation, as per plans submitted by Atlantic Sign Company and dated July, 2016.
- D. **FINDING:** The Board makes this determination that per Section 1435-05-4:
 - (a) Such relief from literal implication of the Zoning Code will not be materially detrimental to the public health, safety and welfare or injurious to property

- within the district or vicinity where property is located; and
- (b) Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the district.
 - (c) As the total square footage of wall signage is proximate to the total amount of wall signage within the proposal.

II. ZONING RELIEF

- A. **DENY** the **Dimensional Variance** for 123 sf on the east elevation as per plans submitted by Atlantic Sign Company and dated July 2016 to allow 156 sf sign on the east elevation and instead require that the panel be painted one color to remove the stripped pattern and therefore bring the sign into compliance with the zoning regulation of 1 sf per lineal sf of street frontage.

- B. **FINDING:** The Board makes this determination that per Section 1435-05-4:
 - (a) Such relief from literal implication of the Zoning Code will be materially detrimental to the public health, safety and welfare or injurious to property within the district or vicinity where property is located; and
 - (b) Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the district.

III. CERTIFICATE OF APPROPRIATENESS

- 1. **APPROVE** a Certificate of Appropriateness for 4147 Hamilton Avenue per plans submitted by Atlantic Sign Company and dated July 2016 including any revisions submitted for permit subject to staff review and approval with the following conditions.
 - a. The panel shall be painted one color to remove the stripped pattern and therefore bring the sign into compliance with the underlying zoning regulation of 1 sf per lineal sf of street frontage and to bring it more into character with the Historic District.

 - a) **FINDING:** The Board makes this determination per Section 1435-09-2:
 - (a) That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

ZONING HEARING EXAMINER

Application for Zoning Relief

II Centennial Plaza
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202
Monday- Friday 7:30 am- 4 pm
513-352-1559

Section 1. SUBJECT PROPERTY
 ADDRESS 124147 Hamilton Ave Cincinnati, OH 45223 COMMUNITY Northside
 PARCEL ID(S) 196-0025-0066-00
 BASE ZONING CLASSIFICATION CC-P ZONING OVERLAY (if applicable) Northside NBD 0189-1982

Section 2. APPLICANT
 NAME Atlantic Sign Company CONTACT PERSON (if legal entity) Tommy Reed
 ADDRESS 2328 Florence Ave CITY Cincinnati STATE OH ZIP 45206
 EMAIL treed@atlanticsign.com RELATIONSHIP TO OWNER (if not owner) Sign Contractor
 TELEPHONE 513-241-6775


Section 3. OWNER
 NAME Chicken Little Real Estate LLC CONTACT PERSON (if legal entity) _____
 ADDRESS 6389 Quali Hollow Rd CITY Memphis STATE TN ZIP 38120
 EMAIL _____ RELATIONSHIP TO OWNER (if not owner) _____
 TELEPHONE _____

Section 4. NATURE OF RELIEF REQUESTED. (select all that apply)
 Variance Use Variance Special Exception Conditional Use
 Expansion or Substitution of Non Conforming Use Hillside Overlay District Permission
 Urban Design Overlay District Permission DD District Phased Development Approval

Section 5. BRIEF DESCRIPTION OF PROPOSED PROJECT *(Do not write "see attached" or leave blank. You may attach a longer statement to this application if the space provided is insufficient to describe your proposed project)*
1427-37 Sign Standards for the C and UM District of City of Cincinnati zoning code. Code allows for 1 wall sign per elevation with street frontage. We are proposing 1 illum wall sign 57 SF on North elevation that has no street frontage. We are requesting allocational variance for clearance bar and order point canopy with no graphics in drive through. All other proposed signs within code.

Section 6. SUMMARY OF REASONS WHY RELIEF SHOULD BE GRANTED.
 You must provide a written statement explaining how the proposed project meets the standards for all relief requested. Separate instructions for preparing this statement are attached. If you fail to follow the instructions for your type of request, your application may be denied.

Section 7. SIGNATURE. The undersigned does hereby certify that the information provided in connection with this application is, to the best of his or her knowledge, true and correct.

Print Name Tommy Reed Signature  Date 8/12/16

July 06, 2016



SUBJECT: Plan No.: 2016P05343

Location: 4147 HAMILTON AV

Request: Commercial

Zoning District: CC-P

Commercial Community

TOMMY REED
2328 FLORENCE AVE
CINCINNATI OH 45206

Dear TOMMY REED

I have received and reviewed the subject project for compliance with the Zoning Code of the City of Cincinnati, and it is being delayed for the following reason(s):

The applicant is in violation of the regulations of § 1427-37. - Signs Standards for the C and UM Districts of the City of Cincinnati Zoning Code.

The zoning code allows for 1 sign per street frontage and 1 square foot of wall and canopy signage per lineal feet of frontage. Wall signage is only allowed on street facing elevations.

With these requirements you will be required to get the following variances.

- a. *Numerical Variance for 1 additional wall sign on the south elevation*
- b. *Numerical Variance for 1 additional wall sign on the east elevation.*
- c. *Dimensional Variance for 131 additional sf of allowable signage on the east elevation*
- d. *Locational Variance to allow signs on a non-street frontage elevation (North Façade)*
- e. *Numerical Variance to allow 2 signs on the north façade.*
- f. *Dimensional Variance for 82sf of signage on the north elevation*
- g. *Locational Variance for the Clearance Bar signage*
- h. *Numerical Variance of 1 for the Clearance Bar signage.*
- i. *Dimensional Variance for the Clearance Bar signage of 2sf.*

The Zoning Code is Title XIV of the Cincinnati Municipal Code. The Municipal Code can be accessed through a link on our department's webpage at www.cincinnati-oh.gov/planning.

You may obtain a Zoning Hearing Application Form with instructions on the City website at <http://www.cincinnati-oh.gov/planning/about-city-planning-buildings/zoning-hearing-examiner/>. If you have any questions with regards to the submission of your Zoning Hearing application and documentation, please contact me or Rodney Ringer, Senior City Planner at 513-352-4847.

All revisions to plans must be made **in person** at Buildings and Inspections, 805 Central Parkway, Suite 500. Please submit as many copies of the revisions as were submitted with the original Building Permit Application.

I will be happy to assist you with any Zoning questions or concerns you may have. Please call me at with questions or to make an appointment.

Sincerely,

A handwritten signature in black ink that reads "Beth Johnson". The signature is written in a cursive, flowing style.

Beth Johnson
Urban Conservator
513.352.4848

July 06, 2016



*Check the status of your permit via the web by using the following link:
<http://cagis.hamilton-co.org/opal/apd.aspx?QSPerm=2016P05343>



To: City of Cincinnati Planning/Zoning Dept.

From: Tommy Reed

Re: KFC/Taco Bell Proposed Signage 4147 Hamilton Ave

All,

KFC/Taco Bell is a fast food restaurant that combines two distinct types of fare under one roof. This establishment offers customers the opportunity of culinary diversity to be enjoyed in the restaurant or through the drive thru. The idea of combining two distinctly different menus under one roof is a fairly new concept that offers its customers expanded choices and offers the restaurants tremendous cost savings, as historically two separate establishments would need to be created for each to offer their original fare. In the ultra competitive world of fast food, this has almost become a necessity for these establishments to combine in order to maintain their respective niche and keep up with their competitors. One of the obstacles in combining restaurants happens to be the branding of each establishment. KFC and Taco Bell each need representation and advertisement of their services whether they each had their own building, or were combined as in this particular case. As you know unique branding is paramount in advertising these restaurants; McDonalds has the golden arches, Arby's has the ten gallon hat, Taco Bell has the swinging bell, and KFC has the Colonel. These images are synonymous with these institutions; I cannot overstate how integral the branding is for each, which brings us to our proposed signage for this KFC/Taco Bell location.

