

HISTORIC CONSERVATION BOARD AGENDA

5th Floor Conference Room
805 Central Ave, II Centennial

Monday, September 12, 2016 at 3:00 pm

CALL TO ORDER

DISCUSSION ITEMS:

Item 1. 524 Milton Street The applicant requests a Certificate of Appropriateness to rehabilitate an existing structure and to construct roof deck and integral garage in the Prospect Hill Historic District.

Applicant: Beck Architecture

Owner: Justin Jones. Contract to purchase by David Gaudio and Amy Roberts

Staff Report: Beth Johnson

Item 2. 12 East 13th Street The applicant requests a Certificate of Appropriateness to construct a rear addition with an outdoor patio and to introduce a storefront entrance to the façade in the Over-the-Rhine Historic District.

Applicant: Drawing Department

Owner: WFOUR LLC

Staff Report: Beth Johnson

Item 3. 1701 Elm Street The applicant requests a Certificate of Appropriateness to construct a new five-story mixed use structure to be located on the northwest corner of Liberty Street and Elm Street in the Over-the-Rhine Historic District. This case was postponed from 7/25/16 to 8/22/16, and then 8/22/16 to 9/12/16.

Applicant: 224 W Liberty Block LLC

Owner: 224 W Liberty Block LLC

Staff Report: Beth Johnson

OTHER BUSINESS

ADJOURN

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

APPLICATION #:
APPLICANT: Beck Architecture
OWNER: David Gaudi and Amy Roberts
ADDRESS: **524 Milton Street, Cincinnati OH 45202**
PARCELS: 086-0001-0069
ZONING: Residential Multi-Family (RM 1.2)
OVERLAYS: Prospect Hill Historic District
COMMUNITY: Over the Rhine
REPORT DATE: August 30, 2016
HEARING DATE: Prehearing August 17, 2016
STAFF REVIEW: Beth Johnson, Urban Conservator

Nature of Request:

The applicant is requesting a Certificate of Appropriateness for a roof deck, changes to the front stairs/entrance, and a new opening in the stone wall for a garage entrance.

Existing Conditions:

The building is a two story brick Italianate residential building located on the north side of Milton Street. The house was built circa 1870 and is mid-block between Young Street and Highland Avenue.



Figure 1: 524 Milton Street. Picture provided by applicant.

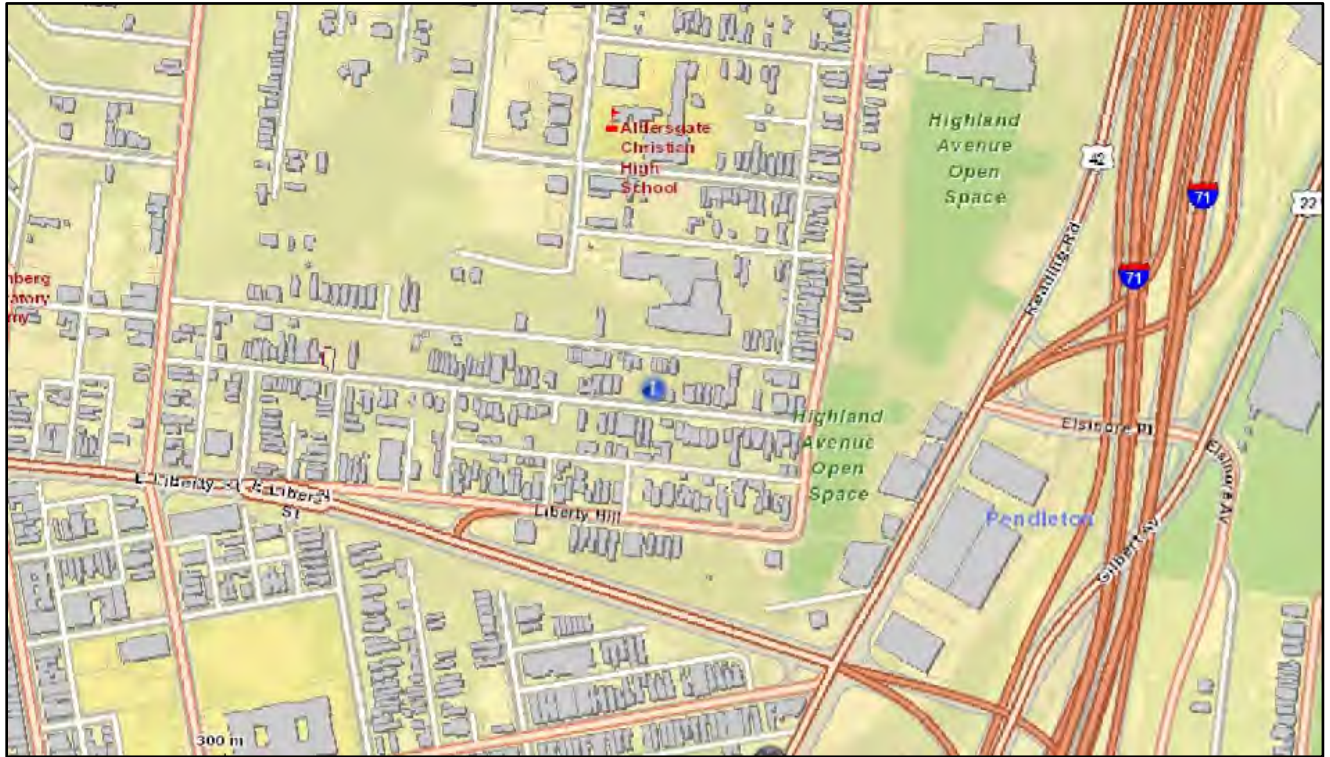


Figure 2: Map of 524 Milton Street. Map provided by Cagis Maps

Proposed Conditions:

The proposal is to construct a roof deck, changes to the front stairs/entrance and a new garage door opening in the stone wall.

The new construction will feature the following:

1. New garage door opening in the front elevation stone wall, reusing the removed field stone to face other new sections created in the rehab. The garage door will be a metal paneled garage door.
2. Reorient the stairs on the front to adjust for the removal of part of the patio for the garage.
3. Remove the western part of the roof for a recessed south facing roof deck. The cornice and chimney will remain in place. They will be using Pella double hung aluminum clad wood windows and a pella sliding glass door. The finished exterior walls will be stucco.
4. Restoration work on the façade including rebuilding and repairing existing windows.

Previous Reviews: On August 25, 2014, the Historic Conservation Board approved a COA for a garage door using a carriage style garage door, a rear elevator shaft, a full width south facing roof deck was approved, and reorientation of the front stairs was approved, 7-0, with the following conditions:

- 1) Lower elevation shaft to match roof line

- 2) Clad the shaft in brick
- 3) Provide articulation in banding on the elevator shaft material
- 4) The garage door to be lowered so it doesn't interfere with the water table on the house.
- 5) The garage door be a carriage style door
- 6) The garage door be 9 foot in width
- 7) Fencing is to be code compliant and match the existing fence in material and style
- 8) New concrete stairs must have a fascia cladding to match the historic wall.
- 9) The new front door must match the historic front door in material and design
- 10) Carriage style light on exterior doors
- 11) New stairs to the street must be clad with a stone material
- 12) New sides where the roof deck is altering the roof line must be clad in brick and not hardi-plank

The original façade that was submitted for review is Attachment A and the revised façade submitted to include the above conditions is Attachment B.

Applicable Zoning Code Sections:

Zoning District: Section 1405 Residential
 Historic District/Reg: [Over the Rhine Historic District](#)
 COA Standard: [Section 1435-09-2](#) Certificate of Appropriateness; Standard of Review

Details of Zoning Relief Required: No Zoning Relief is being sought. The building was originally built as a single family and was later converted to a six family unit. The building has been vacant and is being rehabilitated into a single family use, which is a permitted use.

Certificate of Appropriateness Review

This project generally meets the guidelines for the Prospect Hill Historic District.

The roof top deck cannot be seen easily from the street and is not visible from standing across the street from the building and the garage door opening, while on the front façade of the building does not detract or take away historic and architectural significance from the building. Staff commends the applicant for the amount of historic material that they are reusing and repairing in their rehabilitation, including the fence, windows, limestone steps, and box gutters. The materials and alterations that are being added are appropriate to the design and architecture.

When staff reviewed the audio of the hearing on the previous application and noted all of the conditions, the applicant has addressed all of the previous conditions and concerns of the board, except for the style of the door. Many of the conditions have gone away as the elevator shaft is not part of this proposal and they are keeping the fence, historic stairs and historic doors.

Staff comments on the Applicable Guidelines:

STATEMENT OF COMPATIBILITY Applications for certificates of appropriateness shall be judged by their conformance to these guidelines. All alterations and environmental changes shall be designed and executed in a manner which is compatible with and sympathetic to the architecture within the Prospect Hill Historic District and shall respect the landscape characteristics of the site.

Windows/Doors - Openings – Original window and door openings should not be reduced or enlarged in size. Repaired or replacement windows should be double-hung and contain one-over-one, two-over-two, or six-over-six panes where appropriate. The elimination or permanent concealment of window and door openings on the primary or street facade should not be permitted, and elsewhere avoided. New window and door openings on the primary or street facade should not be permitted. Removable storm windows and doors should be utilized whenever possible. Aluminum storm windows and doors should be painted to match trim.

The garage door is new openings is on the primary façade and street façade, and while the guidelines states that is should not be on a primary façade, this opening is sympathetic to the architecture and it doesn't detract from the architecture of the building. The garage door is similar to other garage doors that are on Milton Street that are cut into the stone foundation. This garage door will be slightly different as it will recessed back to the same setback as the house. This will cause the door to be less visible when looking down the street. Reusing the field stone to face the new retaining wall will help blend the wall into the existing wall.

Staff noted HCB concerns in the previous application approval for the garage door; particularly to make sure that the garage door fit in with the vertical lines of the building. Staff feels that this application has accomplished that, as the lintel above the garage door lines up with the basement windows above, which then also line up with the windows on the stories above.

The other concern voiced was the style of the door and the HCB requested the carriage style door despite there being examples of other rolled paneled garage doors.

Staff has already preliminary vetted the curb cut for the garage through the DOTE and they don't anticipate any issues with the location of the curb cut or issues with the angles and grading for the garage or the set back of the garage.

Roofs – The existing roofline and the architectural features that give the roof its essential character such as dormer windows, cornice, brackets, chimneys and cresting should be preserved. The addition of inappropriate features such as vents, skylights, and rooftop utilities should be avoided, or inconspicuously placed and screened where necessary as determined by the Historic Conservation Board.

The edge of the roof line is remaining the same and the chimneys on the front are remaining as well. The new deck will be screened from view as the cut is into

the roof and as the building is set up higher than the street; the roof will not be seen. No extra railing will be added, as the cornice will act as the railing.

Decks – The addition of decks on the street facade shall not be permitted. Decks installed elsewhere shall not obscure or require the removal of significant architectural features. Balusters should be vertically placed not more than 6 inches apart. Solid plank railing shall not be permitted. Railing heights should not exceed 42 inches. Screened or glass-enclosed decks should be avoided.

The addition of the roof deck does not remove significant architectural features and while it is on the front portion of the roof, as it is being cut into the roof and the building is set up higher than the street, the roof deck will not be seen. This is smaller than a roof deck that was approved in an application in 2014.

Walls and Fences – Existing retaining walls and fences should be repaired and retained whenever possible. The installation of wood or chain link fences shall not be permitted on street frontage.

The front fence material will be salvaged and reused. As the front wall will be recessed due to the garage door opening, that portion of the fence will be removed and the wall will be retained, but altered. Staff finds the removal of the fence due to the set back of the basement wall is acceptable as the remainder of the fence is being reused and retained.

Site – The alteration or removal of existing walkways, steps, benches, and lighting which contribute to the character of the district should be avoided. All new site improvements should be compatible with the architectural character of the district. Tree removal should be avoided.

The front stairs will be changed in order to create a better landing at the front steps and due to the change in the front stoop because of the set back of the wall. This does not change the character of the district and is compatible with the property and the district.

Other Considerations:

Prehearing Results

August 17, 2016 – Neighbors were present

Comments Provided to Staff: N/A

Recommendation:

Staff recommends the Historic Conservation Board take the following actions:

1. **APPROVE** a Certificate of Appropriateness for roof deck, new front steps, new garage door, alterations to the basement wall and other rehabilitation work at 524 Milton Street per drawings submitted by Beck Architecture including any revisions with the following conditions
 - a. The curb cut shall get Department of Transportation Engineering Approval.

- b. The building permits must be issued within two years of the decision date or the Certificate of Appropriateness shall expire.
 - c. The garage door shall be a carriage style door.
2. **FINDING:** The Board makes this determination per Section 1435-09-2:
- (a) That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

ROOF LINE ELEVATION: 32'-7" +/-
UNCHANGED

DECK FLOOR ELEVATION: 3'-6" BELOW

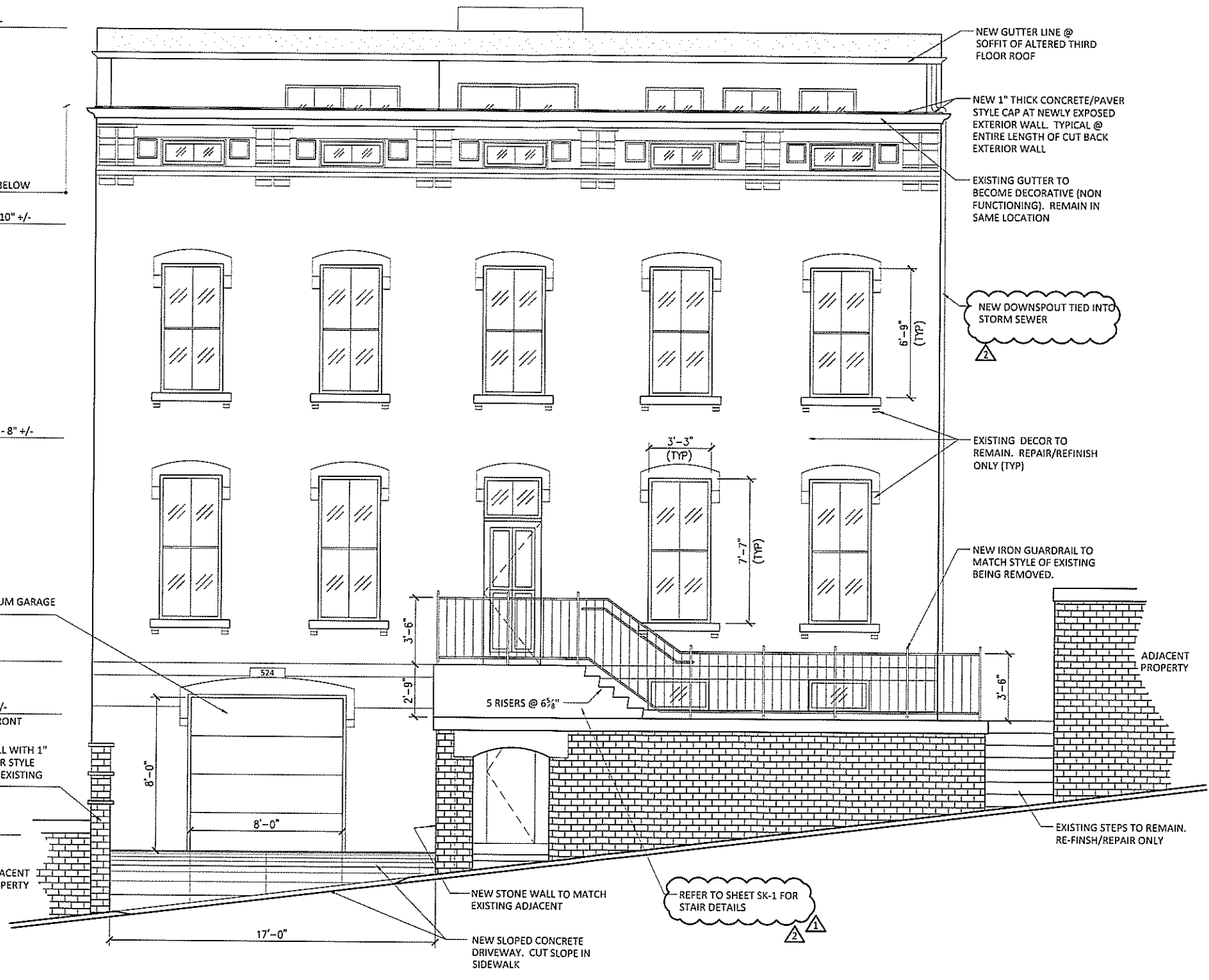
THIRD FLOOR ELEVATION: 22'-10" +/-

SECOND FLOOR ELEVATION: 11'-8" +/-

FIRST FLOOR ELEVATION: 0'-0"

SIDEWALK ELEVATION: -2'-9" +/-
SLOPING WALKWAY TOWARDS FRONT

LOWER LEVEL ELEVATION: -8'-10" +/-
SLOPING FLOOR TOWARDS FRONT



NEW GUTTER LINE @ SOFFIT OF ALTERED THIRD FLOOR ROOF

NEW 1" THICK CONCRETE/PAVER STYLE CAP AT NEWLY EXPOSED EXTERIOR WALL. TYPICAL @ ENTIRE LENGTH OF CUT BACK EXTERIOR WALL

EXISTING GUTTER TO BECOME DECORATIVE (NON FUNCTIONING). REMAIN IN SAME LOCATION

NEW DOWNSPOUT TIED INTO STORM SEWER

EXISTING DECOR TO REMAIN. REPAIR/REFINISH ONLY (TYP)

NEW IRON GUARDRAIL TO MATCH STYLE OF EXISTING BEING REMOVED.

ADJACENT PROPERTY

EXISTING STEPS TO REMAIN. RE-FINISH/REPAIR ONLY

NEW STONE WALL TO MATCH EXISTING ADJACENT

NEW SLOPED CONCRETE DRIVEWAY. CUT SLOPE IN SIDEWALK

REFER TO SHEET SK-1 FOR STAIR DETAILS

NOTE:
ALTERATIONS TO THE RETAINING WALLS AND STRUCTURAL HEADERS ARE SHOWN FOR REFERENCE AND SHALL BE INCLUDED IN A SEPARATE ENGINEERED DRAWING/PERMIT

PROPOSED ELEVATION
Scale: 1/4" = 1'-0"

blue line
drafting, LLC

555 Common Wealth Drive, Cincinnati, OH 45244
email: contact@bluelinedrafting.com
mobile: +1-513-300-9283
www.bluelinedrafting.com

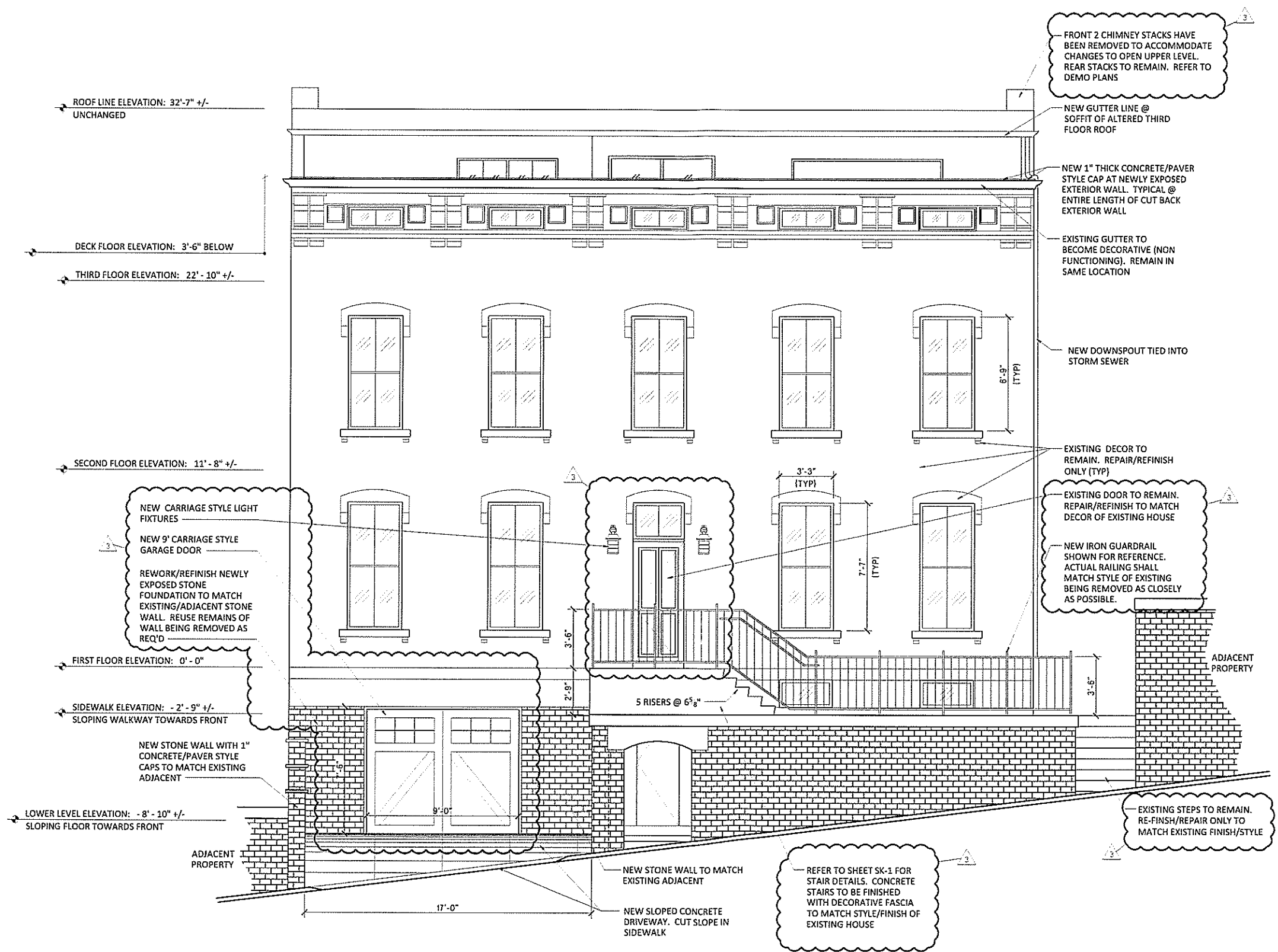
rev	date	description
1	22-MAY-2014	PERMIT COMMENTS
2	08-JULY-2014	PERMIT COMMENTS

**KM CAPITAL
MANAGEMENT
REMODEL
524 MILTON ST
CINCINNATI, OH 45202**

blue line project no.: 2014030700

**PROPOSED
ELEVATION**

EL2.0



NOTE:
ALTERATIONS TO THE RETAINING WALLS AND STRUCTURAL HEADERS ARE SHOWN FOR REFERENCE AND SHALL BE INCLUDED IN A SEPARATE ENGINEERED DRAWING/PERMIT

PROPOSED ELEVATION
Scale: 1/4" = 1'-0"

FRONT 2 CHIMNEY STACKS HAVE BEEN REMOVED TO ACCOMMODATE CHANGES TO OPEN UPPER LEVEL. REAR STACKS TO REMAIN. REFER TO DEMO PLANS

NEW GUTTER LINE @ SOFFIT OF ALTERED THIRD FLOOR ROOF

NEW 1" THICK CONCRETE/PAVER STYLE CAP AT NEWLY EXPOSED EXTERIOR WALL. TYPICAL @ ENTIRE LENGTH OF CUT BACK EXTERIOR WALL

EXISTING GUTTER TO BECOME DECORATIVE (NON FUNCTIONING). REMAIN IN SAME LOCATION

NEW DOWNSPOUT TIED INTO STORM SEWER

EXISTING DECOR TO REMAIN. REPAIR/REFINISH ONLY (TYP)

EXISTING DOOR TO REMAIN. REPAIR/REFINISH TO MATCH DECOR OF EXISTING HOUSE

NEW IRON GUARDRAIL SHOWN FOR REFERENCE. ACTUAL RAILING SHALL MATCH STYLE OF EXISTING BEING REMOVED AS CLOSELY AS POSSIBLE.

EXISTING STEPS TO REMAIN. RE-FINISH/REPAIR ONLY TO MATCH EXISTING FINISH/STYLE

REFER TO SHEET SK-1 FOR STAIR DETAILS. CONCRETE STAIRS TO BE FINISHED WITH DECORATIVE FASCIA TO MATCH STYLE/FINISH OF EXISTING HOUSE

blue line
drafting, LLC

555 Common Wealth Drive, Cincinnati, OH 45244
email: contact@bluelinedrafting.com
mobile: +1-513-300-9283
www.bluelinedrafting.com

rev	date	description
3	29-SEP-2014	OWNER/HISTORICAL COMMENTS
2	11-AUG-2014	HISTORICAL COMMENTS
1	22-MAY-2014	PERMIT COMMENTS

JUSTIN JONES
REMODEL
524 MILTON ST
CINCINNATI, OH 45202

blue line project no.: 2014030700

PROPOSED
ELEVATION

EL2.0

APPLICATION

HCB

HISTORIC
CONSERVATION
BOARD

CERTIFICATE OF APPROPRIATENESS

APPLICATION
BUILDING ADDRESS: 524 Milton St.

DISTRICT NAME: _____
(if applicable)

OWNER NAME: David Gaudio and Amy Roberts

ADDRESS: 335 W. 5th St., #504, 45202

EMAIL: david.gaudio@aol.com

CONTRACTOR NAME: TBD

ADDRESS: _____

EMAIL: _____

ARCHITECT NAME: Beck Architecture

ADDRESS: 550 Liberty Hill 45202

EMAIL: doubeck@beckarchitects.com

HCB USE ONLY

DATE RECEIVED BY HCB: _____

PERMIT/APD NO: _____

APP. COMPLETION DATE: _____

PHONE NO: 513-509-4968

PHONE NO: _____

PHONE NO: 513-651-5550

IT IS YOUR RESPONSIBILITY TO NOTIFY THE URBAN CONSERVATOR IF ANY OF THIS INFORMATION CHANGES DURING THE PENDING REVIEW OF YOUR

WORK PROPOSED: (Describe type of work, existing conditions, and methods to be used, materials proposed)

HCB USE ONLY	
<input type="checkbox"/>	MINOR ALTERATION
<input type="checkbox"/>	NEW CONSTRUCTION
<input type="checkbox"/>	ADDITION
<input type="checkbox"/>	DEMOLITION
<input type="checkbox"/>	REHABILITATION
<input type="checkbox"/>	OTHER _____

See attached "Work Proposed"

IN ORDER TO EXPEDITE HCB ACTION, PLEASE ATTACH ADDITIONAL INFORMATION, IF AVAILABLE, AS MAY BE APPROPRIATE. LIST ANY INFORMATION ATTACHED: (Elevations, site plans, specifications, photos, material samples, additional drawings or written matter)

Site Plan, Floor Plans - existing and proposed, exterior elevations, construction section/details for proposed garage and roof deck, building and streetscape photos!

Contract to purchase property

Attach a letter explaining the justification for the issuance of the desired Certificate of Appropriateness. Be advised that the burden of proof is on the applicant.



WEST SHELL

Contract to Purchase

For exclusive use by REALTORS®. This is a legally binding contract. If not understood, seek legal advice. For real estate advice, consult a REALTOR®.



(date)

1. PROPERTY DESCRIPTION: I/We ("Buyer") offer to purchase from Seller ("Seller") the following described property:

Address 524 Milton Street City/Township Cincinnati Ohio, Zip Code 45202, County Hamilton County, Further described as: ("Real Estate").

2. PRICE AND TERMS: Buyer hereby agrees to pay \$ 249000 ("Purchase Price") for the Real Estate, payable as follows:

a) EARNEST MONEY: \$ 2000 ("Earnest Money") shall be deposited with Coldwell Banker upon written acceptance of this contract ("Contract"), in a trust account pending the final settlement and conveyance of the purchase and sale of the Real Estate contemplated in this Contract ("Closing"), or returned to the Buyer if this offer is not accepted in writing. Any disbursement of Earnest Money shall be in compliance with Ohio R.C. 4735.24. The Earnest Money shall be disbursed as follows: (i) if the transaction is closed, the Earnest Money shall be applied to Purchase Price (may be retained by brokerage and credited toward brokerage commission owed) or as directed by Buyer or (ii) if either party fails or refuses to perform, or if any contingency is not satisfied or waived, the Earnest Money shall be (a) disbursed in accordance with a release of earnest money ("Release") signed by all parties to the Contract or (b) in the event of a dispute between the Seller and Buyer regarding the disbursement of the Earnest Money, the broker is required by law to maintain such funds in his trust account until the broker receives (a) written instructions signed by the parties specifying how the Earnest Money is to be disbursed or (b) a final court order that specifies to whom the Earnest Money is to be awarded. If the Real Estate is located in Ohio, and if within two years from the date the Earnest Money was deposited in the broker's trust account, the parties have not provided the broker with such signed instructions or written notice that such legal action to resolve the dispute has been filed, the broker shall return the Earnest Money to the Buyer with no further notice to the Seller. Both Buyer and Seller acknowledge and agree that, in the event of a dispute between Buyer and Seller as to entitlement of the Earnest Money, the REALTORS® will not make a determination as to which party is entitled to the Earnest Money.

b) BALANCE: The balance of the Purchase Price shall be paid by wire transfer, certified, cashier's, official bank, attorney or title company trust account check on date of Closing.

3. FINANCING CONTINGENCY: Buyer intends to use the Real Estate for the following purpose: [X] Owner-occupied [] Rental [] Other:

[] CASH: Buyer shall provide, to Seller's satisfaction, written verification of funds within calendar days of acceptance of this offer. If Buyer fails to provide written notification, then Seller may, by written notice to selling REALTOR® or Buyer, terminate this Contract. Buyer has the right to obtain an appraisal of the Real Estate by a licensed appraiser within calendar days beginning the day following written contract acceptance.

[X] CONVENTIONAL LOAN: The Buyer's obligation to close this transaction is contingent upon Buyer applying for and obtaining: (a) [] fixed [X] adjustable or [] other first mortgage loan on the Real Estate, (b) in an amount not to exceed 40% of the Purchase Price, (c) at an interest rate [X] at prevailing rates and terms [] not to exceed %, (d) for a term of not less than 30 years or at a higher rate or shorter term agreeable to Buyer.

[] FHA/VA: The Buyer's obligation to close this transaction is contingent upon Buyer applying for and obtaining (a) [] FHA, [(1) [] fixed or (2) [] adjustable] (including FHA closing costs) or [] VA (including VA funding fee) first mortgage loan in the maximum allowable amount (b) at an interest rate [] at prevailing rates and terms [] not to exceed %, (c) for a term of not less than years or at a higher rate or shorter term agreeable to Buyer. [] Buyer has been provided the FHA For Your Protection: Get a Home Inspection disclosure. When the Buyer is financing through FHA or VA, the Seller may be required to pay for certain fees. Check with your lending institution. Whole house inspection fees may be paid by the VA Buyer, but must be paid outside of the Closing. On FHA/VA contracts, the appraiser is not deemed to be a whole house inspector.

[] OTHER FINANCING: SEE ATTACHED ADDENDUM construction loan

[] Settlement Charges: In addition to costs incurred in order for the Seller to fulfill the terms of the Contract and to provide marketable title, Seller agrees to pay actual settlement charges on behalf of the Buyer, including, but not limited to, discount points, closing costs, pre-pays and any other fees allowed by Buyer's lender in an amount not to exceed,

Buyer's Initials [Signature] Date / Time Seller's Initials [Signature] Date / Time

50 **Financing Application and Loan Commitment:** Buyer financing qualification letter is attached is not attached
 51 shall be provided within 3 calendar days of written acceptance of this offer. If Buyer fails to provide
 52 documentation of financing qualification letter, then Seller may, by written notice to selling REALTOR® or Buyer, terminate
 53 this Contract. Buyer shall complete a loan application, including submitting a completed 1003 (or, lender's required financing
 54 application form), and provide the selected lender with "intent to proceed", including payment for appraisal (if necessary),
 55 within 10 calendar days of written acceptance of this Contract and will make a diligent effort to obtain financing. If
 56 Buyer or Buyer's lender does not notify Listing REALTOR® or Seller, in writing, that a loan approval has been obtained or
 57 waived within 55 calendar days of written acceptance of this offer, then Seller may, by written notice to selling
 58 REALTOR® or Buyer, terminate this Contract. **BUYER IS RELYING ON BUYER'S OWN UNDERSTANDING OF**
 59 **FINANCING TO BE OBTAINED AND PROCESSES REQUIRED BY A LENDER AS WELL AS THE LEGAL AND**
 60 **TAX CONSEQUENCES THEREOF, IF ANY.**

61 **4. APPRAISAL CONTINGENCY:** Buyer's obligation to close this transaction is contingent upon Real Estate appraising at or above
 62 final sales price of the Real Estate. Buyer has the right to obtain, at Buyer's expense, an independent appraisal performed by an appraiser
 63 licensed in Ohio. In the event the Real Estate does not obtain an appraised value (by either Buyer's or Lender's appraiser) equal to or
 64 greater than the Purchase Price, Buyer shall have the right to terminate this Contract by delivering written notice to Seller on or before the
 65 expiration of (i) the time-frame set forth in Section 3 above for obtaining an appraisal in connection with a cash sale or (ii) the time-frame
 66 set forth in Section 3 above for obtaining a loan approval (such applicable time period being referred to as the "Appraisal Contingency
 67 Period"). If Buyer does not deliver written notice to Seller that Buyer is terminating the Contract prior to the expiration of the Appraisal
 68 Contingency Period, then Buyer's right to terminate this Contract due to appraised value shall be deemed waived.

69 **5. INCLUSIONS/EXCLUSIONS OF SALE:** The Real Estate shall include the land, together with all improvements thereon,
 70 all appurtenant rights, privileges, easements, fixtures, and all of, but not limited to, the following items if they are now located on
 71 the Real Estate and used in connection therewith: electrical; plumbing; heating and air conditioning equipment, including
 72 window units; bathroom mirrors and fixtures; shades; blinds; awnings; window rods; window/door screens, storm
 73 windows/doors; shrubbery/landscaping; affixed mirrors/floor covering; wall-to-wall, inlaid and stair carpeting (attached or
 74 otherwise); fireplace inserts; fireplace screens/glass doors; wood stove; gas logs and starters; television mounting brackets
 75 (excluding televisions), aerials/rotor operating boxes/satellite dishes (including non-leased components); water softeners; water
 76 purifiers; central vacuum systems and equipment; garage door openers/operating devices; the following **built-in** appliances:
 77 ranges/ovens/microwaves/refrigerators/ dishwashers/garbage disposers/trash compactors/humidifiers; all security alarm systems
 78 and controls; all affixed furniture/fixtures; utility/storage buildings/structures; inground/above ground swimming pools and
 79 equipment; swing sets/play sets; affixed basketball backboard/pole; propane tank/oil tank and contents thereof; electronic
 80 underground fencing transmitter and receiver collars; and parking space(s) number(s) _____ and storage unit number
 81 _____ (where applicable); **except the following: which are leased in whole or in part** (please check appropriate
 82 boxes); water softener; security/alarm system; propane tank; satellite dish; satellite dish components:

83 **THE FOLLOWING ITEMS (WHICH ADD NO ADDITIONAL VALUE TO**
 84 **THE REAL ESTATE) ARE SPECIFICALLY INCLUDED WITH THE REAL ESTATE:** none

85 **THE FOLLOWING ITEMS ARE SPECIFICALLY EXCLUDED FROM THE REAL ESTATE:** none
 86
 87

88 **6. CERTIFICATION OF OWNERSHIP:** Seller certifies that Seller owns all of the items listed in Section 5 and that they
 89 will be free and clear of any debt, lien or encumbrances at closing (except as listed in Section 19 of this Contract). Seller also
 90 represents that those signing this Contract constitute all of the owners of the title to the real property and other items as listed in
 91 Section 5, together with their respective spouses.

92 **7. SELLER'S CERTIFICATION:** Seller certifies to Buyer that **to the best of Seller's knowledge:** The Real Estate (a) is
 93 is not located in a Historic District, (b) is is not subject to a homeowner association charter established by
 94 recorded declaration with mandatory membership, (c) is is not subject to a homeowner association assessment,
 95 (d) is is not subject to a maintenance agreement, (e) is is not located in a flood plain requiring
 96 insurance, (f) is is not subject to a municipal pre-sale inspection, disclosure, and/or certification of occupancy; if
 97 the Real Estate is located in a jurisdiction requiring housing inspection before transfer, Seller shall be responsible for
 98 completing and submitting the necessary application and will furnish to Buyer or Buyer's agent a copy of the resulting
 99 unconditional certificate on or before the date of Closing, (g) no orders of any public authority are pending, (h) no work has
 100 been performed or improvement constructed that may result in future assessments, (i) no notices have been received from any
 101 public agency with respect to condemnation or appropriation, change in zoning, proposed future assessments, correction of
 102 conditions or other similar matters, and (j) to the best of Seller's knowledge, no toxic, explosive or other hazardous substances
 103 have been stored, disposed of, concealed within or released on or from the Real Estate and no other adverse environmental
 104 conditions within the boundaries of the Real Estate affect the Real Estate except none. Seller
 105 further certifies that, to the best of Seller's knowledge, there are no Homeowner Association violations, encroachments, shared
 106 driveways, party walls, property tax abatements or homestead exemptions affecting the Real Estate except: none
 107 _____ and that no improvements or services (site or area) have been installed or furnished,
 108 nor notification received from public authority or owner's association of future improvements of which any part of the costs may
 109 be assessed against the Real Estate, except: none

110 **8. HOMEOWNER ASSOCIATION/CONDOMINIUM DECLARATIONS, BYLAWS AND ARTICLES:** If the Real
 111 Estate is subject to a Homeowner Association Declaration or is a Condominium, Seller will, at Seller's expense, provide Buyer
 112 with a current copy of documents affecting the real estate including, but not limited to, documents recorded with the county, the
 113 Association Declaration, the Association's financial statements, Rules and Restrictions, schedule of monthly, annual and special
 114 assessments/fees, architectural standards (to the extent not included in the Rules and Restrictions), the Bylaws and the Articles of
 115 Incorporation and other pertinent documents ("Documents") within _____ calendar days of acceptance of this offer. Buyer
 116 shall have the right to disapprove of the Documents by delivering written notice of Buyer's disapproval within _____
 117 calendar days of receipt of Documents ("Disapproval Date"). If written notice of disapproval is delivered by the Disapproval
 118 Date, then this Contract shall become null and void. Unless written notice is delivered by the Disapproval Date, Buyer shall be
 119 deemed to have approved the Documents and waives the right to terminate the Contract based upon the terms and conditions of
 120 same. Seller agrees, as a condition to Closing, to secure, at Seller's expense, written approval for this sale if required by the
 121 Documents. Seller, at Seller's expense, shall provide any letter of assessment required at Closing by the lender and/or title
 122 company. Seller certifies that the current HOA fees are: \$ _____ Monthly Quarterly
 123 Annually and/or Other _____.

124 **9. MAINTENANCE:** Until physical possession is delivered to the Buyer, Seller shall continue to maintain the Real Estate, as
 125 described in Section 5, including the grounds and improvements thereon. Seller shall repair or replace any appliances and/or
 126 equipment currently in normal operating condition that fail prior to possession. Seller further agrees that until physical
 127 possession is delivered to the Buyer, the Real Estate will be in as good condition as it is presently, except for normal wear and
 128 casualty damage from perils insurable under a standard all risk policy. If, prior to Closing, the Real Estate is damaged or
 129 destroyed by fire or other casualty, Buyer shall have the option to (a) proceed with the Closing, or (b) terminate this Contract.
 130 While this Contract is pending, Seller shall not change any existing lease or enter into any new lease, nor make any substantial
 131 alterations or repairs without the written consent of the Buyer. **Buyer and Seller agree that Buyer shall be provided the
 132 opportunity to conduct a walk-through inspection of the Real Estate 15 days prior to Closing and a walkthrough 1 day
 133 prior to Closing, solely for the purpose of ascertaining that the Seller has maintained the Real Estate as required herein
 134 and has met all other contractual obligations.** Upon Closing, Buyer shall become responsible for any risk of loss and for
 135 insurance for the Real Estate.

136 **10. HOME WARRANTY PROGRAM:** Buyer has been informed that home warranty programs may be available to provide
 137 potential additional benefits to Buyer. Buyer selects does not select a home warranty to be provided by a company to
 138 be chosen by _____ and paid for by _____ at an amount not to exceed _____.
 See lines 222-223

139 **11. INSURANCE:** Buyer's right to terminate this Contract due to property and flood insurance availability and/or cost must be
 140 satisfied during the **Real Estate Inspection Contingency Period (as defined in Section 13 below)**. Buyer(s) acknowledges that
 141 it is Buyer's sole responsibility to make inquiries with regard to insurance, including, but not limited to, real, flood and personal
 142 property insurance availability and cost. **BUYER(S) IS RELYING ON BUYER'S OWN UNDERSTANDING OF
 143 INSURANCE TO BE OBTAINED.**

144 **12. PROPERTY DISCLOSURE FORM:** Buyer has has not received the Ohio Residential Property Disclosure form.

145 **13. BUYER'S INSPECTIONS:** Notwithstanding anything to the contrary, Seller makes no representations or warranties with
 146 regard to the municipality, zoning, school district, or use of the Real Estate, and Buyer assumes sole responsibility for
 147 researching the foregoing conditions. Buyer acknowledges that Buyer has conducted investigations of these conditions and the
 148 use of the Real Estate, and has verified that the Real Estate is suitable for Buyer's intended use. Seller also makes no
 149 representations with regard to conditions outside of the boundaries of the Real Estate, including but not limited to, crime
 150 statistics, registration of sex offenders, noise levels (i.e., airports, interstates, environmental), local regulations/development or
 151 any other issues of relevance to the Buyer, and Buyer assumes sole responsibility for researching such conditions. Buyer
 152 acknowledges that Buyer has been given the opportunity to conduct research pertaining to any and all of the foregoing prior to
 153 execution of this Contract. Buyer is relying solely on Buyer's own research, assessment and inquiry with local agencies and is
 154 not relying, and has not relied, on Seller or any REALTOR® involved in this transaction.

155 **REAL ESTATE INSPECTION CONTINGENCY:** For purposes of this clause, time is of the essence. The Buyer has the
 156 option to have the Real Estate inspected, at Buyer's expense. Buyer shall have up to _____ 10 _____ calendar days
 157 ("Inspection Period") beginning the day following written Contract acceptance to conduct all inspections related to the Real
 158 Estate. Inspections regarding the physical material condition, insurability and cost of a casualty insurance policy, boundaries,
 159 and use of the Real Estate shall be the sole responsibility of the Buyer. **Buyer is relying solely upon Buyer's examination
 160 of the Real Estate, the Seller's certification herein, and inspections herein requested by the Buyer or otherwise
 161 required, if any, for its physical condition and overall character, and not upon any representation by the
 162 REALTORS® involved. During the Inspection Period, Buyer and Buyer's inspectors and contractors shall be
 163 permitted access to the Real Estate at reasonable times and upon reasonable notice. Buyer shall be responsible for any
 164 damage to the real estate caused by Buyer or Buyer's inspectors or contractors, which repairs shall be completed in a
 165 timely and workmanlike manner at Buyer's expense.**

Buyer's Initials

24 06/28/16	24 06/27/16
----------------	----------------

 Date / Time _____

Seller's Initials

24 06/29/16	
----------------	--

 Date / Time _____

166 a) If Buyer is not satisfied with the condition of the Real Estate as revealed by the inspection(s) and desires corrections to
 167 material defect(s), Buyer shall provide written notification of any material defect(s) and the portion(s) of the inspection
 168 report which describe the basis for the Buyer's dissatisfaction to the Listing Firm or Seller with a request for corrections
 169 desired within the Inspection Period. Buyer and Seller shall have 5 calendar days beginning the day
 170 following the date of delivery of the Post-Inspection Agreement or other written notice requesting corrections ("Settlement
 171 Period") to negotiate to reach a written agreement in settlement of the condition of the Real Estate. Delivery of the Post-
 172 Inspection Agreement or other written notice requesting corrections to material defects will designate the end of the
 173 Inspection Period.

174 If written settlement of the condition of the Real Estate is not reached within the Settlement Period, Buyer shall have the
 175 option to withdraw the written request for corrections within the Settlement Period and accept the Real Estate in "as is"
 176 condition. If written settlement is not reached, with signed copies of settlement agreement physically delivered to the
 177 parties or their respective agents within the Settlement Period, and Buyer has not withdrawn the request for corrections in
 178 writing, this Contract shall be terminated. Buyer shall have the right to terminate the Contract, prior to reaching written
 179 agreement with signed copies physically delivered to the parties or their respective agents, during the Settlement Period.
 180 Buyer agrees that minor repairs and routine maintenance items are not to be considered material defects with regard to this
 181 contingency.

182 OR

183 b) If Buyer is not satisfied with the condition of the Real Estate, as revealed by the inspection(s) and desires to terminate this
 184 Contract, Buyer shall provide written notification to Listing Firm or Seller that Buyer is exercising Buyer's right to
 185 terminate this Contract within the Inspection Period, and this Contract shall be terminated.

186 If Buyer is satisfied with the results of the inspection(s), Buyer shall deliver written notification to Listing Firm or Seller within
 187 the Inspection Period stating Buyer's satisfaction and waiver of the contingency. **IF BUYER DOES NOT DELIVER SUCH
 188 NOTIFICATION OF SATISFACTION AND WAIVER OF THIS CONTINGENCY OR WRITTEN NOTIFICATION AS
 189 IDENTIFIED IN (a) OR (b) ABOVE, WITHIN THE INSPECTION PERIOD, THEN BUYER SHALL BE DEEMED TO
 190 BE SATISFIED WITH ALL INSPECTIONS AND THE CONTINGENCY SHALL BE CONSIDERED WAIVED. IF
 191 BUYER DOES NOT COMPLETE REAL ESTATE INSPECTION(S) DURING THE INSPECTION PERIOD, BUYER'S
 192 RIGHT TO INSPECT SHALL BE DEEMED WAIVED.**

193 A. **BUYER ELECTS TO CONDUCT INSPECTION(S) OF THE REAL ESTATE** to determine the material
 194 physical condition of the house, land, improvements, fixtures, equipment, any additional structures, and any hazardous
 195 conditions on the Real Estate. *(The inspection(s) may include, but are not limited to, the following inspections which may
 196 or may not be performed by the same or different inspectors on the same or different dates.)*

- | | | | | | |
|------------------|-----------|---------|--------------------------|--------------|----------------------------|
| Air Conditioning | Heating | Roofing | Water Quality / Quantity | Structural | Well / Septic System |
| Plumbing | Fireplace | Mold | Electrical | Asbestos | Radon |
| | | | | Infestations | Any other desired by Buyer |

199 B. **BUYER WAIVES THE REAL ESTATE INSPECTIONS** in A above with the following exception(s):

200 _____
 201 Buyer acknowledges that Buyer has been advised by REALTOR® to conduct inspections of the Real Estate and has been
 202 provided the opportunity to make this Contract contingent upon the results of such inspections.

203 C. **BUYER SELECTS A TERMITE AND WOOD-BORING INSECT INSPECTION** (required by some
 204 lenders/types of financing).

205 **BUYER WAIVES A TERMITE AND WOOD-BORING INSECT INSPECTION.**

206 D. **LEAD-BASED PAINT INSPECTION:** Buyer has has not received the Seller's disclosure of any lead-
 207 based paint or lead-based paint hazards known to Seller on the Real Estate. Buyer has has not received the
 208 pamphlet "Protect Your Family From Lead in Your Home".

209 **BUYER SELECTS THE LEAD-BASED PAINT INSPECTION** pursuant to the attached Lead-Based Paint
 210 Inspection Addendum, which provides rights and responsibilities that supersede those of the general inspection
 211 contingency of this Contract.

212 **BUYER WAIVES THE LEAD-BASED PAINT INSPECTION.**

213 **NOT APPLICABLE.**

214 **SELLER(S) AND REALTORS® SHALL NOT BE RESPONSIBLE FOR ANY UNKNOWN AND/OR DISCLOSED**
 215 **DEFECTS IN THE REAL ESTATE. BUYER ACKNOWLEDGES THAT BUYER HAS BEEN ADVISED BY**
 216 **REALTOR® TO CONDUCT INSPECTIONS OF THE REAL ESTATE THAT ARE OF CONCERN TO BUYER AND**
 217 **HAS BEEN PROVIDED THE OPPORTUNITY TO MAKE THIS CONTRACT CONTINGENT UPON THE RESULTS**
 218 **OF SUCH INSPECTION(S).**

219 **14. PROPERTY SURVEY:** Buyer(s) acknowledges that surveys obtained by the lender are not for the benefit of the Buyer. If
 220 Buyer elects to have the property surveyed for his benefit, it shall be at Buyer's expense.

Buyer's Initials JK 06/28/16 06/27/16
12:01AM EDT 7:41PM EDT

Date / Time _____

Seller's Initials JK 06/29/16
12:09PM EDT

Date / Time _____

221 **15. OTHER CONTINGENCIES/AGREEMENTS:** See attached Addenda which are signed by all parties and incorporated
 222 into this Contract: Amy Roberts needs to see the property and approve by 6/29/2016
 223 _____
 224 _____
 225 _____
 226 _____

227 **16. TITLE INSURANCE:** Title insurance is designed to protect the policyholder of such title insurance for covered losses
 228 caused by defects in title (ownership) to the Real Estate that are in existence on the date and time the policy of title insurance is
 229 issued. Title insurance is different from casualty or liability insurance. **Buyer is encouraged to inquire about the benefits of**
 230 **owner's title insurance from a title insurance agency or provider. An Owner's Policy of Title Insurance, while not**
 231 **required, is recommended. A Lender's Policy of Title Insurance, if required by the mortgage lender, does not provide**
 232 **protection to the Buyer. Buyer acknowledges that it is Buyer's sole responsibility to make inquiries with regard to**
 233 **owner's title insurance prior to Closing.**

234 Buyer selects an Owner's Policy of Title Insurance. If checked, Seller shall pay an amount not to exceed \$ 0
 235 towards the purchase of an Owner's Policy of Title Insurance and Buyer shall be responsible for payment of the balance of
 236 the Owner's Policy of Title Insurance premium. Seller's contribution is payable only if Buyer has selected to obtain the
 237 Owner's Policy of Title Insurance at Closing, so that Seller's contribution may be deducted from the proceeds paid to
 238 Seller at Closing. This amount shall be in addition to Seller-paid settlement charges stated in Section 3, if any. *Note: Buyer*
 239 *has the option to purchase an Owner's Policy of Title Insurance without Seller contribution, outside the terms of this*
 240 *Contract, if not selected at this time.*
 241 Seller shall pay entire amount of Owners Policy of Title Insurance. This supersedes the amount listed on line 234.

242 **17. TAXES AND ASSESSMENTS:** At Closing, Seller shall pay or credit on the purchase price (a) all real estate taxes and
 243 assessments, including penalties and interest, which became due and payable prior to the Closing, (b) a pro rata share, calculated
 244 as of the closing date in the manner set forth below, of the taxes and assessments becoming due and payable after the closing,
 245 and (c) the amount of any agricultural tax savings accrued as of the Closing date which would be subject to recoupment if the
 246 Real Estate were converted to a non-agricultural use (whether or not such conversion actually occurs), unless Buyer has
 247 indicated that Buyer is acquiring the Real Estate for agricultural purposes. If checked, Buyer hereby states that Buyer will
 248 use Real Estate for agricultural purposes and expressly waives Sellers payment to Buyer of the estimated agricultural tax savings
 249 subject to CAUV recoupment.

250 **TAX PRORATIONS:** All prorations shall be based upon the most recent available tax rates, assessments and valuations. It is
 251 the intent of the Seller and Buyer that each shall pay the real estate expenses as follows:

252 Seller's share is based upon the taxes and assessments which are a lien for the year of the Closing. Long Proration Method - Seller pays
 253 entire taxes due which cover the tax period(s) up to the date of Closing. If new construction, Long Proration method shall apply.

254 Short Proration Method: **ONLY CHECK THIS BOX IF THE SHORT PRORATION METHOD IS TO BE USED -**
 255 Seller's share shall be calculated as of the date of Closing, based upon the amount of the annual taxes (as determined by the
 256 most recently assessed tax amounts) to establish a daily rate of taxes and then multiplying the daily rate by the number of
 257 days from the first day of the current, semi-annual tax period to the date of Closing. If checked, the Short Proration Method
 258 shall be applicable and shall supersede the provision to use the Long Proration Method.

259 **ASSESSMENTS:** Any special assessments are payable in a single annual installment and shall be prorated on the long proration method.

260 Seller and Buyer acknowledge that actual bills received by Buyer after Closing for real estate taxes and assessments may differ
 261 from the amounts prorated at Closing; however, all Closing prorations shall be final, except for the following: (i.e., tax abated
 262 property, new construction, etc.) na Buyer shall assume
 263 responsibility for above items upon Closing. The Real Estate may contain a newly-constructed residence which at the time of
 264 Closing does not yet appear on the most recent official tax duplicate available, so that the tax bill prorated at the Closing shows
 265 taxes for only the vacant or partially improved land. Seller agrees that Seller is responsible for the amount of all real estate taxes
 266 assessed for the land and the residence through the date of Closing, regardless of when assessed, and if one or more tax bills are
 267 issued after the Closing which show taxes which were not prorated by Seller and Buyer at the Closing, Seller shall immediately
 268 pay the additional appropriate prorated amount to Buyer upon delivery by Buyer of the new tax bill(s). This provision shall
 269 survive the Closing and delivery of the deed, and the REALTOR® shall not be responsible for enforcement of this provision.
 270 Buyer shall be solely responsible for inquiring about and determining any tax credits or abatements available to the Real Estate.

271 **18. OTHER PRORATIONS:** It is the intent of the Seller and Buyer that each shall pay the real estate expenses listed in (a) and
 272 (b) below due for the period of time that each owns the Real Estate. There shall be prorated between Seller and Buyer as of
 273 Closing: (a) homeowner/condominium association assessments and other charges imposed by the association under the terms of
 274 the Association/Condominium Documents, if applicable, as shown on the most recent official Association statement available as
 275 of the date of Closing, and/or, (b) rents and operating expenses if the Real Estate is rented to tenants. Security and/or damage
 276 deposits held by Seller shall be transferred to Buyer at Closing without proration. Seller and Buyer acknowledge that prorations
 277 are based on the information provided at closing and that actual amounts charged and/or collected for prorated items may differ;
 278 however all Closing prorations shall be final.

Buyer's Initials AR AK Date / Time _____ Seller's Initials _____ Date / Time _____
 06/28/16 06/27/16 06/29/16
 12:01AM EDT 7:41PM EDT 12:09PM EDT

336 **29. EXPIRATION AND APPROVAL:** This offer is void if not accepted in writing and physically delivered to Buyer or
 337 Buyer's agent on or before _____ 3:00 _____ o'clock (A.M.) (P.M.) (Noon) EASTERN/DAYLIGHT
 338 STANDARD TIME _____ 06/28/2016 _____. The Buyer has read, fully understands and approves the foregoing
 339 offer and acknowledges receipt of a signed copy. Buyer certifies that the signatory(ies) below has/have full authority to enter
 340 into this agreement and that no additional signatories, spouse or otherwise, are necessary in order to purchase the property.

 David Gaudio _____ *David Gaudio* dotloop verified 06/28/16 12:01AM EDT HWGC-LKFS-E3MF-AM0Z
 Print Buyer's Name Buyer's Signature Date/Time

 Amy Roberts _____ *Amy Roberts* dotloop verified 06/27/16 7:41PM EDT DDAM-AIW-OXYB-2NON
 Print Buyer's Name Buyer's Signature Date/Time

Buyer's Address _____ 524 Milton St, Cincinnati, 45202 _____

341 **30. ACTION BY SELLER:** The undersigned Seller has read and fully understands the foregoing offer. Seller certifies that the
 342 signatory(ies) below has/have full authority to enter into this Contract and that no additional signatories, spouse or otherwise, are
 343 necessary in order to convey the Real Estate. Seller hereby: accepts said offer and agrees to convey the Real Estate according
 344 to the above terms and conditions, rejects said offer, or counteroffers according to the above modifications initialed and
 345 dated by Seller, which counteroffer shall become null and void if not accepted in writing and physically delivered to Seller or
 346 Seller's agent on or before _____ o'clock (A.M.) (P.M.) (Noon) EASTERN/DAYLIGHT STANDARD TIME
 347 _____.

 Justin Jones _____ *Justin Jones* dotloop verified 06/29/16 12:09PM EDT OYQS-WPHT-IDDP-QGAM
 Print Seller's Name Seller's Signature Date/Time

 Print Seller's Name Seller's Signature Date/Time

[ALL OWNERS AND SPOUSES OF OWNERS MUST SIGN.]

REALTORS® TO COMPLETE THE SECTION BELOW WHICH IS NOT A PART OF THE PURCHASE CONTRACT
 Buyer grants permission to Coldwell Banker West Shell and its authorized Sales Associate(s) to review the Closing Disclosure and/or HUD for accuracy as it relates to the earnest money deposit and the commission to be paid on the transaction.

David Gaudio dotloop verified 06/28/16 12:01AM EDT HCWG-BOGY-IVF4-GYEH _____ *Amy Roberts* dotloop verified 06/27/16 7:41PM EDT YVE5-JNOZ-7YSE-SXIE _____
 Buyer Signature Date/Time Buyer Signature Date/Time

SELLING REALTOR® Firm: (Principal) Broker Name Marysue B. Price
 Address 9321 Montgomery Rd. Ste. C Cincinnati, OH 45242
 Broker State License Number 2015001491 Broker MLS Number 245938
 Contact (Agent) Name Denise Guiducci
 Contact (Agent) State License Number _____ Agent MLS Number _____
 Contact (Agent) Email and Phone dkguiducci@gmail.com 513-307-1991

LISTING REALTOR® Firm: (Principal) Broker Name Keller Williams
 Address _____
 Broker State License Number _____ Broker MLS Number _____
 Contact (Agent) Name Diana Tisue
 Contact (Agent) State License Number 200908 Agent MLS Number _____
 Contact (Agent) Email and Phone _____

RECEIPT OF EARNEST MONEY I hereby certify receipt of Earnest Money in the amount of \$ _____
 and further certify that the funds have been submitted for deposit with _____ on _____ (date)
 in accordance with terms herein provided.

 Print REALTORS's Name/Firm REALTORS's Signature Date/Time

DELIVERY OF FINAL CONTRACT TO _____ Denise Guiducci **ON** 06/30/2016
 (Agent's Name) (Date/Time)

All applicable timelines run from this date.

279 **19. CONVEYANCE AND CLOSING:** Closing services will be provided by title company designated by Buyer:
280 _____ tbd _____ (name of title company, if known).

281 Both Buyer and Seller agree to execute all documents required by the closing/escrow agent. At Closing, Seller shall be
282 responsible for transfer taxes, Condominium or HOA transfer fees, conveyance fees, deed preparation, settlement fees
283 chargeable to Seller, the cost of removing or discharging any defect, lien or encumbrance required for conveyance of the Real
284 Estate as required by this Contract; and shall convey marketable title (as determined with reference to the Ohio State Bar
285 Association Standards of Title Examination) to the Real Estate by recordable and transferable deed of general warranty or
286 fiduciary deed, if applicable, in fee simple absolute, with release of dower, on 08/28/201,
287 or earlier as mutually agreed by the parties to be the date of Closing. Title shall be free, clear and unencumbered as of Closing,
288 with the exception of the following, if applicable: (1) covenants, conditions, restrictions and easements of record, (2) legal
289 highways, (3) any mortgage expressly assumed by Buyer and agreed to by Seller's current lender in writing, (4) all installments
290 of taxes and assessments becoming due and payable after Closing, (5) zoning and other laws, (6) homeowner/condominium
291 association fees becoming due and payable after Closing, and (7) the following assessments (certified or otherwise):
292 none. Seller shall have the right at Closing to pay out of the Purchase Price any
293 and all encumbrances or liens. Make deed to: David Gaudio & Amy Roberts.

294 **20. POSSESSION AND OCCUPANCY:** Subject to rights of tenants, possession/occupancy shall be given at Closing
295 on or before _____ o'clock (A.M.) (P.M.) (Noon) EASTERN/DAYLIGHT STANDARD TIME on
296 _____, or such earlier date that the Seller so notifies the Buyer. Until such time, Seller shall
297 have the right of possession/occupancy free of rent, unless otherwise specified, but shall pay for all utilities used. Seller shall order final
298 meter readings to be made as of the occupancy date for all utilities serving the Real Estate and Seller shall pay for all final bills rendered
299 from such meter readings. Seller acknowledges and agrees that prior to Buyer taking possession of the Real Estate, Seller shall remove
300 all personal possessions not included in this Contract and shall remove all debris. **Time is of the essence. If Seller fails to vacate as
301 agreed, Seller shall be responsible for all additional expenses, including attorney's fees, incurred by Buyer to take possession as
302 a result of Seller's failure to vacate.**

303 **21. AGENCY DISCLOSURES:** Buyer and Seller acknowledge having reviewed the attached state-mandated agency disclosure
304 statement(s).

305 **22. AFFILIATED BUSINESS ARRANGEMENT DISCLOSURES:** An Affiliated Business Arrangement Disclosure has
306 has not been executed in conjunction with this contract.

307 **23. COMPANY SPECIFIC PROVISIONS:** _____
308 _____
309 _____
310 _____



311 **24. M.L.S. AND PUBLIC RECORD ACKNOWLEDGEMENT:** Seller and Buyer acknowledge that REALTOR® shall disclose
312 this sales information to any Multiple Listing Service to which REALTOR® is a member and that disclosure by M.L.S. to other M.L.S.
313 participants, affiliates, governmental agencies or other sources authorized to receive M.L.S. information shall be made. Seller and
314 Buyer acknowledge that sales information is public record and may be accessed and used by entities, both public and private, without
315 the consent of the parties. Seller and Buyer authorize REALTOR® to disclose financing and other concession data upon inquiry and to
316 the M.L.S. sold database, as applicable, to the extent necessary to adjust price to accurately reflect market value.

317 **25. SOLE CONTRACT:** The parties agree that this Contract constitutes their entire agreement and no oral or implied
318 agreement exists. **Any amendments and/or extensions to this Contract shall be in writing, signed by all parties and copies
319 shall be included with all copies of the original Contract.** This Contract shall be binding upon the parties, their heirs,
320 administrators, executors, successors and assigns. Faxes and Internet transmissions are an acceptable method of communication
321 for physical delivery of the Contract in this transaction and shall be binding upon the parties.



322 **26. ELECTRONIC SIGNATURES:** Manual or electronic signatures on contract documents, transmitted in original, facsimile
323 or electronic format shall be valid for purposes of this Contract and any amendments, addendums or notices to be delivered in
324 connection with this Contract. Only original, manually signed documents shall be valid for deeds or other documents to be
325 recorded at or after Closing or as may be required by Buyer's lender and/or the title insurance company and/or escrow agent.

326 **27. INDEMNITY:** Seller and Buyer recognize that the REALTORS® involved in the sale are relying on all information
327 provided herein or supplied by Seller or Seller's sources and Buyer and Buyer's sources in connection with the Real Estate, and
328 agree to indemnify and hold harmless the REALTORS®, their agents and employees from any claims, demands, damages,
329 lawsuits, liabilities, costs and expenses (including reasonable attorney's fees) arising out of any referrals, misrepresentation or
330 concealment of facts by Seller or Seller's sources and/or Buyer and Buyer's sources.

331 **28. ACKNOWLEDGMENT:** Buyer and Seller acknowledge that any questions regarding legal liability with regard to any provision
332 in this Contract, accompanying disclosure forms and addendums or with regard to Buyer's/Seller's obligations as set forth in this
333 Contract must be directed to Buyer's/Seller's attorney. In the event the Broker provides to Buyer or Seller names of companies or
334 sources for such advice and assistance, the parties additionally acknowledge and agree that the Broker does not warrant, guarantee, or
335 endorse the services and/or products of such companies or sources.

