

# HISTORIC CONSERVATION BOARD AGENDA

5<sup>th</sup> Floor Conference Room  
805 Central Ave, II Centennial

Monday, September 11, 2017 at 3:00 pm

## CALL TO ORDER

## DISCUSSION ITEMS:

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**Item 1.** 1429 WALNUT ST                      The applicant requests a Certificate of Appropriateness for the approval of a covered outdoor bar area in the Over-the-Rhine Historic District.

**Applicant:** DRAWING DEPARTMENT

**Owner:** 9487 DRY FORK ROAD LLC

**Staff Report:** BETH JOHNSON

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**Item 2.** 936 DAYTON ST                      The applicant requests a Certificate of Appropriateness for the rehabilitation of an existing structure, including façade restoration, window repairs and reconstruction of rear addition in the Dayton Street Historic District.

**Applicant:** WICHMAN GUNTER ARCHITECTS

**Owner:** 936 DAYTON LLC

**Staff Report:** BETH JOHNSON

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**Item 3.** 203 E CLIFTON AV                      The applicant requests a Certificate of Appropriateness for the rehabilitation of an existing structure, including new rear decks and roof dormers, and Zoning Relief for rear yard setbacks and parking in the Over-the-Rhine Historic District.

**Applicant:** WICHMAN GUNTHER ARCHITECTS

**Owner:** BUCKEYE STREET VENTURES LLC

**Staff Report:** BETH JOHNSON

## OTHER BUSINESS

## ADJOURN

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## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

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APPLICATION #: COA2017053  
APPLICANT: Drawing Department  
OWNER: 9487 Dry Fork Rd LLC  
ADDRESS: **1429 Walnut Street**  
PARCELS: 080-0001-0082  
ZONING: CN-P  
OVERLAYS: Over-the-Rhine Historic District  
COMMUNITY: Over-the-Rhine  
REPORT DATE: August 31, 2017  
HEARING DATE: September 11, 2017  
STAFF REVIEW: Beth Johnson Urban Conservator

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### **Nature of Request:**

The applicant is requesting a Certificate of Appropriateness (COA) for an addition of a covered outdoor bar.

This application is retroactive. The outdoor bar was built before any permits were issued. An investigation fee will be issued with building permits if the HCB approves the application.

### **Existing Conditions:**

The property at 1429 Walnut Street is a one story commercial building that is a non-contributing building in OTR. It is a brick building that has been covered into a bar called Mecca. The property is an L shaped property with the main building fronting on to Walnut Street and the patio portion fronting onto E 15<sup>th</sup> Street.



Figure 1: 1429 Walnut. Image from Google Street View



Figure 2: Map of 1429 Walnut Street. Map provided by CAGIS.



**Proposed Conditions:**

The applicant is proposing to the following at 1429 Walnut Street

- Build and outdoor covered bar.
- The structure will be metal frame with a reclaimed metal roof.
- A 6 foot wood privacy fence is built along the west and south property lines.
- with the first floor

**Previous Reviews:** N/A

**Applicable Zoning Code Sections:**

HCB authority: [Section 1435-05-4](#)  
Overlays: [Section 1435](#) Historic Preservation  
Historic District/Reg: Dayton Street Historic District.  
COA Standard: [Section 1435-09-2](#) Certificate of Appropriateness;  
Standard of Review

**Details of Zoning Relief Required:**

- The applicant is in a CN-P Zoning District. All setbacks for the addition meet the underlying zoning requirements. The expanded bar on the patio does not increase the footprint of the use. No additional parking is required.
- The bar is a permitted use and the changes to the exterior were approved at staff level in March 2016. The required parking is 8 spaces and the applicants have provided a recorded easement at the time of the building permit application for the 8 spaces.

**Certificate of Appropriateness Review:**

A Certificate of Appropriateness is required for the addition. The structure substantially meets the OTR Historic Conservation Guidelines. The structure is a simple structure with an industrial feel to match the simple architecture of the building it is association with. It does not overpower the main building or any of the buildings surrounding it. It is a simple fairly non-descript structure. While visible from 15<sup>th</sup> Street, it is setback to the rear corner and the patio is still the main visual element. The addition is not visible from any other street or alley.

The structure will meet building code and fire separation per building code.

**Comments on Applicable Guidelines**

**Additions**

Intent and General Guidelines

1. Additions are allowed and should follow new construction guidelines. They should be compatible in character with the original. They should be sympathetic but not imitative in design.
2. Additions should be designed to relate architecturally to adjacent buildings in general and to the building they are a part of in particular.
3. Additions should not overpower the original building.
4. The appropriateness of design solutions will be based on balancing the program needs of the applicant with 1) how well the proposed design relates to the original building and neighboring buildings and 2) how closely the proposal meets the intent of these general guidelines and the specific guidelines for new construction.

*The new addition in the back is designed to provide shelter to a bar area, while the structure was built before permits were issued the owners were cited by the City and are taking measures to correct their actions. If this application had requested a COA before construction, staff would have recommended approval of the application as well. The design is simple and non-descript however also matches the architecture and vocabulary of the building it's attached to.*

*It does not over power the building or surrounding buildings. It is only visible from 15<sup>th</sup> Street, but is set back from the street so it doesn't disrupt or compete against the Italianate buildings on the street.*

**Other Considerations:** N/A

**Prehearing Results:** A Prehearing was held on August 23, 2017. The applicant was present.

**Comments Provided to Staff:** N/A

**Consistency with *Plan Cincinnati (2012)*:**  
"Sustain" Initiative Area "Preserve our built history"

**Recommendation:**

Staff recommends the Historic Conservation Board take the following actions:

**I. CERTIFICATE OF APPROPRIATENESS**

**A.) APPROVE** a Certificate of Appropriateness for 1429 Walnut submitted by Drawing Department submitted 7/28/2017 including any revisions submitted for permit subject to staff review and approval with the following conditions.

- a. Building permits must be issued within two years of the decision date or the Certificate of Appropriateness shall expire.

**B.) FINDING:** The Board makes this determination per Section 1435-09-2:

- a. That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

# drawing dept

architecture & design

3217 madison rd cincinnati ohio 45209  
513.272.8099 | www.drawingdept.com

July 28, 2017

Beth Johnson  
Urban Conservator  
City of Cincinnati  
Division of Buildings and Inspections  
805 Central Ave., Suite 500  
Cincinnati, Ohio 45202

RE: Mecca Outdoor Bar (1429 Walnut St.) BPE Review Permit # 2017P05632

Dear Ms. Johnson,

This letter describes the proposed work at 1429 Walnut Street and seeks to demonstrate its appropriateness for the Over-the-Rhine Historic District.

**Work Proposed:**

This project is the addition of a covered outdoor bar to an existing drinking establishment (Mecca – permitted and approved for COA in early 2016). No change is proposed to the existing principle building, a one-story brick and concrete block masonry structure. The structure is on the non-contributing resource list as it was built circa 1972.


The new covered bar is a simple open-air, unconditioned structure constructed of steel tube framing and a ribbed steel-panel metal roof. The covered bar has been erected at the rear of the existing Mecca patio. It is 15'-0" tall at its peak and has an area of 350 square feet. *(Please note that the covered bar has already been built and is seeking approval from the Cincinnati Historic Conservation Board.)*

**Justification for Issuance:**

Mecca has an 'L' shaped lot with two street frontages – Walnut Street (primary) and East 15<sup>th</sup> Street (secondary). As the attached photographs attest, the new covered bar is only just noticeable from either street frontage.

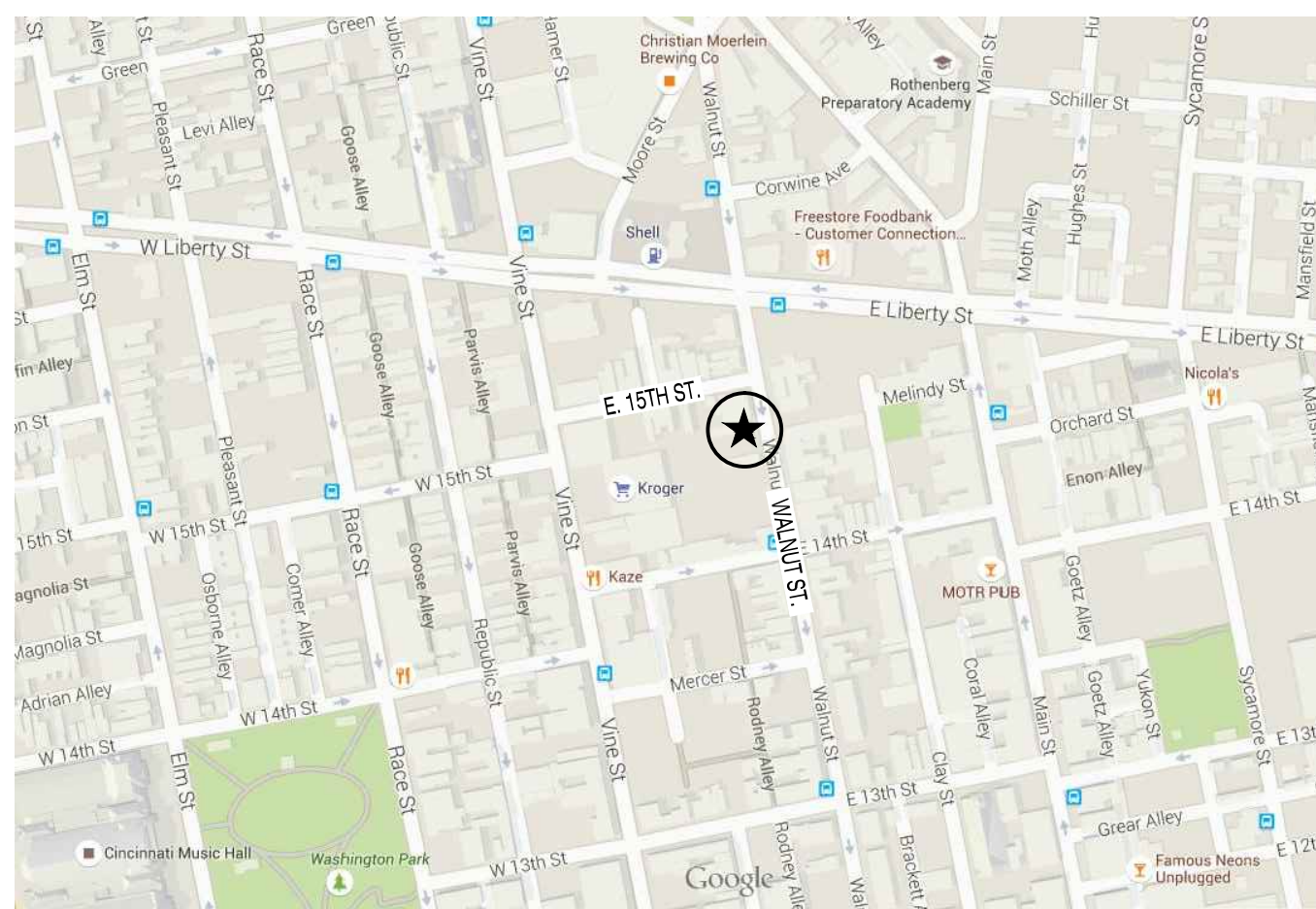
The new addition compliments the surrounding area in a variety of ways. Its single story height matches that of the principle building (while still deferring to the main building). It employs a simple gable roof with minimal overhang, similar to 25 E. 15<sup>th</sup> Street adjacent. This is noted as a typical and desired roof strategy in the OTR District guidelines for new construction. Finally, the simple material palette of black painted steel and sheet metal roof is compatible with the district. Please refer to Drawings on Sheet A0.0, Survey, and photographs attached. Thank you for your consideration.

Sincerely,



John Hoebbel  
Drawing Dept.

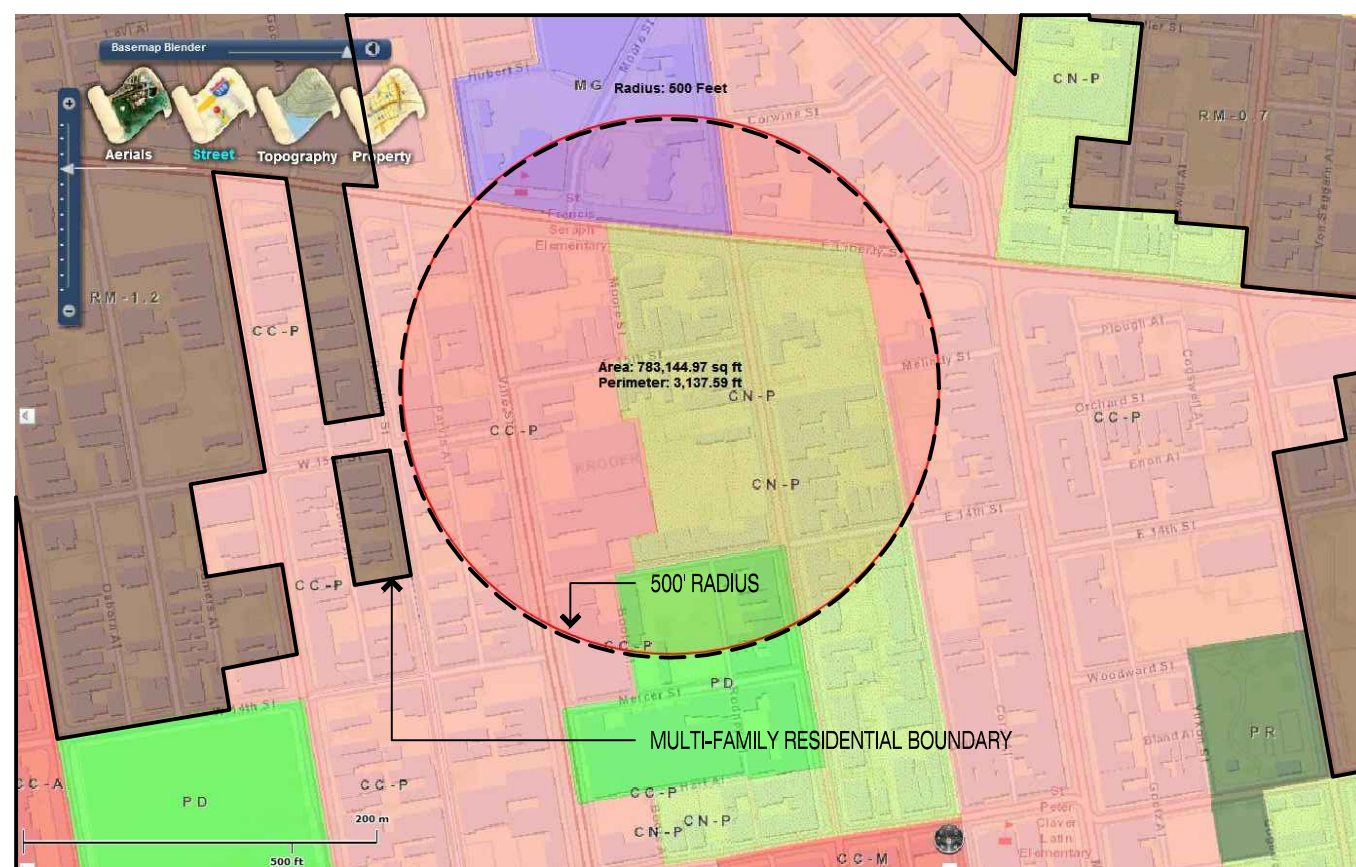
# MECCA



**1 VICINITY MAP** PARCEL #080-0001-0082-00  
**A0.0** NOT TO SCALE

## GRAPHIC SYMBOLS

	EXISTING CONSTRUCTION TO BE REMOVED		DOOR TAG - REFER TO DOOR SCHEDULE
	EXISTING CONSTRUCTION TO REMAIN		WINDOW TAG - REFER TO WINDOW SCHEDULE
	PROPOSED SCHEDULED PARTITION/FRAMING		ALIGN WITH ESTABLISHED SURFACES
	1-HOUR RATED CONSTRUCTION		INTERIOR ELEVATIONS (MULTIPLE)
	2-HOUR RATED CONSTRUCTION		PARTITION TYPE
			INTERIOR ELEVATION (SINGLE)
			FINISH TAG
			CENTERLINE
			WALL FINISH & BASE TAG
			KEY NOTE
			SPOT ELEVATION
			DETAIL SECTION
			BUILDING SECTION
	DETAIL		
	REVISION		
	FLOOR LEVEL ELEVATION		



NOTE: PROPERTY NOT WITHIN 500' OF A RESIDENTIAL DISTRICT BOUNDARY; OUTDOOR AREA MAY EXCEED 50% OF PUBLICLY ACCESSIBLE INDOOR SPACE PER CINCINNATI ZONING 1419-21 (c)

**Project Address:**  
 1429 Walnut St.  
 Cincinnati, OH 45202

**PROJECT DESCRIPTION**  
 THIS PROJECT IS THE ADDITION OF A COVERED OUTDOOR BAR TO AN EXISTING DRINKING ESTABLISHMENT (MECCA - PERMIT #2016P02095). A SMALL PORTION OF MECCA'S EXISTING OUTDOOR PATIO WILL BE DEDICATED TO THE NEW OPEN AIR COVERED BAR STRUCTURE. THE NON-COMBUSTIBLE STEEL FRAMED STRUCTURE SHALL BE REVIEWED AS ONE STRUCTURE WITH THE PRINCIPLE BUILDING AS IT ENGAGES THE EXISTING 1-STORY CONCRETE BLOCK BUILDING.

**APPLICABLE CODES**  
 OHIO BUILDING CODE (OBC) 2011  
 OHIO MECHANICAL CODE (OMC) 2011  
 OHIO PLUMBING CODE, INCLUDING CINTL AMENDMENTS 2011  
 NFPA 70, NATIONAL ELECTRIC CODE 2011 (IB)  
 CINCINNATI BUILDING CODE (CBC)

**CITY OF CINCINNATI ZONING**  
 ZONING: CN-P COMMERCIAL NEIGHBORHOOD PEDESTRIAN DISTRICT  
 HISTORIC DISTRICT: YES - OTR HISTORIC DISTRICT, NON-CONTRIBUTING STRUCTURE  
 HILLSIDE: NO  
 INTERIM CONTROL DISTRICT: EXPIRED  
 URBAN DESIGN OVERLAY: NO  
 GROUND FLOOR TRANSP: YES (80%)

**PARKING**  
 NOTE: EXISTING USE AND OCCUPANCY TO REMAIN; THEREFORE NO CHANGE TO PARKING REQUIREMENTS. PARKING CALCULATIONS FROM PERMIT #2016P02095 BELOW IN GREY.

CINCINNATI ZONING CODE REQUIRES THAT DRINKING ESTABLISHMENTS PROVIDE 1 PARKING SPACE PER 150 GROSS SQUARE FEET.

THE GROSS FLOOR AREA SQUARE FOOTAGE CALCULATION BELOW INCLUDES THE TOTAL FLOOR AREA AT FIRST FLOOR IN ADDITION TO OUTDOOR DINING AND DRINKING AREAS (WITH AREAS FOR INCIDENTAL STORAGE AND MECHANICAL AREAS SUBTRACTED).

USE	GROSS AREA (SF)	SPACES REQ'D
BAR	4295-2000* = 2295	16 @ 1/150 SQ. FT.

NOTE\*: THE FIRST 2,000 SQUARE FEET OF GROSS FLOOR AREA OF EXISTING AND NEW COMMERCIAL USES ARE EXEMPTED FROM THE OFF-STREET PARKING REQUIREMENTS. PER CINCINNATI ZONING 1425-19.

CINCINNATI ZONING SECTION § 1425-23 (A) ALLOWS FOR A FURTHER REDUCTION TO THE REQUIRED PARKING COUNT DUE TO THE PROPERTIES PROXIMITY TO PUBLIC PARKING. THE EXISTING BUILDING IS WITHIN 600 FEET OF THE 340-SPACE MERCER PUBLIC PARKING GARAGE. THIS GARAGE IS CAPABLE OF PROVIDING WELL MORE THAN 50% OF THE PARKING REQUIRED FOR THE BUILDING'S USE, THUS BRINGING THE REQUIRED NUMBER OF PARKING SPACES DOWN TO EIGHT.

TOTAL PARKING SPACES REQUIRED: 8  
 TOTAL PARKING SPACES PROVIDED: 8

(SPACES PROVIDED OFFSITE - SEE LETTER PROVIDED WITH PERMIT APPLICATION)

**USE GROUP**  
 EXISTING UNSEPARATED MIXED USE  
 1ST FLOOR: A-2 (BAR) + B (OFFICE)

PROPOSED UNSEPARATED MIXED USE  
 1ST FLOOR: A-2 (BAR) + B (OFFICE)

**TOTAL OCCUPIABLE SQUARE FOOTAGE: 2,297 GSF**  
 (CALCULATED FROM THE INSIDE FACE OF EXTERIOR WALLS)

	EXISTING BLDG.	PROPOSED COVERED BAR
1ST FLOOR:	1946 GSF	350 GSF

**HEIGHT AND AREA - III B**  
 (BASE ON MORE RESTRICTIVE A-2 OCCUPANCY)

	PROPOSED	ALLOWED
SQ. FT.	2,297 sq. ft.	9,500 sq. ft.
STORIES:	1 above grade plane	2 above grade plane
HEIGHT:	18'-6" ±	55'-0"

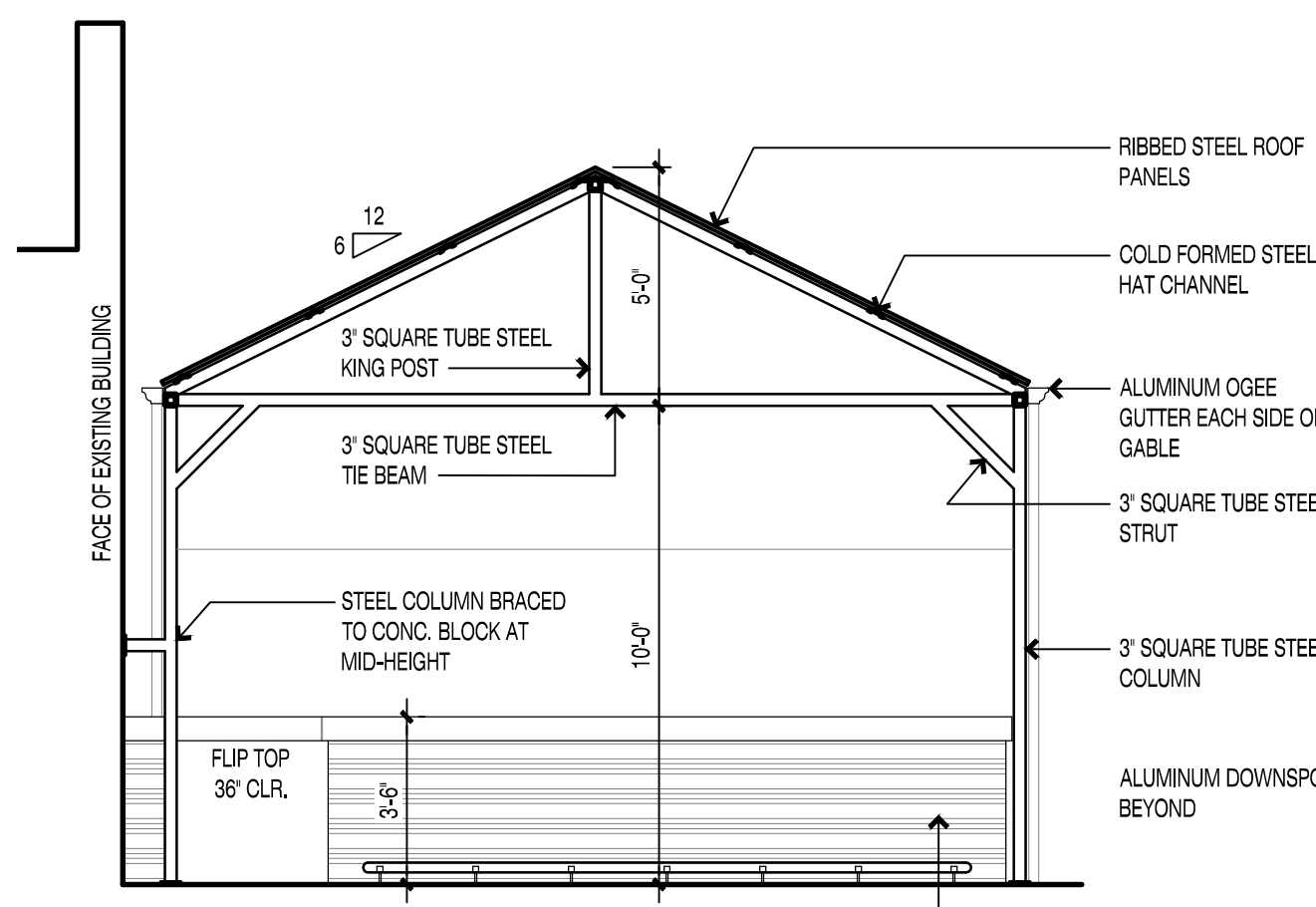
**CONSTRUCTION TYPE - III B**

	EXISTING	PROPOSED
ROOF:	METAL	SAME
EXTERIOR BEARING:	MASONRY	MASONRY / STEEL
INTERIOR BEARING:	STEEL/MASONRY	SAME
INTERIOR PARTITIONS:	WOOD/METAL	SAME
FLOOR:	CONCRETE	SAME