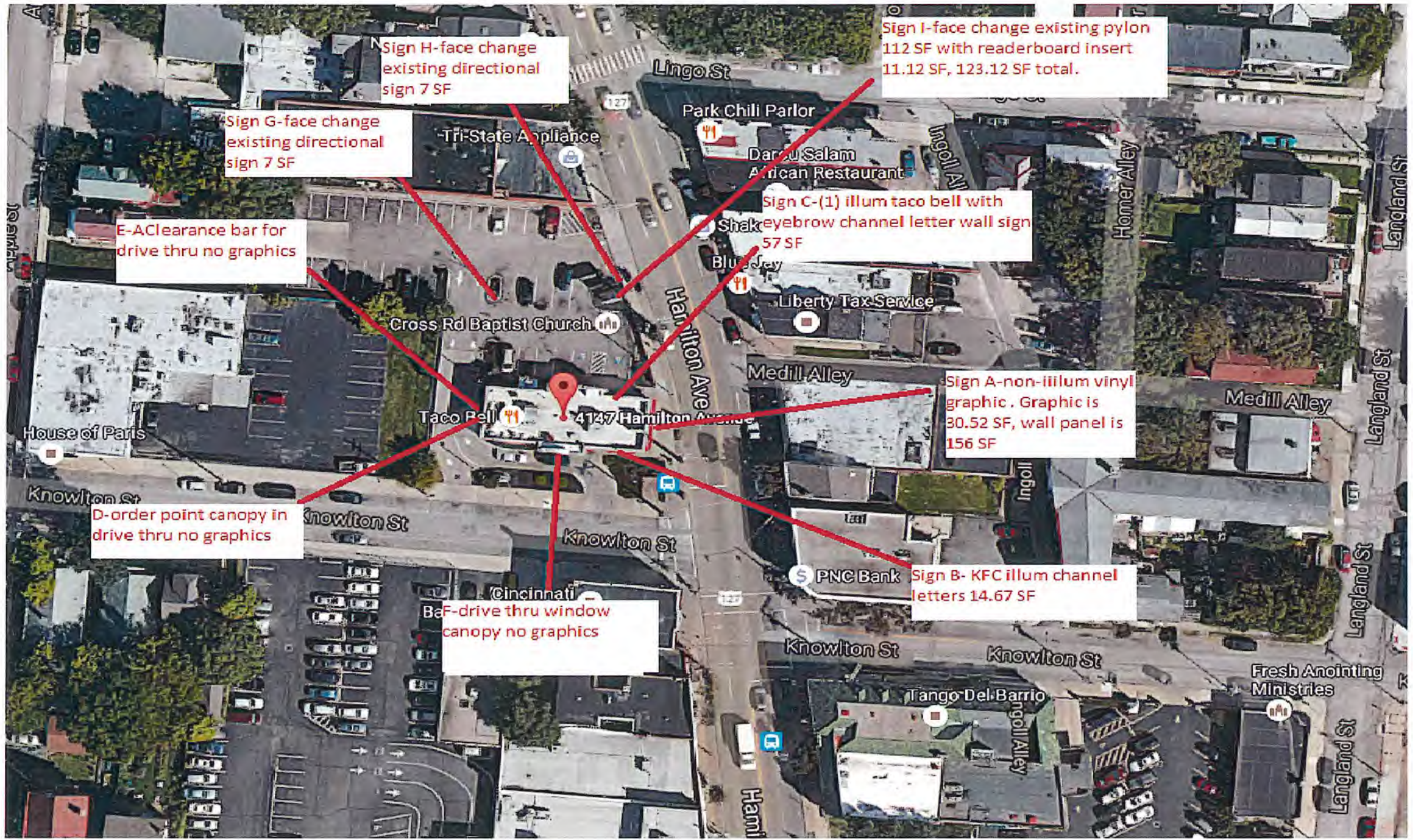
KFC and Taco Bell are in the middle of a national rebranding campaign. In order for each of these restaurants to make the most of the rebranding, it would be necessary to seek relief from the zoning code for this parcel. We are asking for dimensional and numerical relief from the number of and square footage allotment of wall signage on three elevations. The existing code allows for only one wall sign per elevation that is street facing, and a one to one ratio of square footage allowed per each lineal foot of



street facing frontage. The front East elevation facing Hamilton Ave is 33 lineal feet, and we are proposing 1 wall sign totaling 54 SF, which is within code. The North entry side elevation with no street frontage is 84 lineal feet, and we are proposing 1 wall sign totaling 57 SF, which is not allowed by code. The South drive thru side facing Knowlton St is also 84 lineal feet and we are proposing 1 wall signs totaling 14.67 SF, which is within code. We are also asking for a numerical and dimensional variance for the allowance of the order point canopy in the drive through that contains no signage. We are also proposing the allowance of 1 clearance bar in the drive thru with no advertising signage, only the height of vehicles allowed through the drive thru. Due to the nature of how this building is located on this parcel, and how Hamilton Ave is situated we feel that we should be allowed to have the signage on the North elevation that has been deemed as not having street frontage. We feel that if code was followed that the duality of this restaurant could not be adequately advertised which would result in a financial loss in unrecognized revenues as customers may not realize the duality of the restaurant. We also feel that if code were to be followed in this instance that this building would not conform to the intent of the national rebranding campaign. The allowance of our requests would in no way, shape or form cause any financial harm to any neighboring businesses, or physical harm to any member of the general public.

We appreciate your consideration in this matter, and appreciate your efforts.

Thanks,
Tommy Reed



Sign H-face change
existing directional
sign 7 SF

Sign G-face change
existing directional
sign 7 SF

E-A Clearance bar for
drive thru no graphics

Sign I-face change existing pylon
112 SF with readerboard insert
11.12 SF, 123.12 SF total.

Sign C-(1) illum taco bell with
eyebrow channel letter wall sign
57 SF

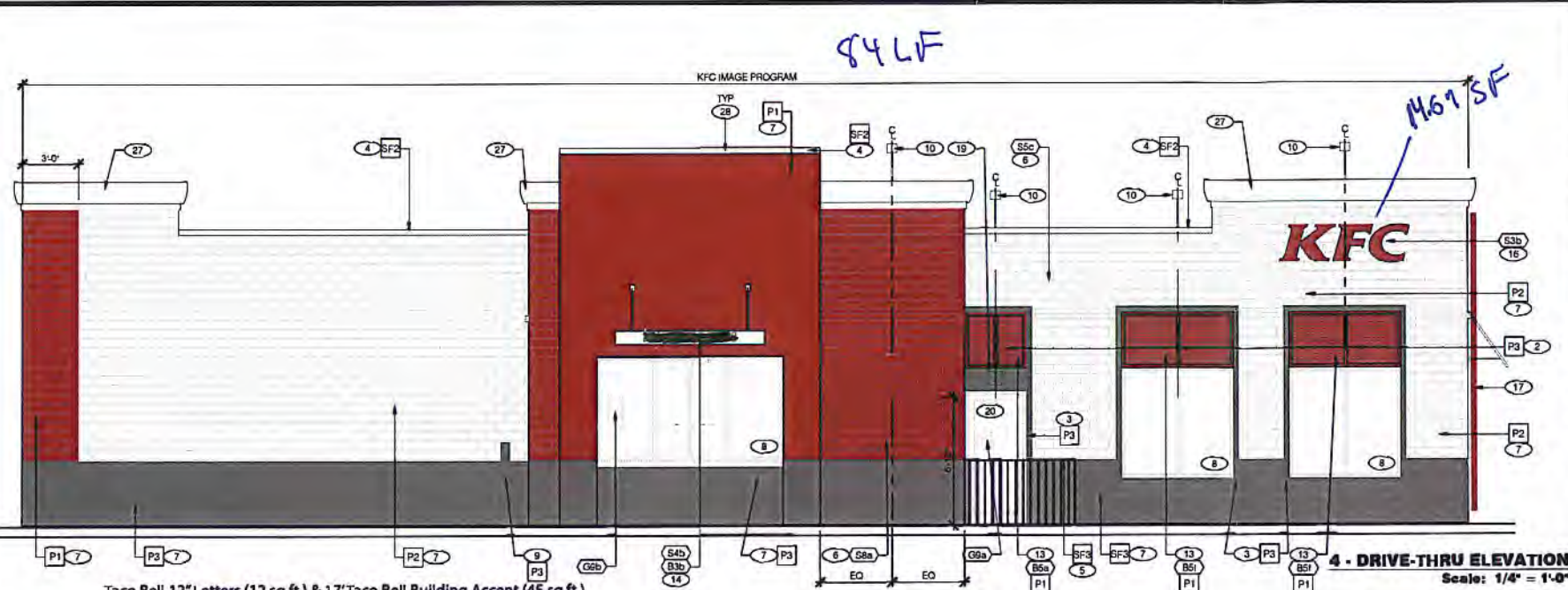
Sign A-non-illum vinyl
graphic. Graphic is
30.52 SF, wall panel is
156 SF