Buyer's Initials  
06/28/16 06/27/16
12:01AM EDT 7:41PM EDT

Date / Time _____

Seller's Initials  
06/29/16
12:09PM EDT

Date / Time _____

524 MILTON ST.



EASTERN EXTERIOR WALL



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VIEW FROM THE SOUTH



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VIEW FROM THE EAST



VIEW FROM THE WEST



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Renovation Project to an Existing Single Family

524-526 Milton Street

Cincinnati, OH 45202

PROJECT INFORMATION

PROJECT DESCRIPTION: EXTERIOR RETAINING WALL ALTERATIONS; GARAGE DOORWAY ALTERATION; FRONT STOOP ALTERATION; ROOF DECK ALTERATION; INTERIOR ALTERATIONS

BUILDING CODES: 2013 RESIDENTIAL CODE OF OHIO

ZONING INFO: RM-1.2 RESIDENTIAL MULTI-FAMILY DISTRICT
PROSPECT HILL HISTORIC DISTRICT
HILLSIDE OVERLAY DISTRICT

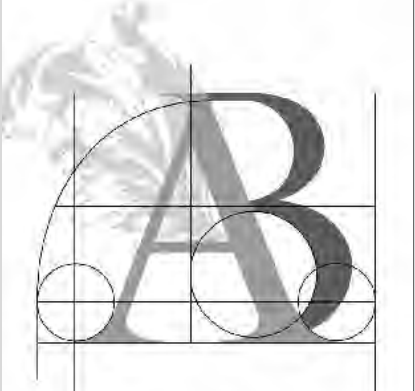
SHEET INDEX

NUMBER	TITLE	ISSUE	DATE	ISSUE	DATE
A0.0	PROJECT INFO - COVER SHEET	FOR REVIEW	07.29.16		
A1.0	EXISTING FLOOR PLANS	FOR REVIEW	07.29.16		
A1.1	EXISTING FLOOR PLANS	FOR REVIEW	07.29.16		
A1.2	EXISTING ELEVATIONS	FOR REVIEW	07.29.16		
A1.3	EXISTING ELEVATIONS	FOR REVIEW	07.29.16		
A2.0	PROPOSED FLOOR PLANS	FOR REVIEW	07.29.16		
A2.1	PROPOSED FLOOR PLANS	FOR REVIEW	07.29.16		
A3.0	PROPOSED ELEVATIONS	FOR REVIEW	07.29.16		
A3.1	PROPOSED ELEVATIONS	FOR REVIEW	07.29.16		
A4.0	BUILDING SECTION & DETAILS	FOR REVIEW	07.29.16		
A4.1	SECTIONS & DETAILS	FOR REVIEW	07.29.16		

OWNER
DAVID GAUDIO & AMY ROBERTS
524 MILTON ST.
CINCINNATI, OH 45202
PHONE: 513.509.4968

ARCHITECT
BECK ARCHITECTURE INC.
CONTACT: TODD LANG
550 LIBERTY HILL
CINCINNATI, OH 45202
PHONE: 513-651-5550
FAX: 513-721-2648
EMAIL: toddlang@beckarchitecture.com

BUILDER
TBD
CONTACT: TBD
TBD
TBD
PHONE:
EMAIL:



BECK
ARCHITECTURE

550 Liberty Hill
Cincinnati, Ohio
45202-6891
513-651-5550
info@beckarchitects.com

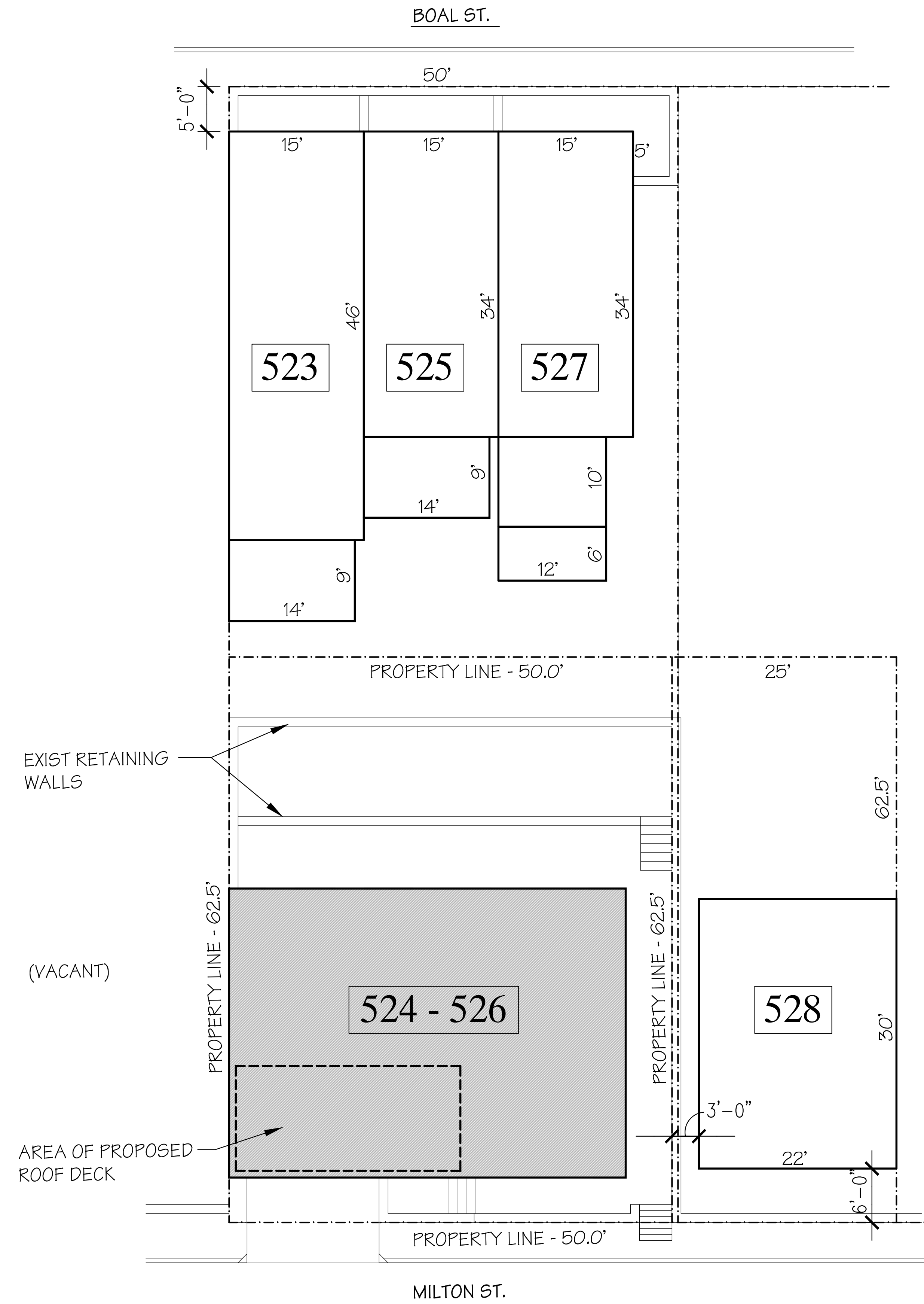
PRELIMINARY
ISSUE
NOT FOR CONSTRUCTION

Gaudio & Roberts Residence
524 Milton St. Cincinnati, OH 45202

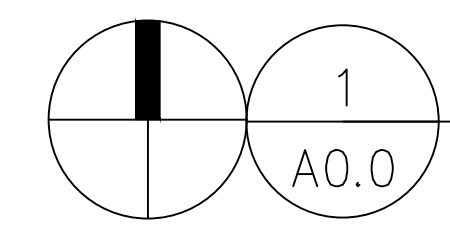
PROJECT
DRAWING TITLE
COVER SHEET & SITE PLAN

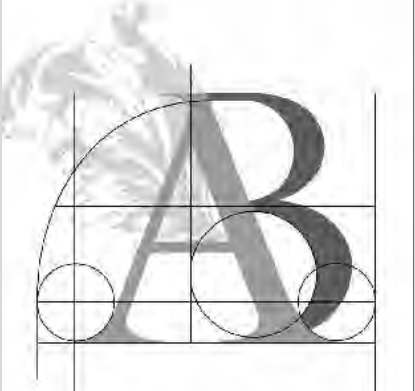
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Site Plan
SCALE: 1/16" = 1'-0"





BECK
ARCHITECTURE

550 Liberty Hill
Cincinnati, Ohio
45202-6891

513-651-5550
info@beckarchitects.com

PRELIMINARY
ISSUE
NOT FOR CONSTRUCTION

Gaudio & Roberts Residence
524 Milton St. Cincinnati, OH 45202

EXISTING BASEMENT / DEMO PLAN

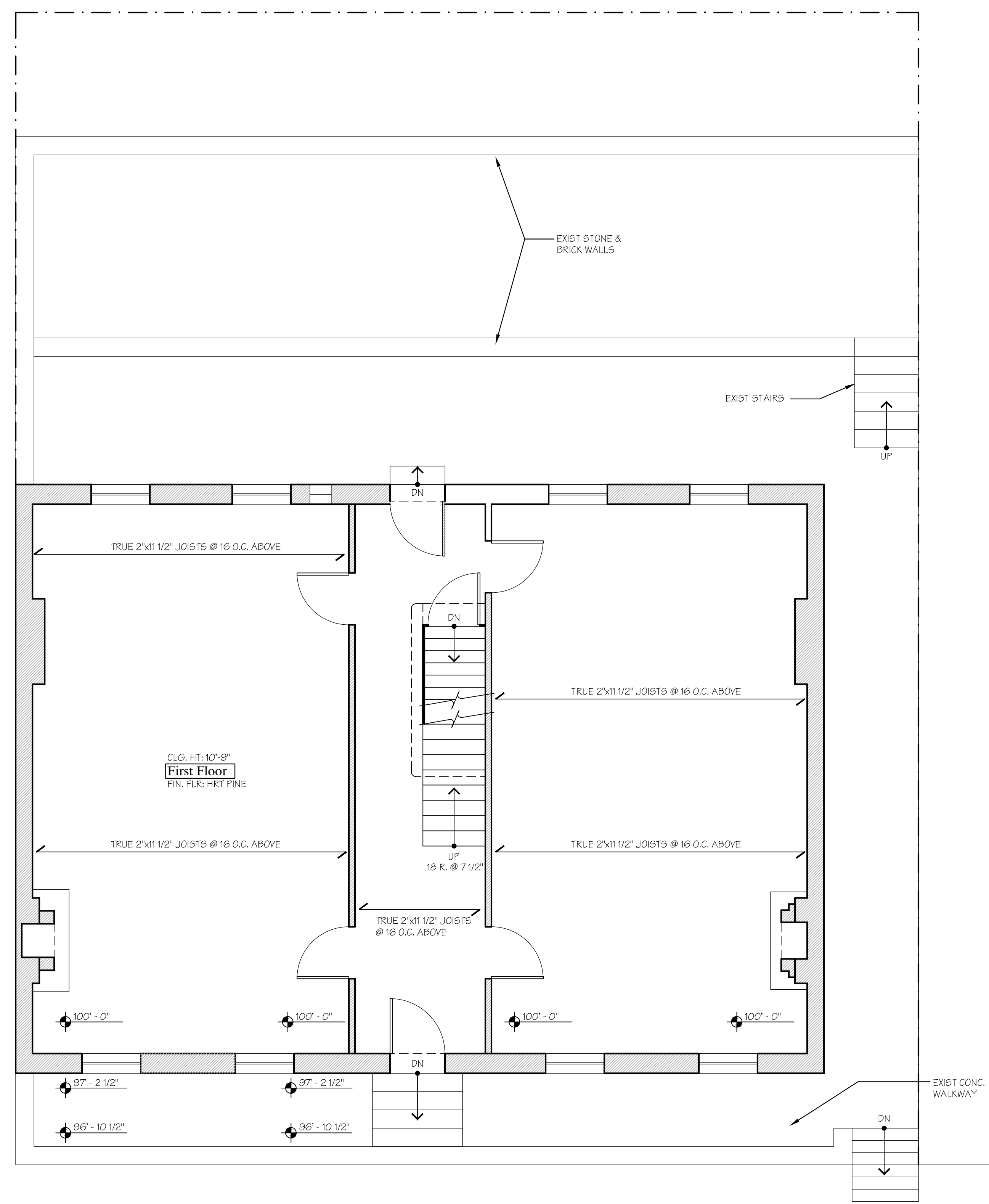
PROJECT

DRAWING TITLE

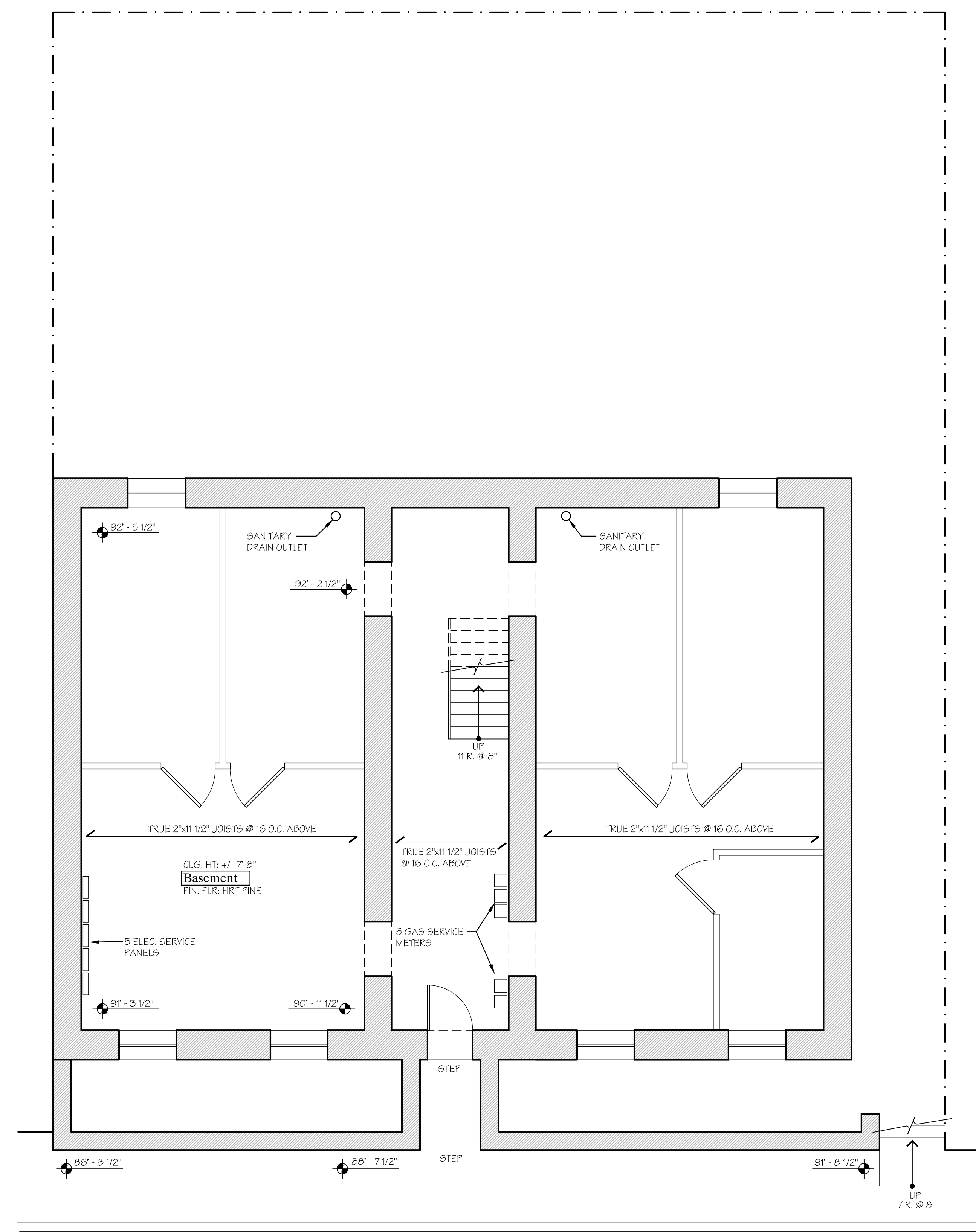
SHEET

A1.0

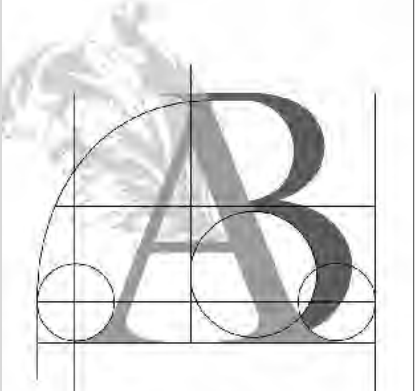
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North
2
A1.0
First Floor Plan - Existing/Demo
SCALE: 1/4" = 1'-0"



North
1
A1.0
Basement Plan - Existing/Demo
SCALE: 1/4" = 1'-0"

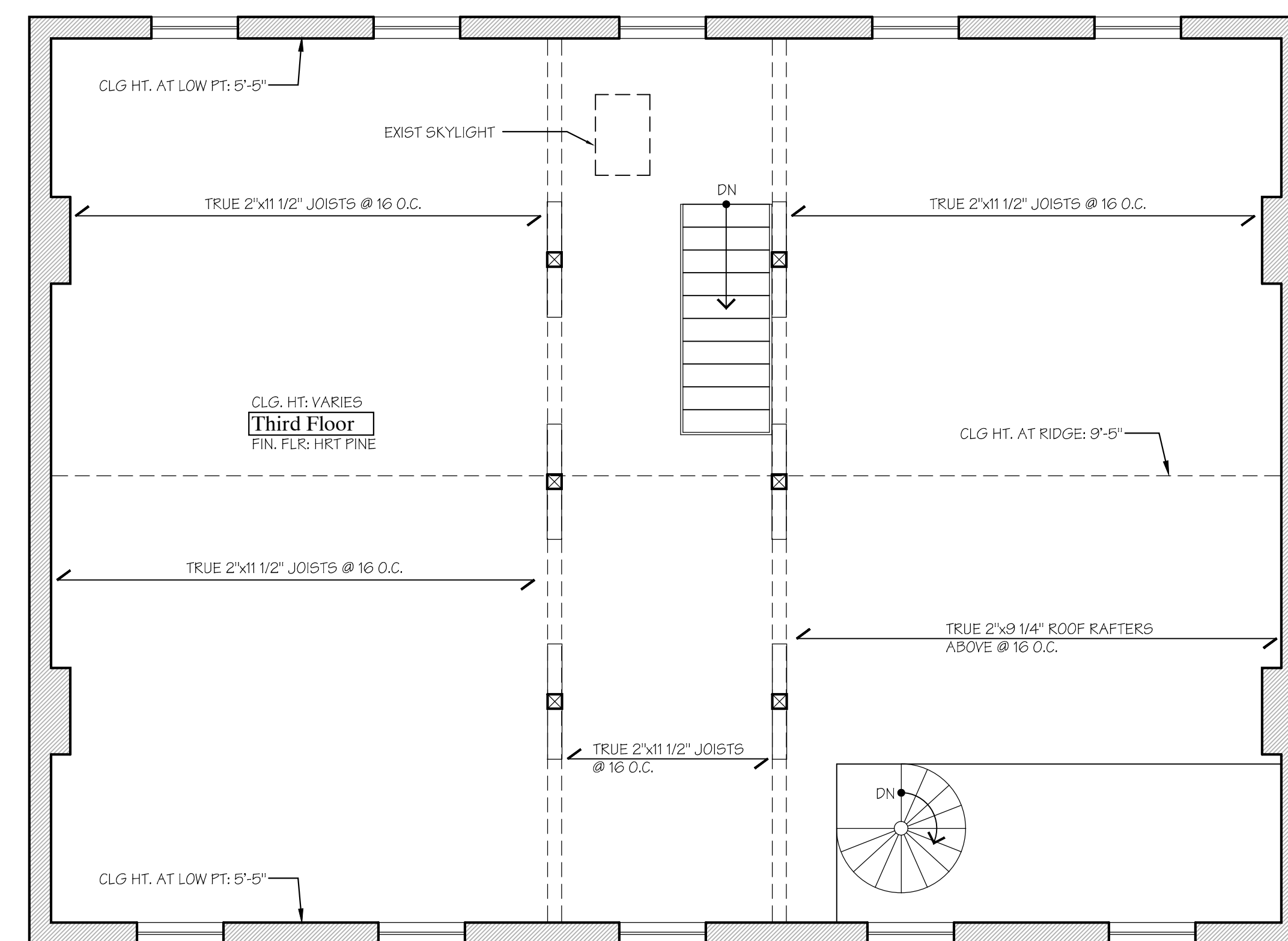


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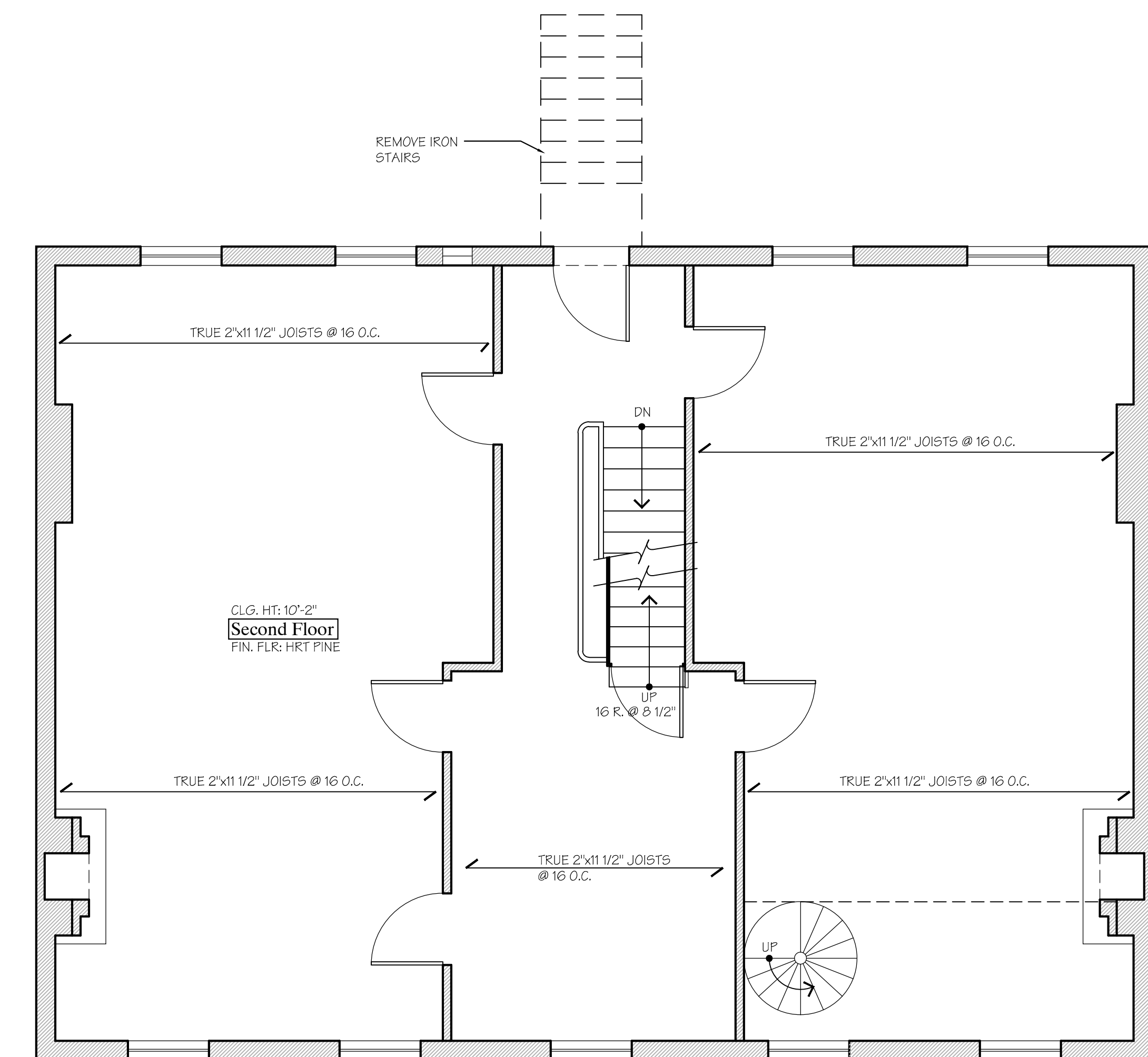
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45202-6891

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North
Third Floor Plan - Existing/Demo
SCALE: 1/4" = 1'-0"

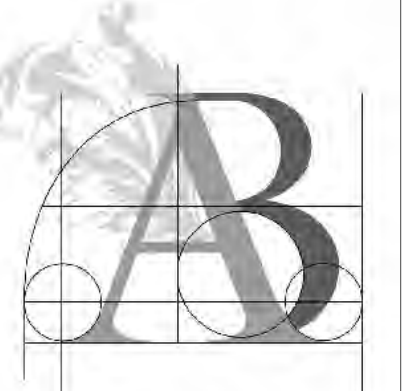


North
Second Floor Plan - Existing/Demo
SCALE: 1/4" = 1'-0"

Gaudio & Roberts Residence
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PROJECT
DRAWING TITLE
SHEET

A1.1



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PROJECT

DRAWING TITLE

EXISTING ELEVATIONS

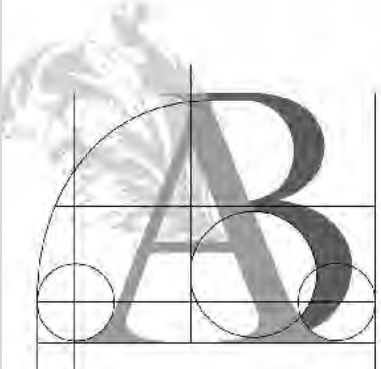
SHEET

A1.2

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1 South Elevation - Existing
A1.2 SCALE: 1/4" = 1'-0"



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BASEMENT & FIRST FLOOR PLANS

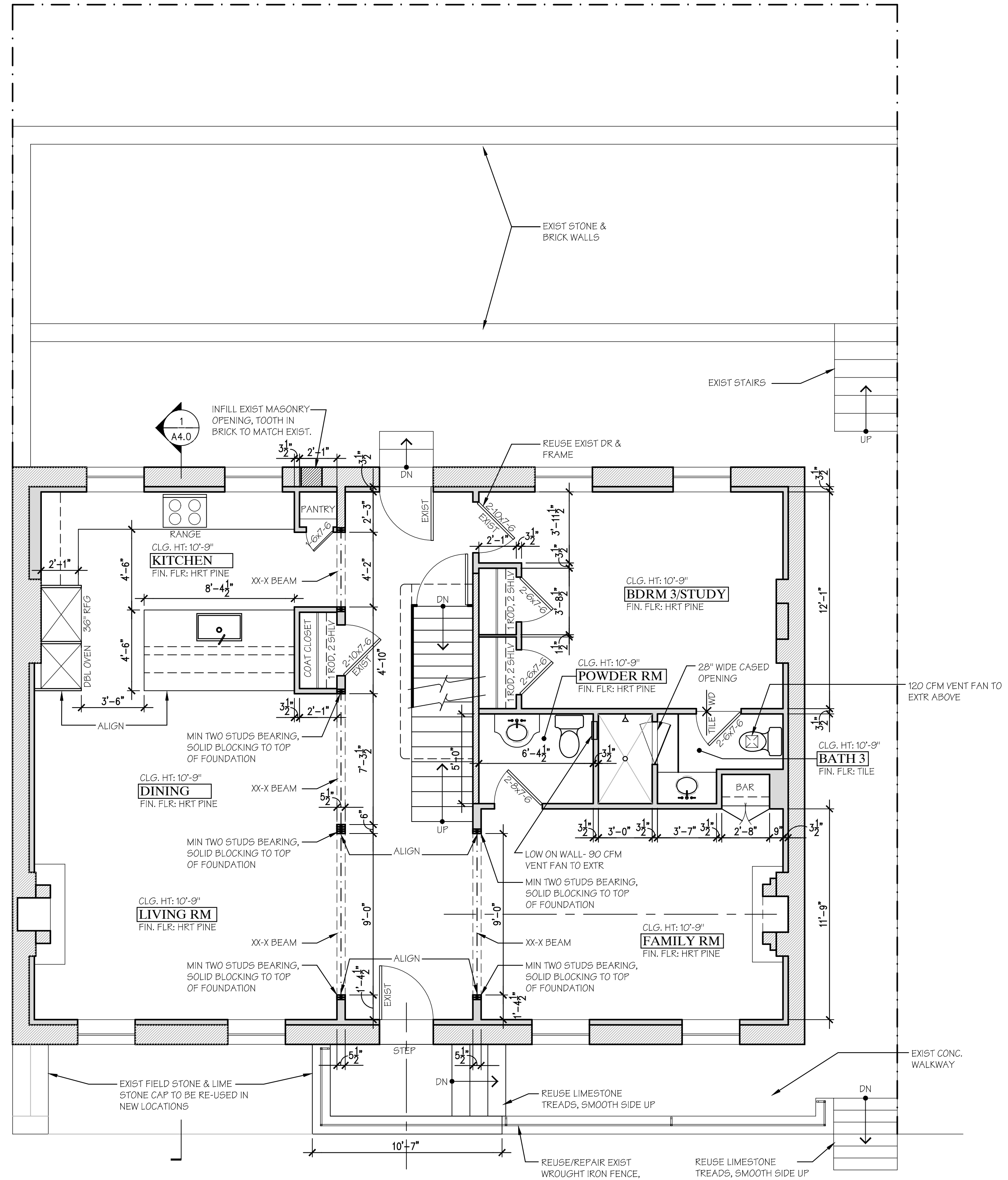
PROJECT

DRAWING TITLE

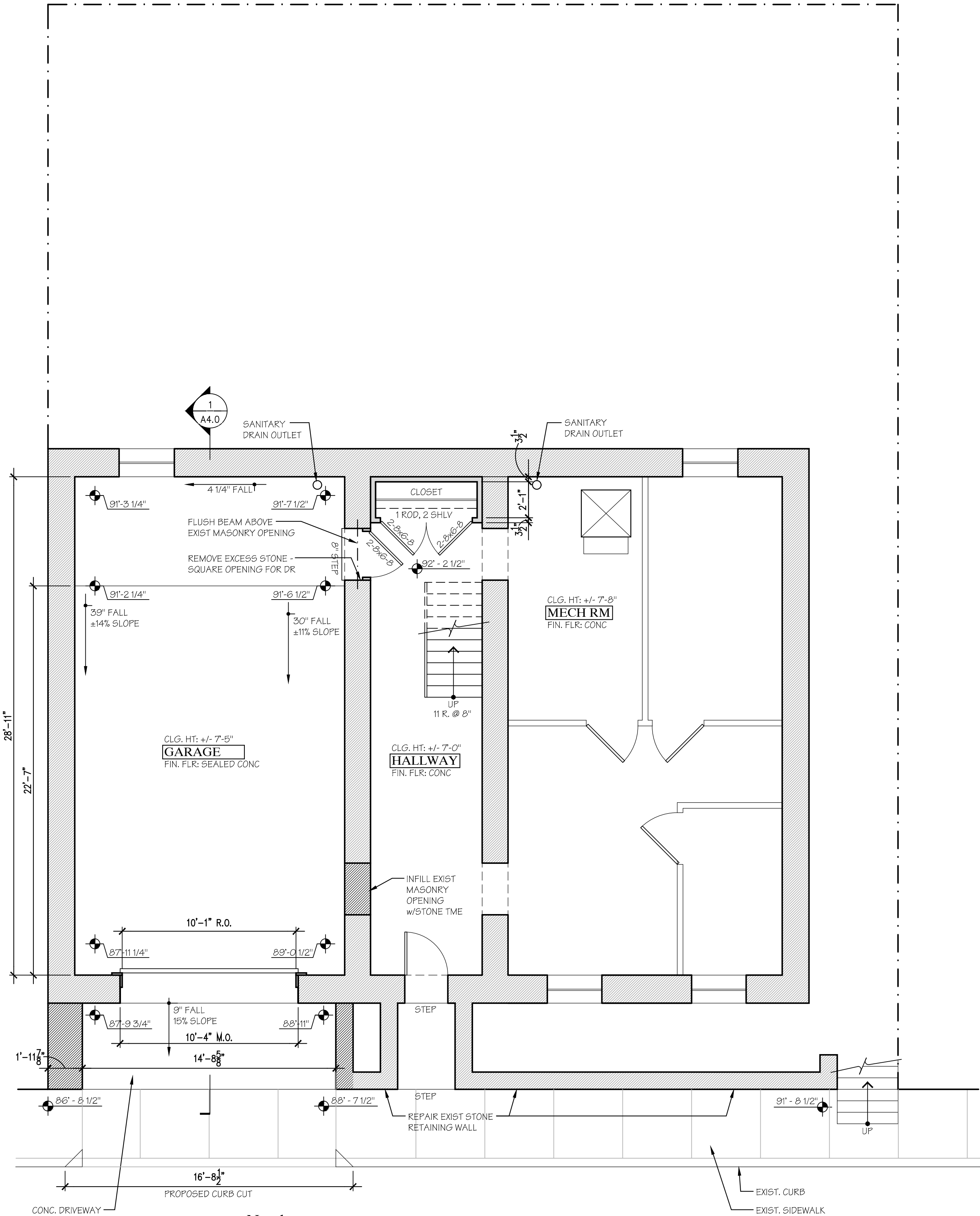
SHEET

A2.0

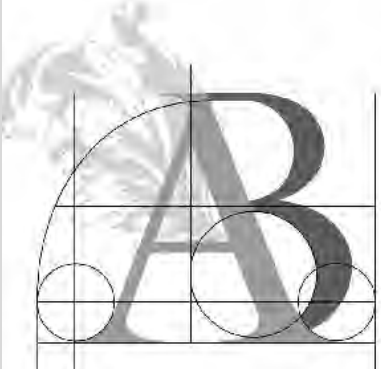
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North
2
A2.0
First Floor Plan
SCALE: 1/4" = 1'-0"



North
1
A2.0
Basement / Foundation Plan
SCALE: 1/4" = 1'-0"



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PROJECT

DRAWING TITLE

EXISTING ELEVATIONS

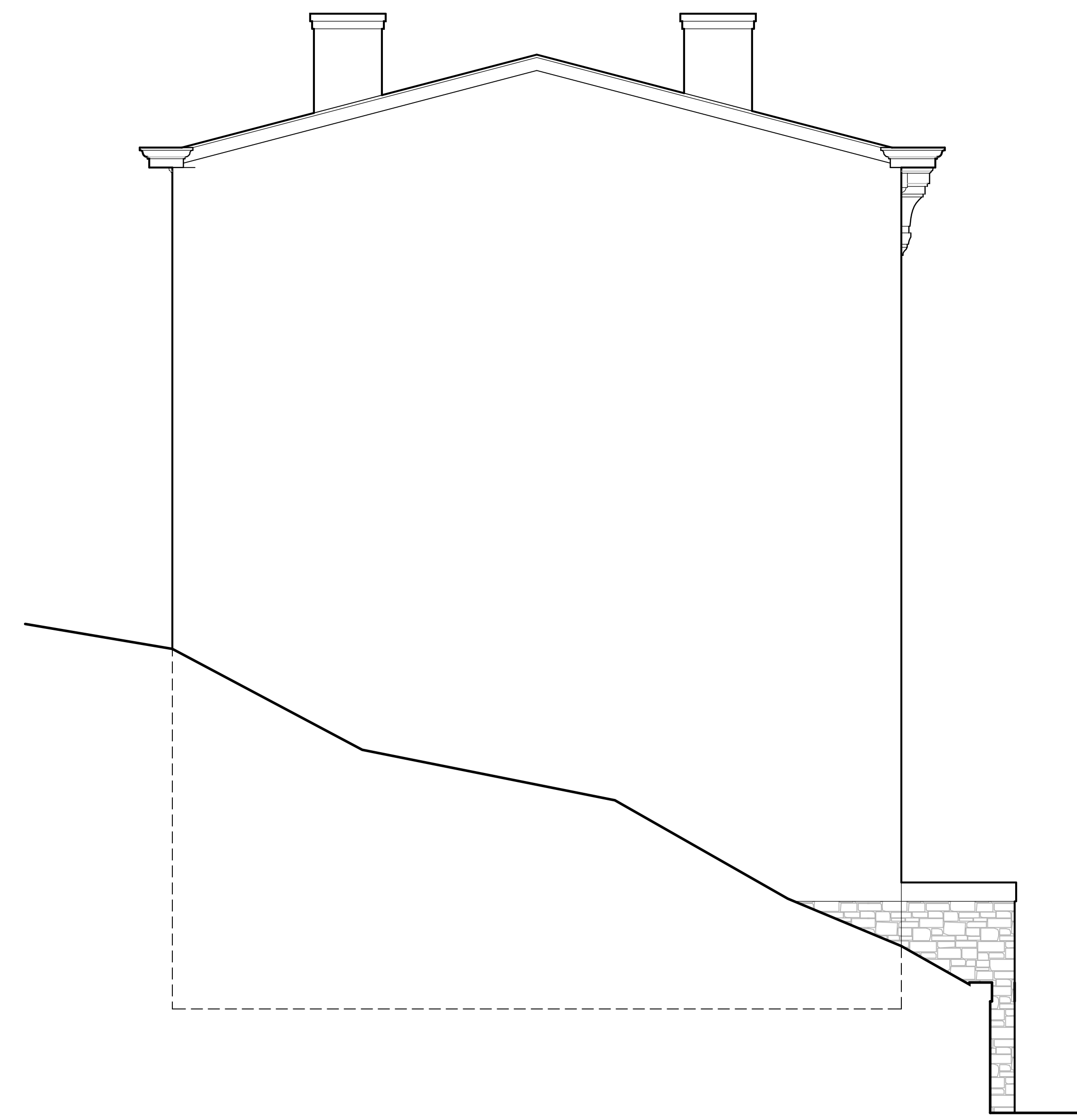
SHEET

A1.3

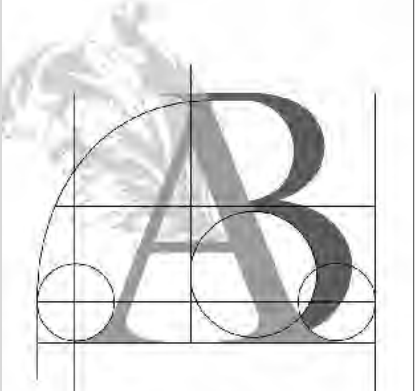
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2 North Elevation - Existing
A1.3 SCALE: 1/4" = 1'-0"



1 West Elevation - Existing
A1.3 SCALE: 1/4" = 1'-0"



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SECOND & THIRD FLOOR PLANS

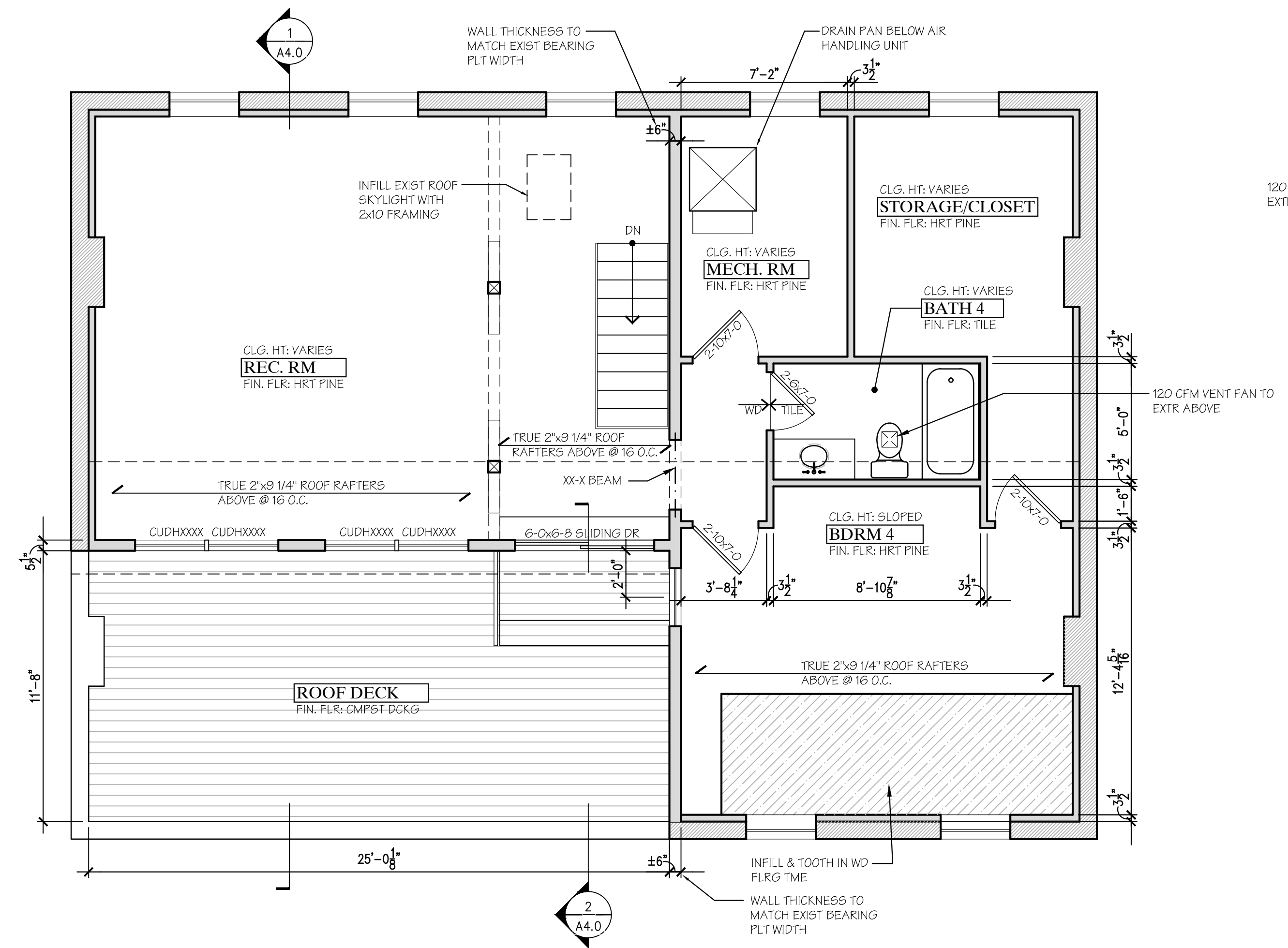
PROJECT

DRAWING TITLE

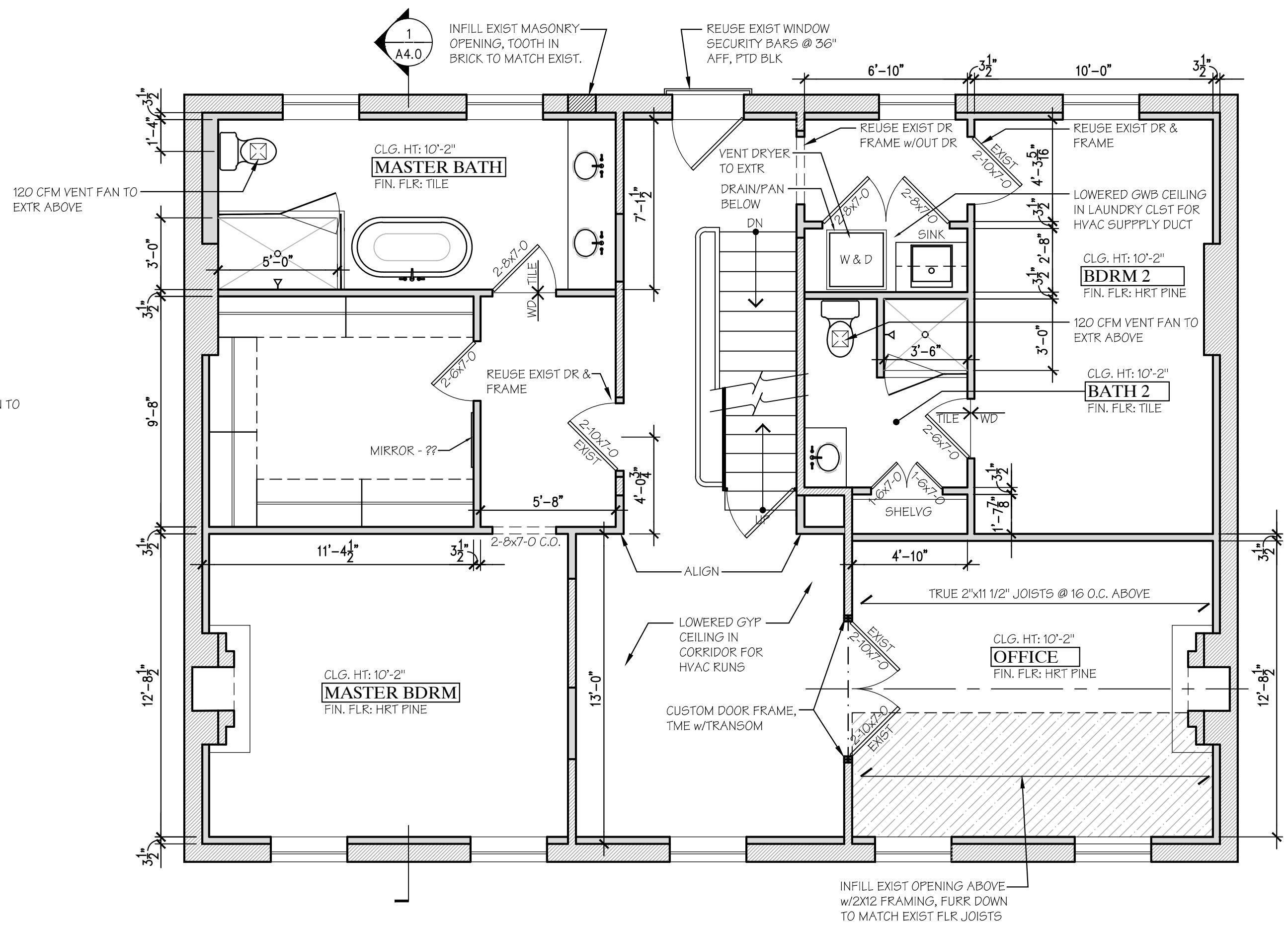
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A2.1

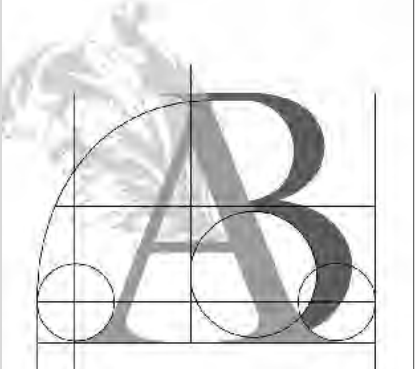
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North
Third Floor Plan
SCALE: 1/4" = 1'-0" SCHEME: A



North
Second Floor Plan
SCALE: 1/4" = 1'-0"



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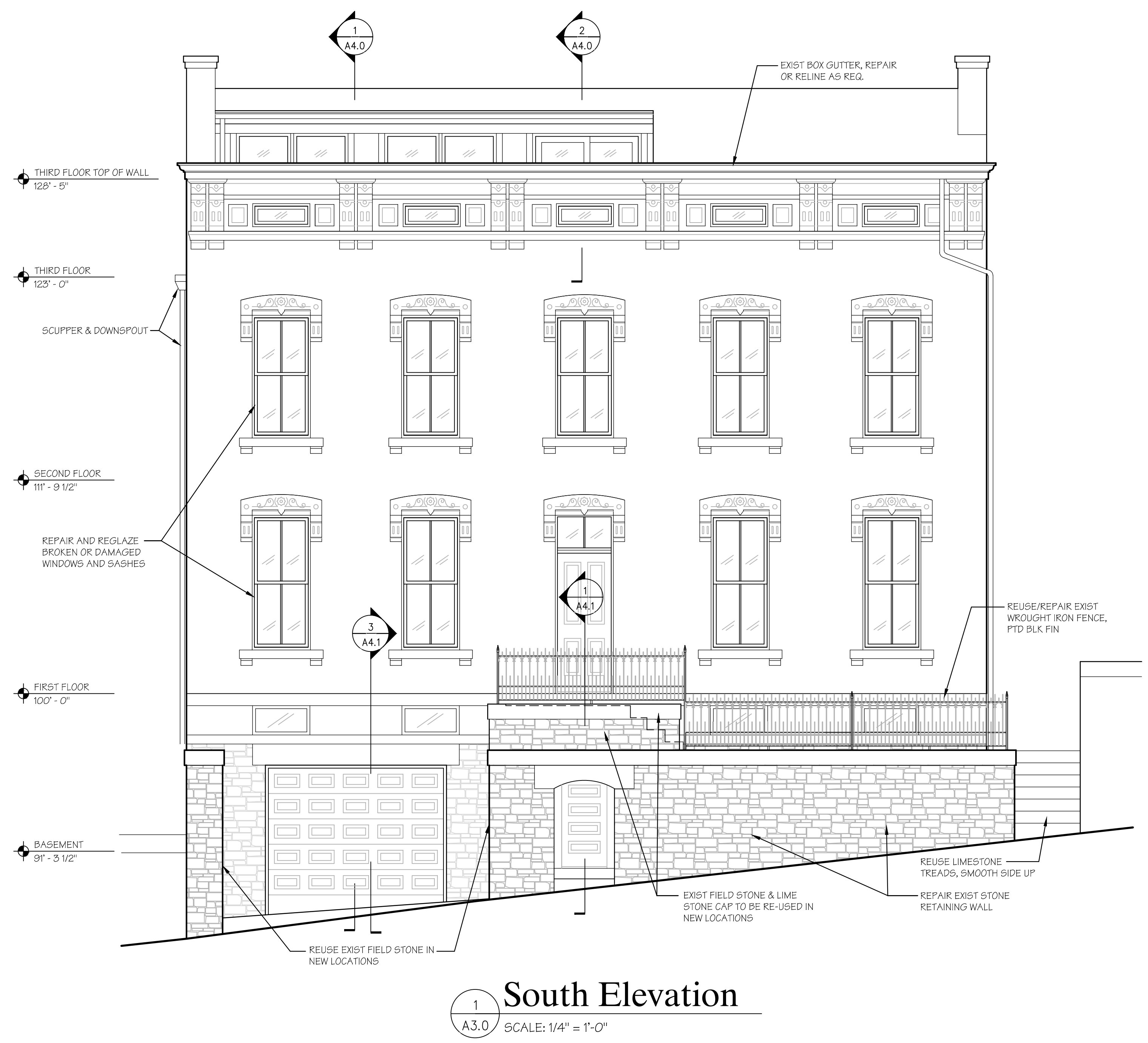
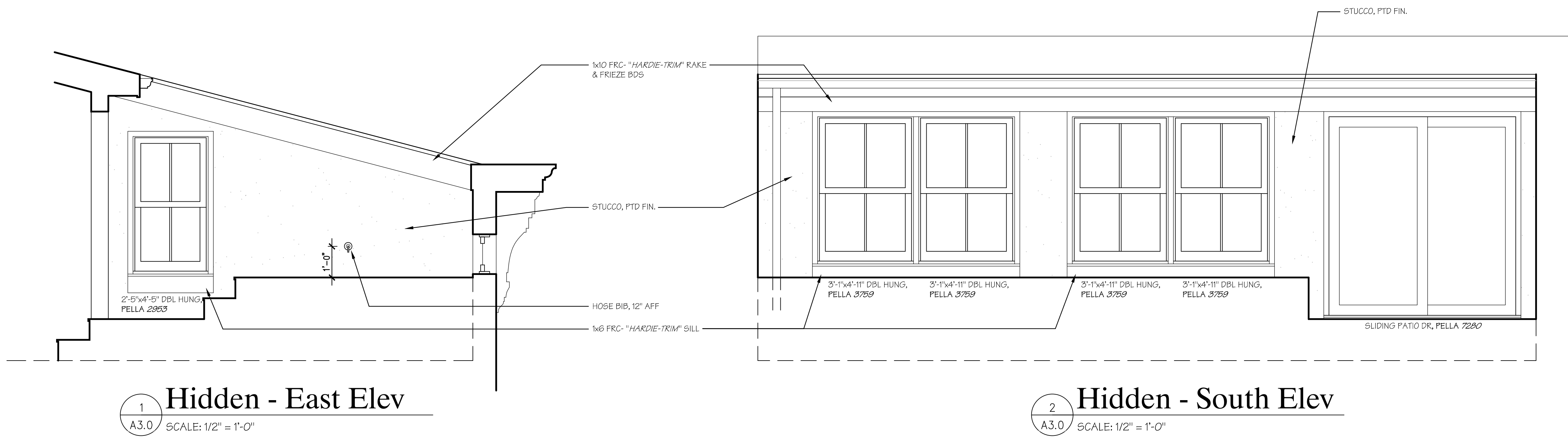
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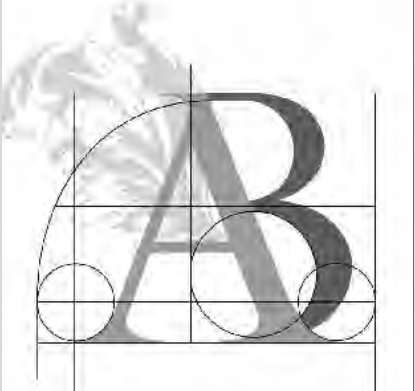
ELEVATIONS

SHEET

A3.0

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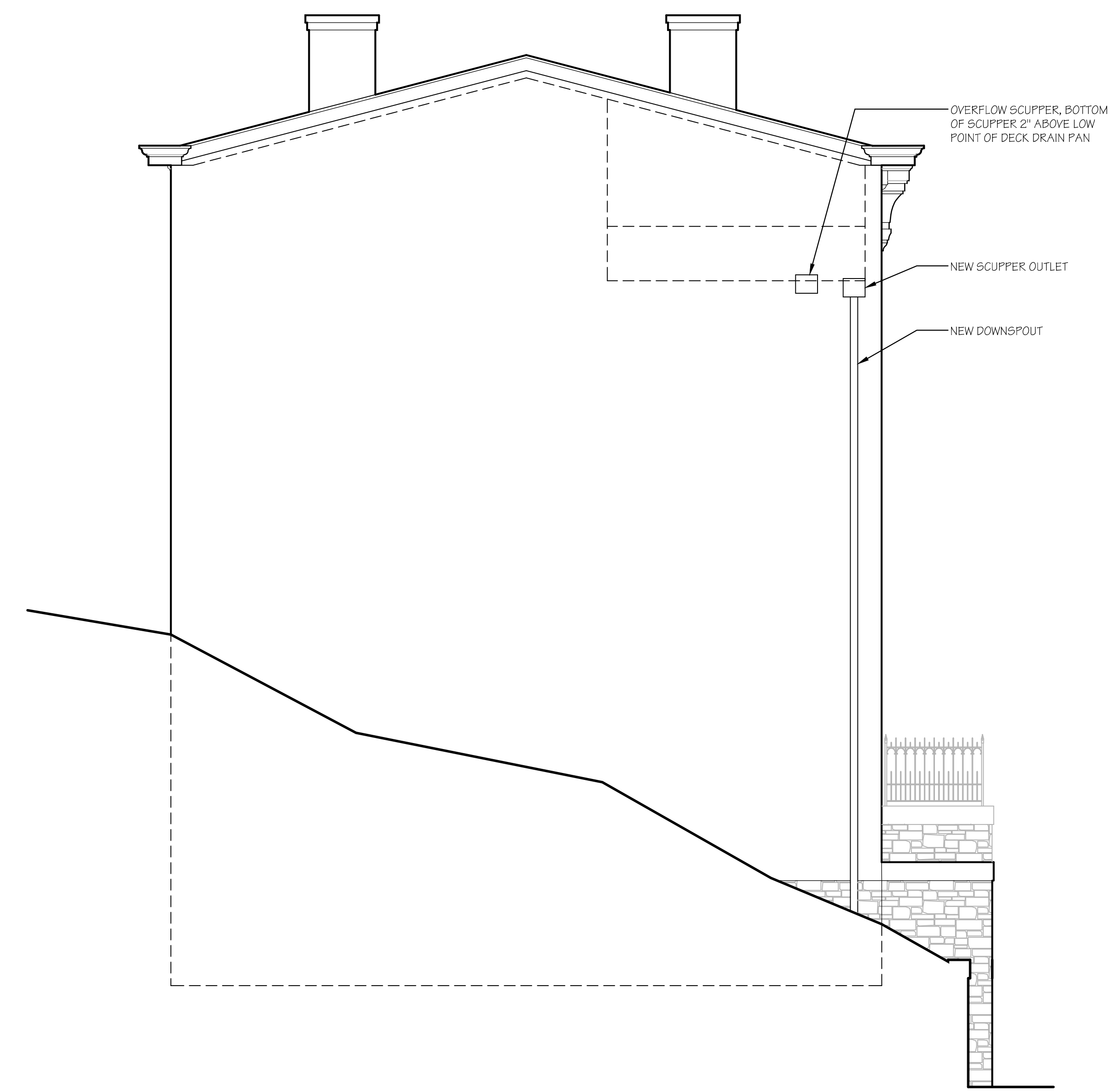
PROJECT
DRAWING TITLE
ELEVATIONS

SHEET
A3.1

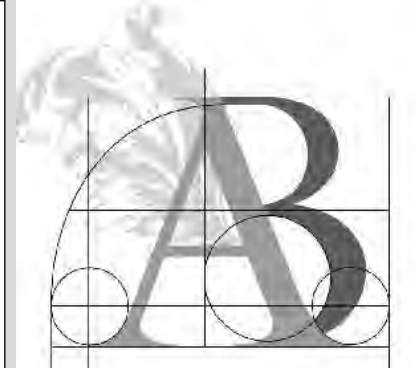
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2 North Elevation
A3.1 SCALE: 1/4" = 1'-0"



1 West Elevation
A3.1 SCALE: 1/4" = 1'-0"



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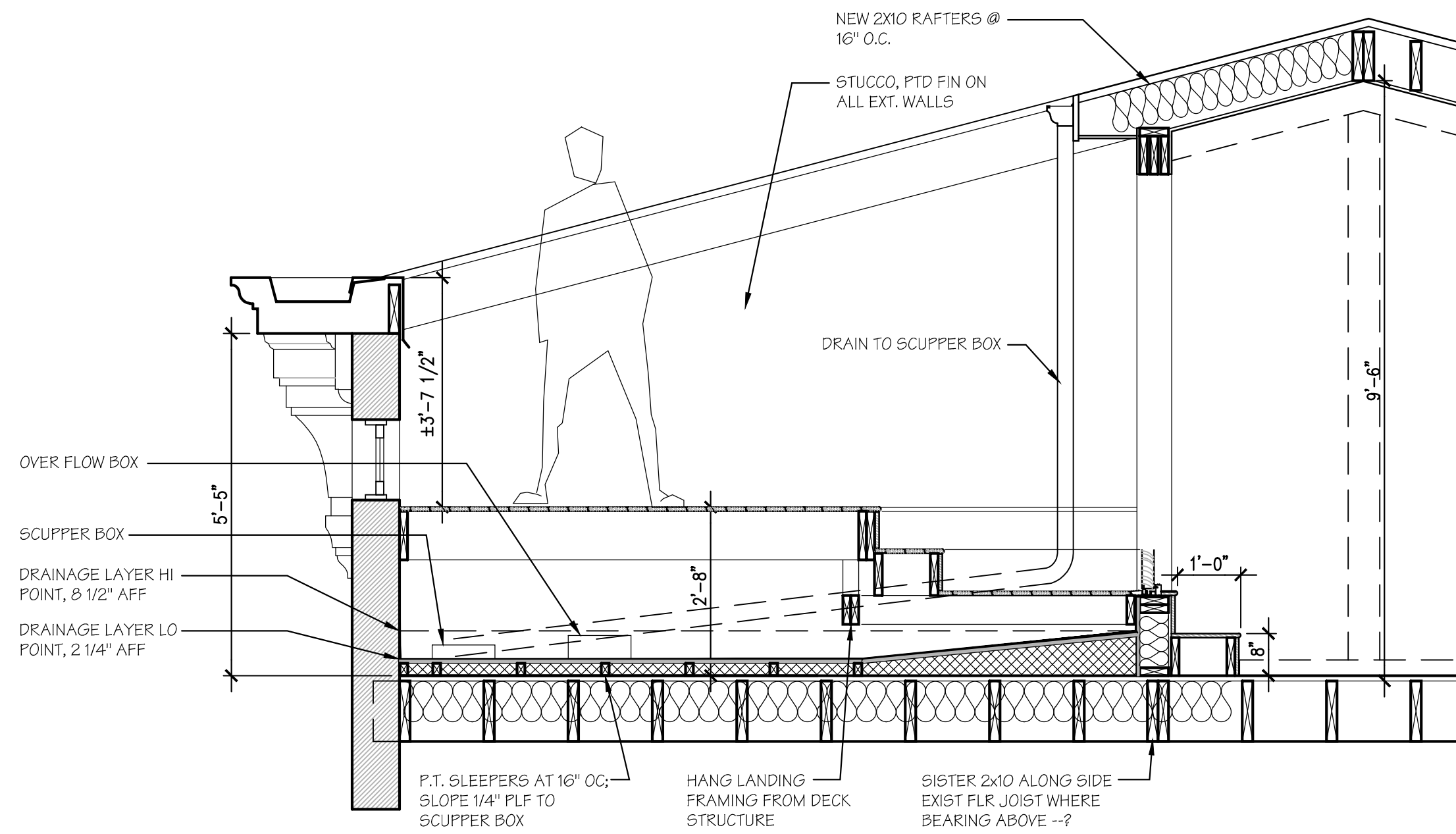
PROJECT
DRAWING TITLE

BUILDING SECTION AND DETAILS

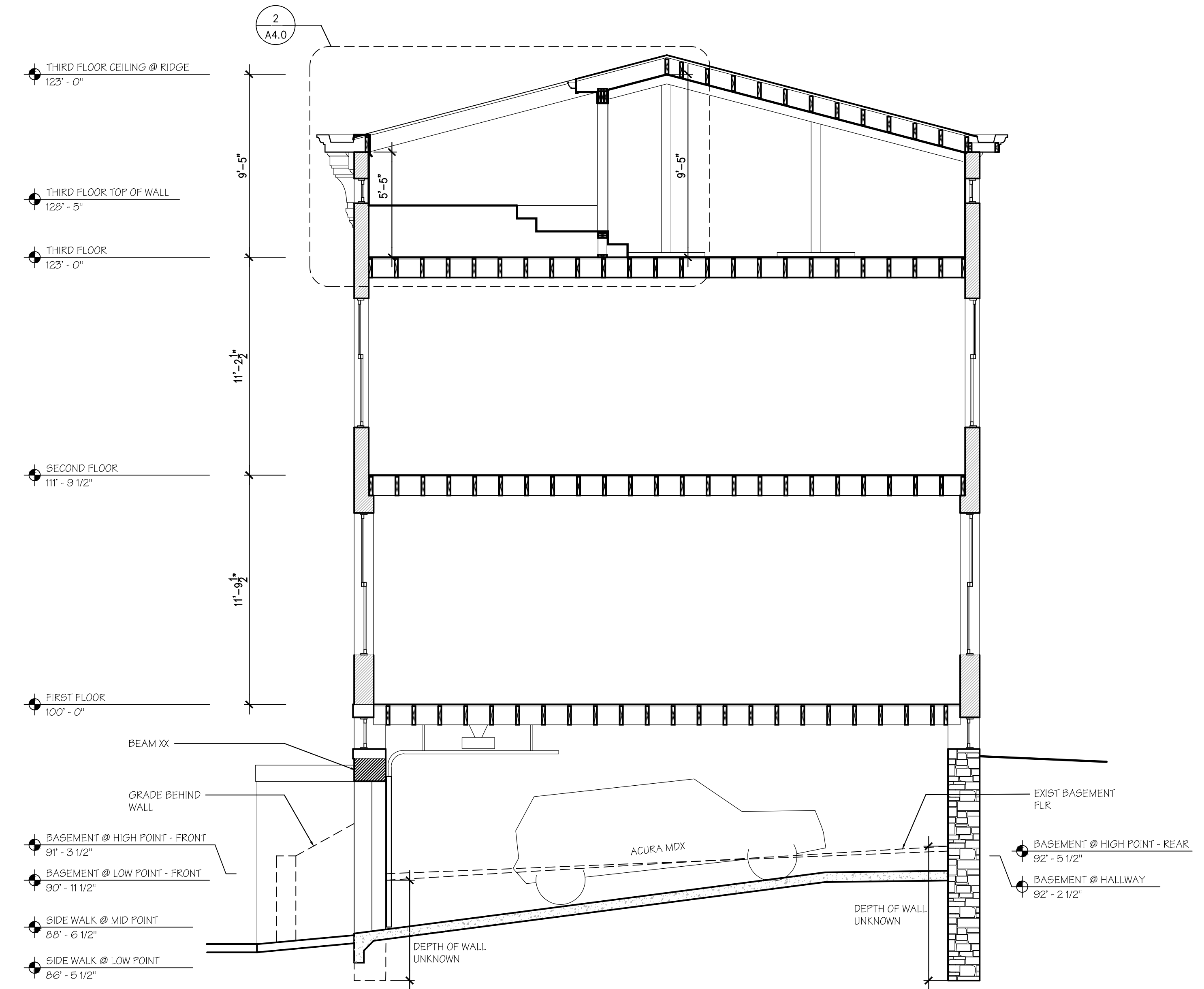
SHEET

A4.0

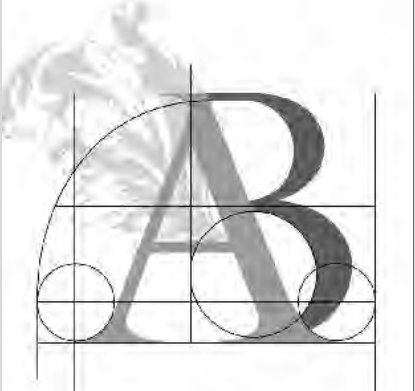
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2 Section - Roof Deck
A4.0 SCALE: 1/2" = 1'-0"



1 Section - Building
A4.0 SCALE: 1/4" = 1'-0"



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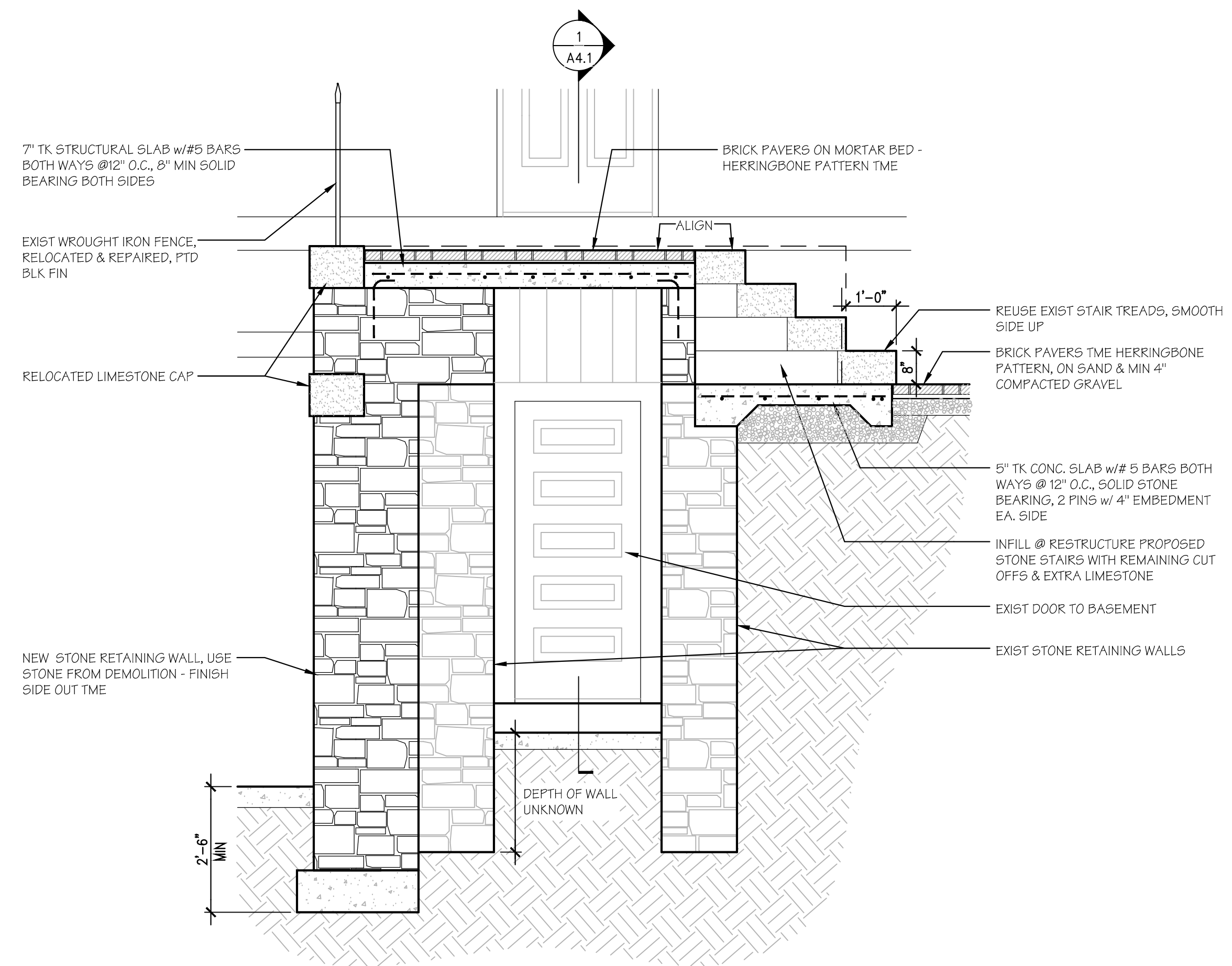
PROJECT
DRAWING TITLE

SECTIONS AND DETAILS

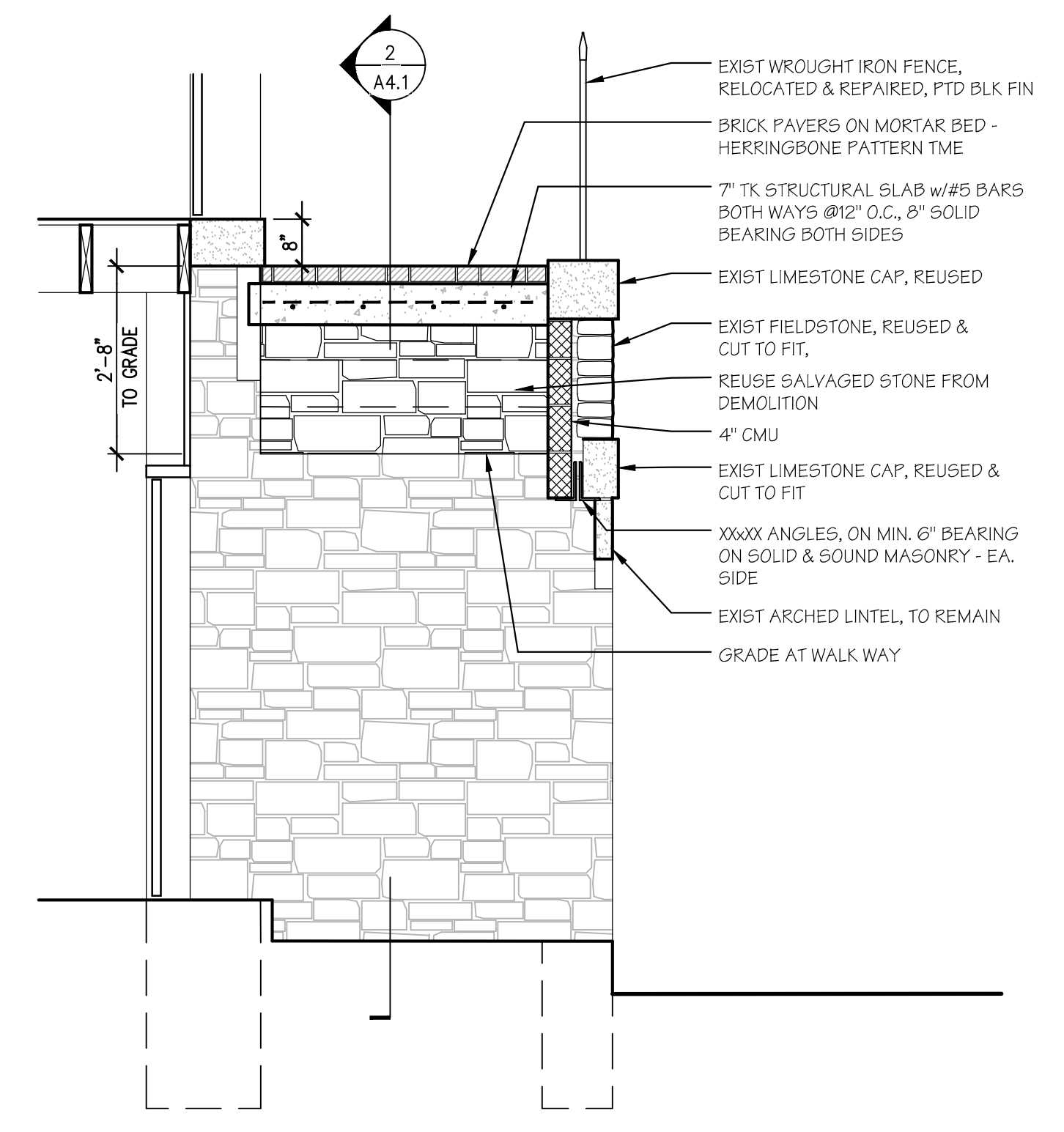
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A4.1

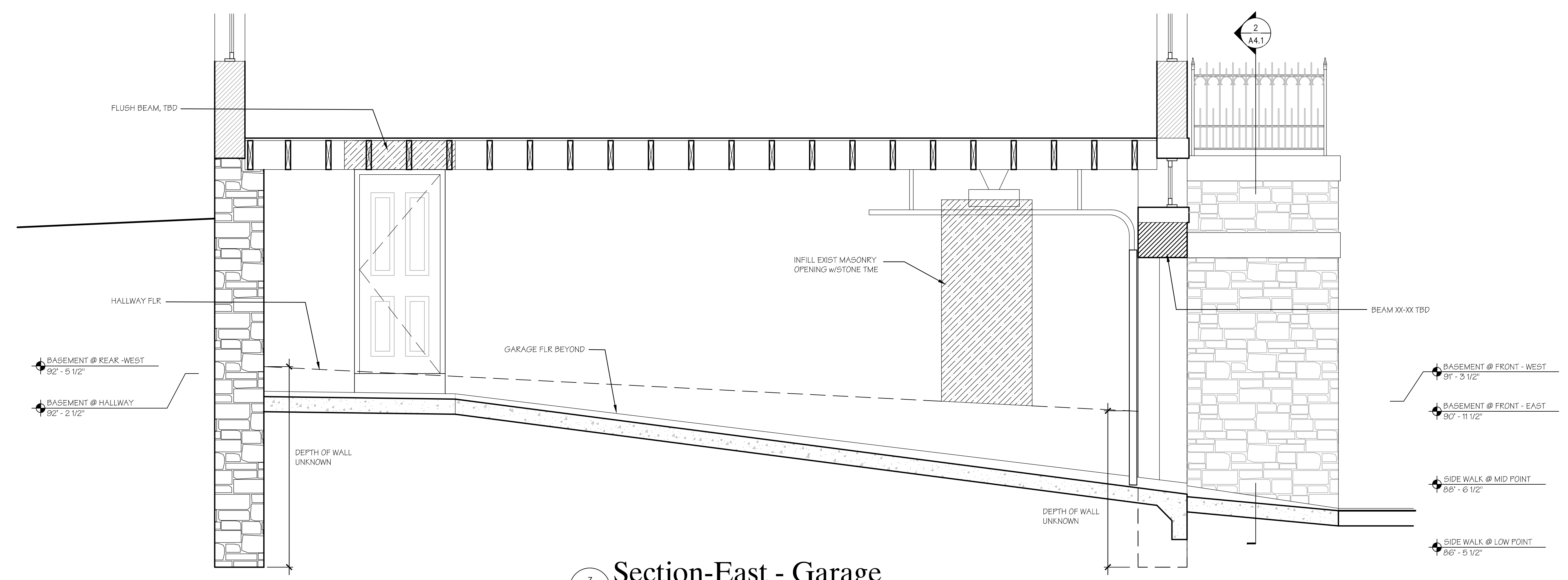
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2 Section - Entry Stairs
A4.1 SCALE: 1/2" = 1'-0"



1 Section - Entry Stairs
A4.1 SCALE: 1/2" = 1'-0"



3 Section-East - Garage
A4.1 SCALE: 1/2" = 1'-0"

CLASSIC™ COLLECTION

PREMIUM

series



America's Favorite Garage Doors®



Model 9200, Short Elegant Panel with Optional Colonial 509 Window Design



clopay.com

intellicore®

insulation technology

Premium Series garage doors featuring Intellicore® insulation technology represent the ultimate smart choice for homeowners. Clopay's Intellicore is a proprietary polyurethane foam that is injected into our Premium Series doors, expanding to fill the entire structure. The result is a door with incredible strength and durability. Its dense insulation also produces a quieter door, and with one of the industry's leading R-values of 18.4, it provides year-round comfort and improved energy efficiency.



WARMER

Energy efficiency provides year-round comfort



QUIETER

Dense insulation reduces noise by up to 16 decibels



STRONGER

Enhanced strength resists everyday wear and tear

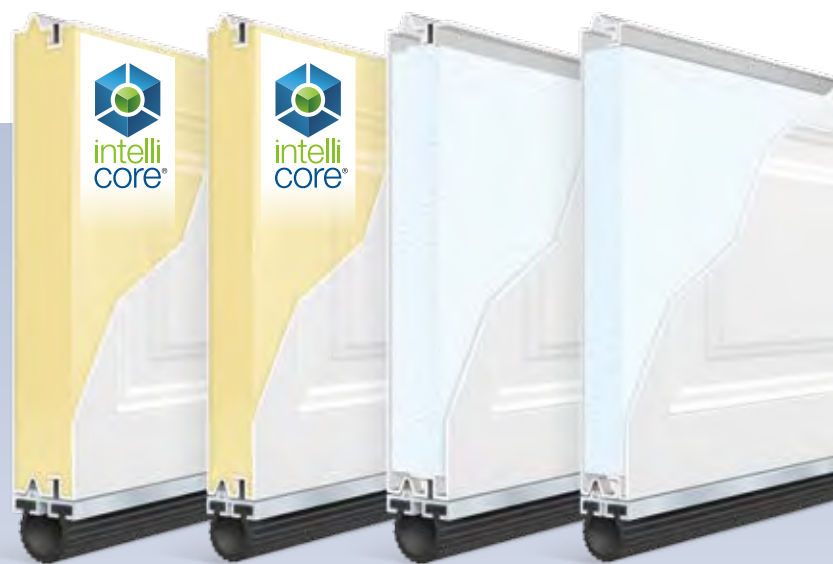
PREMIUM series

Improve your home's appearance and energy efficiency with a Clopay Premium Series insulated garage door. Available with Intellicore® polyurethane or polystyrene insulation in 2" or 1-3/8" thicknesses, Premium Series models offer exceptional insulating R-values, strength and security, as well as quiet operation and a beautiful appearance. Choose from two panel styles, multiple color options and a wide range of decorative window options to create a door that fits your budget and enhances your home's curb appeal.

3-LAYER CONSTRUCTION

2" or 1-3/8" insulation provides comfort, energy efficiency and superior R-values in every season.

- Weathertight tongue-and-groove section joints help seal out wind, rain and snow.
- Replaceable bottom weatherseal in a rust-proof aluminum retainer helps prevent elements from entering garage.
- Patented Safe-T-Bracket® helps prevent serious injury that could occur if the bottom bracket were removed with the garage door closed and under tension.
- Nylon rollers are smooth and quiet.
- Galvanized steel hinges attached to backup plates are durable, reliable and secure.
- Prepainted white end stiles and interior steel backing create a clean, finished appearance.
- Inside/outside step plates and grip handles make doors easy and safe to operate.



2" 1 3/8"
Polyurethane Models

27 GAUGE STEEL¹ **9200** short panel
9203 long panel

2" POLYURETHANE

EFFICIENCY
18.4
R-VALUE*

27 GAUGE STEEL¹ **9130** short panel
9133 long panel

1 3/8" POLYURETHANE

EFFICIENCY
12.9
R-VALUE*

2" 1 3/8"
Polystyrene Models

27 GAUGE STEEL¹ **4300** short panel
4310 long panel

2" POLYSTYRENE

EFFICIENCY
9.0
R-VALUE*

26 GAUGE STEEL² **4050** short panel
4053 long panel

1 3/8" POLYSTYRENE

EFFICIENCY
6.5
R-VALUE*

¹Models with Ultra-Grain® and Black paint options are 24 gauge steel.
²Models with Black paint option are 24 gauge steel.

*Calculated door section R-value is in accordance with DASMA TDS-163.



*Model 9203, Long Elegant Panel with
Optional Charleston 608 Window Design*

DETAIL



Deep panel edging and natural embossed woodgrain texture improve appearance close-up and from the curb.

STYLE



Elegant Short

Complements homes with traditional styling. Models 9200, 9130, 4300 and 4050.



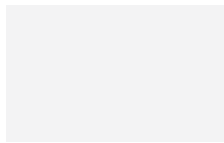
Elegant Long

Ideal for ranch style homes. Models 9203, 9133, 4310 and 4053.

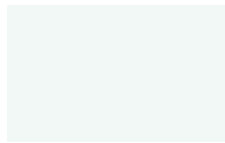
*Doors range from 6' to 16' high and 6'2" to 20' wide. Consult your Clopay Dealer for size options.
WINDCODE® Doors are available to meet most regional wind load requirements.
Consult your local dealer for specific information.*



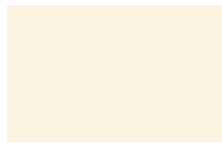
COLORS



Standard White



Glacier White**



Almond



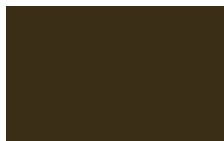
Desert Tan



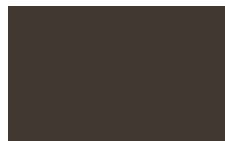
Sandtone



Bronze



Chocolate



Mocha Brown*



Black*



Hunter Green



Gray

- Exterior steel on standard color doors has a natural woodgrain texture.
- Doors can be painted to match the home's exterior using a high-quality latex exterior paint. Do not use oil-based paint.

Due to the printing process, colors may vary. See your Clopay Dealer for color samples.

**Not available on Models 4050 and 4053.*

***Popular in select markets, Glacier White is a brighter white.*

CUSTOM PAINT OPTION



Color Blast™ offers more than 1,500 Sherwin-Williams® color options to complement your home. Clopay's durable two-part paint system has been thoroughly tested and is backed by a five-year warranty.



Model 9200, Short Elegant Panel with Optional Trenton® Window Design; Shown in Ultra-Grain® Classic Cherry Finish

ULTRA-GRAIN® PAINT OPTION



Classic Medium Finish



Classic Cherry Finish



Classic Walnut Finish

Due to the printing process, colors may vary.

Not available on Models 9130, 9133, 4050 or 4053.

- Painted steel surface simulates a real stained door without the need of staining and the ongoing maintenance of wood.
- Woodgrain runs horizontal on stiles and vertical on panels for an authentic, natural look.
- Available in Medium, Cherry or Walnut Classic finishes that complement Clopay Entry Doors, shutters and other exterior stained wood products.
- Exterior steel surface on an Ultra-Grain® painted door has a stucco texture to create a more natural woodgrain appearance.