**OCCUPANCY AND PLUMBING**  
 EXISTING OCCUPANCY TO REMAIN (168 ASSEMBLY OCCUPANTS PERMITTED IN COURTYARD UNDER PREVIOUS PERMIT #2016P02095)

**AUTOMATIC SPRINKLER SYSTEM**  
 AUTOMATIC SPRINKLER SYSTEM NOT REQUIRED PER OBC 903.2.1.2 (BASED ON MORE RESTRICTIVE A-2 USE - UNDER 5,000 SQ. FT., UNDER 100 OCCUPANTS, FIRE AREA AT LEVEL OF EXIT DISCHARGE)

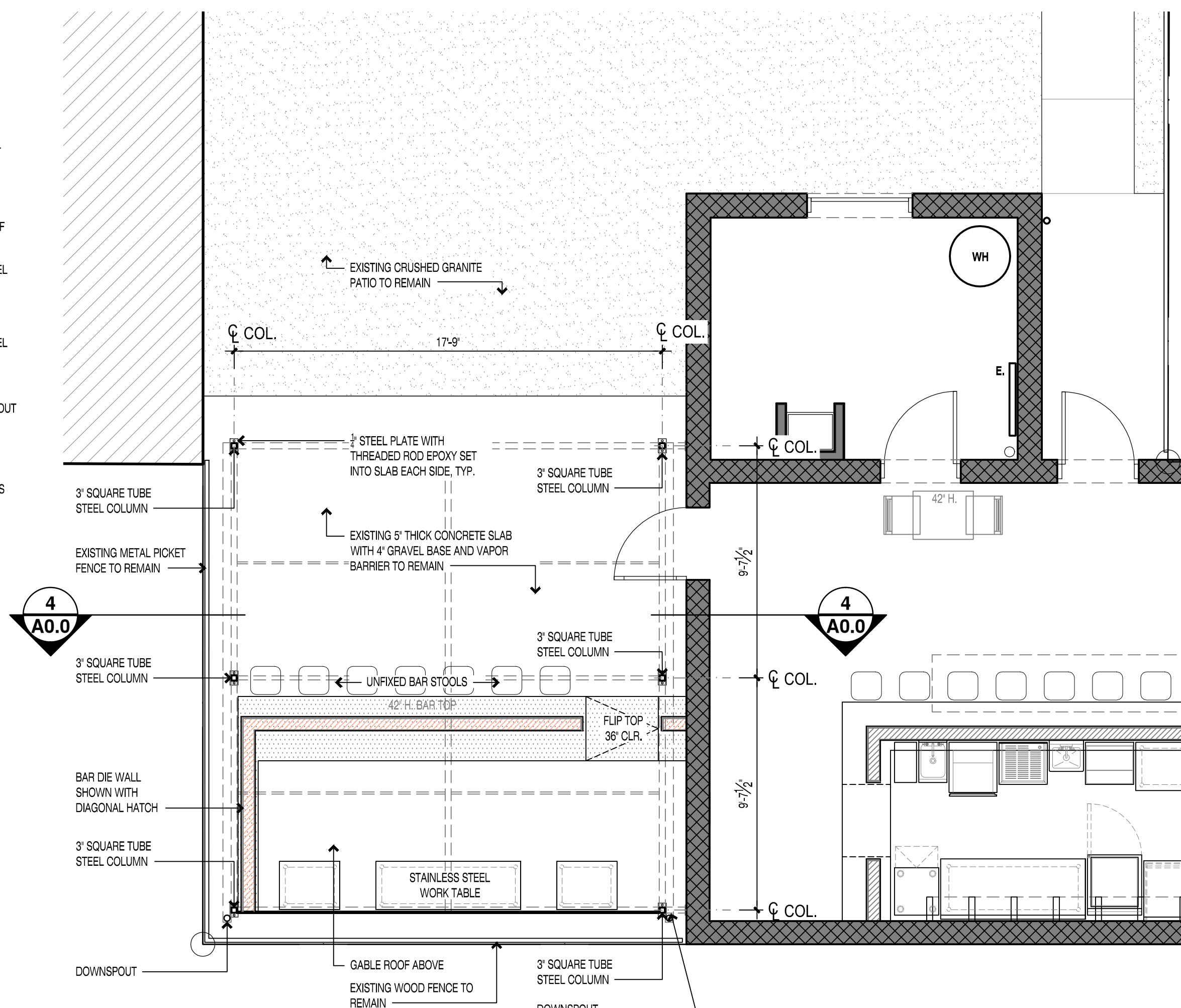
**FIRE ALARM AND DETECTION SYSTEMS**  
 FIRE ALARM AND DETECTION SYSTEM UNDER SEPARATE PERMIT BY GENERAL CONTRACTOR FIRE ALARM SUBCONTRACTOR T.B.D.



**4 Covered Bar Section**  
**A0.0** 1/8"=1'-0"  
 UNHEATED / UNCOOLED AND UNENCLOSED

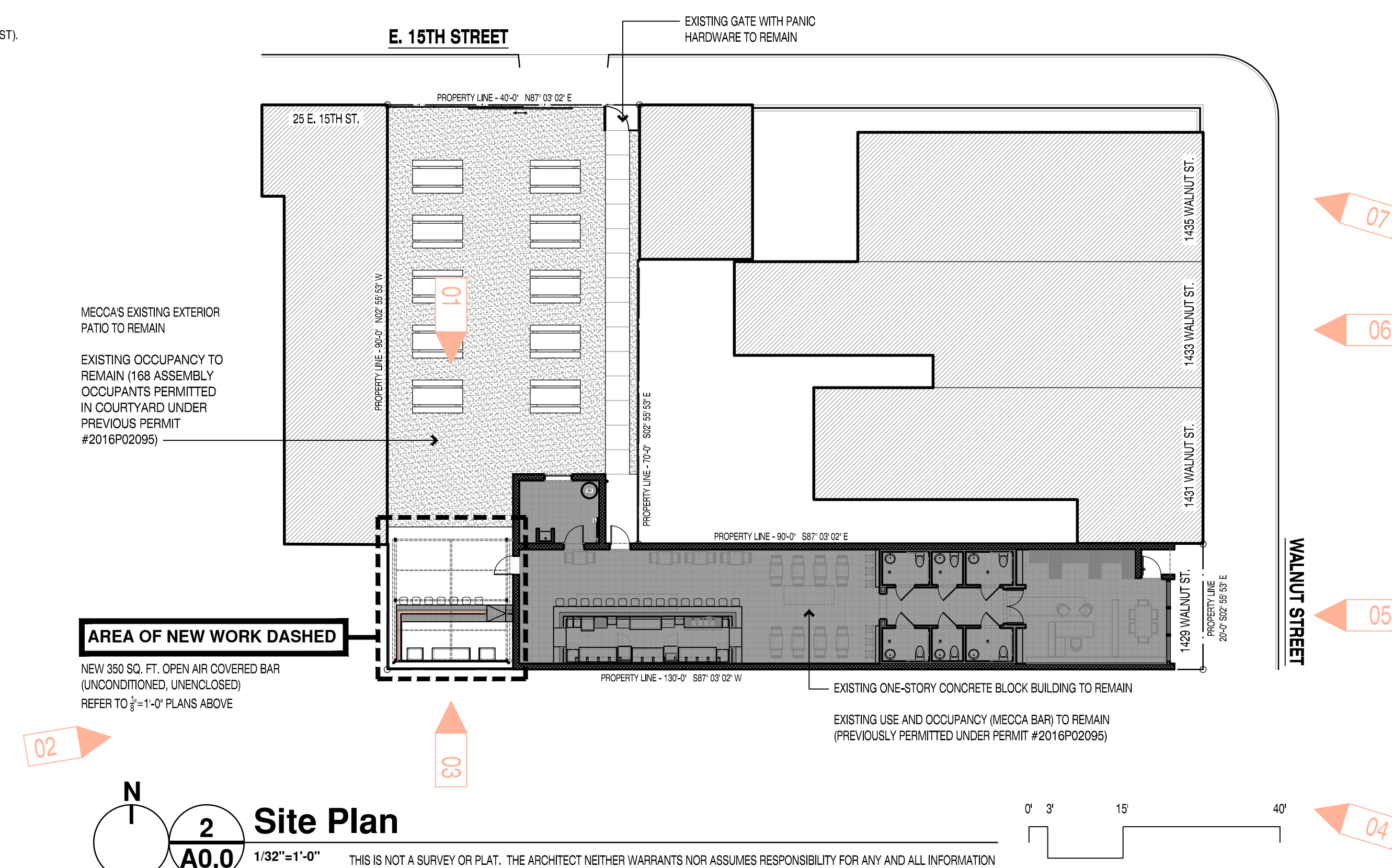
### GENERAL STRUCTURAL NOTES

- GOVERNING CODE**  
 OHIO BUILDING CODE - 2011, BASED ON 2009 IBC  
 CLASSIFICATION OF BUILDING STRUCTURE CATEGORY II, TABLE 1604.5
- DESIGN LOADS**
- ROOF LOAD:
    - 1.1 MINIMUM LIVE LOAD OR SNOW LOAD (PF) 20 PSF\*
    - \* MINIMUM SNOW LOAD GOVERNED BY PF = 20 \* I (PSF)
  - SNOW LOAD:
    - 2.1 GROUND SNOW LOAD, PG = 20 PSF MODIFIED BY APPLICABLE DRIFT COEFFICIENTS.
    - 2.3 SNOW LOAD IMPORTANCE FACTOR I = 1.00
    - 2.4 SNOW EXPOSURE FACTOR CE = 1.0
    - 2.5 THERMAL FACTOR, CT = 1.00
  - ROOF LOAD:
    - 3.1 LIVE LOAD 20 PSF
    - 3.2 METAL DECK 2 PSF
    - 3.3 JOIST FRAMING LOAD 4 PSF
    - 3.4 CEILING (5" DRYWALL) 3 PSF
    - 3.5 MEMBRANE 1 PSF
    - 3.6 DUCTS, LIGHTS, MISC. MECHANICAL 3 PSF
    - 3.7 INSULATION 3 PSF
  - WIND LOAD:
    - 4.1 MAIN WINDFORCE - RESISTING SYSTEM: 90 MPH PER ASCE 7 (3-SECOND GUST).
    - 4.2 WIND EXPOSURE B
    - 4.4 BASIC WIND VELOCITY PRESSURE, QH = 11.11 PSF.
    - 4.5 INTERNAL GUST PRESSURE COEFFICIENT GCP = 0.18, ENCLOSED BUILDING.
  - FLOOR LOAD:
    - 5.1 LIVE LOAD 100 PSF



**3 Floor Plan**  
**A0.0** 1/8"=1'-0"

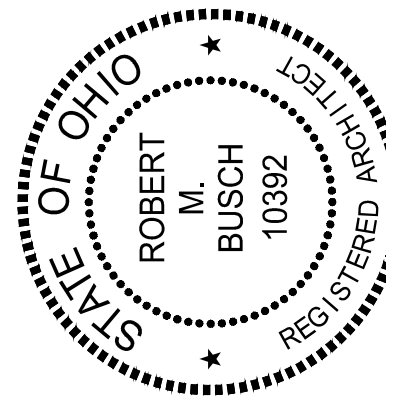
PROJECT TEAM	
OWNER: URBAN SITES 1209 SYCAMORE ST. CINCINNATI, OH 45202 (513) 621-6246	ARCHITECT: DRAWING DEPT 3217 MADISON ROAD CINCINNATI, OHIO 45209 (513) 272-8099
TENANT: MECCA (JOSEPH CREIGHTON)	
DRAWING INDEX	
■ CURRENT DRAWING	
■ REISSUED DRAWING W/ NO CHANGES	
# SHEET NAME	HISTORIC REVIEW - 28 JULY 2017
01 COVER, CODE, & DRAWINGS	
02 PHOTOGRAPHS SURVEY	



**2 Site Plan**  
**A0.0** 1/32"=1'-0"

THIS IS NOT A SURVEY OR PLAT. THE ARCHITECT NEITHER WARRANTS NOR ASSUMES RESPONSIBILITY FOR ANY AND ALL INFORMATION CONTAINED ON THIS DRAWING, OR FOR ANY AND ALL CONCLUSIONS THAT MAY BE DRAWN BY OTHERS FROM THIS DRAWING.  
 THE INFORMATION CONTAINED IN THIS DRAWING WAS COMPILED FROM THE FOLLOWING:  
 -CINCINNATI AREA GEOGRAPHIC INFORMATION SYSTEM (CAGIS) MAP  
 -SITE OBSERVATIONS AND MEASUREMENTS MADE BY THE ARCHITECT

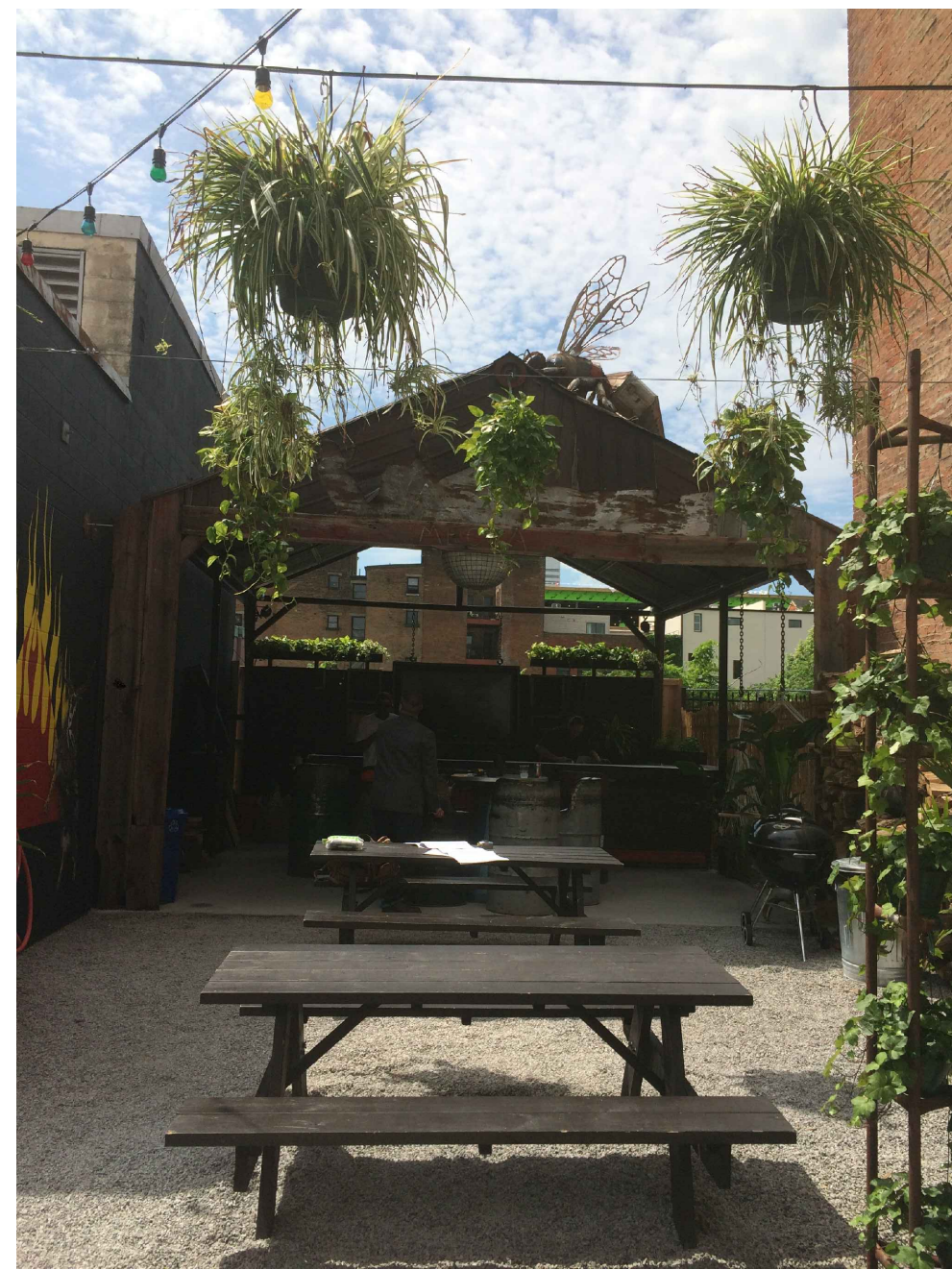
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Robert M. Busch  
 License #: 10392  
 Exp. Date: 12/31/2017

**MECCA OUTDOOR BAR**  
 1429 Walnut St.  
 Cincinnati, Ohio 45202

**Sheet 01**  
 cover sheet, code information, and drawings  
 HISTORIC REVIEW - 28 July 2017



01 VIEW FROM MECCA PATIO



02 VIEW FROM 1423 WALNUT ST. (PARKING LOT)



03 VIEW FROM 1423 WALNUT ST. (PARKING LOT)

NEW MECCA OUTDOOR COVERED BAR



04 1423 WALNUT ST. (PARKING LOT)



05 1429 WALNUT ST. (MECCA) + 1431 WALNUT



06 1433 WALNUT ST.



07 1435 WALNUT ST.



08 1435 WALNUT ST.



09 1429 WALNUT ST. (MECCA PATIO)



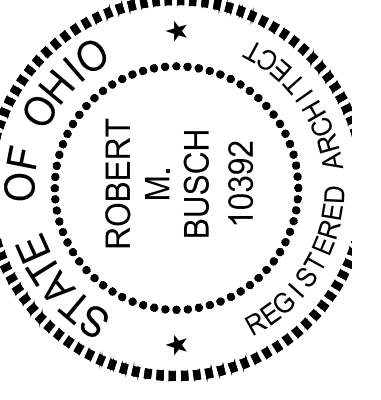
10 25 E. 15TH ST.

MECCA OUTDOOR BAR

WALNUT ST. - STREETScape AND CONTEXT

E. 15TH ST. - STREETScape AND CONTEXT

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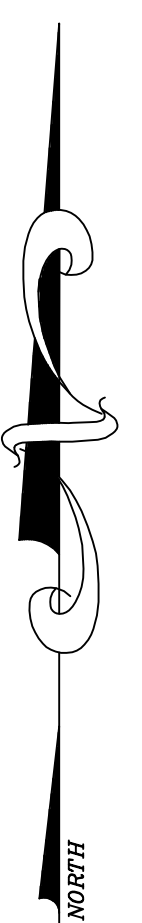
Robert M. Busch  
License #: 10392  
Exp. Date: 12/31/2017

MECCA OUTDOOR BAR  
1429 Walnut St.  
Cincinnati, Ohio 45202

Sheet 02  
photographs  
HISTORIC REVIEW - 28 July 2017

- LEGEND**  
EXISTING FEATURES
- MANHOLE
  - ▭ CATCH BASIN/DRAIN
  - ▭ GUTTER INLET
  - CLEAN OUT
  - DOWNSPOUT
  - UTILITY POLE
  - ▭ ELECTRIC BOX
  - ▭ TELEPHONE BOX
  - ▭ CABLE TV BOX
  - ☆ LIGHT POLE/LAMP POST
  - ▭ TRAFFIC SIGNAL/BOX
  - ▲ FIRE HYDRANT
  - WATER VALVE/METER
  - SPRINKLER/VALVE
  - GAS VALVE/METER
  - SIGN/SIGN POST
  - FLAG POLE
  - ▭ MAIL BOX
  - ▽ PARKING METER
  - GUARD POST
  - HANDICAPPED PARKING
  - S- SANITARY SEWER
  - ST- STORM SEWER
  - W- WATER LINE
  - G- GAS LINE
  - E- ELECTRIC LINE
  - T- TELEPHONE LINE
  - OH- OVERHEAD UTILITY LINE
  - X- FENCE LINE

- LEGEND**  
MONUMENTS  
(UNLESS NOTED OTHERWISE)
- EX. 5/8" IRON PIN
  - EX. SPIKE
  - ☆ EX. NOTCH
  - ☆ EX. NAIL
  - △ EX. STONE
  - EX. CONC. MON.
  - X- EX. FENCE LINE
  - 5/8" IRON PIN SET
  - ⊙ 1" IRON PIN SET
  - ☆ SPIKE SET
  - ☆ NOTCH SET
  - ☆ NAIL SET
  - CONC. MON. SET



**NOTES**

BEARINGS BASED ON ASSUMED MERIDIAN.

OCCUPATION IN GENERAL FITS SURVEY EXCEPT AS SHOWN.

MONUMENTS GENERALLY IN GOOD CONDITION UNLESS NOTED OTHERWISE.

SURVEY BASED ON FIELD EVIDENCE AND DEEDS & PLATS OF RECORD NOTED HEREON.

EASEMENTS SHOWN HEREON WERE DISCOVERED DURING THE COURSE OF RESEARCH OF PUBLIC RECORDS AND MAY NOT COMPRISE ALL OF THE EASEMENTS AND/OR ENCUMBRANCES AFFECTING THE SUBJECT PROPERTY.

THE UNDERGROUND UTILITIES SHOWN ARE BASED ON A COMBINATION OF SURFACE EVIDENCE AND AVAILABLE PLANS & RECORDS; THEY HAVE NOT BEEN PHYSICALLY LOCATED. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES ON THE PREMISES, EITHER IN SERVICE OR ABANDONED. NOR IS IT GUARANTEED THAT THEY ARE IN THE EXACT LOCATION INDICATED, ONLY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.



**UNDERGROUND UTILITIES**

2 WORKING DAYS  
**BEFORE YOU DIG**

CALL...800-362-2764 (Toll Free)  
OHIO UTILITIES PROTECTION SERVICE (OUPS)

CALL...800-925-0988 (Toll Free)  
OHIO OIL & GAS PRODUCERS UNDERGROUND PROTECTION SERVICE (OGPUPS)

NON-MEMBERS MUST BE CALLED DIRECTLY

**TOPOGRAPHIC SURVEY**

LOTS 65, 66 & 72 MOORE'S SUBDIVISION  
P.B. 2, PGS. 184-185

SECTION 18, TOWN 4, FRACTIONAL RANGE 1  
CITY OF CINCINNATI  
HAMILTON COUNTY, OHIO

**msp** McGill Smith Punshon, Inc.  
3700 Park 42 Drive • Suite 190B  
Cincinnati, Ohio 45241-2097  
Tel 513.759.0004 • Fax 513.563.7099  
www.mcgillsmithpunshon.com

Engineers • Architects • Surveyors • Landscape Architects • Planners

Drawn By	JLK	Date	AUGUST 31, 2015	Project No.	15454.00	Sheet No.	1/1
Project Mgr.	RDN	Scale	1" = 10'	Points D.B.	TBC-15454		
CAD	15454003-BDY-AUG-2015	X-Ref.		N/A	File No.	15454	

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## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

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APPLICATION #: COA2017054  
APPLICANT: Wichman Gunther Architects  
OWNER: 936 Dayton LLC  
ADDRESS: **936 Dayton Street**  
PARCELS: 184-0003-0039  
ZONING: RM 1.2  
OVERLAYS: Dayton Street Historic District  
COMMUNITY: West End  
REPORT DATE: August 31, 2017  
HEARING DATE: September 11, 2017  
STAFF REVIEW: Beth Johnson Urban Conservator

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### **Nature of Request:**

The applicant is requesting a Certificate of Appropriateness (COA) demolition of an attached rear two story addition that has structural issues and the reconstruction of a two story rear addition in the same footprint.