D-order point canopy in
drive thru no graphics

Sign B- KFC illum channel
letters 14.67 SF

F-drive thru window
canopy no graphics

THIS DOCUMENT IS THE PROPERTY OF CESA. IT IS TO BE USED ONLY FOR THE PROJECT AND LOCATION SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CESA. PLOTTED Wednesday, May 20, 2015 10:21 AM



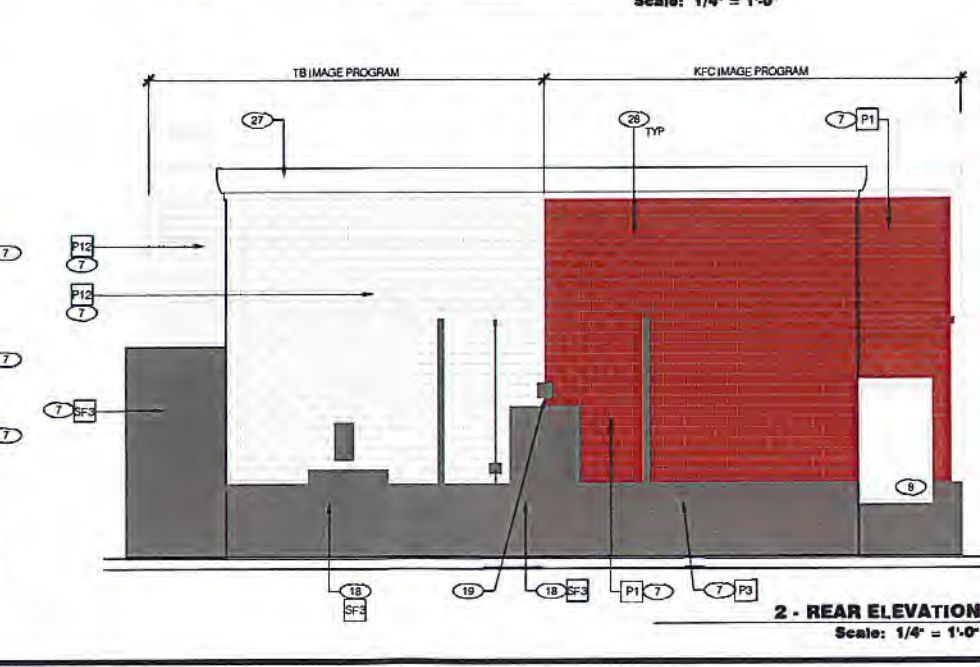
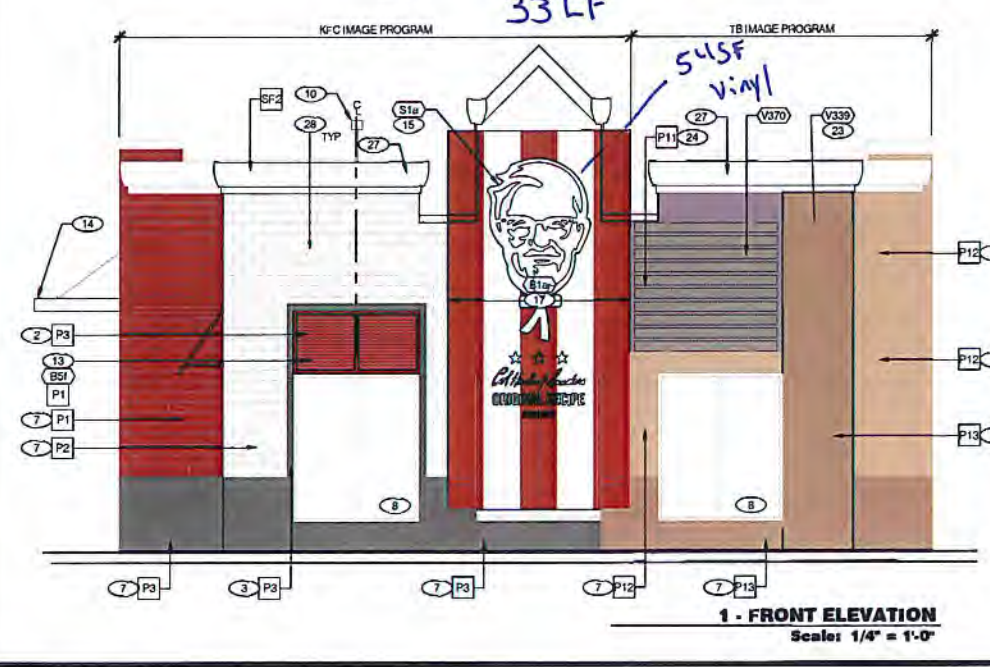
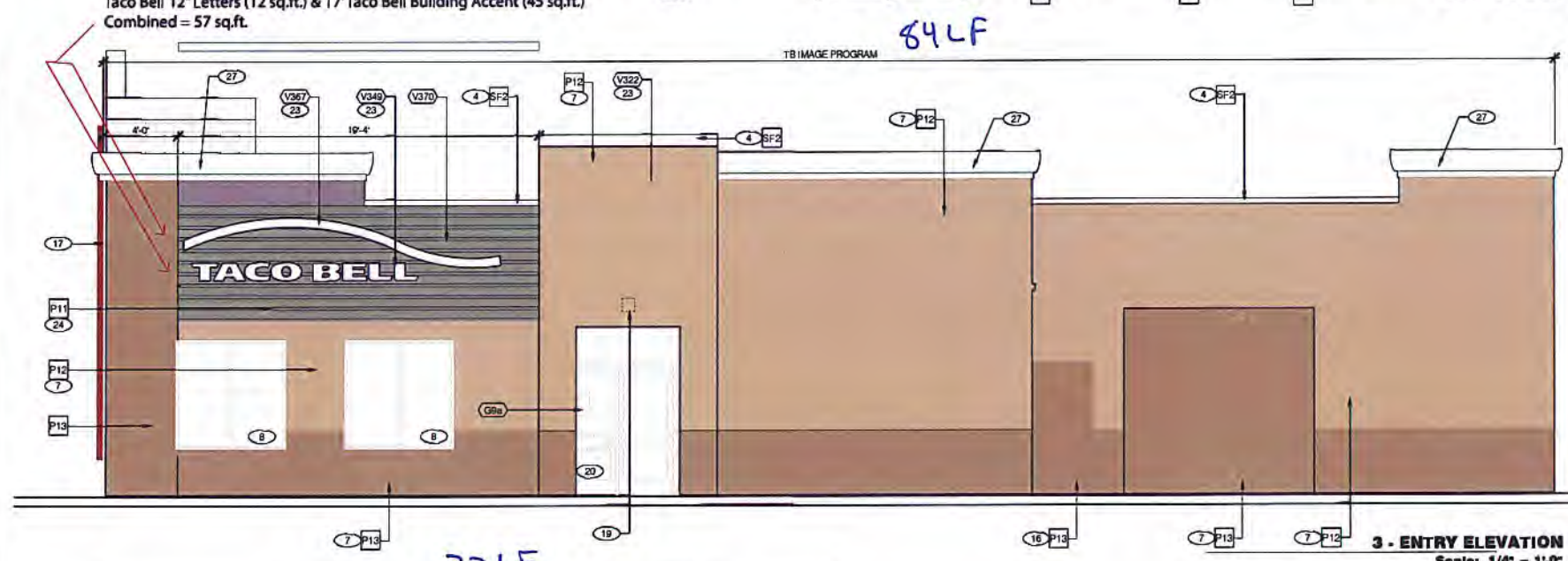
SIGNAGE			ELEC
TAG	QTY.	ITEM DESCRIPTION	
S1a	1	VINYL LOGO/GRAPHICS FOR TOWER PANEL - FULL HT.	
S1b	1	VINYL LOGO/GRAPHICS FOR TOWER PANEL - HALF HT.	
S3a	1	KFC CHANNEL LETTER FACE - 6" RED	X
S3b	1	KFC CHANNEL LETTER FACE - 24" RED	X
S3c	1	KFC CHANNEL LETTER FACE - 48" WHITE	X
S4a	1	'REAL MEALS TO GO' DIMENSIONAL LETTERS FOR 15' DT CANOPY	
S5a	1	'WORLD FAMOUS CHICKEN' LETTERS - 48" DIMENSIONAL PAINT	
S5b	1	'WORLD FAMOUS CHICKEN' 18" LETTERS - PAINT	
S5c	1	'WORLD FAMOUS CHICKEN' 12" LETTERS - PAINT	
S5d	1	'WORLD FAMOUS CHICKEN' STACKED LETTERS (PAINT)	
S6a	1	'HARD WAY' PAINT TEMPLATE - 57" ROUND	
S6b	1	'HARD WAY' PAINT TEMPLATE - 66" ROUND	
S6c	1	'HARD WAY' PAINT TEMPLATE - 74" ROUND	
S6d	1	'HARD WAY' PAINT TEMPLATE - HORIZONTAL	
G0a	2	STORE HOURS - ENTRY	
G0b	1	STORE HOURS - DT WINDOW	