Model 4300, Short Elegant Panel with Optional Orleans Wrought Iron Window Design; Shown in Ultra-Grain® Classic Cherry Finish



Model 4050, Short Elegant Panel
with Optional Colonial 509 Window Design

RUST-PREVENTION SYSTEM



Steel skins are protected through a tough, layered coating system, including a hot-dipped galvanized layer, a protective metal oxide pretreatment and a baked-on primer and top coat.

GREATER ENERGY EFFICIENCY



Thermal break* separates the interior from the exterior skin to improve energy efficiency and comfort.

**Thermal break is not present on Models 4050 and 4053.*

WARRANTIES

PAINT SYSTEM LIMITED LIFE WARRANTY	WINDOWS LIMITED 10YR WARRANTY	HARDWARE LIMITED 3YR WARRANTY
--	---	---

A FOCUS ON *green.*



Clopay is committed to designing, manufacturing and distributing garage doors that enhance the beauty, safety and value of your home while minimizing the impact on the environment.

The Premium Series helps conserve natural resources by providing a durable, reliable, low-maintenance, energy efficient door with environmentally safe insulation. Steel doors and hardware are impervious to moisture and will not rot, warp or crack, and the steel used in Clopay's doors is made from over 75% recycled content. All Clopay doors are made in the U.S., minimizing shipping, damage and handling. For more details on Clopay's green practices, visit our website at clopaydoor.com/green

WINDOW OPTIONS

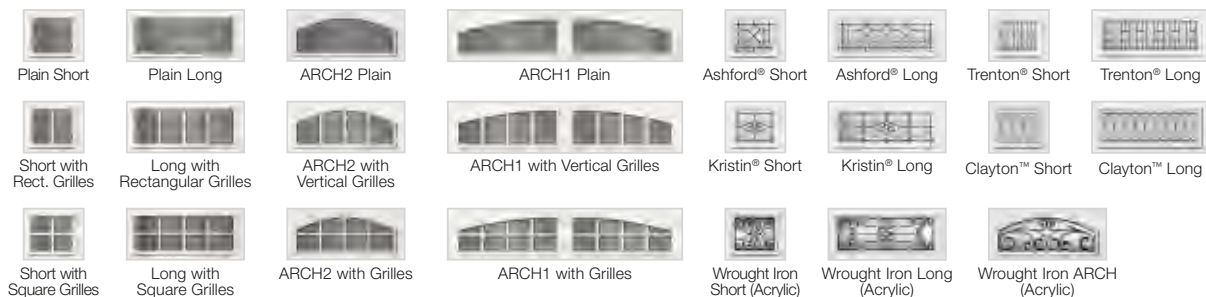
Our windows add natural light to your garage while adding curb appeal to your home. All Clopay window frames are UV-protected and are color matched to our prefinished door colors. Window frames screw in from the inside for easy glass replacement or to change designs.

ARCHITECTURAL SERIES WINDOWS

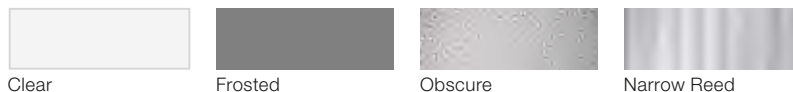
These windows are from Clopay's Architectural Series, featuring a larger viewing area and are available on select models and heights. Short windows are 19-1/2" x 16" and long windows are 42" x 16".

Available on These Models

9200* 9130*
9203 9133



Windows are available single pane or insulated in clear, frosted, obscure and narrow reed designs.

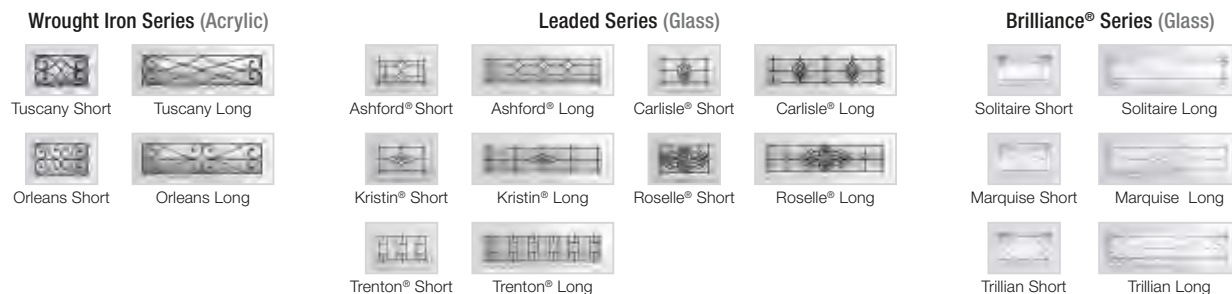


DECORATIVE WINDOWS

Clopay's decorative windows are created to complement many home styles. Short windows are 19-1/2" x 12" and long windows are 40-1/2" x 12".

Available on These Models

9200* 4300*
9203 4310
9130* 4050*
9133 4053

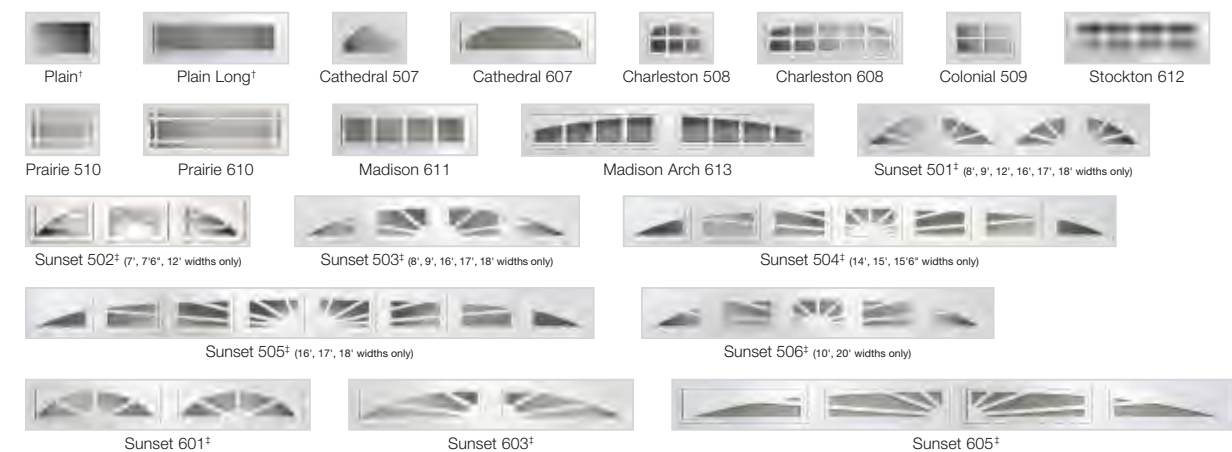


DECORATIVE INSERT SERIES WINDOWS

UV-protected cellular plastic insert designs snap into either the inside or outside of the window frame for easy cleaning or to change designs. Windows are offered in single strength, double strength, acrylic, obscure or insulated glass. Short windows are 19-1/2" x 12" and long windows are 40-1/2" x 12".

Available on These Models

9200* 4300*
9203 4310
9130* 4050*
9133 4053



Windows are available single pane or insulated in clear, frosted, obscure and rain designs. Clear acrylic also available.



Short windows not available on long panel doors.
*Panel emboss may not align on long window with short panels. Some size limitations apply.
†Shown with clear glass. Acrylic and obscure glass optional.
‡Sunset windows not available on Ultra-Grain® doors.
Acrylic windows require special cleaning. Never use products that contain ammonia or petroleum products to clean acrylic. Please visit clopaydoor.com/acrylic for complete details.



Visit clopay.com or call 1-800-2CLOPAY (800-225-6729) for more information on Clopay, America's Favorite Garage Doors. Follow us on MADE IN USA

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

APPLICATION #:
APPLICANT: Nick Dewald, representing the owner
OWNER: WFOUR LLC
ADDRESS: **12 E 13th Street, Cincinnati OH 45202**
PARCELS: 080-0002-0172
ZONING: Commercial Neighborhood (CN-P)
OVERLAYS: Over the Rhine Historic District
COMMUNITY: Over the Rhine
REPORT DATE: August 23, 2016
HEARING DATE: Prehearing August 17, 2016
STAFF REVIEW: Beth Johnson, Urban Conservator

Nature of Request:

The applicant is requesting a Certificate of Appropriateness for a rear addition and pergola.

Existing Conditions:

The building is a one-story brick warehouse building about 15 years old. It is on the corner of E 13th Street and the Alley and sits on the north side of the Street. It is listed as a non-contributing building in the Over-The-Rhine Historic District. The building is surrounded by restaurants and mixed use buildings.



Figure 1: 12 E 13th Street. Image provided from Google Maps

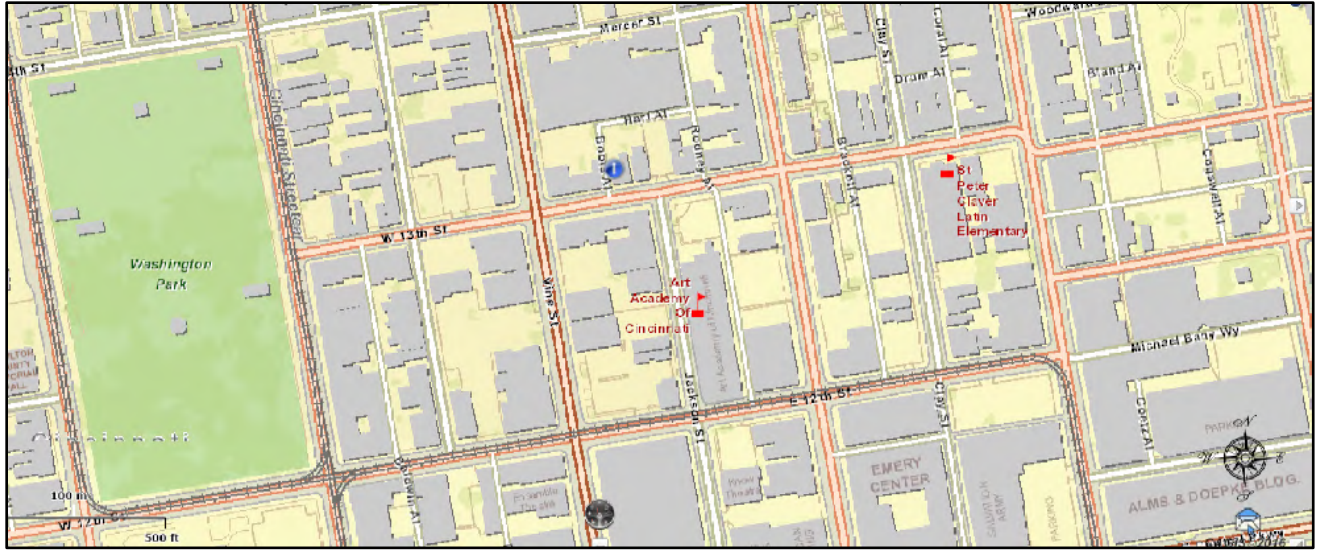


Figure 2: Map of 12 E 13th Street. Map provided by Cagis.

Proposed Conditions:

The proposal is to construct a rear addition and pergola on the rear of the building.

The new construction will feature the following:

1. Existing front garage door will be replaced with a storefront.
2. Bricked in openings along alley in existing building will be replaced with functioning double-hung windows
3. The addition will be CMU with brick veneer to match the existing building.
4. Height and gutters will align with the existing.
5. Enclosed patio with a 4 foot high horizontal board wood and steel fence along the property line and a 6' trash enclosure of the same design.
6. The patio will have a pergola/wood framed and metal roof structure.

Previous Reviews: N/A

Applicable Zoning Code Sections:

Zoning District: Section 1409 Commercial District
 Historic District/Reg: [Over the Rhine Historic District](#)
 COA Standard: [Section 1435-09-2](#) Certificate of Appropriateness; Standard of Review

Details of Zoning Relief Required: The property is in the CN-P zoning district. The proposed use is an eating and drinking establishment which is a permitted use. The applicant will have an outdoor patio, but no outdoor entertainment is proposed by the applicant or permitted by the Zoning Code. The venue is 1972 square feet with both the interior and exterior uses. The use is exempt from parking as according to section 1425-19 of the Cincinnati Zoning Code in CN-P the first 2,000 square feet of gross floor area of existing and new commercial is exempt from parking requirements.

Certificate of Appropriateness Review

This project generally meets the guidelines for the Over-the-Rhine Historic District.

The addition is appropriate as it is taking its design from the original building and as it is an addition on a newer building, having construction match the original construction is appropriate and achievable.

Staff comments on the Guidelines:

Non-Contributing Buildings

2. Additions: Additions to non-contributing buildings should comply with the guidelines outlined in the "Additions" section of this document. Additions should be designed to relate architecturally to adjacent buildings and to the building of which they are a part. Additions should not overpower the original building.

The addition is on the rear of the building and is only a 1-story addition and therefore does not overpower the original building. The addition it is using the same materials, details and rhythm from the original building.

Applicable New Construction:

1. **Roofs:** *The roof shape of the addition is the same as the addition.*

2. **Window Openings:**

The window openings on the original building are being opened up and the window openings along the alley on the addition are matching the windows in the original in shape and composition.

3. **Storefronts:** *The storefront is a modern storefront of a similar design to other storefronts. It is being placed in the current garage door opening and is providing a more sympathetic and inviting front of the building than a garage door.*
4. **Height:** *The height of the addition is the same height as the original building.*
5. **Materials:** *The exterior brick material matches the material on the original building and the rear structure and fence are wood and metal, which are appropriate materials for the district.*

Other Considerations:

Prehearing Results

August 17, 2016 - Only the architects were in attendance.

Comments Provided to Staff: N/A

Recommendation:

Staff recommends the Historic Conservation Board take the following actions:

1. **APPROVE** a Certificate of Appropriateness for addition at 12 E 13th Street per drawings submitted by The Drawing Department dated 7/6/2016 including any revisions.

2. **FINDING:** The Board makes this determination per Section 1435-09-2:
 - (a) That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

APPLICATION



CERTIFICATE OF APPROPRIATENESS

APPLICATION
BUILDING ADDRESS: 12 E. 13th Street

DISTRICT NAME: OTR
(if applicable)

OWNER NAME: WFOUR LLC

ADDRESS: 12 E. 13th Street

EMAIL: jared@jaredwayne.com

CONTRACTOR NAME: Steve's Fabrication @ Construction Services

ADDRESS: 10790 Fite Hauck Rd.

EMAIL: _____

ARCHITECT NAME: drawing dept (Ben Novosel)

ADDRESS: 3217 Madison Rd. Cincinnati, OH 45209

EMAIL: ben@drawingdept.com

HCBC USE ONLY

DATE RECEIVED BY HCB: _____

PERMIT/APD NO: _____

APP. COMPLETION DATE: _____

PHONE NO: (513) 658-4368

PHONE NO: (513) 582-9627

PHONE NO: (513) 272-8099

IT IS YOUR RESPONSIBILITY TO NOTIFY THE URBAN CONSERVATOR IF ANY OF THIS INFORMATION CHANGES DURING THE PENDING REVIEW OF YOUR

WORK PROPOSED: (Describe type of work, existing conditions, and methods to be used, materials proposed)

HCBC USE ONLY

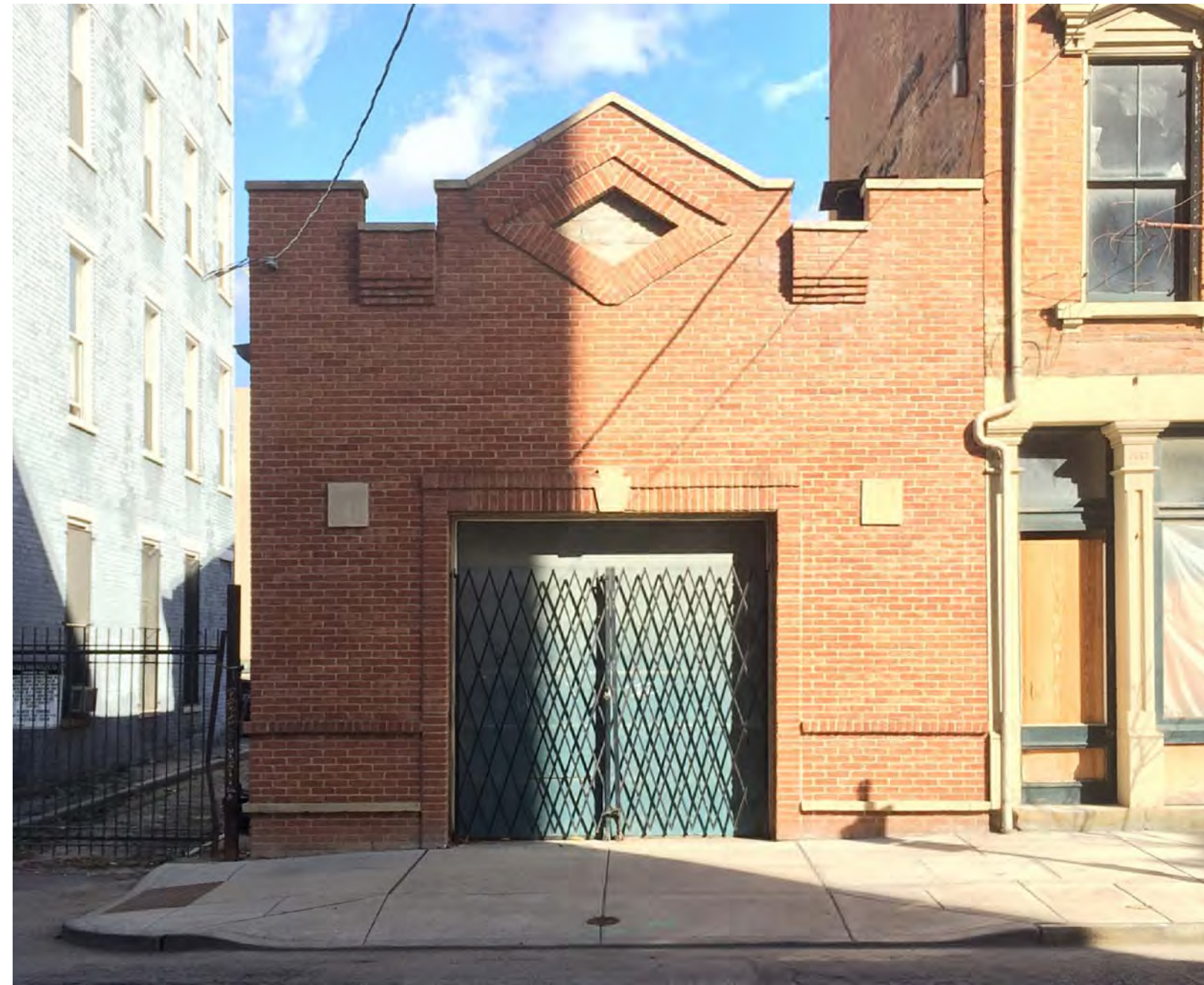
- MINOR ALTERATION
- NEW CONSTRUCTION
- ADDITION
- DEMOLITION
- REHABILITATION
- OTHER _____

Addition to existing 1 story building constructed approximately 15 years ago (non-historical). The existing use is currently a storage garage with unfinished interior and overhead garage door facing the street. The existing building is CMU with brick veneer exterior walls and wood I-joist ceiling joists with membrane roofing. The existing garage door will be replaced with storefront to create a customer entrance on the street, and the existing bricked-in window openings along the alley will be replaced with functioning double-hung windows.

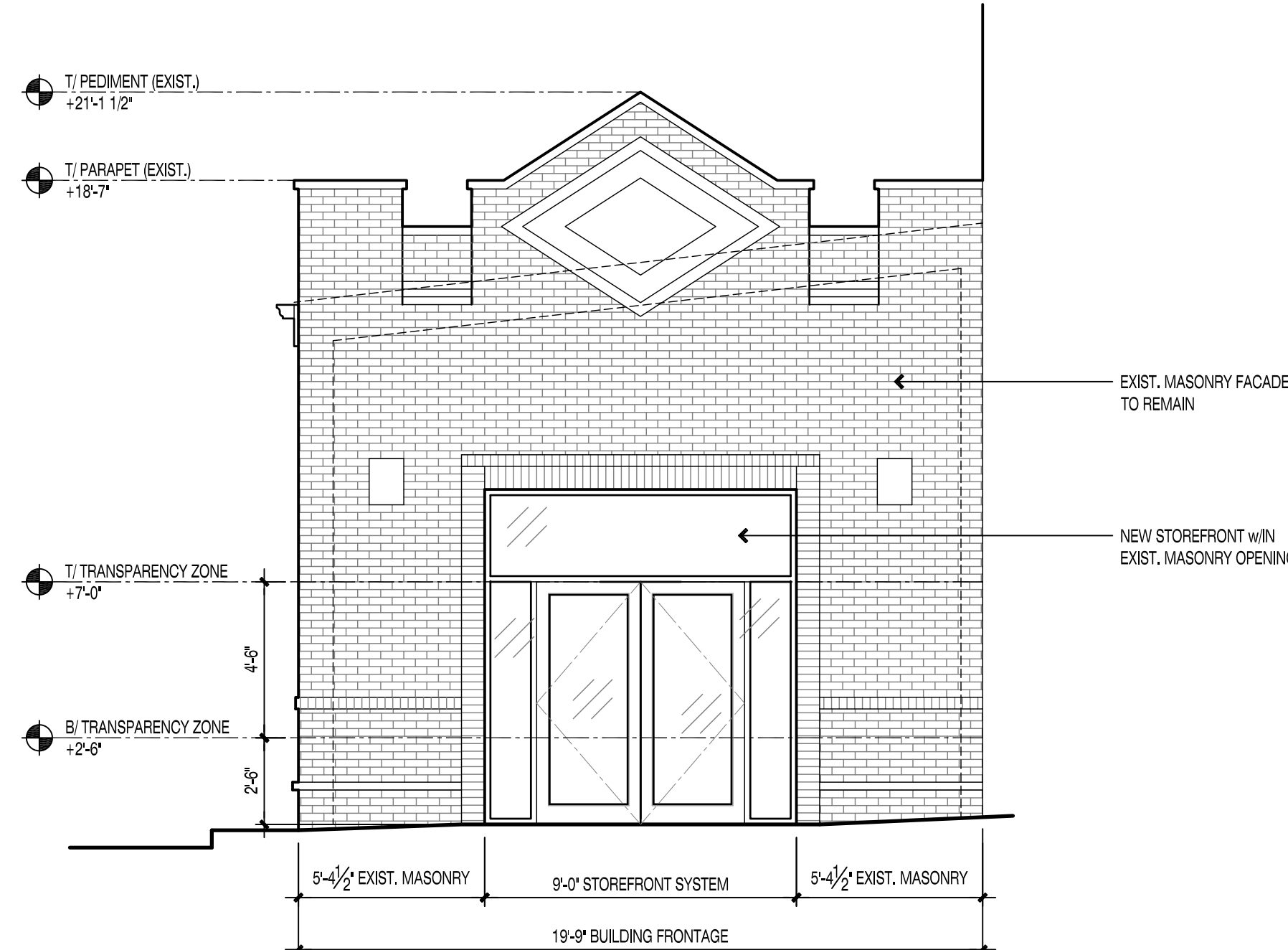
The proposed addition is wood frame with brick veneer to match the existing conditions. The height of the brick walls and gutter will align with the existing. An outdoor patio is proposed in the rear of the building. The patio will be enclosed by a wood and steel fence just within the property line. The patio will have a wood framed roof structure with metal roofing.

IN ORDER TO EXPEDITE HCB ACTION, PLEASE ATTACH ADDITIONAL INFORMATION, IF AVAILABLE, AS MAY BE APPROPRIATE. LIST ANY INFORMATION ATTACHED: (Elevations, site plans, specifications, photos, material samples, additional drawings or written matter)

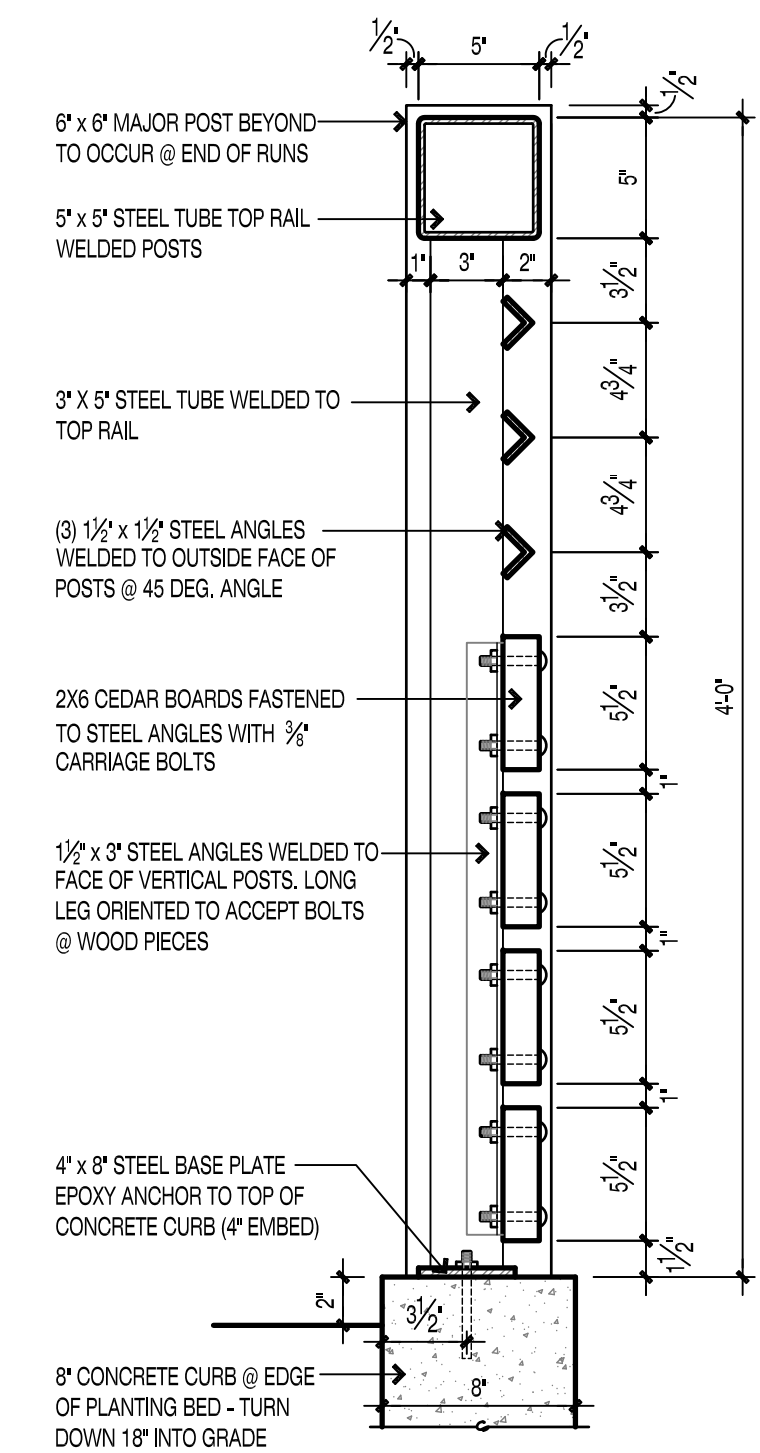
Attach a letter explaining the justification for the issuance of the desired Certificate of Appropriateness. Be advised that the burden of proof is on the applicant.



1
A1.0 Photo of Existing Building
1/4"=1'-0"



2
A1.0 South Elevation (Front & 13th Street)
1/4"=1'-0"

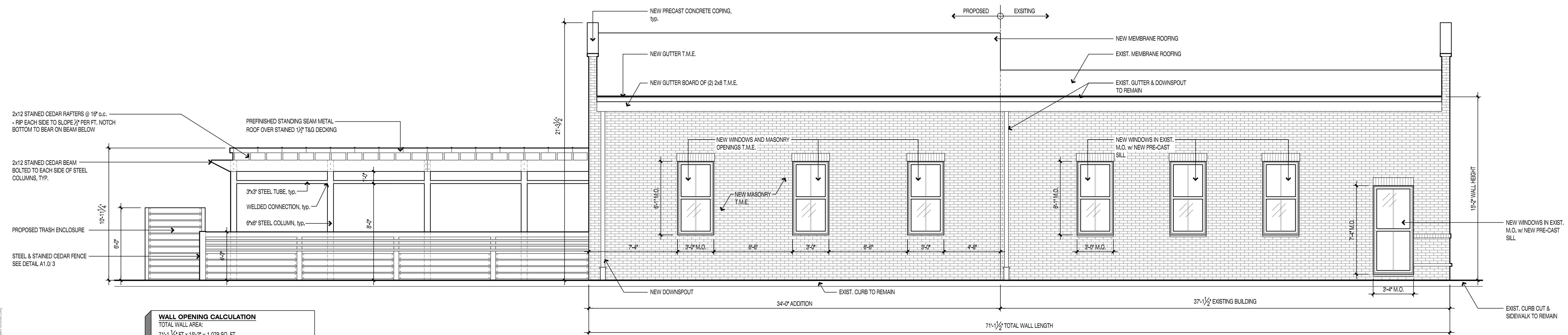


3
A1.0 Fence Detail
1 1/2"=1'-0"

TRANSPARENCY CALCULATION
EXISTING BUILDING FRONTAGE = 19.75 FT
HEIGHT OF TRANSPARENCY ZONE = 4.5 FT

TRANSPARENCY ZONE = 19.75 X 4.5 = 88.875 SQ. FT.
REQUIRED TRANSPARENCY PER ZONING IS 80%
88.875 X 0.8 = 71.1 SQ. FT.

TRANSPARENCY PROVIDED = 9 X 4.5 = 40.5 SQ. FT.
MAXIMUM AMOUNT OF TRANSPARENCY IS PROVIDED
BASED ON STRUCTURE OF EXISTING BUILDING

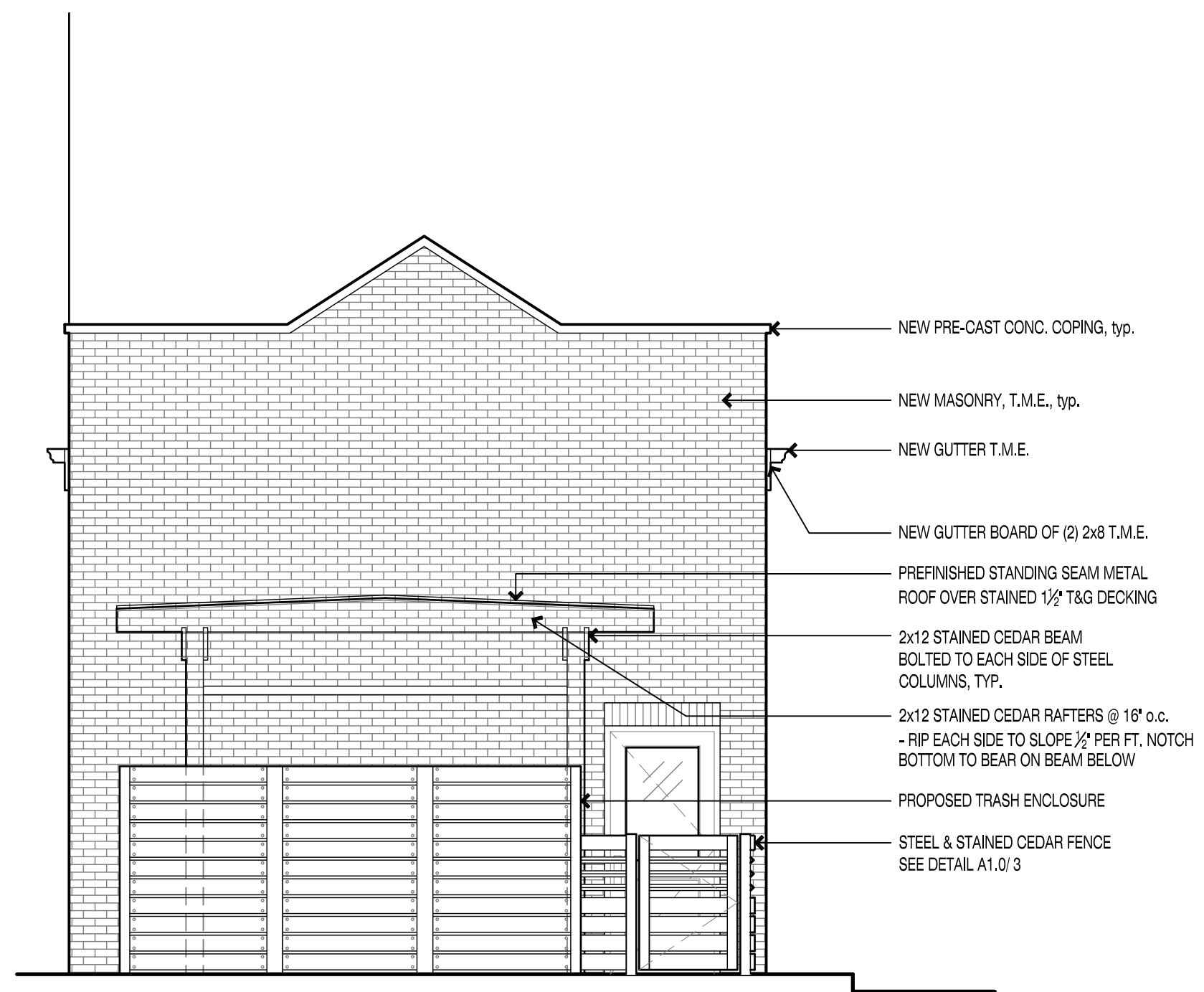


WALL OPENING CALCULATION
TOTAL WALL AREA:
71'-1 1/2" FT X 19'-2" = 1,079 SQ. FT.

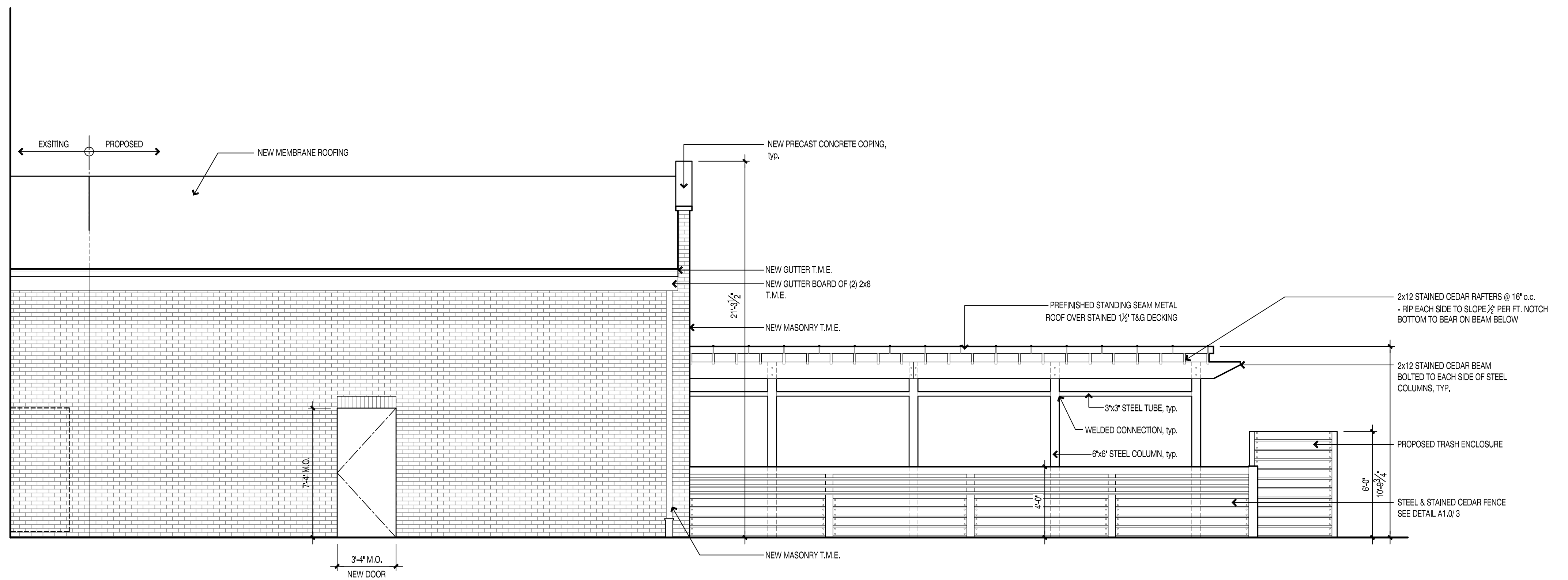
OPENINGS AREA:
TYP. WINDOW IS 6'-1" X 3'-0" = 18.25 SQ. FT.
(6) WINDOWS X 18.25 SQ. FT. EACH = 109.5 SQ. FT.
SIDE DOOR @ 7'-4" X 3'-4" = 24.5 SQ. FT.

24.5 + 109.5 = 134 SQ. FT. TOTAL OPENINGS
134 / 1,079 = 12.4% OF WALL AREA (LESS THAN 15% COMPLIES)

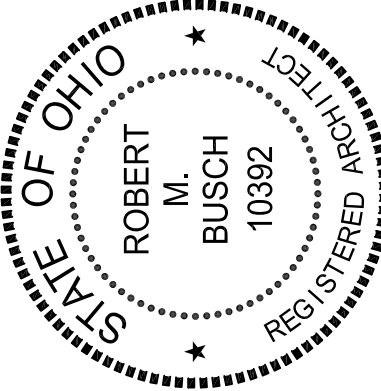
4
A1.0 West Elevation (Boots Alley Side)
1/4"=1'-0"



1 North Elevation (Rear)
A1.1 1/4"=1'-0"



2 East Elevation
A1.1 1/4"=1'-0"



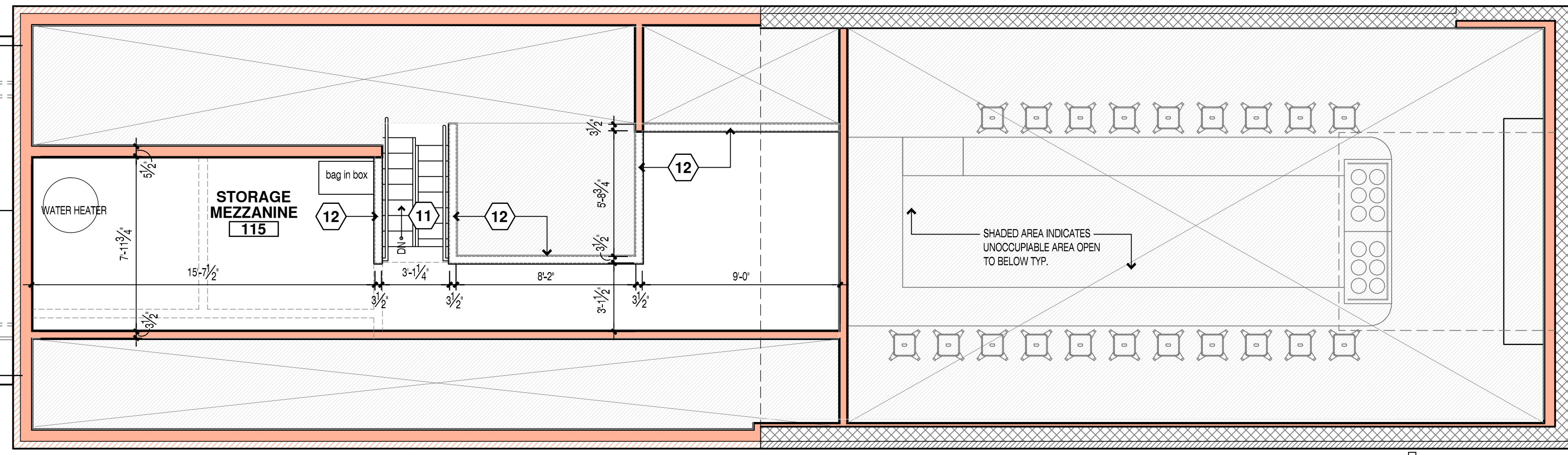
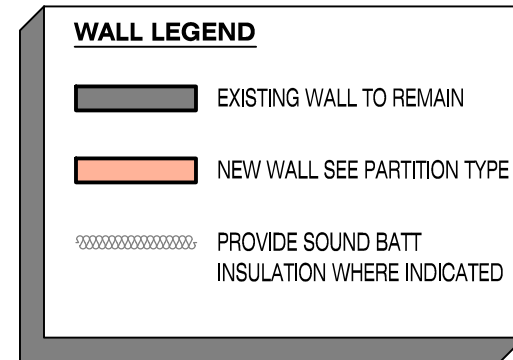
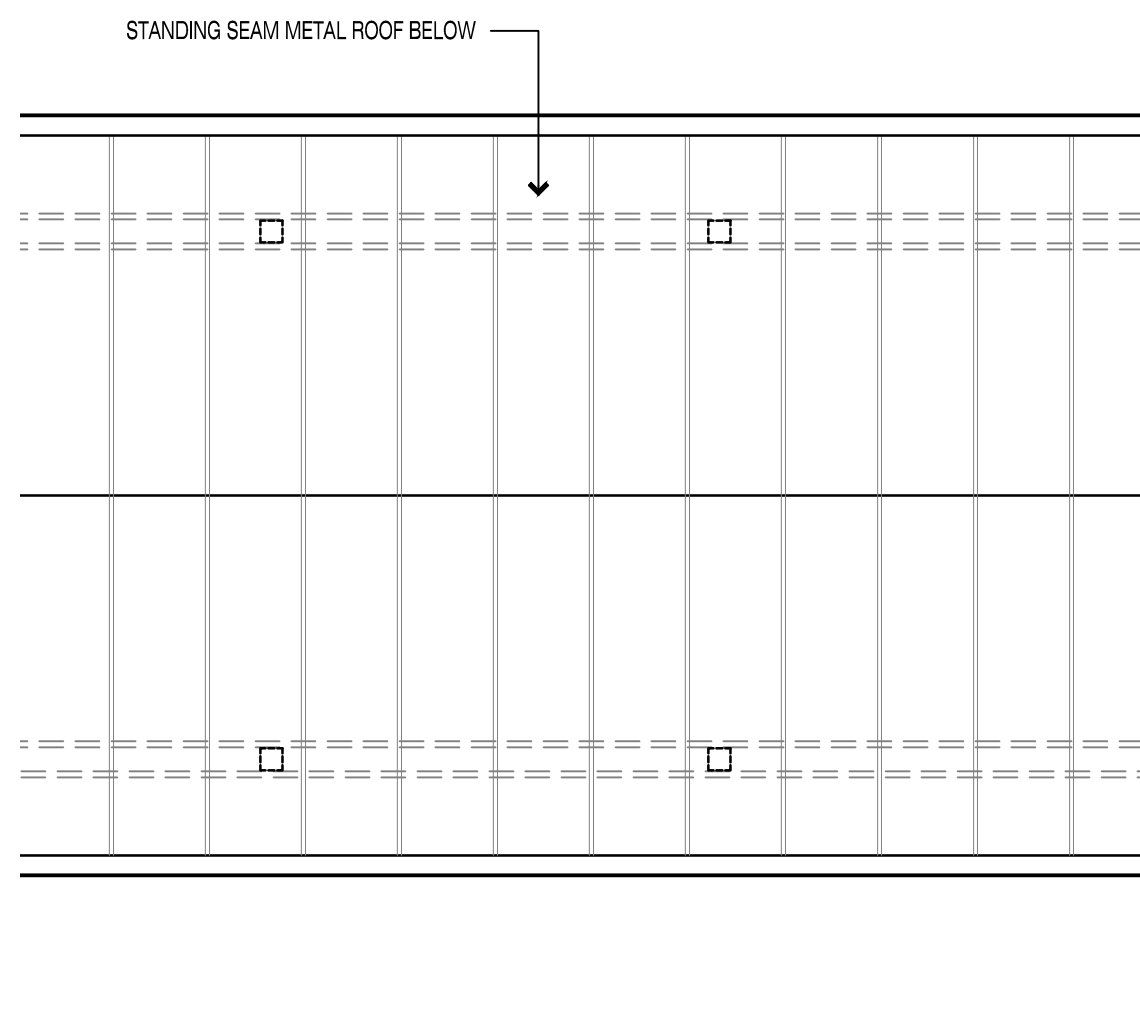
Robert M. Busch
 License #: 10392
 Exp. Date: 12/31/2016

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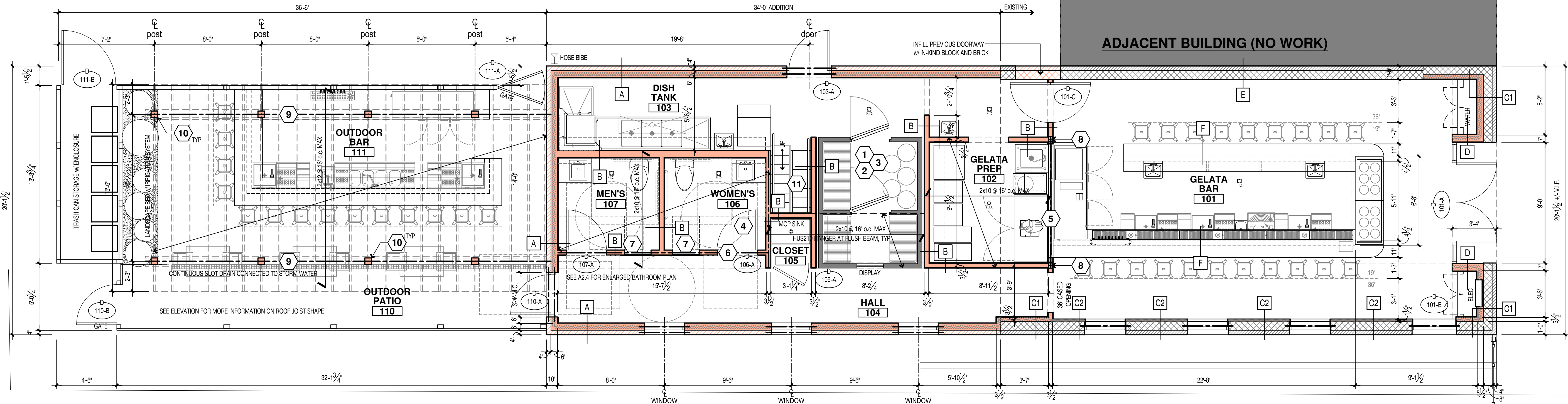
LA GRASSA
 12 E. 13th Street
 Cincinnati, OH 45202

sheet A1.1
 exterior elevations
 06 July 2016 - PERMIT

PARTITION TYPE SCHEDULE	
A	<ul style="list-style-type: none"> 4" NOM. BRICK VENEER 1" AIRSPACE WEATHER BARRIER 1/2" EXTERIOR PLYWOOD SHEATHING 2x6 WOOD STUDS @ 16" o.c. MAX. BEARING WALL R-19 INSULATION WHERE INDICATED VAPOR BARRIER 5/8" TYPE 'X' GYP. BOARD BOTH SIDES (MOLD & MOISTURE RESISTANT AT WET AREAS)
B	<ul style="list-style-type: none"> 2x4 OR 2x6 WOOD STUDS AS INDICATED @ 16" o.c. MAX. PROVIDE SOUND BATT INSULATION WHERE INDICATED ON PLAN 5/8" TYPE 'X' GYP. BOARD BOTH SIDES (MOLD & MOISTURE RESISTANT AT WET AREAS)
B1	<ul style="list-style-type: none"> SAME AS PARTITION 'B' EXCEPT GYP. BOARD AT ONE SIDE ONLY
C1	<ul style="list-style-type: none"> EXISTING 4" BRICK VENEER EXISTING 8" CMU BEARING WALL NEW 2x4 WALL STUDS @ 16" o.c. MAX. R-19 INSULATION WHERE INDICATED ON PLAN VAPOR BARRIER 5/8" TYPE 'X' GYP. BOARD BOTH SIDES (MOLD & MOISTURE RESISTANT AT WET AREAS)
C2	<ul style="list-style-type: none"> SAME AS PARTITION C1 EXCEPT FLAT STUD FRAMING (OR 1.5" HAT CHANNELS) WITH 1.5" POLYISO RIGID FOAM INSULATION
D	<ul style="list-style-type: none"> EXTERIOR CLADDING WEATHER BARRIER 1/2" EXTERIOR PLYWOOD SHEATHING 2x6 WOOD STUDS @ 16" o.c. MAX. BEARING WALL R-19 INSULATION VAPOR BARRIER 5/8" TYPE 'X' GYP. BOARD BOTH SIDES (MOLD & MOISTURE RESISTANT AT WET AREAS)
E	<ul style="list-style-type: none"> EXISTING PARTY WALL TO REMAIN
F	<ul style="list-style-type: none"> 1/2" PLYWOOD (CUSTOMER SIDE) 2x4 WOOD STUDS @ 16" o.c. MAX. (COORDINATE WALL HEIGHT w/ BAR TOP DESIGN) 1/2" PLYWOOD w/ FRP (BARTENDER SIDE)



2 Mezzanine Plan - Proposed
A2.1 1/4"=1'-0"

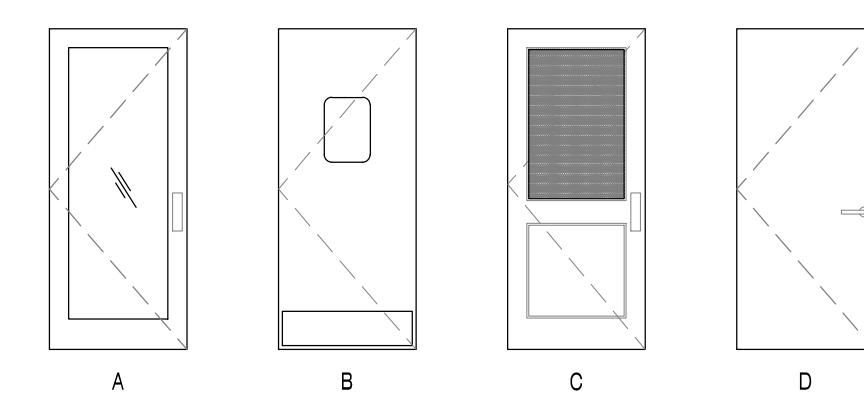


1 First Floor Plan - Proposed
A2.1 1/4"=1'-0"

DOOR SCHEDULE									
LOCATION	SIZE	TYPE	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	HARDWARE	COMMENT	
101-A	ENTRY	(2) 3'-0" x 7'-0"	A	STOREFRONT	STOREFRONT	STOREFRONT	COORD. w/ STOREFRONT	PANIC	CLOSER
101-B	not used								
101-C	GELATA BAR TO PREP	3'-0" x 7'-0"	B	LAMINATE	BLACK	METAL	PAINTED	DOUBLE ACTING PIVOT	ELIASON SCP-8 OR EQUAL, CLOSER PER HINGE
103-A	DISH TO EXTERIOR	3'-0" x 7'-0"	D	METAL	PAINTED	METAL	PAINTED	ENTRY	CLOSER
105-A	MOP CLOSET	3'-0" x 7'-0"	D	WOOD	PAINTED	METAL	PAINTED	STOREROOM	CLOSING HINGES OR CLOSER
106-A	WOMEN'S RESTROOM	3'-0" x 7'-0"	C	WOOD/GLASS	PAINTED	METAL	PAINTED	PRIVACY	CLOSER, KICKPLATE
107-A	MEN'S RESTROOM	3'-0" x 7'-0"	C	WOOD/GLASS	PAINTED	METAL	PAINTED	PRIVACY	CLOSER, KICKPLATE
110-A	BACK DOOR TO PATIO	3'-0" x 7'-0"	C	WOOD/GLASS	PAINTED	METAL	PAINTED	PANIC	CLOSER, KICKPLATE
110-B	PATIO EXIT	3'-0" x 4'-0"	C	WOOD	PAINTED	METAL	PAINTED	PANIC	CLOSER
111-A	PATIO BAR	3'-8" x 6'-0"		WOOD	PAINTED	METAL	PAINTED	GATE LATCH	
111-B	TRASH STORAGE	4'-0" x 6'-0"		WOOD	PAINTED	METAL	PAINTED	GATE LATCH w/ LOCK	

ACCESSIBILITY NOTES
DOORS WITH CLOSERS SHALL HAVE A SWEEP PERIOD OF 3 SECONDS MINIMUM FROM AN OPEN POSITION OF 70 DEGREES TO A POINT 3" FROM THE LATCH.
ALL DOOR THRESHOLDS SHALL NOT EXCEED 1/2" IN HEIGHT AND SHALL MEET ALL ADA REQUIREMENTS.
ALL DOORS SHALL HAVE ADA COMPLIANT LEVER STYLE HANDLES MOUNTED NO HIGHER THAN 48".
ALL DOORS SHALL HAVE ADA COMPLIANT LOCKS AND LATCHES AS REQUIRED PER OBC.
EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE.
ALL DOORS SHALL PROVIDE MIN. CLEARANCES AT LATCH SIDE: 18" CLR. @ PULL SIDE, 12" CLR. @ PUSH SIDE

DOOR HARDWARE NOTES
DOOR HARDWARE: ANSI F75
PASSAGE LATCH: ANSI F76
PRIVACY: ANSI F76
ENTRY: ANSI F109
OFFICE: ANSI F84
STOREROOM: ANSI F86
DOOR STOP: NES F5410 FLOOR MOUNTED
CLOSER - ALUMINUM FINISH: COORD. w/ CLIENT & CONTRACTOR

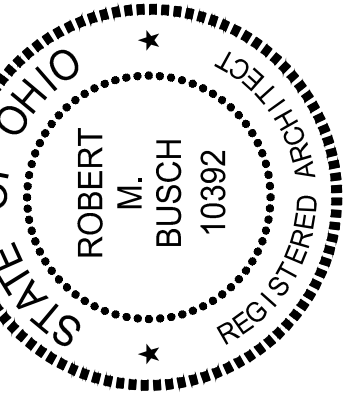


CONSTRUCTION CODED NOTES

- WALK-IN REFRIGERATOR AND FREEZER DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE AND WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT - CHANGE IN LEVELS TO BE 1/2" MAX.
- MAINTAIN 2" AIRSPACE AROUND PERIMETER OF WALK-IN - COORDINATE w/ MANUFACTURERS SHOP DRAWINGS AND INSTALLATION REQUIREMENTS.
- SMOKE DEVELOPMENT FOR WALK-IN COOLER PANELS SHALL BE LESS THAN 450 AND FLAME SPREAD INDEX SHALL BE LESS THAN 75
- BEAM: (2) 2x10 FLUSH
- BEAM: (2) 2x10 DROPPED
- PROVIDE SOLID BLOCKING AT JOISTS ABOVE WALL LINE
- RECESSED CHANGING STATION - SEE INTERIOR ELEVATIONS FOR MORE INFO
- POST: (4) 2x4, CENTERED ON PERPENDICULAR WALL
- 2x12 BEAM AT EACH SIDE OF POST
- STEEL POST: SEE SHEET A2.0 FOR MORE INFO
- ALTERNATING TREAD DEVICE - SEE A4.0 FOR MORE INFO
- 42" HIGH MIN. GUARD WALL (2x4 STUDS @ 16" o.c. WITH 1/2" GYP. BOARD AND 2x6 CAP

GENERAL CONSTRUCTION NOTES

- ALL DIMENSIONS ARE ROUGH WOOD FRAMING PER SCHEDULED PARTITION UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS NOTED AS 'CLEAR' ARE TO FINISH FACE OF SCHEDULED PARTITION.
- DO NOT SCALE DRAWINGS - WRITTEN DIMENSIONS GOVERN. CONSULT THE ARCHITECT IN CASE OF CONFLICT.
- CONTRACTOR SHALL REMEDY, WITHOUT COST TO TENANT, ANY DEFECTS DUE TO FAULTY WORKMANSHIP.
- COORDINATE ALL WORK w/ MECHANICAL, ELECTRICAL, PLUMBING, & SPECIALTY CONSULTANT DRAWINGS.
- CONTRACTOR SHALL COORDINATE WORK OF VARIOUS TRADES IN INSTALLATION OF INTERRELATED WORK. BEFORE INSTALLATION OR WORK BY ANY TRADE BEGINS, MAKE PROPER PROVISIONS TO AVOID INTERFERENCES.
- WORK ASSOCIATED w/ INDEPENDENT PERMIT PACKAGES SHALL BE SCHEDULED & COORDINATED BY CONTRACTOR.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO ARCHITECT FOR REVIEW.
- CONTRACTOR SHALL SUBMIT PRODUCT AND FINISH SELECTION INFORMATION TO ARCHITECT FOR REVIEW.
- USE TYPE-X GYPSUM BOARD ON ALL PARTITIONS UNLESS NOTED OTHERWISE
- CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ORDERING MATERIALS OR BEGINNING WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION.
- FLOOR SURFACES SHALL BE LEVEL TO ASSURE SMOOTH SURFACE FOR FINISHED FLOOR INSTALLATION.
- SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO ARCHITECT FOR REVIEW PRIOR TO PURCHASE, FABRICATION, OR INSTALLATION.
- ALL MATERIALS, PRODUCTS AND SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS REQUIREMENTS, RECOMMENDATIONS AND SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE AND PROVIDE SOLID WOOD BLOCKING IN STUD WALLS AS REQUIRED TO SUPPORT WALL-MOUNTED CABINETRY, SHELVING, COUNTERS, HANDRAILS, WINDOW/DOOR FRAMES, TRIM, AND ALL OTHER MILLWORK.
- ALL CEILINGS AND SOFFITS ARE INTENDED TO BE FRAMED WITH METAL FRAMING SUCH AS USG SUSPENDED DRYWALL CEILING SYSTEM OR OTHER METAL SYSTEMS - COORDINATE w/ ARCHITECT.
- PROVIDE SOUND ATTENUATING BATT INSULATION AT ALL WALLS AROUND MECHANICAL CLOSETS, PLUMBING STACKS, DISHTANK & RESTROOMS AS INDICATED ON PLAN.
- CONTRACTOR IS RESPONSIBLE FOR ALL FLOOR AND WALL PENETRATIONS FOR ELECTRICAL AND MECHANICAL WORK. SUCH OPENINGS SHALL BE FRAMED AND REINFORCED.
- THE CONTRACTOR SHALL SUPPLY ALL MATERIALS, LABOR AND COORDINATION REQUIRED FOR THE INSTALLATION OF ALL OWNER SUPPLIED ITEMS (FURNITURE, LIGHTING AND ARTWORK) UNLESS OTHERWISE NOTED.
- PROVIDE PORTABLE FIRE EXTINGUISHERS WITHIN 30 FEET OF COMMERCIAL EQUIPMENT AND ELSEWHERE AS REQUIRED BY ICC SECTION 906 AND THE INTERNATIONAL FIRE CODE - LOCATE IN THE FIELD WITH FIRE MARSHALL
- FINISH JAMBS AT HINGE SIDE OF DOOR OCCUR 6" FROM INSIDE CORNER, UNLESS DIMENSIONED OTHERWISE.
- REFER TO ELECTRICAL PLANS FOR EXIT SIGNAGE, EMERGENCY LIGHTING, AND EGRESS LIGHTING.



Robert M. Busch
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Exp. Date: 12/31/2016

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513.272.8099 | www.drawingdept.com
DRAWING DEPT 2015

sheet A2.1
proposed floor plans
06 July 2016 - PERMIT

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

APPLICATION #: [REDACTED]
APPLICANT: Graham Kalabi, New Republic Architecture
OWNER: 224 W Liberty Block LLC
ADDRESS: **208-210 W Liberty Street, 1609- 1611, 1701-1909 Elm Street;
1608, 1612-1622 Logan Street; 211 Green Street Cincinnati OH
45202**
PARCELS: 133-0003-0023; 0022; 0027; 0028; 0036; 0037; 0038; 0039; 0040;
0029; 0030; 0031; 0032; 0033; 0034; 0130; 0035
ZONING: PD- Planned Development
OVERLAYS: Over the Rhine Historic District
COMMUNITY: Over the Rhine
REPORT DATE: September 1, 2016
HEARING DATE: Prehearing August 17, 2016
STAFF REVIEW: Beth Johnson, Urban Conservator

Nature of Request:

The applicant is requesting a Certificate of Appropriateness the construction of a 5 story mixed-use retail building at the corner of Liberty and Elm Street and the construction of a 155 space parking garage at Green and Logan.

Existing Conditions:

The site is mostly a vacant site. The overall project also includes 4 historic buildings that are being stabilized and/or rehabilitated. The current COA is for the construction of the new buildings on the vacant site.



Figure 1: Corner of Liberty and Elm Street. Image provided from Google Street Views.



Figure 2: Map of Liberty Corner. Map provided by Cagis.

Proposed Conditions:

The proposal is to construct a 5 story mixed-use retail building at the corner of Liberty and Elm Street and the construction of a 155 space parking garage at Green and Logan.

The new construction will feature the following on Liberty:

1. The building is set approximately 4 ft. behind the property line along Liberty Street to allow for pedestrian safety, patios, and enhanced vehicle visibility.
2. 5 story frame building broken into two masses. The west mass has a “warehouse architectural” language and design with buff and dark tan colored bricks, cast stone lintels and large multipane aluminum windows.
 - a. There are three openings along the ground floor for vehicular access and one for bicycle and pedestrian access and a third random opening.
 - b. One opening will have glazing in it to match the glazing/garage doors on the east building.
 - c. The western edge of the block will have the 5th floor stepped back for a rooftop deck.
3. The eastern block will have a more contemporary architectural language and design.
 - a. The eastern block is separated from the western block by a recess.
 - b. The materials are dark red and white metal panels, cast stone, glass and aluminum, Allura cement board panel system in gray, metal windows.
 - c. The design will include 3 bays of double hung windows in individual openings and then two bays of grouped windows, one of which has a Juliet balcony.
 - d. A projecting metal cornice line is above the 5th floor windows and then a pediment wall above the cornice line.
 - e. The first floor has cast concrete and a commercial storefront with a canted entrance and overhead doors at the storefront glazing.

The New construction will feature the following on Elm:

4. Elm Street is set back slightly (2-3 feet) from the property line to allow for awnings and projecting signs to be completely on the property and not extend into the public right of way.
5. The southern block is similar in features and language to the eastern block along Liberty, but it goes in two sections. On the second (northern) portion of this section it is framed with the red metal panel and has a dark gray Allura panel. The first floor is a modern storefront system with glazing to the ground.
6. The next block to the north has 3 sections.
 - a. The base is a storefront system with sign panels above the storefront, a storefront lintel and modern glazing system with glazing to the ground.
 - b. The middle three floors are either a dark red or light red brick with a buff brick dividing the sections. Windows are double hung windows evenly spaced over the façade in either single openings or triple grouped. Windows have cast stone headers and sills.
 - c. The top/5th floor is separated from the middle with a cornice line and is clad in a gray Allura panel. The window pattern matches the floors below.
7. The next block is a connector that is clad completely in a curtain wall system. This portion is over the historic alley way. The first floor is the alley.
8. The northern most block is composed of 4 sections. The language of the middle and top sections match the block described in Item 6 with the exception of the storefronts of two of the four storefront include paneled bulkheads and the windows are either within individual openings or paired windows/doors. The fifth floor fenestration is slightly different than the floors below.

The rear and side of the building will feature the following:

9. The sides of the building will be using a colored CMU above the neighboring buildings and a non-colored CMU where they will have a party wall.
10. The rear will be a combination of single and paired windows and Juliet balconies with French doors.
11. The rear will be clad in two colors of the Allura panel system.

The parking garage will feature the following:

12. The parking garage will be a 3 deck parking garage.
13. Most of the parking garage will be masked by existing buildings along Green Street where the garage will be entered. A large blank concrete wall will be exposed.
14. Along Logan Street, the garage will have two different colored CMU clad along more than 50% of the wall that will have divisions to provide a rhythm along the street similar to the feel of a the townhouse rhythm on other streets. A regular fenestration will be provided to give the appearance of windows.
15. The other two elevations of the garage do not have cladding and do not front onto streets.

Previous Reviews: N/A

Applicable Zoning Code Sections:

Zoning District: Section 1429 Planned Development Districts
Historic District/Reg: [Over the Rhine Historic District](#)
COA Standard: [Section 1435-09-2](#) Certificate of Appropriateness; Standard of Review

Details of Zoning Relief Required:

Being that the Planned Development is within a Historic District, procedure demands that the Board provide a zoning recommendation to the Planning Commission for their Final Plan approval. In that context, Zoning Administration supports the overarching proposal on many facets. Its height, mass and setbacks are within what was approved in the concept plan and are generally appropriate for the historic district and with adjacent structures. The proposed commercial and residential uses are permitted within the area and are appropriate for the area. The residential use will provide a much needed density and the parking garage will be able to provide adequate parking for the uses.

Certificate of Appropriateness Review

It is staff's recommendation that this project generally meets the guidelines for the Over-the-Rhine Historic District for New Construction.

The applicants have worked with staff over the last several months and have taken our guidance and recommendations into the design of this project.

There are two building within the development. The main building that fronts on Liberty and Elm Street and the appropriateness of the building is detailed below.

The second building is the garage building. Garage buildings are not directly addressed within the Guidelines; however the guidelines for parking lots are that they should be screened from public view. The parking garage does front onto two streets, Logan Street and Green Street. Both streets are not main streets within the district. The frontage of the garage onto Green Street is minimal as existing buildings block the majority of the building from view. The entrance fronts onto Green but it is set back from the street so it is not part of the streetscape. The Logan Street façade is clad with colored CMU that is broken into 25' sections that mimic a townhouse feel to make the façade more sympathetic and contextual. In the intent section below it allows for a balance and flexibility for programmatic needs and as the development is adding a lot of density into an area that already had a need for parking, being able to provide adequate parking is a necessity.

Staff comments on the Guidelines:

New Construction

A. Intent and General Guidelines

1. New construction is allowed on vacant sites in Over-the-Rhine, because gaps due to demolition weaken the streetscape and the overall character of the district. New construction can improve both the physical quality and economic vitality of the neighborhood.

This infill development is bringing back an important corner in Over-the Rhine and providing a continuity that was lost when the previous buildings were demolished. The project is providing an economic vitality to the neighborhood through providing density and more residents for existing and future business.

2. New construction should be well-designed but should not replicate the existing buildings. The exceptional quality of the existing buildings in the district provides an outstanding framework for new construction.

This infill development, while all one project and one building (two counting the parking garage) is designed in a way to be sympathetic to the neighborhood by breaking the buildings up into blocks and sections within those blocks. They use the framework of the existing neighborhood; however the buildings provide a contemporary take on a row house and a warehouse language while also incorporating a contemporary building. The building does not try to replicate or recreate a historic building.

3. The Historic Conservation Board's review of new construction will focus on the design compatibility with the surrounding contributing structures. The appropriateness of design solutions will be based on balancing the programmatic needs of the applicant with how well the design relates to the neighboring buildings and to the intent of these guidelines. New design proposals should pay particular attention to composition, materials, openings, rhythm, scale, proportion and height.

Staff details the compatibility of the project with the guidelines and surrounding buildings below in the specific guidelines. Staff will also detail where flexibility is desired to help balance the programmatic needs of the project.

4. The new construction guidelines for this district will be used to judge the compatibility of new work. The specific site and programmatic needs of each project will be taken into consideration.

Staff details the compatibility of the project with the guidelines and surrounding buildings below in the specific guidelines

B. Specific Guidelines

1. **Composition:** New buildings should respond to the traditional subdivisions found on historic property: a base, a middle and a top. Most buildings in Over-the-Rhine are built of brick with the principal facade parallel to the street it faces. The most important features of buildings in Over-the-Rhine are the arrangement of openings on the principal facade and an overall vertical emphasis of the whole design. Each building provides its own variations, but collectively they share many basic features.

Base: New buildings should have a well-defined base. Within the district most buildings have a base that is distinguishable from the rest of the building. This is accomplished through a change of materials, a change of scale, and/or a lintel or other type of horizontal banding. In larger buildings the original base may include more than the first floor.

Along Elm Street there is a very strong base with the storefronts. The Corner building provides a strong base with a distinctive cast stone veneer and the rest of Elm Street provides a strong lintel above the storefront. An added sign band helps to anchor the base. A similar design is used on all of the storefronts, but changes in colors and in some cases the addition of bulkheads creates variations.

Along Liberty Street, the Cast Stone at the corner is wrapped to continue a strong base. A band of lintels along Liberty for the parking service access helps to provide a base.

Middle: Details on new buildings should relate to the detailing of adjacent or nearby buildings. Buildings in the district often incorporate architectural details such as changes in plane or changes in materials on their upper floors. Decorative, horizontal bands indicating the floor lines, sill heights or lintel heights should not overpower the vertical emphasis of the design.

The middle is defined in each section of the base with the regular fenestration of the windows. While there are sills and lintels to provide a horizontal band to indicate the floor lines, they do not overpower the vertical nature of the building.

The corner building has a middle that is defined by its regular fenestration and a few changes in plane and materials. The horizontal consistency with the windows provides an indication of the floor lines while not overpowering the vertical nature of the building.

The Liberty Street building has windows that are grouped together but again in a horizontal line across the façade indicating the floors. While there are more horizontal in nature the strong brick columns create a strong vertical power on the façade.

Top: New construction must employ a strong element that terminates the uppermost part of the building. Distinctive elements in the architecture of Over-the-Rhine are elaborate projecting cornices, decorative parapets and the expressive use of materials.

The top of the building along Elm Street is defined by a fiberglass cornice line and then an additional story clad in Allura panels. This fifth floor provides a strong element at the top with using an expressive change in materials as well as changing the style of windows to not mimic the middle.

The corner building has a tall parapet to top the building. The change in material and plane make this a prominent element to set a distinctive top on the building.

The Liberty Street building has a simple top of just a thick band of the buff brick and cast stone lintels above the windows. As this building is picking up the language of a more warehouse feel that is prominent north of Liberty, a projecting cornice or decorative parapet would not be appropriate.

2. Roofs: Roofs for new construction should be similar to roofs of adjacent and nearby buildings of similar size and use. In the district, buildings of three or more stories generally have low-pitched shed roofs that are not visible above the principal facade. Smaller buildings in the district typically have simple gable roofs on which the gables are perpendicular to the principal facade. Institutional buildings in Over-the-Rhine have a variety of roof shapes, including dormers, multiple gables, hip roofs and towers. Roofs in this district have little or no overhang.

The roofs are a flat/shed roofs. This is appropriate for the district as the building is taller than three stories and buildings of three stories or more generally have low pitched shed roofs that are not visible above the principal façade.

The roof does not have an overhang.

3. Window Openings: Window openings are extremely important in this district. The openings of new buildings should be related to the size and placement of openings found on historic structures of similar use in the district. In residential buildings, window openings are typically found individually rather than in pairs or grouped. The openings are taller and wide (typically in a proportion of 2:1), window sash are set back from the wall surface, and openings have some form of definition, such as lintels, sills or decorative surrounds. Window openings, which are typically aligned vertically, usually occupy between 20% and 50% of the principal facade. In commercial, industrial and institutional buildings, windows are often grouped within a single opening. These building types may also use a combination of window sash, including double-hung, awning and hopper. If muntins are used in new window sash, they must provide true divided lights. Within the individual opening, window sash are usually divided into two or more lights. In all cases the glass must be clear; tinted or reflective glass is not acceptable. Also, roll down shutters and metal bar systems installed on the exterior of the building that cover door and window openings are not appropriate.

On Elm Street- which is more residential style architecture.

- *The majority of the windows are individual openings. There are some paired and triple openings found along the Elm Street façade. While typically we would want individual windows, a challenge to this building is to not make it feel cookie cutter and repetitive but provide interest and individuality along Elm Street. Having a regular fenestration with some slight variations helps to accomplish this as well as provide amenities such as Juliet balconies to the apartments.*
- *The windows are all taller than they are wide with a 2:1 proportion.*
- *Window sashes are set back from the wall surface*
- *They have lintels and sills*
- *They are aligned vertically and take up less than 50% of the façade with the exception of the curtain wall system over the alley.*
 - *Staff recommended the curtain wall system above the alley. Traditionally there would not have been a building over the alley. Providing a building that has more transparency pays respect to void that would have been over the alley as well as provide a strong visual break along the Elm Street façade.*

On Liberty which is a more commercial/warehouse building architecture

- *The windows are grouped into an individual opening*
- *The windows are simulated divided lights, not true, but provide the feel of true.*
- *They are multi-pane windows*
- *The glass is clear.*

On Corner Building/ mixed use feel.

- *Windows are a mix of fixed glass and double hung windows.*
- *Mix of individual openings per window as well as multi windows within one opening.*
- *Windows are all vertically oriented with a 2:1 ratio*
- *All the glass is clear*

4. Storefronts: New storefronts should relate to the characteristics of existing storefronts on historic buildings. Storefronts in the district are typically taller than individual upper floors; framed by piers and/or columns and have a lintel separating them from the upper floors; are divided into bays which increases their verticality and provides a pedestrian scale and proportion; and have large, fixed expanses of clear (not tinted or reflective) glass. As with rehabilitated original storefronts, roll down shutters and metal bar systems installed on the exterior of the building are not appropriate elements for new storefronts. The storefront lintels are 12 to 18 feet above grade; the window sill height is between 18 inches and 3 feet above grade; and storefront windows are set back from the structural elements approximately 12 inches.