### **Existing Conditions:**

The property at 936 Dayton Street is a 2 and a half story second empire residential brick building. The building was built around 1880 with a rear two story addition by 1891. The building is mid-block between Freeman and Baymiller Street and has a rear carriage house/garage that fronts the alley way.

Figure 1: 936 Dayton Street. Image from Google Street View





Figure 2: Map of 936 Dayton Street. Map provided by CAGIS.

**Proposed Conditions:**

The applicant is proposing to the following at 936 Dayton Street

- Demolish the rear two story addition salvaging brick for the new addition.
- Build a two story brick clad addition in the same footprint.
- The addition will place windows and doors in the same place as the demolished addition.
- The second floor east side of the addition will have a roof deck and will be sided in cement lap siding. The placement of windows and doors will be in alignment with the first floor
- The rear façade of the new addition will have one door and window in alignment oriented to the west side of the façade.
- The windows will be aluminum clad to match and the sills will be cast stone to match existing sills as well.

**Previous Reviews:** N/A

**Applicable Zoning Code Sections:**

HCB authority: [Section 1435-05-4](#)  
 Overlays: [Section 1435](#) Historic Preservation  
 Historic District/Reg: Dayton Street Historic District.  
 COA Standard: [Section 1435-09-2](#) Certificate of Appropriateness;  
 Standard of Review

**Details of Zoning Relief Required:**

- The applicant is in a RM 1.2 Zoning District. All setbacks for the addition meet the underlying zoning requirements.

- The home was previously a 4 family home and is being converted back into a single family home. This is bring the building back into a conforming structure for the neighborhood and is returning the building to its original use.

### **Certificate of Appropriateness Review:**

A Certificate of Appropriateness is required for the demo and rebuild of the rear addition. While the rear addition is a historic addition, it is in poor condition and the proposal to rebuild a similar rear addition in its place keeps the form and size of the building relatively the same. Reusing brick and other elements from the historic addition further helps integrate the new addition into the existing building.

### **Comments on Applicable Guidelines**

#### **Demolition**

The Dayton Street Historic Conservation Guidelines does not address demolition of any part of historic buildings. While the guidelines does not address demolition of additions or portions of historic buildings, staff does not feel that the proposed demolition will affect the integrity of the historic building or neighborhood as the applicant is proposing replacing the addition with another addition of similar massing and materials. Further this portion of the building cannot be seen from either the street of the alley do the main historic building and the garage/carriage house in the rear.

Staff has reviewed pictures and has done a site visit to confirm signs of structural issues including cracks throughout the brick and settling.

#### **Additions**

##### **Intent and General Guidelines**

1. Additions are allowed and should follow new construction guidelines. They should be compatible in character with the original. They should be sympathetic but not imitative in design.
2. Additions should be designed to relate architecturally to adjacent buildings in general and to the building they are a part of in particular.
3. Additions should not overpower the original building.
4. The appropriateness of design solutions will be based on balancing the program needs of the applicant with 1) how well the proposed design relates to the original building and neighboring buildings and 2) how closely the proposal meets the intent of these general guidelines and the specific guidelines for new construction.

*The new addition in the back is designed in a way to reflect what was historically there while integrating some new designed amenities including a second floor roof deck. The line of the shed roof, and main material and even the window placement was based off of the historic building. Staff feels that this design is appropriate to the building and retains the integrity of the massing, placement, materials and rhythm of the historic addition, while being able to address the issue of current levels of deterioration and structural damage and also integrate new desired amenities for*

*the clients and homeowners.*

*The materials are appropriate, as the addition is the same footprint and massing as the historic addition, it doesn't overpower the main building.*

**Other Considerations:** N/A

**Prehearing Results:** A Prehearing was held on August 23, 2017. The applicant and was present.

**Comments Provided to Staff:** N/A

**Consistency with *Plan Cincinnati (2012)*:**  
"Sustain" Initiative Area "Preserve our built history"

**Recommendation:**

Staff recommends the Historic Conservation Board take the following actions:

**I. CERTIFICATE OF APPROPRIATENESS**

**A. APPROVE** a Certificate of Appropriateness for 936 Dayton Street submitted by Wichman Gunther Architects, submitted 7/28/2017 including any revisions submitted for permit subject to staff review and approval with the following conditions.

1. Building permits must be issued within two years of the decision date or the Certificate of Appropriateness shall expire.

**B. FINDING:** The Board makes this determination per Section 1435-09-2:

1. That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.
2. The demolition of the historic addition is offset by a replacement building that is reflective of the design and materials of the historic addition.
3. The historic addition was not visible from the street or alley and its demolition does not affect the integrity of the historic building of district.



II Centennial Plaza  
 805 Central Avenue, Suite 500  
 Cincinnati, Ohio 45202  
 Monday- Friday 7:30 am-4 pm  
 (513) 352-4848  
[Beth.Johnson@Cincinnati-OH.gov](mailto:Beth.Johnson@Cincinnati-OH.gov)

Office Use Only	
Application #:	_____
Date Accepted:	_____
<input type="checkbox"/> Staff Review	<input type="checkbox"/> Board Review
<input type="checkbox"/> Paid:	_____
Date Perfected:	_____
Hearing Date:	_____

## CERTIFICATE OF APPROPRIATENESS APPLICATION

### SUBJECT PROPERTY

Site Address: 936 Dayton Street Cincinnati Ohio 45214  
 Hamilton Co. Parcel ID No.: 184-0003-0039 Zoning District: RM-1.2  
 Historic District: Dayton Street Overlay District: \_\_\_\_\_

### APPLICANT INFO PROPERTY OWNER OTHER Architect (AGENT, ATTORNEY, ARCHITECT, ETC.)

Name: WICHMAN GUNTHER ARCHITECTS  
 Contact Person (if legal entity): MARK GUNTHER  
 Address: 810 PLUM STREET  
 City: CINCINNATI State: OHIO Zip Code: 45202  
 Phone: 241-9933 E-mail: mark@wichmangutherarchitects.com

### PROPERTY OWNER INFO SAME AS ABOVE

Name: 936 Dayton LLC  
 Contact Person (if legal entity): CHRISTECKMAN  
 Address: 1306 Main St. #A  
 City: Cincinnati State: Ohio Zip Code: 45202  
 Phone: 305-6852 E-mail: checkman@gmail.com

### CERTIFICATE OF APPROPRIATENESS (SELECT ALL THAT APPLY)

New Construction  Alteration  Demolition

Provide a very brief summary of the project:

Complete building renovation including rebuilding damaged heat addition in same footprint

ZONING RELIEF  Yes  No

Provide a very brief summary of the zoning relief requested:

### SUBMISSION REQUIREMENTS & REQUIRED ATTACHMENTS

Demolition requests must include all required demolition forms.  
 All applications that include requests for zoning relief must include a zoning hearing application.  
 All persons seeking historic tax credits must provide a copy of their approved part II tax credit application.

I certify that all statements and documents that I provide with reference to this application are accurate, complete, and true to the best of my knowledge and belief. I further acknowledge that my application shall be deemed incomplete for my failure to timely comply with any requirement of this application, which non-compliance may result in delays in the scheduling and resolution of my application.

Applicant Signature: Mark A. Gunther Date: 7-28-17

# WICHMAN GUNTHER ARCHITECTS

July 28, 2017

Ms. Beth Johnson. Urban Conservator  
City of Cincinnati

Re: COA Application for 936 Dayton Street

Dear Beth,

Enclosed please find the above-referenced application for this property. It is the rehabilitation of a circa 1880 three story brick Second Empire structure. It will contain 2 dwellings; a primary unit on the first and second floor (rear) plus an additional townhouse unit on the 2<sup>nd</sup> & 3<sup>rd</sup> floors (front). The project is sited between contributing three story Italianate structures on the East & West. The street and side façades will be restored including repair of the existing wood windows. The rear of the structure contains an existing addition that has a failing foundation. The only repair option is to deconstruct the brick envelope, construct a new concrete foundation and rebuild in the same footprint. Existing brick will be salvaged and reused; the second floor will now have a recess to create a small outdoor deck off the master bedroom suite. None of the proposed new construction is visible from a public right of way.

With this submittal today, I understand we will be part of the September 11th Board agenda.

Please let me know what additional info I can provide.

Sincerely,

Mark A. Gunther, RA, NCARB  
for Wichman Gunther Architects, Inc.

cc: Chris Heckman

Date: 05/01/2017  
Location: 936 Dayton Street  
Request: demo of rear addition and rebuilt of rear addition  
Zoning District: RM 1.2 Dayton Street Historic Conservation Overlay Zone.

Applicant Name: Mark Gunther  
Address:

Dear: Mr. Gunther

The City of Cincinnati appreciates receiving your information regarding your proposed project. The purpose of this letter is to inform you that your proposed project will be required to get a Certificate of Appropriateness from the Historic Conservation Board as it is in a Historic Conservation Overlay Zone and is demolition of a rear addition and the construction of a new addition. Attached to this letter is a copy of the Certificate of Appropriateness Application and the required documents All documents under the Historic Conservation Board Review and Required for all New Construction, Major Alterations and Additions section **that are checked** are a required part of the submission and the submission will not be considered complete unless all of these documents are included. Please submit **only 3** copies of the COA application and all documents that are required. You will be required to submit 10 copies of the packet closer to the date of the Historic Conservation Board meeting. When you submit the copies of the application, the Documents Required Sheet must be submitted as well. **A \$603 fee is required with the submission as well.**

Your request complies with all zoning regulations for the RM 1.2 zoning district.

If you would like to access the City of Cincinnati Zoning Code please go to Title XIV of the Cincinnati Municipal Code. The Municipal Code can be accessed through a link on our department's webpage at <http://www.cincinnati-oh.gov/buildings/zoning-administration/>.

The 3 copies of the applications and documents required will be turned into the *Law Department- Office of Administrative Boards*. Their office is located on the 5<sup>th</sup> floor of 805 Central Avenue in the Permit Center. It is highly encouraged that you make an appointment for submission to guarantee that your submission will be accepted by the deadline. Appointments can be made with Kasandra Maynes at 513-352-1559.

You may also contact me at the information listed below with zoning questions, concerns or to make an appointment.

Sincerely,



Beth Johnson  
Urban Conservator  
(p): 513-352-4848  
(e): beth.johnson@cincinnati-oh.gov




Online Property Access

|< First << Prev Next >> Last >| [RETURN TO SEARCH LIST](#) Property 1 of 1

**Parcel ID** 184-0003-0039-00      **Address** 936 DAYTON ST      **Index Order** Parcel Number      **Tax Year** 2016 Payable 2017

## Property Information

<b>Tax District</b> 001 - CINTI CORP-CINTI CSD	<b>School District</b> CINCINNATI CSD	<b>Images/Sketches</b> 
<b>Appraisal Area</b> 02300 - WEST END	<b>Land Use</b> 401 - APARTMENT, 4-19 UNITS	
<b>Owner Name and Address</b> 936 DAYTON LLC 1306 MAIN ST #4 CINCINNATI OH 45202 (call 946-4015 if incorrect)	<b>Mailing Name and Address</b> 936 DAYTON LLC 1306 MAIN ST #4 CINCINNATI OH 45202 (call 946-4800 if incorrect)	
<b>Assessed Value</b> 15,720	<b>Effective Tax Rate</b> 95.401744	<b>Total Tax</b> \$1,513.02
<b>Property Description</b> 936 DAYTON ST 34.82 X 150 IRR AVERY & KIRBY SUB SQ 3 N S DAYTON 155 FT E OF FREEMAN AVE		

## Appraisal/Sales Summary

Year Built	1880
Total Rooms	0
# Bedrooms	0
# Full Bathrooms	0
# Half Bathrooms	0
Last Sale Date	3/8/2016
Last Sale Amount	\$132,500
Conveyance Number	103491
Deed Type	FD - Fiduciary Deed (Conv)
Deed Number	
# of Parcels Sold	1
Acreage	0.116
Front Footage	68.00

## Tax/Credit/Value Summary

Board of Revision	No
Rental Registration	No
Homestead	No
Owner Occupancy Credit	No
Foreclosure	No
Special Assessments	Yes
Market Land Value	15,160
CAUV Value	0
Market Improvement Value	29,740
Market Total Value	44,900
TIF Value	0
Abated Value	0
Exempt Value	0
<b>Taxes Paid</b>	<b>\$1,513.02</b>
Tax as % of Total Value	0.000%

Notes

## I Want To...

[Start a New Search](#)  
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[View the Online Help](#)  
[Auditor's Home](#)

## View:

[Property Summary](#)  
[Appraisal Information](#)  
[Levy Information](#)  
[Transfer](#)  
[Value History](#)  
[Board of Revision](#)  
[Payment Detail](#)  
[Tax Distributions](#)  
[Images](#)  
[Special Assessment/Payoff](#)  
[Tax Lien Certificates](#)  
[CAGIS Online Maps](#)  
[Aerial Imagery](#)  
[Owner Names](#)

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[Current Page](#)  
[Property Report](#)

# 936 Dayton Aerial View



FRONT(SOUTH)ELEVATION



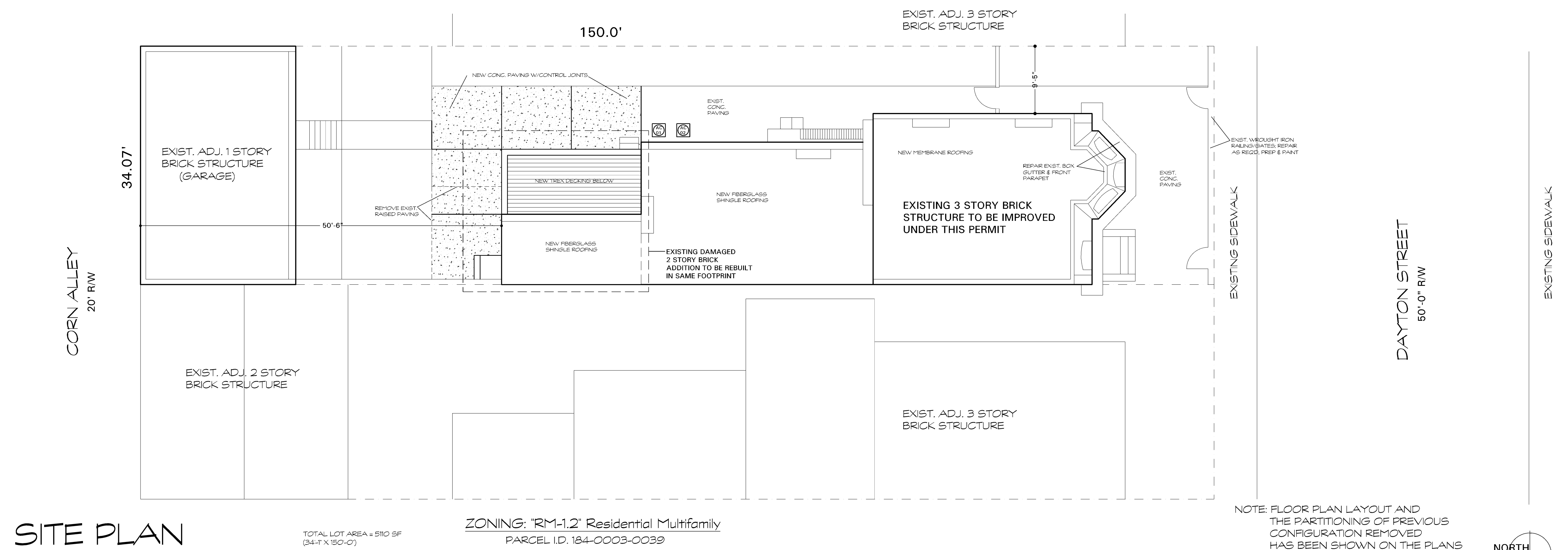
**SIDE(EAST)ELEVATION**



**SIDE (NEAST) ELEVATION**







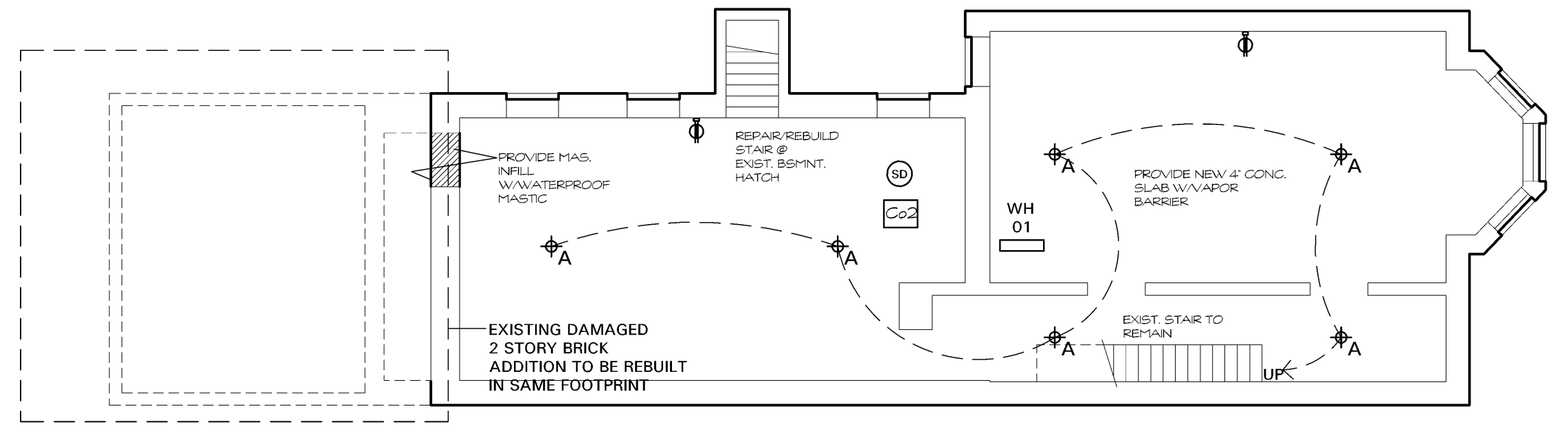
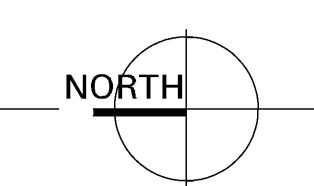
# SITE PLAN

SCALE: 1/8" = 1'-0"

TOTAL LOT AREA = 5110 SF (34'-4" X 150'-0")

ZONING: "RM-1.2" Residential Multifamily  
PARCEL I.D. 184-0003-0039

NOTE: FLOOR PLAN LAYOUT AND THE PARTITIONING OF PREVIOUS CONFIGURATION REMOVED HAS BEEN SHOWN ON THE PLANS



# BASEMENT PLAN

SCALE: 1/8" = 1'-0"

### RESIDENTIAL STRUCTURAL NOTES

GOVERNING CODE  
RCO - 2013

DESIGN LOADS

- FLOORS, STAIRS & EXTERIOR DECKS: 40 PSF LIVE + 10 PSF DEAD
- ROOFS: 25 PSF LIVE + 15 PSF DEAD
- WIND LOAD: 15 PSF
- GUARDRAIL IMPACT LOAD: 200 PSF

### WOOD

- FRAMING LUMBER
  - 2 X 4 AND LARGER NO. 2 GRADE OR BETTER SOUTHERN PINE KILN DRIED
  - 2 X 4 AND 2 X 6 STUD GRADE OR BETTER SPRUCE PINE FIR KILN DRIED
  - CCA OR C2C PRESURE TREAT PIECES IN CONTACT WITH FOUNDATION OR EXPOSED TO WEATHER.
- SHEATHING AND SUBFLOORING: 48/24 APA RATED TONGUE AND GROOVE SUBFLOOR EXPOSURE 1, 32/16 RATED ROOF SHEATHING EXPOSURE 1, 24/18 APA RATED STRUCTURAL WALL SHEATHING EXPOSURE 1. ALL SHEATHINGS TO BE NAILED WITH 8d NAILS AT 12" O.C. AT PANEL EDGES AND 12" O.C. INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE.
  - ADHESIVE FOR GLUED AND NAILED PLYWOOD SUBFLOORING SHALL CONFORM TO PERFORMANCE SPECIFICATION AFS-01 DEVELOPED BY APA.
  - LVL (LAMINATED VENEER LUMBER) BEAMS, DISTRIBUTED AS MICRO-LAM AND TRIMMER MAX. LVL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. LVL BEAMS SHALL HAVE DESIGN STRESS VALUES AS FOLLOWS:
 

F <sub>b</sub>	= 2925 PSI BENDING
F <sub>v</sub>	= 285 PSI HORIZONTAL SHEAR
F <sub>t</sub>	= 580 PSI COMPRESSION PERPENDICULAR TO GRAIN
E	= 2,000,000 PSI MODULUS OF ELASTICITY
- UNLESS NOTED OTHERWISE, CONNECTORS SHALL BE MADE PER TABLE R402.3; FASTENING SCHEDULE FOR STRUCTURAL MEMBERS; IN REFERENCED BUILDING CODE. STAPLES NOT PERMITTED FOR FASTENING APA RATED SHEATHING AND SUBFLOORING.
- ALL PLYWOOD SUBFLOORING SHALL BE NAILED.
- ALL CONNECTION HARDWARE SPECIFIED ON THE STRUCTURAL DRAWINGS AS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY SHALL BE FASTENED AS SPECIFIED IN THE SIMPSON PRODUCT AND INSTRUCTION MANUAL.
- INSTALL SIMPSON HD HURRICANE ANCHORS AT BEARING POINTS OF ALTERNATING RAFTERS. RAFTER MUST ALIGN WITH STUD AT ANCHOR LOCATIONS.
- BRIDGING IN FLOOR AND CEILING JOISTS SHALL BE 1 X 3 CROSS BRIDGING (DOUBLE NAILED) AT 8'-0" O.C. MAXIMUM.
- WALL STUDS SHALL LINE UP WITH FLOOR JOISTS OF FLOORS ABOVE AND BELOW.
- DOUBLE JOISTS SHALL LINE UP WITH FLOOR JOISTS OF FLOORS ABOVE AND BELOW.
- NOTCHES IN EXTERIOR WALL OR INTERIOR BEARING WALLS ARE NOT TO EXCEED ONE-FOURTH OF THE STUD WIDTH, AND NO HOLES ARE TO BE BORED GREATER THAN 1/4" OF THE STUD WIDTH.
- DURING HOT WEATHER, WHEN NECESSARY, PROVIDE FOR PROTECTIVE MEASURES IN ADVANCE OF PLACEMENT.
- AT CORNER AND INTERSECTIONS OF FOOTINGS, WALLS AND GRADE BEAMS, PROVIDE BENT BARS OF EQUAL SIZE AND AT SAME SPACING AS TYPICAL REINFORCING AROUND CORNER AND/OR INTO ADJUTING WALL OR GRADE BEAM. BARS SHALL HAVE EMBEDMENT OF 30 DIAMETERS (8" MIN).
- LAP BRUCE REINFORCING BARS 48 DIAMETERS UNLESS OTHERWISE NOTED. LAP WELDED WIRE FABRIC 12" MIN.
- AT SLAB AND WALL OPENING CORNERS AND REINFRANT CORNERS, PROVIDE (3) #5 BAR IN EACH FACE PARALLEL TO EACH EDGE EXTENDING A MINIMUM OF 2'-0" PAST EDGE OF OPENING. THIS STEEL MAY BE OMITTED IF TYPICAL WALL STEEL EXCEEDS THIS MINIMUM REQUIREMENT.
- ALL CAST-IN-PLACE CONCRETE WALLS SHALL BE PLACED CONTINUOUSLY WITH NO COLD JOINTS AND VIBRATED ADEQUATELY TO PREVENT AIR POCKETS.
- CONTROL JOINTS IN SLABS-ON-GRADE SHALL BE HAND TROWELED OR SAW CUT WITHIN 6 HOURS OF PLACING CONCRETE OR WHEN CONCRETE IS STRONG ENOUGH TO WITHSTAND CUTTING WITHOUT CRACKING AT THE EDGES.