FINISH SCHEDULE			
MARK	LOCATION	MFG / CONTACT	MODEL # / COLOR
P1	EXTERIOR PAINT	BELMONT MOORE	DOROTHY HAZEN P. (800) 625-5147 ext. 1841 C. (330) 353-3830 dorthy.hazen@belmontmoore.com
P2	EXTERIOR PAINT	BELMONT MOORE	DOROTHY HAZEN P. (800) 625-5147 ext. 1841 C. (330) 353-3830 dorthy.hazen@belmontmoore.com
P3	EXTERIOR PAINT	BELMONT MOORE	DOROTHY HAZEN P. (800) 625-5147 ext. 1841 C. (330) 353-3830 dorthy.hazen@belmontmoore.com
P11	EXTERIOR PAINT	SHERWIN WILLIAMS	BRAD HARRINGTON 219-8373 brad.harrington@shwin.com
P12	EXTERIOR PAINT	SHERWIN WILLIAMS	BRAD HARRINGTON 219-8373 brad.harrington@shwin.com
P13	EXTERIOR PAINT	SHERWIN WILLIAMS	BRAD HARRINGTON 219-8373 brad.harrington@shwin.com
SP2	EXTERIOR METAL	MATTHEWS PAINT	DOROTHY HAZEN P. (800) 625-5147 ext. 1841 C. (330) 353-3830 dorthy.hazen@belmontmoore.com
SP3	EXTERIOR METAL	MATTHEWS PAINT	DOROTHY HAZEN P. (800) 625-5147 ext. 1841 C. (330) 353-3830 dorthy.hazen@belmontmoore.com
SP7	EXTERIOR METAL	BELMONT MOORE	DOROTHY HAZEN P. (800) 625-5147 ext. 1841 C. (330) 353-3830 dorthy.hazen@belmontmoore.com
SP8	EXTERIOR METAL	SHERWIN WILLIAMS	BRAD HARRINGTON 219-8373 brad.harrington@shwin.com
SP17	EXTERIOR METAL	BORAL	GENE GUSTON 341-9358 EXT 115

GENERAL NOTES

- G.C. TO PROVIDE VERIFICATION OF EXISTING STRUCTURAL ATTACHMENTS FOR NEW BUILDING ELEMENTS. IF REQUIRED PROVIDE ADDITIONAL BLOCKING PER VENDORS RECOMMENDATION
- KFC SIGNAGE & STENCILS BY OTHERS - UNDER SEPARATE PERMIT
- AWNINGS BY OTHERS
- KFC EXTERIOR BUILDING SIGNAGE IS A SUBJECT ON A DIFFERENT PERMIT AND WILL BE COMPLETED BY A DIFFERENT CONTRACTOR

FINISH NOTES - KFC/ TACO BELL



- NEW METAL EXTERIOR LIGHT FIXTURES (INSTALLED ABOVE EXISTING CEILING)
- PAINT WALL SURFACE BEHIND NEW AWNINGS
- PAINT 4" WIDE BORDER WINDOW SURROUND AS INDICATED
- EXISTING PARAPET COPING TO BE PATCHED, SEALED AND PAINTED
- EXISTING RAILING TO BE PAINTED SF-3
- STENCIL PAINTED GRAPHIC ELEMENT
- NEW EXTERIOR PAINT TREATMENT
- EXISTING WINDOWS
- EXISTING BOLLARD
- NEW PRE-FINISHED EXTERIOR LIGHT FIXTURE CENTERED ON WINDOW AND/OR GRAPHIC, OTHERWISE AS INDICATED IN ELEVATION. PATCH AND REPAIR ROOF MEMBRANE AT FIXTURE ATTACHMENT POINT
- REINSTALL ADDRESS NUMBERS AFTER PAINTING
- NEW SIGNAGE ACCENT LIGHT FIXTURE. REFER TO LIGHT FIXTURE SCHEDULE
- NEW PRE-FINISHED METAL LOUVERED AWNINGS (AWNINGS ABOVE DOORS TO HAVE RAIN DIVERTERS)
- NEW DRIVE-THRU CANOPY
- NEW SIGN APPLIED TO STAND OFF METAL PANEL SYSTEM
- NEW KFC INDIVIDUAL SIGN LETTERS
- NEW METAL PANEL SYSTEM ATTACHED TO AND HELD OFF EXISTING TOWER. TOP OF PANELING TO ALIGN WITH BOTTOM OF COPING
- PAINT EXISTING EXTERIOR DOOR, FRAME AND BUILDING MOUNTED EQUIPMENT
- NEW EXTERIOR WALL LIGHT, M-3
- EXISTING STOREFRONT DOOR SYSTEM
- NEW DEVELOPED TOWER GAP ATTACHED TO AND HELD OFF EXISTING TOWER
- NEW BUILT-UP TOWER GULLAR WITH PRE-FINISHED METAL GARD
- NEW TACO BELL BRAND SIGNAGE
- PAINT WALL SURFACE BEHIND SLAT WALL
- NEW PRE-FINISHED PARAPET BLOCKING & GAP, SF-2
- NEW DRIVE-THRU
- EXISTING PRECAST COPING TO REMAIN
- PRESSURE WASH EXTERIOR, PATCH AND REPAIR AS REQUIRED, PREP. FOR NEW FINISHES

BUILDING EXTERIOR ELEMENTS - KFC/ TACO BELL			
TAG	QTY.	ITEM DESCRIPTION	ELEC
B1a	1	TOWER PANEL WITH LOGO AND GRAPHICS - FULL HEIGHT WITH EXTENDER	
B1b	1	TOWER PANEL WITH LOGO AND GRAPHICS - HALF HT.	
B2	1	TOWER LID / CANOPY	
B3a	1	DT WINDOW CANOPY - 8" WIDE	X
B3b	1	DT WINDOW CANOPY - 8" WIDE	X
B5a	1	SHUTTERED AWNING - 3'-4" WIDE	
B5b	1	SHUTTERED AWNING - 4'-0" WIDE	
B5c	1	SHUTTERED AWNING - 4'-0" WIDE	
B5d	1	SHUTTERED AWNING - 4'-0" WIDE	
B5e	1	SHUTTERED AWNING - 4'-0" WIDE	
B5f	3	SHUTTERED AWNING - 6'-0" WIDE	
B5g	1	SHUTTERED AWNING - 2'-0" WIDE	
B5h	1	SHUTTERED AWNING - 2'-0" WIDE	
B5i	1	SHUTTERED AWNING - 2'-0" WIDE	
B5j	1	SHUTTERED AWNING - 2'-0" WIDE	
V-318	1	TACO BELL 4'-0" x 9'-2" CANOPY	X
V-322	1	TACO BELL 'SWINGING BELL SIGN	X
V-339	1	TACO BELL 'SWINGING BELL SIGN	X
V-349	2	12" HIGH TACO BELL LETTER SET	X
V-367	2	TACO BELL BUILDING ACCENT	X
V-370	2	TACO BELL SLAT WALL SYSTEM S. AT AND LOUVER CUSTOM SIZE/ HEIGHT. SEE DIMS	X

PRELIMINARY NOT FOR CONSTRUCTION

This document is partially complete. The information contained is not necessarily guaranteed or warranted. This drawing is for review purposes only.



cesq

CREATION TO COMPLETION
8334 Yankee Street, Suite 28 Dayton, Ohio
Phone: 937-438-0004 Fax: 937-438-3307