- *Storefronts are taller than the individual upper floors.*
- *They are framed by strong brick piers.*
- *They have a steel channel header or a cast stone header to provide variety, separating it from the upper floors*
- *They are divided into bays with doors on the center and storefront windows flanking on the south building on Elm Street and the northern portion of Elm Street they either have a strong brick pier dividing it into bays.*
- *There are large fixed expanses of clear glass.*
- *There is not any roll down shutter or metal bar systems installed.*
- *There is a proposed overhead door system at the corner. This treatment has been allowed along Vine Street in OTR on historic buildings. When down, it is a glazed/glass system that still provides the transparency required and desired along a storefront, but provides an opportunity for more interaction and openness to the street and providing an outdoor entertainment feel.*
- *The storefronts are 12 feet to the bottom of the header from above grade and about 16 feet to the top of the header from above grade*
- *Where bulkheads are provided they sit at more than 18 inches and less than 3 feet. Bulk heads are not provided for every window type. While providing bulkheads at every storefront would provide a storefront that would be consistent with the architecture of storefronts in OTR, many modern storefronts have been*

approved for the district within historic buildings that do not provide a bulkheads. As this is a contemporary building, providing a more modern design is appropriate. Providing a variety of those with and without provides an interest for the pedestrian and doesn't make it feel cookie cutter or too repetitive.

- *Windows are set back 12' from the front of the brick piers/structural elements.*

5. Setback: Setback is an important issue in a dense urban area such as Over-the-Rhine. The setback for new construction should be consistent with the buildings of similar use on adjacent and nearby sites. In Over-the-Rhine, most commercial buildings are built up to the property line. Some residential property, especially detached buildings, has shallow setbacks but retain an "edge" at the property line with a fence. Some larger institutional buildings such as schools, churches and public buildings are setback from the street to provide public space and to add to their monumentality. In most cases new construction on corner sites should be built up to the edge of both outside property lines.

The building creates a continuous line along the street. It is set back just slightly from the property line along both streets to work within the parameters of DOTE regulations of outward swinging doors, awnings and signs onto public right of ways.

At the corner the upper floors are built to the property line, but the entrance is recessed and angled to provide a better connection with the pedestrian environment due to the sharp angle of the corner of Liberty Street and Elm Street.

6. Rhythm: New buildings should incorporate design features, such as window groupings, articulation of wall surfaces, and decorative elements such as columns or piers in an effort to maintain the rhythm that already exists in the district. New construction should avoid creating long unrelieved expanses of wall along the street by maintaining the rhythm of bays found on the district. Most buildings in Over-the-Rhine are relatively narrow, 25 to 50 feet in width. A building facade typically displays vertical subdivisions that establish a visual rhythm. In dense commercial areas such as Vine Street, there are no setbacks, creating a solid wall along the street. This wall is articulated by the individual buildings, which in turn are divided by window groupings, changes in wall planes and decorative elements such as pilasters, columns or piers.

The building achieves a rhythm through breaking up the building into 25' bays. This is particularly articulated along Elm Street through the change of brick material creating a bay rhythm that appears to create separate buildings. This division of buildings is further

emphasized with the buildings stepping their way down the street to make sure entrances were at the grade level.

On Liberty Street this is more subtle but a slight break in warehouse type building does provide a distinct rhythm and breaks up the mass of the façade. Warehouse buildings typically had larger and wider facades than the residential buildings so a wider building using the warehouse language is an appropriate treatment.

7. Emphasis: New residential and mixed-use construction should have a vertical emphasis, because in Over-the-Rhine buildings are taller than they are wide, window openings are tall and narrow, and storefronts have slender columns, which emphasize verticality. Commercial and industrial buildings, which may have an overall horizontal emphasis, often incorporate vertical elements, such as pilasters or vertically oriented openings.

The building has many elements that provide a strong vertical emphasis.

- *The windows are taller than they are wide.*
- *There are strong brick columns at the edge and vertical oriented windows with slender columns planting the doors.*
- *Along the Elm Street façade a change in brick color provides another opportunity of emphasis for the vertical nature of the buildings.*
- *At the corner a vertical emphasis is again achieved with windows that are taller than they are wide as well as with a slight recess that creates a very strong vertical boarder.*
- *The interplay of Allora panels with metal in vertical columns also creates a strong vertical emphasis.*

The frontage along Liberty takes on a more industrial warehouse feelings that is appropriate for the north of Liberty portion of Over the Rhine with its predominance of old brewery and warehousing structures. While the multi-pane walls of windows have a horizontal plane, they are broken up with very strong and wide columns of brick.

8. Height: The height of new construction should not vary more than one story from adjacent contributing buildings. Most buildings in Over-the-Rhine are between two- and five-stories.

The heights of all sections of the new construction are 5 stories. The designers, seeking to add visual interest, used the opportunity to further define the unique sections of the project by working with the natural grades of the site and the rooflines to better

articulate distinct “buildings”. Thus, the height of the sections, though all 5 stories, varies from 60’ 8” to 73’. The tallest section is the contemporary corner section, seeking to act as a landmark corner at 73 ft. An extension of the parapet walls adds the height as well as allows shielding of rooftop mechanicals. On Liberty, the warehouse section measures 64 ft. and is only 3’ 6” taller than the historic 4.5 story rehab adjacent to and within this project. On Elm, the natural sloping grade of the site, allows the illusion of a reduction of a story. The height illusion is enhanced with extended parapets in the center rowhouse section and shallow parapets in the northern rowhouse section until it meets the historic 3.5 story rehab within the project. Though the envelope has been slightly modified from the Concept Plan, the applicant has not effectively added a usable floor on the project. Staff feels the undulation of heights is critical to hinder the creation of an uncharacteristically long horizontal plane on the roofline while maintaining the efficiency of creating a single functional building. This infill should not read as a single building. Looking down Elm Street towards Findlay Market, there are many instances of buildings varying by one or two stories and there is not a single instance of almost an entire block face being one single height. The roofline treatment is key to maintaining the scale of a multi building streetscape.

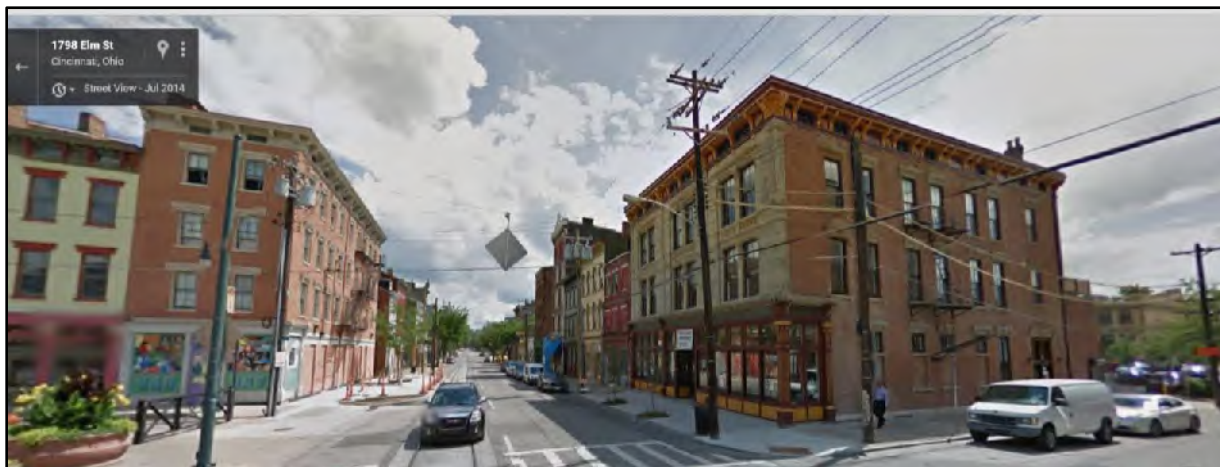


Figure 3: Picture of the 1700 Block of Liberty looking south that shows a variation of height. There are 3, 4, and 5 story buildings. Image provided by Google Street views.

9. Materials: New construction should use materials that are found on the historic buildings in Over-the-Rhine. Clearly the dominant material in Over-the-Rhine is brick, but other materials such as limestone, sandstone, cast-iron, slate, wood and sheet metal are important as well. Materials such as stucco, synthetic stucco and plastic are not appropriate and should not be considered as exposed finish materials for new construction in this district.

Proposed materials include, brick, sheet metal, cast stone, CMU, Allura panels.

Brick, sheet metal, and cast stone have been materials that have been approved in many treatments on other infill projects in Over-the-Rhine.

The Allura panel is a new material submittal. It is a cement board/panel that is similar to the Nichiha panels. Product sheets are attached with sections highlighted showing that the material make-up is the same using Portland cement and wood fibers as the base, both have a smooth finish, come in custom colors, and provide the same type of warranty. The main difference is that the Allura panels are about half of the width of the Nichiha panels which provides multiple advantages for construction and labor costs. The Nichiha panels have been approved in multiple infill, additions and new construction projects in Over-the-Rhine such as Mercer Commons and most recently on 1725 Vine Street.

Other Considerations:

Prehearing Results

August 17, 2016 - Only the architects were in attendance.

June 29, 2016- The architects and representatives from the OTR Infill committee were present. There was a lot of discussion about the design. The architects took comments and revised plans.

Comments Provided to Staff: Staff has received both support and opposition letters they are attached.

The support letters include

- 1) Source 3 response to OTR Infill Committee dated 9/6/2016
- 2) Email from Ron Fresh dated 9/7/2016
- 3) Email from David Reid dated 9/7/2016
- 4) Email from Patricia Hubbard dated 9/6/2016
- 5) Letter from Jin and Lauren Kong submitted 9/6/2016
- 6) Letter from John Walter submitted 9/6/2016

The opposition letters include

- 1) OTR Infill Committee letter and support documents submitted 9/5/2016
- 2) Letter from Patricia Bittner submitted 9/6/2016
- 3) Email from June Alexander submitted 9/3/2016
- 4) Email from Kate Silver submitted 9/3/2016
- 5) Letter submitted by Bonnie Neumeier submitted 9/2/2016

Recommendation:

Staff recommends the Historic Conservation Board take the following actions:

1. **APPROVE** a Certificate of Appropriateness for infill development at the Corner of Liberty and Elm Street at 208-210 W Liberty Street, 1609- 1611 Elm Street, 1701-1909 Elm Street; 1608 Logan Street, 1612-1622 Logan Street and 211 Green Street per drawings submitted by New Republic Architects dated 7/22/2016 including any revisions with the following conditions.
 - a. The building permits must be issued within two years of the decision date or the Certificate of Appropriateness shall expire.
 - b. All signs and awnings will be approved through a Certificate of Appropriateness process and shall follow the Over-the-Rhine Historic Guidelines for signs.
 - c. The western most opening along Liberty Street that is proposed to be used for bike and pedestrian traffic should have a storefront system similar in design to the other glazing on the façade.

2. **FINDING:** The Board makes this determination per Section 1435-09-2:
 - (a) That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

To: OTR Infill Committee

From: Source 3 Development

9/6/2016

RE: Developer's Response to Infill committee's letter to Urban Conservator

Dear OTR Infill Committee,

Thank you for your letter. We appreciate your ambition, and care for the OTR neighborhood.

We have received your letter and all of your concerns of the project. We feel we need to response issue by issue in order to clarify a few things. We do not feel your letter fairly encompasses the efforts, made on the developer's part, to bring a great project to the OTR Neighborhood. We have received a lot of support from many people in the community, and around the city. Our inclusive work with many groups in the OTR community, the city, and fellow developers, will create a catalytic project that respects the neighborhood, preservation, and historic fabric of OTR.

Below, please review our responses:

Proposed Issues:

- I.) **Height** – Developer was accused of adding height to the building from the planning commission submittal on May 20th. Developer is also accused of being more than one story above adjacent buildings.

Developer Response: The Height has not changed from the Planning Commission hearing. The developer was criticized for the height during early meetings with Community Council & the OTRIC. Hearing this, the developer elected to remove an entire floor from the building. In addition, the developer revised the northern portion of the building to visually reduce the massing and to reflect the adjacent historic context more appropriately. Although the elimination of the upper floor and reduction of 20 apartment units created an economic challenge, the developer recognized this was a major concern of the community and revised the design appropriately. The infill committee is welcome to speak further with our architect, Graham Kalbli, about height questions.

Also, if you review the elevations, the new infill building is not more than 1 story above the adjacent buildings. A few infill committee members make the argument that the building “step up” makes it higher than one story as you move to the corner of Liberty and Elm.

The “step up” method was thought to be agreed to after the developer took a floor off the building to compromise with the infill committee. Also, because it is a new infill building, and it only steps up one story, it still meets with the guidelines of being one story above the adjacent building.

II.) **Design And Architecture:** The developer is accused of not working closely enough with the infill committee

Developer Response: The first design meeting with the infill committee was on June 7th. The infill committee brought outside architects to discuss options with our architects. Source 3 felt there was agreement with materials being used, along with the design approach employed by the design team. Everyone seemed to agree on the percentage of materials being used with brick being the predominant material. There seemed to be agreement with the transition from the typical mixed-use building prototype along Elm Street to a “Warehouse” feel on the Liberty Street elevation.

After the **June 7th** meeting, the following communications occurred:

-**June 10** - We submitted our drawings to the infill committee, and to Beth Johnson, the Urban Conservator.

-**June 29th** - We met with the Infill committee, Beth Johnson, and Matt Schad at the HCB pre hearing. It was a positive discussion, with the infill committee having some issues, but nothing specific was identified to change.

- **June 29th** - Source 3 sent the new updated garage renderings.

-Source 3 moved back the HCB meeting twice to evaluate the condition of 1711 Elm Street, and to explore garage options and costs. The new infill building was going through minor material changes, and Source 3 was over budget and working diligently to make the project come together.

-**July 18th** - Mike Heekin (S3D) spoke with Nancy (Operations manager of the infill committee) to discuss 1711, and explain the reasoning behind the push back of the HCB meeting.

-**August 17th** – Sent most updated renderings to the infill committee. Only a few minor material changes from the June 10th submission.

-**August 30th** – S3D receives a letter of non support from the infill committee

** As a note, the infill committee was given the contact information of the developer and architect, if they wanted to reach out and discuss further after the June 7th meeting. Source 3 shared all our information throughout the process.

III.) **Design and Architecture Part II:** The style doesn't belong in OTR

Given the numerous positive meetings with the OTRIDC, approval from the OTR Community Council , approval from the City Council Neighborhood Committee and statements of support from various OTR advocates, it is perplexing to the developer that there is non-support for the design & architecture of the building.

The developer and design team have listened to the comments from the OTRIDC and folded most of the concerns into the architectural design of the project;

1.) ***Relate the architecture for the new building carefully into the surrounding OTR context.***

The developer's design team has broken down the massing of the building by using a 25' wide horizontal module while defining a top/middle/bottom vertical composition for the design of the Elm Street façade reflective of these important OTR characteristics. Additionally, the design celebrates Freeport Alley by providing a ground floor connection through the building to allow public access. The break in the ground floor created by the alley is further reflected above with glass curtain wall to provide a strong visual separation between the northern & southern portions of the building, thereby, visually breaking the building into two buildings.

The design team has selected the warehouse character of Logan Street & Central Parkway as inspiration for the Liberty Street façade. In an effort to again break down the massing of the new building, larger punched window openings and minimal glass curtain wall are used to provide vertical division without compromising the architectural integrity of the Elm Street façade. The convergence of the two treatments creates an iconic architectural feature as well as a much-needed gateway to the Brewery District and Findlay Market area.

2.) **Use materials consistent with the historic buildings in OTR.** The majority of the new building exterior material is brick while complimentary materials such as cast stone, cement board panels, and glass are being used to provide visual breaks to the massing of the building.

Unlike a typical renovation of *existing* historic buildings in OTR, the Liberty & Elm project is a large *new* infill building on a large *open* piece of ground. The developer recognizes this as a challenge, and has researched historic Sanborn Maps to identify previous structures that once occupied the open ground being developed. Using those maps as a guide, the developer has purposely mimicked the previous footprints & massing of the former buildings to bring a context sensitive site plan and corresponding façade to the site.

The developer has shared best practice examples of similar scaled projects in other historic districts, such as Washington DC, to provide examples of how other developers and preservation advocates have found common ground to integrate new buildings into the fabric of existing historic districts, in a way, that expresses tasteful, contemporary architecture through a context sensitive design approach.

Without sounding defensive, the developer has been somewhat frustrated through this process. Specifically, negotiating the appropriateness of architecture, with a non-codified committee, that only articulates their collective opinions of what is acceptable, with an abbreviated *written* list of Design Standards, but without *visual* architectural examples or reference of what they find acceptable. When examples of new infill development currently existing in OTR were brought up by the developer, the committee argued those examples do not reflect the committee's opinion, and that the fact they are built in OTR should not be considered precedent.

IV.) **July 20th Pre hearing Meeting:** Developer is accused of not attending

Developer's response: We changed our HCB meeting from August 22 to September 12. Source 3 attended the August 17th pre hearing meeting with Beth Johnson. The developer was unaware of having to attend any meeting on July 20th, and apologizes if anyone felt slighted.

V.) **1711 Elm Street:** Infill committee is worried about the unknown of this building.

Developer's response: 1711 Elm is in dangerous condition. The building inspector recognized that it could potentially fall down if not stabilized. S3D is not the current owner, and has had no control over the condition of the building. Although, the worsening conditions has added cost to the project. S3D has agreed to do everything possible to

restore the building in lieu of knocking down. S3D has sent two structural engineers through the property, and has also received construction numbers from two different groups. S3D is moving ahead with restoring the building as planned.

VI.) **Murals on the garage:** Will these be included?

Developer's response: If the garage is built this will create an opportunity for public art and murals. As stated in our meeting on June 29th, these murals were placeholders to show the opportunity of where the desired art could be placed. S3D was open about not having the funds to produce these, but were open to the community engaging whoever necessary to do the work, and conjure up funds. With a very tight budget, the developer cannot shoulder the excess money it would take to create these murals, but would certainly be open to working with the community to allow public art to be in the project.

Johnson, Beth

From: Ron Fresh <ron.fresh@usi.com>
Sent: Wednesday, September 07, 2016 3:40 PM
To: Johnson, Beth
Subject: Liberty & Elm Project

Follow Up Flag: Flag for follow up
Flag Status: Completed

Ms. Johnson,

My wife and I are residents of 512 Klotter Avenue, one of the last two streets, along with Conroy, in OTR. My wife and I bought our home in December, 2000. Since that time we have gone through some tough times, including the riots of 2001. In spite of that, we are pleased to live where we do because of the extraordinary change that OTR is undergoing. We believe the proposed development at Liberty & Elm will provide even greater momentum to the re-birth of OTR. Given that the property is virtually a vacant lot as this time, I would be hard pressed to find any reason for the project not to proceed.

Thank you for your kind consideration.

Ron & Jan Fresh

Ronald L. Fresh, CFP®
Registered Representative
USI Securities, Inc.

513-852-6374 Office
513-226-7773 Cell
610-537-9798 Fax

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95 Glastonbury Blvd., Glastonbury, CT 06033, 860-652-3239

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Johnson, Beth

From: H. David Reid <hdreid@fioptics.com>
Sent: Wednesday, September 07, 2016 11:08 AM
To: Johnson, Beth; Maynes, Kasandra; John Walter
Subject: Liberty and Elm Project

As long time residents of Over the Rhine my wife and I would like to offer our support for the Liberty and Elm Project. We have watched the ongoing development of many historic buildings and properties in the area and believe the progress should continue to help make Cincinnati a truly great place to live and do business.

Yours;

H. David & Anne Reid
530 Klotter Ave
Cincinnati OH. 45214

Johnson, Beth

From: Maynes, Kasandra
Sent: Wednesday, September 07, 2016 8:55 AM
To: Johnson, Beth
Cc: Martinez, Charles
Subject: FW: ELM/LIBERTY

Another email in support.....

-----Original Message-----

From: Patty Hubbard [<mailto:phubbard37@gmail.com>]
Sent: Tuesday, September 06, 2016 8:33 PM
To: Maynes, Kasandra
Subject: ELM/LIBERTY

I am a resident of OTR (Last street above Central Parkway on many maps.) I have lived here since 2001 and have watched OTR change one building at a time. I proudly belong to the WECC. I have seen how OTR has changed for the better, and realize that a wonderful building at Liberty and Elm would enhance the entire area!
Patricia Hubbard, 516 Conroy Street, Cincinnati OH 45214

Liberty and Elm Project – In Support

We are business owners and community advocates. We have just recently moved into the Clifton Heights and OTR neighborhood and would like to express our support for the Liberty and Elm Project.

We believe this Project is to everyone's benefit and we make the following observations:

- The Project developer seems engaged and willing to listen to community needs.
- The targeted vacant parcel at Liberty and Elm has a large value-upside through promoting residential density, which translates to a larger tax-base for the municipality.
- Demand is growing with more young professionals and entrepreneurs seeking residential and business solutions between the UC, XU, OTR and the downtown business district.
- Promoting community and engagement in this Project and surrounding area will promote diversity and inclusion and help promote general regional growth.
- Public transportation is beginning to attract a more diverse need-based and choice ridership serving this Project area (e.g., Red Bike, Connector street car), and this further strengthens the sustainability and viability of this city and region.

Our hope is that the members of the Historic Conservation Board have the vision to support this Project. We believe the Board should advocate for an integrated approach and involve more mixed-income residents and businesses in the Project area with the developer's ongoing improvement process. Active engagement and collaborative building of not just buildings, but people and places, will serve to turn this blighted corner of OTR into becoming a catalyst to jump start many other residential and business projects so sorely needed north of Liberty.

Thank you,

Jin & Lauren Kong

Jin Kong, Esq., Six Sigma Black Belt, LEED GA, Sole Member of Kong Esq. LLC, Co-founder and Pathfinder of BrainBox Ltd, Chairman of the Board Greater Cincinnati Chinese Chamber of Commerce, Board of Directors Keep Covington Beautiful, Advisor to Cincinnati USA Sister City Association

Lauren Campbell Kong, LEED AP BD+C, Co-founder and CEO of BrainBox Ltd, Co-chair Green Umbrella Waste Reduction Team, Secretary The American Legion Ohio Post 484, Board of Directors Keep Covington Beautiful

Liberty and Elm Project – In Support

I have been very active as a leader, developer, and landlord in the OTR neighborhood of Klotter / Conroy since 1981 and have lived there since 1984. I am currently a trustee in the OTRCC, which has afforded me insight into the Liberty and Elm project. I am **very strongly in support** of this project for the following reasons:

- The developer since the project has been made public has bent over backwards, changing major design features of the project, mitigating design issues raised by a small number of voices in the community. This in my opinion shows a very healthy level of commitment to the OTR community in bringing forth a project that will serve as a catalyst for sorely needed residential and commercial development north of Liberty.
- High density, residential projects such as this, which grow the local tax base and economy, are exactly what the streetcar advocates promised voters in exchange for the \$150 Million plus of public tax dollars spent on the streetcar project. The large vacant parcel at Liberty and Elm is one of only a few parcels in OTR that have the potential of adding the residential density so sorely needed to grow the OTR economy, benefitting all.
- This project will result in a large number of residents within one block of Findlay Market using the streetcar and shopping at Findlay Market on a regular basis. The OTR neighborhood north of Liberty is currently a very low density neighborhood, which acts as a vacuum attracting drug dealing, prostitution, accumulated litter and overall blight. I'm quite sure merchants at the Market would be glad to have several hundred customers living one block away, especially during slow mid-week times and winter months. I'm also quite sure the streetcar operators would be glad to have several hundred customers that would populate the streetcar during all hours of operation (not just peak times and days) enhancing the sustainability and public safety of the streetcar.
- As a landlord in OTR, I hear from many people looking for apartments, that there are none available in OTR. The truth is the supply and demand of quality residential housing in OTR is out of balance, with high demand and very short supply, resulting in artificially high rents in recently developed areas of OTR. Until major housing supply like the Liberty and Elm project is added, rents will be unaffordable for many workers in the CBD and OTR communities, negatively impacting Cincinnati's urban economic growth.

My hope is the members of the Historic Conservation Board have the vision to support this project, allowing this blighted corner of OTR to become the catalyst needed to jump start many other residential projects so sorely needed north of Liberty.

Thank you,

John Walter

Klotter Properties

OTRCC Trustee



Urban Conservator
Two Centennial Plaza
805 Central Avenue, Fifth Floor
Cincinnati, OH 45202

August 30, 2016

Re: COA application for "Liberty Corner" Planned Development at northwest corner of Elm St. and W. Liberty St.

Dear Ms. Johnson,

The Over-the-Rhine Foundation does not support the request for a Certificate of Appropriateness on the project titled "Liberty Corner," as currently designed.

While we appreciated the dialogue Source 3 development engaged in with the community in the early phases of the project, most of the Foundation's concerns have still not been addressed and new concerns about the project have arisen. In a letter to the Planning Commission dated April 12, 2016, the Foundation expressed appreciation for this early collaboration as well as a list of concerns about the project, in particular the height of the proposed development, which the Foundation felt was unacceptable.

In response to these concerns, the developers did make some changes to their design and in a letter dated May 20, 2016, the Joint Committee of the Over-the-Rhine Foundation's Infill Committee and the Over-the-Rhine Community Council expressed general support for the Applicant's concept plan of May 6, 2016. Support was offered principally on the basis of the Applicant having reduced the height of the proposed structure in accordance with the request of the community. The Joint Committee struck a supportive tone, and asked that the Applicant continue to work closely and meaningfully with the Joint Committee on issues of design and architecture, as well as several other key issues viewed by the community as critical to the success of the project.

However, at the Planning Commission hearing of May 20, 2016, what was presented to the Commission for approval was significantly different than what the Joint Committee had agreed to, and to what was presented in the May 6 concept plan. Specifically, Over-the-Rhine Foundation support limited the maximum height for the project at 65' for the corner structure at Elm and Liberty. The remaining portion of the building, both north and south of Freeport Alley along Elm Street, as well as west of the corner structure on Liberty and up to the existing buildings, at a maximum height of 55'. Since that hearing, renderings of the proposed structure have shown a

height that has continued to go up, relative to what was proposed in the May 6 drawings. The current design appears to exceed these limitations by more than 10’.

This height creep is unacceptable to the Over-the-Rhine Foundation in light of the positive, compromising approach that the Foundation had been pursuing in good faith. It must be noted that the guidelines for new construction in the Over-the-Rhine historic district do not permit structures that vary by more than one story from adjacent contributing buildings. The proposed structure does not abide by this guideline in several respects, and for that reason alone the COA should be denied.

Regarding design and architecture, as noted previously the Joint Committee’s support for the concept plan of May 6, 2016 was conditioned upon the Applicant continuing to work “closely and meaningfully” with the community on issues including design. At best, it is debatable whether this has happened. The Applicant and the Over-the-Rhine Foundation’s Infill Committee had one meeting to discuss design, but the Applicant did not have designs prepared for that meeting, and thus no review could take place. The only other meeting that has taken place with both parties in attendance was the June 29 prehearing to the Historic Conservation Board hearing, which was organized and led by the Urban Conservator. A subsequent prehearing meeting was scheduled for July 20 after the Applicant requested a postponement to their Historic Conservation Board hearing, but the Applicant did not attend this meeting to engage with the Community’s feed back.

The Foundation Infill Committee’s individualized critiques of the proposed design are enumerated in the attached report. The overarching problem with the design, however, cannot be corrected by tweaking individual design elements to nudge them incrementally closer to being in compliance with the guidelines; rather, the problem is that the architecture is stylistically suited for other cities or other neighborhoods – not the Over-the-Rhine historic district. While the design may be appropriate for and blend in with the style of buildings being constructed in Uptown, for example, it is not at all stylistically appropriate to Over-the-Rhine. This is a major problem and one of the principal reasons why we cannot support the proposed design at this time.

The Foundation is also deeply concerned by the currently unanswered question of demolition of the historic, contributing building at 1711 Elm Street. The Over-the-Rhine Foundation is never in favor of demolition of contributing structures in the Over-the-Rhine historic district.

Finally, the garage portion of the project has not been considered at this time. Large murals are shown in the elevations. If they are to be a part of the approved design, it is unclear how the developer is guaranteeing they will be produced and whether the murals are a replacement for architecture that is consistent with the guidelines.

For all of the above listed reasons, as well as the critique laid out in the attached report, the Over-the-Rhine Foundation respectfully asks that a COA not be approved at this time.

Respectfully submitted,

W. Kevin Pape
President
The Over-the-Rhine Foundation



January 18, 2016

Source 3 Development
308 East Eighth Street
Suite 500
Cincinnati, OH 45202

Dear John, Craig, and Mike,

Thank you for meeting with us on Wednesday, January 6 and engaging us in a discussion of your project. It means a lot and says a great deal that you involved us, and listened. It is thrilling that your team is investing in our cherished Over-the-Rhine neighborhood, on the site of the significant Elm and Liberty infill opportunity. It is clear that you have experience and expertise in your organization to improve the urban fabric, with an understanding of markets and trends.

Having had more time post-holidays to engage internally as a committee, we have discussed your project at length and offer here clear, specific, and detailed information as to our position on your project as proposed in the preliminary massing drawings. As stated in our meeting, one of the pillars of the Over-the-Rhine Foundation's mission is to support the protection and preservation of Over-the-Rhine's historic district. In view of this, we have three specific areas of comment related to the project at this stage of design development; the first two were discussed in concept at the meeting, and the third developed from further commentary within our committee, as follows:

First, in order to preserve and respect the existing scale of the Over-the-Rhine historic district, it is critical that the height of any new building be aligned with the heights of adjacent and nearby buildings in the district. In this case, "adjacent and nearby buildings" include those that are immediately abutting (three historic buildings on Liberty and two on the West side of Elm), those on the interior of the block bounded by Liberty, Green, Elm and Logan, and those on the East side of Elm between Liberty and Green. It is crucial that the tallest part of any new development at this site be aligned with the height of this existing fabric, and in any case not exceed the height of the tallest existing building within these bounds. Ideally some portion of the new building would also correspond in height to the (majority) three story historic buildings present in the existing fabric.

We appreciate the meaningful dialogue we have had on this topic to date, and appreciate that your team has acknowledged our concerns related to the height of the project as currently proposed. We look forward to further engagement on this subject. It is our intention here to provide transparency around what our Foundation would consider an acceptable height for such a project.

Our second comment addresses the proposed development on and loss of two public alleys (Campbell Alley and Freeport Alley). Alleys are a character defining and essential part of the Over-the-Rhine fabric, and both of the alleys in this case retain their systems of historic brick pavers. Additionally, Campbell Alley, oriented in the north-south direction, is a continuation of a three-block alley system. While there are examples in Over-the-Rhine of alleys being fenced-in for private use, the Elm & Liberty project as proposed would be the largest and most substantial privatization and development of public alleys in Over-the-Rhine to date. This would result in the permanent loss of these alleys as part of the historic infrastructure. We would look more favorably upon the privatization of the alleys in this case if they were preserved, not built upon, and treated as project amenities.

We greatly appreciate your recognition of the importance of the alleys to the Over-the-Rhine community, and again look forward to further discourse on this subject.

Our final comment concerns the frontage of the parking garage along a prominent pedestrian right of way -- Logan Street. While several parking garages have been developed in Over-the-Rhine in recent years, the pattern has been to "hide" them behind a veneer of apartments and commercial space (see, for example, the Mercer development on Vine Street), or, at a minimum, to provide a façade treatment to mitigate the street-level impact of the garage face. A similar façade treatment in this case would help to mitigate the impact of a parking garage to the pedestrian experience along Logan.

We look to support your development of the Elm and Liberty opportunity through design decisions that respect the Over-the-Rhine historic district and the decades of work and commitment towards its preservation and revitalization. We welcome another in-person meeting with you in the near future to build this as a successful project for your venture and the community.

Respectfully yours,

A handwritten signature in black ink, appearing to read "W. Kevin Pape". The signature is fluid and cursive, with a large initial "W" and "K".

W. Kevin Pape
President
The Over-the-Rhine Foundation



April 12, 2016

City Planning Commission
Two Centennial Plaza
805 Central Avenue, Seventh Floor
Cincinnati, OH 45202

Re: Proposed change in zoning at the northwest corner of Elm St. and W. Liberty St.

Dear Planning Commission Members,

The Over-the-Rhine Foundation does not support the request for a planned development zoning on the project titled "Liberty Corner", as currently designed.

We appreciated the early dialogue the Source 3 development team started with the community regarding the project. They requested our feedback on multiple occasions and we provided our responses and opinion as you can see in the attached letter, dated January 18, 2016. Through the support of the Economic Development Department Major Projects Team, the Over-the-Rhine Foundation provided additional comments as part of the Joint Committee meetings made up of the Over-the-Rhine Community Council and the Over-the-Rhine Foundation. These comments are dated March 24, 2016, and can also be found attached.

However, despite these early good intentions, most of our concerns have not been addressed. In fact, no response was received from the development team to the joint committee items. As it relates to this commission particularly, the proposed building height as shown in the renderings is not acceptable to our organization. No other structure in the context of the surrounding neighborhood comes close to this height. Because the height and mass of this proposed development are out of scale in terms of community context, its construction, and the precedent this project will set, has the potential to create a permanent negative impact on our historic community.

We look to support development of the Elm and Liberty project through design decisions that respect the Over-the-Rhine historic district and the decades of work and commitment that have been invested in its preservation and revitalization. Thank you

for careful consideration on this project and for protecting the historic integrity of our own Over-the-Rhine, an historic and vital community unlike any other in the nation.

Respectfully yours,

A handwritten signature in black ink, appearing to read "W. Kevin Pape". The signature is fluid and cursive, with a large, prominent loop at the end of the last name.

W. Kevin Pape

President

The Over-the-Rhine Foundation



March 24, 2016

Stephen W. Eastridge, Development Analyst
Major Projects Team
Department of Community and Economic Development
City of Cincinnati
Phone: 513-352-4546
Email: Stephen.eastridge@cincinnati-oh.gov


RE: Elm & Liberty Development Project

Mr. Eastridge,

Attached please find the Over-the-Rhine Joint Committee's project response summary as requested. The Joint Committee is comprised of representatives of the Over-The-Rhine Community Council, the Over-the-Rhine Foundation and individual community residents. This summary outlines each of the concerns that have been raised in committee as well as potential ways to address them. This list is organized in chronological order to when the concern was brought to the committee.

We look forward to continuing this important conversation as well as working towards a very successful project in our community.

Warm Regards,


Jennifer LeMasters Wirtz, Trustee
Over-the-Rhine Foundation

Over-the-Rhine Community Council, Over-the-Rhine Foundation, & Individual Community Residents			
Joint Committee			
Elm & Liberty Development Project			
Item	Concern	Impact	Potential Solutions
1	Development on and loss of two public alleys (Campbell Alley and Freeport Alley)	<p>Alleys are a character defining and essential part of the Over-the-Rhine fabric, and both of the alleys in this case retain their systems of historic brick pavers. Additionally, Campbell Alley, oriented in the north-south direction, is a continuation of a three-block alley system. While there are examples in Over-the-Rhine of alleys being fenced-in for private use, the Elm & Liberty project as originally proposed would be the largest and most substantial privatization and development of public alleys in Over-the-Rhine to date. This would result in the permanent loss of these alleys as part of the historic infrastructure.</p>	<p>We would look more favorably upon the privatization of the alleys in this case if they were preserved, not built upon, and treated as project amenities.</p> <p>In the most recent solution presented, this concern was partially solved with the retention of Freeport Alley and the alignment of the garage entrances with the alleys. Maintenance of the historic pavers is requested.</p>
2	Height	<p>The proposed height of the structure dwarfs all buildings in the surrounding area especially considering the smaller scale of Elm Street and the topographic elevation change from Liberty St. northbound on Elm. This will not only change the historic character of Elm Street and the Over-the-Rhine Historic District, but eliminate the views of Downtown Cincinnati's skyline enjoyed by residents on Elm and Logan. These views, which are valuable assets of these properties, will be lost from Green Street, up to Elder Street.</p> <p>Additionally, the viewshed impacts from above the district looking down from the hillside communities will also lose historic quality of small-scaled patterning.</p>	<p>a) Along Elm Street, reduce the height of the structure such that it does not exceed the height of the tallest building on the opposite side of Elm between Liberty and Green, or the immediately adjacent structures on Elm to bounded by Logan. This includes topographic elevation changes -- i.e. total height of topographic elevation plus new building does not exceed total height of existing fabric. Use the length of the development on Elm Street to transition the building facade from a shorter height (in line with the existing historic buildings) on the north to a taller height as it meets Liberty on the south.</p> <p>b) Along Liberty Street reduce height such that it does not exceed the tallest building on Liberty (not including the steeples of St. Francis Seraph). However, the depth of any Liberty Street-fronting building should only go as far back as the first contributing building on the opposite side of Elm (in other words, as soon as the historic fabric begins on the interior of Elm Street, the height of the building should match and not exceed the height of such fabric). It would be appropriate to have a rhythm of a collection of narrower buildings along this long stretch with varying perceived heights.</p> <p>c) Consider incorporating the top story as a part of what is perceived as the cornice from below.</p> <p>d) If additional density is needed, build additional units on top of the garage structure facing an interior courtyard and/or Logan Street to reduce the height and maintain density (lightweight frame construction will easily be accommodated on top of a reinforced concrete garage structure). Petition the city for reduced parking requirements -- particularly given the location along a transit line -- so that the size of the garage can be reduced and more square footage dedicated to finished leasable area.</p> <p>e) Eliminating the setback on the corner will also add additional square footage.</p>

3	The frontage of the parking garage along a prominent pedestrian right of way -- Logan Street.	While several parking garages have been developed in Over-the-Rhine in recent years, the pattern has been to "hide" them behind a veneer of apartments and commercial space (see, for example, the Mercer development on Vine Street), or, at a minimum, to provide a façade treatment to mitigate the street-level impact of the garage face.	A similar façade treatment in this case would help to mitigate the impact of a parking garage to the pedestrian experience along Logan.
4	Cut-Away Corner	The cut-away corner is contrary to the historic design of the neighborhood. No historic examples exist of 1-2-story patios or a cut-away, below-grade plaza.	Look at other corner examples in the neighborhood, like 224 Liberty, 1301 Main or 1201 Main, that are built to the sidewalk and use a tall, narrow rectangular or flatiron design to define the corner and define a corner with detailing.
5	Design/Architecture	Designs tell the stories of the neighborhood, and it's important to keep this tradition alive.	<p>More budget spent on the facade/building envelope. Higher quality of materials and design. This should be a signature, landmark building for the residents of Over-the-Rhine, and for visitors riding the streetcar up to Findlay Market. The design and quality need to be exemplary. The use of modern brick as a finish material needs to be implemented very carefully, as it often clashes with historic brick finishes. Brick should be selected to match size, texture, and mortar joint opening of historic brick.</p> <p>Add details to the facades that are historically in line, but don't copy what's already in the neighborhood.</p> <p>Example ideas:</p> <ul style="list-style-type: none"> - a "cornerstone"/stones in the masonry with the street names on them. See 1200 Main as one example. (Make sure not to use any prior name that Liberty used to have; use the contemporary names.) - naming some of the "building" pieces of the facade with stone wording. ie "The Woodward" at 1400 Main or "Othello" at 1308 Broadway. Put your permanent stamp on your development. With 3 parts of your development team, you have plenty of choices to put your individual stamps on different sections. - including individual symbolism into any embellishments. Many buildings have remnants of what they once were or who built them, (for example hop flowers in cornices or ironwork when built by brewers, grapes in iron work at 1608 Main for a past bar) Continue the tradition with symbols that mean something about you. - Include the date of your development like 1435 Main did in the past. It makes it clear that this isn't old, even if it's the same style. - Lintels, cornices, and retail window/storefront style are important. - Tell the story of evolving land use and construction at this corner through allusion and the incorporation of design elements or treatments from the 19th century buildings which stood previously on the property. <p>Create new history for this space that will be celebrated for the next 100 years.</p>

6	Commercial Rental/Sale Goals and Plans	Retain unique shopping experience with indie commercial; add commercial that meets needs of entire neighborhood; equitable development strategies	Bring in independent local shops, restaurants, and bars, in keeping with Over-the-Rhine's historical development and the types of tenants being introduced along Vine and Main Streets and around Findlay Market. National chain tenants are discouraged.
7	Jobs/Hiring/Wages and Benefits for construction and renovation	Support of local economy	Wages/Benefits should pay enough for workers to afford the basics; Hiring should prioritize neighborhood and nearby
8	Jobs/Hiring/Wages and Benefits in commercial properties	Support of local economy	Wages/Benefits should pay enough for workers to afford the basics; Hiring should prioritize neighborhood and nearby
9	Targeted Demographics for rentals	Committed community	Full time residents, workforce housing, larger units for families
10	Guided by existing plans	Support the Over-the-Rhine Comprehensive Plan Goals and the Brewery District Master Plan	Consider housing plans (pricing and unit size), Gateways, etc.
11	Streetscape/Public Space	Continuity of community pride, community engagement, increased value of property.	Engage community neighbors, designers, artists in development of plans for streetscape or public spaces, including seating space, public art, greenspace, shade, design elements, sidewalk art. Public/private funding may be available if community is engaged and local artists involved.
12	Public Art/Artist Engagement	Continuity of community pride and character, community strengthening, increased value to property.	Art Academy of Cincinnati or other local artists could help in designing embellishments, murals, etc. Also, artists contribute to community engagement and support with ideas and entrepreneurial activities. Artists can alleviate construction fatigue and bad press with positive pop-up activities. (See Springboard for the Arts, Irrigate initiative. Private and public funding may be available for these efforts too. http://springboardforthearts.org/community-development/irrigate/)

May 18, 2016

The Over-the-Rhine Joint Committee is deeply appreciative of the Source3's efforts to consider the concerns of the community, and to revise their proposal based on a respect for those concerns and an acknowledgement of community members' passion for Over-the-Rhine. The Committee recognizes the Developer's efforts to revise the project, and admires and respects the courage that it took to make such revisions. In light of these changes, the Committee wishes to move forward with the Developer Team in a mutually supportive, collaborative manner that allows for the best project possible for our community.

We remain concerned about the very large size, scale, and massing of the proposed building – even after the aforementioned revisions – and the impact it is likely to have on the feel of our community once built. In particular we are concerned that the height exceeds the allowable height limits set by the Over-the-Rhine Historic District Guidelines for new construction, and would represent the first new infill construction project that exceeds these height limits and the heights of the surrounding historic fabric. More specific height related concerns include the parapet walls and the effect they will have on the height of the structure once added, and the penetration of the 5-story portion of the building to mid-block in the interior block of Elm.

In light of these issues, the design and architecture, commercial tenancy, public art, and quality of materials aspects of the project will be especially crucial in ensuring that the building blends in and creates an overall positive benefit to the community. The Committee wishes to have continued meaningful engagement with the Developer Team on these and other issues moving forward. Therefore the Committee is able to support the concept plan of May 6, 2016, conditioned upon the following:

- 1) That the Developer Team agree to work closely and meaningfully with our Joint Committee on the architectural design of the project moving forward, in recognition of our mutual goal of creating superior urban design at this important corner location
- 2) That the Developer Team agree to work closely and meaningfully with our Joint Committee on other issues affecting the project, including but not limited to identifying and finding commercial tenants, incorporating public art into the project, and hiring low income residents to work at the project.
- 3) That this letter become part of the City Planning Commission's motion to approve the PD concept plan.

The Joint Committee acknowledges the Developer Team's good faith efforts to improve the concept plan/massing envelope of the proposed project, and looks forward to a mutually supportive and beneficial relationship that allows us to reach the shared goal of a project that Cincinnati and Over-the-Rhine can be proud of.

The Joint Committee is a group of concerned residents and stakeholders, including representatives of the Over-the-Rhine Foundation and members of the Over-the-Rhine Community Council. The Committee does not represent the Community Council, which has not yet had a chance to weigh in on this project.

Sincerely,

The Joint Committee

Memorandum

To: The Historic Conservation Board
 c/o Beth Johnson
 Urban Conservator
 513-352-4848
 beth.johnson@cincinnati-oh.gov



From: Over-the-Rhine Foundation
 1219 Sycamore Street
 Cincinnati, Ohio 45202

Date: 6/24/2016

CERTIFICATE OF APPROPRIATENESS REPORT

**PROJECT: LIBERTY CORNER, NWC LIBERTY STREET & ELM STREET
 OVER-THE-RHINE HISTORIC DISTRICT**

Applicant	Source3 Development and New Republic Architecture
Type of Request	COA for Planned Development Mixed-use Multi-family new construction

After review, the Over-the-Rhine Foundation does not support this application.

Please note the following:

- The itemized review below discusses details of the Elm Street and Liberty Street elevations only. **The Logan Street and Green Street elevations broadly do not meet the guidelines and thus are not addressed further herein.)**
- A project of the scale must include the context of the neighboring buildings on the block, not just outlines of immediately adjacent structures in order to understand the design’s responsiveness to Rhythm, Height, Materials, and other key composition metrics.

Note: This checklist was developed by the Over-the-Rhine Foundation and compares the proposed project with the applicable guidelines for new construction in the Over-the-Rhine Historic District

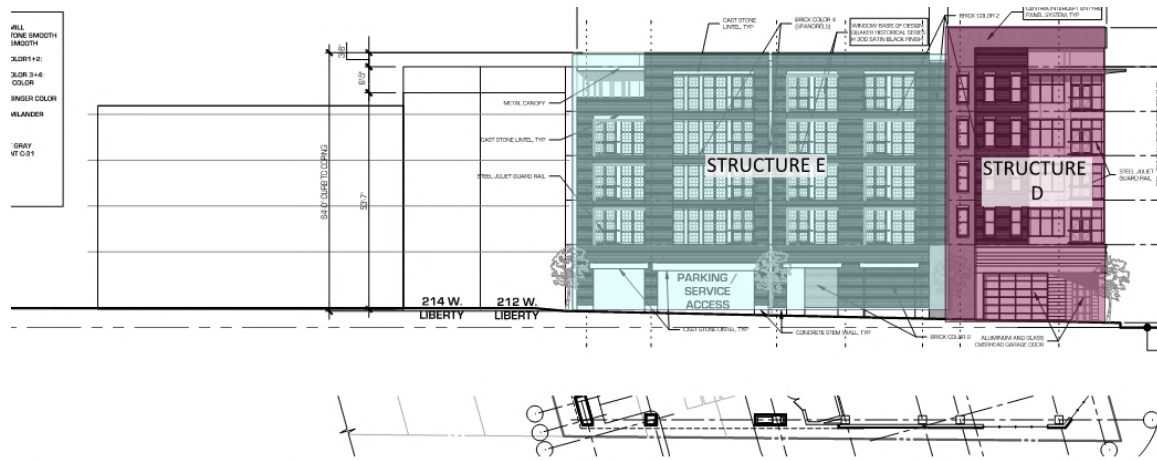
SUMMARY CHECKLIST

Specific Guideline	Meets Guideline?			Conditions
	Yes	No	Partial	
1. Base		X		See comments.
2. Middle			X	See comments.
3. Top		X		See comments.
4. Roofs	N/A	N/A	N/A	Not enough information to evaluate.
5. Windows			X	See comments.
6. Storefronts		X		See comments.
7. Setback			X	See comments.
8. Rhythm	N/A	N/A	N/A	Not enough information to evaluate.
9. Vertical Emphasis	N/A	N/A	N/A	Not enough information to evaluate.
10. Height		X		See comments.
11. Materials	N/A	N/A	N/A	Not enough information to evaluate.
12. Other Comments	N/A	N/A	N/A	Not enough information to evaluate.

DRAFT CERTIFICATE OF APPROPRIATENESS REPORT

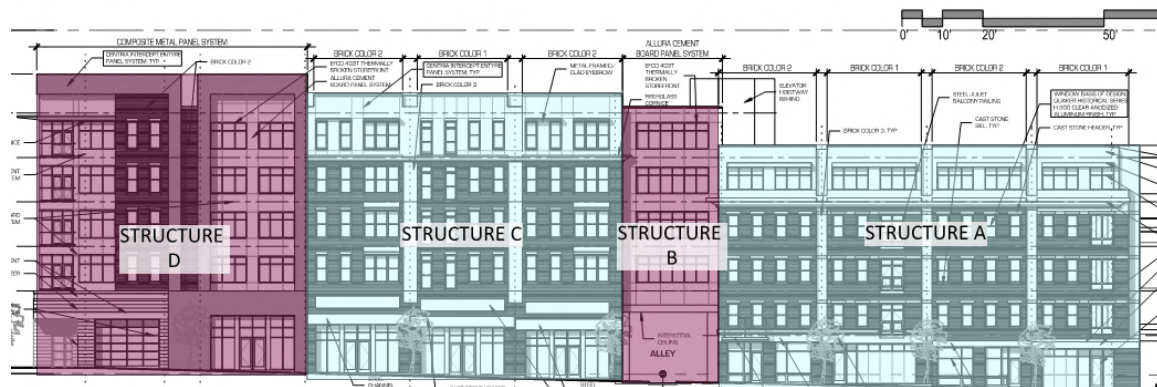
Elm & Liberty

IMAGE KEY: This review performed on the individual structures that make up the Elm Street and Liberty Street building mass as follows:



ELEVATIONS

V ... LIBERTY STREET FACING NORTH



DETAILED CHECKLIST REVIEW

1. Composition - Base: / Storefronts:

Does the project meet the applicable guidelines for Composition – Base/ Storefronts?	Yes	No	Partial
		X	

“New buildings should have a well-defined base. Within the district most buildings have a base that is distinguishable from the rest of the building. This is accomplished through a change of materials, a change of scale, and/or a lintel or other type of horizontal banding. In larger buildings the original base may include more than the first floor.”

Comment: *Insufficient contextual information provided to allow evaluation of the project’s relationship to adjacent and surrounding fabric*

DRAFT CERTIFICATE OF APPROPRIATENESS REPORT

Elm & Liberty

Elevation and plan detail do not match (A201). Reviewed based on Elevation being accurate/current. Storefront level elevation details with dimensions should be provided for clarity. Overall project does not have storefronts with slender columns, which emphasize verticality.

STRUCTURE A: The column structures of the individual storefronts are not consistent in width or rhythm with the contextual community. Large columns mid-span in the storefront are irregular to community context. Although dimensions of these columns are not provided, they appear inappropriately wide. The large brick section shown in the northernmost bay is not appropriate. Set back of glazing is not clear but appears to be less than 12"-18" typical of context. The primary base issues with this section are more accurately covered in the 'Rhythm' section.

STRUCTURE B: Drawings are not clear on the material used on the columns flanking the alley. Opening is under-detailed and not consistent with Courtyard building typologies in the context. Proportions and hierarchy of opening should treat this as a major entrance into the complex with decorative lighting, appropriate materials and perhaps appropriate signage.

STRUCTURE C: The lintel and the horizontal banding is inappropriately tall. Additionally, the "sign band" is inappropriate for the historic context. Varying column widths on storefronts are inconsistent with the neighborhood context, column widths should at least be consistent within the bay. The appearance of double columns between storefronts is inappropriate unless a planar change is made in the E-W direction. The storefront mullions are oversized. If the floors above are at the same level, it is unclear why the steel channel headers above the storefronts change elevation with the sidewalk. Further information is needed on sign bands.

STRUCTURE D: The metal panel composition does not relate to the characteristics on existing historic storefronts. Additionally, the lintel and the horizontal banding is inappropriately tall on both sections of this structure. Aluminum garage doors are not appropriate in this structure. Nana-wall or sim is an appropriate alternative. Analysis of the base of this portion of the project is difficult due to a lack of visual association with any vernacular building type. Most of the architectural elements shown on the Structure D base are not associated with any historic Over-the-Rhine building type.

STRUCTURE E: Bricked in storefront/ base does not relate to the characteristics on existing historic storefronts, particularly on a primary corridor. It is also typical that the lintel/ horizontal banding on warehouse/ institutional structures extends the width of the primary façade. This structure appears to be attempting to echo a historically commercial Over-the-Rhine structure such as 1212 Jackson, or 1201 Walnut but lacks the conformity and base regularity to do so.

DRAFT CERTIFICATE OF APPROPRIATENESS REPORT
Elm & Liberty

2. Composition – Middle & Windows

Does the project meet the applicable guidelines for Composition – Middle & Windows?	Yes	No	Partial
			X

“Details on new buildings should relate to the detailing of adjacent or nearby buildings. Buildings in the district often incorporate architectural details such as changes in plane or changes in materials on their upper floors. Decorative, horizontal bands indicating the floor lines, sill heights or lintel heights should not overpower the vertical emphasis of the design.”

“Window openings are extremely important in this district. The openings of new buildings should be related to the size and placement of openings found on historic structures of similar use in the district. In residential buildings, window openings are typically found individually rather than in pairs or grouped. The openings are taller and wide (typically in a proportion of 2:1), window sash are set back from the wall surface, and openings have some form of definition, such as lintels, sills or decorative surrounds. Window openings, which are typically aligned vertically, usually occupy between 20% and 50% of the principal facade. In commercial, industrial and institutional buildings, windows are often grouped within a single opening. These building types may also use a combination of window sash, including double-hung, awning and hopper. If muntins are used in new window sash, they must provide true divided lights. Within the individual opening, window sash are usually divided into two or more lights. In all cases the glass must be clear; tinted or reflective glass is not acceptable. Also, roll down shutters and metal bar systems installed on the exterior of the building that cover door and window openings are not appropriate.”

Comment: *Insufficient contextual information provided to allow evaluation of the project’s relationship to adjacent and surrounding fabric*

STRUCTURE A: Overall vertical divisions between bays do not continue through to the ground plane. Please provide a precedent for the strategy of wide vertical divisions. This application creates unbalanced individual bay facades and fails to break the cornice. These wide divisions create a “faux” façade that is not appropriate to the historic context. The window sashes should be divided into two or more lights. Triple grouping of windows in the top-most row not characteristic of residential/mixed-use buildings unless it is within an oriel. The double door openings are not appropriately contextual. The wide brick column to the north of these door openings is inappropriately wide. Brick color pattern recommended from S to N as brick 1, brick 1, brick 2, brick 2 so that the scale of the façade is broken into a more appropriate scale to the overall massing. Need more detail on cast stone accent band. Where this feature would typically serve as an integral lintel, this design appears to show lintels plus infill stone pieces which is not typical. Similarly, when accent band show up on Over-the-Rhine facades they are typically both as the lintel levels and the sill levels. Accenting only the tops of windows leave the bottoms feeling soft.

DRAFT CERTIFICATE OF APPROPRIATENESS REPORT

Elm & Liberty

STRUCTURE B: Bridge structure would be more successful taking cues from the Building E “warehouse” structure. Very strong horizontal windows are not consistent with guidelines; further divided lights is recommended. Material is not appropriate for the historic context. Improved window detailing may offset. Architect has previously described this structure as a glass element, but it does not read that way. If the concept is to have Structure B fade away from the more primary facade types, it would achieve this more successfully if it were one story shorter and set back slightly more from the property line.

STRUCTURE C: Top-most row of windows appears to be pushed up against the cornice which is not characteristic of the context. Triple grouping of windows not characteristic of residential/mixed-use buildings unless it is within an oriel. Large lintel over triple windows not appropriate. Generally speaking, the strategy of including a field of windows above the cornice (Structures A & C) diminishes the role of a typical ‘middle’ and blurs the line between middle and top. In Over the Rhine this is only typically found in French Second Empire structures which are fairly rare and always a much smaller scale than this project.

STRUCTURE D: Overall composition not clear in elevation and plan. 3D renderings should be provided as this structure drastically diverges from guidelines and is the most visible portion of the project. This piece should be the most scrutinized volume and cannot be evaluated without more imagery and detail.

STRUCTURE E: Visually there’s a lot going on in the large frame piece trying to express the corner. There appear to be plane, texture and color changes. Toning down the color but keeping the patterning and textural changes and working with subtle variations of tone would express this element more successfully. Right now the large frame piece is very superficial and stands out too much but with effort that piece can evolve. Window groupings within large openings is appropriate. Divided lights are appropriate. The large mullion in the window groupings are not appropriate. If the goal is to echo a commercial style building, a vertical division down the center is less relevant. Opening sizes should be consistent in all of Structure E and the west bay should not drop down a floor. Please provide precedent images of other OTR commercial structures and explore how this part of the project takes cues from them.

3. **Composition – Top:**

Does the project meet the applicable guidelines for Composition - Top?	Yes	No	Partial
		X	

“New construction must employ a strong element that terminates the uppermost part of the building. Distinctive elements in the architecture of Over-the-Rhine are elaborate projecting cornices, decorative parapets and the expressive use of materials.”

Comment: *Insufficient contextual information provided to allow evaluation of the project’s relationship to adjacent and surrounding fabric*

DRAFT CERTIFICATE OF APPROPRIATENESS REPORT

Elm & Liberty

STRUCTURE A: Topmost parapet is overly tall, exceeding the overall height supported by the community at the planning commission. Fiberglass cornice on top of brick should extend to the northernmost point of brick wall and wrap corner. Level four floor plan has not been provided. This is needed to fully describe the setback. If no setback provided, then the uppermost story does not relate appropriately to the façade it tops. The openings break the rhythm established by the middle of the structure. The material change is therefore also not justified.

STRUCTURE B: No termination to the top is provided.

STRUCTURE C: Topmost parapet is overly tall, exceeding the overall height supported by the community at the planning commission. The material change is not justified without a planar change. The top of Structures A and C are foreign to the neighborhood. Properties like 1616 Race, 1622 Vine, and 1130 Main should be analyzed for their division of the top floor from the lower floors.

STRUCTURE D: Overall composition not clear in elevation and plan. 3D renderings should be provided as this structure drastically diverges from guidelines.

STRUCTURE E: No termination to the top is provided.

4. **Roofs:**

Does the project meet the applicable guidelines for Roofs?	Yes	No	Partial

“Roofs for new construction should be similar to roofs of adjacent and nearby buildings of similar size and use. In the district, buildings of three or more stories generally have low-pitched shed roofs that are not visible above the principal facade. Smaller buildings in the district typically have simple gable roofs on which the gables are perpendicular to the principal facade. Institutional buildings in Over-the-Rhine have a variety of roof shapes, including dormers, multiple gables, hip roofs and towers. Roofs in this district have little or no overhang.”

Comment: Not sufficient information to allow for review.

STRUCTURE A: TBD

STRUCTURE B: TBD

STRUCTURE C: TBD

STRUCTURE D: TBD

STRUCTURE E: TBD

DRAFT CERTIFICATE OF APPROPRIATENESS REPORT
Elm & Liberty

5. **Setback:**

Does the project meet the applicable guidelines for Setback?	Yes	No	Partial
			X

“Setback is an important issue in a dense urban area such as Over-the-Rhine. The setback for new construction should be consistent with the buildings of similar use on adjacent and nearby sites. In Over-the-Rhine, most commercial buildings are built up to the property line. Some residential property, especially detached buildings, have shallow setbacks but retain an "edge" at the property line with a fence. Some larger institutional buildings such as schools, churches and public buildings are setback from the street to provide public space and to add to their monumentality. In most cases new construction on corner sites should be built up to the edge of both outside property lines.”

Comment:

Insufficient contextual information provided to allow evaluation of project’s relationship to adjacent and surrounding fabric

STRUCTURE A: The base is setback from the façade of the building above and from adjacent and nearby historic structures. This characteristic is not appropriately related to the historic context. The base should be within the plane of the structure above. Upper sections appear to extend over property line, which is not characteristic of surrounding context. Bringing the base up to the property line and setting the 5th floor back about 5 feet from façade would help mitigate the scale issue of the building and create street-level setbacks more consistent with neighborhood and Guidelines.

STRUCTURE B: The setback is appropriate to accentuate the preserved alley.

STRUCTURE C: The base is setback from the façade of the building above and from adjacent and nearby historic structures. This characteristic is not appropriately related to the historic context. The base should be within the plane of the structure above. Upper sections appear to extend over property line, which is not characteristic of surrounding context. Bringing the base up to the property line and setting the 5th floor back about 5 feet from façade would help mitigate the scale issue of the building and create street-level setbacks more consistent with neighborhood and Guidelines.

STRUCTURE D: Overall composition not clear in elevation and plan. 3D renderings should be provided as this structure drastically diverges from guidelines. This piece should be the most scrutinized volume and cannot be evaluated without more imagery and detail.

STRUCTURE E: The setback is appropriate.

6. **Rhythm:**

Does the project meet the applicable guidelines for Rhythm?	Yes	No	Partial
			X

“New buildings should incorporate design features, such as window groupings, articulation of wall surfaces, and decorative elements such as columns or piers in an effort to maintain the rhythm that already exists in the district. New construction should avoid creating long unrelieved expanses of wall along the street by maintaining the rhythm of bays found on the district. Most buildings in Over-the-Rhine are relatively narrow, 25 to 50 feet in width. A building facade typically displays vertical subdivisions that establish a visual rhythm. In dense commercial areas such as Vine Street, there are no setbacks, creating a solid wall along the street. This wall is articulated by the individual buildings, which in turn are divided by window groupings, changes in wall planes and decorative elements such as pilasters, columns or piers.”

Comment: Overall subdivisions in 25’ parcel bays is an appropriate response to the contextual fabric. Other issues of rhythm were discussed in other sections. There are several instances where small elements throw off symmetry and/or uniformity within a bay or architectural element. The entire facade needs to be cleaned up to add overall consistency. The project is being analyzed at such a macro level that it becomes difficult to confirm that window sizes and spacing connect to the neighborhood, storefront bays connect to the other Elm Street facades, etc. Contextual comparisons and detail drawings are needed to do so properly.

- STRUCTURE A: See above.
- STRUCTURE B: See above.
- STRUCTURE C: See above.
- STRUCTURE D: See above.
- STRUCTURE E: See above.

7. **Emphasis:**

Does the project meet the applicable guidelines for Emphasis?	Yes	No	Partial

“New residential and mixed-use construction should have a vertical emphasis, because in Over-the-Rhine buildings are taller than they are wide, window openings are tall and narrow, and storefronts have slender columns, which emphasize verticality. Commercial and industrial buildings, which may have an overall horizontal emphasis, often incorporate vertical elements, such as pilasters or vertically oriented openings.”

DRAFT CERTIFICATE OF APPROPRIATENESS REPORT
Elm & Liberty

Comment: *Insufficient contextual information provided to allow evaluation of project’s relationship to adjacent and surrounding fabric*

STRUCTURE A: See above.
 STRUCTURE B: See above.
 STRUCTURE C: See above.
 STRUCTURE D: See above.
 STRUCTURE E: See above.

8. **Height:**

Does the project meet the applicable guidelines for Height?	Yes	No	Partial
		X	

“The height of new construction should not vary more than one story from adjacent contributing buildings. Most buildings in Over-the-Rhine are between two- and five-stories.”

Comment: Height continues to be a major concern, particularly relative to the existing scale of historic buildings along Elm Street heading towards Findlay Market.

STRUCTURE A: Structure is 2 stories taller than adjacent 3-story building at 1711 Elm
 STRUCTURE B: Structure is 2-3 stories taller than adjacent 3-story building at 1711 Elm
 STRUCTURE C: Structure is 2-3 stories taller than adjacent 3-story building at 1711 Elm
 STRUCTURE D: Structure is 3-4 stories taller than adjacent 3-story building at 1711 Elm, and 2 stories taller than adjacent building at 212 W. Liberty
 STRUCTURE E: Structure does not vary by more than one story from adjacent building at 212 W. Liberty and is therefore appropriate.

9. **Materials:**

Does the project meet the applicable guidelines for Materials?	Yes	No	Partial

“New construction should use materials that are found on the historic buildings in Over-the-Rhine. Clearly the dominant material in Over-the-Rhine is brick, but other materials such as limestone, sandstone, cast-iron, slate, wood and sheet metal are important as well. Materials such as stucco, synthetic stucco and plastic are not appropriate and should not be considered as exposed finish materials for new construction in this district.”

DRAFT CERTIFICATE OF APPROPRIATENESS REPORT

Elm & Liberty

Comment: Far more information is necessary to properly analyze the materials of this project. While understanding color and type of brick is extremely important, there is an unprecedented amount of non-native metal panels being proposed. On smaller infill projects there exists an opportunity for metal panel to be thoughtfully detailed and arranged. On a project of this scale, introducing a historically inappropriate material for such a wide variety of applications (some tops, some middles, portions of base) could serve to drastically hurt this project and serve as a dangerous precedent for future infill. Resolving the details of a panel system for so many situations would be a challenge for any architectural team. Need proposed colors, joints, metal gauge, etc for metal panels. With the information provided, metal panels cannot be responsibly approved given the multitude of issues that can arise if not properly designed and installed (oil canning, water staining, over reflectance, etc).

STRUCTURE A: See above.

STRUCTURE B: See above.

STRUCTURE C: See above.

STRUCTURE D: See above.

STRUCTURE E: See above.

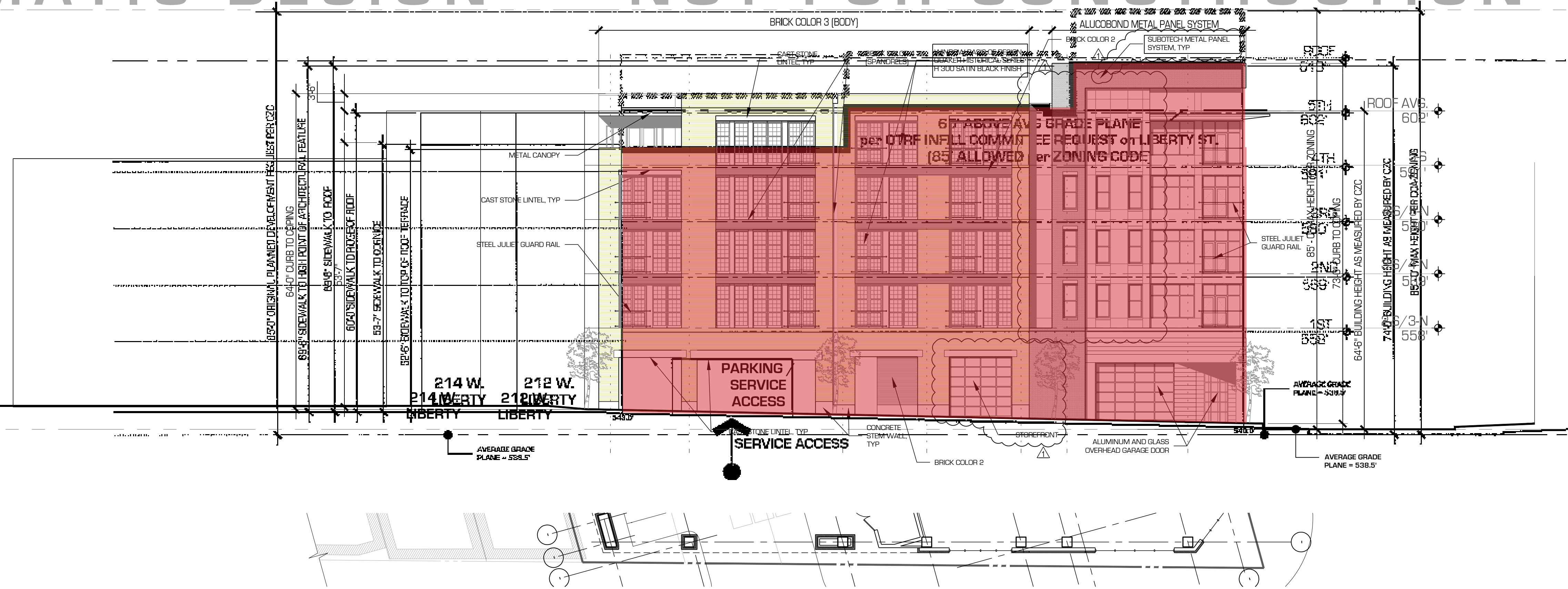
12. Other Comments:

Large murals are shown on garage elevations. If they are to be a part of the approved design how is the developer guaranteeing they will be produced? Are murals a replacement for architecture that is consistent with the guidelines? The committee supports community collaboration on public art, but more information about that process and commitment is needed.

SCHEMATIC DESIGN - NOT FOR CONSTRUCTION

MASONRY SCHEDULE

- BRICK COLOR 1: LEE BRICK - ROANOKE BLEND
- BRICK COLOR 2: PALMETTO BRICK CO. - KINGSMILL
- BRICK COLOR 3: PALMETTO BRICK CO. - BUFFSTONE SMOOTH
- BRICK COLOR 4: CAROLINA CERAMICS - KONA SMOOTH
- CAST STONE HEADERS AND SILLS AT BRICK COLOR 1+2: CUSTOM CAST STONE - GINGER COLOR
- CAST STONE HEADERS AND SILLS AT BRICK COLOR 3+4: CUSTOM CAST STONE - NATURAL WHITE COLOR
- CAST STONE VENEER: CUSTOM CAST STONE - GINGER COLOR
- COLORED CMU # 1: LEE MAXBRIC - CHARCOAL
- COLORED CMU # 2: LEE MAXBRIC - WILLIAMSON BLEND
- ALL MORTAR TO BE STANDARD TYPE N GRAY
- ALL BRICK PRODUCTS TO BE MODULAR SIZE
- ALL CMU TO BE 8X8X16



E1 BUILDING ELEVATIONS

3/32"=1'-0" FRONT ELEVATION ... LIBERTY STREET FACING NORTH



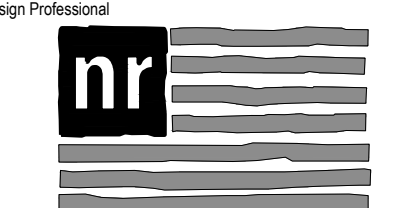
A1 BUILDING ELEVATIONS

3/32"=1'-0" FRONT ELEVATION ... ELM STREET FACING WEST

NEW MIXED-USE DEVELOPMENT

LIBERTY CORNER

NWC LIBERTY ST. & ELM ST.
CINCINNATI, OHIO 45202
OVER THE RHINE NEIGHBORHOOD



NEW REPUBLIC ARCHITECTURE
513.800.8075

LIBERTY CORNER
VALUE ENGINEERING
22 JULY 2016

VALUE ENGINEERING	07.22.2016
HCB SUBMISSION	06.10.2016
SCHEMATIC PRICING SET	05.27.2016
Date	

BUILDING ELEVATIONS (FRONT)

Drawn	WBH	Project No.	2014-077
Checked	GMK	Date	--2016
Document No.			

A201

PLOTTED: Thursday, August 4, 2016 3:33:40 PM
© 2016 NEW REPUBLIC, LTD.

Not for Construction

Bid Set

6 September 2016

Dear Historic Conservation Board members,

I am a resident of OTR, an architect, local developer, and a former member of the Historic Conservation Board. I want to thank you for your service to the community. I appreciate the time commitment you have made and the complexity of some of the issues that come before you. Please know that I offer the following opinion with no disrespect.

The HCB has the important job of protecting irreplaceable historic assets and insuring that new infill projects do not diminish the unique historic quality of our district by adhering to the district's design guidelines. This is important not only for cultural reasons but also economic. Many studies have shown that intact revitalized historic districts provide a more stable local economy. These districts see lower vacancy rates, more business start-ups, more tourism dollars and higher property values that weather down-turns in the economy when compared with non historic districts. For those reasons I have invested heavily in my neighborhood.

As a developer I have done my best to follow the guidelines. There are costs associated with development within a historic district that I would not experience with new construction outside the district, but I understand the importance of bearing a portion of that financial hardship to protect the district and in turn protect my investment.

As a property owner I have relied upon the good faith of the city and the board to enforce the guidelines equally. It is not fair to those of us who have made investments to see our properties adversely affected by inappropriate infill development and the demolition of historic assets (find a vacant lot!).

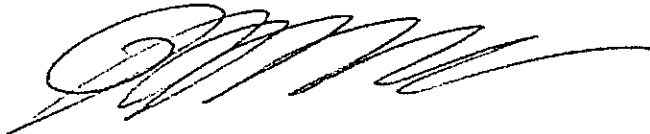
As an architect it is my opinion that Cincinnati's historic guidelines are relatively easy to work within. Typically they provide enough flexibility to produce innovative solutions to most hardship complaints made by applicants and do not warrant a compromise.

As a former board member and concerned resident, I have seen proposals from architects and developers that are clearly outside the guidelines and lack an appreciation of the district. I am concerned they may be relying upon the board to meet them halfway thus encouraging intentionally inappropriate designs. This practice is disrespectful of your time and will set a bad precedent for the district.

My advice to you, when in doubt just rely upon the guidelines. At the very least, enforcing them will result in appropriately scaled buildings that blend into the context and do not adversely affect other property values.

It is my opinion that the proposed development at Elm and Liberty does not currently meet the guidelines largely due to its excessive massing, but also because the submittal lacks sufficient detail to form an opinion regarding the building's detailing. Further, any proposed demolition of an intact historic building should be 'off the table' without question.

Respectfully,



Patricia Bittner, Architect.

Johnson, Beth

From: June Alexander <missjuneart@gmail.com>
Sent: Saturday, September 03, 2016 6:03 PM
To: Conservator, Urban
Subject: Liberty and Elm Opposition

Mr. Mike Burson, Chair
Historic Conservation Board
Two Centennial Plaza
805 Central Avenue, Fifth Floor
Cincinnati, OH 45202

RE: 09/12/2016 HCB Hearing, "Liberty and Elm"

Dear Mr. Burson and the Historic Conservation Board,

I do not support the request for a Certificate of Appropriateness on the project titled "Liberty Corner," as currently designed.