### CONCRETE

- CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF AC 308.8B, SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS, EXCEPT AS MODIFIED BY THE SUPPLEMENTAL REQUIREMENTS BELOW, AND THE RECOMMENDED PRACTICE FOR RESIDENTIAL CONCRETE CONSTRUCTION ACI-308R-84.
- MATERIALS
  - CONCRETE UNLESS NOTED: f<sub>c</sub> = PSI, NORMAL AGGREGATE.
  - CONCRETE FOR EXTERIOR FLAT WORK, WALLS, ETC.: f<sub>c</sub> = 3500 PSI (4.5% TP 7.5% ENTRAINED AIR)
  - CONCRETE FOR FOUNDATION WALLS AND RETAINING WALLS WITH EXTERIOR EXPOSURE: f<sub>c</sub> = 3000 PSI
  - CONCRETE FOR FOOTINGS: f<sub>c</sub> = 3000 PSI
  - REINFORCING STEEL: ASTM A635 60 KSI YIELD DEFORMED BARS AND ASTM A635 MESH.
  - AD MIXTURES, ADMIXTURES CONTAINING CHLORIDE ARE NOT PERMITTED IN REINFORCED CONCRETE OR CONCRETE CONTAINING METALS.
- WHEN THE TEMPERATURE IS LESS THAN 40 DEGREES F, THE TEMPERATURE OF THE CONCRETE SHALL BE MAINTAINED BETWEEN 50 DEGREES AND 70 DEGREES F FOR 7 DAYS.
- DURING HOT WEATHER, WHEN NECESSARY, PROVIDE FOR PROTECTIVE MEASURES IN ADVANCE OF PLACEMENT.
- AT CORNER AND INTERSECTIONS OF FOOTINGS, WALLS AND GRADE BEAMS, PROVIDE BENT BARS OF EQUAL SIZE AND AT SAME SPACING AS TYPICAL REINFORCING AROUND CORNER AND/OR INTO ADJUTING WALL OR GRADE BEAM. BARS SHALL HAVE EMBEDMENT OF 30 DIAMETERS (8" MIN).
- LAP BRUCE REINFORCING BARS 48 DIAMETERS UNLESS OTHERWISE NOTED. LAP WELDED WIRE FABRIC 12" MIN.
- AT SLAB AND WALL OPENING CORNERS AND REINFRANT CORNERS, PROVIDE (3) #5 BAR IN EACH FACE PARALLEL TO EACH EDGE EXTENDING A MINIMUM OF 2'-0" PAST EDGE OF OPENING. THIS STEEL MAY BE OMITTED IF TYPICAL WALL STEEL EXCEEDS THIS MINIMUM REQUIREMENT.
- ALL CAST-IN-PLACE CONCRETE WALLS SHALL BE PLACED CONTINUOUSLY WITH NO COLD JOINTS AND VIBRATED ADEQUATELY TO PREVENT AIR POCKETS.
- CONTROL JOINTS IN SLABS-ON-GRADE SHALL BE HAND TROWELED OR SAW CUT WITHIN 6 HOURS OF PLACING CONCRETE OR WHEN CONCRETE IS STRONG ENOUGH TO WITHSTAND CUTTING WITHOUT CRACKING AT THE EDGES.

### CONSTRUCTION AND SAFETY

- CONTRACTOR SHALL BRACE ENTIRE STRUCTURE AS REQUIRED TO MAINTAIN STABILITY UNTIL COMPLETE AND FUNCTIONING AS THE DESIGNED UNIT.
- ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION SELECTED BY CONTRACTOR.
- THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. WHEN ON SITE, THE ARCHITECT/ENGINEER IS RESPONSIBLE FOR HIS OWN SAFETY BUT HAS NO RESPONSIBILITY FOR THE SAFETY OF OTHER PERSONNEL OR SAFETY CONDITIONS AT THE SITE.
- CONTRACTOR AND HIS AGENT (S) SHALL VERIFY ALL INFORMATION AND DIMENSIONS CONTAINED WITHIN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, INCLUDING BUILDINGS, SITE CONDITIONS, AND SOIL BEARING PRESSURE. ALL ERRORS, OMISSIONS, AND CONTRADICTIONS ARE TO BE REPORTED TO THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK. FAILURE TO DO SO WILL RELEASE THE ARCHITECT/ENGINEER OF A ALL RESPONSIBILITY. ANY CHANGES FROM THESE DOCUMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR. THESE DRAWINGS ARE NOT TO BE SCALED. IF INSUFFICIENT INFORMATION EXISTS, CONTACT THE ARCHITECT/ENGINEER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

- ARCHITECT AS USED IN THESE DOCUMENTS REFERS TO: WICHMAN GUNTHE ARCHITECTS, INC. 810 PLUM STREET CINCINNATI, OHIO 45202
- GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK. IN QUESTION OR RELATED WORK.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR SECURING ALL PERMITS AND COMPLIANCE TO ALL APPLICABLE CITY AND STATE CODES.
- GENERAL CONTRACTOR SHALL BALANCE HVAC SYSTEM TO ARCHITECT'S REQUIREMENTS AT THE CONCLUSION OF THE PROJECT.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR A THOROUGH CLEAN-UP OF PROJECT AREA PRIOR TO TURNING THE SPACE OVER TO THE OWNER.
- ALL WORK NOTED BY OTHERS OR N.I.C. IS TO BE ACCOMPLISHED BY A CONTRACTOR AND IS NOT TO BE A PART OF THE CONSTRUCTION AGREEMENT. THE GENERAL CONTRACTOR IS TO COORDINATE WITH OTHER CONTRACTOR AS REQUIRED.
- "AS SHOWN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- "TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS THROUGHOUT UNLESS NOTED OTHERWISE.
- DETAILS ARE USUALLY KEYED AND NOTED "TYPICAL" ONLY ONCE THEY FIRST OCCUR AND ARE REPRESENTATIVE FOR ALL SIMILAR CONDITIONS THROUGHOUT UNLESS OTHERWISE NOTED.
- ALL VERTICAL DIMENSIONS ARE SHOWN TO FINISH FLOOR, UNLESS OTHERWISE NOTED.
- NEW GYPSUM BOARD CONSTRUCTION MEETING EXISTING CONSTRUCTION IN SAME PLACE SHALL BE FLUSH WITH NO VISIBLE JOINTS SHOWING.
- ALL DIMENSIONS ARE TO FINISH FACE UNLESS OTHERWISE NOTED.
- ALL NEW WALL CONSTRUCTION PER TYPES SCHEDULED ON DRAWINGS.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL BLOCKING. USE PRES-TREATED WOOD BLOCKING THROUGHOUT.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR REPAIRING/REPLACING ANY DAMAGED OR MISSING WOOD FLOOR PLANING WITHIN THE SCOPE OF THE PROJECT. THE NEW FLOORING IS TO MATCH THE EXISTING FLOORING. GENERAL CONTRACTOR TO REPAIR ALL WOOD FLOORING WITHIN THE SCOPE OF THE PROJECT THAT WILL NOT BE COVERED BY ANOTHER FINISH MATERIAL SUCH AS VINYL OR CARPET.
- ALL SUB-CONTRACTORS FOR EACH AND EVERY TRADE SHALL SECURE AND PAY FOR NECESSARY FEES, PERMITS AND INSPECTIONS WHICH ARE PERTAIN TO THE SCOPE OF THE SUB-CONTRACTORS WORK.
- ALL WORK SHALL BE COMPLETE IN EVERY RESPECT, AND MATERIAL, EQUIPMENT OR OTHER WORK, NOT SPECIFICALLY MENTIONED OR SHOWN, BUT NECESSARY TO COMPLETE THE WORK, SHALL BE PROVIDED.
- PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES, AND ALL DEBRIS TO BE KEPT AT A MINIMUM.
- EACH SUB-CONTRACTOR SHALL ADHERE TO THESE GENERAL CONDITIONS AND NOTES. EACH SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM HIS WORK, AND SHALL REPAIR SAME AT NO CHARGE TO THE OWNER.

# INDEX TO DRAWINGS

- A-0 SITE/BASEMENT PLAN, INDEX & NOTES
- A-1 FLOOR PLANS & SCHEDULES
- A-2 EAST/WEST/SOUTH ELEVATIONS
- A-3 BUILDING SECTION & FRAMING PLANS
- A-4 FRAMING PLANS & STRUCTURAL NOTES
- EM-1 REFLECTED CEILING/ MECH/ELEC. PLANS

BUILDING CODE NOTES

GOVERNING CODE: 2013 RCO

SCOPE OF WORK IS THE RENOVATION AND CONVERSION TO A TWO FAMILY RESIDENCE FROM THE PREVIOUS 3 UNIT CONFIGURATION OF CIRCA 1880 BUILDING IN THE DAYTON STREET HISTORIC DISTRICT

USE GROUP: TWO FAMILY

CONSTRUCTION TYPE: 3B

NO. OF STORIES: 3

PROJECT SCOPE TO PROVIDE THE FOLLOWING:  
-NEW INTERIOR PARTITIONS TO BE PAINTED DRYWALL  
-W/ NEW 1 X 4 PAINTED POPLAR WOOD BASE & TRIM  
-EXISTING PERIMETER WALL SURFACES TO BE PAINTED PLASTER W/ NEW 1 X POPLAR WOOD BASE & TRIM OR EXIST. BRICK W/APPLIED CLEAR SEALER  
-CEILING TO BE NEW PAINTED DRYWALL  
-FLOORING TO BE RECLAIMED WOOD & CERAMIC TILE IN ROOMS PER PLANS

Minimum Live Loads: 60 psf Floors (R-2)  
100 psf Stairs  
25 psf Roof  
200 psf Guardrail Impact

Structural Lumber Species & Grade:  
#2 Grade or better  
Southern Pine kiln dried

Simpson Strong-Tie or equal joist hangers

All roof coverings are Class C or better

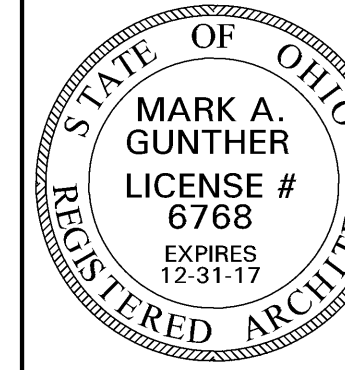
### ABBREVIATIONS

ACOUS	ACOUSTICAL	F.C.	FIRE CODE	PLAS	PLASTER
A.F.F.	ABV. FIN. FLOOR	F.D.	FLOOR DRAIN	REINF	REINFORCING
ALUM	ALUMINUM	FIN FLR	FINISHED FLOOR	S.C.	SOLID CORE
ANDD	ANODIZED	GALV	GALVANIZED	SHT	SHEET
BLDG	BUILDING	GYP BD	GYPSUM WALLBOARD	SIM	SIMILAR
BLK	BLOCK	HC	HOLLOW CORE	STD	STANDARD
CER	CERAMIC	HM	HOLLOW METAL	STL	STEEL
CJ	CONTROL JOINT	HVAC	HORIZONTAL	T/S	TOP OF STEEL
CL	CENTER LINE	INT	INTERIOR	TYP	TYPICAL
CLG	CEILING	INT	INTERIOR	VERT	VERTICAL
CONC	CONCRETE	JT	JOINT	W/	WOOD WITH
CONT.	CONTINUOUS	MANUF.	MANUFACTURER		
DET.	DETAIL	MAS	MASONRY		
D.S.	DOWN SPOUT	MATL	MATERIAL		
ELEV	ELEVATION	MTL	METAL		
EXIST	EXISTING	O.C.	ON CENTER		
EXT	EXTERIOR	OPENG	OPENING		

plot data  
name: 601938Dayton  
date: 5/26/2013  
issue: plan review

# A-01

J16-1700  
Renovation of  
936 Dayton Street  
Cincinnati, Ohio 45214



REVISION	DATE

WICHMAN GUNTHE ARCHITECTS, INC.  
810 PLUM STREET / CINCINNATI, OHIO 45202 / (513) 241-9933

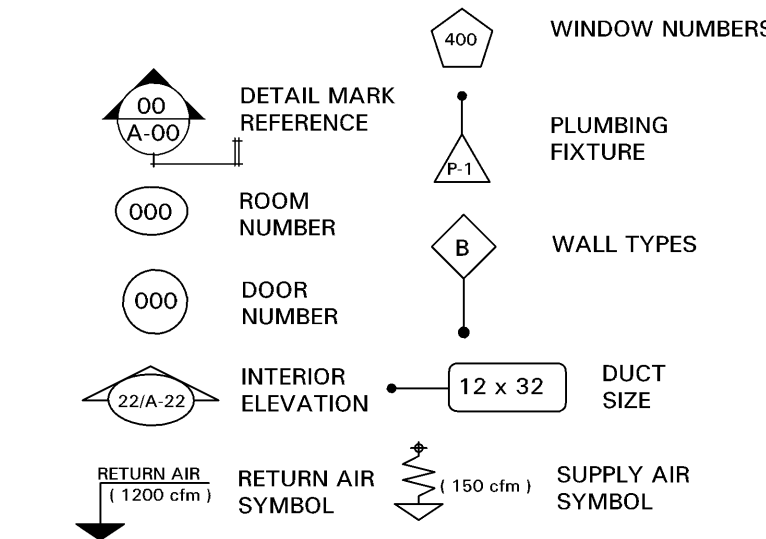
NO.	TYPE	MATL	SIZE	SASH	GLAZING	NOTES
W 1.0	DOUBLE HUNG	EXIST. WOOD	2'-11" x 7'-10"	ONE / ONE	CLEAR	SILL @ 24" A.F.F. + DARK BRONZE STORM
W 1.1	DOUBLE HUNG	EXIST. WOOD	3'-6" x 7'-10"	ONE / ONE	CLEAR	SILL @ 24" A.F.F. + DARK BRONZE STORM
W 1.2	DOUBLE HUNG	EXIST. WOOD	3'-0" x 6'-6"	ONE / ONE	CLEAR	SILL @ 24" A.F.F. + DARK BRONZE STORM
W 1.3	DOUBLE HUNG	EXIST. WOOD	3'-2" x 5'-10"	ONE / ONE	CLEAR	SILL @ 30" A.F.F. + DARK BRONZE STORM
W 1.4	FIXED TRANSOM	ALUMINUM	2'-8" x 1'-11"	CENTER BAR	CLEAR	SILL @ 66" A.F.F.
W 1.5	DOUBLE HUNG	ALUMINUM	3'-0" x 5'-10"	ONE / ONE	CLEAR	SILL @ 30" A.F.F.
W 2.0	DOUBLE HUNG	EXIST. WOOD	3'-2" x 7'-2"	ONE / ONE	CLEAR	SILL @ 24" A.F.F. + DARK BRONZE STORM
W 2.1	DOUBLE HUNG	EXIST. WOOD	2'-11" x 7'-2"	ONE / ONE	CLEAR	SILL @ 24" A.F.F. + DARK BRONZE STORM
W 2.2	DOUBLE HUNG	EXIST. WOOD	3'-6" x 7'-2"	ONE / ONE	CLEAR	SILL @ 24" A.F.F. + DARK BRONZE STORM
W 2.3	DOUBLE HUNG	EXIST. WOOD	3'-0" x 5'-8"	SIX / SIX	CLEAR	SILL @ 30" A.F.F. + DARK BRONZE STORM
W 2.4	DOUBLE HUNG	EXIST. WOOD	3'-2" x 5'-4"	ONE / ONE	CLEAR	SILL @ 24" A.F.F. + DARK BRONZE STORM
W 2.5	DOUBLE HUNG	ALUMINUM	3'-2" x 5'-4"	ONE / ONE	CLEAR	SILL: 16" A.F.F. @ DECK + TEMPERED GLAZING
W 2.6	FIXED	ALUMINUM	3'-2" x 3'-2"	SINGLE	CLEAR	SILL: 42" A.F.F. @ DECK
W 2.7	DOUBLE HUNG	ALUMINUM	3'-2" x 5'-8"	ONE / ONE	CLEAR	SILL @ 30" A.F.F.
W 3.0	DOUBLE HUNG	EXIST. WOOD	2'-11" x 4'-6"	ONE / ONE	CLEAR	SILL @ 52" A.F.F. + DARK BRONZE STORM
W 3.1	FIXED	EXIST. WOOD	18" DIAMETER	SINGLE	CLEAR	SILL @ 78" A.F.F. + DARK BRONZE STORM
W 3.2	DOUBLE HUNG	EXIST. WOOD	3'-2" x 6'-6"	SIX / SIX	CLEAR	SILL @ 24" A.F.F. + DARK BRONZE STORM
W 3.3	DOUBLE HUNG	CLAD WOOD	3'-2" x 6'-6"	SIX / SIX	CLEAR	NEW SILL @ 28" A.F.F.
W 3.4	DOUBLE HUNG	EXIST. WOOD	3'-0" x 6'-6"	SIX / SIX	CLEAR	SILL @ 24" A.F.F. + DARK BRONZE STORM
W 3.5	DOUBLE HUNG	EXIST. WOOD	3'-0" x 5'-6"	SIX / SIX	CLEAR	SILL @ 66" A.F.F.
W 3.6	FIXED	ALUMINUM	3'-2" x 2'-0"	SINGLE	CLEAR	SILL: 123" A.F.F.

NOTE: PROVIDE NEW HEAD/SILL FLASHING; REUSE EXISTING OR REPLICATE BRICKMOLD @ REBUILT/NEW OPNGS.  
 ALL GLAZING TO BE INSULATED @ NEW WINDOWS, LOW "E" W/ SECURITY FILM AT GRADE LEVEL OPENINGS.  
 WOOD WINDOW STORMS TO BE PROVA CONCORD SERIES IN DARK BRONZE  
 ALUMINUM WINDOWS TO BE QUAKER EMERGE SERIES IN DARK BRONZE  
 CLAD WOOD WINDOW UNIT TO BE QUAKER CLASSIS SERIES IN DARK BRONZE

**PLUMBING NOTES**

- PLUMBING CONTRACTOR TO SECURE ALL NECESSARY PERMITS AND INSPECTIONS REQUIRED BY LOCAL CODES
- REVIEW FIXTURE TYPES, SIZES, COLORS, ETC. WITH OWNER & ARCHITECT PRIOR TO INSTALLATION
- REMOVE ALL EXISTING PIPING NOT IN USE
- PROVIDE WASHER HOOKUPS AND FLOOR DRAINS TO LAUNDRY LOCATIONS
- PROVIDE ALL NECESSARY RISER DRAINAGES & SINKS AS REQUIRED TO PERFORM THE WORK
- PROVIDE FLOOR DRAINS AT ALL UTILITY ROOMS TO PROVIDE NEAREST SOURCE FOR CONDENSERS AND HOT WATER HEATERS
- CONTRACTOR TO PROVIDE AND INSTALL THE FOLLOWING FIXTURES:

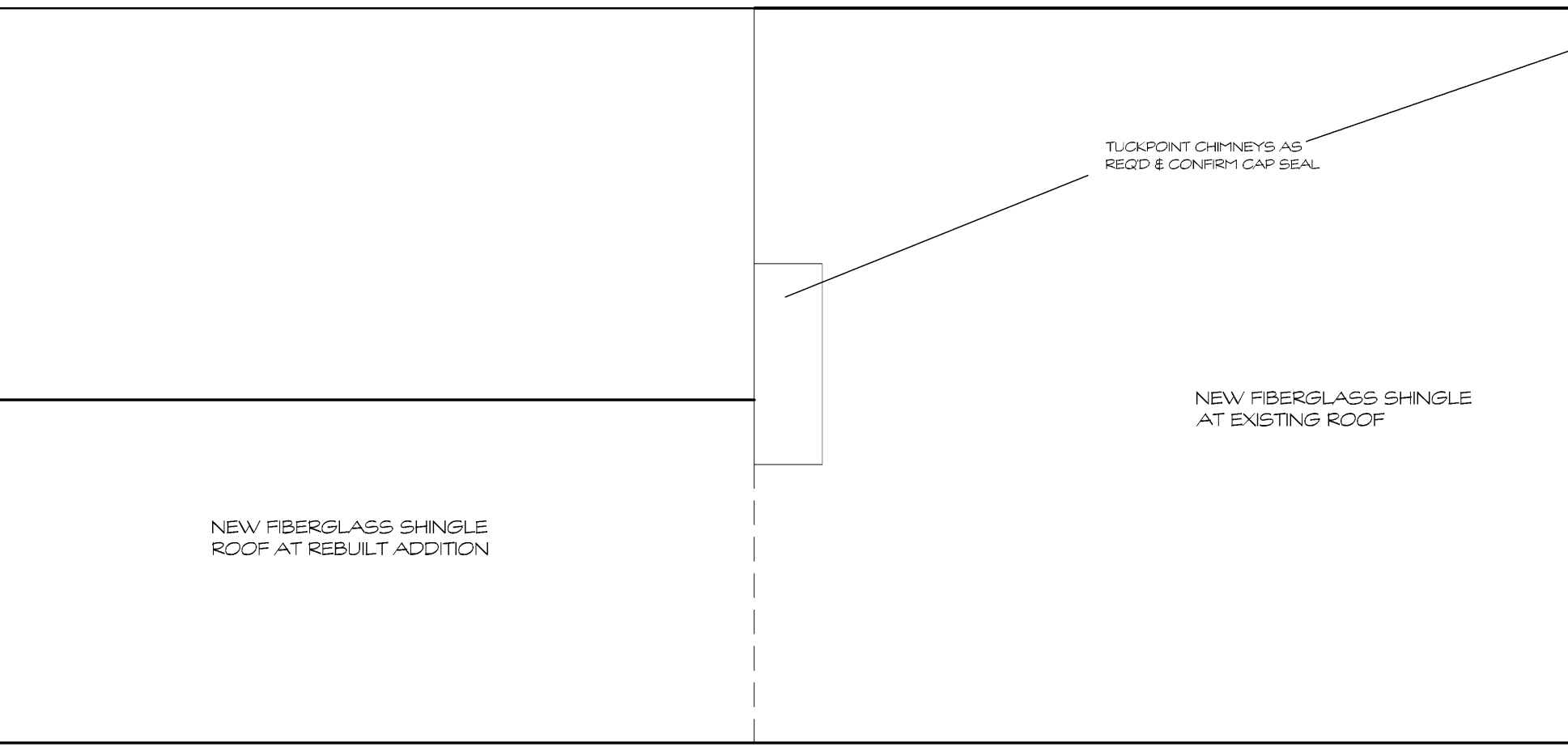
- P-1 HANSFLEX ELONGATED TOILET HODD NO. 155-100
- P-2 P28985/1 CHROME LAV. FAUCET BY DELTA @ COUNTERTOP SINK
- P-3 P28985/1 CHROME LAV. FAUCET BY DELTA @ PEDIestal SINK
- P-4 32" x 36" OR 42" PREFAB SHOWER FLOOR @ WALL KIT W/ DELTA ROCKCOLUMB SINKS AS REQUIRED TO PERFORM THE WORK
- P-5 30" x 60" CLAWFOOT BATH TUB W/ FAUCET
- P-6 DELTA HODD NO. P28985/1 CHROME LAV. FAUCET
- P-7 PREMIER PLUS HODD NO. 47201 LOW BOY 48.5 GAL. CAPACITY ELEC. HOT WATER HEATER
- P-8 UTILITY SINK & FAUCET