TEMPLATE VERSION
RELEASE 1.0
JULY 2015

REVISION	Mark	Date	By

PROJECT TITLE
PERMIT SET
"K-30 VISION 2015 TO AMERICAN SHOWMAN"
INCENTIVE SCOPE
4147 Hamilton Ave
CINCINNATI, OH 45223
COMMISSION NO. J470009

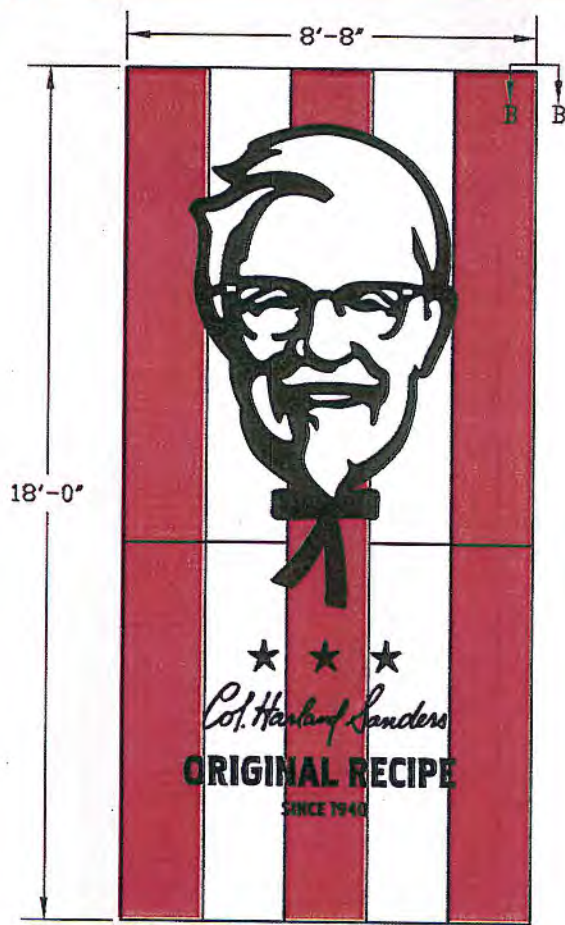
ISSUE DATE 05/25/2016
SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NO.
A-2.0

Sign A East Front Elevation

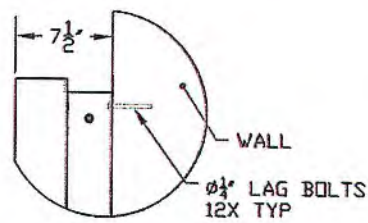
Yum! Brands.

FULL HEIGHT TOWER PANEL

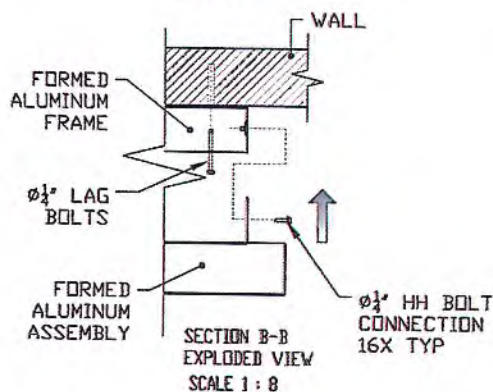


GRAPHIC SHOWN FOR REFERENCE

FRONT ELEVATION



DETAIL A SCALE 1 : 8



SECTION B-B EXPLODED VIEW SCALE 1 : 8

Graphic = 30.52 SF
Entire panel = 156 SF

SPECIFICATIONS

- COLOR NOTES:
- ALUMINUM PANEL - PRE-PAINTED BENJAMIN MOORE EXOTIC RED 2086-10 KYNAR SATIN 631.
 - ALUMINUM PANEL - POWDER COATED BENJAMIN MOORE WEDDING VEIL 2125-70 SATIN 631



GRAPHIC SHOWN FOR REFERENCE



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CUSTOMER APPROVAL:

DATE: _____

REV	DATE	BY	REV	DATE	BY
Rev #1	_____	_____	Rev #4	_____	_____
Rev #2	_____	_____	Rev #5	_____	_____
Rev #3	_____	_____	Rev #6	_____	_____



PART # 300-AS-TWR-PNL-FH

DRAWING NO:

02372C

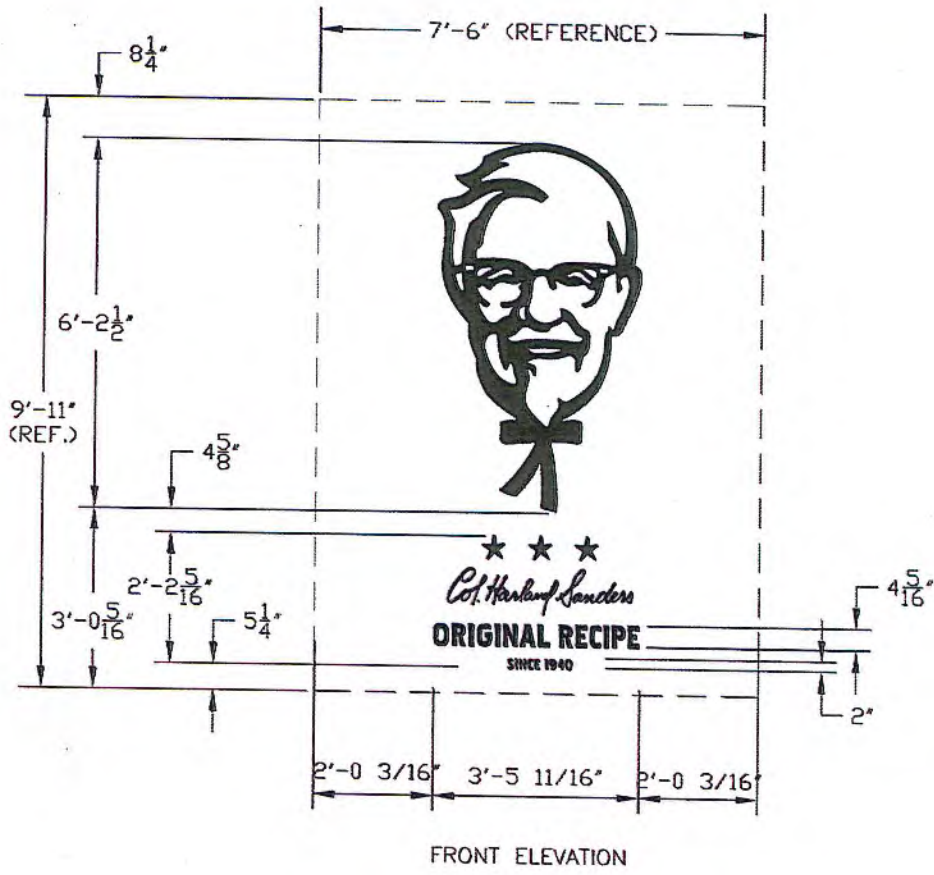
DATE: 3-1-2018

B. Howka

Sign A East

Yum! Brands.

TOWER GRAPHICS



SIGN SPECIFICATIONS

Materials

- COLONEL IMAGE BACKGROUND:
3M 7725-30 MATTE WHITE FILM.
- COLONEL IMAGE SHADOWS & OUTLINES & TEXT:
3M 3632GPS-22 BLACK OPAQUE FILM
- FILM TO BE ON TRANSFER PAPER TO BE SHIPPED TO SITE & INSTALLED.