While Source 3 presented to the Over-the-Rhine Community Council (ORCC) several months ago and previously had met with Joint Committee of the Over-the-Rhine Foundation's Infill Committee and ORCC most of the issues brought to the attention of Source 3 have not been addressed or resolved. Below is a list of the primary reasons I currently do not support the "Liberty Corner" project you are considering:

- The height of the proposed structure is significantly higher than surrounding historic buildings.
- The architectural style is not appropriate for the area.
- The proposed parking garage creates a large, windowless wall. A mural is proposed for this wall, though there has been no noticeable community outreach to determine what the mural might depict. Our understanding is that Source 3 has not named funding for the potential mural.
- Source 3 has sought very minimal and insignificant input from the community.
- Source 3 has made no noticeable effort to reach out directly to people living in the blocks surrounding this site.
- While they presented to the Over-the-Rhine Community Council and received a contested, yet favorable vote for their "concept plan," the "concept plan" they presented to the Planning Commission was not the "concept plan" they showed to the ORCC. In fact at the ORCC meeting Source 3 presented that they had made notable changes to their design in light of the Joint Committee's input, including lowering the height of the proposed structure. However, the "concept" show to the Planning Commission showed an increased height and since that hearing the height seems to have further increased. Not only have they presented a concept different from the concept that was supported by the ORCC, but they are not in compliance with the requirement that new structures not vary by more than one story as compared to surrounding buildings.
- In a neighborhood that has lost more than 2,300 units of affordable housing in the last 16 years, this proposed development includes zero housing units affordable to households called for in the Over-the-Rhine Comprehensive Plan: 0-30% and 31 to 60% of Area Median Income (AMI). This not only limits opportunity for people with lower incomes, but also creates an exclusive development that as history shows, will increase the

cost of living for nearby residents that cannot afford this increase. When asked about why they planned to offer no affordable housing, they simply explained that is not what they do, but we know it can be done.

It is for these reasons that I ask your board to not approve the COA for "Liberty Corner" submitted by Source 3.

Sincerely,

June P. Alexander

Johnson, Beth

From: Kate Silver <kate.e.silver@gmail.com>
Sent: Saturday, September 03, 2016 5:34 PM
To: Conservator, Urban
Subject: 09/12/2016 HCB Hearing, "Liberty and Elm"

Dear Mr. Burson and the Historic Conservation Board,

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they planned to offer no affordable housing, they simply explained that is not what they do, but we know it can be done.

It is for these reasons that I ask your board to not approve the COA for "Liberty Corner" submitted by Source 3.

Sincerely,

Kate Silver

September 2, 2015

Mr. Mike Burson, Chair
Historic Conservation Board
Two Centennial Plaza
805 Central Avenue, Fifth Floor
Cincinnati, OH 45202

RE: 09/12/2016 HCB Hearing, "Liberty and Elm"

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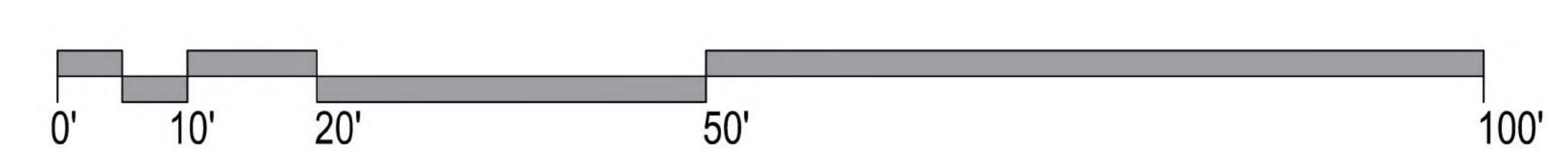
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- In a neighborhood that has lost more than 2,300 units of affordable housing in the last 16 years, this proposed development includes zero housing units affordable to households called for in the Over-the-Rhine Comprehensive Plan: 0-30% and 31 to 60% of Area Median Income (AMI). This not only limits opportunity for people with lower incomes, but also creates an exclusive development that, as history shows will increase the cost of living for nearby residents that cannot afford this increase. When asked about why they planned to offer no affordable housing, they simply explained that is not what they do, but we know it can be done.

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Sincerely,

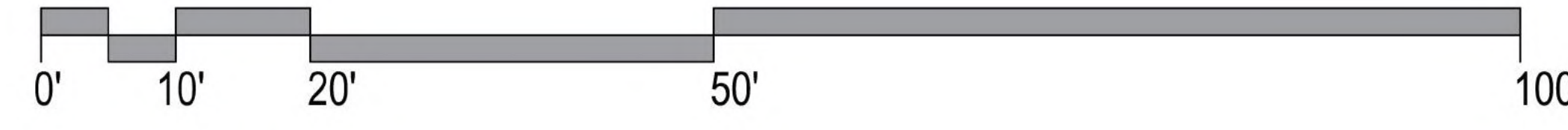
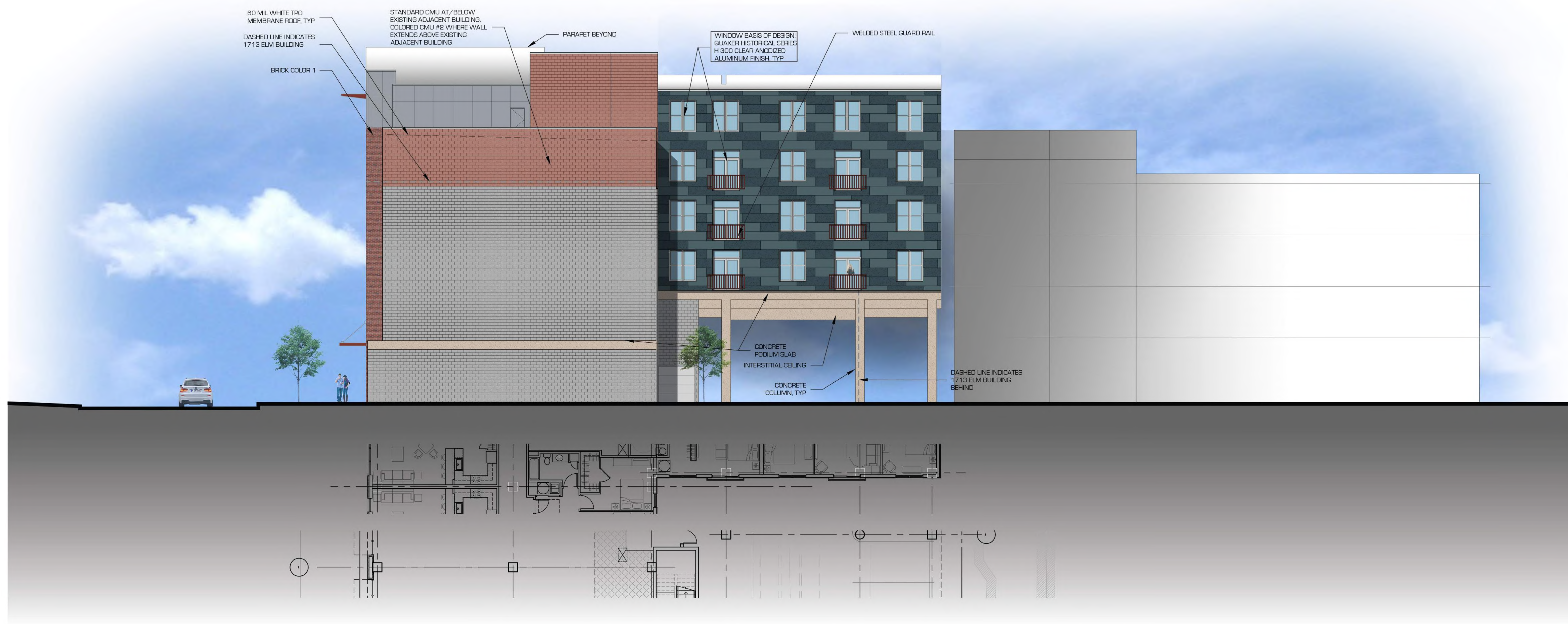
Bonnie Neumeier email: bonsunflower@gmail.com

10 W. 14th Street #3, Cincinnati, OH 45202





1713 ELM
1711 ELM



SCHEMATIC DESIGN - NOT FOR CONSTRUCTION

LIBERTY CORNER

HCB SUBMISSION



DWG #	DRAWING TITLE	DATE	REV DATE	REV#
G000	COVER SHEET / PROJECT INFO	06.10.16	07.22.16	-
AS100	ARCHITECTURAL SITE PLAN	06.10.16	-	-
AG101	GARAGE PLAN STREET LEVEL	06.10.16	-	-
AG102	GARAGE PLAN MIDDLE LEVEL	06.10.16	-	-
AG103	GARAGE PLAN UPPER LEVEL	06.10.16	-	-
AG201	GARAGE ELEVATIONS	06.10.16	07.22.16	1
AG202	GARAGE ELEVATIONS	06.10.16	07.22.16	1
A101	FLOOR PLAN STREET LEVEL	06.10.16	07.22.16	1
A102	FLOOR PLAN 2-NORTH	06.10.16	07.22.16	1
A103	FLOOR PLAN TYPICAL (X3)	06.10.16	07.22.16	1
A104	FLOOR PLAN 5-SOUTH	06.10.16	07.22.16	1
A201	BUILDING ELEVATIONS (FRONT)	06.10.16	07.22.16	1
A202	BUILDING ELEVATIONS (REAR)	06.10.16	07.22.16	1
A301	BUILDING SECTIONS / ASSEMBLIES DATA	06.10.16	-	-
A302	BUILDING SECTIONS / ASSEMBLIES DATA	06.10.16	-	-
A303	BUILDING SECTIONS / ASSEMBLIES DATA	06.10.16	-	-

G9 DRAWING INDEX

PROJECT LOCATION:
 NWC Liberty Street & Elm Street
 CINCINNATI, OHIO 45202 (Over The Rhine neighborhood)

REFERENCE CODES (including applicable amendments):

- 2011 OHIO BUILDING CODE (IBC)
- 2011 OHIO MECHANICAL CODE (IMC)
- 2011 OHIO PLUMBING CODE (IPC)
- 2014 OHIO FIRE CODE (OFC)
- 2014 NATIONAL ELECTRIC CODE (NFPA 70 or NEC)
- ANSI/ACC 117.1-2003 - ACCESSIBLE AND USABLE FACILITIES
- CINCINNATI BUILDING CODE
- CINCINNATI ZONING CODE
- ZONING CLASSIFICATION ... PD' Planned Development

Chapter 03: USE / OCCUPANCY CLASSIFICATIONS:

Street Level: A-2 Assembly ... A-3 Assembly (Fitness Center) ... B Business ... M Mercantile

Upper Levels: R-2 Residential (Apartments + A-3 Assembly (Community Room)) Outdoor Terrace is < 750 SF and is accessory to the Residential Tenants, and as such is classified as a B-use occupancy per OBC 303 Exception 3. **NOTE: If the Community Room is also reduced to less than 750 SF, it shall be considered a B-use occupancy instead of A-3 per OBC 303 Exception 3.**

PROJECT SPACE DATA:

Building Footprint Area (per Zoning Code) = 20,804 SF

Gross Building Area by Floor: measured to outside face of exterior wall (GSF per OBC in parentheses)

Street Level South: 9,367 GSF (8,858 GSF)
 Street Level North: 5,845 GSF (6,110 GSF)
 2 North: 7,685 GSF (8,655 GSF) ... Includes South Common areas
 3 North/2 South: 20,880 GSF (20,062 GSF)
 4 North/3 South: 20,880 GSF (20,062 GSF)
 5 North/4 South: 20,880 GSF (20,062 GSF)
 5 South: 13,774 GSF (13,187 GSF) ... does NOT include 798 SF Terrace
SUM TOTAL: 100,411 GSF

Chapter 05: BUILDING CLASSIFICATION:

NOTE: Building is fully equipped with a NFPA 13 automatic fire suppression system (per OBC 903.3.1.1) and a manual fire alarm system (per OBC Section 907)

Section 509 Special Provisions:

Project designed utilizing Horizontal Building Separation Allowance per OBC 509.2

TYPE VA (4-zones of overbuilt) built atop Type 1A (1-story podium)

- Podium separating assembly shall carry a 3-hour fire rating
- Building below the separating assembly (including podium) is Type 1A construction
- All vertical enclosures going through the separating assembly shall be 2-hour rated enclosures (e.g. stairs, elevators, grease shafts)
- All occupancy areas shall be separated by fire-rated walls
- Maximum Occupant Load for any individual A-use space (e.g. restaurants, bars, etc.) shall be 500. Multiple A-use occupancies are allowed.
- The maximum building height shall be in accordance with Table 503 for the smaller allowable height (Type SA R-2 Use) as measured from the grade plane
- Grade Plane can be determined in two ways: either for the building as a whole as currently designed, or this project, either for each Wing independently (since there is a fire wall separating the two) or for

Allowable Height and Areas (w/ fully automatic sprinkler system)

Use	Type	Area (SF)	Stories	Height (ft)	Notes
A-2	1-A	9,367	1 (per 509.2)	per V4 limits	Street Level Only
A-3	1-A	9,367	1 (per 509.2)	per V4 limits	Fitness Center
A-3	VA	94,000	4	70	Community Room
B	1-A	unlimited	1 (per 509.2)	per V4 limits	Street Level Only
M	1-A	unlimited	1 (per 509.2)	per V4 limits	Street Level Only
R-2	VA	36,000	4	70	Street Level Only

Design Areas by Use: uses OBC based SF data for Occupant Load Codes

Use Areas: SF

A-2_Street: 8,650 NSF
 A-3_Street: 8,650 NSF Fitness Center
 B_Street: 6,610 NSF Residential Lobby & Offices
 B1_M_Street: 6,655 GSF
 R2_2N: 6,655 GSF
 R2_2N/2S: 20,074 GSF excludes grease vent shafts
 R2_4N/3S: 20,074 GSF excludes grease vent shafts
 R2_5N/4S: 20,074 GSF excludes grease vent shafts
 R2_5South: 11,694 GSF excludes grease vent shafts
 Terrace_5South: 798 NSF
 A-3_5South: 1,131 NSF Community Room (**Must be below 750 SF or moved to a lower floor to remain Type VA construction. OK if building becomes Type III-A construction.**)

FIRE PROTECTION

BUILDING CONSTRUCTION: All Primary Structural Frame, Exterior and Interior Bearing Walls, Floor and Roof Construction assemblies, and all exterior walls within 30 feet of the property line (R.O.V.M.) shall carry a 1-hour fire rating requirement in accordance with OBC Tables 601 & 602

allowable increases can only be up to 3-stories in Type VA construction. The Community Room is currently at the 4th story. In order for it to remain on the top floor, it must reduce in size to less than 750 SF to become an accessory use or the South wing must be designed as Type III-A construction.

EXE WALLS: In order for the overbuilt to be treated as 4 stories and not 5 (thus allowing Type VA construction), a Fire Wall (per OBC Section 703) shall extend from the podium slab up through roof to separate the North Wing from the South Wing. This allows each wing to be designed as a separate building. The Fire Wall shall carry a minimum 2-hour fire rating in accordance with OBC Table 703.4 footcandle 'a'.

EXCELLING LIMITS: Units shall be separated from each other and from other adjacent occupancies with 1-hour fire-rated Fire Partitions or Horizontal Assemblies in accordance with OBC Sections 420, 709 and 712.

CORRIDORS: Corridors shall be constructed as 0.5-hour fire-rated Fire Partitions in accordance with OBC Section 709.3 Exception 1 (per Table 1018.1). **Note: Corridor walls that are interior bearing walls shall also comply with OBC Table G01 requirements. The stricter requirements of the two shall govern.**

SPRINKLER SYSTEM: The entire building shall be equipped with fully automatic fire suppression system in compliance with OBC 903.3.1.1 (NFPA 13)

EXE ALARM: The entire building to be equipped with a manual fire alarm system in accordance with OBC Section 907 and NFPA 72. **Exception Note: Manual fire alarm boxes shall not be required if occupant notification appliances will automatically activate throughout the notification zones upon sprinkler flow.**

OCCUPANT DATA / MEANS OF EGRESS

ALL public spaces (A, B, or M Use) with an Occupant Load greater than 49 and all B-use spaces with an Occupant Load greater than 10 shall have 2 exits (OBC Table 1015.1)

Each story of each building area (i.e. North Wing - South Wing) of the floors above the horizontal building separation (i.e. Residential) shall have a minimum of 2 means of egress. Egress path width required: 44" minimum; 36" for occupant loads < 50 (32" clear for passages less than or equal to 24" d)

OCCUPANT LOAD DATA:

A-2 ASSEMBLY AREAS (e.g. Restaurants): 8650 NSF presumed as 3 tenant spaces w/ 42/37/15 % split between the spaces. Each space will require 2 exits minimum

- 65% Tables and Chairs (1:15) = 375 Occupants (159/139/67)
- 25% Commercial Kitchen (1:200) = 11 Occupants (5/4/2)
- 5% Storage (1:300) = 3 Occupants -> min 1 per space (1/1/1)
- 5% Business (1:100) = 5 Occupants -> min 1 per space (2/2/1)

A-2 (Restaurants) TOTALS = 394 Occupants (177/146/71)

RESIDENT AREAS - STREET LEVEL

A-3 ASSEMBLY (FITNESS ROOM): 972 NSF

- Gymnasiums (similar uses) [1:50] = 20 Occupants

B BUSINESS (LOBBY, MAIL ROOM, OFFICES, SALLYPORT): 1668 GSF

- Business Areas (1:100) = 17 Occupants

RESIDENT TOTALS = 37 Occupants

B BUSINESS or M MERCANTILE - North Wing (calculated to meet restrictive M Use): 4179 GSF

- 42-Occupants
- per Mercantile Areas (1:300) = 140 Occupants

A, B or M-Street Level spaces with less than 50 Occupants and a travel distance of 75' can have a single exit.

RESIDENT AREAS - UPPER LEVELS

R-2 (Apartments):

- 2North: 6,655 GSF
 - Residential (1:200) = 33 Occupants
- 3North/2South: 20,074 GSF
 - Residential (1:200) = 100 Occupants
- 3North/2South: 20,074 GSF
 - Residential (1:200) = 100 Occupants
- 3North/2South: 20,074 GSF
 - Residential (1:200) = 100 Occupants
- 5South: 11,694 GSF (R-Use); 728 NSF (B-Use); 1131 NSF (A-Use)
 - Residential (1:200) = 58 Occupants
 - B occupancy areas = 49 Occupants max. (Outdoor Terrace)
 - A occupancy areas
 - Community Room (1:15) = 75 Occupants

750 SF and less than 750 SF are not required.

MIN. PLUMBING FACILITIES (OBC 2902):

Public facilities not required for Mercantile occupancies/spaces with occupant load of 50 or fewer (Table 2902.1 note 3).

Restroom provisions are always required for Staff personnel.

Separate facilities (i.e. for Men and Women) are not required for spaces with a total occupant load of 15 or fewer.

Separate facilities not required for Mercantile spaces with a maximum occupant load of 100 or fewer.

Service Sinks (SS) are not required for Business or Mercantile occupancies/spaces with occupant load of 15 or fewer.

Drinking Fountains (DF) are not required for occupancies/spaces with occupant load of 15 or fewer.

For **Restroom spaces** with 16-150 Occupants, a single fixture toilet room for each sex shall be required (i.e. lavatory + toilet). 2 toilets/1 lav min. for Occupant Load of 151-300.

For **Tavern/Bar spaces** with 16-80 Occupants, a single fixture toilet room for each sex shall be required (i.e. lavatory + toilet). 2 toilets/1 lav min. for Occupant Load of 81-150 (2t/2l for 151-180, 3t/2l for 181-240, 4t/2l for 241-300).

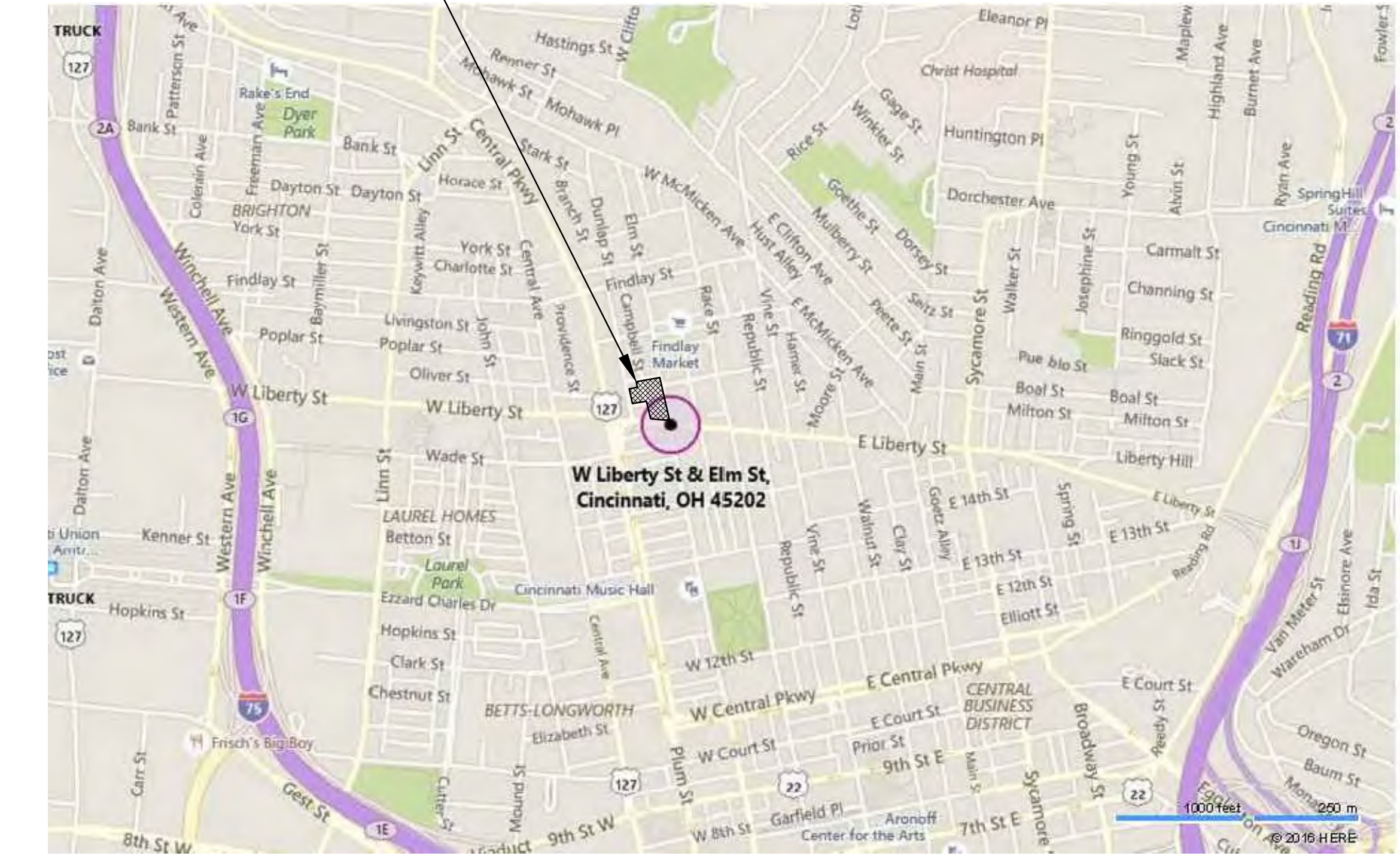
Street Level Resident Spaces (i.e. B-use Lobby/Mail/Office areas + A-use Fitness Room and Outdoor Patio combined) will require a single fixture toilet room for each sex.

Street Level Business tenants would require only a Unisex toilet room if 1500 SF or less (plus DF and SS as required). A single fixture toilet room for each sex would be required for anything over 1500 SF in the current design.

Street Level Mercantile tenant in the current design would require only a Unisex toilet for the employees of each space unless the number of employees is greater than 15, then a single fixture toilet room for each sex would be required. No Public facilities are required unless Occupant load exceeds 50, then a single fixture toilet room for each sex would be required.

Current Design complies with all requirements of R-2 Residential Dwelling Units

The Outdoor Terrace and Community Room combined shall require a single fixture toilet room for each sex, **regardless of whether Community Room is classified as an A-use or a B-use space.**



A1 VICINITY MAP

A5 LOCATION MAP

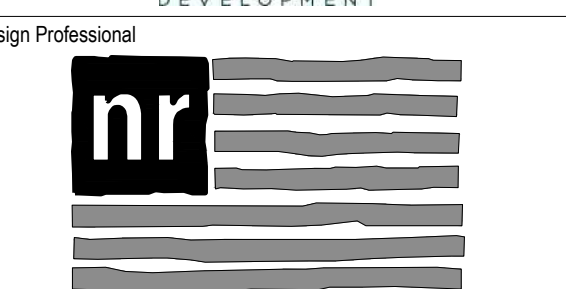
A9 CODE SUMMARY

BASED ON REVIEW OF CURRENT OHIO BUILDING CODE

NEW MIXED-USE DEVELOPMENT

LIBERTY CORNER

NWC LIBERTY ST. & ELM ST.
 CINCINNATI, OHIO 45202
 OVER THE RHINE NEIGHBORHOOD



NEW REPUBLIC ARCHITECTURE
 architecture planning urbanism
 513.800.8075

LIBERTY CORNER
 VALUE ENGINEERING
 22 JULY 2016

No.	Revisions/Submissions	Date

COVER SHEET

Drawn	WBH---	Project No.	2014-077
Checked	GMK	Date	---,---,2016
Document No.			

G000

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SCHEMATIC DESIGN - NOT FOR CONSTRUCTION

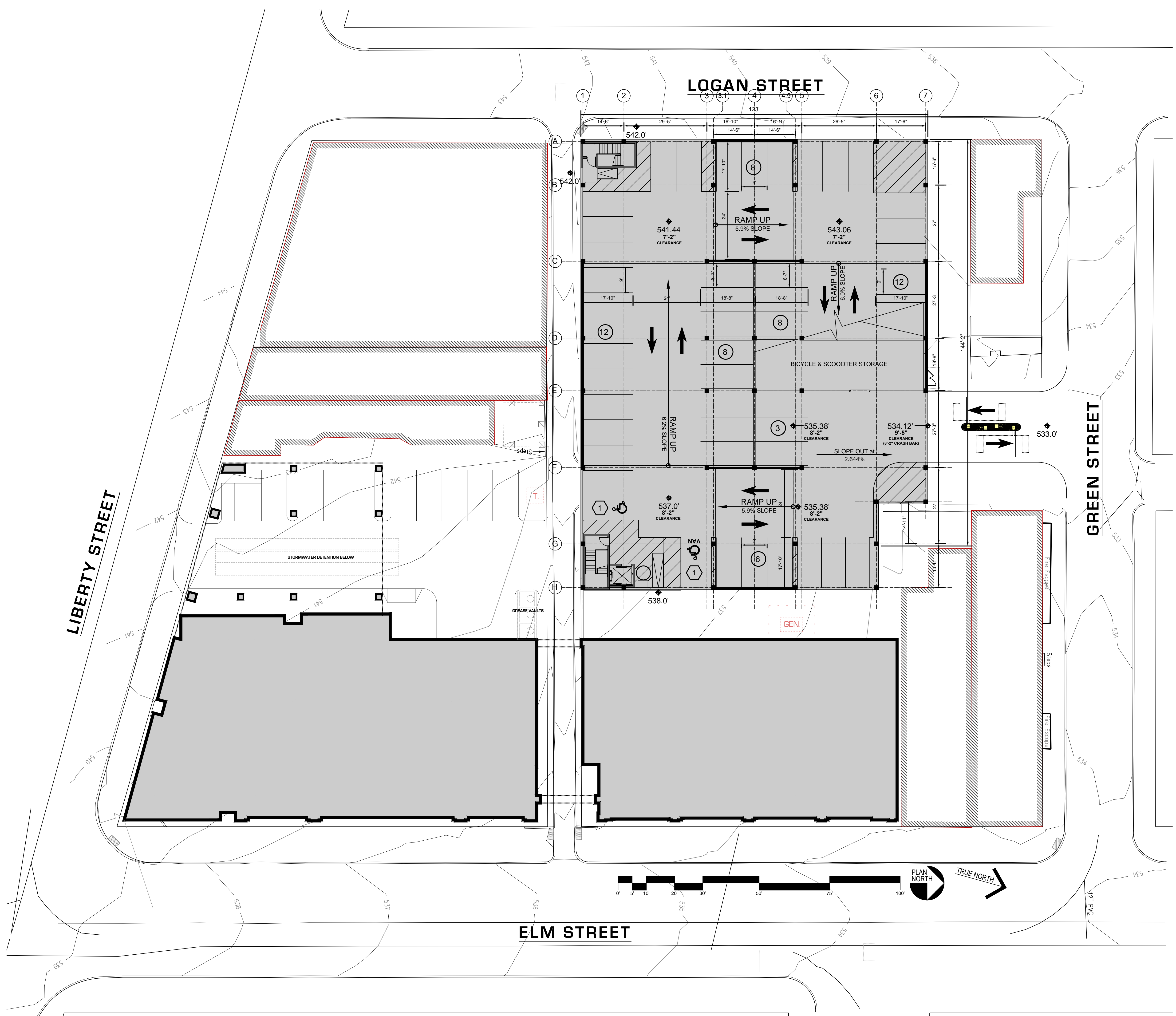
NEW MIXED-USE DEVELOPMENT

LIBERTY CORNER

NWC, LIBERTY ST. & ELM ST.
CINCINNATI, OHIO 45202
OVER THE RHINE NEIGHBORHOOD



LIBERTY CORNER
VALUE ENGINEERING
22 JULY 2016



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A1 ARCHITECTURAL SITE PLAN
1/16"=1'-0" STREET LEVEL w/ BUILDING FOOTPRINTS

VALUE ENGINEERING	07.22.2016
HCS SUBMISSION	06.10.2016
SCHEMATIC PRICING SET	05.27.2016

No.	Revisions/Submissions	Date
Drawing Title		
ARCHITECTURAL SITE PLAN		
Drawn	WBH/---	Project No. 2014-077
Checked	GMK	Date --/--2016
Document No.		

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NEW MIXED-USE DEVELOPMENT
LIBERTY CORNER
 NWC, LIBERTY ST. & ELM ST.
 CINCINNATI, OHIO 45202
 OVER THE RHINE NEIGHBORHOOD

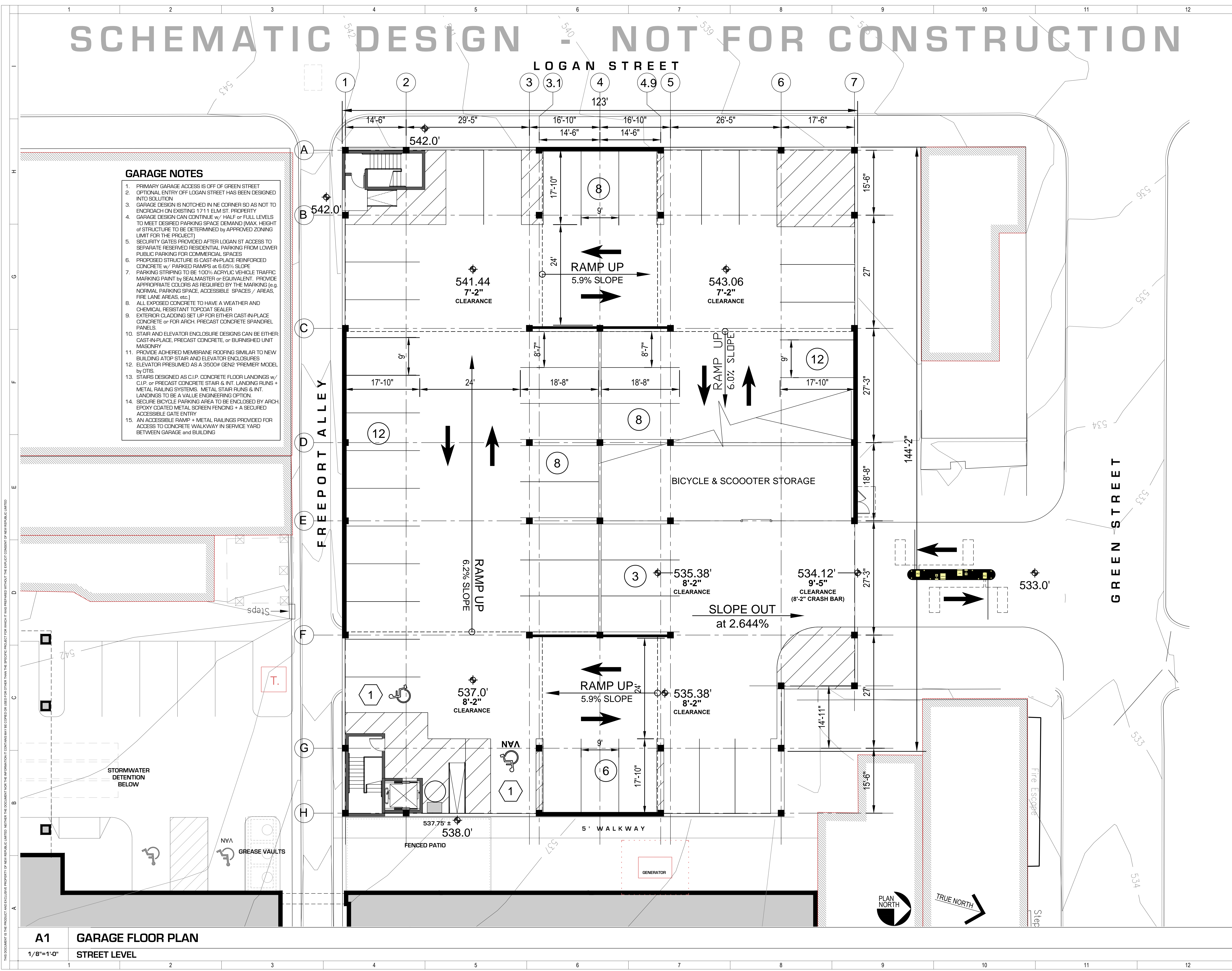
Client: **SOURCE DEVELOPMENT**
 Design Professional: **NEW REPUBLIC ARCHITECTURE**
 architecture planning urbanism
 513.800.8075

LIBERTY CORNER
VALUE ENGINEERING
 22 JULY 2016

VALUE ENGINEERING	07.22.2016
HCB SUBMISSION	06.10.2016
SCHEMATIC PRICING SET	05.27.2016
No. Revisions/Submissions	Date
Drawing Title: GARAGE PLAN STREET LEVEL	
Drawn: WBH/---	Project No: 2014-077
Checked: GMK	Date: --,--2016
Document No.	

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NEW MIXED-USE DEVELOPMENT
LIBERTY CORNER
 NWC, LIBERTY ST. & ELM ST.
 CINCINNATI, OHIO 45202
 OVER THE RHINE NEIGHBORHOOD

Client: **SOURCE DEVELOPMENT**
 Design Professional: **NEW REPUBLIC ARCHITECTURE**
 architecture planning urbanism
 513.800.8075

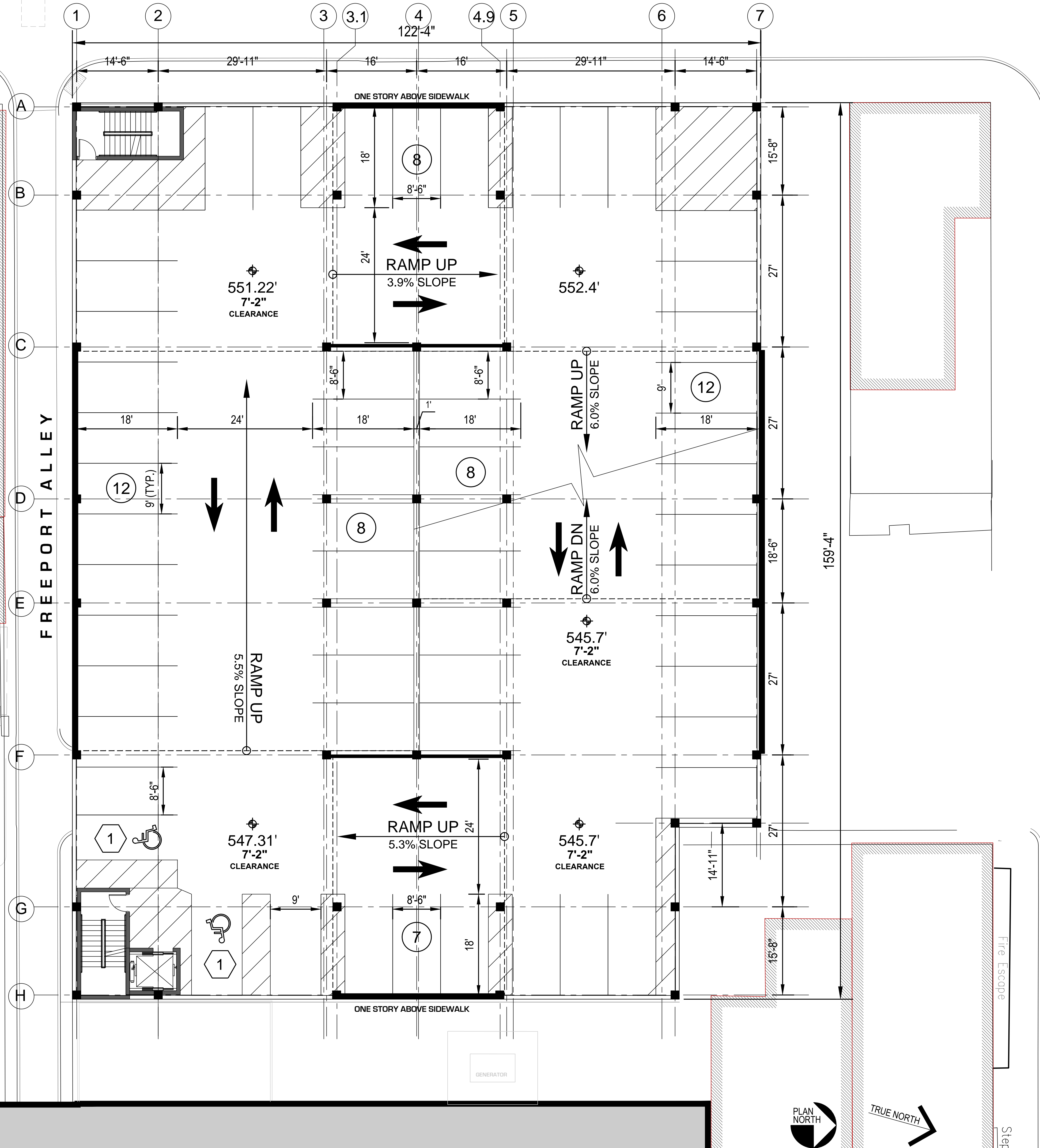
LIBERTY CORNER
VALUE ENGINEERING
 22 JULY 2016

VALUE ENGINEERING	07.22.2016
HCS SUBMISSION	06.10.2016
SCHEMATIC PRICING SET	05.27.2016
No. Revisions/Submissions	Date
Drawing Title	
GARAGE PLAN MIDDLE LEVEL	
Drawn: WBH/---	Project No: 2014-077
Checked: GMK	Date: --,--,2016
Document No.	

AG102
 PLOTTED: Thursday, August 4, 2016 3:28:29 PM
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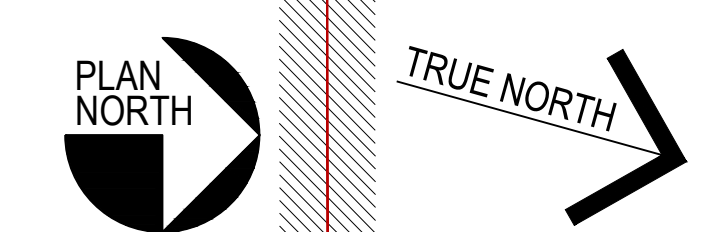
LOGAN STREET



GARAGE NOTES

1. PRIMARY GARAGE ACCESS IS OFF OF GREEN STREET
2. OPTIONAL ENTRY OFF LOGAN STREET HAS BEEN DESIGNED INTO SOLUTION
3. GARAGE DESIGN IS NOTCHED IN NE CORNER SO AS NOT TO ENCRDACH ON EXISTING 1711 ELM ST. PROPERTY
4. GARAGE DESIGN CAN CONTINUE w/ HALF or FULL LEVELS TO MEET DESIRED PARKING SPACE DEMAND (MAX. HEIGHT of STRUCTURE TO BE DETERMINED by APPROVED ZONING LIMIT FOR THE PROJECT)
5. SECURITY GATES PROVIDED AFTER LOGAN ST ACCESS TO SEPARATE RESERVED RESIDENTIAL PARKING FROM LOWER PUBLIC PARKING FOR COMMERCIAL SPACES
6. PROPOSED STRUCTURE IS CAST-IN-PLACE REINFORCED CONCRETE w/ PARKED RAMPS at 6.65% SLOPE
7. PARKING STRIPING TO BE 100% ACRYLIC VEHICLE TRAFFIC MARKING PAINT by SEALMASTER or EQUIVALENT. PROVIDE APPROPRIATE COLORS AS REQUIRED BY THE MARKING (e.g. NORMAL PARKING SPACE, ACCESSIBLE SPACES / AREAS, FIRE LANE AREAS, etc.)
8. ALL EXPOSED CONCRETE TO HAVE A WEATHER AND CHEMICAL RESISTANT TOPCOAT SEALER
9. EXTERIOR CLADDING SET UP FOR EITHER CAST-IN-PLACE CONCRETE or FOR ARCH. PRECAST CONCRETE SPANDREL PANELS
10. STAIR AND ELEVATOR ENCLOSURE DESIGNS CAN BE EITHER CAST-IN-PLACE, PRECAST CONCRETE, or BURNISHED UNIT MASONRY
11. PROVIDE ADHERED MEMBRANE ROOFING SIMILAR TO NEW BUILDING ATOP STAIR AND ELEVATOR ENCLOSURES
12. ELEVATOR PRESUMED AS A 3500# GEN2 'PREMIER' MODEL by OTIS
13. STAIRS DESIGNED AS C.I.P. CONCRETE FLOOR LANDINGS w/ C.I.P. or PRECAST CONCRETE STAIR & INT. LANDINGS RUNS + METAL RAILING SYSTEMS. METAL STAIR RUNS & INT. LANDINGS TO BE A VALUE ENGINEERING OPTION.
14. SECURE BICYCLE PARKING AREA TO BE ENCLOSED BY ARCH. EPOXY COATED METAL SCREEN FENCING + A SECURED ACCESSIBLE GATE ENTRY
15. AN ACCESSIBLE RAMP + METAL RAILINGS PROVIDED FOR ACCESS TO CONCRETE WALKWAY IN SERVICE YARD BETWEEN GARAGE and BUILDING

A1 GARAGE FLOOR PLAN
 1/8"=1'-0"
MIDDLE LEVEL



SCHEMATIC DESIGN - NOT FOR CONSTRUCTION

NEW MIXED-USE DEVELOPMENT
LIBERTY CORNER
 NWC, LIBERTY ST. & ELM ST.
 CINCINNATI, OHIO 45202
 OVER THE RHINE NEIGHBORHOOD

Client: **SOURCE DEVELOPMENT**
 Design Professional: **NEW REPUBLIC ARCHITECTURE**
 architecture planning urbanism
 513.800.8075

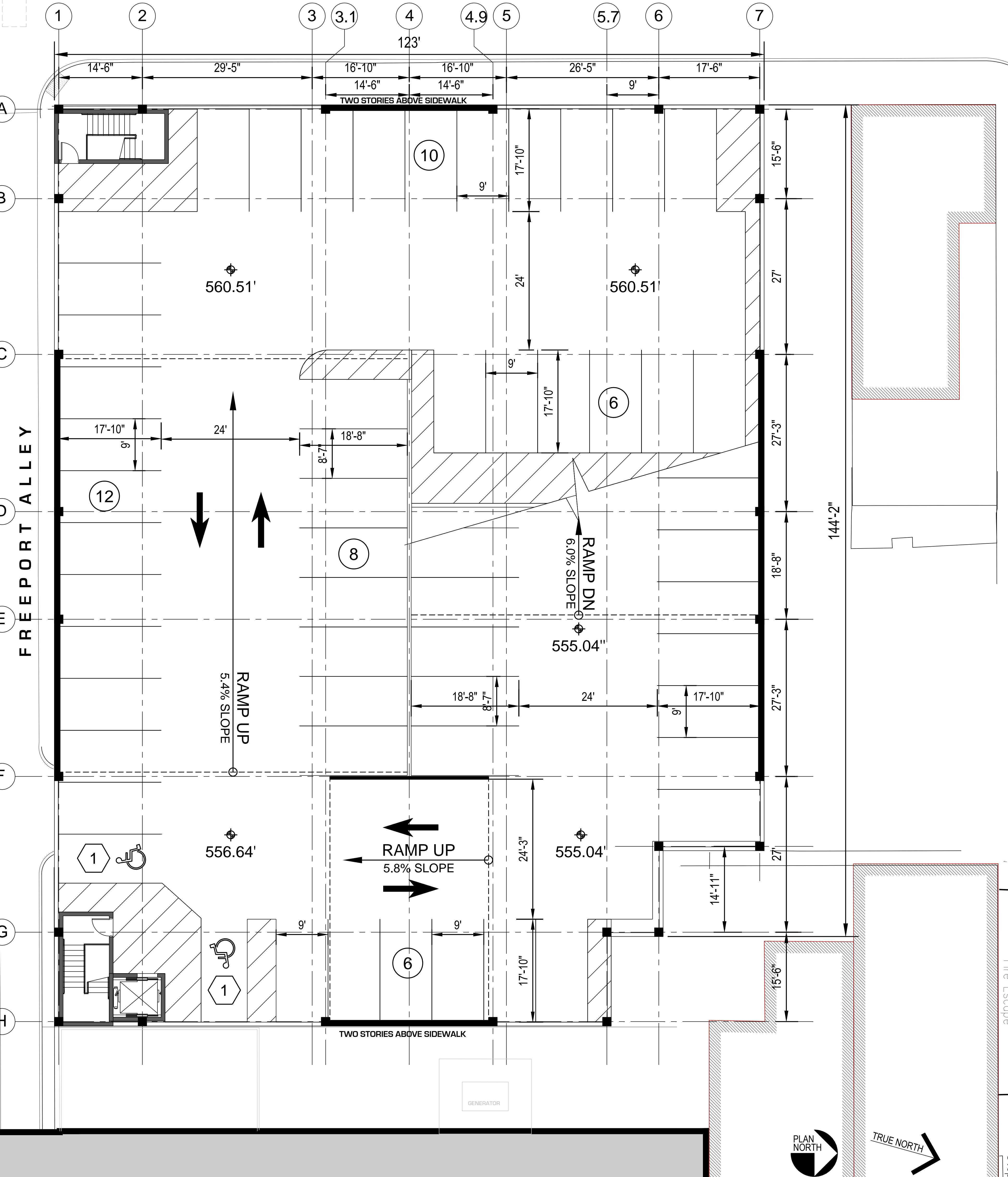
LIBERTY CORNER
VALUE ENGINEERING
 22 JULY 2016

VALUE ENGINEERING	07.22.2016
HCB SUBMISSION	06.10.2016
SCHEMATIC PRICING SET	05.27.2016
No. Revisions/Submissions	Date
Drawing Title	
GARAGE PLAN TOP LEVEL	
Drawn: WBH/---	Project No: 2014-077
Checked: GMK	Date: --,--,2016
Document No.	

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LOGAN STREET



- GARAGE NOTES**
1. PRIMARY GARAGE ACCESS IS OFF OF GREEN STREET
 2. OPTIONAL ENTRY OFF LOGAN STREET HAS BEEN DESIGNED INTO SOLUTION
 3. GARAGE DESIGN IS NOTCHED IN NE CORNER SO AS NOT TO ENCRDACH ON EXISTING 1711 ELM ST. PROPERTY
 4. GARAGE DESIGN CAN CONTINUE w/ HALF or FULL LEVELS TO MEET DESIRED PARKING SPACE DEMAND (MAX. HEIGHT of STRUCTURE TO BE DETERMINED by APPROVED ZONING LIMIT FOR THE PROJECT)
 5. SECURITY GATES PROVIDED AFTER LOGAN ST ACCESS TO SEPARATE RESERVED RESIDENTIAL PARKING FROM LOWER PUBLIC PARKING FOR COMMERCIAL SPACES
 6. PROPOSED STRUCTURE IS CAST-IN-PLACE REINFORCED CONCRETE w/ PARKED RAMPS at 6.65% SLOPE
 7. PARKING STRIPING TO BE 100% ACRYLIC VEHICLE TRAFFIC MARKING PAINT by SEALMASTER or EQUIVALENT. PROVIDE APPROPRIATE COLORS AS REQUIRED BY THE MARKING (e.g. NORMAL PARKING SPACE, ACCESSIBLE SPACES / AREAS, FIRE LANE AREAS, etc.)
 8. ALL EXPOSED CONCRETE TO HAVE A WEATHER AND CHEMICAL RESISTANT TOPCOAT SEALER
 9. EXTERIOR CLADDING SET UP FOR EITHER CAST-IN-PLACE CONCRETE or FOR ARCH. PRECAST CONCRETE SPANDREL PANELS
 10. STAIR AND ELEVATOR ENCLOSURE DESIGNS CAN BE EITHER CAST-IN-PLACE, PRECAST CONCRETE, or BURNISHED UNIT MASONRY
 11. PROVIDE ADHERED MEMBRANE ROOFING SIMILAR TO NEW BUILDING ATOP STAIR AND ELEVATOR ENCLOSURES
 12. ELEVATOR PRESUMED AS A 3500# GEN2 'PREMIER' MODEL by OTIS
 13. STAIRS DESIGNED AS C.I.P. CONCRETE FLOOR LANDINGS w/ C.I.P. or PRECAST CONCRETE STAIR & INT. LANDING RUNS + METAL RAILING SYSTEMS. METAL STAIR RUNS & INT. LANDINGS TO BE A VALUE ENGINEERING OPTION.
 14. SECURE BICYCLE PARKING AREA TO BE ENCLOSED BY ARCH. EPOXY COATED METAL SCREEN FENCING + A SECURED ACCESSIBLE GATE ENTRY
 15. AN ACCESSIBLE RAMP + METAL RAILINGS PROVIDED FOR ACCESS TO CONCRETE WALKWAY IN SERVICE YARD BETWEEN GARAGE and BUILDING

A1 GARAGE FLOOR PLAN
 1/8"=1'-0" TOP LEVEL

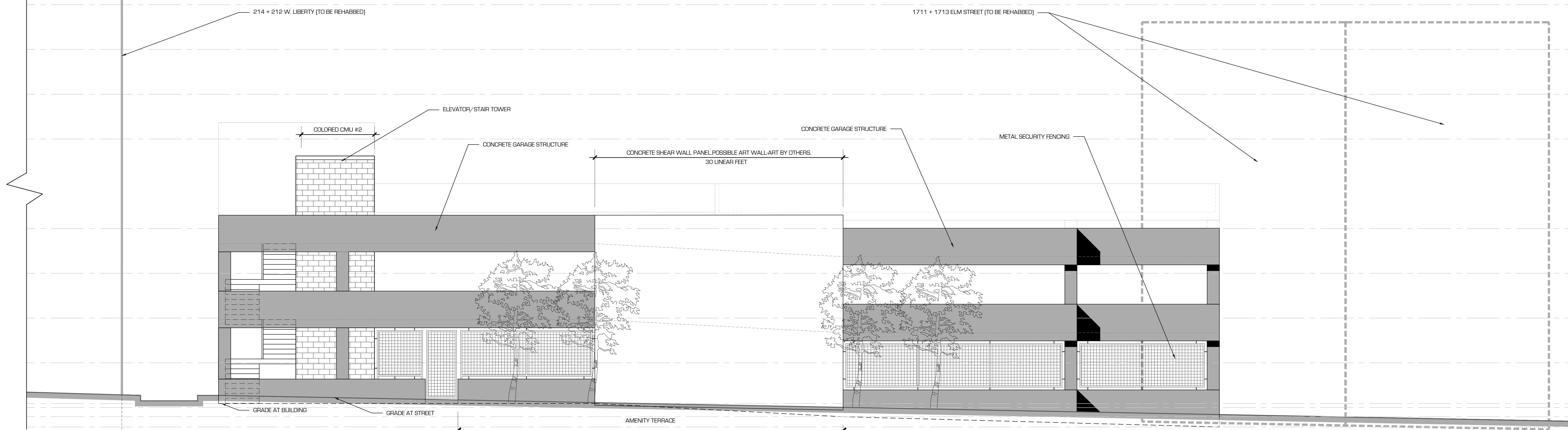
SCHEMATIC DESIGN - NOT FOR CONSTRUCTION

NEW MIXED-USE DEVELOPMENT
LIBERTY CORNER
 NWC, LIBERTY ST. & ELM ST.
 CINCINNATI, OHIO 45202
 OVER THE RHINE NEIGHBORHOOD

Client: **SOURCE DEVELOPMENT**

Design Professional: **nr**

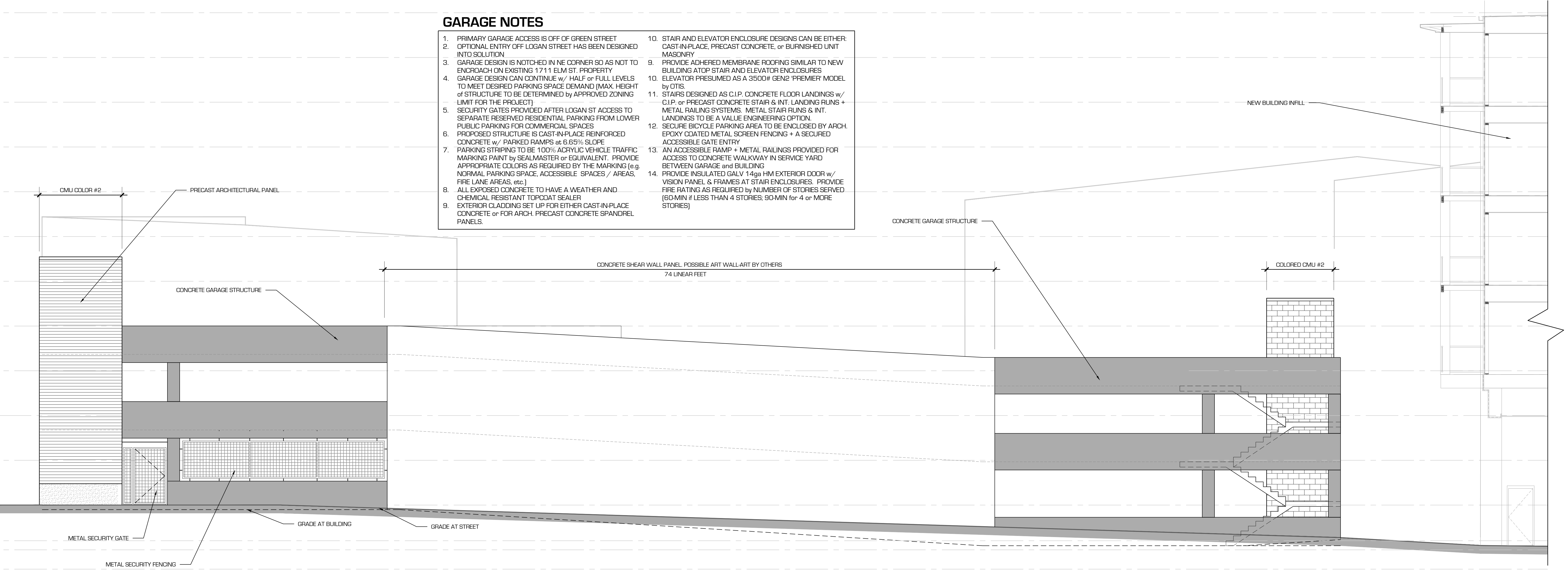
NEW REPUBLIC ARCHITECTURE
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 513.800.8075



E1 BUILDING ELEVATIONS
 3/16"=1'-0" SERVICE COURT ELEVATION (EAST)

GARAGE NOTES

1. PRIMARY GARAGE ACCESS IS OFF OF GREEN STREET
2. OPTIONAL ENTRY OFF LOGAN STREET HAS BEEN DESIGNED INTO SOLUTION
3. GARAGE DESIGN IS NOTCHED IN NE CORNER SO AS NOT TO ENCRoACH ON EXISTING 1711 ELM ST. PROPERTY
4. GARAGE DESIGN CAN CONTINUE w/ 1/2 or FULL LEVELS TO MEET DESIRED PARKING SPACE DEMAND (MAX. HEIGHT OF STRUCTURE TO BE DETERMINED BY APPROVED ZONING LIMIT FOR THE PROJECT)
5. SECURITY GATES PROVIDED AFTER LOGAN ST ACCESS TO SEPARATE RESERVED RESIDENTIAL PARKING FROM LOWER PUBLIC PARKING FOR COMMERCIAL SPACES
6. PROPOSED STRUCTURE IS CAST-IN-PLACE REINFORCED CONCRETE w/ PARKED RAMPS at 6.65% SLOPE
7. PARKING STRIPING TO BE 100% ACRYLIC VEHICLE TRAFFIC MARKING PAINT by SEALMASTER or EQUIVALENT. PROVIDE APPROPRIATE COLORS AS REQUIRED BY THE MARKING (e.g. NORMAL PARKING SPACE, ACCESSIBLE SPACES / AREAS, FIRE LANE AREAS, etc.)
8. ALL EXPOSED CONCRETE TO HAVE A WEATHER AND CHEMICAL RESISTANT TOPCOAT SEALER
9. EXTERIOR CLADDING SET UP FOR EITHER CAST-IN-PLACE CONCRETE or FOR ARCH. PRECAST CONCRETE SPANDREL PANELS.
10. STAIR AND ELEVATOR ENCLOSURE DESIGNS CAN BE EITHER: CAST-IN-PLACE, PRECAST CONCRETE, or BURNISHED UNIT MASONRY
9. PROVIDE ADHERED MEMBRANE ROOFING SIMILAR TO NEW BUILDING ATOP STAIR AND ELEVATOR ENCLOSURES
10. ELEVATOR PRESUMED AS A 3500# GEN2 'PREMIER' MODEL by OTIS.
11. STAIRS DESIGNED AS C.I.P. CONCRETE FLOOR LANDINGS w/ C.I.P. or PRECAST CONCRETE STAIR & INT. LANDINGS RUNS + METAL RAILING SYSTEMS. METAL STAIR RUNS & INT. LANDINGS TO BE A VALUE ENGINEERING OPTION
12. SECURE BICYCLE PARKING AREA TO BE ENCLOSED BY ARCH. EPOXY COATED METAL SCREEN FENCING + A SECURED ACCESSIBLE GATE ENTRY
13. AN ACCESSIBLE RAMP + METAL RAILINGS PROVIDED FOR ACCESS TO CONCRETE WALKWAY IN SERVICE YARD BETWEEN GARAGE and BUILDING
14. PROVIDE INSULATED GALV 14ga HM EXTERIOR DOOR w/ VISION PANEL & FRAMES AT STAIR ENCLOSURES. PROVIDE FIRE RATING AS REQUIRED BY NUMBER OF STORES SERVED (60-MIN if LESS THAN 4 STORES, 90-MIN for 4 or MORE STORES)



A1 BUILDING ELEVATIONS
 3/16"=1'-0" FREEMPORT ALLEY ELEVATION (SOUTH)

LIBERTY CORNER
VALUE ENGINEERING
 22 JULY 2016

VALUE ENGINEERING	07.22.201
HCB SUBMISSION	06.10.201
SCHEMATIC PRICING SET	05.27.201
No. Revisions/Submissions	Date
Drawing Title: BUILDING ELEVATIONS (REAR)	
Drawn: WBH---	Project No.: 2014-077
Checked: GMK	Date: --,--2016
Document No.	

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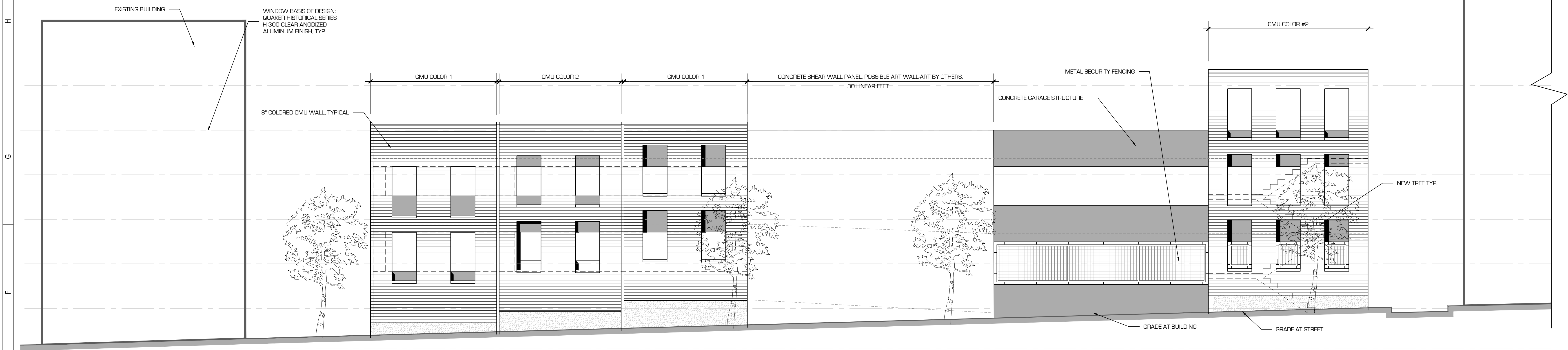
NEW MIXED-USE DEVELOPMENT

LIBERTY CORNER

NWC LIBERTY ST. & ELM ST.
CINCINNATI, OHIO 45202
OVER THE RHINE NEIGHBORHOOD



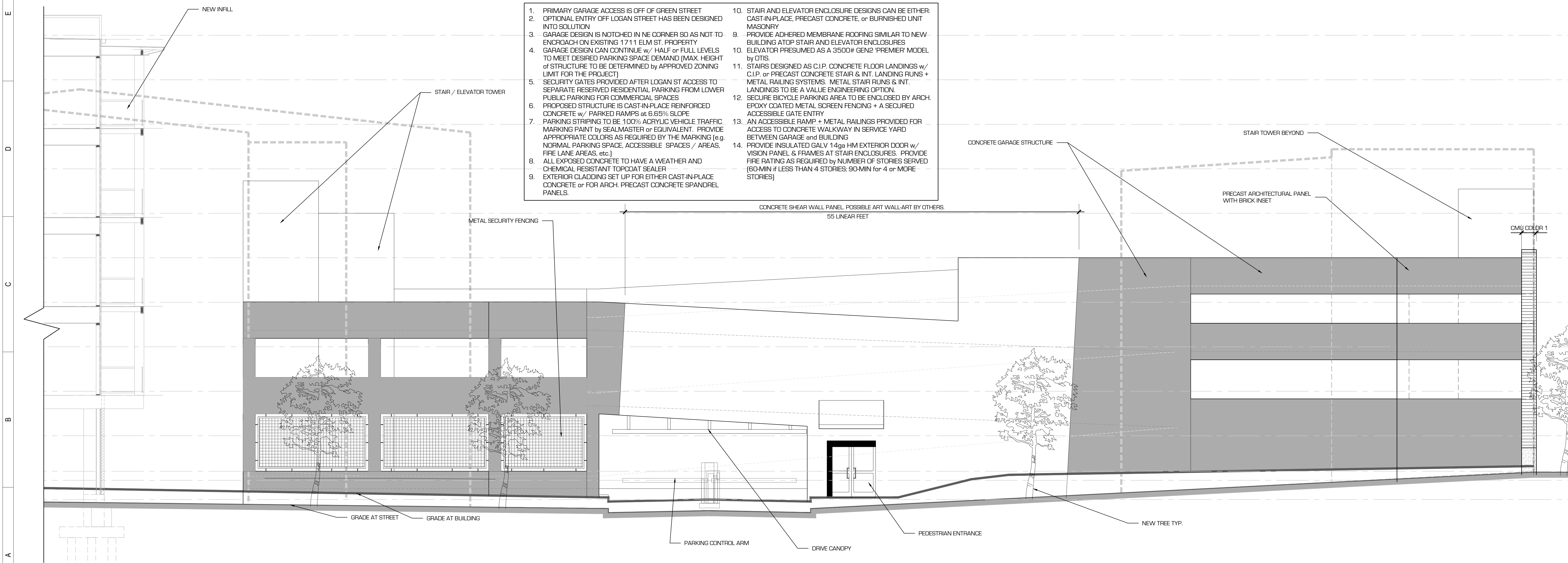
LIBERTY CORNER
VALUE ENGINEERING
22 JULY 2016



E1 BUILDING ELEVATIONS
3/16"=1'-0" **LOGAN STREET ELEVATION (WEST)**

GARAGE NOTES

1. PRIMARY GARAGE ACCESS IS OFF OF GREEN STREET
2. OPTIONAL ENTRY OFF LOGAN STREET HAS BEEN DESIGNED INTO SOLUTION
3. GARAGE DESIGN IS NOTCHED IN NE CORNER SO AS NOT TO ENCRoACH ON EXISTING 17'11" ELM ST. PROPERTY
4. GARAGE DESIGN CAN CONTINUE w/ HALF or FULL LEVELS TO MEET DESIRED PARKING SPACE DEMAND (MAX. HEIGHT OF STRUCTURE TO BE DETERMINED BY APPROVED ZONING LIMIT FOR THE PROJECT)
5. SECURITY GATES PROVIDED AFTER LOGAN ST ACCESS TO SEPARATE RESERVED RESIDENTIAL PARKING FROM LOWER PUBLIC PARKING FOR COMMERCIAL SPACES
6. PROPOSED STRUCTURE IS CAST-IN-PLACE REINFORCED CONCRETE w/ PARKED RAMPS at 6.55% SLOPE
7. PARKING STRIPINGS TO BE 100% ACRYLIC VEHICLE TRAFFIC MARKING PAINT BY SEALMASTER or EQUIVALENT. PROVIDE APPROPRIATE COLORS AS REQUIRED BY THE MARKING (e.g. NORMAL PARKING SPACE, ACCESSIBLE SPACES / AREAS, FIRE LANE AREAS, etc.)
8. ALL EXPOSED CONCRETE TO HAVE A WEATHER AND CHEMICAL RESISTANT TOPCOAT SEALER
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10. STAIR AND ELEVATOR ENCLOSURE DESIGNS CAN BE EITHER CAST-IN-PLACE, PRECAST CONCRETE, or BURNISHED UNIT MASONRY
11. PROVIDE ADHERED MEMBRANE ROOFING SIMILAR TO NEW BUILDING ATOP STAIR AND ELEVATOR ENCLOSURES
12. ELEVATOR PRESUMED AS A 3500# GEN2 'PREMIER' MODEL by OTIS.
13. STAIRS DESIGNED AS C.I.P. CONCRETE FLOOR LANDINGS w/ C.I.P. or PRECAST CONCRETE STAIR & INT. LANDING RUNS + METAL RAILING SYSTEMS. METAL STAIR RUNS & INT. LANDINGS TO BE A VALUE ENGINEERING OPTION
14. SECURE BICYCLE PARKING AREA TO BE ENCLOSED BY ARCH. EPOXY COATED METAL SCREEN FENCING + A SECURED ACCESSIBLE GATE ENTRY
15. AN ACCESSIBLE RAMP + METAL RAILINGS PROVIDED FOR ACCESS TO CONCRETE WALKWAY IN SERVICE YARD BETWEEN GARAGE and BUILDING
16. PROVIDE INSULATED GALV 14ga HM EXTERIOR DOOR w/ VISION PANEL & FRAMES AT STAIR ENCLOSURES. PROVIDE FIRE RATING AS REQUIRED BY NUMBER OF STORIES SERVED (90MIN if LESS THAN 4 STORIES, 90MIN for 4 or MORE STORIES)



A1 BUILDING ELEVATIONS
3/16"=1'-0" **GREEN STREET ELEVATION (NORTH)**

VALUE ENGINEERING	07.22.2011
HCB SUBMISSION	06.10.2011
SCHEMATIC PRICING SET	05.27.2011
No. Revisions/Submissions	Date
BUILDING ELEVATIONS	
Drawn	WBH/--- Project No. 2014-077
Checked	GMK Date ---, 2016
Document No.	
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APPROVED Thursday, August 4, 2016 3:37:02 PM	
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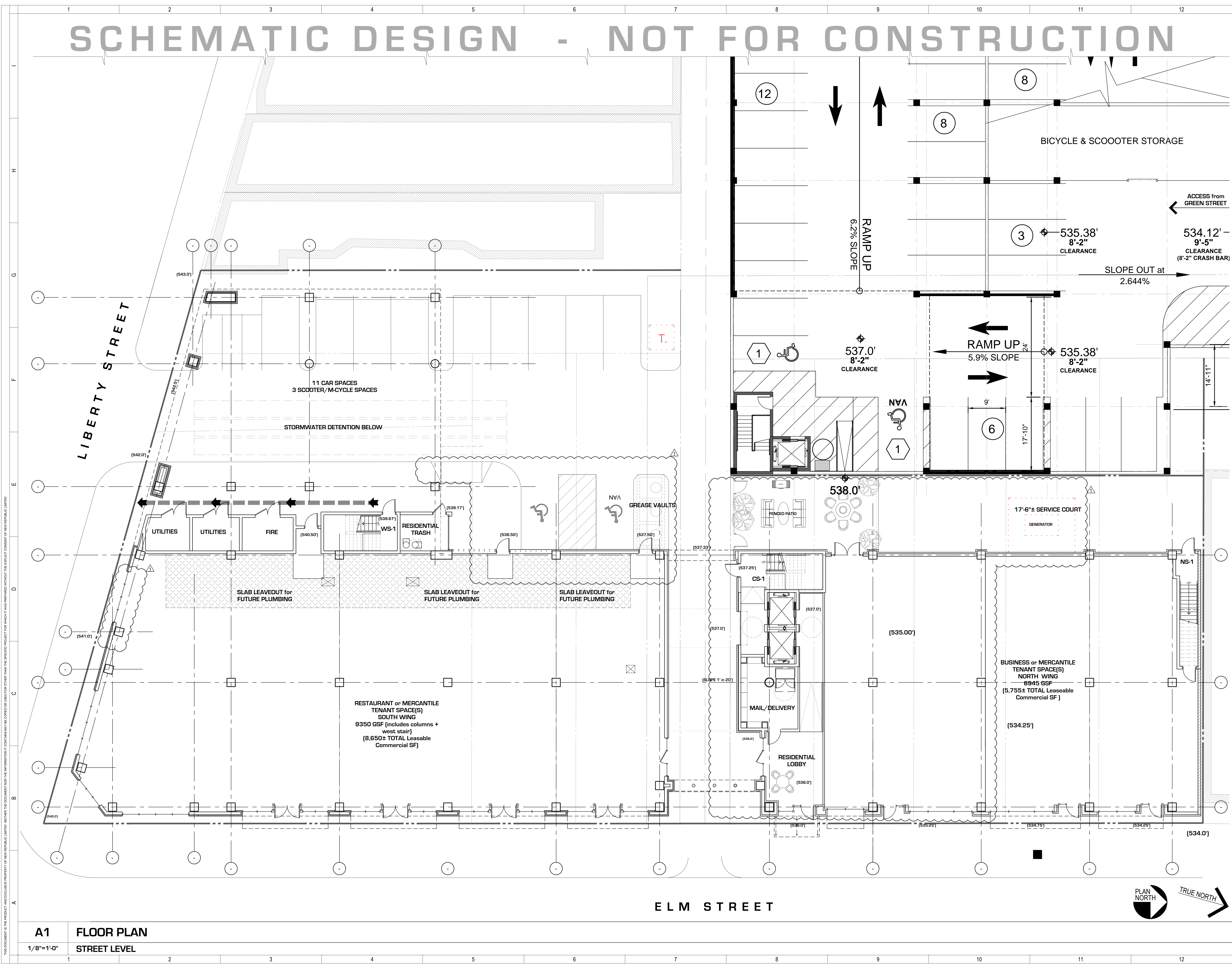
Not for Construction

SCHEMATIC DESIGN - NOT FOR CONSTRUCTION

NEW MIXED-USE DEVELOPMENT
LIBERTY CORNER
 NWC, LIBERTY ST. & ELM ST.
 CINCINNATI, OHIO 45202
 OVER THE RHINE NEIGHBORHOOD

Client: SOURCE DEVELOPMENT
 Design Professional: **nr**
NEW REPUBLIC ARCHITECTURE
 architecture planning urbanism
 513.800.8075

LIBERTY CORNER
 VALUE ENGINEERING
 22 JULY 2016



VALUE ENGINEERING	07.22.2016
HCB SUBMISSION	06.10.2016
SCHEMATIC PRICING SET	05.27.2016
No. Revisions/Submissions	Date
Drawing Title: FLOOR PLAN STREET LEVEL	
Drawn: WBH/---	Project No: 2014-077
Checked: GMK	Date: ---, 2016
Document No.	