DOOR SCHEDULE	NO.	DOOR SIZE	MATERIAL	FINISH	TYPE	FRAME	FINISH	REMARKS
100A	36" x 80"	NEW WOOD	WOOD	SPRINT	WOOD	WOOD	WOOD	W/ TRANSOM
100B	24" x 72"	NEW WOOD	WOOD	SPRINT	WOOD	WOOD	WOOD	W/ TRANSOM
100C	24" x 72"	NEW WOOD	WOOD	SPRINT	WOOD	WOOD	WOOD	W/ TRANSOM
100D	24" x 72"	NEW WOOD	WOOD	SPRINT	WOOD	WOOD	WOOD	W/ TRANSOM
100E	24" x 72"	NEW WOOD	WOOD	SPRINT	WOOD	WOOD	WOOD	W/ TRANSOM
100F	24" x 72"	NEW WOOD	WOOD	SPRINT	WOOD	WOOD	WOOD	W/ TRANSOM
100G	24" x 72"	NEW WOOD	WOOD	SPRINT	WOOD	WOOD	WOOD	W/ TRANSOM
100H	24" x 72"	NEW WOOD	WOOD	SPRINT	WOOD	WOOD	WOOD	W/ TRANSOM
100I	24" x 72"	NEW WOOD	WOOD	SPRINT	WOOD	WOOD	WOOD	W/ TRANSOM
100J	24" x 72"	NEW WOOD	WOOD	SPRINT	WOOD	WOOD	WOOD	W/ TRANSOM
100K	24" x 72"	NEW WOOD	WOOD	SPRINT	WOOD	WOOD	WOOD	W/ TRANSOM
100L	24" x 72"	NEW WOOD	WOOD	SPRINT	WOOD	WOOD	WOOD	W/ TRANSOM
100M	24" x 72"	NEW WOOD	WOOD	SPRINT	WOOD	WOOD	WOOD	W/ TRANSOM
100N	24" x 72"	NEW WOOD	WOOD	SPRINT	WOOD	WOOD	WOOD	W/ TRANSOM
100O	24" x 72"	NEW WOOD	WOOD	SPRINT	WOOD	WOOD	WOOD	W/ TRANSOM
100P	24" x 72"	NEW WOOD	WOOD	SPRINT	WOOD	WOOD	WOOD	W/ TRANSOM
100Q	24" x 72"	NEW WOOD	WOOD	SPRINT	WOOD	WOOD	WOOD	W/ TRANSOM
100R	24" x 72"	NEW WOOD	WOOD	SPRINT	WOOD	WOOD	WOOD	W/ TRANSOM
100S	24" x 72"	NEW WOOD	WOOD	SPRINT	WOOD	WOOD	WOOD	W/ TRANSOM
100T	24" x 72"	NEW WOOD	WOOD	SPRINT	WOOD	WOOD	WOOD	W/ TRANSOM
100U	24" x 72"	NEW WOOD	WOOD	SPRINT	WOOD	WOOD	WOOD	W/ TRANSOM
100V	24" x 72"	NEW WOOD	WOOD	SPRINT	WOOD	WOOD	WOOD	W/ TRANSOM
100W	24" x 72"	NEW WOOD	WOOD	SPRINT	WOOD	WOOD	WOOD	W/ TRANSOM
100X	24" x 72"	NEW WOOD	WOOD	SPRINT	WOOD	WOOD	WOOD	W/ TRANSOM
100Y	24" x 72"	NEW WOOD	WOOD	SPRINT	WOOD	WOOD	WOOD	W/ TRANSOM
100Z	24" x 72"	NEW WOOD	WOOD	SPRINT	WOOD	WOOD	WOOD	W/ TRANSOM

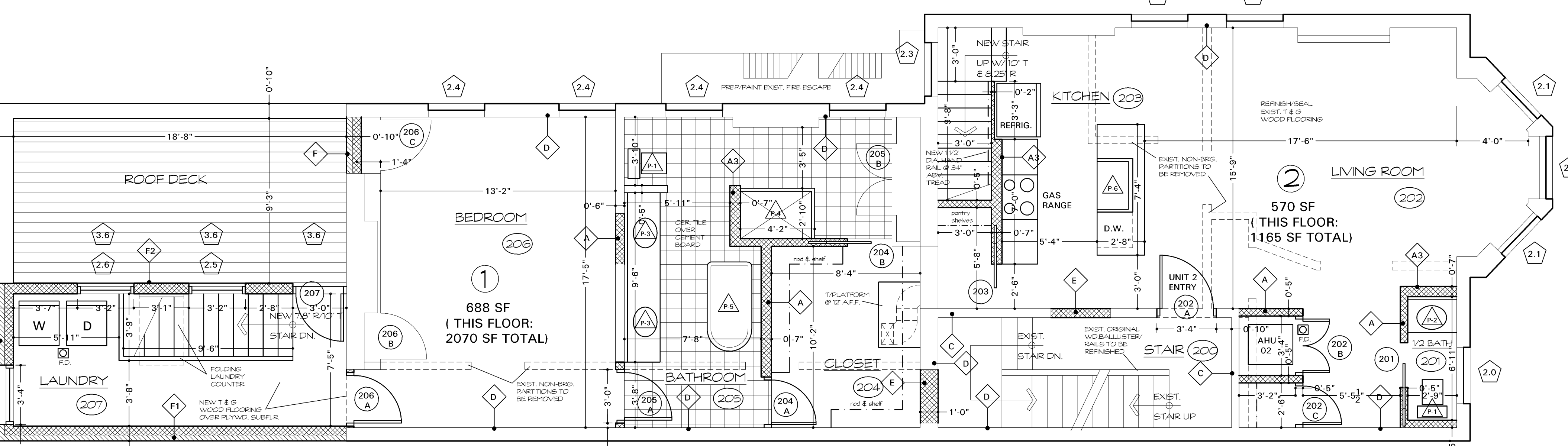
**WALL TYPES**

- A 3/8" 20 GA. 1" STUDS @ 16" O.C. W/ (1) LAYER OF 1/2" GYPSUM BOARD OR CEILING BACKER BOARD @ 16" O.C. OVER INSULATION ATTENUATION BLANKET IN WALL CAVITY. STC 50
- B SAME ASSEMBLY AS WALL TYPE 'A' EXCEPT STUDS ARE 2" x 4" WOOD @ 16" O.C.
- C 3/8" THICK PLASTER WALL; 1 HR. RATING. W/ WILLOWAY MINERAL WOOL @ STUD CAVITIES. PATCH/PREP/PAIN EXIST. PLASTER FINISH AND WOOD WANSICOT
- D 3/8" THICK MASONRY WALL; 2 HR. RATING. ULL BLOCKS STC 50 PATCH/PREP/PAIN EXIST. PLASTER FINISH
- E 2" x 4" WOOD STUDS (SET SEVERALS W/ INSUL. IN CAVITIES) W/ (1) LAYER OF 5/8" F.G. GYPSUM @ EA. SIDE. 1 HR. RATING. ULL-R130
- F 2" x 4" WOOD STUDS @ 16" O.C. W/ (2) LAYERS OF 1/2" GYPSUM (INT.) OVER MEMBRAN VAPOR RETARDER (CERTAINTED) + 1/2" FIRE RETARDANT TREATED WOOD SHEATHING. W/ WILLOWAY MINERAL WOOL @ STUD CAVITIES. PATCH/PREP/PAIN EXIST. PLASTER FINISH SEALER APPLIED
- G 2" x 4" WOOD STUDS @ 16" O.C. W/ (2) LAYERS OF 5/8" F.G. GYPSUM (INT.) OVER MEMBRAN VAPOR RETARDER (CERTAINTED) + 1/2" FIRE RETARDANT TREATED WOOD SHEATHING. W/ WILLOWAY MINERAL WOOL @ STUD CAVITIES. PATCH/PREP/PAIN EXIST. PLASTER FINISH SEALER APPLIED
- H 2" x 4" WOOD STUDS @ 16" O.C. W/ (1) LAYER OF 1/2" GYPSUM (INT.) OVER MEMBRAN VAPOR RETARDER (CERTAINTED) + 1/2" FIRE RETARDANT TREATED WOOD SHEATHING. W/ WILLOWAY MINERAL WOOL @ STUD CAVITIES. PATCH/PREP/PAIN EXIST. PLASTER FINISH SEALER APPLIED
- I 2" x 4" WOOD STUDS @ 16" O.C. W/ (1) LAYER OF 1/2" GYPSUM (INT.) OVER MEMBRAN VAPOR RETARDER (CERTAINTED) + 1/2" FIRE RETARDANT TREATED WOOD SHEATHING. W/ WILLOWAY MINERAL WOOL @ STUD CAVITIES. PATCH/PREP/PAIN EXIST. PLASTER FINISH SEALER APPLIED
- J 2" x 4" WOOD STUDS @ 16" O.C. W/ (1) LAYER OF 1/2" GYPSUM (INT.) OVER MEMBRAN VAPOR RETARDER (CERTAINTED) + 1/2" FIRE RETARDANT TREATED WOOD SHEATHING. W/ WILLOWAY MINERAL WOOL @ STUD CAVITIES. PATCH/PREP/PAIN EXIST. PLASTER FINISH SEALER APPLIED



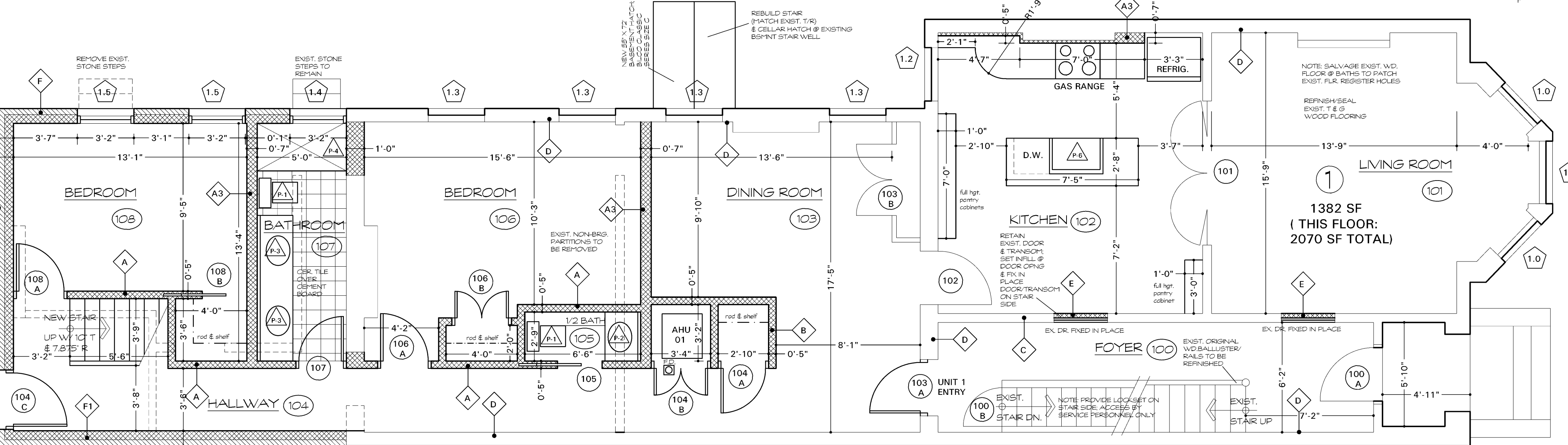
**THIRD FLOOR PLAN**

SCALE: 1/4" = 1'-0"



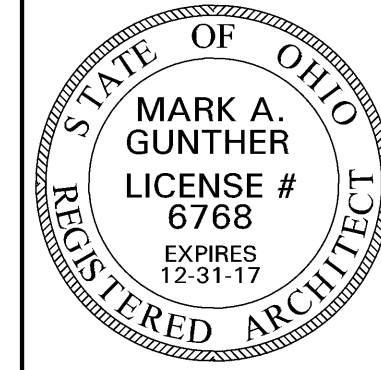
**SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"



DATE: \_\_\_\_\_

REVISION:

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**WICHMAN GUNTER ARCHITECTS, INC.**  
 810 PLUM STREET / CINCINNATI, OHIO 45202 / (513) 241-9933

Renovation of  
 936 Dayton Street  
 Cincinnati, Ohio 45214  
 J16-1700

**A-02**

Plot data  
 name: A02936Dayton  
 date: 06/05/2017  
 issue: plan review





DATE

REVISION

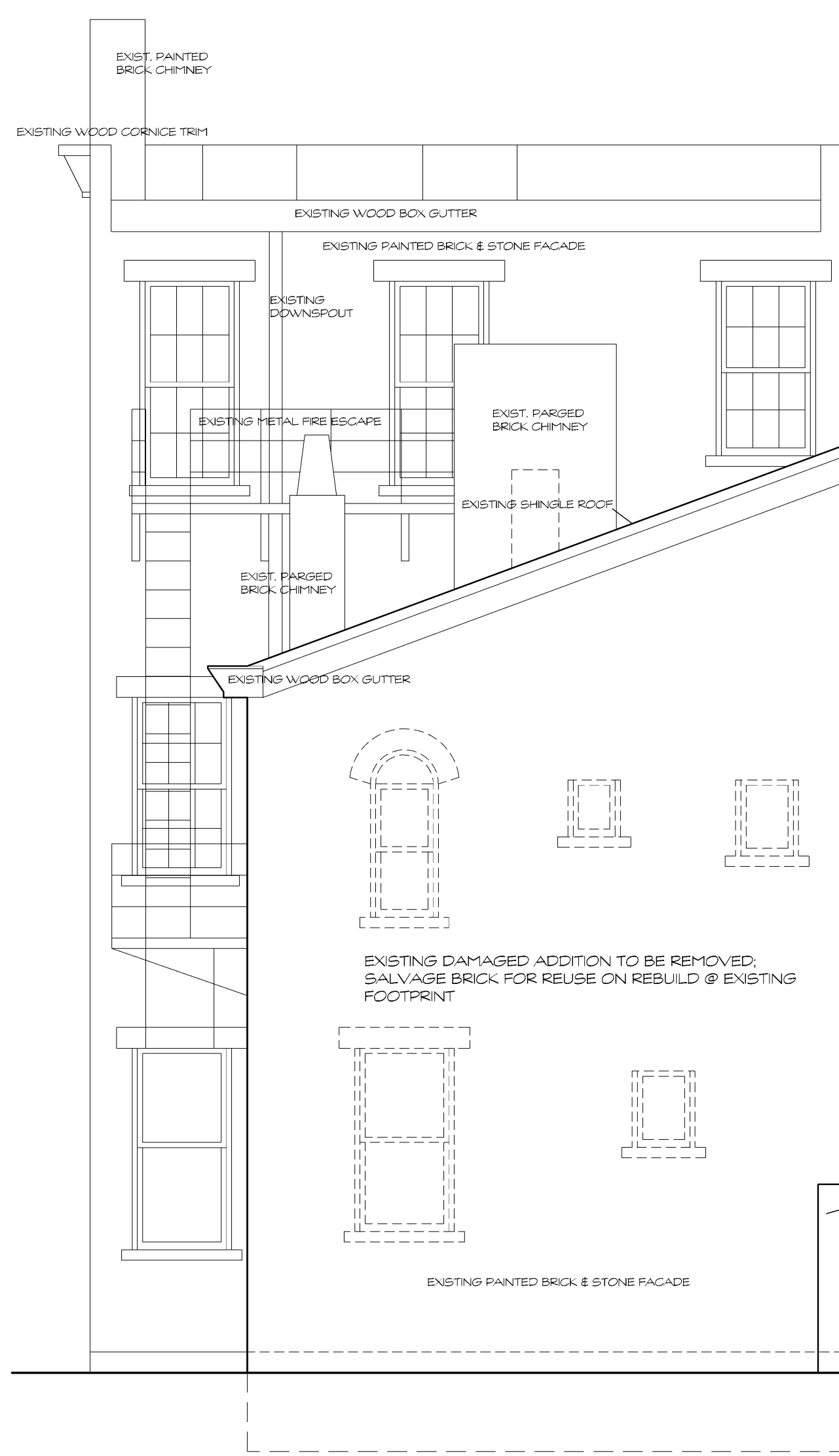
WICHMAN GUNTER ARCHITECTS, INC. 810 PLUM STREET / CINCINNATI, OHIO 45202 / (513) 241-9933

Renovation of 936 Dayton Street Cincinnati, Ohio 45214

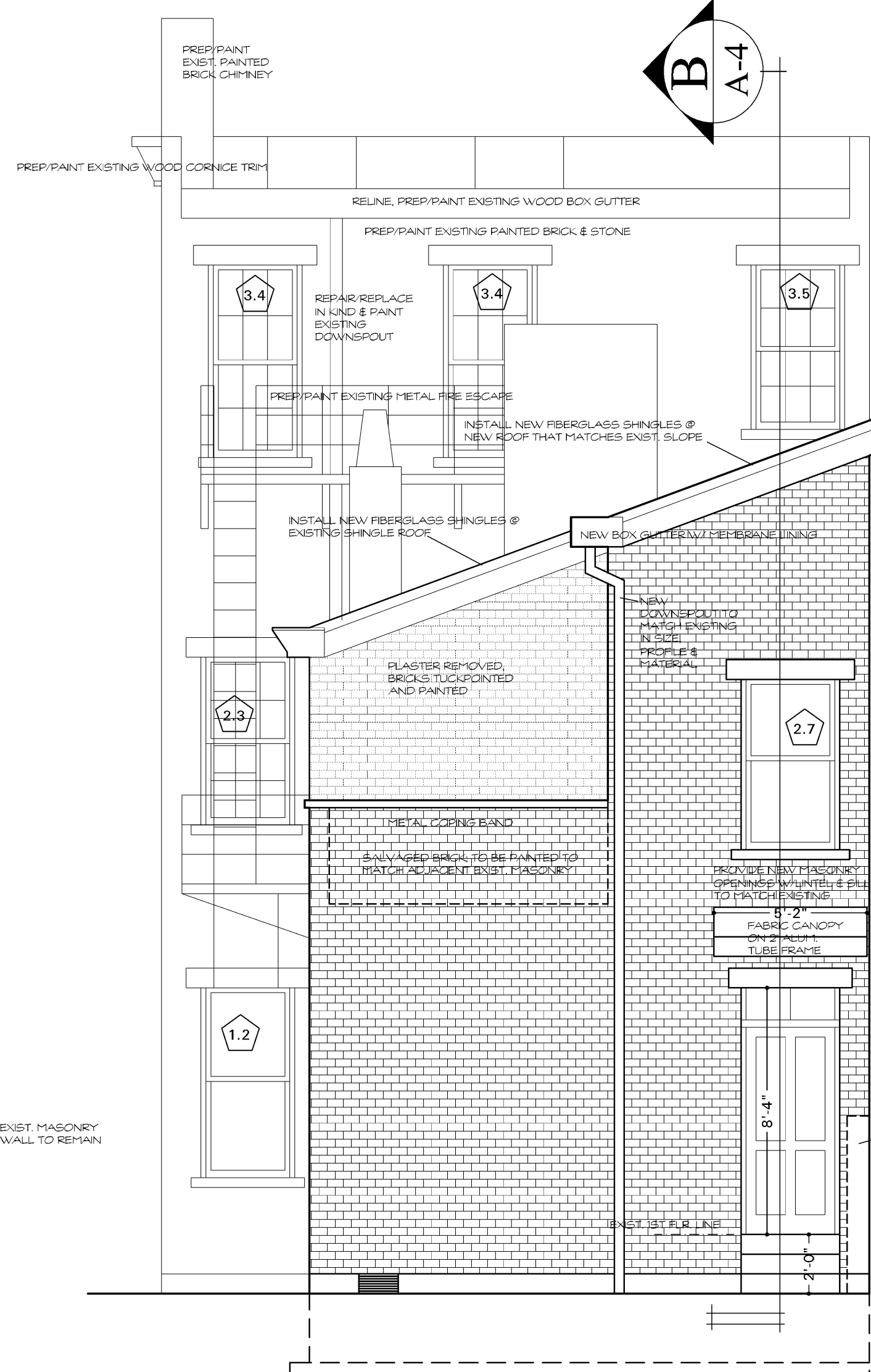
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A-04

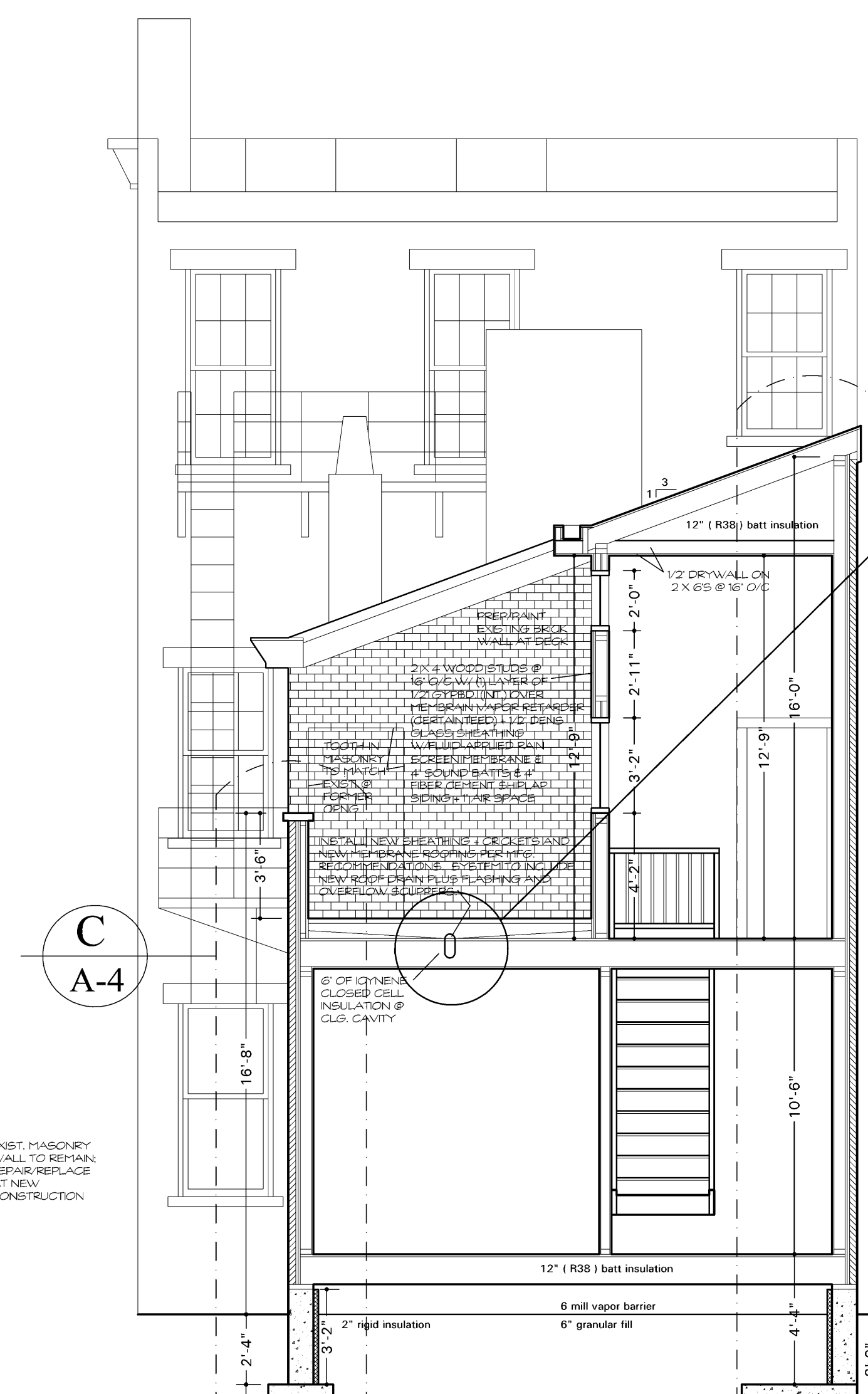
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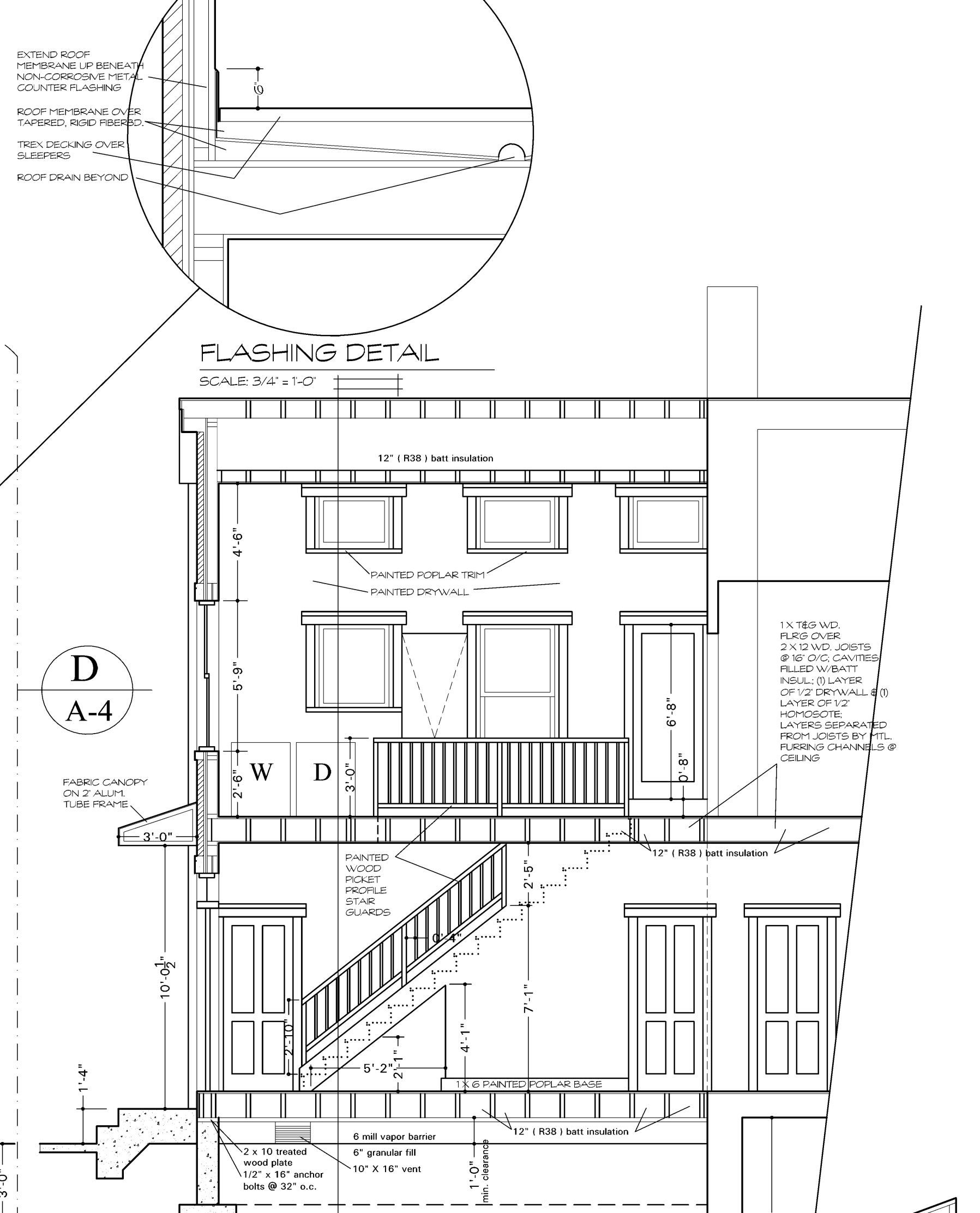
NORTH ELEVATION existing SCALE: 1/4" = 1'-0"