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CUSTOMER APPROVAL:

DATE: _____

REV #	DATE	BY	REV #	DATE	BY
Rev #1	_____	_____	Rev #4	_____	_____
Rev #2	_____	_____	Rev #5	_____	_____
Rev #3	_____	_____	Rev #6	_____	_____



PART # 300-AS-TWR-VINYL-HH



DRAWING NO:

82292B

DATE: 3-1-2018

S. Hanke

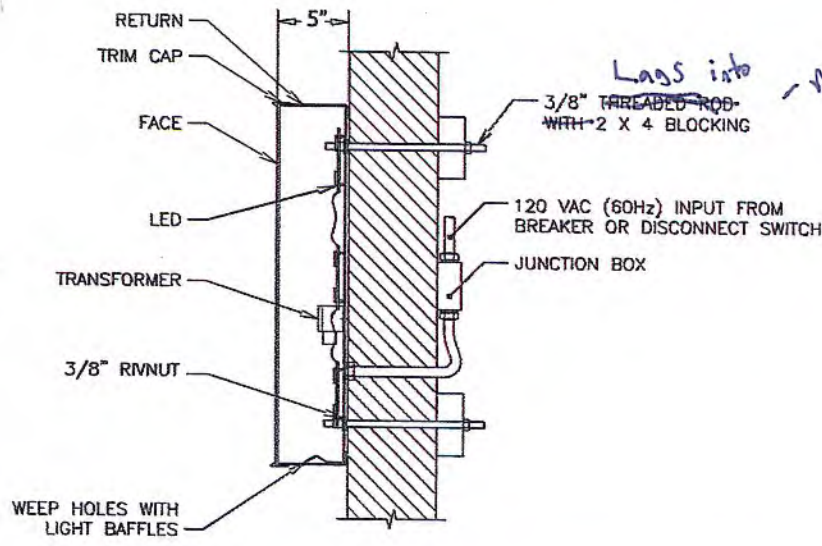
Sign B

South Drive Thru Elevation

Yum! Brands.

24" ILLUMINATED LETTER SET

14.67 SF



SIGN SPECIFICATIONS

Materials

- .150 #7328 WHITE ACRYLIC WITH 3M 3630-53 RED VINYL APPLIED TO FIRST SURFACE.
- 1" GREY JEWELITE TRIM CAP
- RED LED ILLUMINATION
- .063 ALUMINUM BACKS PAINTED TO MATCH RETURNS
- .050 ALUMINUM RETURNS PAINTED KFC GREY.
- REGISTRATION MARK .125 ALUMINUM PAINTED WHITE WITH 3M 3630-53 RED SCOTCHCAL APPLIED 1ST SURFACE.

ELECTRICAL:

TOTAL AMPS: .9 A
 TOTAL CIRCUITS: (1) 20 AMP
 VOLTS: 120V



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CUSTOMER APPROVAL:

DATE: _____ BY: _____
 DATE: _____ BY: _____

Rev. #1	DATE	BY	Rev. #4	DATE	BY
Rev. #2			Rev. #5		
Rev. #3			Rev. #6		



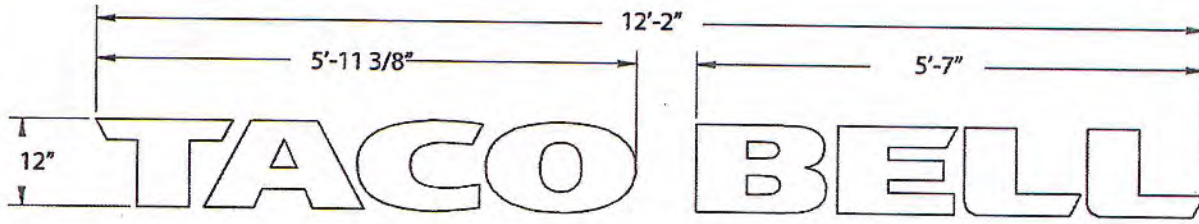
PART # 300-AS-CL24-RED-SC

DRAWING NO:
82284B
 DATE: 3-1-2010
 B. Hawke

Sign North Entry Elevation



CHANNEL LETTER SET

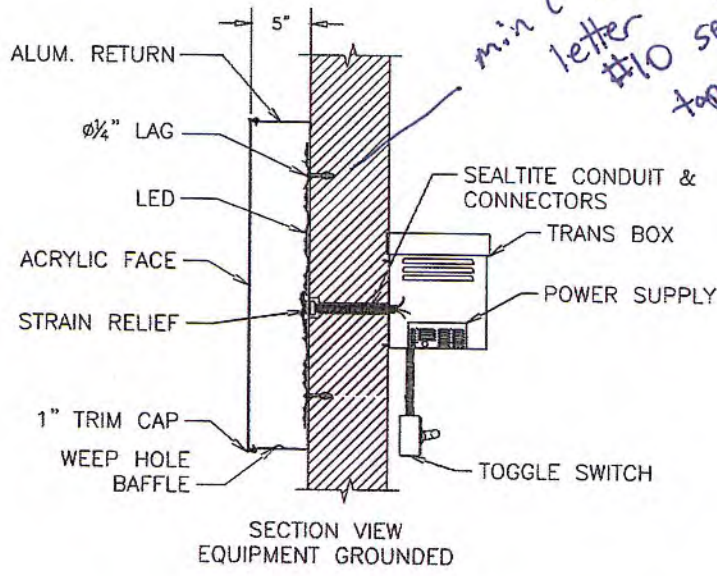


SIGN SPECIFICATIONS

- Materials**
- Return: Aluminum
 - Face: Flat acrylic with 1" white trimcap.
- Decoration**
- Return: Painted White

ELECTRICAL SPECIFICATIONS

- Illumination**
- White LED's
- Electronic**
- Ballast: t.b.d.
- Line Load**
- Amps: t.b.d.
 - Circuits: (1) 20 amp
 - Volts: 120



min (4) per letter #10 self tapping tek screws

12.17 SF

PART # 823-NI-12-CL-WHITE



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CUSTOMER APPROVAL:

DATE: _____

REV.	DATE	BY	DATE	BY
Rev. #1	4-21-2014	S.H.	Rev. #4	
Rev. #2	3-9-2016	S.H.	Rev. #5	
Rev. #3			Rev. #6	



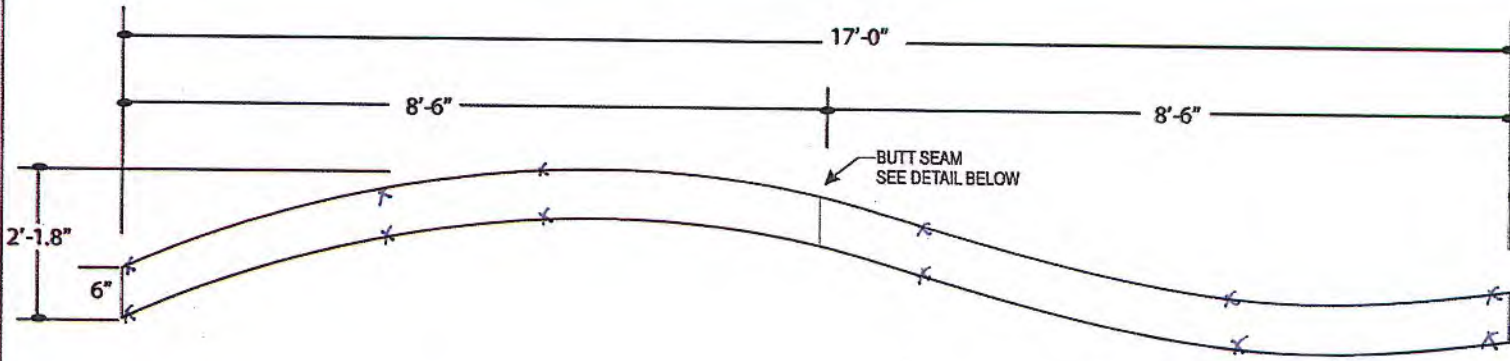
DRAWING NO:
71562.01

DATE: 1-18-2013
S. Hawke

Sign C = North Entry Elevation

Yum! Brands.