A101
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A1 FLOOR PLAN
 1/8"=1'-0"
STREET LEVEL

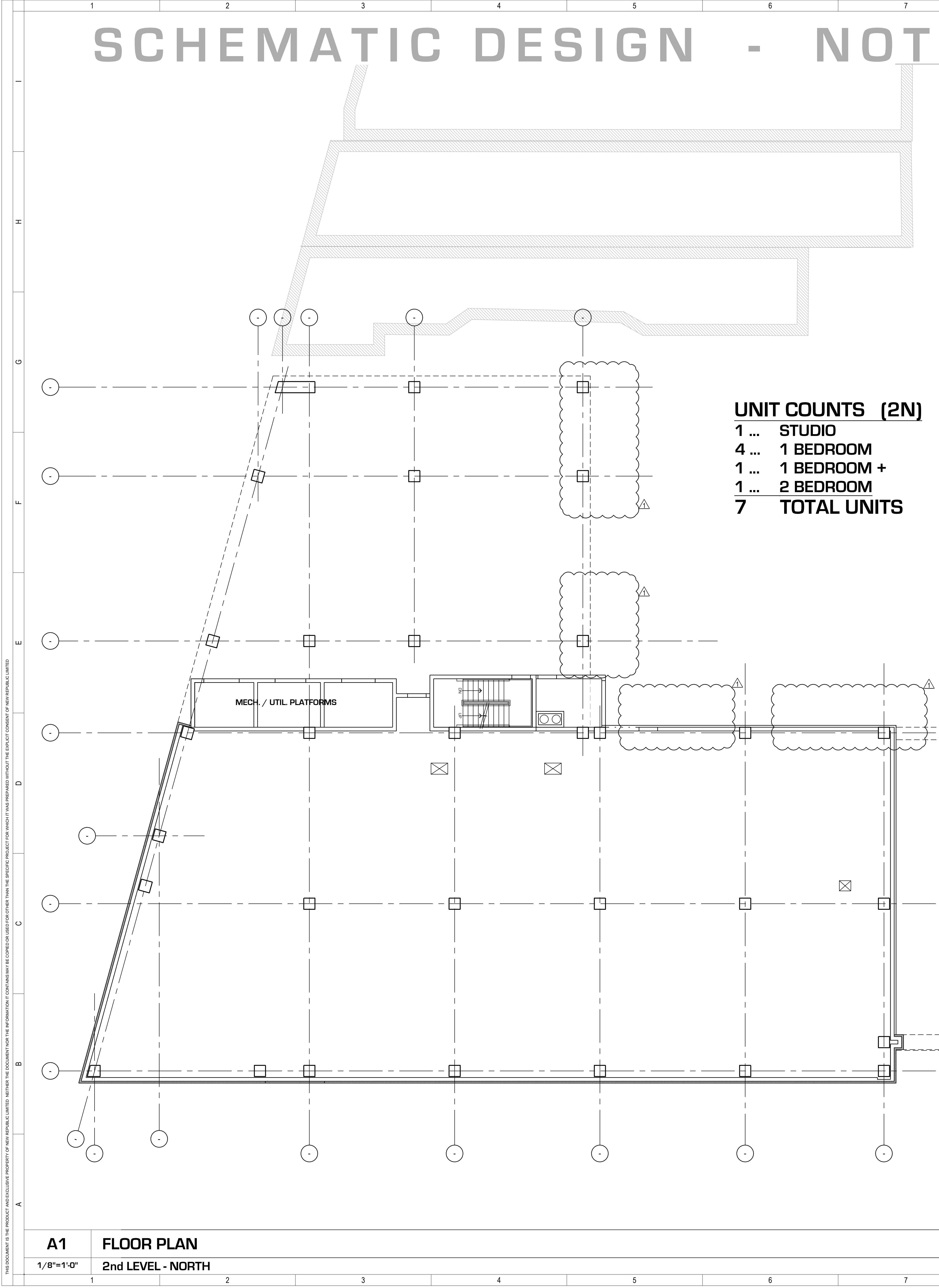
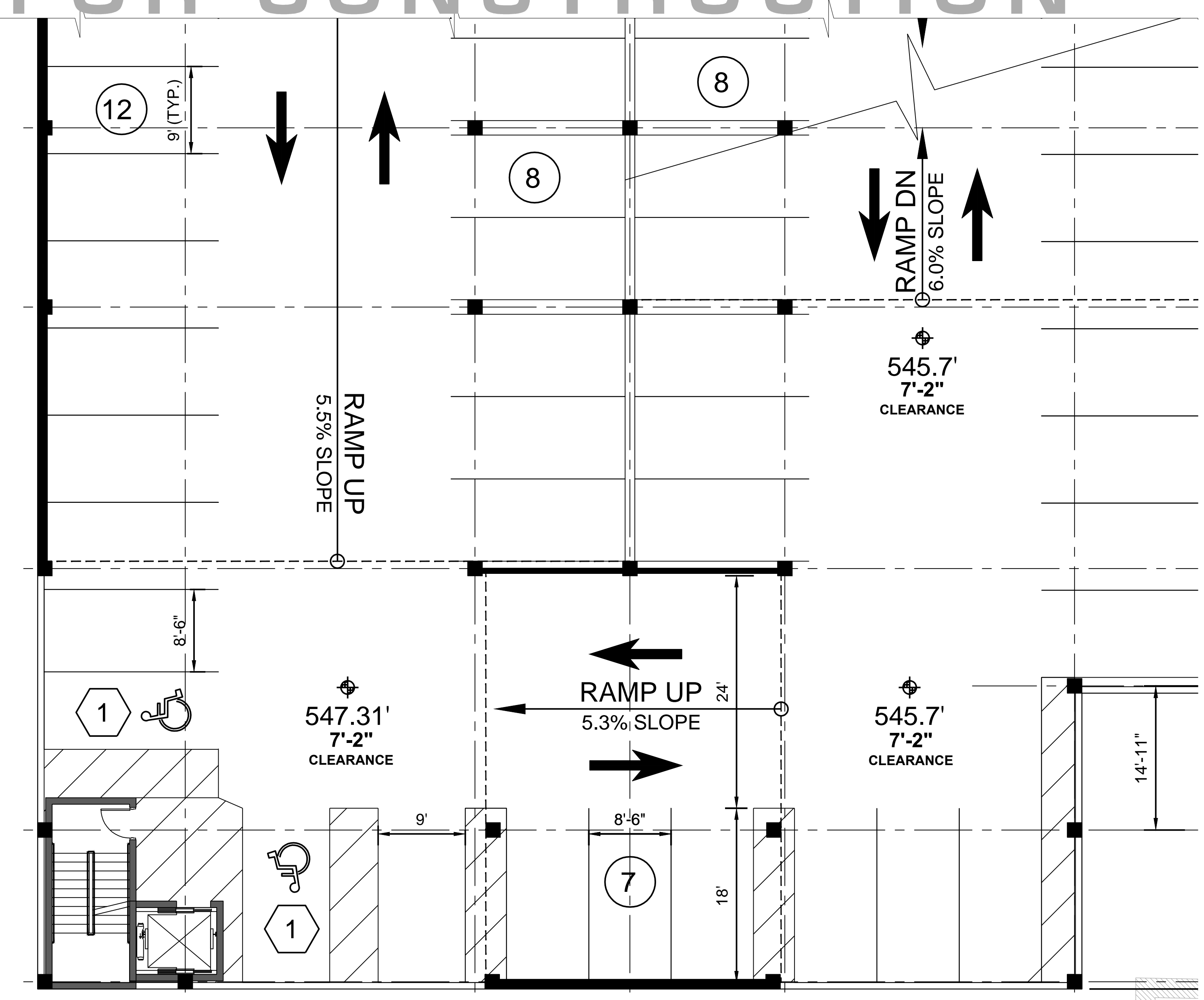
SCHEMATIC DESIGN - NOT FOR CONSTRUCTION

NEW MIXED-USE DEVELOPMENT
LIBERTY CORNER
 NWC, LIBERTY ST. & ELM ST.
 CINCINNATI, OHIO 45202
 OVER THE RHINE NEIGHBORHOOD

Client: SOURCE DEVELOPMENT
 Design Professional: **nr**
NEW REPUBLIC ARCHITECTURE
 architecture planning urbanism
 513.800.8075

LIBERTY CORNER
VALUE ENGINEERING
 22 JULY 2016

UNIT COUNTS (2N)
 1 ... STUDIO
 4 ... 1 BEDROOM
 1 ... 1 BEDROOM +
 1 ... 2 BEDROOM
7 TOTAL UNITS



VALUE ENGINEERING	07.22.2016
HCB SUBMISSION	06.10.2016
SCHEMATIC PRICING SET	05.27.2016
No. Revisions/Submissions	Date
Drawn	Project No. 2014-077
Checked	Date --,--,2016
Document No.	

FLOOR PLAN
2-NORTH
A102
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PLAN NORTH
 TRUE NORTH
 Not for Construction

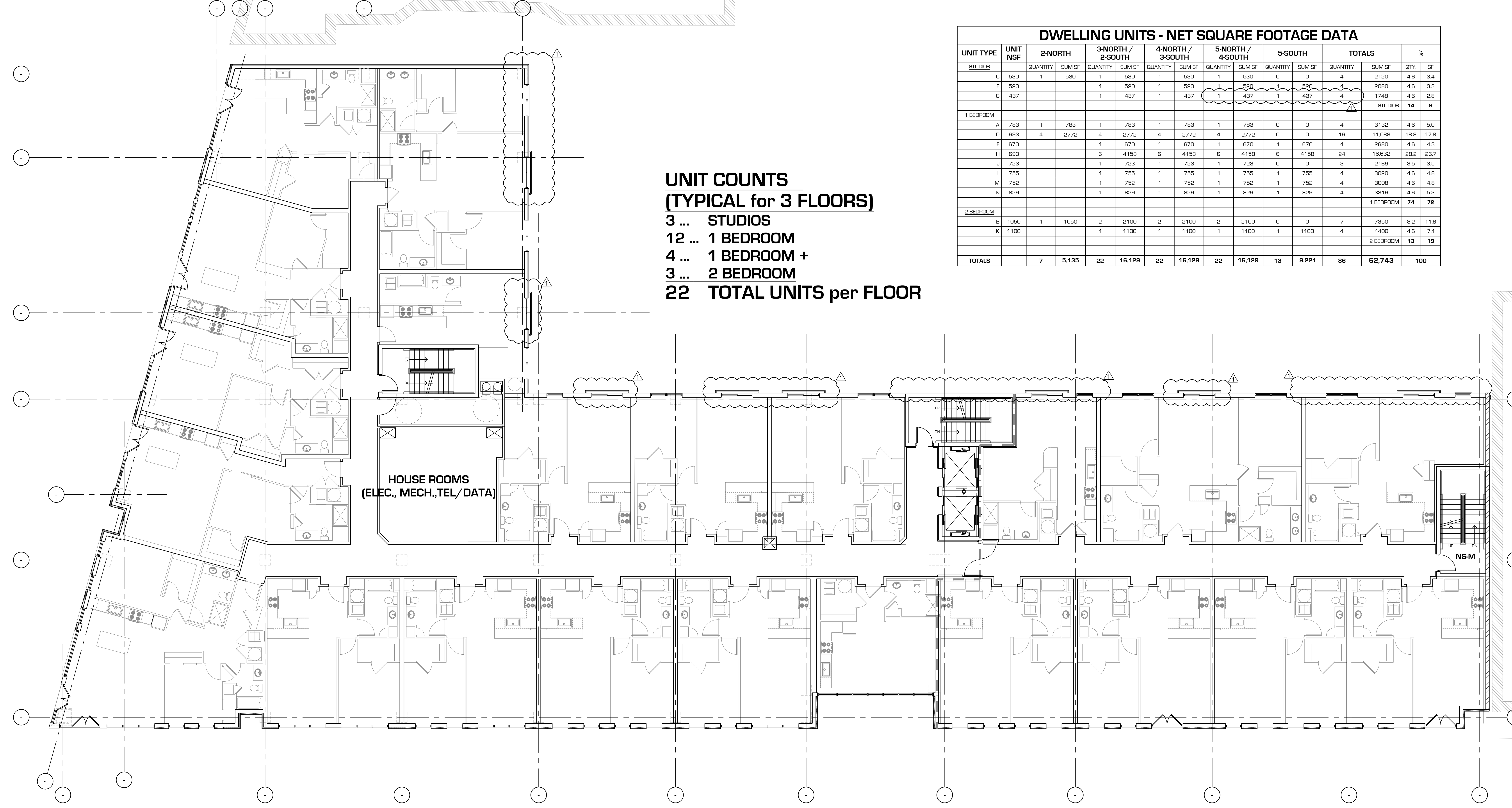
A1 FLOOR PLAN
 1/8"=1'-0"
2nd LEVEL - NORTH

SCHEMATIC DESIGN - NOT FOR CONSTRUCTION

LOCATION	QTY.	STREET LEVEL	2-NORTH	3-NORTH / 2-SOUTH	4-NORTH / 3-SOUTH	5-NORTH / 4-SOUTH	5-SOUTH	TOTALS
OUTDOOR SPACES								
FENCED PATIO	1	500						500
BALCONIES	3		114				114	228
BALCONIES	B			304	304	304		912
ROOF TERRACE	1						778	778
INDOOR SPACES								
BUILDING COMMON/ UTILITIES		343	343					686
RESTAURANT (A USE)		8653						8653
ENTREPRENEUR (B or M USE)		4179						4179
FITNESS CENTER		1000						1000
COMMUNITY ROOM + STORAGE							1606	1606
RESIDENTIAL COMMON SPACES		2157	1852	3733	3733	3733	2846	18,054
RESIDENTIAL UNITS	0	5470	17147	17147	17147	17147	9322	66,233
FLOOR PLATE (FOOTPRINT)		16,332	7,665	20,880	20,880	20,880	13,774	100,411

UNIT TYPE	UNIT NSF	2-NORTH		3-NORTH / 2-SOUTH		4-NORTH / 3-SOUTH		5-NORTH / 4-SOUTH		5-SOUTH		TOTALS		%	
		QUANTITY	SUM SF	QUANTITY	SUM SF	QUANTITY	SUM SF	QUANTITY	SUM SF	QUANTITY	SUM SF	QTY	SF		
STUDIOS															
C	530	1	530	1	530	1	530	1	530	0	0	4	2120	4.6	3.4
E	520			1	520	1	520	1	520	1	520	4	2080	4.6	3.3
G	437			1	437	1	437	1	437	1	437	4	1748	4.6	2.8
												STUDIOS	14	9	
1 BEDROOM															
A	783	1	783	1	783	1	783	1	783	0	0	4	3132	4.6	5.0
D	693	4	2772	4	2772	4	2772	4	2772	0	0	16	11,088	18.8	17.8
F	670			1	670	1	670	1	670	1	670	4	2680	4.6	4.3
H	693			6	4158	6	4158	6	4158	6	4158	24	16,632	28.2	26.7
J	723			1	723	1	723	1	723	0	0	3	2169	3.5	3.5
L	755			1	755	1	755	1	755	1	755	4	3020	4.6	4.8
M	752			1	752	1	752	1	752	1	752	4	3008	4.6	4.8
N	829			1	829	1	829	1	829	1	829	4	3316	4.6	5.3
												1 BEDROOM	74	72	
2 BEDROOM															
B	1050	1	1050	2	2100	2	2100	2	2100	0	0	7	7350	8.2	11.8
K	1100			1	1100	1	1100	1	1100	1	1100	4	4400	4.6	7.1
												2 BEDROOM	13	19	
TOTALS		7	5,135	22	16,129	22	16,129	22	16,129	13	9,221	86	62,743	100	

**UNIT COUNTS
(TYPICAL for 3 FLOORS)**
 3 ... STUDIOS
 12 ... 1 BEDROOM
 4 ... 1 BEDROOM +
 3 ... 2 BEDROOM
 22 TOTAL UNITS per FLOOR



NEW MIXED-USE DEVELOPMENT
LIBERTY CORNER
 NWC LIBERTY ST. & ELM ST.
 CINCINNATI OHIO 45202
 OVER THE RHINE NEIGHBORHOOD

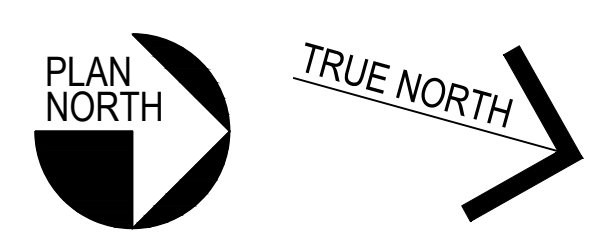
Client: **SOURCE DEVELOPMENT**

Design Professional: **NEW REPUBLIC ARCHITECTURE**
 architecture planning urbanism
 513.800.8075

LIBERTY CORNER
VALUE ENGINEERING
 22 JULY 2016

VALUE ENGINEERING	07.22.2016
HCS SUBMISSION	06.10.2016
SCHEMATIC PRICING SET	05.27.2016
No. Revisions/Submissions	Date
Drawing Title	
FLOOR PLAN TYPICAL (x3)	
Drawn: WBH	Project No: 2014-077
Checked: GMK	Date: --,--,2016
Document No.	

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A1 FLOOR PLAN
 1/8"=1'-0"
 TYPICAL for 3 FLOORS (2-South/3-North; 3-South/4-North; 4-South/5-North)

SCHEMATIC DESIGN - NOT FOR CONSTRUCTION

NEW MIXED-USE DEVELOPMENT

LIBERTY CORNER

NWC, LIBERTY ST. & ELM ST.
CINCINNATI, OHIO 45202
OVER THE RHINE NEIGHBORHOOD



LIBERTY CORNER
VALUE ENGINEERING
22 JULY 2016

VALUE ENGINEERING	07.22.2016
HCB SUBMISSION	06.10.2016
SCHEMATIC PRICING SET	05.27.2016
No. Revisions/Submissions	Date
Drawing Title	
FLOOR PLAN	
5-SOUTH	
Drawn	Project No.
WBH/---	2014-077
Checked	Date
GMK	--/--2016
Document No.	

A104
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UNIT COUNTS (TYPICAL for 3 FLOORS)

- 1 ... STUDIO
- 7 ... 1 BEDROOM
- 3 ... 1 BEDROOM +
- 1 ... 2 BEDROOM
- 12 TOTAL UNITS +**
- 1 OUTDOOR TERRRACE +**
- 1 COMMUNITY ROOM**

OUTDOOR TERRACE
728 NSF±

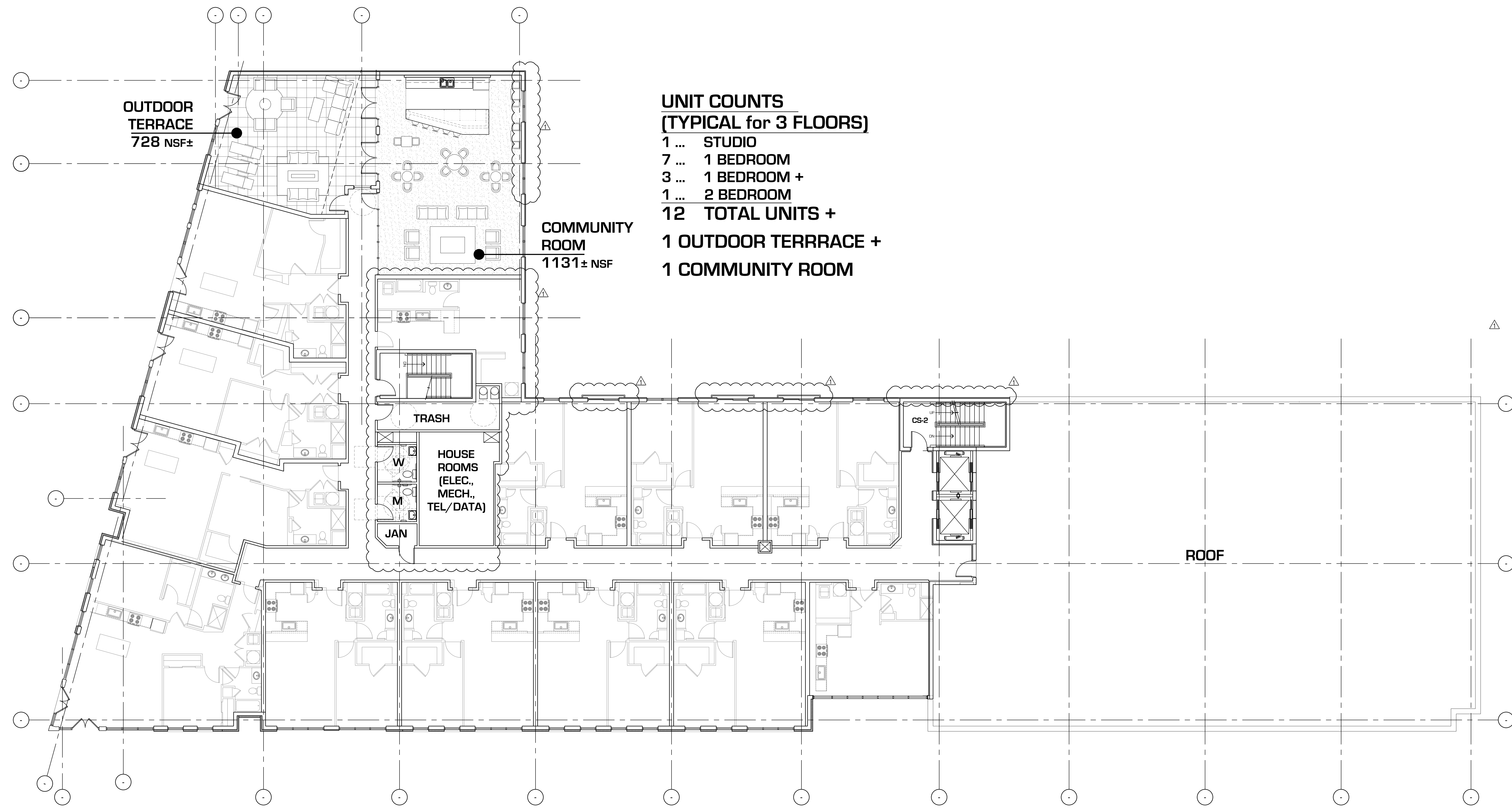
COMMUNITY ROOM
1131± NSF

TRASH
HOUSE ROOMS
(ELEC., MECH., TEL/DATA)

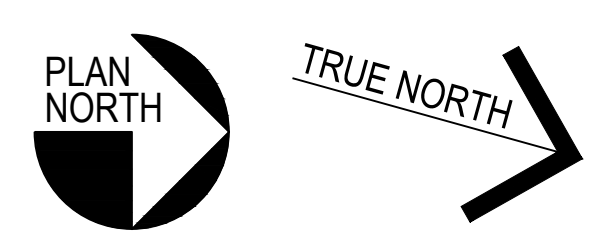
W
M
JAN

CS-2

ROOF



A1 FLOOR PLAN
1/8"=1'-0"
5-South / Roof-North

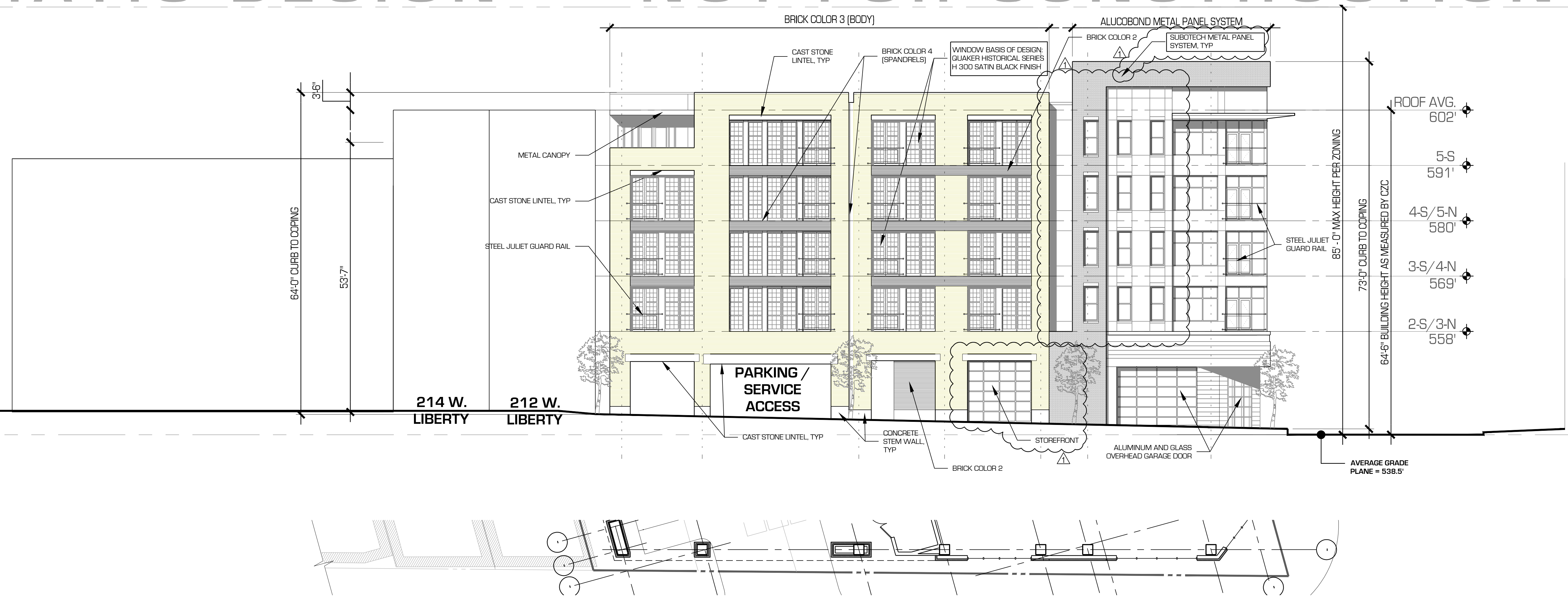


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SCHEMATIC DESIGN - NOT FOR CONSTRUCTION

MASONRY SCHEDULE

- BRICK COLOR 1: LEE BRICK - ROANOKE BLEND
- BRICK COLOR 2: PALMETTO BRICK CO. - KINGSMILL
- BRICK COLOR 3: PALMETTO BRICK CO. - BUFFSTONE SMOOTH
- BRICK COLOR 4: CAROLINA CERAMICS - KONA SMOOTH
- CAST STONE HEADERS AND SILLS AT BRICK COLOR 1+2: CUSTOM CAST STONE - GINGER COLOR
- CAST STONE HEADERS AND SILLS AT BRICK COLOR 3+4: CUSTOM CAST STONE - NATURAL WHITE COLOR
- CAST STONE VENEER: CUSTOM CAST STONE - GINGER COLOR
- COLORED CMU # 1: LEE MAXBRIC-CHARCOAL
- COLORED CMU # 2: LEE MAXBRIC-WILLIAMSON BLEND
- ALL MORTAR TO BE STANDARD TYPE N GRAY
- ALL BRICK PRODUCTS TO BE MODULAR SIZE
- ALL CMU TO BE 8X8X16

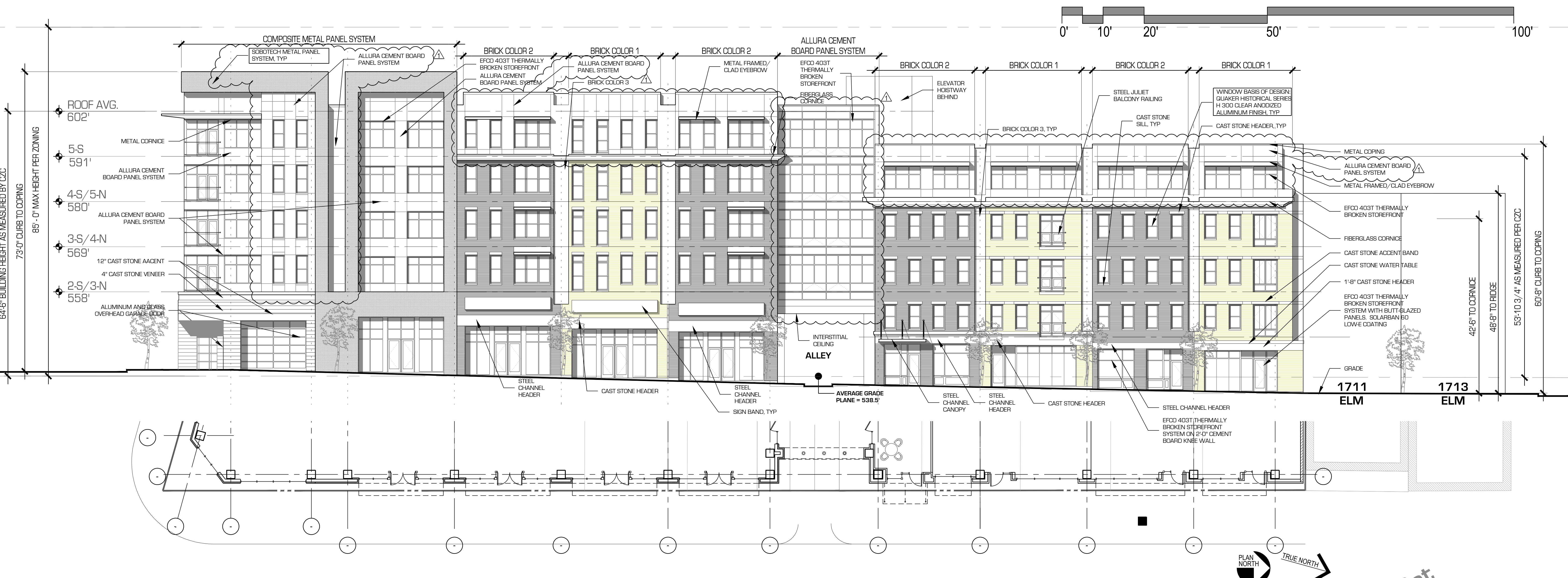


NEW MIXED-USE DEVELOPMENT
LIBERTY CORNER
 NWC, LIBERTY ST. & ELM ST.
 CINCINNATI, OHIO 45202
 OVER THE RHINE NEIGHBORHOOD

Client: SOURCE DEVELOPMENT
 Design Professional: NEW REPUBLIC ARCHITECTURE
 architecture planning urbanism
 513.800.8075

LIBERTY CORNER
 VALUE ENGINEERING
 22 JULY 2016

E1 BUILDING ELEVATIONS
 3/32"=1'-0"
FRONT ELEVATION ... LIBERTY STREET FACING NORTH



A1 BUILDING ELEVATIONS
 3/32"=1'-0"
FRONT ELEVATION ... ELM STREET FACING WEST

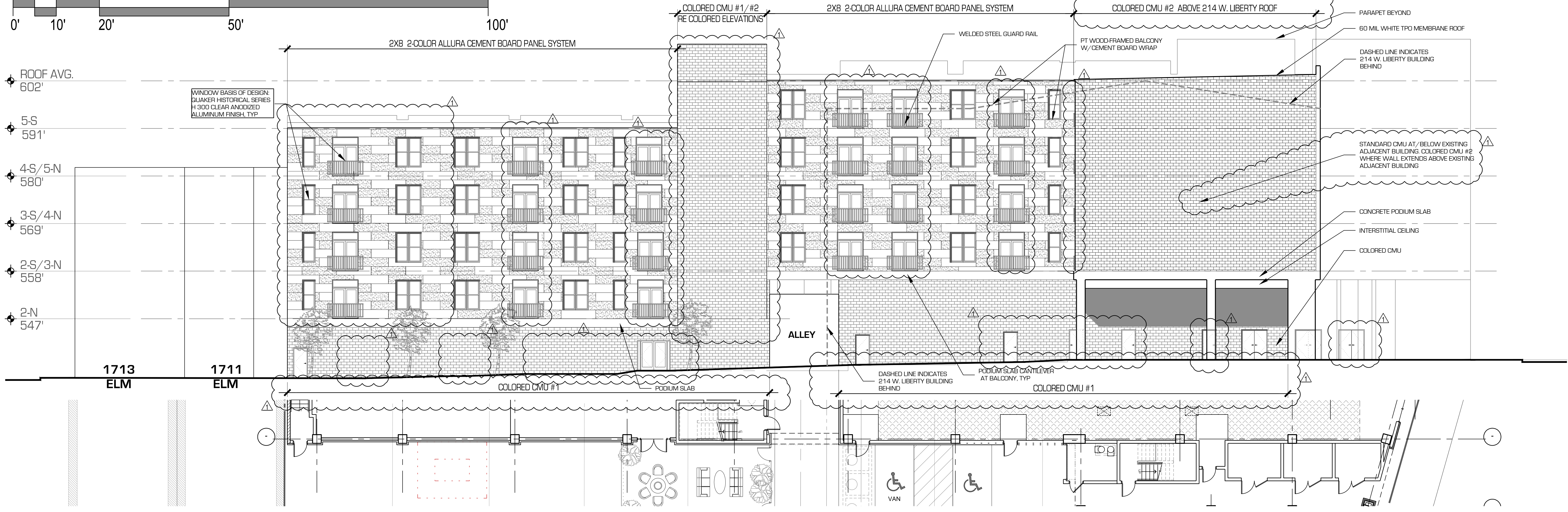
No.	Revisions/Submissions	Date
1	VALUE ENGINEERING	07.22.2016
2	HCS SUBMISSION	06.10.2016
3	SCHEMATIC PRICING SET	05.27.2016

BUILDING ELEVATIONS (FRONT)
 Drawn: WBH/... Project No: 2014-077
 Checked: GMK Date: --,--2016
 Document No.

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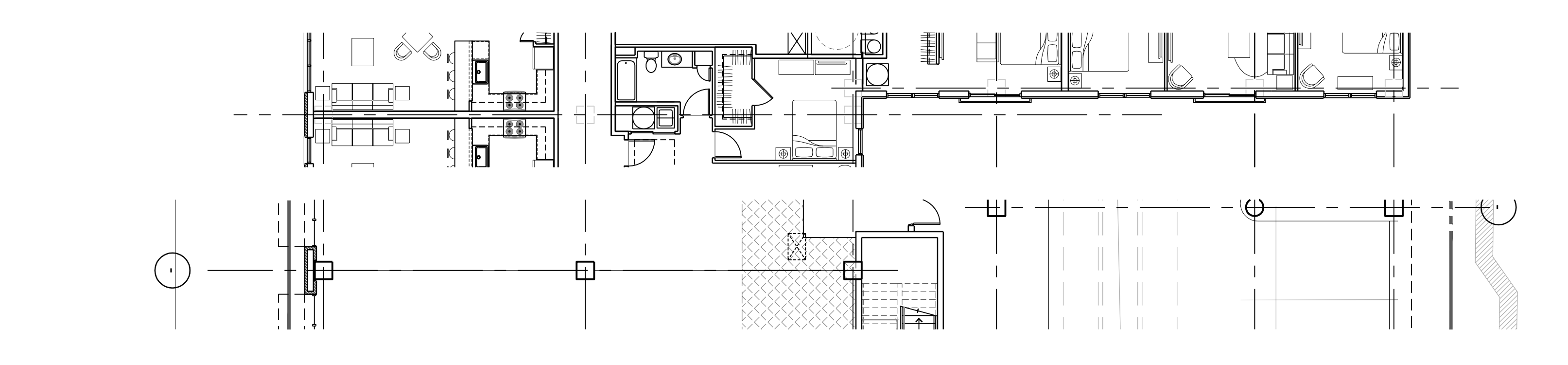
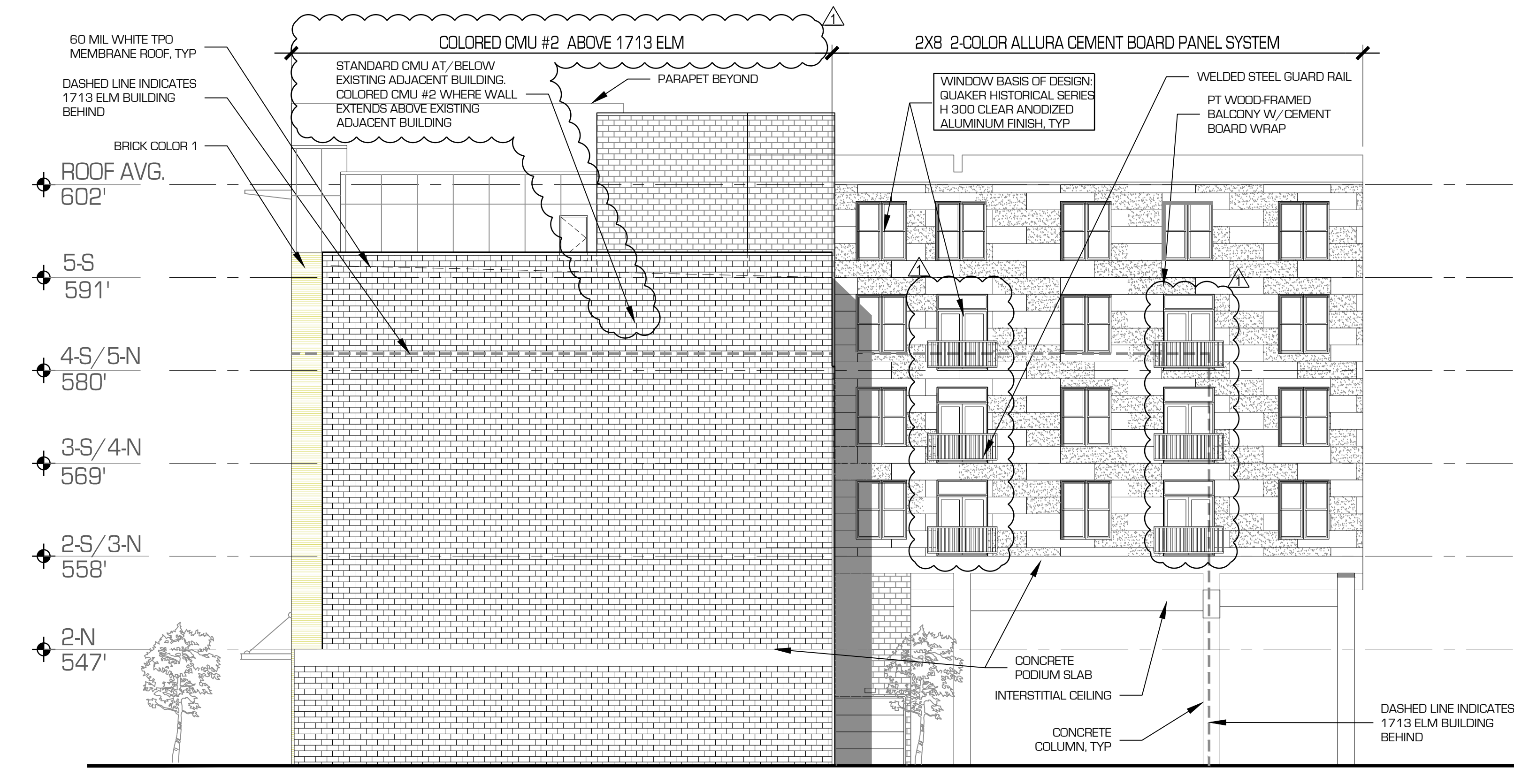
SCHEMATIC DESIGN - NOT FOR CONSTRUCTION



E1 BUILDING ELEVATIONS
 3/32"=1'-0" REAR ELEVATION ... FACING EAST to ELM STREET

MASONRY SCHEDULE

- BRICK COLOR 1: LEE BRICK -ROANOKE BLEND
- BRICK COLOR 2: PALMETTO BRICK CO. -KINGSMILL
- BRICK COLOR 3: PALMETTO BRICK CO. -BUFFSTONE SMOOTH
- BRICK COLOR 4: CAROLINA CERAMICS -KONA SMOOTH
- CAST STONE HEADERS AND SILLS AT BRICK COLOR 1+2:
CUSTOM CAST STONE -GINGER COLOR
- CAST STONE HEADERS AND SILLS AT BRICK COLOR 3+4:
CUSTOM CAST STONE -NATURAL WHITE COLOR
- CAST STONE VENEER: CUSTOM CAST STONE -GINGER COLOR
- COLORED CMU # 1: LEE MAXBRIC-CHARCOAL
- COLORED CMU # 2: LEE MAXBRIC-WILLIAMSON BLEND
- ALL MORTAR TO BE STANDARD TYPE N GRAY
- ALL BRICK PRODUCTS TO BE MODULAR SIZE
- ALL CMU TO BE 8X8X16



A7 BUILDING ELEVATIONS
 3/32"=1'-0" REAR ELEVATION ... FACING SOUTH to LIBERTY STREET

NEW MIXED-USE DEVELOPMENT
LIBERTY CORNER

NWC, LIBERTY ST. & ELM ST.
 CINCINNATI, OHIO 45202
 OVER THE RHINE NEIGHBORHOOD



LIBERTY CORNER
VALUE ENGINEERING
 22 JULY 2016

VALUE ENGINEERING	07.22.2016
HCS SUBMISSION	06.10.2016
SCHEMATIC PRICING SET	05.27.2016
No. Revisions/Submissions	Date
Drawing Title	
BUILDING ELEVATIONS (REAR)	
Drawn	Project No.
Checked	Date
Document No.	

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SCHEMATIC DESIGN - NOT FOR CONSTRUCTION

NEW MIXED-USE DEVELOPMENT
LIBERTY CORNER
 NWC LIBERTY ST. & ELM ST.
 CINCINNATI OHIO 45202
 OVER THE RHINE NEIGHBORHOOD



NEW REPUBLIC ARCHITECTURE
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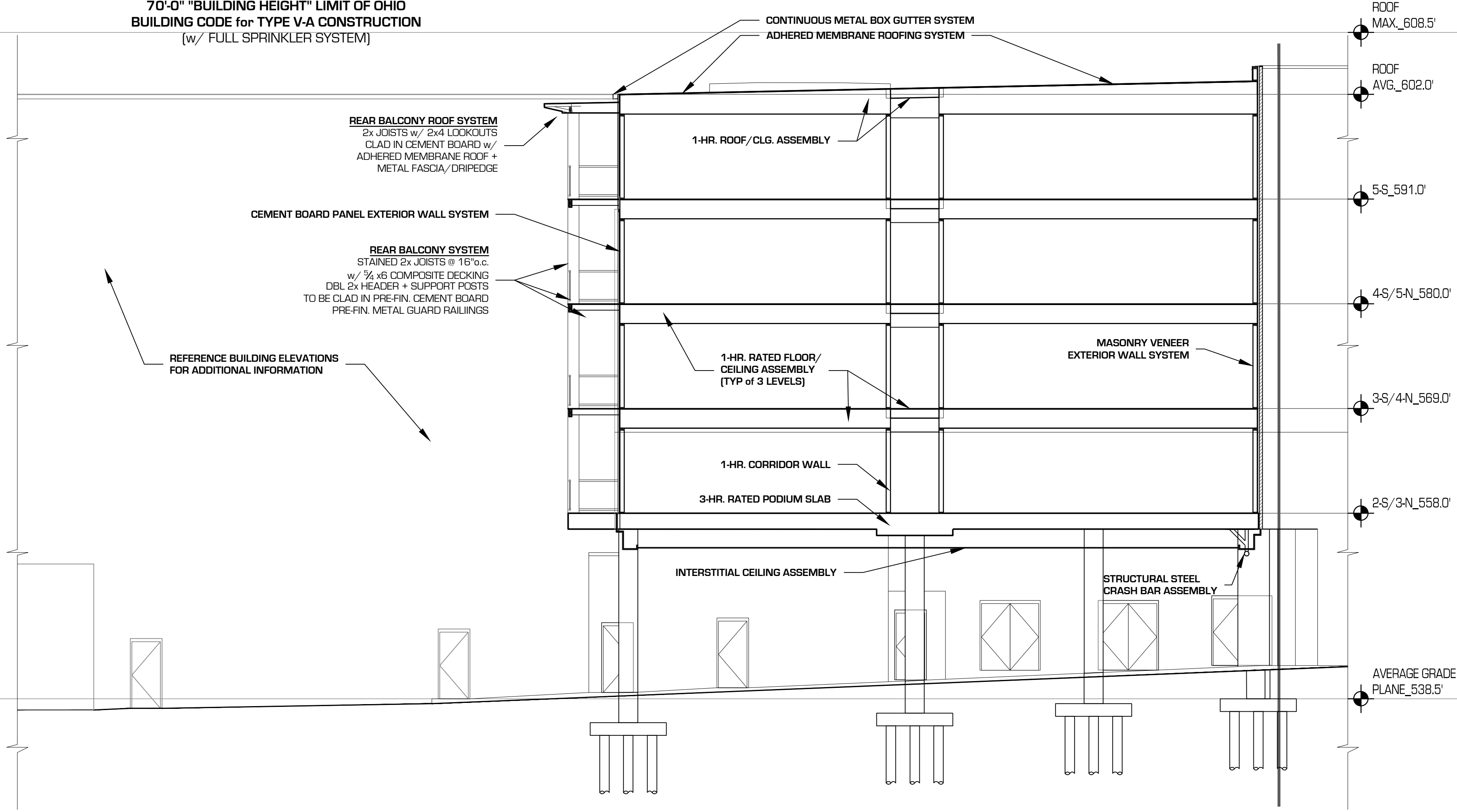
LIBERTY CORNER
 VALUE ENGINEERING
 22 JULY 2016

ASSEMBLIES DATA:

ASSEMBLIES LIST ORGANIZED FROM GROUND UP

- REFERENCE SECTION REPORT AND STRUCTURAL NARRATIVE FOR FOOTING/FOUNDATION RECOMMENDATIONS AND RECOMMENDED CONCRETE DESIGN SPECIFICATIONS.
- 5" PLAIN (NO W.W.F.) CONCRETE FLOOR SLAB RECOMMENDED IN LIEU OF 4" REINFORCED CONCRETE SLAB. WITH SOUTH WING DESIGNED FOR RESTAURANTS OR TAVERNS, THERE WILL LIKELY BE A FAIR AMOUNT OF TRENCHING AND ROLLOVER OF TENANCY, AND A PLAIN SLAB IS EASIER TO MODIFY AFTER POURING THAN A REINFORCED SLAB, DESPITE THE THICKER DEPTH.
- PODIUM SLAB CONSTRUCT (INCLUDING COLUMNS): REINFORCED CONCRETE AS RECOMMENDED BY STRUCTURAL NARRATIVE. 3-HOUR FIRE RATING REQUIRED BY PROJECT DESIGN.
- STREET LEVEL CONSTRUCTION IS TYPE 1A. ALL MATERIALS SHALL BE NONCOMBUSTIBLE EXCEPT AS ALLOWED FOR BY THE OHIO BUILDING CODE (CBC SECTION 603)
- STREET LEVEL EXTERIOR WALLS
 - FRONT WALLS: DESIGNED AS UNIT MASONRY VENEER w/ METAL STUD BACKUP. FROM 1/8" TO 3/8" TYPE X GWB; 6" 20ga. METAL STUDS @ 16" o.c. w/ FOIL FACED R-19 BATT INSULATION (TAPED SEAMS); 3/8" FGGLASS FACED GYP SHEATHING; WEATHER BARRIER; AIR SPACE; MASONRY VENEER.
 - REAR WALLS: 1-HR FIRE RATING REQUIRED AT NORTH WING (OPENINGS NOT RATED AS ALLOWED BY CBC TABLE 705.8 FOR UNPROTECTED, SPRINKLERED OPENINGS). DBL WYTHE INSULATED MASONRY WALL (4" FACE UNITS/CAVITY/" BACKLUP w/ INSULATED CORE). THERMAL INSULATION TO BE PROVIDED AS PART OF SPACE FIT OUT. FRONT WALL DESIGN MAY BE UTILIZED AS A VE OPTION.
 - ALL EXTERIOR UNIT MASONRY TO HAVE AN ARCHITECTURAL FINISH w/ A MASONRY SEALER APPLICATION.
- 2-HR. EXIT ENCLOSURES & ELEVATOR HOISTWAY. CLP. CONCRETE OR 8" NOMINAL CMU. WALLS AT TOP FLOOR EXPOSED TO THE EXTERIOR AND WALLS ABOVE ROOF LINE SHALL HAVE A FINISHED SURFACE AND BE EITHER CONCRETE BRICK (e.g. MaxBrk), INTEGRAL COLOR CMU, OR BURNISHED CMU.
- INTERSTITIAL CEILING SYSTEM. SUSPENDED METAL CEILING SYSTEM e.g. USG® "CELEBRATION" SERIES. USG "PARALINE" SERIES OR VE OPTION. FINISHES TO BE CONTAINED BY A COMPOSITE METAL PANEL SYSTEM SIM. TO ITEM 8.3 BELOW.
- UPPER LEVEL EXTERIOR WALLS
 - ALL EXTERIOR WALLS AT UPPER LEVELS TO BE CONSTRUCTED WITH A 1-HR FIRE RATING.
 - MASONRY VENEER: UNIT MASONRY VENEER w/ WOOD STUD BACKUP. FROM 1/8" TO 3/8" TYPE X GWB; 2x6 STUDS @ 16" o.c. w/ VAPOR BARRIER & R-19 BATT INSULATION (TAPED SEAMS); NOM. 1/2" STRUCTURAL WOOD PANEL SHEATHING; WEATHER BARRIER; AIR SPACE; MASONRY VENEER.
 - RANSCREEN VENEER: EITHER A CEMENT BOARD PANEL OR COMPOSITE METAL PANEL VENEER w/ WOOD STUD BACKUP. FROM 1/8" TO 3/8" TYPE X GWB; 2x6 STUDS @ 16" o.c. w/ VAPOR BARRIER & R-19 BATT INSULATION (TAPED SEAMS); NOM. 1/2" STRUCTURAL WOOD PANEL SHEATHING; WEATHER BARRIER; STANDOFF GRITS OR DRAINAGE MATRIX; RANSCREEN VENEER. (PROVIDE ADDITIONAL ITEMS AS RECOMMENDED BY SELECTED FINISH MATERIAL MFR.)
- REFERENCE BUILDING ELEVATION SHEETS FOR ALUMINUM STOREFRONT AND PUNCH WINDOW DESIGN BASIS.
- 1-HR CORRIDOR WALLS: 2x6 STUDS @ 16" o.c. w/ 1 LAYER 3/8" TYPE X GWB EACH SIDE + FIRE RATED SEALANT AT ALL JOINTS AND JUNCTIONS w/ OTHER CONSTRUCT. PROVIDE FULL HEIGHT CONTROL JOINT AT UNIT DEMISING WALLS FOR ANY CONTINUOUS WALL RUN GREATER THAN 30'.
- 1-HR RATED FLOOR - CEILING ASSEMBLY. NOM. 3/4" WEATHER RESISTANT T&G STRUCTURAL FLOOR SHEATHING PANELS ON 2x4 CONSTRUCT PREENG BY MFR FLOOR TRUSSES @ 24" o.c. w/ 3/8" TYPE X GWB CEILING. CORRIDORS TO HAVE NOM. 2x JOISTS IN LIEU OF TRUSSES.
- ELEVATORS PRESUMED AS A 2500# GEN2 PREMIER FRONT/REAR DOOR MODEL BY OTIS (w/ OFFSET DOOR OPG).
- METAL STAIR SYSTEMS. DESIGN/BUILD STAIR SOLUTION BY STAIR MFR. INCLUDING METAL STAIR RUNS (STRINGERS/TREAD PANS/RISERS, LANDINGS, GUARDS AND RAILINGS). DESIGN BASIS IS CONCRETE FILLED TREAD AND LANDING PANS.
- EXTERIOR DOORS: 14ga. GALV. FRAMES (PAINTED) w/ 14ga. INSULATED FLUSH HOLLOW METAL DOORS (PAINTED). EXTERIOR DOORS AND FRAMES TO BE TREATED w/ A CORROSION/RUST PROHIBITIVE COATING. ALL HOLLOW METAL DOORS TO BE EQUIPPED w/ STOREROOM LOCKSETS & CLOSERS + WEATHERSEALS WHERE APPLICABLE. PROVIDE PANIC EGRESS HARDWARE ON TENANT SPACE IN SOUTH WING AND STAIRWAY EXIT DOORS.
- INTERIOR COMMERCIAL DOORS (RESIDENT LOBBY): 16ga. HM FRAMES (PAINTED) w/ FLUSH SCWD DOORS (RED OAK) w/ OFFICE LOCKSETS.
- INTERIOR RESIDENTIAL DOORS (NON DWELLING UNIT): 16ga. HM FRAMES (PAINTED) w/ FLUSH SCWD DOORS (RED OAK) w/ OFFICE LOCKSETS. PROVIDE 20, 45 or 90 MIN. FIRE RATINGS WHERE APPLICABLE.
- INTERIOR RESIDENTIAL DOORS (DWELLING UNITS): PROVIDE 20 MIN. FIRE RATED INTEGRATED ENTRY DOOR ASSEMBLY w/ INSULATED EMBOSSED METAL PANELS & ENTRY DOOR. INTERIOR DOORS TO BE FIRE-RATING SOLID CORE 2 or 4-PANEL HARDWARE DOORS.
- ALL STAIRWAY DOORS + FRAMES TO CARRY A 90MIN FIRE RATING, OPPOSING SWING DOORS + FRAMES IN FIRE WALL; SEPARATING NORTH & SOUTH WINGS TO CARRY A 90MIN FIRE RATING AND BE EQUIPPED WITH PANIC HARDWARE AND MAGNETIC HOLD OPENS TIED TO FIRE PROTECTION SYSTEMS. UTILITY ROOM WALLS, DOORS + FRAMES TO BE FIRE RATED AS REQUIRED BY THEIR SIZE AND EQUIPMENT CONTAINED WITHIN. ALL DOOR HARDWARE TO HAVE SATIN NICKEL (200) FINISH. ALL THRESHOLDS, INCLUDING PATIO DOORS TO BE 1/2" MAX ACCESSIBLE THRESHOLDS.
- FIRE WALL: SHALL BE 2-HR FIRE RATED CONSTRUCTION and SHALL BE STRUCTURALLY STABLE ENOUGH TO PERMIT COLLAPSE OF CONSTRUCTION ON EITHER SIDE WITHOUT COLLAPSE of WALL FOR 2-HOURS OR BE CONSTRUCTED AS A DOUBLE FIRE WALL IN ACCORDANCE WITH NFPA 221.
- GREASE SHAFT ENCLOSURES TO BE CONSTRUCTED AS A 2-HR METAL STUD SHAFTWALL ASSEMBLY (UL # U????) AND EXTEND FROM TOP OF PODIUM SLAB TO THE ROOF DECK.
- 1-HR RATED ROOF - CEILING ASSEMBLY. NOM. 3/4" WEATHER RESISTANT T&G STRUCTURAL ROOF SHEATHING PANELS ON 2x4 CONSTRUCT PREENG BY MFR MONITCHED ROOF TRUSSES @ 24" o.c. w/ 3/8" TYPE X GWB CEILING. CORRIDORS & STAIR ENCLOSURES TO HAVE NOM. 2x JOISTS IN LIEU OF TRUSSES. HOISTWAY TO HAVE STEEL GRITS & METAL DECK.
- ADHERED MEMBRANE ROOFING SYSTEM. 60mil WHITE SHEET MEMBRANE w/ WELDED SEAMS ADHERED TO 3" RIGID ROOF INSULATION FASTENED TO DECK/SHEATHING MEMBRANE TO EXTEND UP + OVER ADJACENT PARAPETS AND BE FASTENED TO TOP PLATE OF WALL MEMBRANE TO RETURN UP. MASONRY WALLS A MINIMUM OF 12" & CAPPED WITH A TIE-BAR SEALANT & ST. STEEL COUNTERFLASHING RELETED INTO CMU.

70'-0" "BUILDING HEIGHT" LIMIT OF OHIO
 BUILDING CODE for TYPE V-A CONSTRUCTION
 (w/ FULL SPRINKLER SYSTEM)

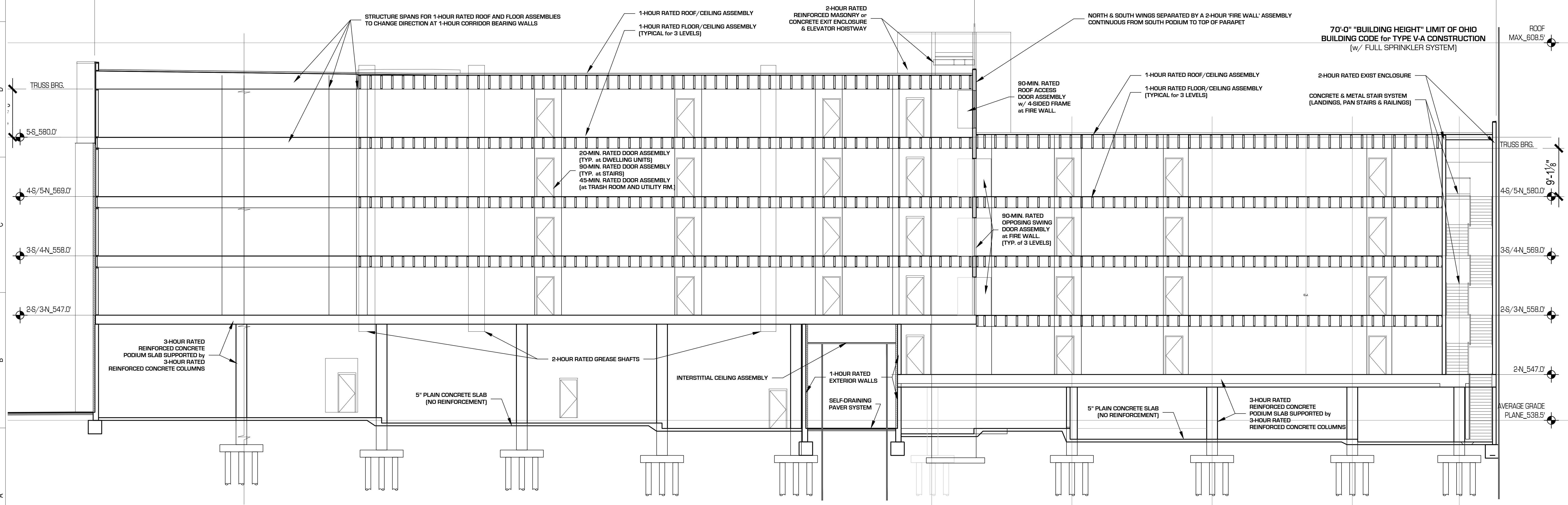


E1 BUILDING SECTION
 1/8" = 1'-0"
 TRANSVERSE ... NORTH-SOUTH THROUGH DRIVE LANE OFF LIBERTY STREET

SOUTH WING

NORTH WING

70'-0" "BUILDING HEIGHT" LIMIT OF OHIO
 BUILDING CODE for TYPE V-A CONSTRUCTION
 (w/ FULL SPRINKLER SYSTEM)



A1 BUILDING SECTION
 1/8" = 1'-0"
 LONGITUDINAL ... RUNNING NORTH-SOUTH THROUGH CORRIDOR

VALUE ENGINEERING	07.22.2016
HCS SUBMISSION	06.10.2016
SCHEMATIC PRICING SET	05.27.2016
No. Revisions/Submissions	Date

BUILDING SECTIONS

Drawn	WBH---	Project No.	2014-077
Checked	GNK	Date	---,---,2016
Document No.			

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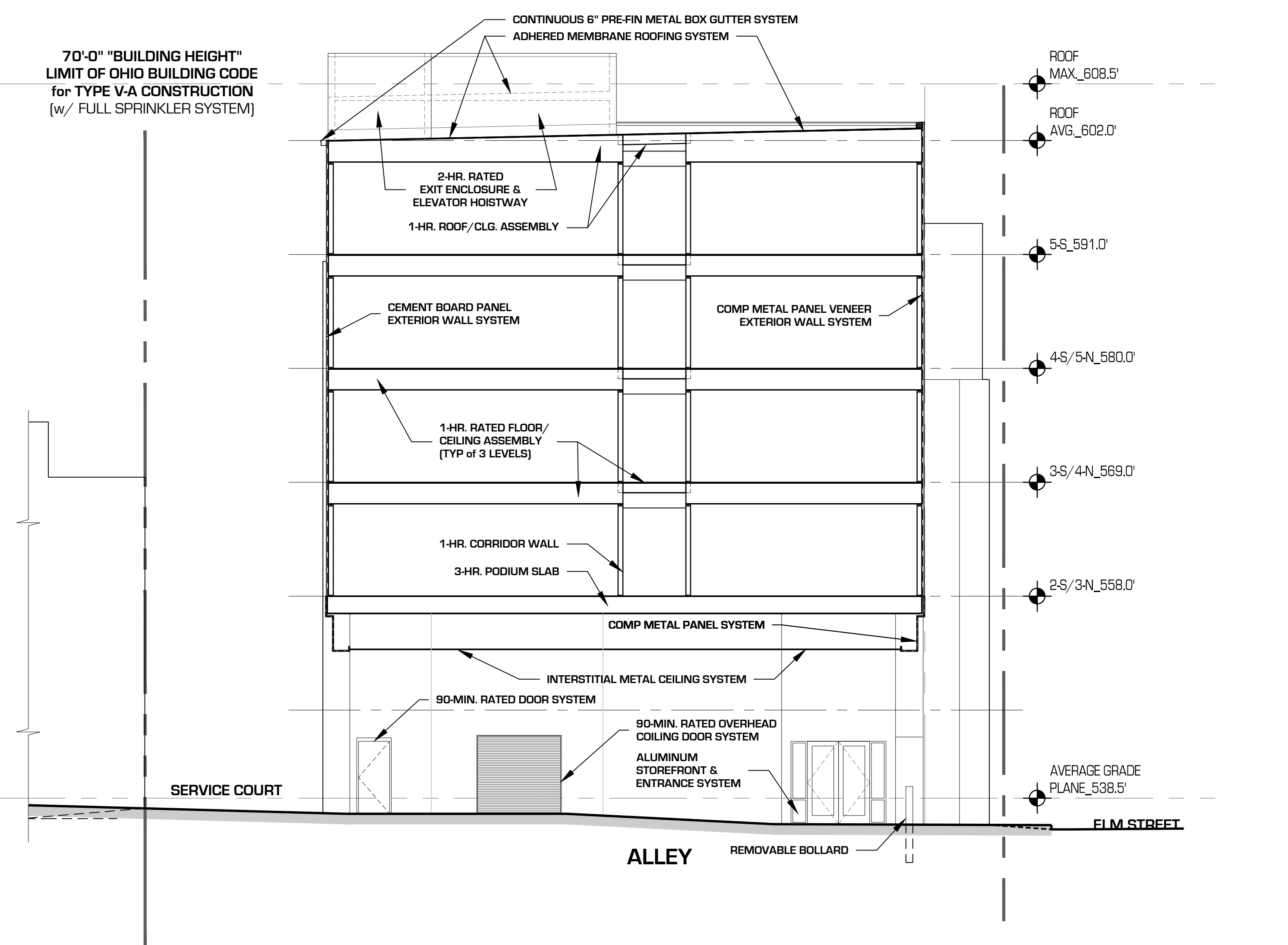
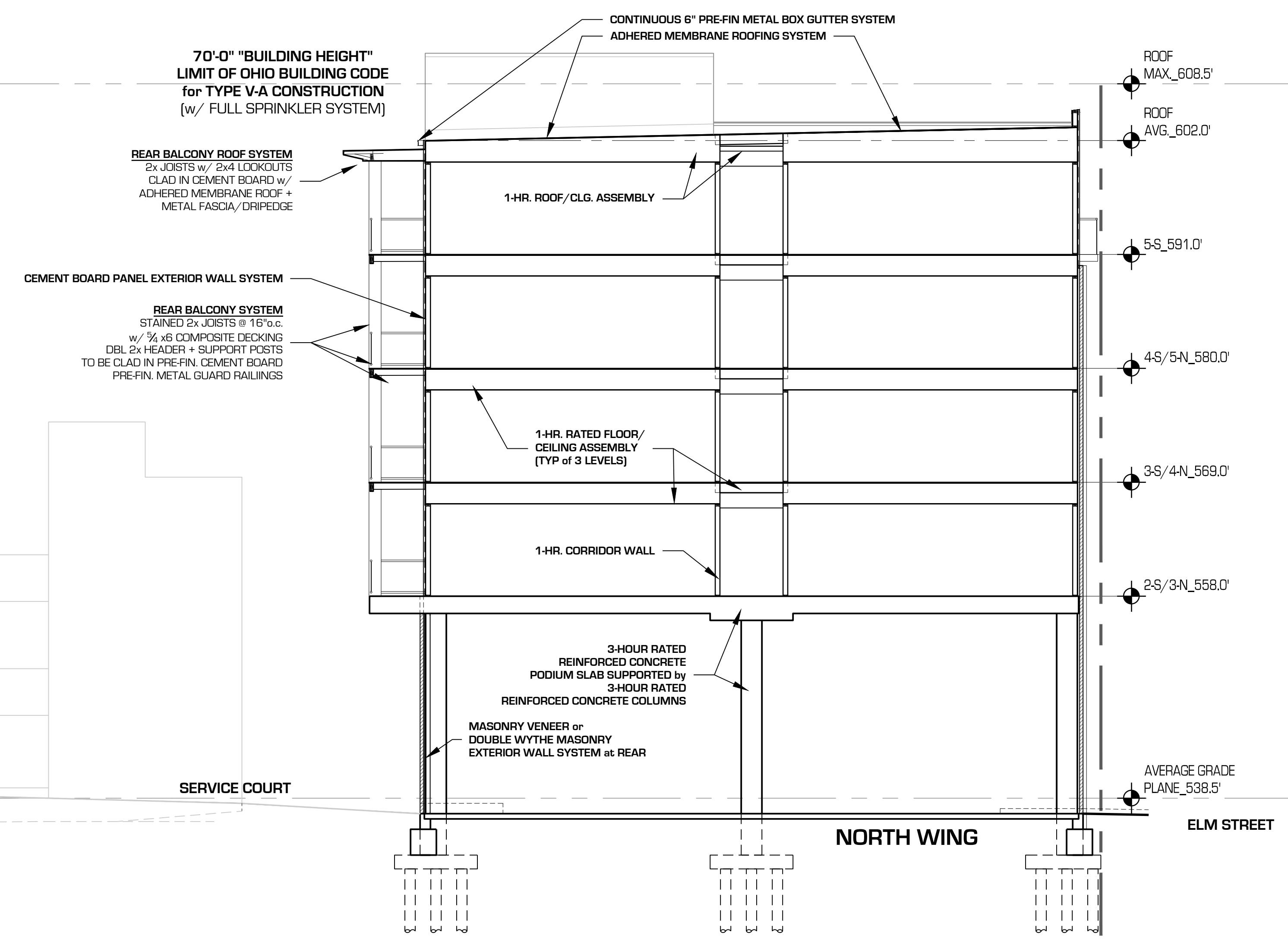
SCHEMATIC DESIGN - NOT FOR CONSTRUCTION

NEW MIXED-USE DEVELOPMENT
LIBERTY CORNER

NWC, LIBERTY ST. & ELM ST.
CINCINNATI, OHIO 45202
OVER THE RHINE NEIGHBORHOOD

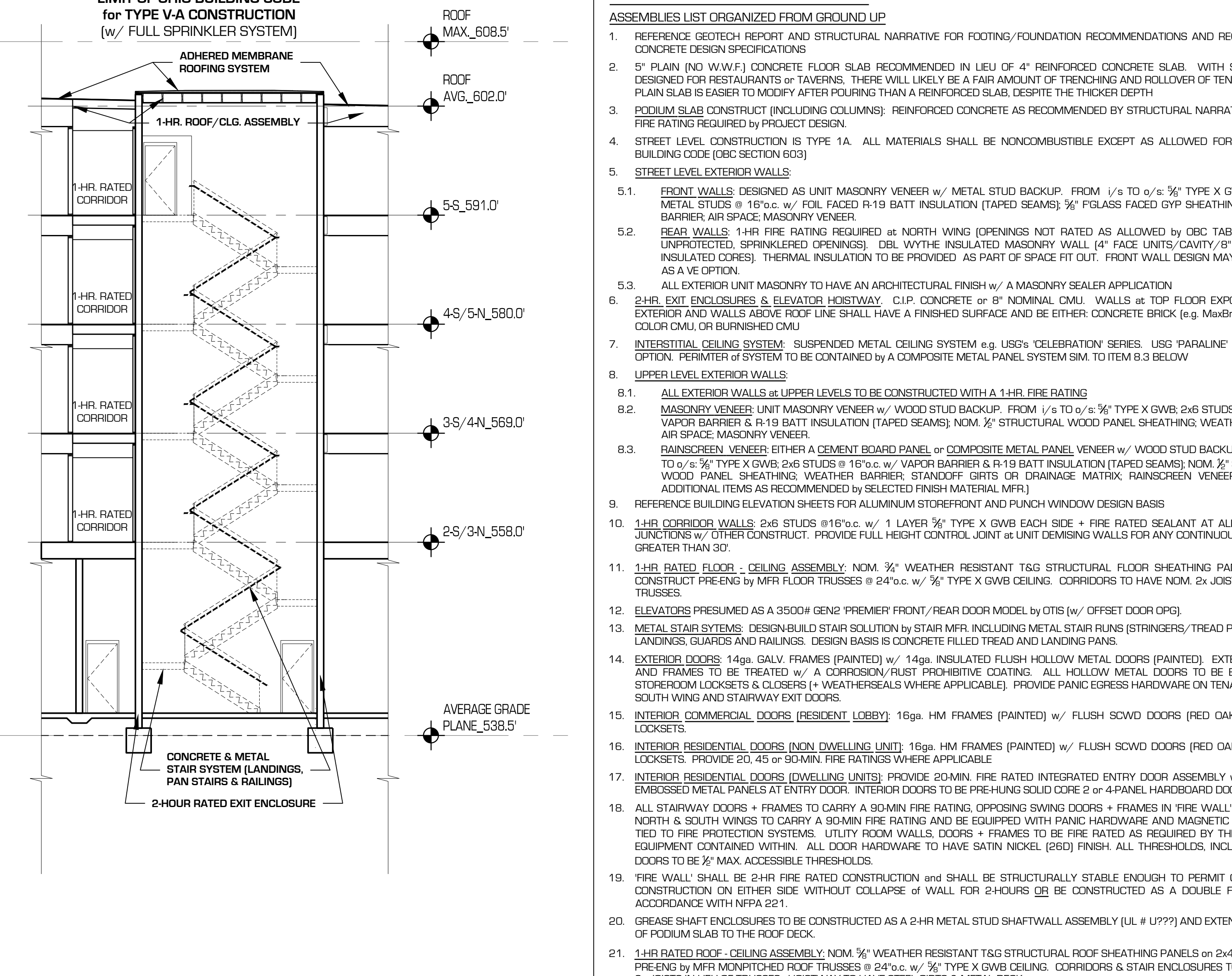
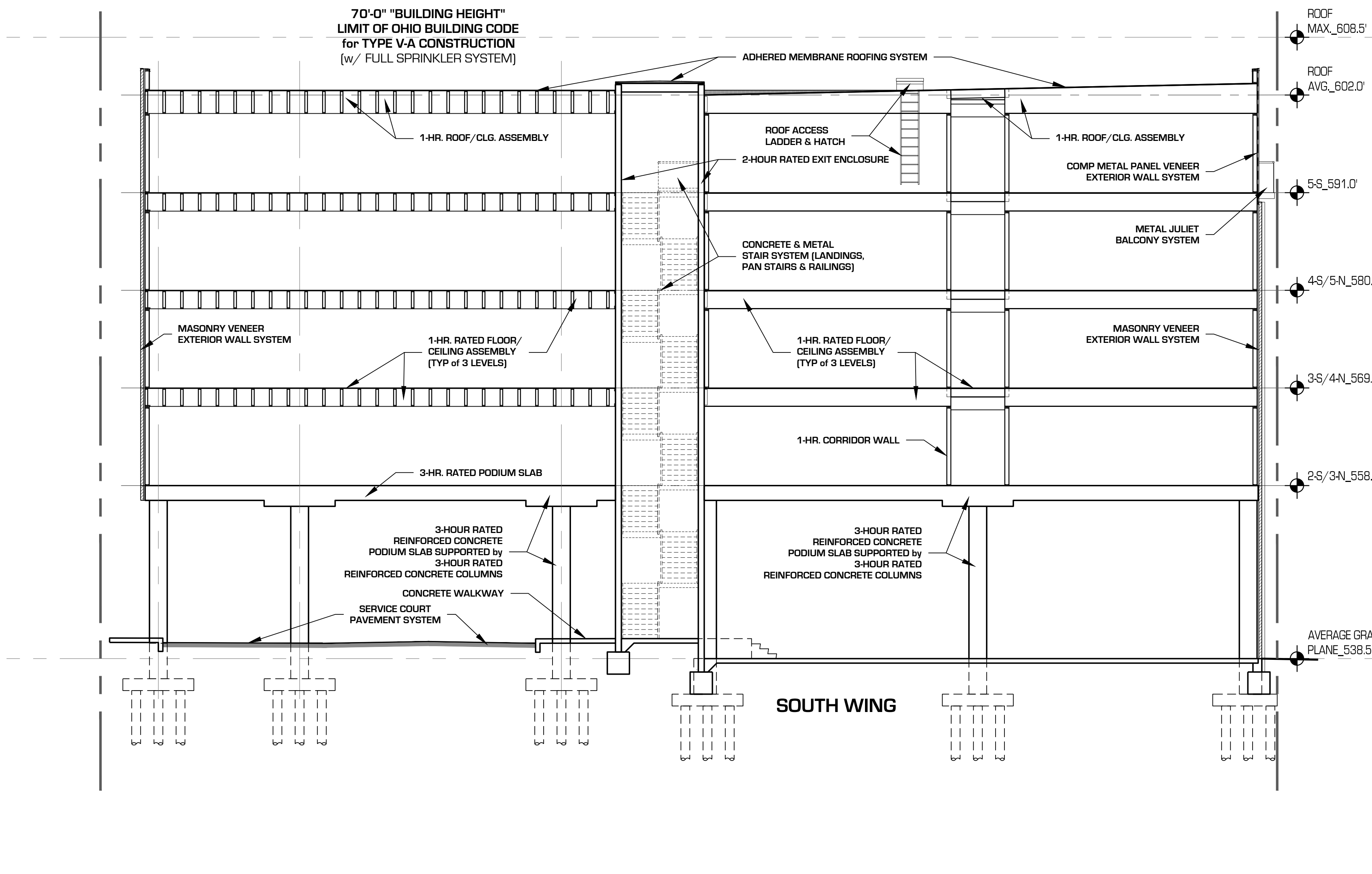


LIBERTY CORNER
VALUE ENGINEERING
22 JULY 2016



E1 BUILDING SECTION
1/8"=1'-0"
TRANSVERSE ... EAST-WEST THROUGH NORTH WING

E7 BUILDING SECTION
1/8"=1'-0"
TRANSVERSE ... EAST-WEST THROUGH ALLEY PASSAGE



A1 BUILDING SECTION
1/8"=1'-0"
LONGITUDINAL ... RUNNING EAST-WEST JUST NORTH OF SOUTH WING CORRIDOR

A7 BUILDING SECTION
1/8"=1'-0"
TRANSVERSE ... THROUGH SOUTH STAIR

- ASSEMBLIES DATA:**
ASSEMBLIES LIST ORGANIZED FROM GROUND UP
- REFERENCE GEOTECH REPORT AND STRUCTURAL NARRATIVE FOR FOOTING/FOUNDATION RECOMMENDATIONS AND RECOMMENDED CONCRETE DESIGN SPECIFICATIONS
 - 5" PLAIN (NO W.W.F.) CONCRETE FLOOR SLAB RECOMMENDED IN LIEU OF 4" REINFORCED CONCRETE SLAB. WITH SLOTTING W/ W.W.F. DESIGNED FOR RESTAURANTS OR TAVERNS, THERE WILL BE A FAIR AMOUNT OF TRENCHING AND ROLLOVER OF TENANCY; AND A PLAIN SLAB IS EASIER TO MODIFY AFTER POURING THAN A REINFORCED SLAB, DESPITE THE THICKER DEPTH
 - PODIUM SLAB CONSTRUCT (INCLUDING COLUMNS): REINFORCED CONCRETE AS RECOMMENDED BY STRUCTURAL NARRATIVE. 3-HOUR FIRE RATING REQUIRED BY PROJECT DESIGN
 - STREET LEVEL CONSTRUCTION IS TYPE 1A. ALL MATERIALS SHALL BE NONCOMBUSTIBLE EXCEPT AS ALLOWED FOR BY THE OHIO BUILDING CODE (CBC SECTION 503)
 - STREET LEVEL EXTERIOR WALLS
 - FRONT WALLS: DESIGNED AS UNIT MASONRY VENEER w/ METAL STUD BACKUP. FROM 1/8" TO 1/4" TYPE X GWB; 6" 20ga METAL STUDS @ 16" o.c. w/ FOIL FACED R-19 BATT INSULATION (TAPED SEAMS); 3/4" FGLSAS FACED GYP SHEATHING WEATHER BARRIER; AIR SPACE; MASONRY VENEER.
 - REAR WALLS: 1-HR FIRE RATING REQUIRED AT NORTH WING (OPENINGS NOT RATED AS ALLOWED BY CBC TABLE 705.8 FOR UNPROTECTED, SPRINKLERED OPENINGS). DBL WYTHE INSULATED MASONRY WALL 14" FACE UNITS/CAVITY/8" BACKUP w/ INSULATED CORES. THERMAL INSULATION TO BE PROVIDED AS PART OF SPACE FIT OUT. FRONT WALL DESIGN MAY BE UTILIZED AS A VE OPTION.
 - ALL EXTERIOR UNIT MASONRY TO HAVE AN ARCHITECTURAL FINISH w/ A MASONRY SEALER APPLICATION
 - 2-HR. EXIT ENCLOSURES & ELEVATOR HOISTWAY: CLIP CONCRETE OR 8" NOMINAL CMU. WALLS AT TOP FLOOR EXPOSED TO THE EXTERIOR AND WALLS ABOVE ROOF LINE SHALL HAVE A FINISHED SURFACE AND BE EITHER CONCRETE BRICK (eg. MaxBrk), INTEGRAL COLOR CMU, OR BURNISHED CMU
 - INTERSTITIAL CEILING SYSTEM: SUSPENDED METAL CEILING SYSTEM (eg. USG® 'CELEBRATION' SERIES, USG® 'PARALINE' SERIES as VE OPTION). PERIMETER OF SYSTEM TO BE CONTAINED BY A COMPOSITE METAL PANEL SYSTEM SIM. TO ITEM B.3 BELOW
 - UPPER LEVEL EXTERIOR WALLS
 - ALL EXTERIOR WALLS AS UPPER LEVELS TO BE CONSTRUCTED WITH A 1-HR FIRE RATING
 - MASONRY VENEER: UNIT MASONRY VENEER w/ WOOD STUD BACKUP. FROM 1/8" TO 1/4" TYPE X GWB; 2x6 STUDS @ 16" o.c. w/ VAPOR BARRIER & R-19 BATT INSULATION (TAPED SEAMS); NOM. 1/2" STRUCTURAL WOOD PANEL SHEATHING WEATHER BARRIER; AIR SPACE; MASONRY VENEER.
 - RAINSCREEN VENEER: EITHER A CEMENT BOARD PANEL OR COMPOSITE METAL PANEL VENEER w/ WOOD STUD BACKUP. FROM 1/8" TO 1/4" TYPE X GWB; 2x6 STUDS @ 16" o.c. w/ VAPOR BARRIER & R-19 BATT INSULATION (TAPED SEAMS); NOM. 1/2" STRUCTURAL WOOD PANEL SHEATHING WEATHER BARRIER; STANDOFF GIRTS OR DRAINAGE MATRIX; RAINSCREEN VENEER. (PROVIDE ADDITIONAL ITEMS AS RECOMMENDED BY SELECTED FINISH MATERIAL MFR.)
 - REFERENCE BUILDING ELEVATION SHEETS FOR ALUMINUM STOREFRONT AND PUNCH WINDOW DESIGN BASIS
 - 1-HR. CORRIDOR WALLS: 2x6 STUDS @ 16" o.c. w/ 1 LAYER 3/4" TYPE X GWB EACH SIDE + FIRE RATED SEALANT AT ALL JOINTS AND CONNECTIONS w/ OTHER CONSTRUCT. PROVIDE FULL HEIGHT CONTROL JOINT AT UNIT DEMISING WALLS FOR ANY CONTINUOUS WALL RUN GREATER THAN 30'.
 - 1-HR. RATED FLOOR - CEILING ASSEMBLY: NOM. 3/4" WEATHER RESISTANT T&G STRUCTURAL FLOOR SHEATHING PANELS ON 2x4 CONSTRUCT PRE-ENG w/ MFR FLOOR TRUSSES @ 24" o.c. w/ 3/4" TYPE X GWB CEILING. CORRIDORS TO HAVE NOM. 2x JOISTS IN LIEU OF TRUSSES
 - ELEVATORS PRESUMED AS A 3500# GEN2 PREMIER FRONT/REAR DOOR MODEL BY OTIS (w/ OFFSET DOOR OPG)
 - METAL STAIR SYSTEMS: DESIGN RULING SOLUTION BY STAIR MFR. INCLUDING METAL 3x4 STAIR RUNS (STRINGERS/TREAD PANS/RISERS, LANDINGS, GUARDS AND RAILINGS. DESIGN BASIS IS CONCRETE FLOOR TREAD AND LANDING PANS
 - EXTERIOR DOORS: 14ga GALV. FRAMES (PAINTED) w/ 14ga INSULATED FLUSH HOLLOW METAL DOORS (PAINTED). EXTERIOR DOORS AND FRAMES TO BE TREATED w/ A CORROSION/RUST PROHIBITIVE COATING. ALL HOLLOW METAL DOORS TO BE EQUIPPED w/ STOREROOM LOCKSETS & CLOSERS (+ WEATHERSEALS WHERE APPLICABLE). PROVIDE PANIC EGRESS HARDWARE ON TENANT SPACE IN SOUTH WING AND STAIRWAY EXIT DOORS.
 - INTERIOR COMMERCIAL DOORS (RESIDENT LOBBY): 16ga HM FRAMES (PAINTED) w/ FLUSH SCWD DOORS (RED OAK) w/ OFFICE LOCKSETS
 - INTERIOR RESIDENTIAL DOORS (NON DWELLING UNIT): 16ga HM FRAMES (PAINTED) w/ FLUSH SCWD DOORS (RED OAK) w/ OFFICE LOCKSETS. PROVIDE 20, 45 or 90-MIN. FIRE RATINGS WHERE APPLICABLE
 - INTERIOR RESIDENTIAL DOORS (DWELLING UNITS): PROVIDE 20-MIN. FIRE RATED INTEGRATED ENTRY DOOR ASSEMBLY w/ INSULATED EMERGED METAL PANELS AT ENTRY DOOR. INTERIOR DOORS TO BE PREHUNG SOUND CORE 2 or 4-PANEL HARDBOARD DOORS
 - ALL STAIRWAY DOORS & FRAMES TO CARRY A 30-MIN. FIRE RATING. OPENSING SWING DOORS + FRAMES IN FIRE WALL SEPARATING NORTH & SOUTH WINGS TO CARRY A 30-MIN. FIRE RATING AND BE EQUIPPED WITH PANIC HARDWARE AND MAGNETIC HOLD OPENS TIED TO FIRE PROTECTION SYSTEMS. UTILITY ROOM WALLS, DOORS + FRAMES TO BE FIRE RATED AS REQUIRED BY THEIR SIZE AND EQUIPMENT CONTAINED WITHIN. ALL DOOR HARDWARE TO HAVE SATIN NICKEL (26D) FINISH. ALL THRESHOLDS, INCLUDING PATIO DOORS TO BE 3/4" MAX. ACCESSIBLE THRESHOLDS
 - FIRE WALLS SHALL BE 2-HR. FIRE RATED CONSTRUCTION and SHALL BE STRUCTURALLY STABLE ENOUGH TO PERMIT COLLAPSE OF CONSTRUCTION ON EITHER SIDE WITHOUT COLLAPSE of WALL FOR 2-HOURS OR BE CONSTRUCTED AS A DOUBLE FIRE WALL IN ACCORDANCE WITH NFPA 221.
 - GREASE SHAFT ENCLOSURES TO BE CONSTRUCTED AS A 2-HR METAL STUD SHAFTWALL ASSEMBLY (UL # U????) AND EXTEND FROM TOP OF PODIUM SLAB TO THE ROOF DECK.
 - 1-HR. RATED ROOF - CEILING ASSEMBLY: NOM. 3/4" WEATHER RESISTANT T&G STRUCTURAL ROOF SHEATHING PANELS ON 2x4 CONSTRUCT PRE-ENG w/ MFR INTERTRICED ROOF TRUSSES @ 24" o.c. w/ 3/4" TYPE X GWB CEILING. CORRIDORS & STAIR ENCLOSURES TO HAVE NOM. 2x JOISTS IN LIEU OF TRUSSES. HOISTWAY TO HAVE STEEL GIRTS & METAL DECK.
 - ADHERED MEMBRANE ROOFING SYSTEM: 60mil WHITE SHEET MEMBRANE w/ WELDED SEAMS ADHERED TO 3" RIGID ROOF INSULATION FASTENED TO DECK/SHEATHING MEMBRANE TO EXTEND UP + OVER ADJACENT PARAPETS AND BE FASTENED TO TOP PLATE of WALL. MEMBRANE TO RETURN UP MASONRY WALLS A MINIMUM of 12" & CAPPED WITH A TERM BAR, SEALANT & ST. STEEL COUNTERFLASHING REGLETED INTO CMU.