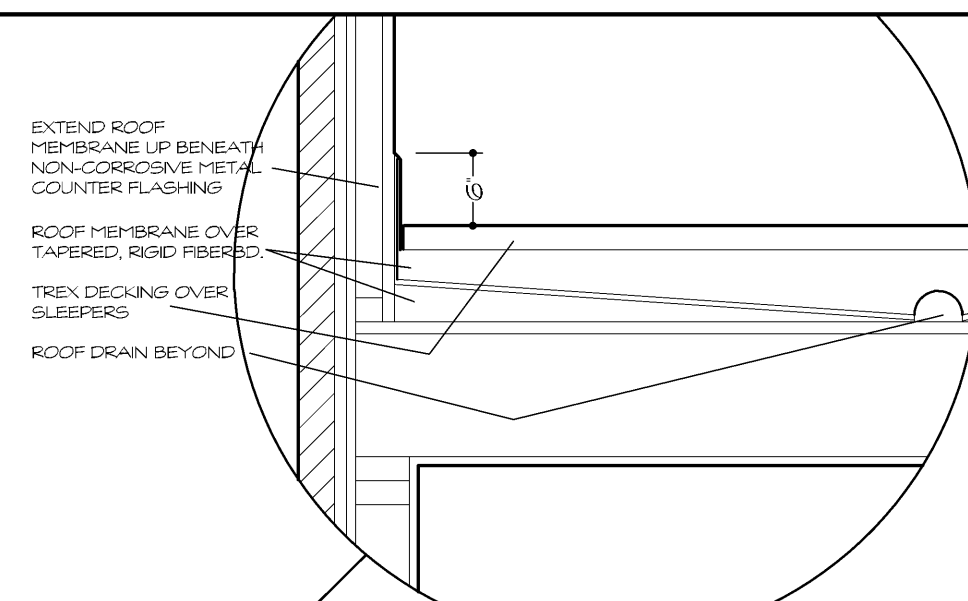
NORTH ELEVATION proposed SCALE: 1/4" = 1'-0"



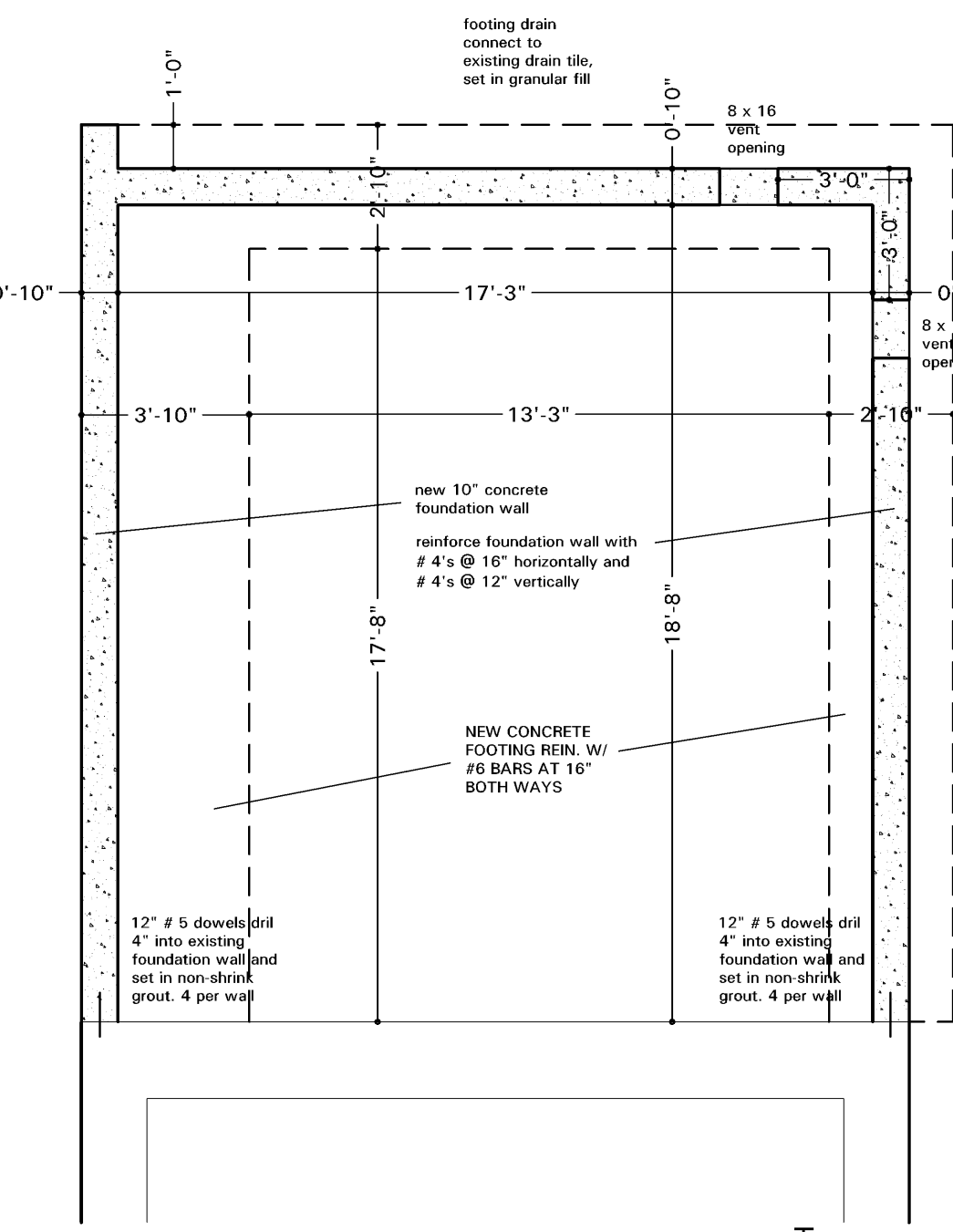
BUILDING SECTION A-A SCALE: 1/4" = 1'-0"



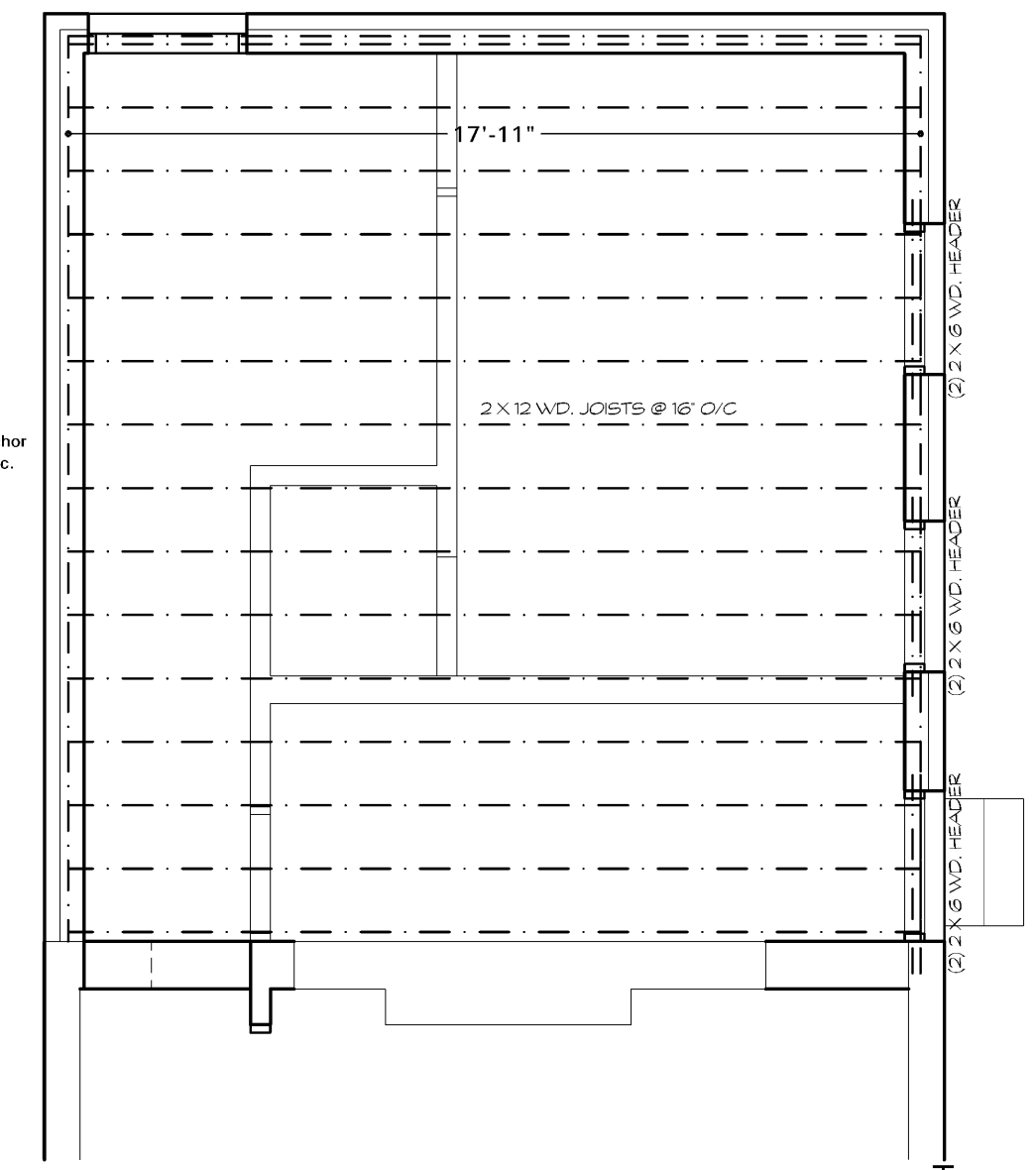
BUILDING SECTION B-B SCALE: 1/4" = 1'-0"



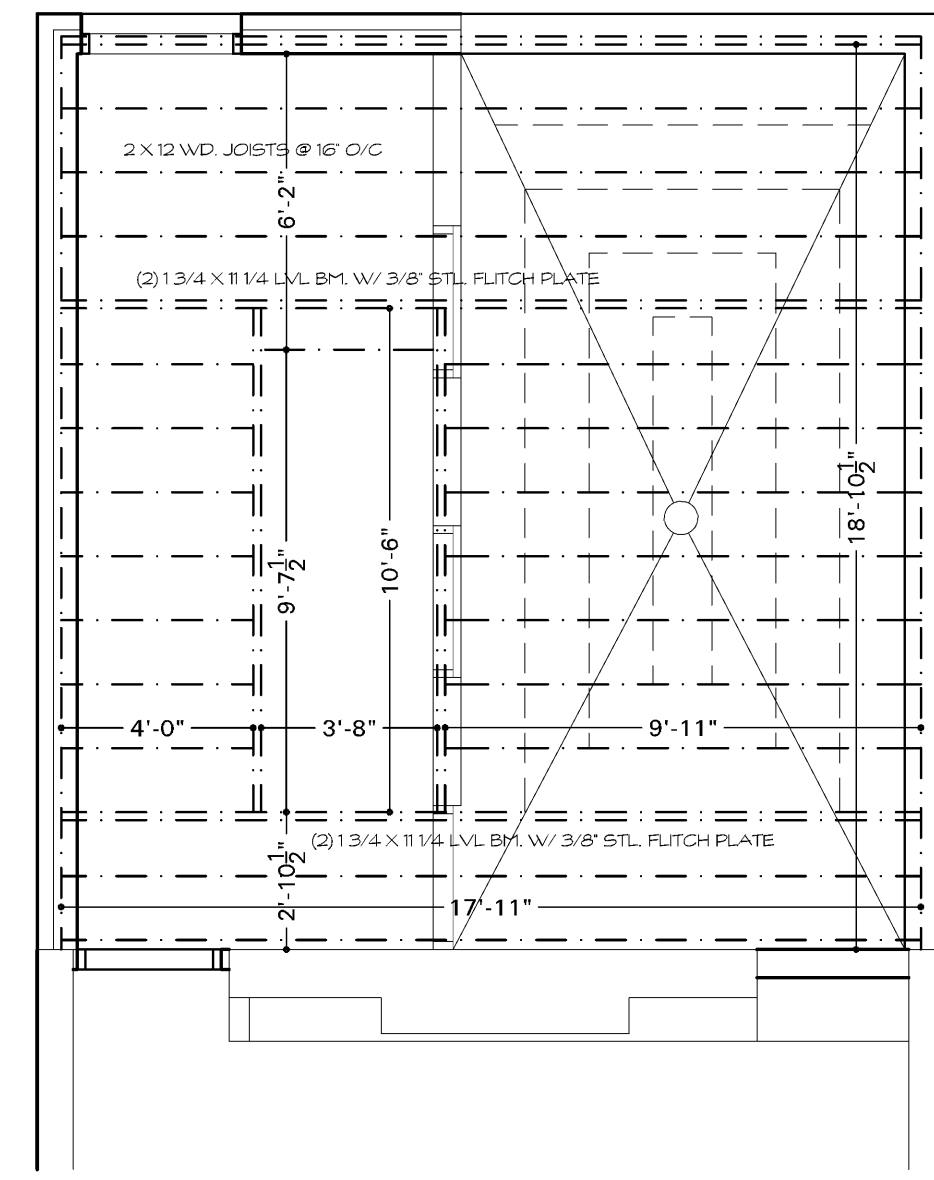
FLASHING DETAIL SCALE: 3/4" = 1'-0"



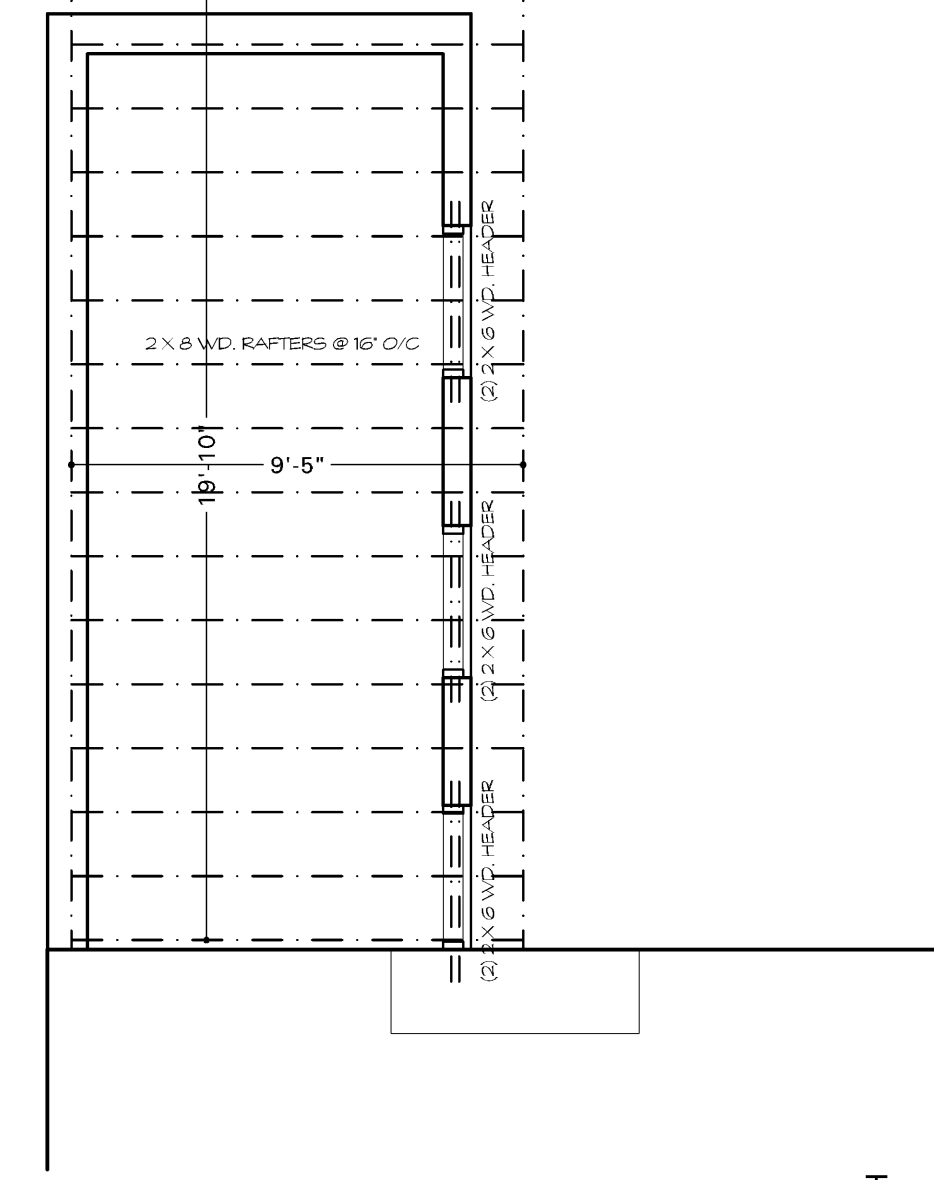
FOUNDATION PLAN SCALE: 1/4" = 1'-0"



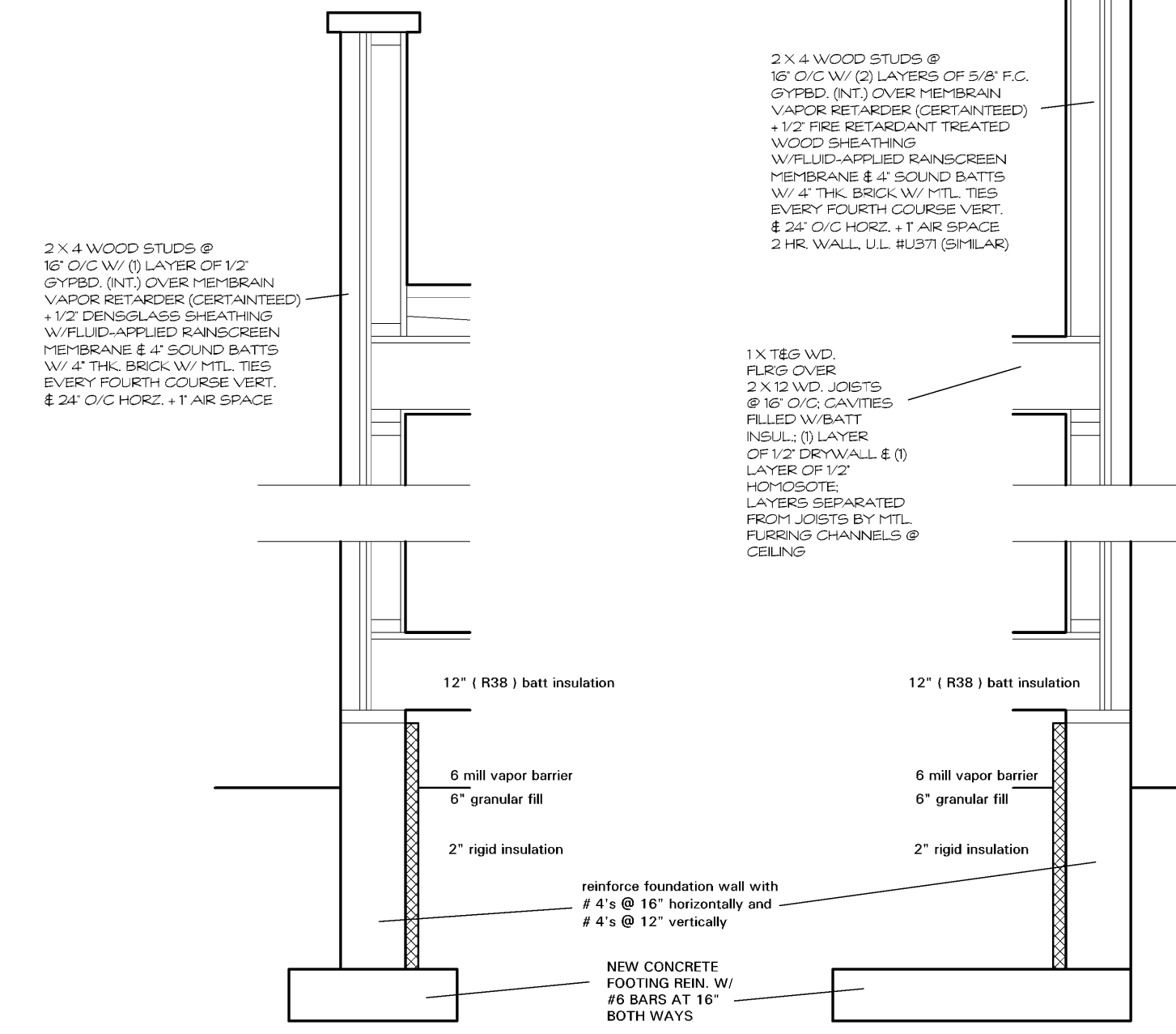
1ST FLOOR FRAMING PLAN SCALE: 1/4" = 1'-0"



2ND FLOOR FRAMING PLAN SCALE: 1/4" = 1'-0"

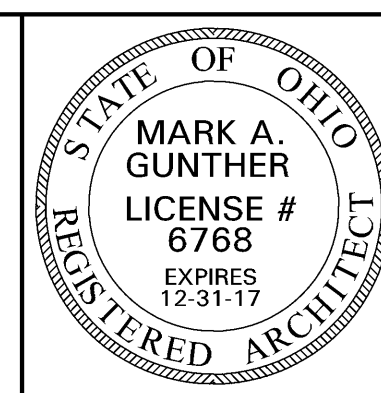


ROOF FRAMING PLAN SCALE: 1/4" = 1'-0"



WALL SECTION C-C SCALE: 1/2" = 1'-0"

WALL SECTION D-D SCALE: 1/2" = 1'-0"