BUILDING ACCENT



SIGN SPECIFICATIONS

SIGN
ID FACE
 Substrate: 7328 white polycarbonate
 Trimcap (White) 1" Jewelite

CABINET
 Aluminum returns with white finish and back.
 (2 piece can with field connection)

ELECTRICAL SPECIFICATIONS

ILLUMINATION

Internal LED

AREA

Squarefoot: 36.5

CURRENT

8 amps

CIRCUIT

(1) 20-amp -120V

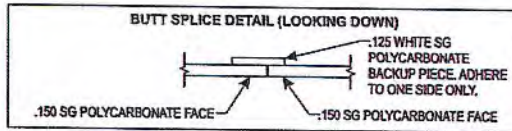
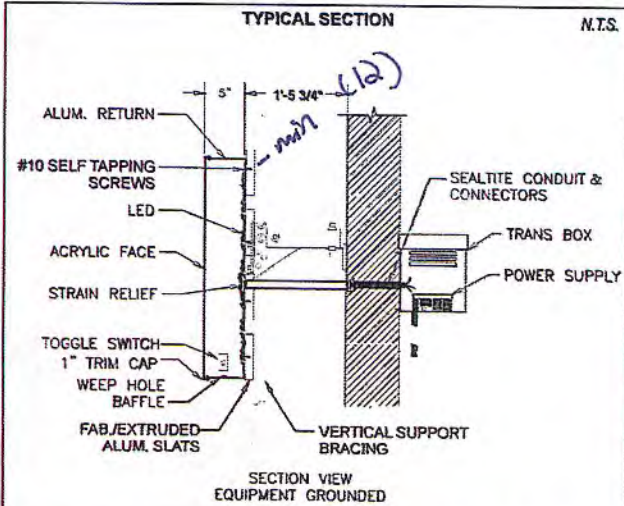
FACE COLORS (SILK-SCREENED)

- Spray In Violet LB-7917
- Spray In Magenta LB-7837
- Spray In Yellow LB-7836
- Spray In White 801

EXPOSED METAL COLOR (PAINTED)

- To match Spray In Violet LB-7917

36.5 SF



SEAL ALL WALL PENETRATIONS TO PREVENT WATER INTRUSION AS FOLLOWS: INSTALL BUSHING AFTER E.P.S. APPLICATION HAS HARDENED. DRILL HOLE SLIGHTLY LARGER THAN BUSHING THROUGH INSULATION ONLY. STOP AT PLYWOOD. CAULK OPENING PRIOR TO INSERTING FASTENER TO SEAL PENETRATION.

PART # 823-NI-ACCENT-17



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CUSTOMER APPROVAL:

DATE: _____

REV	DATE	BY	DATE	BY
Rev. 01	3-9-2016	S.H.	Rev. 04	
Rev. 02			Rev. 05	
Rev. 03			Rev. 06	



DRAWING NO:
75979.02C
DATE: 4-16-2014
S. HAWKE

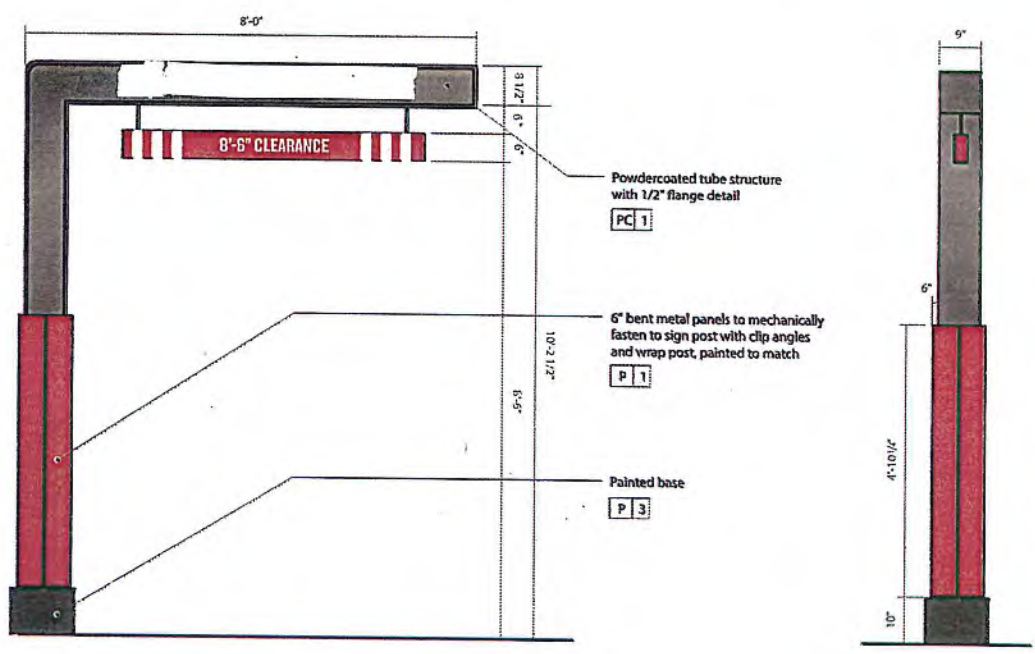
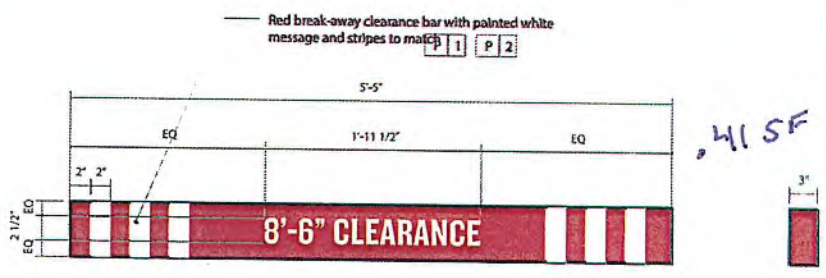
Sign

E

Drive Thru Component



DRIVE THRU CLEARANCE BAR (NEW)



NEED TO SPECIFY COLORS

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		<p>Rev #1</p> <p>Rev #2</p> <p>Rev #3</p>	<p>Rev #4</p> <p>Rev #5</p> <p>Rev #6</p>		

D Drive Thru Component

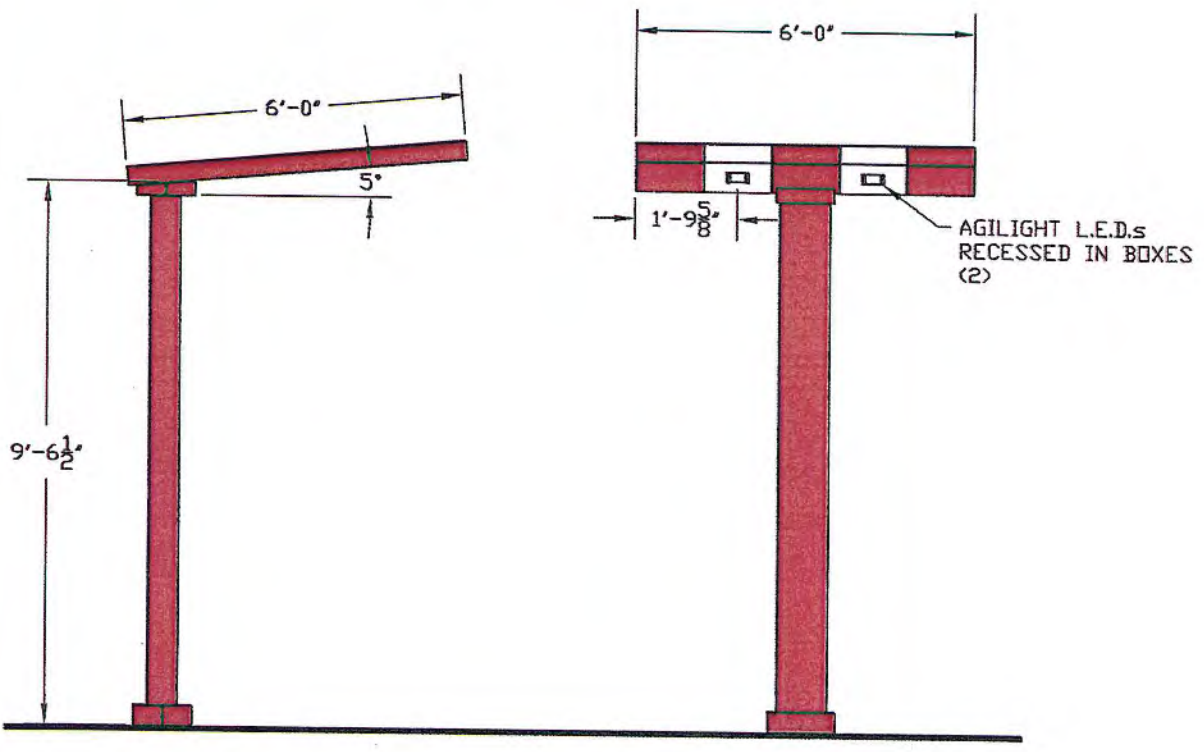


ORDER POINT CANOPY

SIGN SPECIFICATIONS

- ALUMINUM PANEL PRE-PAINTED BENJAMIN MOORE EXOTIC RED 2086-10 KYNAR SATIN 631.
- ALUMINUM PANEL PRE-PAINTED BENJAMIN MOORE WEDDING VEIL 2125-70 SATIN 631.