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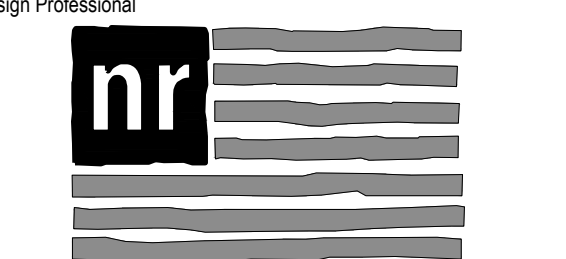
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SCHEMATIC DESIGN - NOT FOR CONSTRUCTION

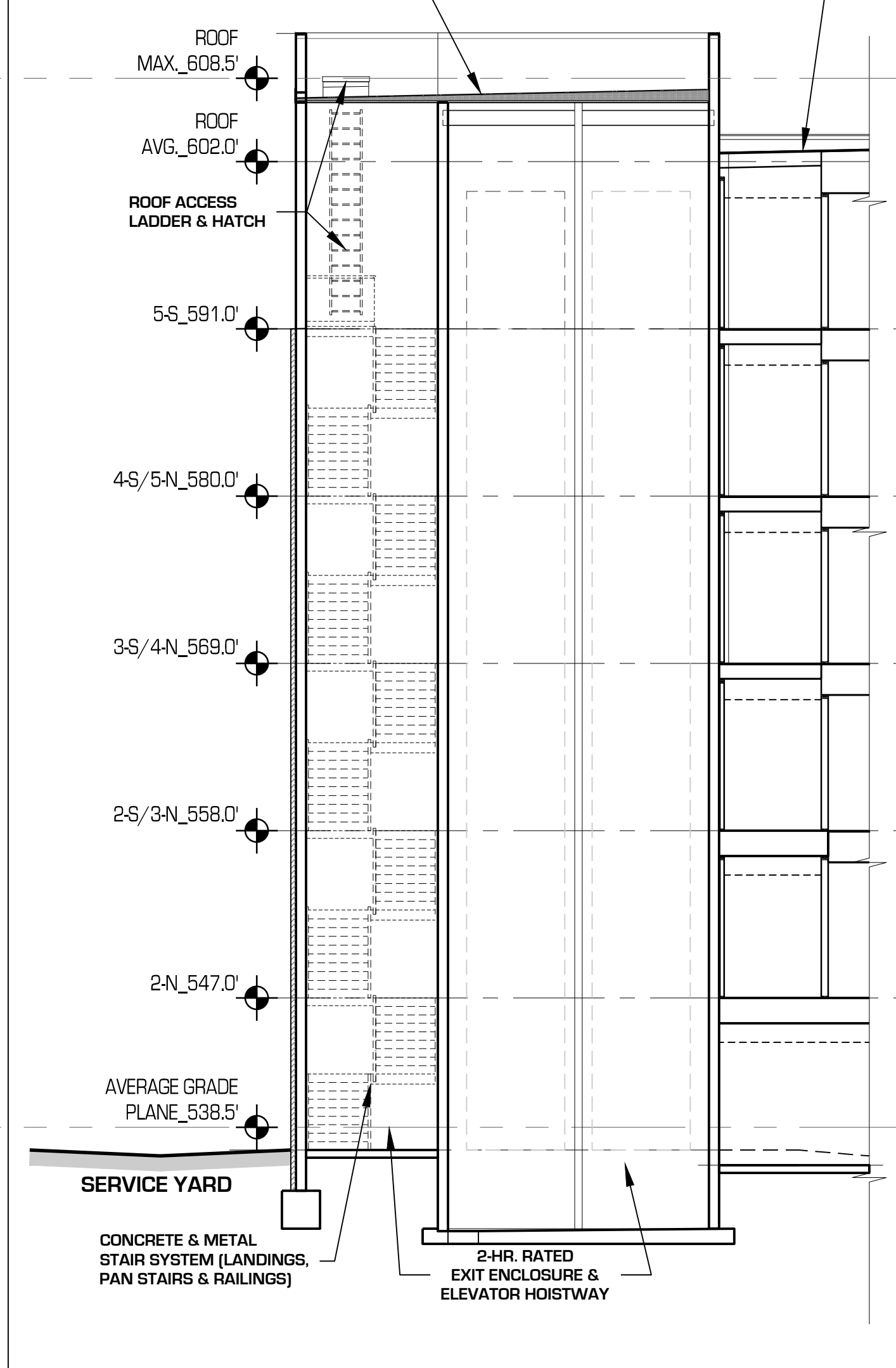
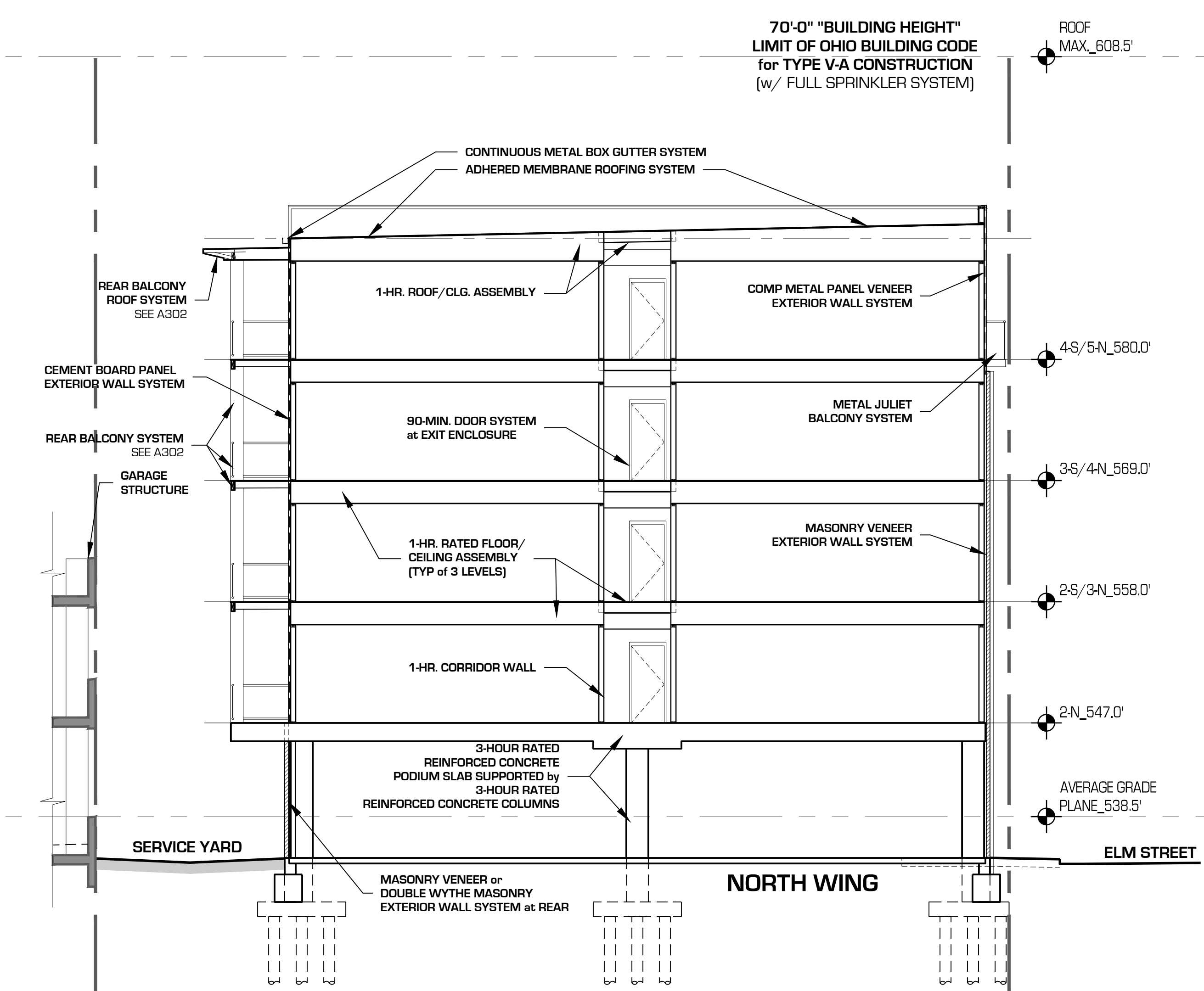
NEW MIXED-USE DEVELOPMENT
LIBERTY CORNER

NWC, LIBERTY ST. & ELM ST.
CINCINNATI, OHIO 45202
OVER THE RHINE NEIGHBORHOOD



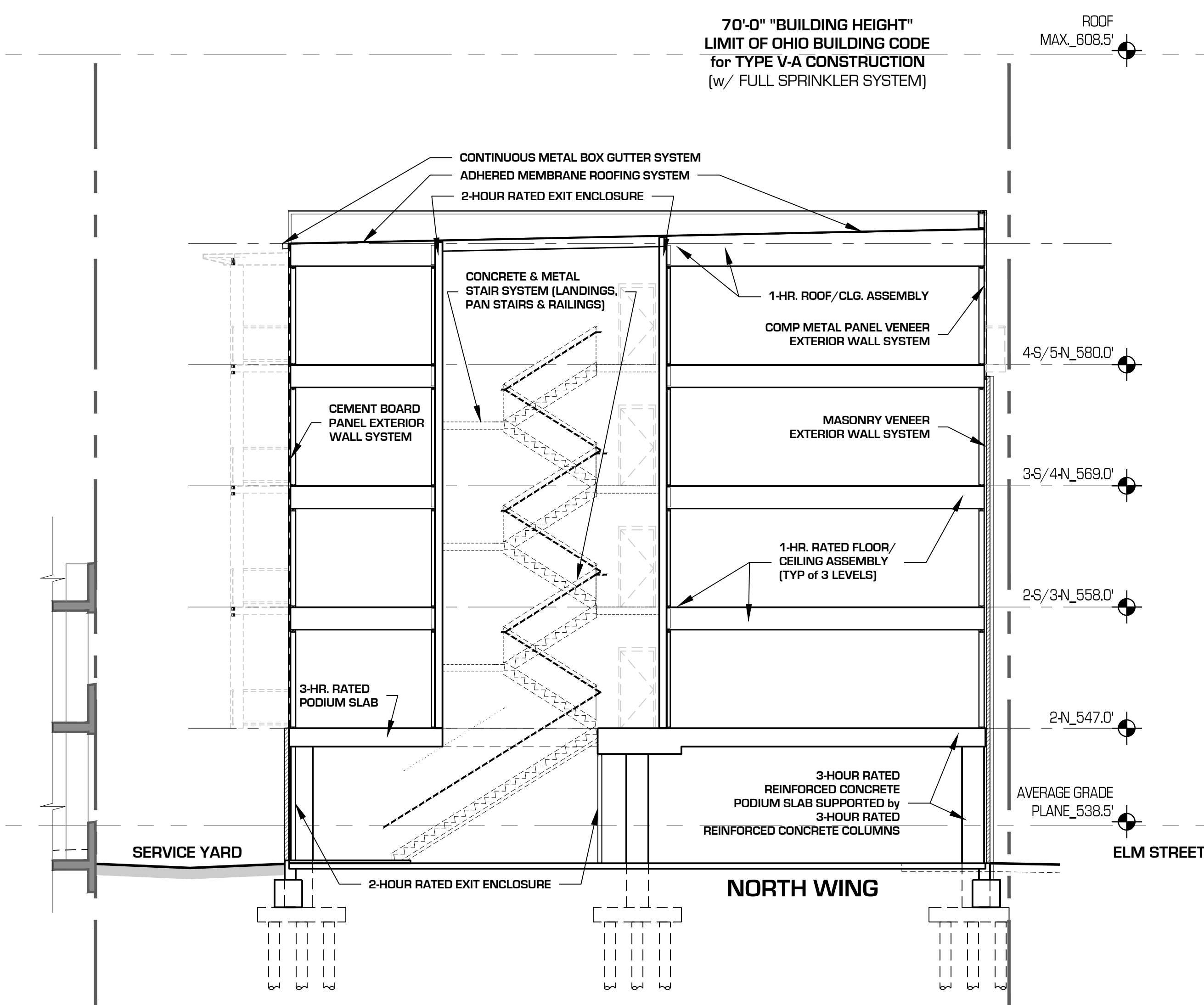
NEW REPUBLIC ARCHITECTURE
planning urbanism
513.800.8075

LIBERTY CORNER
VALUE ENGINEERING
22 JULY 2016



E1 BUILDING SECTION
1/8"=1'-0"
TRANSVERSE ... NORTH-SOUTH THROUGH DRIVE LANE OFF LIBERTY STREET

E7 BUILDING SECTION
1/8"=1'-0"
TRANSVERSE ... THROUGH CENTRAL STAIR AND ELEVATOR SHAFT



A1 BUILDING SECTION
1/8"=1'-0"
TRANSVERSE ... THROUGH NORTH STAIR AND ADJACENT UNITS

ASSEMBLIES DATA:

- ASSEMBLIES LIST ORGANIZED FROM GROUND UP
- REFERENCE GEOTECH REPORT AND STRUCTURAL NARRATIVE FOR FOOTING/FOUNDATION RECOMMENDATIONS AND RECOMMENDED CONCRETE DESIGN SPECIFICATIONS
 - 5" PLAIN (NO W.F.F.) CONCRETE FLOOR SLAB RECOMMENDED IN LIEU OF 4" REINFORCED CONCRETE SLAB. WITH SOUTH WING DESIGNED FOR RESTAURANTS OR TAVERNS, THERE WILL LIKELY BE A FAIR AMOUNT OF TRENCHING AND ROLLOVER OF TENANCY AND A PLAIN SLAB IS EASIER TO MODIFY AFTER POURING THAN A REINFORCED SLAB, DESPITE THE THICKER DEPTH
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 - STREET LEVEL EXTERIOR WALLS
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 - REAR WALLS: 1-HR. FIRE RATING REQUIRED. 4" DBL WYTHE INSULATED MASONRY WALL 14" FACE UNITS w/ DAWTY/B" BACKUP w/ UNPROTECTED SPRINKLER OPENINGS. DBL WYTHE INSULATED MASONRY WALL 14" FACE UNITS w/ DAWTY/B" BACKUP w/ INSULATED CORES. THERMAL INSULATION TO BE PROVIDED AS PART OF SPACE FIT OUT. FRONT WALL DESIGN MAY BE UTILIZED AS A VE OPTION.
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 - ALL EXTERIOR WALLS AT UPPER LEVELS TO BE CONSTRUCTED WITH A 1-HR. FIRE RATING
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 - 1-HR. CORRIDOR WALLS: 2x6 STUDS @ 16" o.c. w/ 1 LAYER 3/4" TYPE X GWB EACH SIDE + FIRE RATED SEALANT AT ALL JOINTS AND JOINTS w/ OTHER CONSTRUCT. PROVIDE FULL HEIGHT CONTROL JOINT AT UNIT DEMISING WALLS FOR ANY CONTINUOUS WALL RUN GREATER THAN 30'.
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 - ELEVATORS PRESUMED AS A 3500# GEN2 PREMIER FRONT/REAR DOOR MODEL BY OTIS (w/ OFFSET DOOR OPG)
 - METAL STAIR SYSTEMS: DESIGN IN LIEU OF STAIR SOLUTIONS. STAIR MFR. INCLUDING METAL STAIR RUNS (STRINGERS/TREAD PANS)/RISERS, LANDINGS, GUARDS AND RAILINGS. DESIGN BASIS IS CONCRETE FILLED TREAD AND LANDING PANS
 - EXTERIOR DOORS: 14ga. GALV. FRAMES (PAINTED) w/ 14ga. INSULATED FLUSH HOLLOW METAL DOORS (PAINTED). EXTERIOR DOORS AND FRAMES TO BE TREATED w/ A CORROSION/RUST PROHIBITIVE COATING. ALL HOLLOW METAL DOORS TO BE EQUIPPED w/ STOREROOM LOCKSETS & CLOSERS + WEATHERSEALS WHERE APPLICABLE. PROVIDE PANIC EGRESS HARDWARE ON TENANT SPACE IN SOUTH WING AND STAIRWAY EXIT DOORS.
 - INTERIOR COMMERCIAL DOORS (RESIDENT LOBBY): 16ga. HM FRAMES (PAINTED) w/ FLUSH SCWD DOORS (RED OAK) w/ OFFICE LOCKSETS
 - INTERIOR RESIDENTIAL DOORS (NON DWELLING UNIT): 16ga. HM FRAMES (PAINTED) w/ FLUSH SCWD DOORS (RED OAK) w/ OFFICE LOCKSETS. PROVIDE 20, 45 OR 90-MIN. FIRE RATINGS WHERE APPLICABLE
 - INTERIOR RESIDENTIAL DOORS (DWELLING UNITS): PROVIDE 20-MIN. FIRE RATED INTEGRATED ENTRY DOOR ASSEMBLY w/ INSULATED EMBOSSED METAL PANELS AT ENTRY DOOR. INTERIOR DOORS TO BE PRE-HUNG SOUND CORE 2 OR 4-PANEL HARBORDOOR DOORS
 - ALL STAIRWAY DOORS + FRAMES TO CARRY A 90-MIN. FIRE RATING. OPPOSING SWING DOORS + FRAMES IN FIRE WALL SEPARATING NORTH & SOUTH WINGS TO CARRY A 30-MIN. FIRE RATING AND BE EQUIPPED WITH PANIC HARDWARE AND MAGNETIC HOLD OPENS TIED TO FIRE PROTECTION SYSTEMS. UTILITY ROOM WALLS, DOORS + FRAMES TO BE FIRE RATED AS REQUIRED BY THEIR SIZE AND EQUIPMENT CONTAINED WITHIN. ALL DOOR HARDWARE TO HAVE SATIN NICKEL (26D) FINISH. ALL THRESHOLDS, INCLUDING PATIO DOORS TO BE 3/4" MAX. ACCESSIBLE THRESHOLDS
 - FIRE WALL SHALL BE 2-HR. FIRE RATED CONSTRUCTION AND SHALL BE STRUCTURALLY STABLE ENOUGH TO PERMIT COLLAPSE OF CONSTRUCTION ON EITHER SIDE WITHOUT COLLAPSE OF WALL FOR 2-HOURS OR BE CONSTRUCTED AS A DOUBLE FIRE WALL IN ACCORDANCE WITH NFPA 221.
 - GREASE SHAFT ENCLOSURES TO BE CONSTRUCTED AS A 2-HR METAL STUD SHAFTWALL ASSEMBLY (UL # U????) AND EXTEND FROM TOP OF PODIUM SLAB TO THE ROOF DECK.
 - 1-HR. RATED ROOF - CEILING ASSEMBLY: NOM. 3/4" WEATHER RESISTANT T&G STRUCTURAL ROOF SHEATHING PANELS ON 2x4 CONSTRUCT. PRE-ENG BY MFR MOUNTED ROOF TRUSSES @ 24" o.c. w/ 3/4" TYPE X GWB CEILING. CORRIDORS & STAIR ENCLOSURES TO HAVE NOM. 2x JOISTS IN LIEU OF TRUSSES. HOISTWAY TO HAVE STEEL GIRTS & METAL DECK.
 - ADHERED MEMBRANE ROOFING SYSTEM: 60mil WHITE SHEET MEMBRANE w/ WELDED SEAMS ADHERED TO 3" RIGID ROOF INSULATION FASTENED TO DECK/SHEATHING. MEMBRANE TO EXTEND UP + OVER ADJACENT PARAPETS AND BE FASTENED TO TOP PLATE OF WALL. MEMBRANE TO RETURN UP MASONRY WALLS A MINIMUM OF 12" & CAPPED WITH A TERM BAR, SEALANT & ST. STEEL COUNTERFLASHING REGLETED INTO CMU.

VALUE ENGINEERING	07.22.2016
HCS SUBMISSION	06.10.2016
SCHEMATIC PRICING SET	05.27.2016

No.	Revisions/Submissions	Date
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BUILDING SECTIONS	
Drawn	WBH---
Project No.	2014-077
Checked	GNK
Date	---, 2016
Document No.	

A303
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SCHEMATIC DESIGN - NOT FOR CONSTRUCTION

NOTES:

UNIT PLANS ARE SCHEMATIC IN NATURE AND HAVE NOT YET BEEN FULLY TESTED AGAINST FHA / ANSI ACCESSIBILITY STANDARDS
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 ALL SQUARE FOOTAGE IS SUBJECT TO CHANGE
 MECHANICAL UNITS HAVE NOT YET BEEN VERIFIED WITH MANUFACTURER FOR PROPER CLEARANCES.

NEW MIXED-USE DEVELOPMENT

LIBERTY CORNER

NWC, LIBERTY ST. & ELM ST.
 CINCINNATI, OHIO 45202
 OVER THE RHINE NEIGHBORHOOD



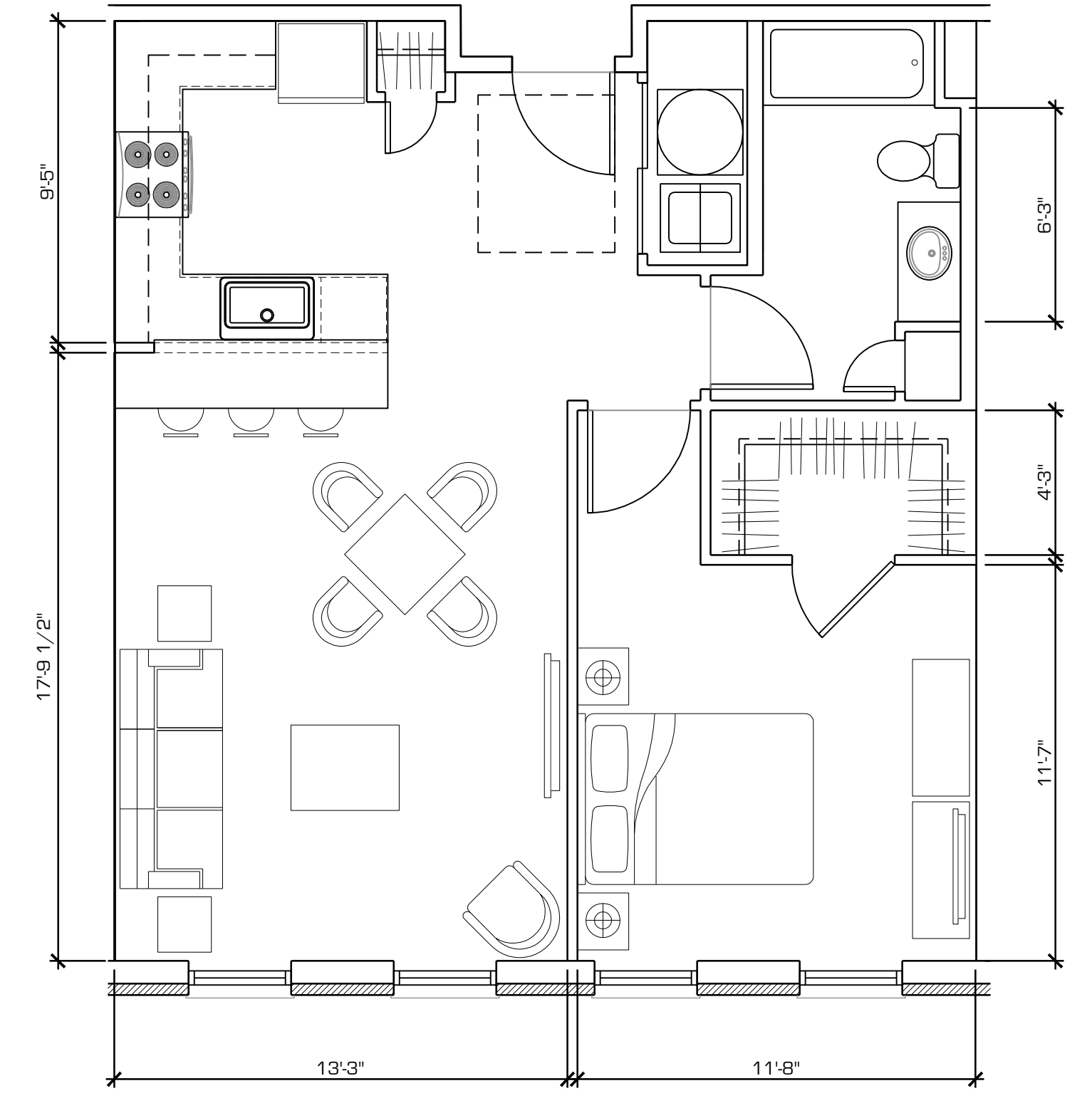
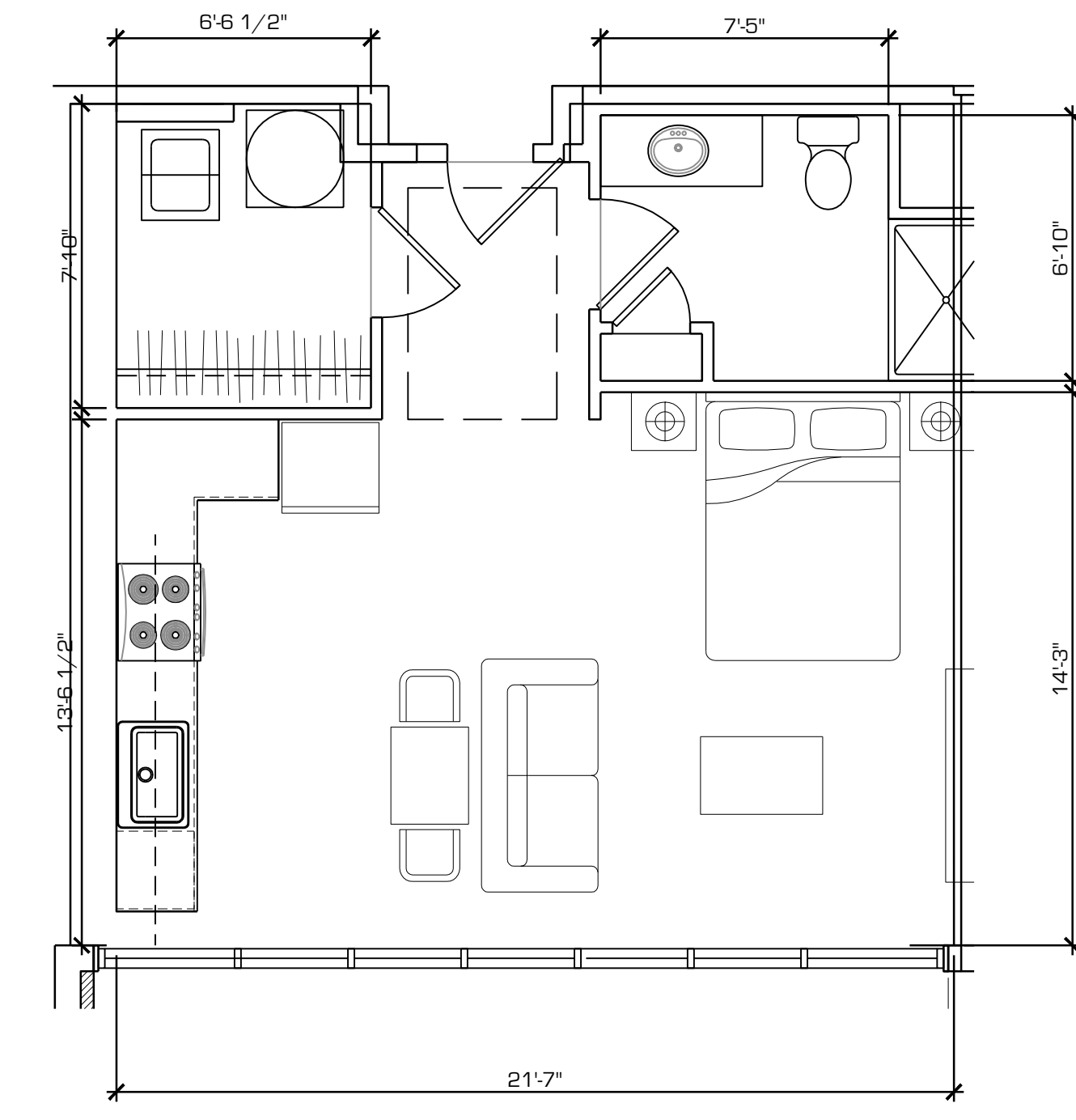
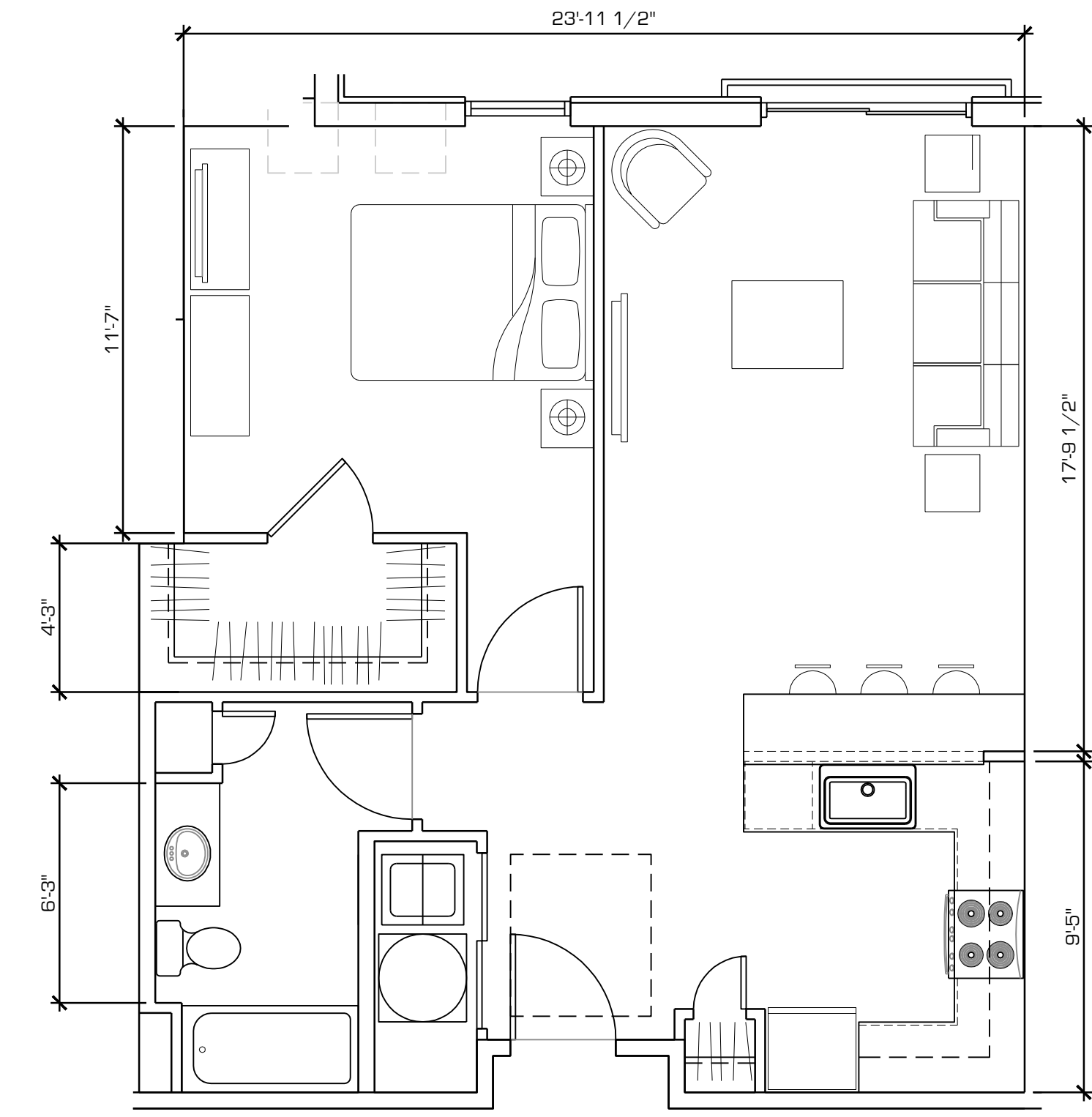
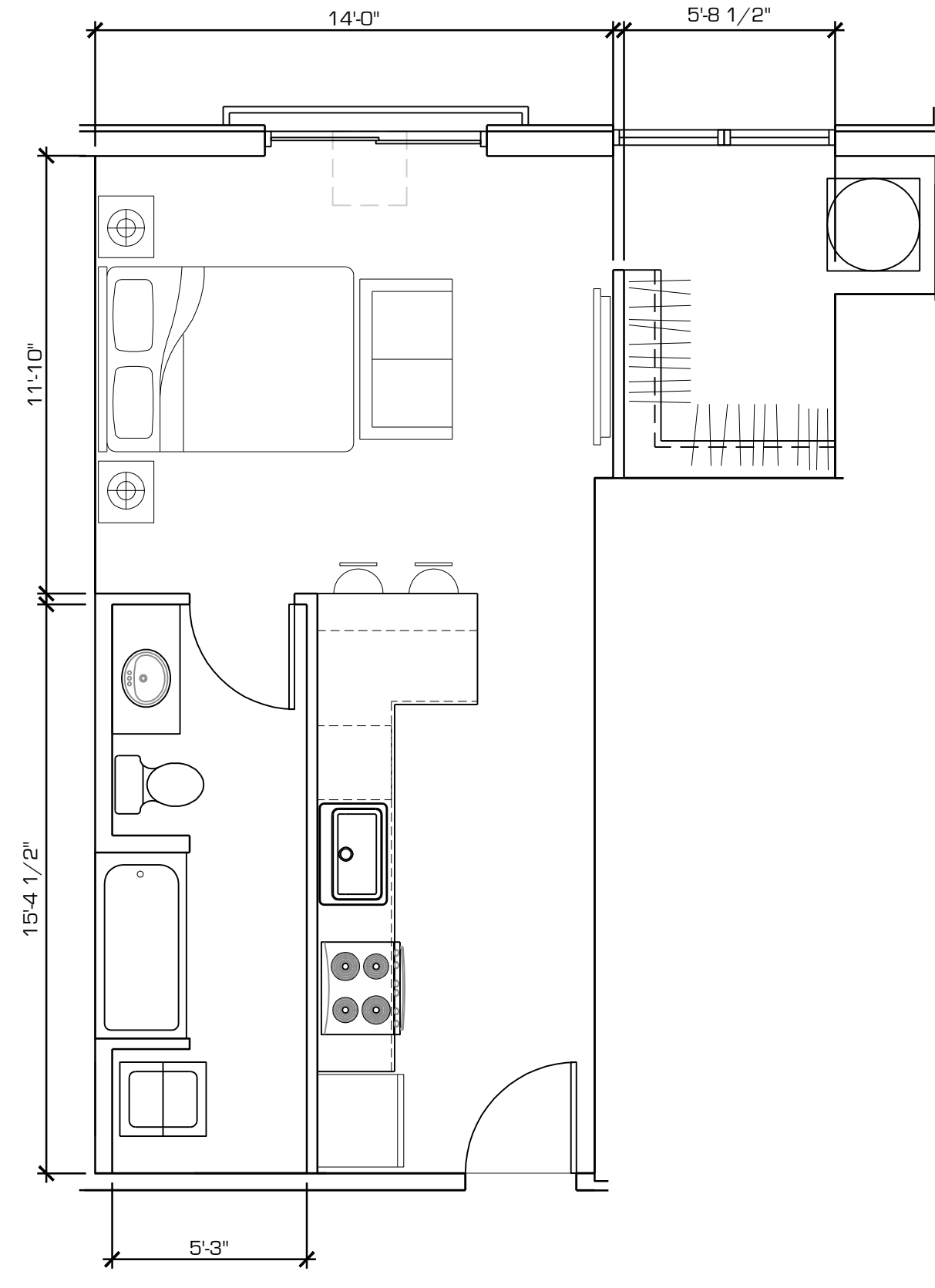
LIBERTY CORNER
 VALUE ENGINEERING
 22 JULY 2016

No.	Revisions/Submissions	Date
	VALUE ENGINEERING	07.22.2016
	HCB SUBMISSION	06.10.2016
	SCHEMATIC PRICING SET	05.27.2016

UNIT PLANS
 Drawn: WBH/... Project No: 2014-077
 Checked: GMK Date: ---, 2016
 Document No.

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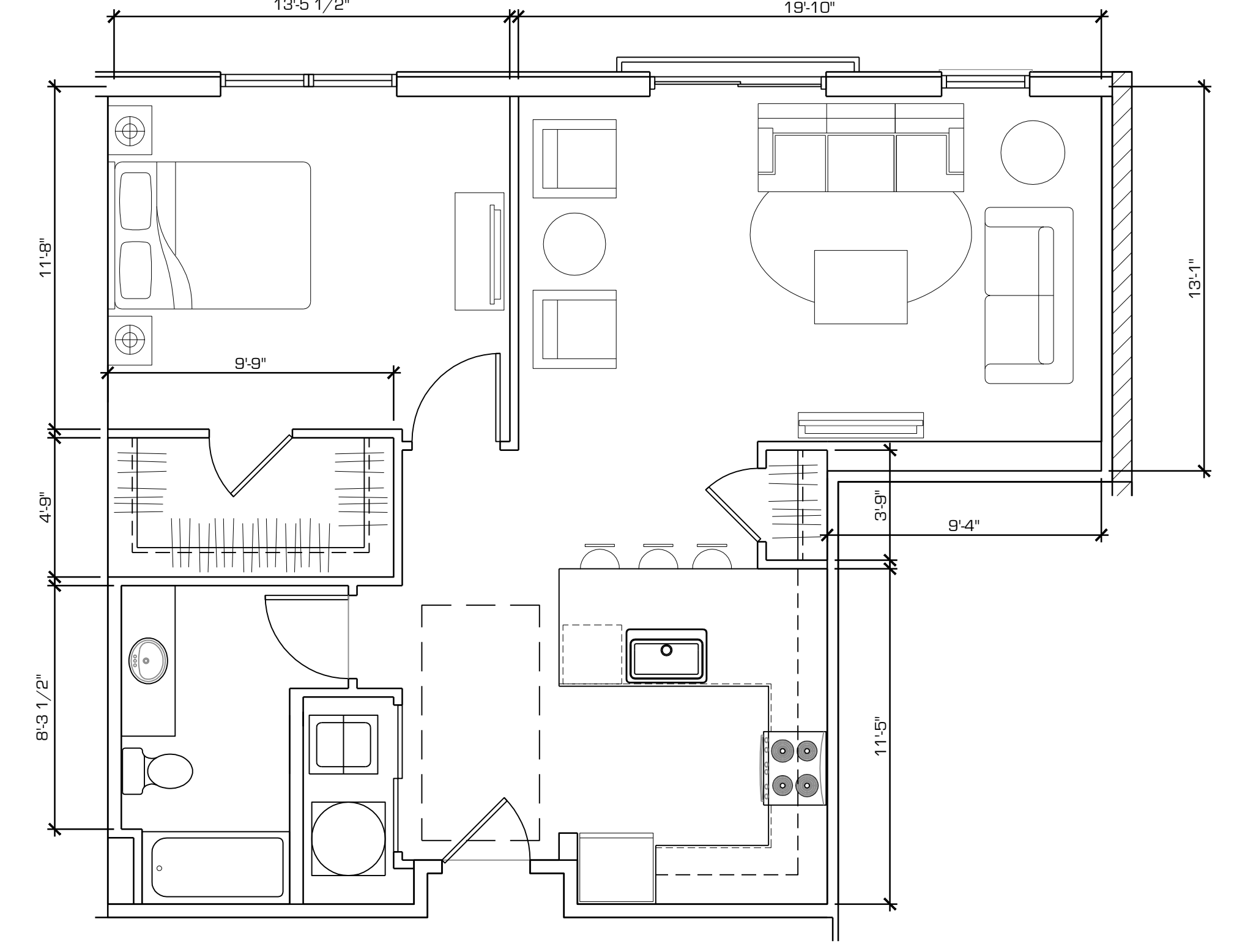
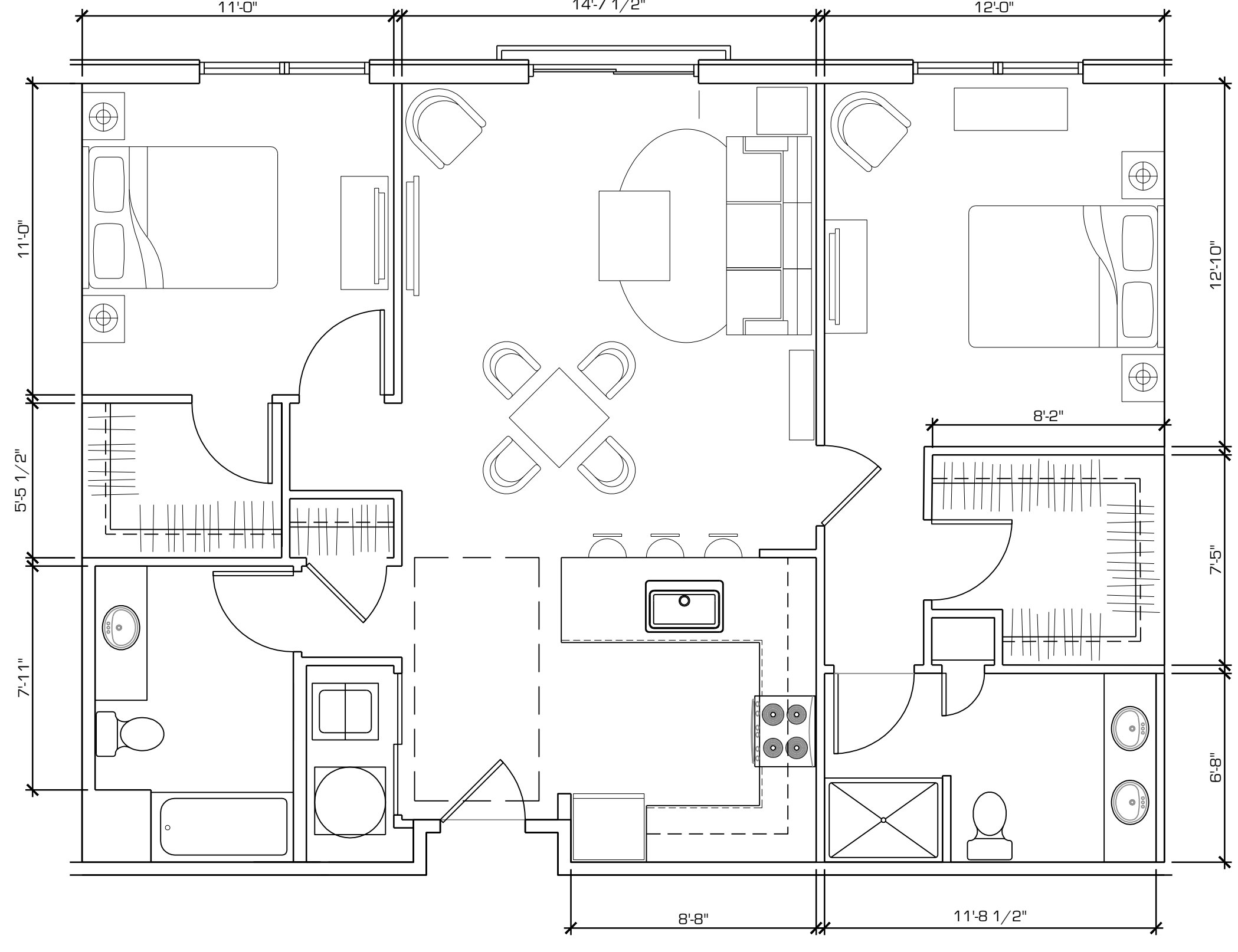
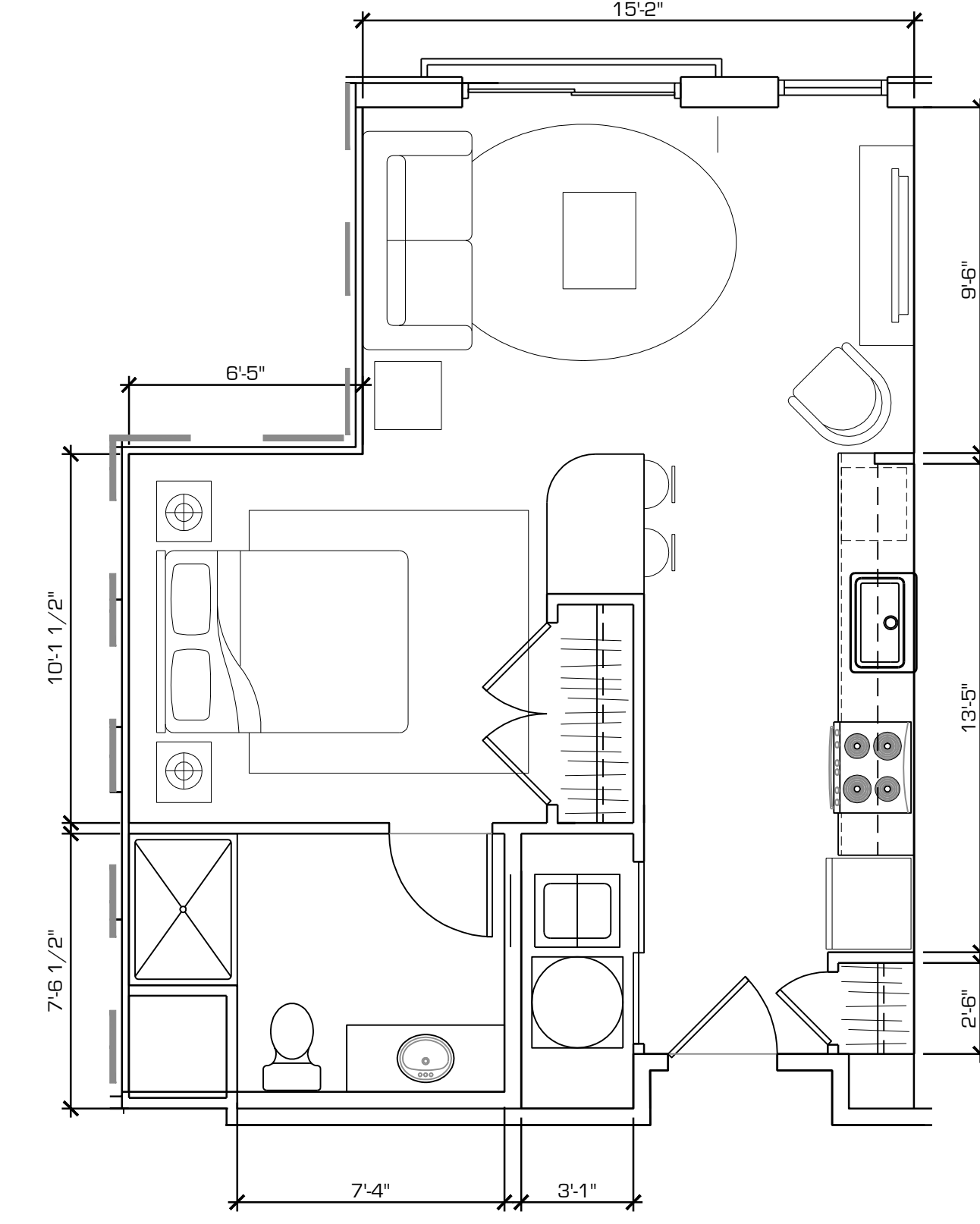


E1 UNIT PLAN G
 1/4"=1'-0"
 STUDIO -437± SF

E5 UNIT PLAN F
 1/4"=1'-0"
 ONE BEDROOM -670± SF

E7 UNIT PLAN E
 1/4"=1'-0"
 STUDIO -530± SF

E10 NOT USED
 1/4"=1'-0"



A1 UNIT PLAN C
 1/4"=1'-0"
 STUDIO -530± SF

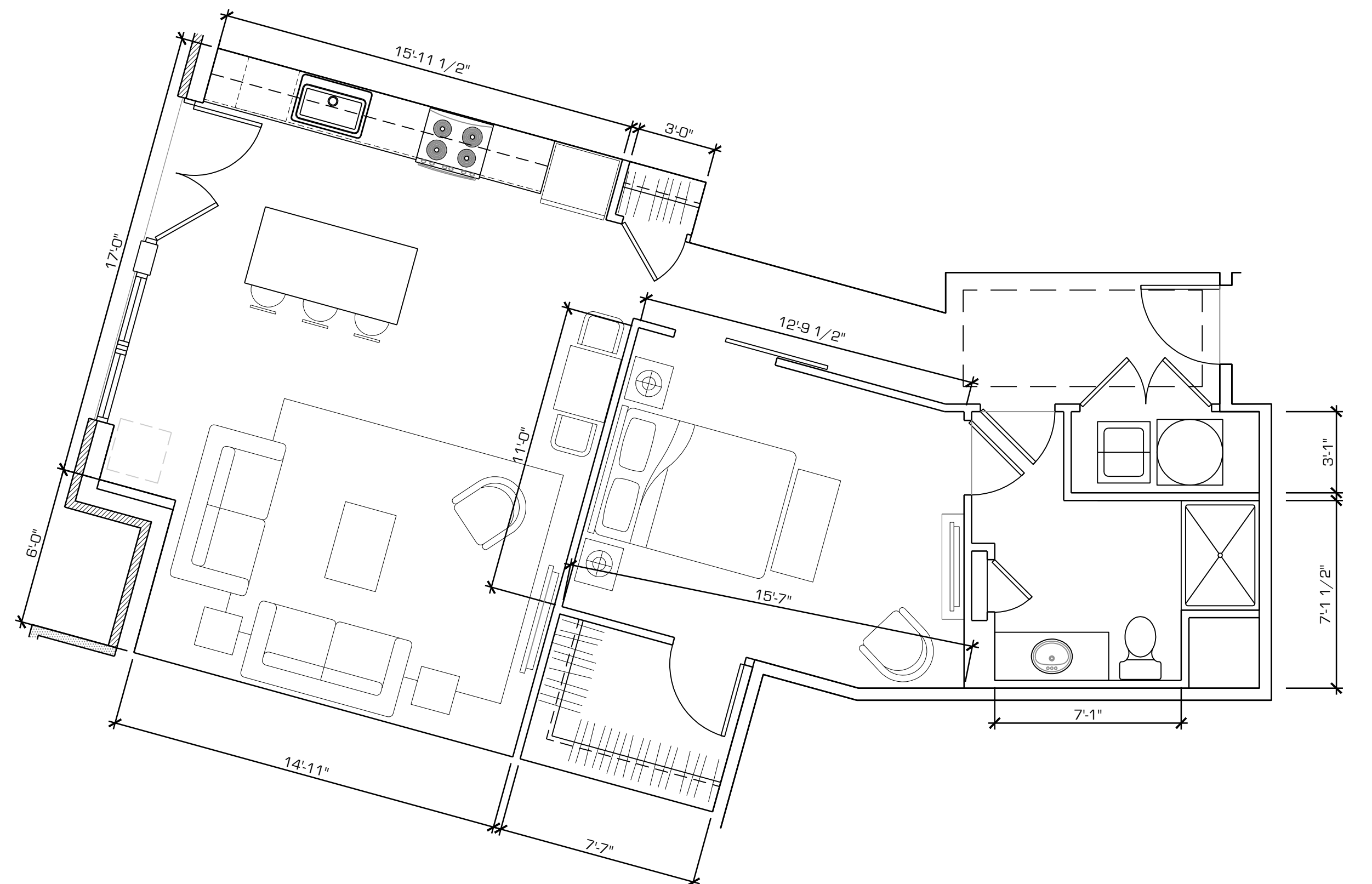
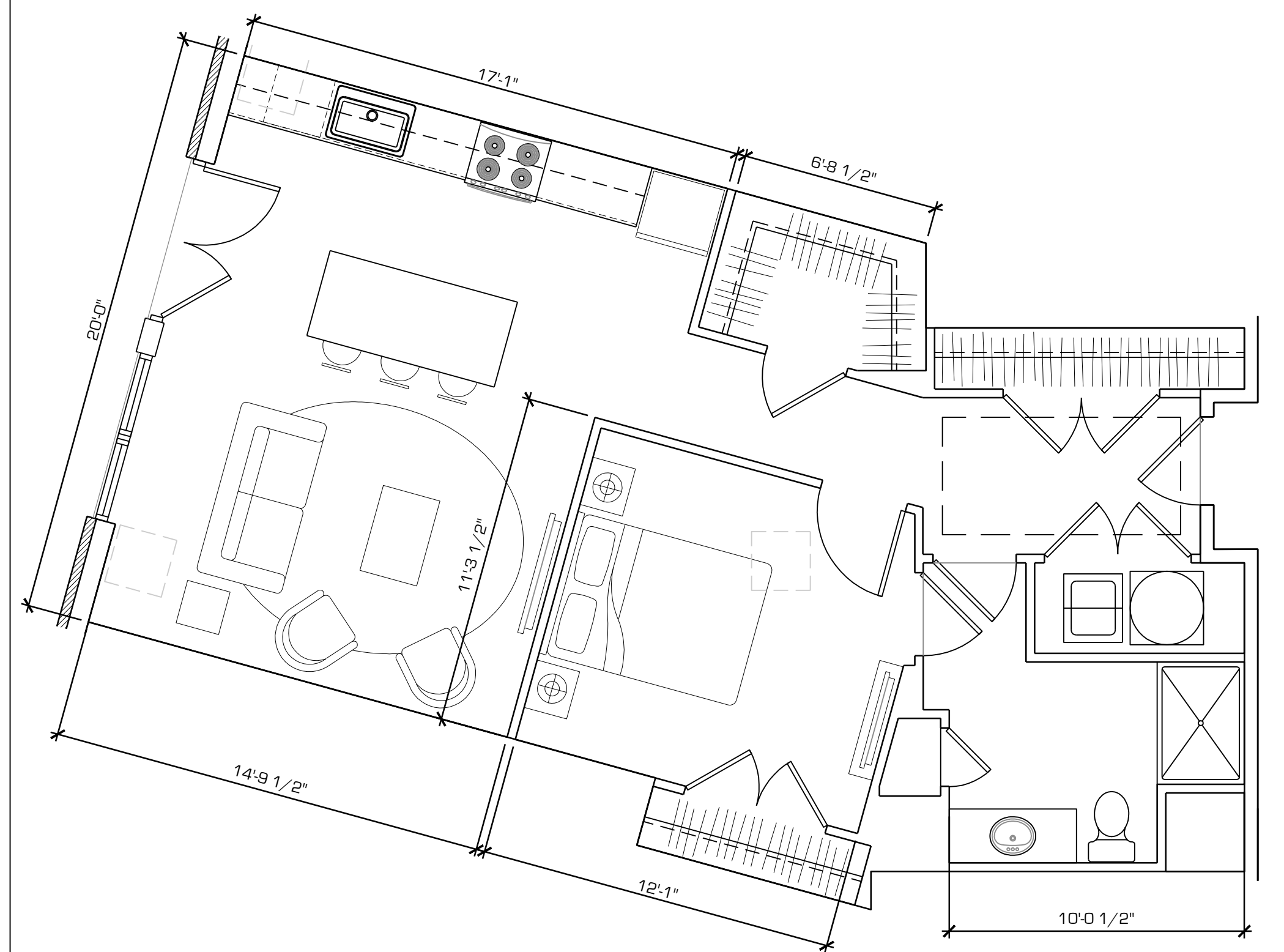
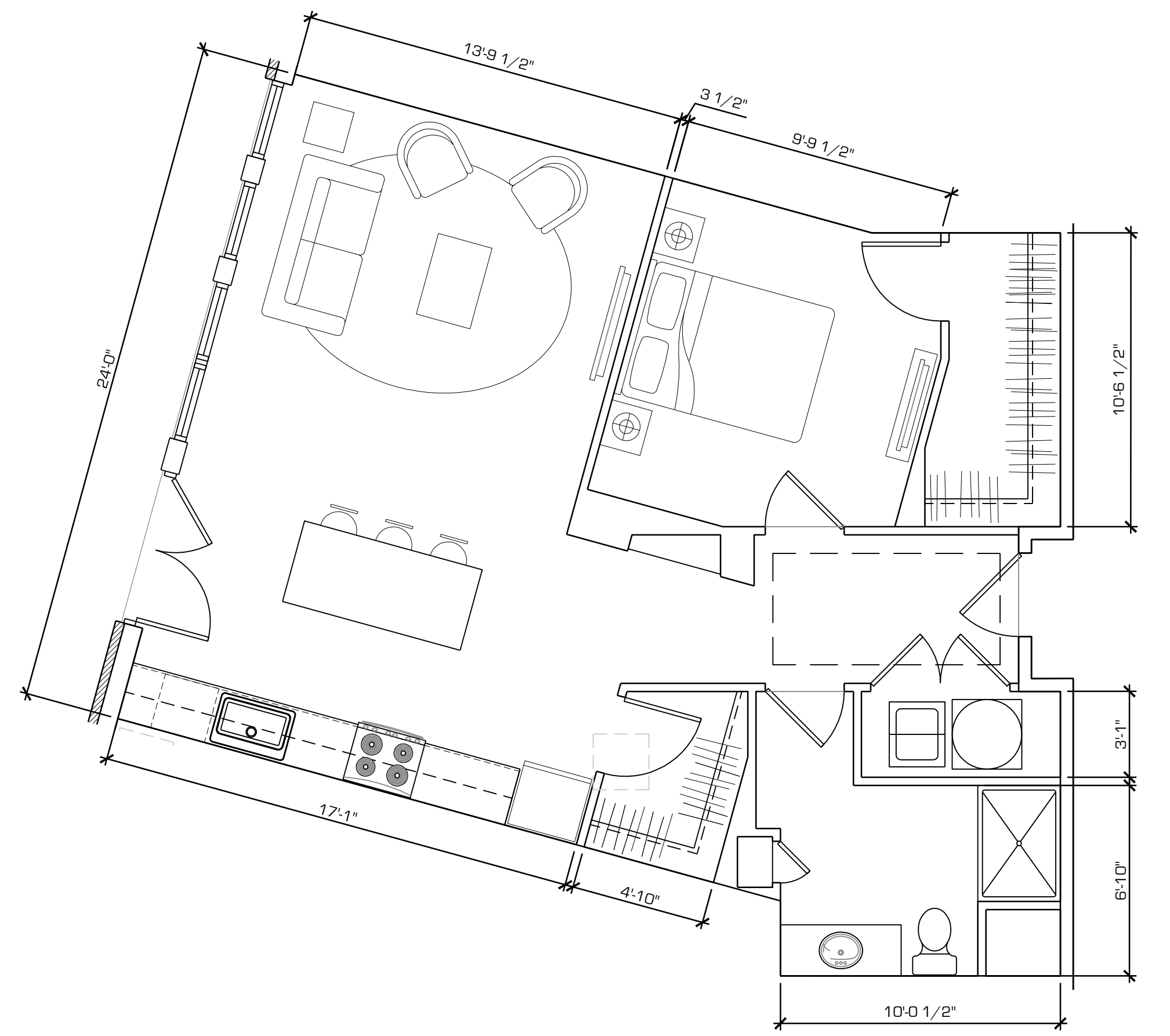
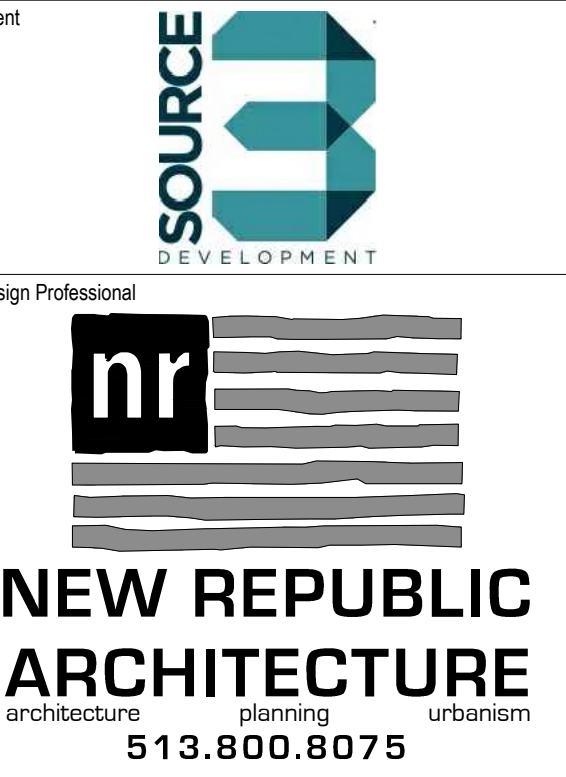
A5 UNIT PLAN B
 1/4"=1'-0"
 TWO BEDROOM -1050± SF

A9 UNIT PLAN A
 1/4"=1'-0"
 ONE BEDROOM -783± SF

SCHEMATIC DESIGN - NOT FOR CONSTRUCTION

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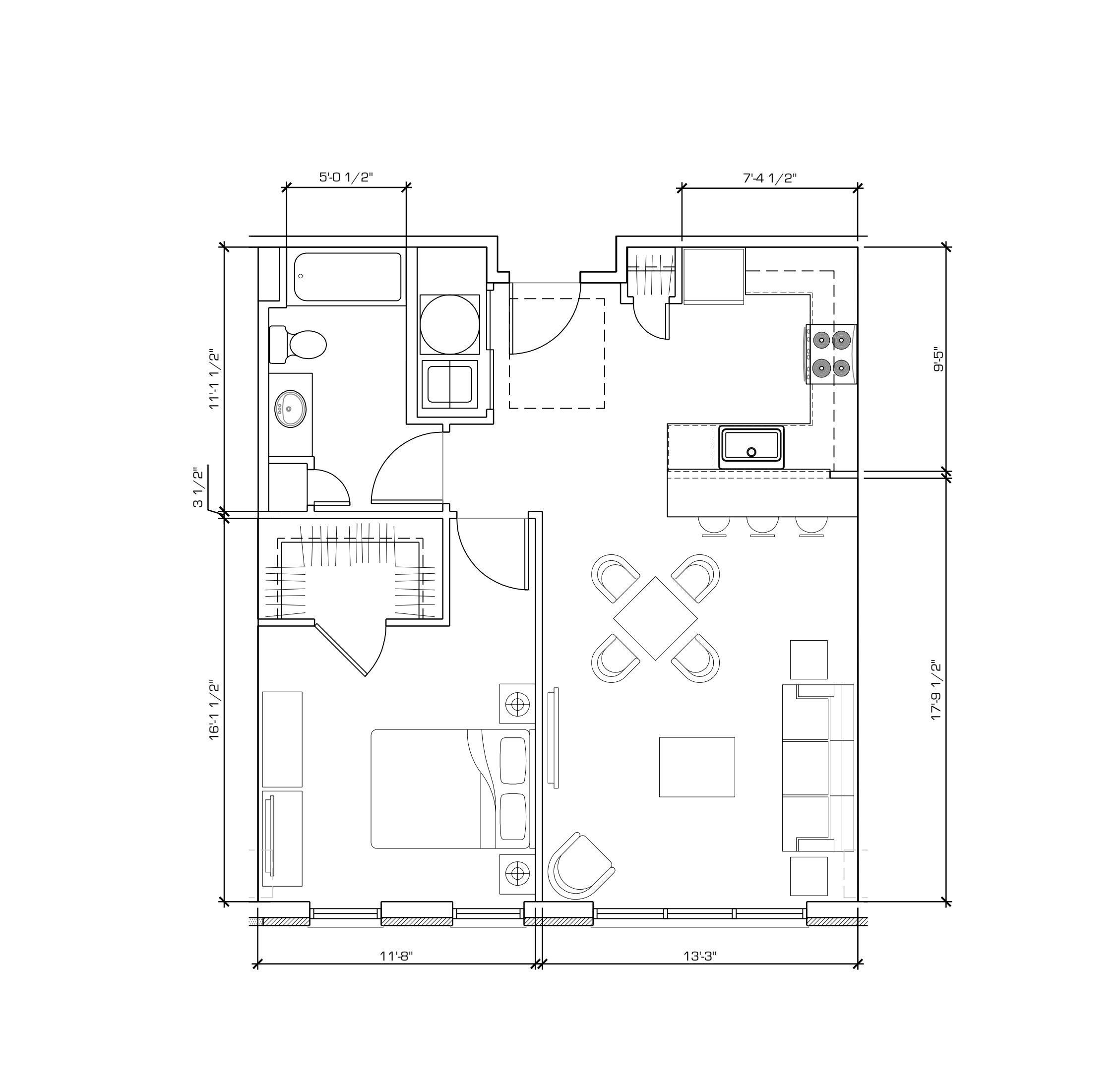
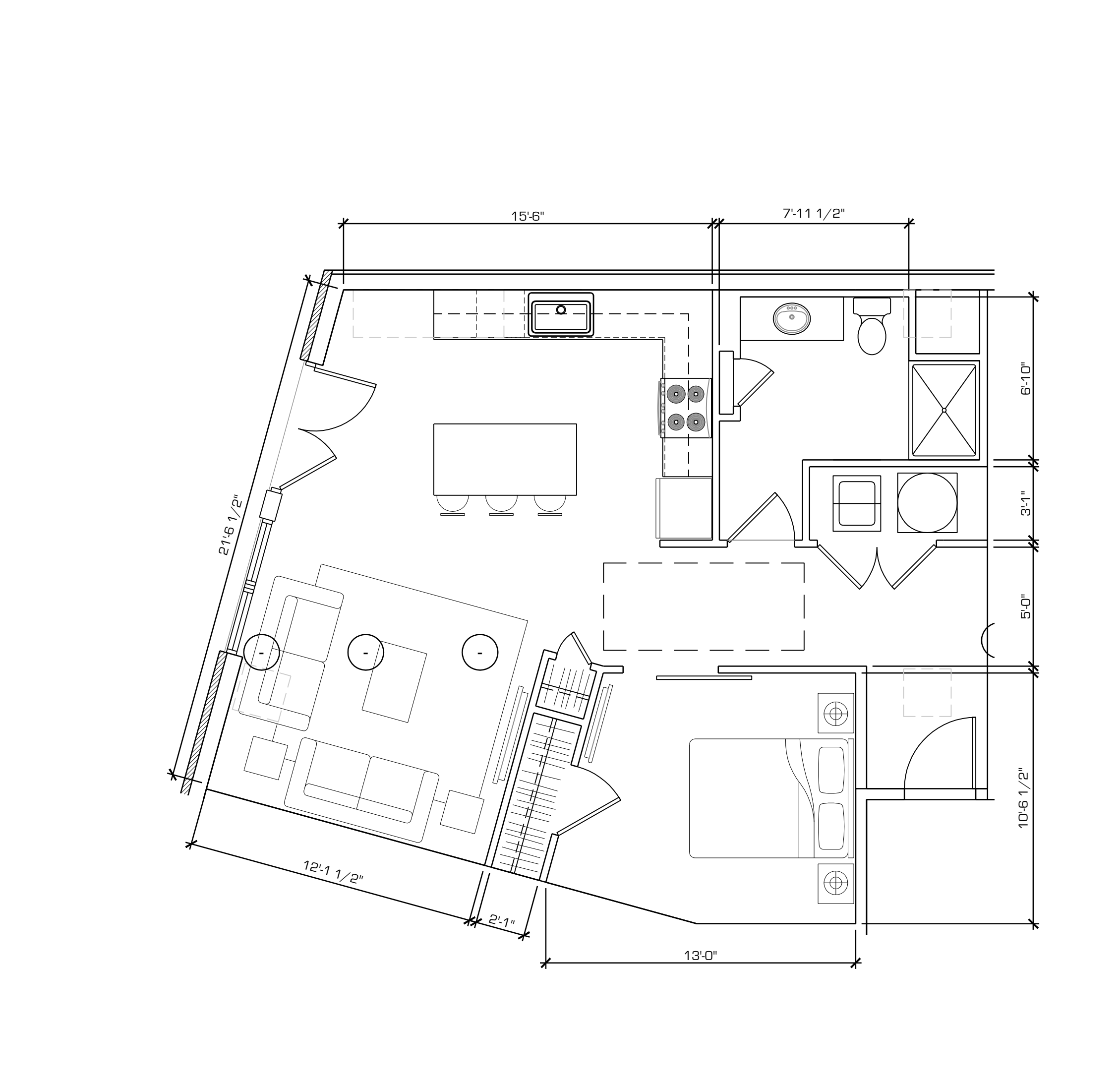
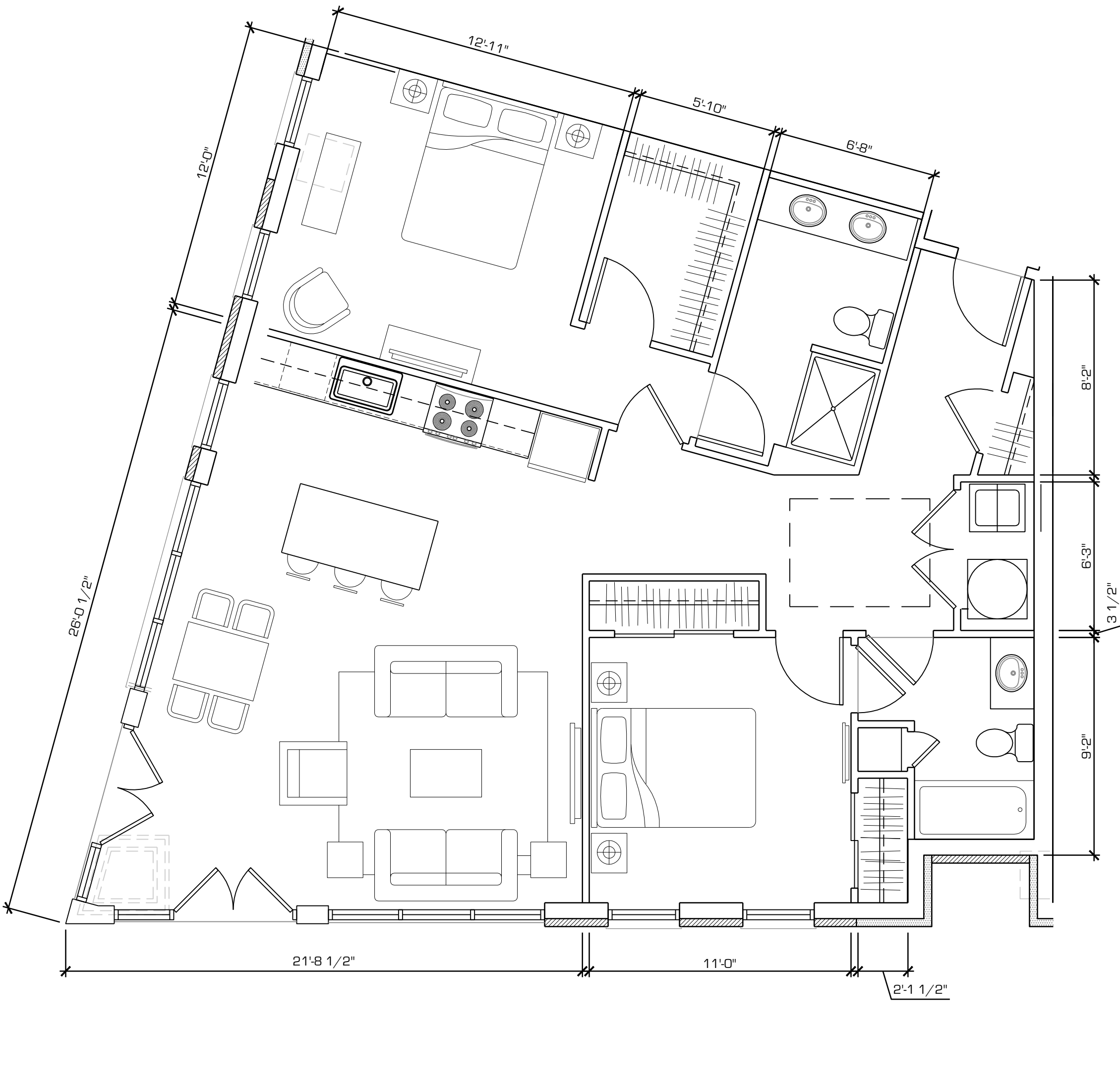
NEW MIXED-USE DEVELOPMENT
LIBERTY CORNER
 NWC, LIBERTY ST. & ELM ST.
 CINCINNATI, OHIO 45202
 OVER THE RHINE NEIGHBORHOOD



E1 UNIT PLAN N
 1/4"=1'-0"
ONE BEDROOM -755± SF

E5 UNIT PLAN M
 1/4"=1'-0"
ONE BEDROOM -752± SF

E9 UNIT PLAN L
 1/4"=1'-0"
ONE BEDROOM 829± SF



A1 UNIT PLAN K
 1/4"=1'-0"
TWO BEDROOM -1100± SF

A5 UNIT PLAN J
 1/4"=1'-0"
ONE BEDROOM -723± SF

A9 UNIT PLAN H
 1/4"=1'-0"
1 BEDROOM -693± SF

LIBERTY CORNER
VALUE ENGINEERING
 22 JULY 2016

VALUE ENGINEERING	07.22.2016
HCS SUBMISSION	06.10.2016
SCHEMATIC PRICING SET	05.27.2016
No. Revisions/Submissions	Date
UNIT PLANS	
Drawn: WBH/---	Project No: 2014-077
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Not for Construction

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07 22 00

Cementitious Fiber Panels

07 22 00 - Exterior Fiber Cement Cladding

SECTION INCLUDES

- A. Exterior, panelized fiber cement cladding system and accessories to complete a drained and back-ventilated rainscreen.
- B. Interior fiber cement panelized cladding system and accessories.