DATE

REVISION

WICHMAN GUNTER ARCHITECTS, INC. 810 PLUM STREET / CINCINNATI, OHIO 45202 / (513) 241-9933

WICHMAN GUNTER ARCHITECTS, INC. 810 PLUM STREET / CINCINNATI, OHIO 45202 / (513) 241-9933

Renovation of 936 Dayton Street Cincinnati, Ohio 45214

J16-1700

EM-01

plot data name: EM01936Dayton date: 06/26/2017 issue: plan review

DO NOT SCALE DRAWINGS

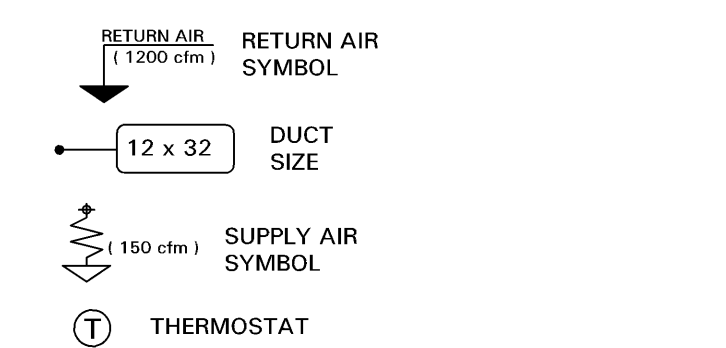
DO NOT SCALE DRAWINGS

DO NOT SCALE DRAWINGS

HVAC EQUIPMENT SCHEDULE

AHU 02 YORK GAS-FIRED HIGH EFFICIENCY (92% + AFUE) FURNACE MOD. NO. PKUD20V09; 1200 CFM W/ INPUT OF 36000 BTU E CU 01 THRU 03 YORK H4T5036 CONDENSER W/ 36000 BTU COOLING (SEE SITE PLAN FOR LOCATION)
AHU 01 YORK GAS-FIRED HIGH EFFICIENCY (92% + AFUE) FURNACE MOD. NO. PKUD20V12; 2000 CFM W/ INPUT OF 60000 BTU E CU 04A THRU 04B YORK H4T5036 CONDENSER W/ 60000 BTU COOLING (SEE SITE PLAN FOR LOCATION)
NOTE: MERV 10 OR HIGHER AIR FILTER TYPICAL

WH 01 MARK MOD. NO. LFK484; SKW FAN-FORCED WALL HEATER W/ Q MARK LFK SURFACE MOUNTING SLEEVE



HVAC NOTES

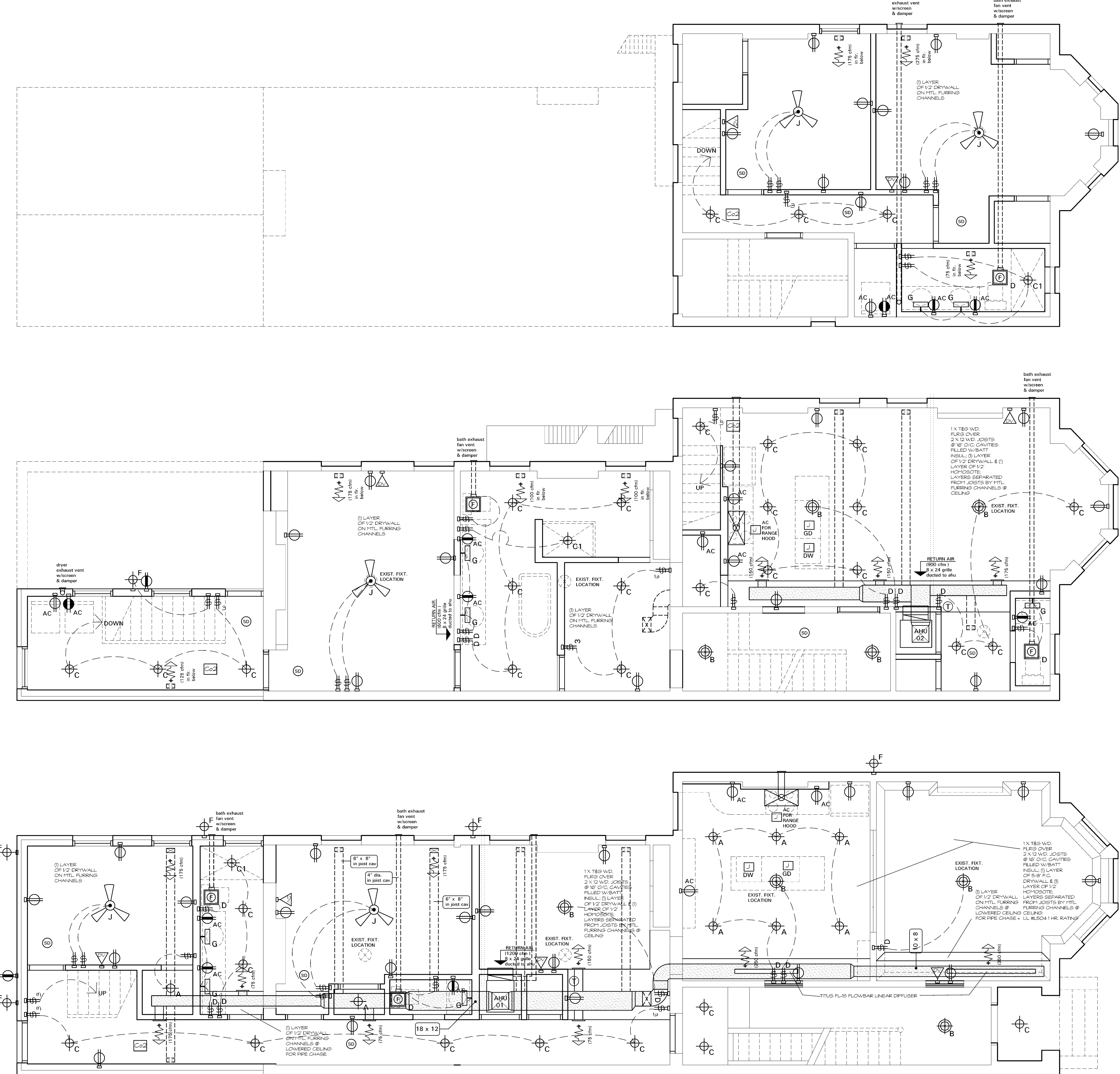
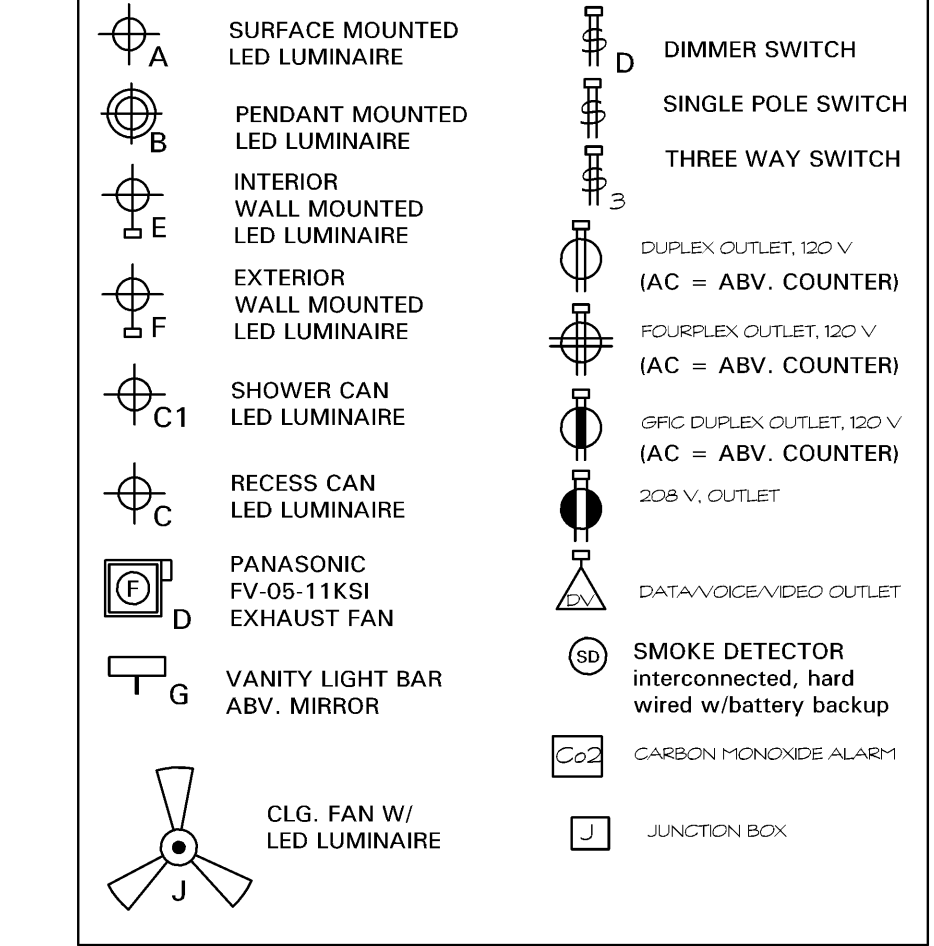
- 1. HEATING/COOLING SOURCE TO BE ELECTRIC FURNACES AND HEAT PUMPS FOR EACH UNIT, MEETING THE FOLLOWING DESIGN CRITERIA: SUPPLY AIR TO MAINTAIN AN AVERAGE TEMPERATURE OF 76 DEGREES F WITH A 50% RELATIVE HUMIDITY WHEN THE OUTSIDE TEMPERATURE IS 92 DEGREES F DRY BULB AND 76 DEGREES F WET BULB.
2. HVAC CONTRACTOR MAY SUBSTITUTE EQUIPMENT MANUFACTURER (UP, SAMSUNG, ETC.) PROVIDE SPEC INFO OF EQUIPMENT IS BASED UPON IF DIFFERENT FROM THAT SCHEDULED.
3. REFRIGERANT TUBING TO BE DESIGNED BY EQUIPMENT MANUFACTURER. ALL REFRIGERANT SPECIALTIES TO BE PROVIDED PER MANUFACTURER'S SPECIFICATIONS.
4. MOUNT HEAT PUMPS AS SHOWN ON DRAWINGS.
5. PROVIDE SPRING-TYPE VIBRATION ISOLATORS AT EACH AIR HANDLING UNIT.
6. INSTALL WALL-MOUNTED 5-2 DAY PROGRAMMABLE THERMOSTAT WITH SWITCHES PERMITTING CHANGE OVER OF THE SYSTEM FROM HEATING TO COOLING OR BLOWER ONLY OPERATION, AT LOCATIONS SHOWN ON DRAWINGS.
7. PROVIDE CATALOG CUTS TO ARCHITECT FOR ALL DIFFUSER, GRILLS, Louvers AND SCREENS (INTERNAL & EXTERNAL) FOR APPROVAL PRIOR TO INSTALLATION.
8. CONTRACTOR TO REVIEW EQUIPMENT CAPACITIES, DUCT SIZING AND REPORT TO ARCHITECT ANY DEFICIENCIES WITH SYSTEM AS PROPOSED ON DRAWINGS.
9. ALL SOUTH-FACING EXTERIOR GLAZING WILL RECEIVE OPERABLE WINDOW COVERS FOR CONTROL OF SUNLIGHT.
10. ALL DUCTWORK TO BE GALVANIZED PAINT-GSP SHEET METAL, FABRICATED AND INSTALLED TO PERTINENT ASHRAE AND SMACNA STANDARDS FOR SIZE AND GAUGE. UNDERCUT ALL DOORS 1" TO PROVIDE BALANCED RETURN AIR.
11. ALL CONTROL AND POWER WIRING FOR MECHANICAL EQUIPMENT SHALL BE INSTALLED COMPLETE FROM BOXES (PROVIDED BY OTHERS).
12. HVAC CONTRACTOR TO SECURE ALL NECESSARY FEES, PERMITS AND INSPECTIONS REQUIRED BY CODE.
13. IT IS THE RESPONSIBILITY OF THE HVAC CONTRACTOR TO COORDINATE HIS WORK WITH OTHER TRADES TO THE SATISFACTION OF THE GENERAL CONTRACTOR AND ARCHITECT.

DRAIN PANS TO BE PROVIDED BELOW ALL MECHANICAL UNITS & HOT WATER HEATERS WITH PRIMARY AND SECONDARY DRAINS

ELECTRICAL NOTES

- 1. ELECTRICAL CONTRACTOR RESPONSIBLE FOR ALL SUBMITTALS TO IBI, INCLUDING PERMITS, FEES AND CALCULATIONS NECESSARY FOR COMPLETION OF THE ELECTRICAL WORK.
2. PERFORM ALL WORK IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.
3. ALL ELECTRICAL EQUIPMENT SHALL BE PROVIDED WITH CIRCUIT PROTECTION AND SAFETY DISCONNECT IN ACCORDANCE WITH N.E.C. WHETHER OR NOT SO SCHEDULED.
4. COORDINATE ALL ELECTRICAL WORK WITH MECHANICAL, DUCTWORK AND OTHER TRADES BEFORE FIXTURE AND WIRING IS INSTALLED.
5. RECEPTACLE AND OUTLET LOCATIONS MAY BE ALTERED AS DIRECTED BY OWNER OR ARCHITECT. MAKE ALL NECESSARY CHANGES AS REQUIRED AND VERIFY COORDINATION OF RECEPTACLES PRIOR TO INSTALLATION.
6. VERIFY ALL FIXTURE LOCATIONS AND MOUNTING HEIGHTS WITH ARCHITECT PRIOR TO INSTALLATION.
7. ELECTRICAL CONTRACTOR TO SUBMIT CATALOG CUTS OF ALL FIXTURES TO ARCHITECT PRIOR TO PURCHASE AND INSTALLATION. ALL SUBSTITUTIONS MUST BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
8. TELEPHONE WIRING BY TELEPHONE INSTALLER. ELECTRICAL CONTRACTOR TO PROVIDE 3/4" DIAMETER CONDUIT TO LOCATIONS SHOWN ON DRAWINGS.
9. DATA WIRING BY NETWORKS INSTALLER. ELECTRICAL CONTRACTOR TO PROVIDE 3/4" DIAMETER CONDUIT TO LOCATIONS SHOWN ON DRAWINGS.
10. ELECTRICAL CONTRACTOR TO PROVIDE A LOCK-OPEN DEVICE PROTECTING ALL EMERGENCY LIGHTING AND EXIT SIGNS.
11. ALL SWITCHES, COVERPLATES AND RECEPTACLES TO HAVE A WHITE FINISH.
12. ELECTRICAL CONTRACTOR TO PROVIDE ALL WIRING TO BOXES NECESSARY FOR INSTALLATION OF MECHANICAL OR ANY OTHER EQUIPMENT NOT SUPPLIED BY ELECTRICAL CONTRACTOR. ELECTRICAL CONTRACTOR TO COORDINATE WITH OTHER TRADES AS REQUIRED TO PROVIDE FOR PROPER ELECTRICAL SUPPLY.
13. ALL WORK IS SUBJECT TO THE APPROVAL OF THE ARCHITECT.

ELECTRICAL FIXTURES



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## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS and ZONING VARIANCE HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

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APPLICATION #: COA2017052/ZH20170136  
APPLICANT: Wichman Gunther Architects  
OWNER: Buckeye Street Ventures  
ADDRESS: **203-205 East Clifton Street**  
PARCELS: 094-007-0276  
ZONING: RM 0.7  
OVERLAYS: Over-the-Rhine Historic District  
COMMUNITY: Over-the-Rhine  
REPORT DATE: August 31, 2017  
HEARING DATE: September 11, 2017  
STAFF REVIEW: Beth Johnson Urban Conservator

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### **Nature of Request:**

The applicant is requesting a Certificate of Appropriateness (COA) for a rear decks and dormers in both the front and the rear.

### **Zoning Relief Required:**

Your request also does not comply with the City of Cincinnati Zoning Code for the following reason(s):

1. 1405-07: **Rear Yard Dimensional Variance.** As the building is a multi-family building the rear yard setback is 25 feet plus 1 foot for every 5 feet above 35 feet. The building height is 46 feet. The required setback is 27 feet. A 25 foot 8 inch dimensional variance is required.
2. 1405-07: **Lot Area/Unit Dimensional Variance.** The lot is 2480 sqft. For a Multi-family in the RM 0.7 district 700 sqft is required. Currently the property has 6 units and it is proposed for 7. This will require a density/numerical variance of 2420 sf.
3. 1425-19: **Off Street Parking and Loading Requirements.** All new residential units are required to provide 1 off-street parking space. The building currently has 6 units and is proposed to provide 7 units. 1 off-street parking space is required. A Variance for relief from parking or a special exception to lease parking will be required unless the applicant can provide parking through a covenant or easement.

### **Existing Conditions:**

The property at 203-205 E Clifton is a three story Italianate brick multi-family residential building. Each side of the building is 3 bays wide. The building are built at zero lot lines of the front and side and have minor setbacks on the rear.



Figure 1: 203-205 E Clifton. Image from Google Street View



Figure 2: Map of 203-205 E Clifton Street. Map provided by CAGIS.

**Proposed Conditions:**

The applicant is proposing to the following at 203-205 E Clifton Street

- 7 unit residential building.
- Build rear balconies/decks at levels two and three and a roof deck at floor 4<sup>th</sup>. The roof deck will be cut into the roof and a rear dormer is proposed to provide access to the roof deck. The dormer is a shed roof dormer
- Build a shed roof dormer on the front of the building

**Previous Reviews:** N/A

**Applicable Zoning Code Sections:**

HCBA authority: [Section 1435-05-4](#)

Overlays: [Section 1435](#) Historic Preservation

Historic District/Reg: Dayton Street Historic District.

COA Standard: [Section 1435-09-2](#) Certificate of Appropriateness; Standard of Review

**Details of Zoning Relief Required:**

- a. **Zoning.** The proposed work conforms to the underlying zone district regulations and is in harmony with the general purposes and intent of the Cincinnati Zoning Code.

*The underlying zoning is RM 0.7. The proposed use of the subject property as multi-family residential conforms to the zoning district, however the density it increasing from 6 to 7 units. The underlying zoning would permit 3 units per the density allowances. This building was originally built as a multi-family use and most likely was built as a 6 family structure with a unit on each floor in each address. The applicants are requesting to take advantage of attic space to create the net of one more unit.*

- b. **Guidelines.** The proposed work conforms to any guidelines adopted or approved by Council for the district in which the proposed work is located.

*The proposed work with the exception of the front dormer meets the Over-the-Rhine Historic Conservation Guidelines.*

- c. **Plans.** The proposed work conforms to a comprehensive plan, any applicable urban design or other plan officially adopted by Council, and any applicable community plan approved by the City Planning Commission.

*This project conforms to the Over the Rhine Comprehensive Plan through the reuse of historic buildings and increasing residential opportunities in the neighborhood.*

- d. **Traffic.** Streets or other means of access to the proposed development are suitable and adequate to carry anticipated traffic and will not overload the adjacent streets and the internal circulation system is properly designed.

*Traffic will be not be impacted by this development. As they are only increasing the density by 1 and E Clifton is a portion of the neighborhood*

*where there is not as much density with a school and a park that do not increase the parking demand during non-business hours the streets can support on street parking. Staff is also supportive of the parking variance as there is not any available space on the lot for additional parking. Staff is not normally supportive of parking variances without an attempt to provide parking elsewhere. While staff does not believe an increase in one unit will stress the traffic or parking situation, the owners of the lot do own the rear lot as well. As this is an alley lot that normally would not have a building on it, parking could potentially be provided on this lot.*

- e. **Buffering.** Appropriate buffering is provided to protect adjacent uses or properties from light, noise and visual impacts.  
*This is not applicable.*
- f. **Landscaping.** Landscaping meets the requirements of Chapter 1423, Landscaping and Buffer Yards.  
*This is not applicable.*
- g. **Hours of Operation.** Operating hours are compatible with adjacent land uses.  
*This is not applicable.*
- h. **Neighborhood Compatibility.** The proposed work is compatible with the predominant or prevailing land use, building and structure patterns of the neighborhood surrounding the proposed development and will not have a material net cumulative adverse impact on the neighborhood.  
*The proposed multi-family residential use is compatible with the neighborhood and the rear balconies decks are an item seen often in the neighborhood. Much of the neighborhood is at zero lot line development, often on multiple sides.*
- i. **Proposed Zoning Amendments.** The proposed work is consistent with any proposed amendment to the zoning code then under consideration by the City Planning Commission or Council.  
*There are no proposed amendments under consideration that would impact this proposed project.*
- j. **Adverse Effects.** Any adverse effect on the access to the property by fire, police, or other public services; access to light and air from adjoining properties; traffic conditions; or the development, usefulness or value of neighboring land and buildings.  
*Staff does not anticipate any adverse effects.*
- k. **Blight.** The elimination or avoidance of blight.  
*The rehabilitation of this building will improve a blighted building in the neighborhood.*
- l. **Economic Benefits.** The promotion of the Cincinnati economy.  
*The proposed work will increase the property value of the subject parcels.*
- m. **Job Creation.** The creation of jobs both permanently and during construction.  
*The proposed project will create temporary jobs during construction.*

- n. **Tax Valuation.** Any increase in the real property tax duplicate.  
*Property taxes will increase due to the improved value of the significantly larger structure on the property.*
- o. **Private Benefits.** The economic and other private benefits to the owner or applicant.  
*The owner has an economic benefit to the proposed establishment.*
- p. **Public Benefits.** The public peace, health, safety or general welfare.  
*Adding a multi-family apartment building to the area will increase the overall population of a section of Over-the-Rhine that is still in development.*

**Certificate of Appropriateness Review:**

A Certificate of Appropriateness is required for the rear deck/balcony additions, the roof top deck and both dormers. While Staff is supportive of the work on the rear of the building including the balconies, roof deck and dormer, staff is not supportive of the front dormer as it is changing the roof line which will be highly visible from the streetscape, even if it won't be visible from in front of the building.



View of the building front west on Clifton



View of the building from Lang Street.

### **Comments on Applicable Guidelines**

#### REHABILITATION

5. Roofs: Chimneys, dormers or towers and other architectural features that give the roofline of an existing building its identifying character should be preserved. Most of the buildings in Over-the-Rhine have flat or single-pitch roofs. The addition of vents, skylights, and roof top utilities should be inconspicuously placed or screened where necessary. Retain and repair the original roof materials such as slate, which is common on churches, institutional buildings and buildings with mansard roofs, and standing seam metal roofs, which are common on smaller buildings with gable roofs. Do not use wood shakes and plastic roofing products, which are inappropriate materials in Over-the-Rhine. Simulated slate may be approved on a case-by-case basis

*We have often seen and permitted dormers of the rear of buildings in order to increase the height in the attic to provide for living space. While this changes the roof line, these changes are not visible from the primary street or are inconspicuously placed. Staff does not feel this is the case with the front dormer. Staff is supportive of the rear dormer as it won't be visible from Clifton and it isn't on the primary façade. This dormer will be visible from both Lang Street and at the intersection of Land and McMicken, but it will not detract from the architecture.*

*Staff is sympathetic to the stated economics issues of the project; however staff can not recommend that this portion of the project meets the Over-the-Rhine Historic Conservation Guidelines and does not feel that enough evidence has been submitted to prove an economic hardship. The applicants have submitted written testimony regarding the feasibility; however no number comparisons or floor plan studies were submitted for staff to review the economic viability of the project. For example, why can't the project support 2- 2 story units rather than just 1 and why can't the study be in the front of the*

*building and the bedroom in the rear. Studies are often smaller rooms. A minimum bathroom size is 6 ft by 6 ft and this could potentially be at the corner of the rear room and that would still provide a sizeable bedroom at over 10.5x10.5. The removal of the bathroom from the front would provide a still sizeable study.*

*Another option would be to retain the density at 7 units it to make the entire 4<sup>th</sup> floor one unit and keep the same floor plans on floors 1-3. This would allow for the elimination of hallways and the need for additional stairwell which would add additional square footage.*

#### SITE IMPROVEMENTS

4. DECKS: Wood decks should be stained or painted. Rooftop decks should not be highly visible from the principal façade. Metal balconies should not be discouraged.

*The proposed rear decks including the balcony and roof deck will not detract from the character of the building, as it will be placed on a non-principal façade and will not cover any architectural features. It will be compatible with the building and constructed of simple steel structure and have a metal grated floor. One window on each floor will be converted to a door to allow access to the deck. The windows will be the same width as the existing window openings.*

**Other Considerations:** N/A

**Prehearing Results:** A Prehearing was held on August 23, 2017. The applicant was present.

**Comments Provided to Staff:** N/A

**Consistency with *Plan Cincinnati (2012)*:**  
“Sustain” Initiative Area “Preserve our built history”

#### **Recommendation:**

Staff recommends the Historic Conservation Board take the following actions:

Staff recommends the Historic Conservation Board table the entire application.

- Staff feels that the zoning relief for an increase in density justified however that until a Certificate of Appropriateness can be recommended for approval that the variances should not be approved.
- Staff feels that there needs to be further justification or explanation of why the rear lot cannot be used for parking.