ELECTRICAL:
 TOTAL AMPS: .9A
 TOTAL CIRCUITS: (1) 20 AMP
 VOLTS: 120V



<p>THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED FOR YOUR PERSONAL USE IN CONNECTION WITH A PROJECT PLANNED FOR YOU BY CUMMINGS SIGNS. IT IS NOT TO BE SHOWN OUTSIDE YOUR ORGANIZATION NOR USED, REPRODUCED, COPIED, OR DISTRIBUTED IN ANY MANNER UNLESS AUTHORIZED IN WRITING BY AN OFFICER OF CUMMINGS SIGNS.</p>	CUSTOMER APPROVAL: _____ DATE: _____	DATE _____ BY _____ DATE _____ BY _____ DATE _____ BY _____	PART # 300-AS-ORDER-PT-CNPY
		DRAWING NO: 82375D DATE: 9-3-2016 B. Howka	

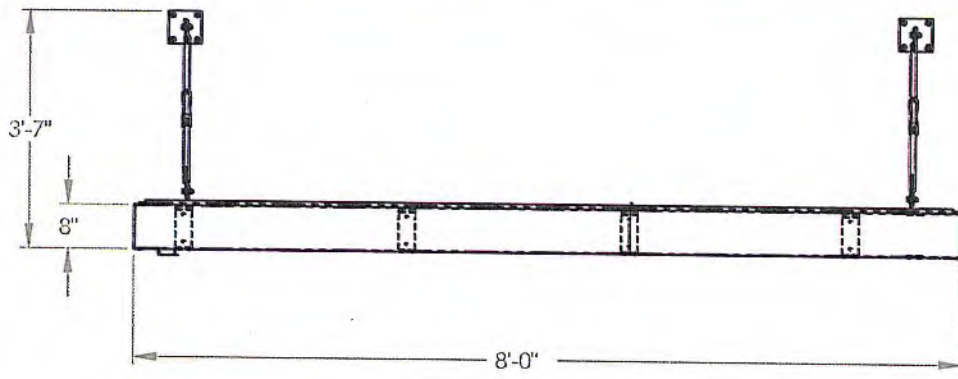
F

South Drive Thru Elevation

Drive thru window canopy, no graphics

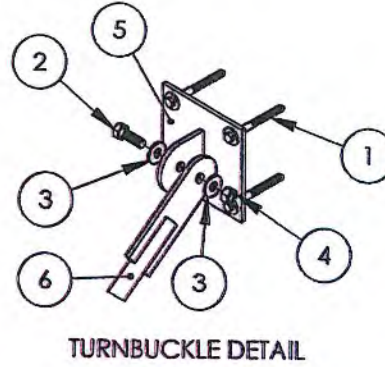
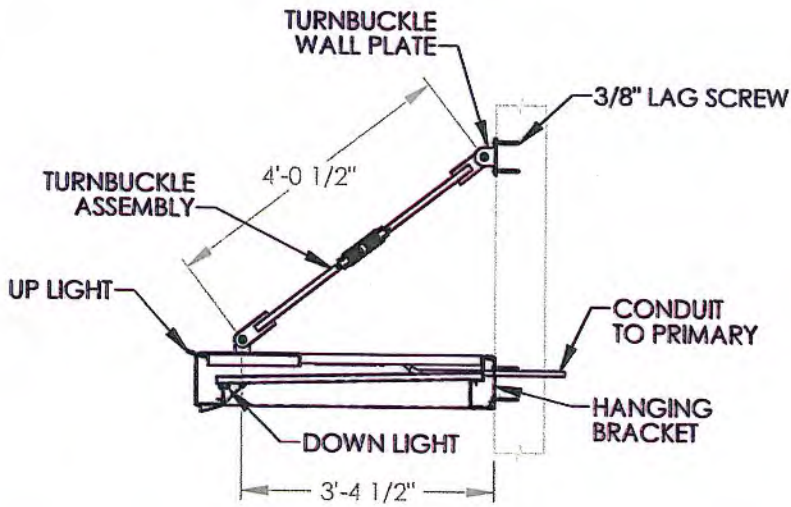
Yum! Brands.

DRIVE THRU WINDOW CANOPY



SIGN SPECIFICATIONS

- ALUMINUM CANOPY, STEEL TURNBUCKLES & WALL PLATES POWDER COATED BENJAMIN MOORE WEDDING VEIL 2125-70 SATIN 631.
- LED DOWNLIGHTING.



ARTWORK SHOWN FOR PRESENTATION PURPOSES ONLY.
ACTUAL SIZE & DESIGN MAY VARY.
NOT FOR MANUFACTURING.

PART # 300-AS-8FT-DT-CNPY



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REV	DATE	BY	REV	DATE	BY
Rev #1			Rev #4		
Rev #2			Rev #5		
Rev #3			Rev #6		



DRAWING NO:

82375A2

DATE: 4-11-2016

S. Hawke

AMERICAN SHOWMAN

Signage Recommendation

COMMENTS

- (1) 8' x 14' DOUBLE FACE PYLON SIGN. **F**
- (2) 2' x 3'6" DOUBLE FACE DIRECTION SIGNS. **H**

Face Changes

Pylon = 112 SF face +
 11.12 SF readerboard
 insert for
 123.12 SF total

(2) Directional signs = 7 SF each,
 14 SF total

112 SF

7 SF

EXISTING



PROPOSED **F**



EXISTING



PROPOSED **H**



EXISTING



PROPOSED **H**



Job Location: J470009 - 4147 HAMILTON AVENUE, CINCINNATI OHIO
 4147 HAMILTON AVE.
 CINCINNATI, OH
 Date: 5/23/2016



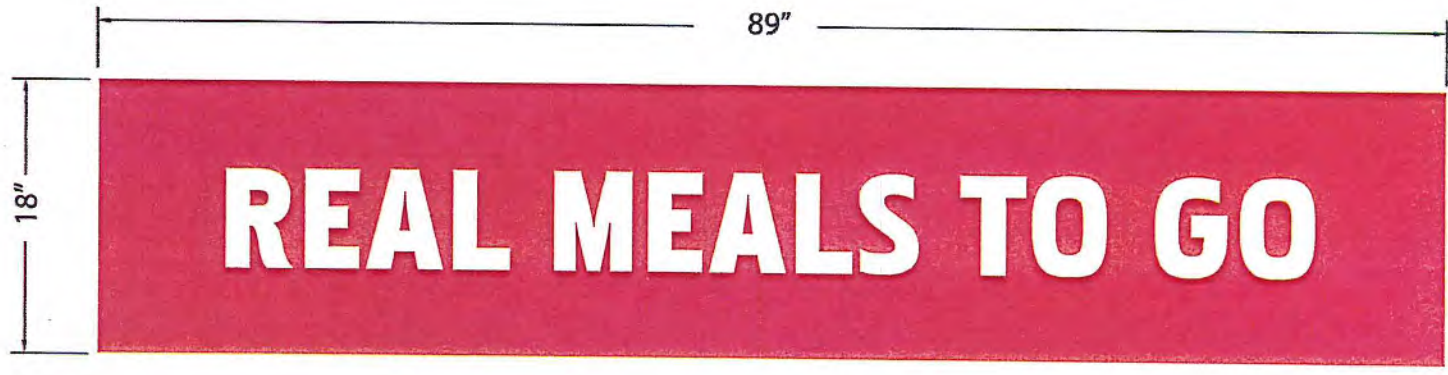
Sign M readerboard insert



SIGN SPECIFICATIONS

Materials

- .093 CLEAR POLYCARBONATE FACE WITH 3M 3630-143 POPPY RED VINYL FILM APPLIED TO 2ND SURFACE.



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CUSTOMER APPROVAL:

DATE: _____

Rev.	DATE	BY	Rev.	DATE	BY
Rev. #1	_____	_____	Rev. #4	_____	_____
Rev. #2	_____	_____	Rev. #5	_____	_____
Rev. #3	_____	_____	Rev. #6	_____	_____



PART # 300-AS-18X91-RMTG

DRAWING NO:
82372A
DATE: 5-1-2016
S. Howka