2 RELATED SECTIONS

- A. Section 05 41 00 - Structural Metal Stud Framing
- B. Section 06 10 00 - Rough Carpentry
- C. Section 06 16 00 - Sheathing
- D. Section 07 20 00 - Thermal Protection
- E. Section 07 25 00 - Weather Barriers
- F. Section 07 60 00 - Flashing and Sheet Metal
- G. Section 07 90 00 - Joint Protection

REFERENCES

- A. American Architectural Manufacturers Association (AAMA):
 - 1. AAMA 509-09 – Voluntary Test and Classification Method of Drained and Back Ventilated Rain Screen Wall Cladding Systems
- B. ASTM International (ASTM):
 - 1. ASTM C 518 - Standard Test Method for Steady-State Thermal Transmission Properties by Means of the Heat Flow Meter Apparatus.
 - 2. ASTM C 1185 - Standard Test Methods for Sampling and Testing Non-Asbestos Fiber Cement.
 - a. ASTM C 1186 – Standard Specification for Flat Fiber-Cement Sheets.
 - 3. ASTM E-84 - Standard Test for Surface Burning Characteristics of Building Materials.
 - 4. ASTM E 119 - Standard Test Methods for Fire Tests of Building Construction and Materials.
 - 5. ASTM E 228 - Standard Test Method for Linear Thermal Expansion of Solid Materials with a Vitreous Silica Dilatometer.

6. ASTM E 330 - Standard Test Method for Structural Performance of Exterior Windows, Curtain Walls, and Doors by Uniform Static Air Pressure Difference.

7. ASTM E 331 - Standard Test Method for Water Penetration of Exterior Windows, Curtain Walls, and Doors by Uniform Static Air Pressure Difference.

8. ASTM G 23 - Standard Practice for Operating Light-Exposure Apparatus (Carbon-Arc Type) with and without Water for Exposure of Nonmetallic Materials, Replaced by G152 and G153.

C. Florida Building Code - Test Protocol HVHZ

1. Testing Application Standard (TAS) 201, 202, 203 – Impact Test Procedures

D. National Fire Protection Association (NFPA):

1. NFPA 285 - Fire Test Method for Exterior Wall Assemblies Containing Combustible Material.

2. NFPA 268 – Ignition Resistance of Exterior Wall Assemblies.

E. Standards Council of Canada & Underwriters Laboratories Canada (ULC):

1. CAN/ULC S-102 – Standard Method of Test for Surface Burning Characteristics.

2. CAN/ULC S-134 – Standard Method of Fire Test of Exterior Wall Assembly.

□□□ S□BM□□□ALS

A. Submit under provisions of Section 01 33 00.

B. Product Data: Submit manufacturer’s product description, storage and handling requirements, and installation instructions.

C. Product Test Reports and Code Compliance: Documents demonstrating product compliance with local building code, such as test reports or Evaluation Reports from qualified, independent testing agencies.

D. LEED Credits: Provide documentation of LEED Credits for project certification under USGBC LEED 2009 (Version 3.0).

E. Manufacturer’s Details: Submit drawings (.dwg, .rvt, and/or .pdf formats), including plans, sections, showing installation details that demonstrate product dimensions, edge/termination conditions/treatments, compression and control joints, corners, openings, and penetrations.

F. Samples: Submit samples of each product type proposed for use.

□5 □□AL□□ ASS□RANCE

A. Manufacturer Qualifications:

1. All fiber cement panels specified in this section must be supplied by a manufacturer with a minimum of 10 years of experience in fabricating and supplying fiber cement cladding systems.

a. Products covered under this section are to be manufactured in an ISO 9001 certified facility.

2. Provide technical and design support as needed regarding installation requirements and warranty compliance provisions.

B. Installer Qualifications: All products listed in this section are to be installed by a single installer trained by manufacturer or representative.

C. Mock-Up Wall: Provide a mock-up wall as evaluation tool for product and installation workmanship.

D. Pre-Installation Meetings: Prior to beginning installation, conduct conference to verify and discuss substrate conditions, manufacturer's installation instructions and warranty requirements, and project requirements.

6 DELIVER, STORE AND HANDLE

A. Panels must be stored flat and kept dry before installation. A waterproof cover over panels and accessories should be used at all times prior to installation.

B. If panels are exposed to water or water vapor prior to installation, allow to completely dry before installing. Failure to do so may result in panel shrinkage at ship lap joints, and such action may void warranty.

C. Panels MUST be carried on edge. Do not carry or lift panels flat. Improper handling may cause cracking or panel damage.

D. Direct contact between the panels and the ground should be avoided at all times. It is necessary to keep panels clean during installation process.

7 WARRANTY

A. Provide manufacturer's 50-year warranty against manufactured defects in fiber cement panels.

B. Provide manufacturer's 15-year warranty against manufactured defects in panel finish.

C. Warranty provides for the original purchaser. See warranty for detailed information on terms, conditions and limitations.

APPENDICES

2 MANUFACTURERS

A. Acceptable Manufacturer: Nichiha Corporation, 18-19 Nishiki 2-chome Naka-ku, Nagoya, Aichi 460-8610, Japan.

B. Acceptable Manufacturer's Representative: Nichiha USA, Inc., 6465 E. Johns Crossing, Suite 250, Johns Creek, GA 30097. Toll free: 1.866.424.4421, Office: 770.805.9466, Fax: 770.805.9467, www.nichiha.com.

1. Basis of Design Product: Nichiha Illumination Series.

a. Profile colors: **Designer-specified custom color (finished in U.S.).**

b. Profiles:

1. AWP-1818 Panel: Large (without score line) or Small (with added score line).
2. AWP-3030 Panel: No score lines. Wider, soft-U chamfered edge at horizontal joints.

c. Accessory/Component Options:

- i. Manufactured Corners with 3-1/2" returns for each profile size and color.
 - a. Do not use AWP-1818 Corners with AWP-3030 Panels.
- ii. Aluminum trim to be painted per finish schedule: Outside corners (Corner Key, Open Outside Corner), vertical joints (H-Mold), terminations (J-Mold)
- iii. Essential Flashing System: Starter, Compression Joint, Overhang.

d. Dimensions:

1. AWP-1818: 455mm (17-7/8") (h) x 1,818 mm (71-9/16") (l).
2. AWP-3030: 455mm (17-7/8") (h) x 3,030 mm (119-5/16") (l).

e. Panel Thickness: 16 mm (5/8").

f. Finish: Matte, smooth.

g. Weight: AWP-1818: 35.27 lbs. per panel, AWP-3030: 57.32 lbs. per panel.

h. Coverage: 8.88 sq. ft. per panel (1818), 14.81 sq. ft. per panel (3030).

i. Factory sealed on six [6] sides.

C. Substitutions: Not permitted.

D. Requests for substitutions will be considered in accordance with provisions of Section 01 60 00.

2.2 MATERIALS

A. **Fiber cement panels manufactured from a pressed, stamped, and autoclaved mix of Portland cement, fly ash, silica, recycled rejects, and wood fiber bundles.**

B. Panel surface pre-finished and machine applied.

C. Panels profiled along all four edges, such that both horizontal and vertical joints between the installed panels are ship-lapped.

D. Factory-applied sealant gasket added to top and right panel edges; all joints contain a factory sealant.

2. PERFORMANCE REQUIREMENTS

A. Fiber Cement Cladding – Must comply with ASTM C-1186, Type A, Grade II requirements:

1. Wet Flexural Strength, lower limit: 1015 psi.
2. Water Tightness: No water droplets observed on any specimen.
3. Freeze-thaw: No damage or defects observed.
4. Warm Water: No evidence of cracking, delamination, swelling, or other defects observed.
5. Heat-Rain: No crazing, cracking, or other deleterious effects, surface or joint changes observed in any specimen.

B. Mean Coefficient of Linear Thermal Expansion (ASTM E-228): Max 1.0×10^{-5} in./in. F.

C. Surface Burning (CAN-ULC S102/ASTM E-84): Flame Spread: 0, Smoke Developed: 5.

D. Wind Load (ASTM E-330): Contact manufacturer for ultimate test pressure data corresponding to framing type, dimensions, fastener type, and attachment clips. Project engineer(s) must determine Zone 4 and 5 design pressures based on project specifics.

1. Minimum lateral deflection: L/120.

E. Water Penetration (ASTM E-331): No water leakage observed into wall cavity.

F. Weather Resistant (ASTM G-23): No cracking, checking, crazing, erosion, or other detrimental effects observed.

G. Steady-State Heat Flux and Thermal Transmission Properties Test (ASTM C-518): thermal resistance R Value of 1.23.

H. Fire Resistant (ASTM E-119): The wall assembly must successfully endure 60-minute fire exposure without developing excessive unexposed surface temperature or allowing flaming on the unexposed side of the assembly.

I. Ignition Resistance (NFPA 268): No sustained flaming of panels, assembly when subjected to a minimum radiant heat flux of $12.5 \text{ kW/m}^2 \pm 5\%$ in the presence of a pilot ignition source for a 20-minute period.

J. Fire Propagation (NFPA 285): Wall assembly of Nichiha AWP, Ultimate Clips and Starter Track, Tyvek Commercial Wrap, 1/2" Densglass Gold Sheathing, 16" o.c. 18 gauge steel studs, mineral wool in-cavity insulation, and interior 5/8" Type X gypsum met the acceptance criteria of NFPA 285.

K. Fire Propagation (CAN/ULC S-134): Wall assembly of Nichiha AWP, Ultimate Clips and Starter Track, Tyvek Housewrap, 5/8" FRT plywood, 16" o.c. 2x wood studs, fiberglass in-cavity insulation, and interior 5/8" Type X gypsum met the acceptance criteria of CAN/ULC S-134.

L. Drained and Back Ventilated Rainscreen (AAMA 509-09): System must pass all component tests.

M. Florida Building Code - Test Protocol HVHZ (TAS 201, 202, 203): Passed.

2. INSULATION COMPONENTS

A. Ultimate Clip System:

1. Starter Track:

- a. Horizontal Panel Installations - FA 700 – 3,030mm (l) galvalume.
- b. Vertical Panel Installations (AWP-3030 only) – FA 710T – 3,030mm (l) galvalume.

2. Panel Clips: JEL 777 "Ultimate Clip" (10mm rainscreen for 16mm AWP) – Zinc-Aluminum-Magnesium alloy coated steel.

- a. Joint Tab Attachments (included) – used at all AWP-1818 panel to panel vertical joints. NOT used with AWP-3030 installations.

3. Single Flange Sealant Backer – FHK 1017 (10mm) – 6.5' (l) fluorine coated galvalume.

4. Double Flange Sealant Backer – FH 1020 (10mm) – 10' (l) fluorine coated galvalume.

5. Corrugated Spacer – FS 1005 (5mm), FS 1010 (10mm) – 4' (l).

6. Finish Clip (optional) – JE310 (5mm)

B. Aluminum Trim (optional): Paint as specified in finish schedule.

C. Essential Flashing System (optional):

1. Starter – main segments (3,030mm), inside corners, outside corners
2. Compression Joint – main segments (3,030mm)
3. Overhang – main segments (3,030mm), inside corners, outside corners, joint clips

D. Fasteners: Corrosion resistant fasteners, such as hot-dipped galvanized screws appropriate to local building codes and practices must be used. Use Stainless Steel fasteners in high humidity and high-moisture regions. Panel manufacturer is not liable for corrosion resistance of fasteners. Do not use aluminum fasteners, staples or fasteners

methods. Special installation conditions may be required via a **Revised Standard Approval (SAR)** process.

2. **Vertical Control/Expansion Joints** are required within 2-10 feet of outside corners finished with metal trim *and* approximately every 30 feet thereafter.

3. **Horizontal/Compression Joints** are required for multi-story installations of AWP. Locate joints at floor lines. Joints are flashed minimum ½” breaks. Do not caulk. Refer to installation guide(s).

A. Wood framed buildings of three or more floors require a compression joint at each floor.

B. Steel framed buildings (including reinforced concrete core with LGMF exterior walls) of more than three floors (or 45 feet) require a compression joint every 25 feet at a floor line.

B. Panel Cutting

1. Always cut fiber cement panels outside or in a well ventilated area. Do not cut the products in an enclosed area.

2. Always wear safety glasses and NIOSH/OSHA approved respirator whenever cutting, drilling, sawing, sanding or abrading the products. Refer to manufacturer SDS for more information.

3. Use a dust-reducing circular saw with a diamond-tipped or carbide-tipped blade.

a. Recommended circular saw: Makita 7-1/4” Circular Saw with Dust Collector (#5057KB).

b. Recommended blade: Tenryu Board-Pro Plus PCD Blade (#BP-18505).

c. Shears (electric or pneumatic) or jig saw can be used for complicated cuttings, such as service openings, curves, radii and scrollwork.

4. **Standard Precautions** Fiber cement products may contain some amounts of crystalline silica, a naturally occurring, potentially hazardous mineral when airborne in dust form. Consult product SDS or visit <https://www.osha.gov/dsg/topics/silicacrystalline/>.

CLEANING AND MAINTENANCE

A. Review manufacturer guidelines for detailed care instructions.

Specification Sheet

Allura Fiber Cement Siding and Trim

Fiber Cement Siding

General Description: Allura Fiber Cement siding is available in different products providing both traditional and contemporary aesthetics. It is suitable for residential and light commercial applications. These products offer a high degree of dimensional stability and impact resistance.

Shapes	Lap	Vertical	Trim
Perfection Shingles	Smooth Lap	Stucco	Cedar
Random Square Straight Edge	Cedar Lap	Smooth	
Random Square Staggered Edge		Cedar/no groove	
Half-Rounds		Cedar/8" grooved	
Octagons			

Finishes: Allura's exclusive Sealing System ready for field top coating with high quality, acrylic latex paint or stains. Factory prefinishing available with paint or stain. Allura Fiber Cement Siding must be allowed to breathe; therefore, it must never be primed, painted or stained on the back side.

Surface Patterns: Smooth, Traditional Cedar and Rustic Cedar grains, cedar-textured grain, stucco texture, vertical grain.

Sizes: Shapes	Trim
8-1/4" x 12' (209mm x 3657mm)	3-1/2" (89mm)
12" x 48" (305mm x 1219mm)	5-1/2" (140mm)
16" x 48" (406mm x 1219mm)	7-1/4" (185mm)
	9-1/4" (235mm),
	11-1/4" (286mm) x 12' (3657mm) length
Lap Siding	(4/4" thick – 11mm)
5-1/4" (133mm)	2" (59mm)
6-1/4" (159mm)	3" (76mm)
7-1/4" (185mm)	4" (102mm)
7-1/2" (191mm)	6" (153mm)
8-1/4" (209mm)	8" (203mm)
9-1/4" (235mm)	10" (254mm)
12" (305mm) x 12' (3657mm) length	12" (305mm) x 12' (3657mm) length
Vertical	(5/4" thick – 11mm)
4' x 8' (1219mm x 2438mm)	3" (76mm)
4' x 9' (1219mm x 2743mm)	4" (102mm)
4' x 10' (1219mm x 3048mm),	5" (127mm)
4' x 12' (1219mm x 3657mm)	6" (153mm)
	8" (203mm)
	10" (254mm)
	12" (305mm) x 12' (3657mm) length

Thickness: 5/16" (8mm) on shapes, lap and vertical siding.

Composition: The products are manufactured using a multi-step high-pressure process combining Portland cement, wood fiber and specialty additives. Wood grains and other architectural features are pressed into the surface.

Technical Data: Allura Fiber Cement soffit was tested in accordance with the American Society for Testing & Materials

ASTM C 1186-02	Standard Specification for Flat Non-Asbestos Fiber Cement Sheets
ASTM C 1185-96	Sampling and Testing Non-Asbestos Fiber-Cement Flat Sheet, Roofing and Siding Shingles, and Clapboards
ASTM E72-95	Conducting Strength Tests of Panels for Building Construction
ASTM E84	Surface Burning Characteristics of Building Materials
ASTM E 119-95a Fire	Tests of Building Construction and Materials
ASTM E136	Non-Combustible
ASTM E330-96	Structural Performance of Exterior Windows, Curtain Walls, and Doors by Uniform Static Air Pressure Difference
ASTM G26-95	Operating Light-Exposure Apparatus (Xenon-Arc Type) With and Without Water for Exposure of Nonmetallic Materials

(ASTM) standards of the following specifications:

Approvals: ICCESR-1668
Texas Dept. of Insurance Product Evaluation EC-16

Weather and Other Considerations: Product offers resistance to freeze/thaw cycles and is highly dimensionally stable. It is resistant to damaging ultraviolet (UV) rays and salt spray. It is immune to wood-boring insects. Product can resist high wind forces when installed in accordance with Allura application instructions; see instructions for details.

Fire Resistance Characteristics: Allura Fiber Cement soffit products have a Class A (I) Flame Spread Rating - 0, Smoke developed - 5, per ASTM E84, and is considered Non-Combustible in accordance with ASTM E136.

Installation:

Preparatory Work—Allura Fiber Cement siding products are cut and installed like conventional wood siding. Handle and store product according to Allura recommendations. Fiber Cement siding may be applied over sheathed walls or directly to studs spaced up to 24” (610mm) o.c. where local codes permit. When applying direct to wood or metal studs, a continuous weather-resistive barrier, not a vapor retarder, must be applied. A vapor barrier, permeability of 1 perm (57.5 ng/(Pa · s · m²) or less, should be used in the wall when required and as described in the ASHRAE design manual. Consult a qualified mechanical engineer or other design professional.

Note: Allura Fiber Cement siding must be installed with the textured or smooth finished exterior surface facing out.

Methods – Complete installation recommendations are available from the manufacturer. Pneumatic nailing is recommended for attachment to wood framing. Use double hot-dipped galvanized or stainless steel nails. Do not use staples. For steel framing application use corrosion resistant bugle head screws. Vertical joints on Prefinished -Sealed lap siding should be moderately butted. Unfinished or unsealed joints must be gapped 1/8” maximum and caulked. Follow caulk manufacturer’s application instructions. Use drip cap flashing above all openings.

Precautions – Avoid breathing dust created by drilling, cutting, or sawing. Use with adequate ventilation and a dust collection system; see MSDS for additional dust precautions. All Allura soffit is sealed with our primer/sealer. A finish coat should be applied within 6 months of installation.

Building Codes – Current data on building code requirements and product compliance may be obtained from Allura. Installation must comply with the requirements of all applicable local, state and national code jurisdictions.

Warranty: Allura Fiber Cement siding offers a 50-year limited transferable product warranty. Additionally, Allura offers for ColorMax prefinished products a 15-year limited coating warranty.

Allura warrants that if used for its intended purpose and properly installed and maintained according to ALLURA’s published installation instructions: (a) will resist damage caused by hail or termite attacks, (b) will resist rot, (c) will remain non-combustible, and (d) will be free from manufacturing defects in material and workmanship. See warranties for details and limitations.

Technical Services: Allura maintains a technical services staff to assist building professionals with questions regarding Allura siding products. Call 1 (844) 4 ALLURA for samples and answers to technical or installation questions.

Plycem USA
15055 Woodham Drive
Houston, Texas 77073

18444ALLURA
(1-844-425-5872)

APPLICATION

HC
B
HISTORIC
CONSERVATION
BOARD

CERTIFICATE OF APPROPRIATENESS

APPLICATION BUILDING ADDRESS: NWC Liberty and Elm

DISTRICT NAME: Over the Rhine
(if applicable)

OWNER NAME: 224 W. Liberty LLC

ADDRESS: 308 E. 8th Street

EMAIL: john.heekin@source3dev.com

CONTRACTOR NAME: Oswald Construction

ADDRESS: 308 E. 8th Street

EMAIL: ken.oswald@source3dev.com

ARCHITECT NAME: New Republic Architecture

ADDRESS: 404 E. 12th Street

EMAIL: graham@newrepublicarchitecture.com

HC
B
USE ONLY

DATE RECEIVED BY HCB: _____

PERMIT/APD NO: _____

APP. COMPLETION DATE: _____

PHONE NO: 513.404.1834

PHONE NO: 513.509.8282

PHONE NO: 513.800.8075

PLEASE NOTE: THE FOLLOWING FEES ARE DUE TO PROCESS YOUR APPLICATION.

Certificate of Appropriateness (without Board review)... \$50.00

Historic Conservation Board Review\$500.00

HC
B
USE ONLY

Fee Received: \$ _____

Date Received: _____

IT IS YOUR RESPONSIBILITY TO NOTIFY THE URBAN CONSERVATOR IF ANY OF THIS INFORMATION CHANGES DURING THE PENDING REVIEW OF YOUR

WORK PROPOSED: (Describe type of work, existing conditions, and methods to be used, materials proposed)

HC
B
USE ONLY

- MINOR ALTERATION
- NEW CONSTRUCTION
- ADDITION
- DEMOLITION
- REHABILITATION
- OTHER _____

Construction of a new, 5 story mixed-use residential/retail building at the corner of Liberty and Elm Street. 85 market rate apartment units.
Construction of a 155 Space parking garage at Green and Logan. Garage will be applied for in a separate COA at a future date. Garage shown is for concept only and relationship to the new structure.

IN ORDER TO EXPEDITE HCB ACTION, PLEASE ATTACH ADDITIONAL INFORMATION, IF AVAILABLE, AS MAY BE APPROPRIATE. LIST ANY INFORMATION ATTACHED: (Elevations, site plans, specifications, photos, material samples, additional drawings or written matter)

Attach a letter explaining the justification for the issuance of the desired Certificate of Appropriateness. Be advised that the burden of proof is on the applicant.



LIBERTY CORNER –OVER THE RHINE

Project consists of a new, mixed use building with 4 levels of apartments over 1 level of retail/restaurant. A new 3 level parking garage is proposed at the rear of the site but is not part of this application at this time and is only included for reference. The project budget for the new mixed use building is \$15,000,000 and the future garage is \$3,500,000. The Project anticipates to create 30 permanent jobs. The site is currently owned by 224 W. Liberty Block LLC, which is a partner with Source 3 Development.

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HISTORIC DISTRICT GUIDELINES: NEW CONSTRUCTION

A. INTENT AND GENERAL GUIDELINES

1. Infill construction is allowed on vacant sites in Over-the-Rhine, because gaps due to demolition weaken the streetscape and the overall character of the district. New construction can improve both the physical quality and economic vitality of the neighborhood. The project is a 5 story mixed-use buildings with four floors of apartments over ground level retail/restaurant spaces.

It will complement the streetscape at the NWC of Liberty and Elm by completing the street wall between 212 W. Liberty and 1711 Elm.

2. New construction should be well-designed but should not replicate the existing buildings. The exceptional quality of the existing buildings in the district provides an outstanding framework for new construction.

The proposed building uses proportion, massing and materials to break down the scale of the building, in order to read a collection of buildings. Common themes of materials, and their placement on the building however, still indicate that it is one building.

3. The Historic Conservation Board's review of new construction will focus on the design compatibility with the surrounding contributing structures. The appropriateness of design solutions will be based on balancing the programmatic needs of the applicant with how well the design relates to the neighboring buildings and to the intent of these guidelines. New design proposals should pay particular attention to composition, materials, openings, rhythm, scale, proportion and height.

The Project draws cues from the historic lot-lines and 25' lot width module along Elm Street in order to establish a rhythm and language to "step down" into the neighborhood as the building progresses north along Elm Street. Along Liberty, the building takes cues from the characteristics of warehouse/institutional structures along Liberty and Central Parkway to blend the building into the surroundings. Materials have been selected to be complimentary of the surrounding districts, and have been arranged in a manner that is evocative of proportions of surrounding buildings without replicating existing building stock.



4. The new construction guidelines for this district will be used to judge the compatibility of new work. The specific site and programmatic needs of each project will be taken into consideration.

B. SPECIFIC GUIDELINES

1. Composition: New buildings should respond to the traditional subdivisions found on historic property: a base, a middle and a top. Most buildings in Over-the-Rhine are built of brick with the principal facade parallel to the street it faces. The most important features of buildings in Over-the-Rhine are the arrangement of openings on the principal facade and an overall vertical emphasis of the whole design. Each building provides its own variations, but collectively they share many basic features.

The building is vertical in nature, both along Liberty Street, and Elm Street. Window openings generally match what is found elsewhere in the district.

Base: New buildings should have a well-defined base. Within the district most buildings have a base that is distinguishable from the rest of the building. This is accomplished through a change of materials, a change of scale, and/or a lintel or other type of horizontal banding. In larger buildings the original base may include more than the first floor.

The building base consists of larger openings, (storefront and vehicular access) and the base has been stair-stepped to appear as if a collection of buildings rather than a singular, monolithic base.

Middle: Details on new buildings should relate to the detailing of adjacent or nearby buildings. Buildings in the district often incorporate architectural details such as changes in plane or changes in materials on their upper floors. Decorative, horizontal bands indicating the floor lines, sill heights or lintel heights should not overpower the vertical emphasis of the design.

The building includes changes in plane, through brick reveals, and changes in materials (at the top floor.) The middle of the building is primarily a brick body with punched window openings that are of 2:1 proportion and matching other buildings in the district. Stone accent bands, sills, and headers are incorporated to further tie the body of the building into the surrounding fabric. The body of the building along Elm, while primarily brick, does change to a metal panel system above the fourth floor. This is done to effectively "lighten" the visual appearance of the building as it rises. Brick modulates between several different colors as does the surrounding buildings.

Top: New construction must employ a strong element that terminates the uppermost part of the building. Distinctive elements in the architecture of Over-the-Rhine are elaborate projecting cornices, decorative parapets and the expressive use of materials.

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urbanism



The top of the building incorporates a strong cornice line at the 4th floor along Elm Street, in order to further mitigate the effect of the 5th floor change of material. The 5th floor along Elm Street is accentuated by smaller metal “eyebrows” to help terminate the building at the sky. Along Liberty, the mass of the building is drawing cues from warehouse buildings found elsewhere in the district (Warner Bros. Building, Film Center) and thus does not have a cornice. The corner of the building at Liberty and Elm rises above the body of the building in order to punctuate the street corner.

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2. Roofs: Roofs for new construction should be similar to roofs of adjacent and nearby buildings of similar size and use. In the district, buildings of three or more stories generally have low-pitched shed roofs that are not visible above the principal facade. Smaller buildings in the district typically have simple gable roofs on which the gables are perpendicular to the principal facade. Institutional buildings in Over-the-Rhine have a variety of roof shapes, including dormers, multiple gables, hip roofs and towers.

Roofs in this district have little or no overhang. The roof is entirely flat (white TPO membrane) and will not be seen from the street.

3. Window Openings: Window openings are extremely important in this district. The openings of new buildings should be related to the size and placement of openings found on historic structures of similar use in the district. In residential buildings, window openings are typically found individually rather than in pairs or grouped. The openings are taller and wide (typically in a proportion of 2:1), window sash are set back from the wall surface, and openings have some form of definition, such as lintels, sills or decorative surrounds. Window openings, which are typically aligned vertically, usually occupy between 20% and 50% of the principal facade.

Window openings along Elm Street are shown to meet this criteria.

In commercial, industrial and institutional buildings, windows are often grouped within a single opening. These building types may also use a combination of window sash, including double-hung, awning and hopper.

Windows along Liberty (taking cues from commercial/industrial buildings) are grouped together and evocative of a steel-sash industrial window product.

If muntins are used in new window sash, they must provide true divided lights. Within the individual opening, window sash are usually divided into two or more lights. In all cases the glass must be clear; tinted or reflective glass is not acceptable. Also, roll down shutters and metal bar systems installed on the exterior of the building that cover door and window openings are not appropriate.

All glass will be clear. Simulated divided lights (SDL) will be provided along Liberty.



4. Storefronts: New storefronts should relate to the characteristics of existing storefronts on historic buildings. Storefronts in the district are typically taller than individual upper floors; framed by piers and/or columns and have a lintel separating them from the upper floors; are divided into bays which increases their verticality and provides a pedestrian scale and proportion; and have large, fixed expanses of clear (not tinted or reflective) glass. As with rehabilitated original storefronts, roll down shutters and metal bar systems installed on the exterior of the building are not appropriate elements for new storefronts. The storefront lintels are 12 to 18 feet above grade; the window sill height is between 18 inches and 3 feet above grade; and storefront windows are set back from the structural elements approximately 12 inches.

The storefront proposed matches this criteria in height, and the storefront consists of three principal types, a knee-wall, no knee-wall, and roll-up garage door types.

5. Setback: Setback is an important issue in a dense urban area such as Over-the-Rhine. The setback for new construction should be consistent with the buildings of similar use on adjacent and nearby sites. In Over-the-Rhine, most commercial buildings are built up to the property line. Some residential property, especially detached buildings, have shallow setbacks but retain an "edge" at the property line with a fence. Some larger institutional buildings such as schools, churches and public buildings are setback from the street to provide public space and to add to their monumentality. In most cases new construction on corner sites should be built up to the edge of both outside property lines.

The building setback line matches the buildings on either side of the proposed structure, on both Liberty and Elm Street.

6. Rhythm: New buildings should incorporate design features, such as window groupings, articulation of wall surfaces, and decorative elements such as columns or piers in an effort to maintain the rhythm that already exists in the district. New construction should avoid creating long unrelieved expanses of wall along the street by maintaining the rhythm of bays found on the district. Most buildings in Over-the-Rhine are relatively narrow, 25 to 50 feet in width. A building facade typically displays vertical subdivisions that establish a visual rhythm. In dense commercial areas such as Vine Street, there are no setbacks, creating a solid wall along the street. This wall is articulated by the individual buildings, which in turn are divided by window groupings, changes in wall planes and decorative elements such as pilasters, columns or piers. Special consideration has been given to rhythm, window placement, and decorative elements.

The building has been design to be broken into several "buildings". A "north building" Along Elm Street, north of the alley, is designed to be evocative of a series of tenement style architecture. A "bridge" across the alley, primarily of glass and cement board, is designed to separate the "north building" from the "south building" on Elm, which also is designed to be a series of three vertically oriented tenement-style buildings. The corner volume is intended to make a slightly more contemporary statement, while still blending the Liberty and Elm building volumes together. Large planes of unarticulated material have been expressly avoided.

7. Emphasis: New residential and mixed-use construction should have a vertical emphasis, because in Over-the-Rhine buildings are taller than they are wide, window openings are tall and narrow, and storefronts



have slender columns, which emphasize verticality. Commercial and industrial buildings, which may have an overall horizontal emphasis, often incorporate vertical elements, such as pilasters or vertically oriented openings.

The lot-line approach to dividing and sub-dividing the façade creates an inherently vertical emphasis on the building.

8. Height: The height of new construction should not vary more than one story from adjacent contributing buildings. Most buildings in Over-the-Rhine are between two- and five-stories.

The building is one story maximum above adjacent buildings.

architecture
planning
urbanism

9. Materials: New construction should use materials that are found on the historic buildings in Over-the-Rhine. Clearly the dominant material in Over-the-Rhine is brick, but other materials such as limestone, sandstone, cast-iron, slate, wood and sheet metal are important as well. Materials such as stucco, synthetic stucco and plastic are not appropriate and should not be considered as exposed finish materials for new construction in this district.

The building is composed of four primary materials: Brick, cast stone, metal panel, cement board, each of which has been used in a logical manner to reinforce the building's attempt to integrate into the neighborhood. Brick and cast stone is used on the primary (Liberty and Elm) elevations to compliment surrounding buildings. Metal panel is used at the top floor to keep brick heights to match adjacent buildings. Cement board is primarily used on the back (north and west) elevations, to add some variety to building texture, and to reduce overall building skin cost. No stucco or plastic is proposed.



PRELIMINARY PROJECT SCHEDULE: JUNE 1, 2016

Due diligence to be completed in June 2016:

Historic renovation inventory
Environmental report SRW
Schematic Estimate budget
Michael Dinn – Market report
City work continuing- in progress

Summer work with the City

June-Sept. 2016:

Approval of Final Development plan, Development Agreement with City, HCB approval, Final approval with City Council

June-Sept. 2016:

DD Lite: Decision on Graham/PDT or other firm for DD Lite to complete through Sept. 2016

Sept. 2016-Nov. 2016:

Complete construction Documents for permitting and subcontractor bidding

Nov. 2016-Dec 2016:

Finalize budget, Proforma for financing.... update from June on...

Project Schedule Sept. 2016- Forward

Environmental Work: October/November 2016

Anticipated Closing: January 15, 2017

Start Construction: February 2017 – auger cast piles entire project

Historic Rehab Work: Start April 2017 and allow 6 months for renovation work to complete.
September 1st – Occupancy and Lease-Up.

Garage: Start Construction July 2017 allow 5 months for construction. Garage will be used for staging and parking for craft until January 2017.

New Construction: Start Construction March 2017 allow 11 months for construction, including the podium. Occupancy and Lease-Up, hopefully to start by Dec. 2017/Jan 2018

Lease-Up of Development: September 2018

architecture
planning
urbanism




Online Property Access

| < First << Prev Next >> Last > | [RETURN TO SEARCH LIST](#) Property 1 of 1

Parcel ID 133-0003-0036-00 Address 1701 ELM ST Index Order Parcel Number Tax Year 2015 Payable 2016

Property Information

Tax District 001 - CINTI CORP-CINTI CSD	School District CINCINNATI CSD	Images/Sketches 
Appraisal Area 01801 - OVER THE RHINE 01	Land Use 400 - COMMERCIAL VACANT LAND	
Owner Name and Address 224 W LIBERTY BLOCK LLC 7398 BAYWIND DR CINCINNATI OH 45242 <i>(call 946-4015 if incorrect)</i>	Mailing Name and Address 224 WEST LIBERTY BLOCK LLC 4410 CARVERWOODS DR SUITE #103 CINCINNATI OH 45242 <i>(call 946-4800 if incorrect)</i>	
Assessed Value 2,590	Effective Tax Rate 87.643979	Total Tax \$1,588.74
Property Description 1701 ELM ST 20 X 111.50 PT LOT 8 J D GERRARDS SUB TIF ABATEMENT		

Appraisal/Sales Summary

Year Built	
Total Rooms	
# Bedrooms	
# Full Bathrooms	
# Half Bathrooms	
Last Sale Date	7/28/2014
Last Sale Amount	\$319,175
Conveyance Number	72214
Deed Type	QU - Quit Claim Deed (Conv)
Deed Number	322115
# of Parcels Sold	19
Acreage	0.048
Front Footage	151.00

Tax/Credit/Value Summary

Board of Revision	No
Rental Registration	No
Homestead	No
Owner Occupancy Credit	No
Foreclosure	No
Special Assessments	Yes
Market Land Value	7,400
CAUV Value	0
Market Improvement Value	0
Market Total Value	7,400
TIF Value	0
Abated Value	0
Exempt Value	0
<u>Taxes Paid</u>	\$809.15
Tax as % of Total Value	0.000%

Notes

1) 11-22-04 30 YEAR TIF ABATEMENT BEGAN 2003 THRU 2032

I Want To...

Start a New Search
Email the Auditor
View the Online Help
Auditor's Home

View:

Property Summary
Appraisal Information
Levy Information
Transfer
Value History
Board of Revision
Payment Detail
Tax Distributions
Images
Special Assessment/Payoff
Tax Lien Certificates
CAGIS Online Maps
Aerial Imagery
Owner Names

Print:

Current Page
Property Report



Model: **3295**
 R-Value: **N/A**
 Insulation Type: **N/A**

Aluminum Full-View Door

A dramatic statement, made to fit your contemporary residential application. The 3295 Series full-view door from C.H.I. perfectly blends the raw industrial look of aluminum with a clean architectural design. The aluminum can be powder-coated nearly any color, with several glazing options, to create the perfect door to accent your home.

[Brochure](#)
[Specification](#)

Technical Data

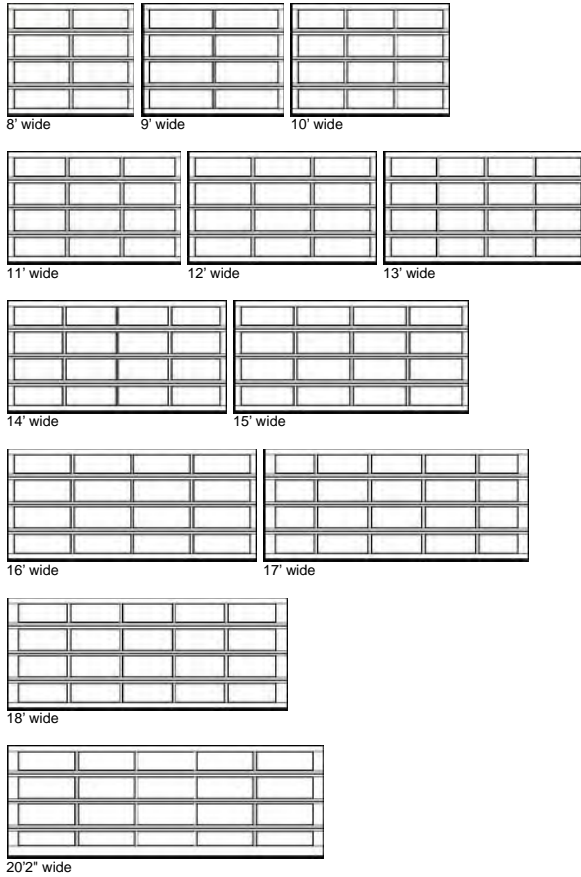
- Stylish 2" aluminum stiles with a tongue and groove rail frame construction provides a superior joint strength
- 4" top and bottom rail and 2" intermediate rails create additional perimeter strength
- Extrusions feature a closed construction for a rigid frame
- Available in clear anodized or white - optional powdercoating available in a multitude of colors
- Hidden through-bolt assembly insures maximum structural integrity
- Optional aluminum panels may be specified to create solid sections and are available as insulated or non-insulated
- Glass options are 1/8" plain, tinted or frosted (DSB), 1/8" (polycarbonate), 1/4" (tempered) or 7/16" (insulated, tempered) glass
- 1/8" plain glass is standard
- Each full-view section utilizes white or black retainers

Heavy-duty 14 gauge hinges offer stability and longer life

Long-lasting 10 ball rollers assure consistent, efficient operation

Bottom U-shaped astragal is standard

Panel Comparison

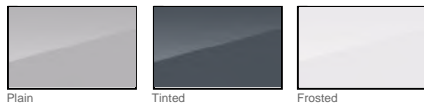


Window Inserts



Designer Lites

All Designer Lites are either transparent or semi-transparent.



Our Products
 Residential Garage Doors
 Commercial Garage Doors
 Garage Door Openers

Our Services
 Schedule Online
 View Service Rates
 Specials
 Service Areas

PDQ Doors
 About Us
 Blog
 Meet Our Techs
 Guarantees

Schedule Online
 Estimate
 Repair
 Installation



For new Garage Doors PDQ Doors is the company our family trusted. PDQ has a Unique software that let me see



SINGLE HUNG WINDOWS

Quaker's family of Historical Series of products contains the unique features necessary for historical replication projects. Symmetrical sightlines. The capacity to match exterior colors. The ability to facilitate large sizes. Historically accurate panning and trim styles to preserve a building's distinguished appearance.

STANDARD FEATURES

- 3 1/4" frame depth
- .062" wall thickness of metal
- 3/4" insulated glass
- Thermally broken main frame and sash frame
- Block & Tackle balance system
- Aluminum mesh screen
- Baked-on powder coat finish meets ANSA/AAMA 2604 specifications and is available in any color
- With or without nailing fin
- Heavier meeting rail on H500 gives it a better structural rating than H300.



SPECS/SIZES

Historical Series Single Hung Windows are made to order with no standard sizes.

- [Historical Series H300 Single Hung Window Specifications](#)
- [CAD](#) [PDF](#)

PERFORMANCE

H300
U-Value: ● 0.41 (with EnergyMax)*
R-Value: ● 2.44 (with EnergyMax)*
Solar Heat Gain Co-Efficient: 0.21 (with EnergyMax)*
Performance Rating: HC-40

WOOD

BRIGHTON
NEW CONSTRUCTION

CLASSIC FIT/ HISTORIC FIT
REPLACEMENT

VINYL

MANCHESTER
NEW CONSTRUCTION

CRUSADER
DP-50

ADVANTEDGE E4
REPLACEMENT

ALUMINUM

EMERGE

HISTORICAL



FEATURES & OPTIONS

GLASS +

MUNTINS +

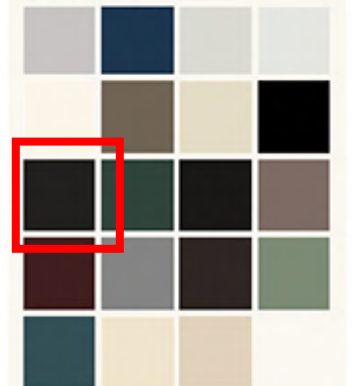
COLOR -

POPULAR COLOR CHOICES

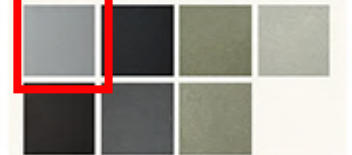
Our powder-coat paint is applied in-house and baked on for a long-lasting finish.



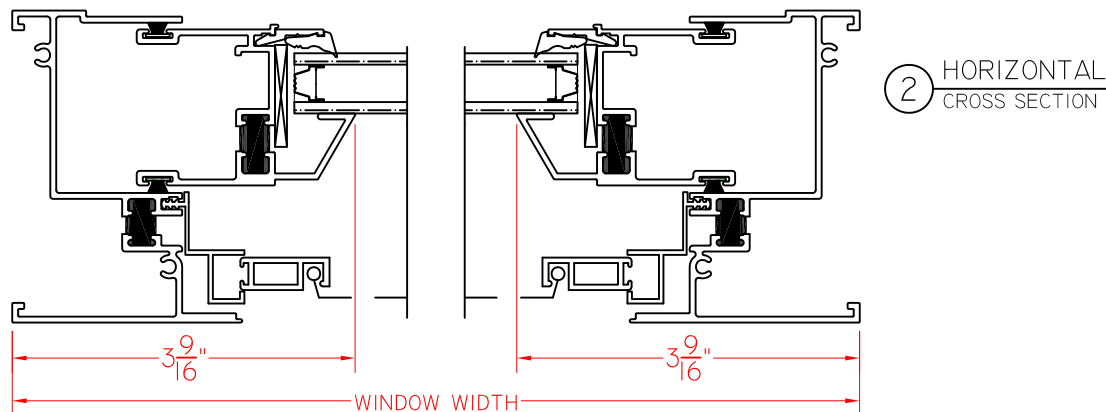
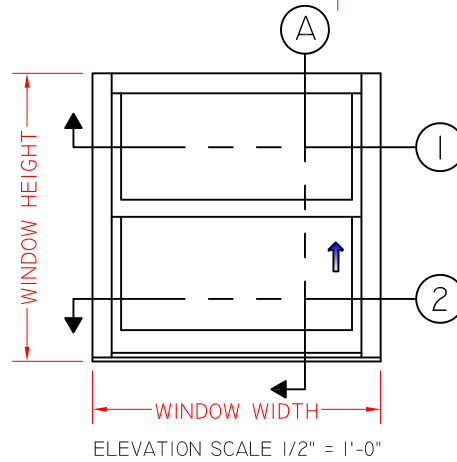
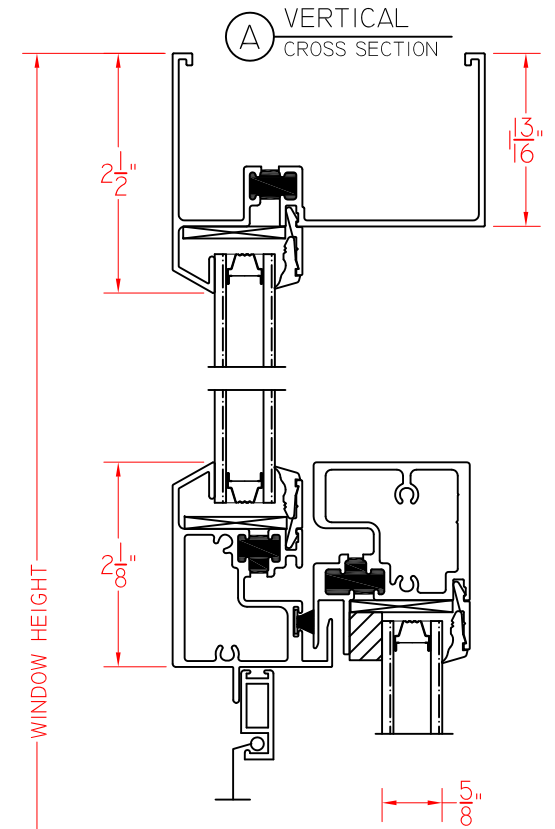
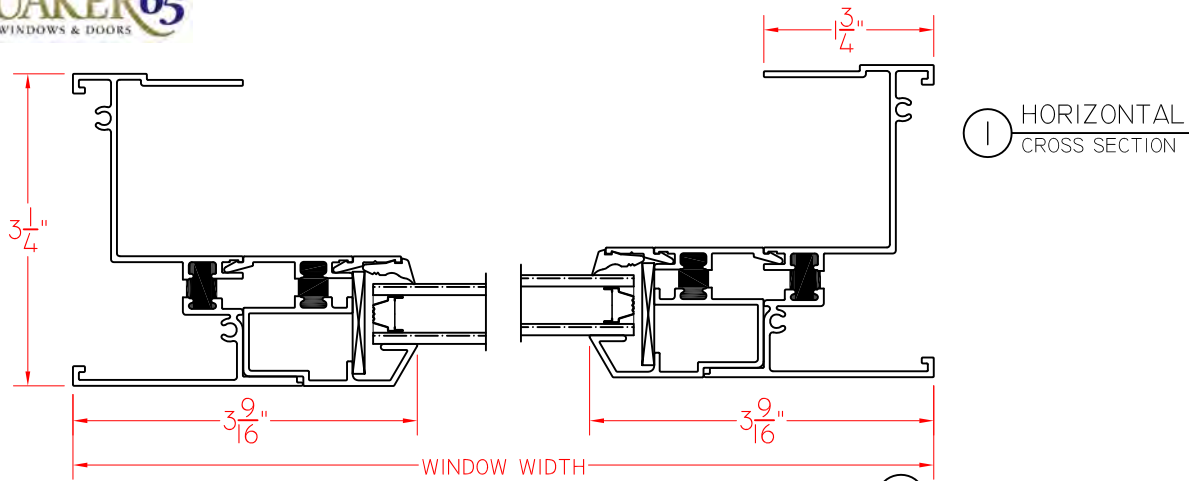
IMPRESSIVE COLORS



RESEMBLES COLORS



H300 SINGLE HUNG



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H300-SH(HC-40)
SINGLE HUNG
3 1/4" FRAME DEPTH
(SIDE LOAD)

FEATURES

1.) Available Configurations

- Single hung
- Oriel style (optional)

2.) Main frame / Sash

- Drop-in marine glazing
- Double fin-type weatherstripping
- Full width lift handles
- Thermal break in frame and sash
- Header expander and sill angle (optional)

3.) Commercial Framing System

- 3 1/4" main-frame
- 0.062" wall thickness of metal (frame / sash)

4.) Type of hardware

- Block and tackle balancers
- Gravity latch
- Limit travel latch (optional)

5.) Performance

- Structural & Thermal (Test reports available upon request)

6.) Glazing

- 5/8" drop-in glazed insulated
- Capillary tubes (optional)
- Argon gas (optional)
- Wide variety of glazing, tinting and thickness options

7.) Muntin choices

- Internal or simulated divided lites available

8.) Finish

- Baked on powder coat finish meets ANSA/AAMA 2604 specs and is available in 10 standard colors
- 2605 (equal to 70% Kynar) powder coat finish
- Custom painted finish
- Clear and color Anodic finishes available (AAMA 611-98)

9.) Screen choices

- Aluminum, stainless steel, fiberglass, or solar screen mesh

10.) Panning & Trim choices

- Wide variety of panning, receptor and trim available

11.) Specialty

- Attached exterior or interior storm window
- Extension jambs
- Security screens
- Bays, bows and multiple units
- Screen track cut-out
- Ogee lugs



H300-SH(HC40)
SINGLE HUNG
3 1/4" FRAME DEPTH
(SIDE LOAD)

MODEL	Single Hung
SERIES	H300-SH Series
CLASS	H-HC40
OPERATION	<div style="border: 1px solid black; padding: 2px; display: inline-block;"> <div style="border: 1px solid black; width: 20px; height: 20px; margin-bottom: 2px;"></div> <div style="border: 1px solid black; width: 20px; height: 20px; display: flex; align-items: center; justify-content: center;"> ↑ </div> </div>
MAXIMUM SIZE	AAMA structural test size is 5'x8'-3" minimum. For minimum and maximum contact Quaker Window Products.
GLAZING THICKNESS	5/8" insulated glass
MULLING	Mulling available to 3 1/4" frame depth
FINISHES	Baked-on powder coat finish meets ANSA/AAMA 2604 specs and is available in 10 standard colors 2605 (equal to 70% Kynar) powder coat finish. Clear and color Anodized finishes.
MUNTINS	Between-the-glass muntins on insulated units or simulated divided lites.
SCREENS	Half screen with aluminum frame and wire mesh cloth
OPERATING FORCE (LBS)	39# to maintain motion
CURVED SHAPES	Radius and Circle tops available

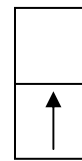
PERFORMANCE

The performance numbers listed below represent independent laboratory test on Quaker Windows at the time of publication. Please contact Quaker Window for the most recent performance data.

Model	Performance Class	Structural Load P.S.F.	Air At 50 MPH(cfm/ft ²)	Water (No Penetration) PSF	CRF Condensation Resistance Factor	U-value
Single Hung	H-HC40	60.15	0.20	6.00	53	.47

NOTE: Numbers listed are subject to change without notice

NA- Not available.



QUAKER WINDOW PRODUCTS CO, INC.
H300-SH SERIES - SINGLE HUNG (H-HC40)
(Side load) (3 1/4" Frame Depth)

Quaker Window Products reserves the right to change any and all designs without notice. Due to periodic re-certification requirements, results shown may vary slightly.

PART 1 - GENERAL

1.01 TESTING AND PERFORMANCE REQUIREMENTS

A. Specific Performance Requirements:

Windows shall conform to specified AAMA/WDMA/CSA 101/I.S.2/A440-05 **H-HC40** requirements at a minimum test size of **5'-0" x 8'-3"** (5/8" I.G.-3/16" panes) and following, whichever are the more stringent:

1. **Air Infiltration Test:** With the sash in a closed and locked position, the window shall be subjected to an air infiltration test in accordance with ASTM E 283. Air infiltration shall not exceed (**0.20 cfm/ft²**).

2. **Water Resistance Test:** The glazed unit shall be mounted in its vertical position continuously supported around perimeter and the sash placed in the fully closed and locked position. The window unit shall be subjected to a water resistance test in accordance with ASTM E 331 and ASTM E 547, using a static pressure of **6.00 psf** with no uncontrolled water leakage.

Testing shall be performed on windows both with and without an available insect screen.

3. **Uniform Load Structural Test:** Per ASTM E 330. At the conclusion of tests, there shall be no glass breakage, permanent damage of fasteners, hardware parts or any other damage causing the window to be inoperable at **60.15 psf**.

4. **Operating Force:** Per ASTM E 2068. Each movable panel shall operate in either direction with a force of **39 lbf** to maintain motion.

1.02 QUALITY ASSURANCE

A. Standards: Except as otherwise indicated, requirements for aluminum windows, terminology and standards of performance and fabrication workmanship are those specified and recommended in AAMA/WDMA/CSA 101/I.S.2/A440-05.

PART 2 - PRODUCTS

2.01 MATERIALS

A. Aluminum Extrusions: All extruded sections shall be of 6063-T6 aluminum. Alloy and temper recommended by window manufacturer for strength, corrosion resistance, and application of required finish, but no less than 22,000 psi ultimate tensile strength, a yield of 16,000 psi. Comply with ASTM B 221.

B. Hardware: Hardware having component parts which are exposed shall be of aluminum, stainless steel, or other non-corrosive materials compatible with aluminum. Cadmium or zinc-plated steel where used must be in accordance with ASTM Specification A 165 or A 164.

1. **Primary sash locks:** All primary locking devices shall be anodized aluminum gravity latch. No plastic or zinc die cast will be permitted.

C. Balances: Block & Tackle conforming to AAMA 902 and of appropriate size and capacity to hold operable sash stationary in any open position shall be used. Sash balances shall be easily accessible and replaceable in the field without the use of special tools.

D. Weatherstripping: Provide double weatherstripping using silicone-coated woven pile with polypropylene fin center where specified with AAMA 701.

E. Glass:

1. All glazing shall be glazed at the factory as follows:

a) All units shall be constructed to an overall minimum thickness of 5/8" with two lites of DSB (1/8") or 3/16" (as size and loading requires)

2. **Glazing Options:** Optional glazing such as tinted, laminated, tempered, reflective, low-E, argon-filled and others are available upon request.

F. Thermal Break: The thermal barrier shall provide a continuous uninterrupted thermal break around the entire perimeter of the frame and all panels and shall not be bridged by any metal conductors.

2.02 FABRICATION

A. Window Members: All window members, including grille bars, shall be of aluminum.(Unless Indicated Otherwise).

1. All aluminum main frame extrusions shall have a minimum wall thickness of 0.062.
2. Depth of frame and sash shall not be less than 3 ¼”.

B. Assembly: The windows shall be assembled in a secure and workmanlike manner to perform as hereinafter specified. All joints of the main frame and the sash shall be butt type, coped and joined neatly and secured by means of screws anchored in integral ports. The main frame at the sill and head shall be sealed on the underside with a narrow joint sealant meeting AAMA 803.3 specification for Narrow Joint Sealants.

C. Sash Construction: The sash shall be of butt construction mechanically joined so that they may be easily repaired. The meeting rails of the top and bottom sash shall interlock in the closed position. The meeting rail interlock shall consist of two separate and distinct metal interlocks containing fin seal weatherstripping as an integral part of both metal interlocks.

D. Finishes

Organic Coating: Baked-on powder coat finish that meets ANSA/AAMA 2604.

1. Other finishes available upon request

E. Glazing

1. Units shall be “drop glazed” with a snap-in aluminum extruded glazing bead and a rubber wedge on the interior glass. The exterior is set in glazing tape.

F. Screens

1. Screens frames shall be extruded aluminum
2. Screen mesh shall be (aluminum or fiberglass)

PART 3 - EXECUTION:

3.01 INSTALLATION:

A. Comply with manufacturer’s specifications and recommendations for installation of window units, hardware, operators and other components of work. In no case shall attachment to existing structure or to components of the window system be through or debridge the thermal barriers of the replacement windows.

B. Set units plumb, level and true to line, without warp or rack of frames or sash. Anchor securely in place. Separate aluminum and other corrodible surfaces from sources of corrosion or electrolytic

action. Windows must be securely blocked and fastened.

C. Wedge insulation between frames of new windows and construction to remain, or between frames and new blocking as applicable. Compress fiberglass to not less than 50 percent of original thickness.

D. Set sill members and other members in bed of compound as shown, or with joint filler or gaskets as shown, to provide weathertight construction. Seal units following installation and as required to provide a weathertight system.

E. Fasteners: Aluminum, stainless steel, or other materials warranted by manufacturer to be non-corrosive and compatible with aluminum window members, hardware and other components of the windows.

3.02 OPERATION AND MAINTENANCE:

A. Adjust operating sash and hardware to provide tight fit at contact points and at weatherstripping. Adjust also for smooth operation and a weathertight closure.

B. Clean aluminum surfaces promptly after installation of windows, exercising care to avoid damage to the finish. Remove excess glazing and sealant compound, dirt and other substances.

1.Lubricate hardware and moving parts

2.For frame and sash cleaning, use a common window cleaner or mild detergent solution with a regular cloth. After cleaning, be sure to thoroughly rinse all surfaces with clean water to remove any detergent residue.

C. Clean glass promptly after installation of windows. Remove glazing and sealant compound, dirt and other substances.

1.Use a common window cleaner with a lint-free cloth or chamois.

2. Do Not Use:

a)Caustic or abrasive cleaner or any silicon-based solvents on the frame or sash surfaces, as they may damage or discolor the finish

b)Petroleum-based lubricants as they may discolor the finish

c)Insecticides (bug spray) on or near window surface. Contact of insecticides with the finish could damage or discolor the window surface.

D. Initiate all protection and other precautions required to ensure that window units will be without damage or deterioration at time of acceptance.

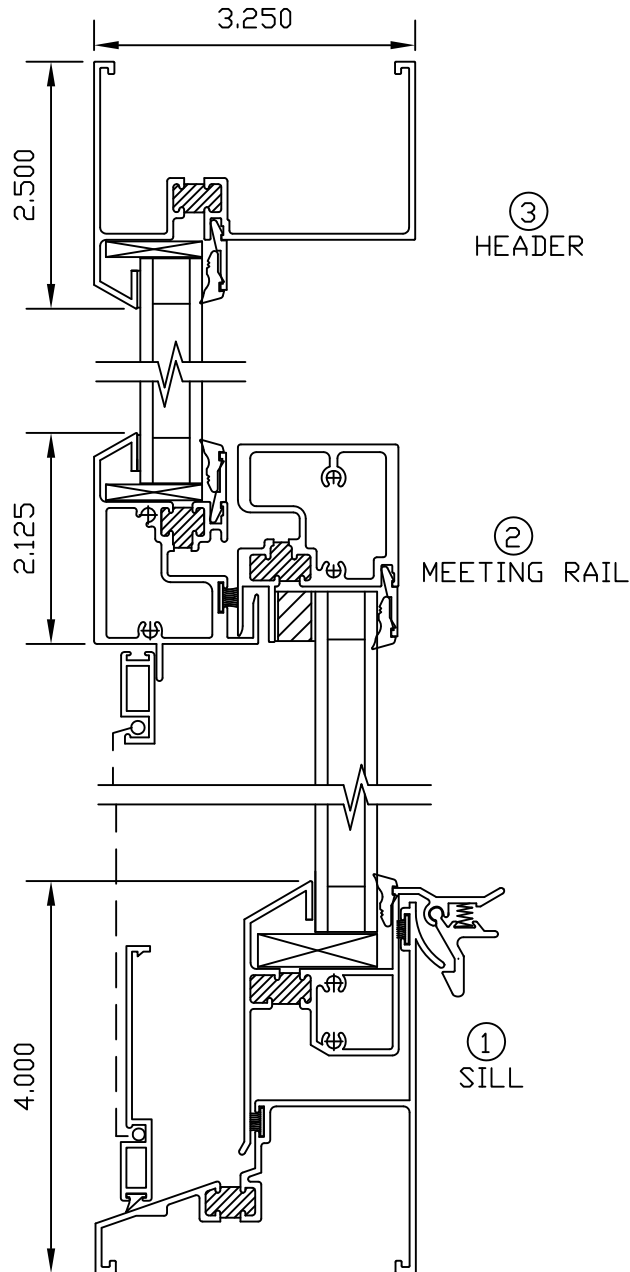
Revised 7/09



H300-SH SERIES SINGLE HUNG HISTORICAL (H-HC40)

(telephone) 573-744-5211
(fax) 573-744-5586 or 5822
www.quakerwindows.com

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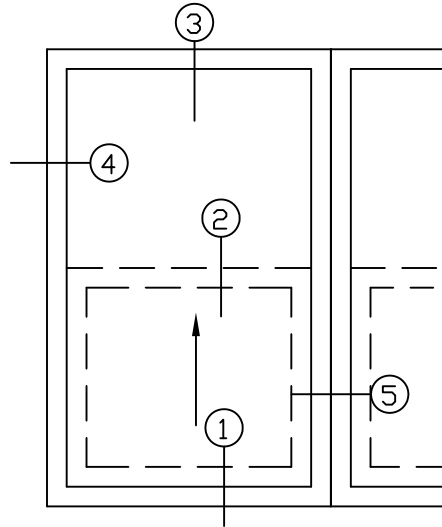
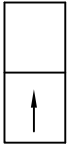




H300-SH SERIES SINGLE HUNG HISTORICAL (H-HC40)

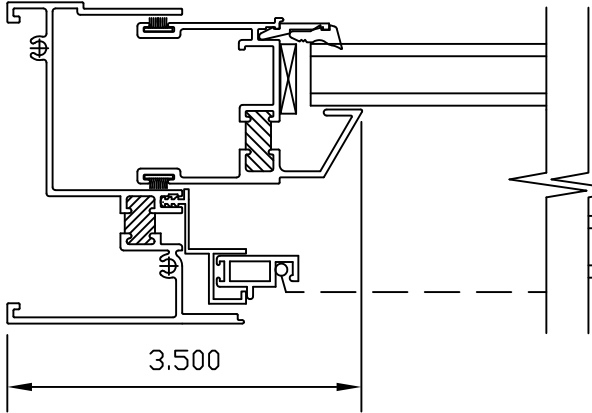
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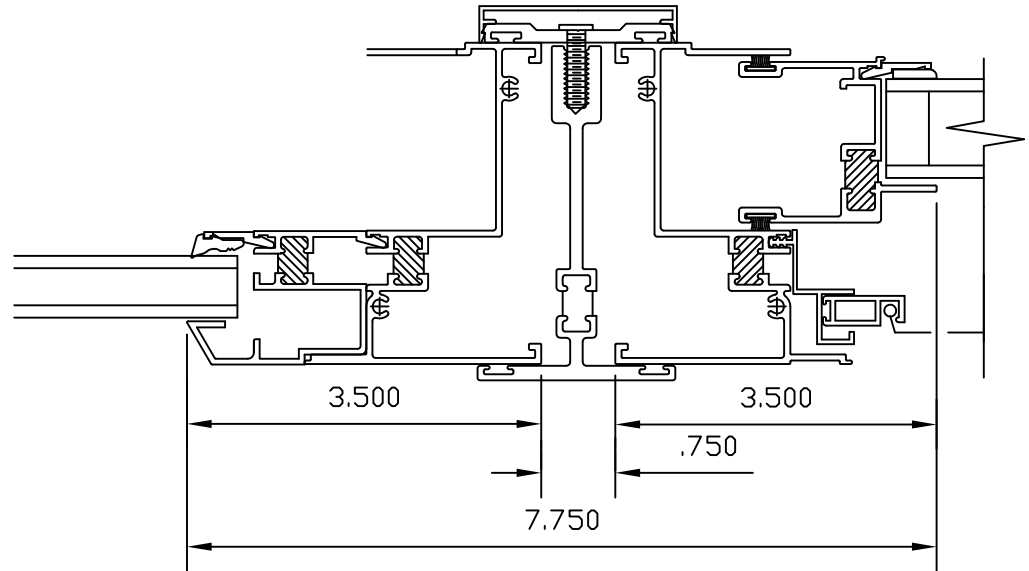
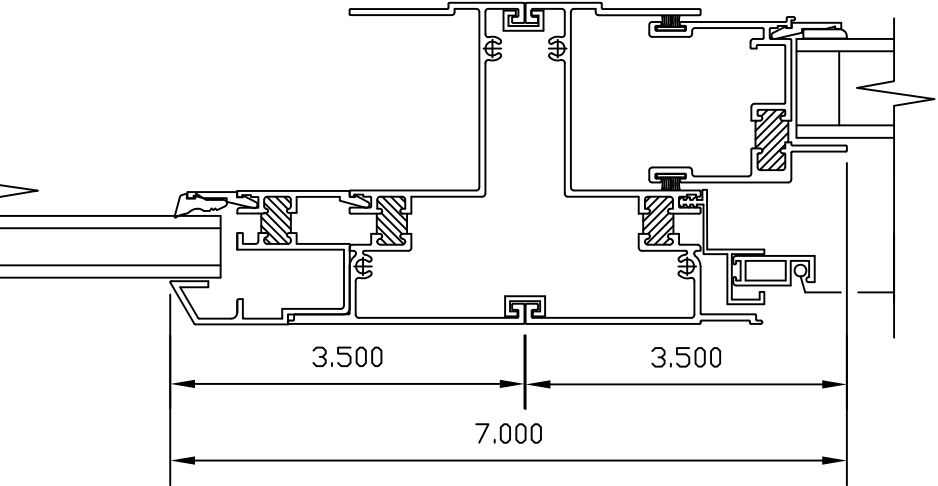
④

LEFT JAMB-BOTTOM SASH



⑤

MULLION C-MULL



MULLION T-MULL

1/2 SCALE