#### **I. ZONING RELIEF**

##### **A.) DIMENSIONAL VARIANCES**

1. **APPROVE** the **Rear yard setback dimension variance of 25'8"** at 203-205 E Clifton Ave per plans submitted by Wichman Gunther Architects dates 6/15/2017.
2. **APPROVE** a 2420 sf square foot **Dimensional Variance** to allow for 7 units to be on a 2480 square foot lot.

**B.) NUMERICAL VARIANCE**

1. **TABLE** the **numerical variance** of 1 parking spot for the additional 1 residential unit that is being added.

**C.) FINDING:** The Board makes this determination that per Section 1435-05-4:

- a. Such relief from literal implication of the Zoning Code will not be materially detrimental to the public health, safety and welfare or injurious to property within the district or vicinity where property is located; and
- b. Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the district.

**II. CERTIFICATE OF APPROPRIATENESS**

**A.) TABLE** a Certificate of Appropriateness for 203-205 E Clifton Ave per plans submitted by Wichman Gunther Architects dates 6/15/2017 in order for the applicants to either remove the dormer or provide more substantial evidence of an economic hardship.

**B.) FINDING:** The Board makes this determination per Section 1435-09-2:

- a. That the property owner has not demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines or that there is an economic hardship that would require the front dormer.

Historic Conservation Office  
Department of Community Development and Planning  
Centennial Plaza Two  
805 Central Avenue Suite 700  
Cincinnati, Ohio 45202

August 29<sup>th</sup>, 2017

Cincinnati Historic Conservation Board,

This letter is in support of a renovation project in the Over-The-Rhine Historic District. The subject structure is located at 203 East Clifton Avenue Cincinnati, Ohio 45202.

As resident neighbors and business owners in OTR, we know from firsthand experience how important it is to renovate buildings to attract investment and residents. This project seamlessly fits in with the unique historic character of the street and the community.

This area north of Liberty Street greatly needs positive development to counter the tide of vacant buildings, crime and blight. Projects such as this will only serve to attract residents and other developers both small and large and encourage business owners to locate in this area and improve the economic fabric of the community.

My wife and I urge the Historic Conservation Board to approve this project and issue a Certificate of Appropriateness. Thank you for your time and consideration.

Respectfully,

*Robert Sehlhorst*  
*Tina Sehlhorst*

Robert and Tina Sehlhorst  
1302 Main Street  
Cincinnati, Ohio 45202

Office Use Only	
Application #:	_____
Date Accepted:	_____
<input type="checkbox"/> Staff Review	<input type="checkbox"/> Board Review
<input type="checkbox"/> Paid:	_____
Date Perfected:	_____
Hearing Date:	_____

## CERTIFICATE OF APPROPRIATENESS APPLICATION

### SUBJECT PROPERTY

Site Address: 203 East Clifton Avenue Cincinnati Ohio 45202  
 Hamilton Co. Parcel ID No.: 094-0007-0276 Zoning District: RM-0.7  
 Historic District: OTR Overlay District: \_\_\_\_\_

### APPLICANT INFO PROPERTY OWNER OTHER ARCHITECT (AGENT, ATTORNEY, ARCHITECT, ETC.)

Name: WICHMAN GUNTHER ARCHITECTS  
 Contact Person (if legal entity): MARK GUNTHER  
 Address: 610 PLUM STREET  
 City: CINCINNATI State: OHIO Zip Code: 45202  
 Phone: 241-9933 E-mail: mark@wichmanguntherarchitects.com

### PROPERTY OWNER INFO SAME AS ABOVE

Name: Buckeye Street Ventures LLC  
 Contact Person (if legal entity): Matt Jacob  
 Address: 5507 Cleander Drive  
 City: Cincinnati State: OHIO Zip Code: 45238  
 Phone: 675-4978 E-mail: matjjacob@gmail.com

### CERTIFICATE OF APPROPRIATENESS (SELECT ALL THAT APPLY)

New Construction  Alteration  Demolition

Provide a very brief summary of the project:

Building Renovation including new decks & roof dormers

ZONING RELIEF  Yes  No

Provide a very brief summary of the zoning relief requested:

Rear Yard setback for new decks + lot area per unit and parking for newly added dwelling (exist @ increasing to 7)

### SUBMISSION REQUIREMENTS & REQUIRED ATTACHMENTS

Demolition requests must include all required demolition forms.  
 All applications that include requests for zoning relief must include a zoning hearing application.  
 All persons seeking historic tax credits must provide a copy of their approved part II tax credit application.

I certify that all statements and documents that I provide with reference to this application are accurate, complete, and true to the best of my knowledge and belief. I further acknowledge that my application shall be deemed incomplete for my failure to timely comply with any requirement of this application, which non-compliance may result in delays in the scheduling and resolution of my application.

Applicant Signature: Mark A. Gunther

Date: 7-28-17

WICHMAN GUNTHER  
A R C H I T E C T S

July 28, 2017

Ms. Beth Johnson. Urban Conservator  
City of Cincinnati

Re: COA Application for 203 East Clifton Avenue

Dear Beth,

Enclosed please find the above-referenced application for this property. It is the rehabilitation of a circa 1880 four story brick Italianate structure. It will contain 7 dwellings on all floors (no commercial storefront); a series of new roof dormers will increase the habitable attic floor space and new roof decks will be attached to the rear of the existing structure. The project is sited between contributing three story Italianate structures on the East & West. The street façade will be restored; an opening previously modified will be reconstructed as a window and new clad wood windows that fit the original masonry openings will also be installed as part of the restoration. The rear of the structure will now include two varieties of decks; wall attached steel frames at 2<sup>nd</sup> & 3<sup>rd</sup> floors plus a recessed into the roofline version at the 4<sup>th</sup> floor. Top floor interior spaces are enhanced by the new roof dormers, which are hidden from view at the street.

With this submittal today, I understand we will be part of the September 11th Board agenda.

Please let me know what additional info I can provide.

Sincerely,

Mark A. Gunther, RA, NCARB  
for Wichman Gunther Architects, Inc.

cc: Matt Jacob

Date: 06/21/2017

Location: 203 E Clifton Ave

Request: Rear decks and dormers

Zoning District: RM 0.7/ Over-the-Rhine Historic District

Applicant Name: Mr. Gunther

The City of Cincinnati appreciates receiving your information regarding your proposed project. The purpose of this letter is to inform you that your proposed project will be required to get Zoning Variance and a Certificate of appropriateness from the Historic Conservation Board.

All documents under the Historic Conservation Board Review and Required for all New Construction, Major Alterations and Additions section **that are checked** are a required part of the submission and the submission will not be considered complete unless all of these documents are included. Please submit **only 3** copies of the COA application and all documents that are required. You will be required to submit 10 copies of the packet closer to the date of the Historic Conservation Board meeting. When you submit the copies of the application, the Documents Required Sheet must be submitted as well. **A \$603 fee is required with the submission as well.** The next deadline is June 23, 2017 for the August 8, 2017 Historic Conservation Board Meeting.

Your request also does not comply with the City of Cincinnati Zoning Code for the following reason(s):

1. 1405-07: **Rear Yard.** As the building is a multi-family building the rear yard setback is 25 feet plus 1 foot for every 5 feet above 35 feet. The building height is 46 feet. The required setback is 27 feet. A 25 foot 8 inch dimensional variance is required.
2. 1405-07: **Lot Area/Unit.** The lot is 2480 sqft. For a Multi-family in the RM 0.7 district 700 sqft is required. Currently the property has 6 units and it is proposed for 7. This will require a density/numerical variance of 2420 sf.
3. 1425-19: **Off Street Parking and Loading Requirements.** All new residential units are required to provide 1 off-street parking space. The building currently has 6 units and is proposed to provide 7 units. 1 off-street parking space is required. A Variance for relief from parking or a special exception to lease parking will be required unless the applicant can provide parking through a covenant or easement.

You may also contact me at the information listed below with historic conservation or zoning questions, concerns or to make an appointment.

Sincerely,



Beth Johnson  
Urban Conservator

# Dusty Rhodes, Hamilton County Auditor

generated on 7/27/2017 10:55:40 AM EDT

## Property Report

### Parcel ID

094-0007-0276-00

### Address

203 CLIFTON AVE

### Index Order

Parcel Number

### Tax Year

2016 Payable 2017

## Property Information

### Tax District

001 - CINTI CORP-CINTI  
CSD

### School District

CINCINNATI CSD

### Appraisal Area

01801 -  
OVER  
THE  
RHINE  
01

### Land Use

401 -  
APARTME  
NT, 4-19  
UNITS

### Owner Name and Address

BUCKEYE  
STREET  
VENTUR  
ES LLC  
5507  
CLEAND  
ER DR  
CINCINN  
ATI OH  
45238  
(call  
946-  
4015 if  
incorrect  
)

### Mailing Name and Address

BUCKEYE  
STREET  
VENTURE  
S LLC  
5507  
CLEANDE  
R DR  
CINCINN  
ATI OH  
45238  
(call 946-  
4800 if  
incorrect)

### Images/Sketches



### Assessed Value

23,780

### Effective Tax Rate

95.401744

### Total Tax

\$2,276.46

### Property Description

CLIFTON AV 39.95 X 59 IRR PT LOTS 2-3 J HUSTS EXTRS SUB TIF ABATEMENT

**Appraisal/Sales Summary**

Year Built	1880
Total Rooms	0
# Bedrooms	0
# Full Bathrooms	0
# Half Bathrooms	0
Last Sale Date	3/25/2013
Last Sale Amount	\$68,000
Conveyance Number	47880
Deed Type	WD - Warranty Deed (Conv)
Deed Number	281727
# of Parcels Sold	1
Acreage	0.053
Front Footage	39.90

**Tax/Credit/Value Summary**

Board of Revision	No
<b><u>Rental Registration</u></b>	<b><u>Yes</u></b>
Homestead	No
Owner Occupancy Credit	No
Foreclosure	No
Special Assessments	Yes
Market Land Value	4,850
CAUV Value	0
Market Improvement Value	63,090
Market Total Value	67,940
TIF Value	31,940
Abated Value	0
Exempt Value	0
<b><u>Taxes Paid</u></b>	<b>\$2,276.46</b>
Tax as % of Total Value	0.000%

**Notes**

1) 12-7-04 30 YEAR TIF ABATEMENT BEGAN 2003 THRU 2032

FRONT (NORTH) FACADE



**REAR (SOUTH) ELEVATION**



**SIDE (WEST) ELEVATION**



# ZONING HEARING EXAMINER

## Application for Zoning Relief

II Centennial Plaza  
805 Central Avenue, Suite 500  
Cincinnati, Ohio 45202  
Monday- Friday 7:30 am- 4 pm  
513-352-1559

### Section 1. SUBJECT PROPERTY

ADDRESS 203 East Clifton Ave. COMMUNITY OTR  
 PARCEL ID(S) 094-0007-0276  
 BASE ZONING CLASSIFICATION RM-0.7 ZONING OVERLAY (if applicable) HISTORIC  
 Non-Residential Project     Residential Project (RCO) One -, Two -, and Three- Family Dwelling

### Section 2. APPLICANT

NAME WICHMAN GUNTHER ARCH. CONTACT PERSON (if legal entity) MARK GUNTHER  
 ADDRESS 810 PLUM STREET CITY CINTI STATE OH ZIP 45202  
 EMAIL \_\_\_\_\_ RELATIONSHIP TO OWNER (if not owner) architect  
 TELEPHONE 241-9933 → markewichmanguntherarchitects.com

### Section 3. OWNER

NAME Buckeye St. Ventures LLC CONTACT PERSON (if legal entity) Matt Jacob  
 ADDRESS 5507 Cleander Ave CITY Cinti STATE OH ZIP 45238  
 EMAIL matt.jacob@gmail.com RELATIONSHIP TO OWNER (if not owner) \_\_\_\_\_  
 TELEPHONE 675-4978

### Section 4. NATURE OF RELIEF REQUESTED. (select all that apply)

- Variance     Use Variance     Special Exception     Conditional Use  
 Expansion or Substitution of Non Conforming Use     Hillside Overlay District Permission  
 Urban Design Overlay District Permission     DD District Phased Development Approval

### Section 5. BRIEF DESCRIPTION OF PROPOSED PROJECT (Do not write "see attached" or leave blank. You may attach a longer statement to this application if the space provided is insufficient to describe your proposed project)

Building renovation includes new rear decks (rear yard setback)  
and adding one new dwelling in previously vacant attic  
(lot area/unit + parking)

### Section 6. SUMMARY OF REASONS WHY RELIEF SHOULD BE GRANTED.

You must provide a written statement explaining how the proposed project meets the standards for all relief requested. Separate instructions for preparing this statement are attached. If you fail to follow the instructions for your type of request, your application may be denied.

### Section 7. SIGNATURE. The undersigned does hereby certify that the information provided in connection with this application is, to the best of his or her knowledge, true and correct.

Print Name Mark A. Gunther Signature Mark A. Gunther Date 7/28/17

203 East Clifton Avenue meets the standards for Variance. The proposed renovation would create occupancy in the currently vacant attic space. A strict application of the underlying district regulations would result in practical difficulties, i.e., the individual exterior deck components of the residences would be compromised and endanger the economic viability of the project. The proposed work otherwise conforms to the underlying zone district regulations and is in harmony with CZC intent. Proposed work also conforms with OTR historic district guidelines and should receive a Certificate of Appropriateness from the Historic Conservation Board. Additionally, the proposed work (multi family dwellings) is compatible with prevailing land use of the surrounding neighborhood and will not have an adverse impact.

1. "ARCHITECT" AS USED IN THESE DOCUMENTS REFERS TO WICHMAN GUNTHER ARCHITECTS, INC. 810 PLUM STREET CINCINNATI, OHIO 45202
2. GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK. IN QUESTION OR RELATED WORK.
3. GENERAL CONTRACTOR IS RESPONSIBLE FOR SECURING ALL PERMITS AND COMPLIANCE TO ALL APPLICABLE CITY AND STATE CODES.
4. GENERAL CONTRACTOR SHALL BALANCE HVAC SYSTEM TO ARCHITECT'S REQUIREMENTS AT THE CONCLUSION OF THE PROJECT.
5. GENERAL CONTRACTOR IS RESPONSIBLE FOR A THOROUGH CLEAN-UP OF PROJECT AREA PRIOR TO TURNING THE SPACE OVER TO THE OWNER.
6. ALL WORK NOTED BY OTHERS' OR N.I.C. IS TO BE ACCOMPLISHED BY A CONTRACTOR AND IS NOT TO BE A PART OF THE CONSTRUCTION AGREEMENT. THE GENERAL CONTRACTOR IS TO COORDINATE WITH OTHER CONTRACTOR AS REQUIRED.
7. "ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
8. "TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS THROUGHOUT UNLESS NOTED OTHERWISE.
9. DETAILS ARE USUALLY KEYED AND NOTED "TYPICAL" ONLY ONCE THEY FIRST OCCUR AND ARE REPRESENTATIVE FOR ALL SIMILAR CONDITIONS THROUGHOUT UNLESS OTHERWISE NOTED.
10. ALL VERTICAL DIMENSIONS ARE SHOWN TO FINISH FLOOR, UNLESS OTHERWISE NOTED.
11. NEW GYPSUM BOARD CONSTRUCTION MEETING EXISTING CONSTRUCTION IN SAME PLACE SHALL BE FLUSH WITH NO VISIBLE JOINTS SHOWING.
12. ALL DIMENSIONS ARE TO FINISH FACE UNLESS OTHERWISE NOTED.
13. ALL NEW WALL CONSTRUCTION PER TYPES SCHEDULED ON DRAWINGS.
14. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL BLOCKING. USE FIRE-TREATED WOOD BLOCKING THROUGHOUT.
15. GENERAL CONTRACTOR IS RESPONSIBLE FOR REPAIRING/REPLACING ANY DAMAGED OR MISSING WOOD FLOOR PLANKS WITHIN THE SCOPE OF THE PROJECT. THE NEW FLOORING IS TO MATCH THE EXISTING FLOORING. GENERAL CONTRACTOR TO REPAIR ALL WOOD FLOORING WITHIN THE SCOPE OF THE PROJECT THAT WILL NOT BE COVERED BY ANOTHER FINISH MATERIAL SUCH AS VINYL OR CARPET.
16. ALL SUB-CONTRACTORS FOR EACH AND EVERY TRADE SHALL SECURE AND PAY FOR NECESSARY FEES, PERMITS AND INSPECTIONS WHICH APPLICABLE TO THE SCOPE OF THE SUB-CONTRACTORS WORK.
17. ALL WORK SHALL BE COMPLETE IN EVERY RESPECT, AND MATERIAL EQUIPMENT OR OTHER WORK, NOT SPECIFICALLY MENTIONED OR SHOWN, BUT NECESSARY TO COMPLETE THE WORK, SHALL BE PROVIDED.
18. PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES, AND ALL DEBRIS TO BE KEPT AT A MINIMUM.
19. EACH SUB-CONTRACTOR SHALL ADHERE TO THESE GENERAL CONDITIONS AND NOTES. EACH SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM HIS WORK AND SHALL REPAIR SAME AT NO CHARGE TO THE OWNER.

Minimum Live Loads: 60 psf Floors (R-2)  
125 psf Floors (S-1)  
100 psf Floors (S-1)  
25 psf Roof  
200 psf Guardrail Impact

Structural Lumber Species & Grade:  
#2 Grade or better  
Southern Pine kiln dried

Simpson Strong-Tie or equal joist hangers

All roof coverings are Class C or better

Fir/Clg penetrations of pipes, tubes or conduit shall have approved fire stopping installed around penetration. Such fire stopping shall be capable of maintaining the integrity of the fir/clg per ASTM E119

DRAIN PANS TO BE PROVIDED BELOW ALL MECHANICAL UNITS & HOT WATER HEATERS WITH PRIMARY AND SECONDARY DRAINS

ACCESSIBILITY REQUIREMENTS OF OBC SEC. 1107. NOT APPLICABLE PER OBC SEC. 3409.1

A COMPLETE FIRE ALARM SYSTEM, CONFORMING TO OBC SEC. 907.2.9 & 907.2.10 WILL BE INSTALLED UNDER SEPARATE PERMIT

A COMPLETE FIRE SUPPRESSION SYSTEM, WITH CLASS 1 STANDPIPE, CONFORMING TO OBC SEC. 903.3.11 (NFPA 13), WITH SYSTEM MONITORING & ALARMS PER SEC. 903.4 AND 907.9.2, WILL BE INSTALLED UNDER SEPARATE PERMIT

ABBREVIATIONS

ACOUS AFF.	ACOUSTICAL AFF.	F.C.	FIRE CODE	PLAS	PLASTER
ALUM ANOD.	ALUMINUM ANODIZED	FIN FLR	FLOOR FINISH	REINFORC	REINFORCING
BRD	BOARD	FIN FLOOR	FINISHED FLOOR	SOLID CORE SHEET	SOLID CORE SHEET
BULD	BUILDING	GLV	GALVANIZED	SPHR	SPHULAR
BLK	BLOCK	H.C.	HOLLOW CORE	STD	STANDARD
BR	BREAK	H.M.	HOLLOW METAL	STL	STEEL
CBR	CERAMIC CONTROL JOINT	HORZ	HORIZONTAL	TOP OF STEEL	TYPICAL
CL	CENTER LINE	HVAC	HEATING, VENTILATING & AIR CONDITIONING	VERT	VERTICAL
CLG	Ceiling	INT	INTERIOR	W/O	WOOD
CONC	CONCRETE	JOINT	MANUFACTURER	W/	WITH
CONT.	CONTINUOUS	MANUF.	MANUFACTURER		
DET.	DETAIL	MAS.	MASONRY		
D.S.	DOWN SPOUT	NATL.	NATURAL		
ELEV.	ELEVATION	NITL.	NATURAL		
ENT.	ENTRANCE	O.C.	ON CENTER		
		OPEN	OPENING		

INDEX TO DRAWINGS

- A-0 SITE/ROOF PLAN, BSMNT PLAN, TITLE, INDEX & NOTES
- A-1 1ST & 2ND FLR. PLAN & SCHEDULES
- A-2 3RD & 4TH FLR. PLAN & SCHEDULES
- A-3 BUILDING ELEVATION & SECTION
- A-4 BUILDING ELEVATION & SECTION
- A-5 BUILDING SECTION & FRAMING PLANS
- EM-1 1ST & 2ND FLR. REFLECT/MECH/ELEC PLAN
- EM-2 3RD & 4TH FLR. REFLECT/MECH/ELEC PLAN

**BUILDING AREA**  
BASEMENT: 1558 GSF (S-1)  
1ST FLR: #1 @ 805 GSF (R-2 W/ OCC. LOAD: 4)  
1ST FLR: #2 @ 625 GSF (R-2 W/ OCC. LOAD: 2)  
2ND FLR: #3 @ 825 GSF (R-2 W/ OCC. LOAD: 4)  
2ND FLR: #4 @ 665 GSF (R-2 W/ OCC. LOAD: 2)  
3RD FLR: #5 @ 825 GSF (R-2 W/ OCC. LOAD: 4)  
3RD/4TH FLR: #6 @ 1255 GSF (R-2 W/ OCC. LOAD: 4)  
4TH FLR: #7 @ 755 GSF (R-2 W/OCC. LOAD: 2)  
ALLOWABLE AREA/FLR. = 16,000 (R-2)

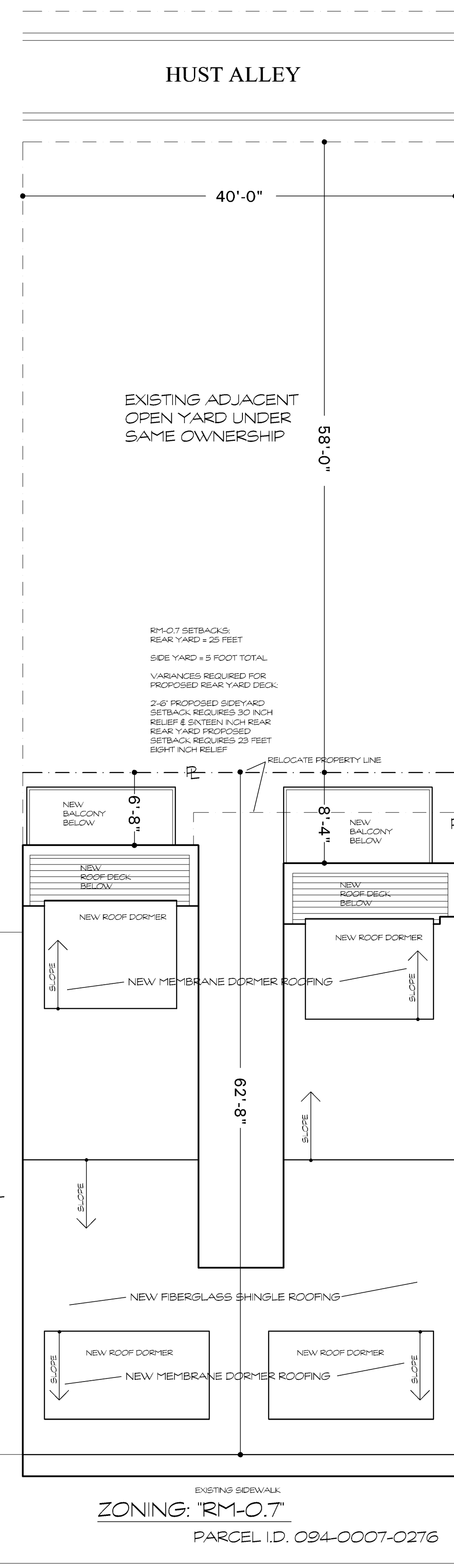
**BUILDING CODE NOTES**  
GOVERNING CODE: 2011 OBC  
203 EAST CLIFTON AVENUE  
USE GROUP:  
EXISTING: S-1 @ BASEMENT  
PROPOSED: S-1 (NO CHANGE OF USE)  
EXISTING: R-2 @ 1ST, 2ND & 3RD FLOOR  
PROPOSED: R-2 (NO CHANGE OF USE)  
EXISTING: S-1 @ 4TH FLOOR  
PROPOSED: R-2 @ 4TH FLOOR (CHANGE OF USE)

NOTE: DWELLING UNITS SEPARATED PER OBC SEC. 508.3.3

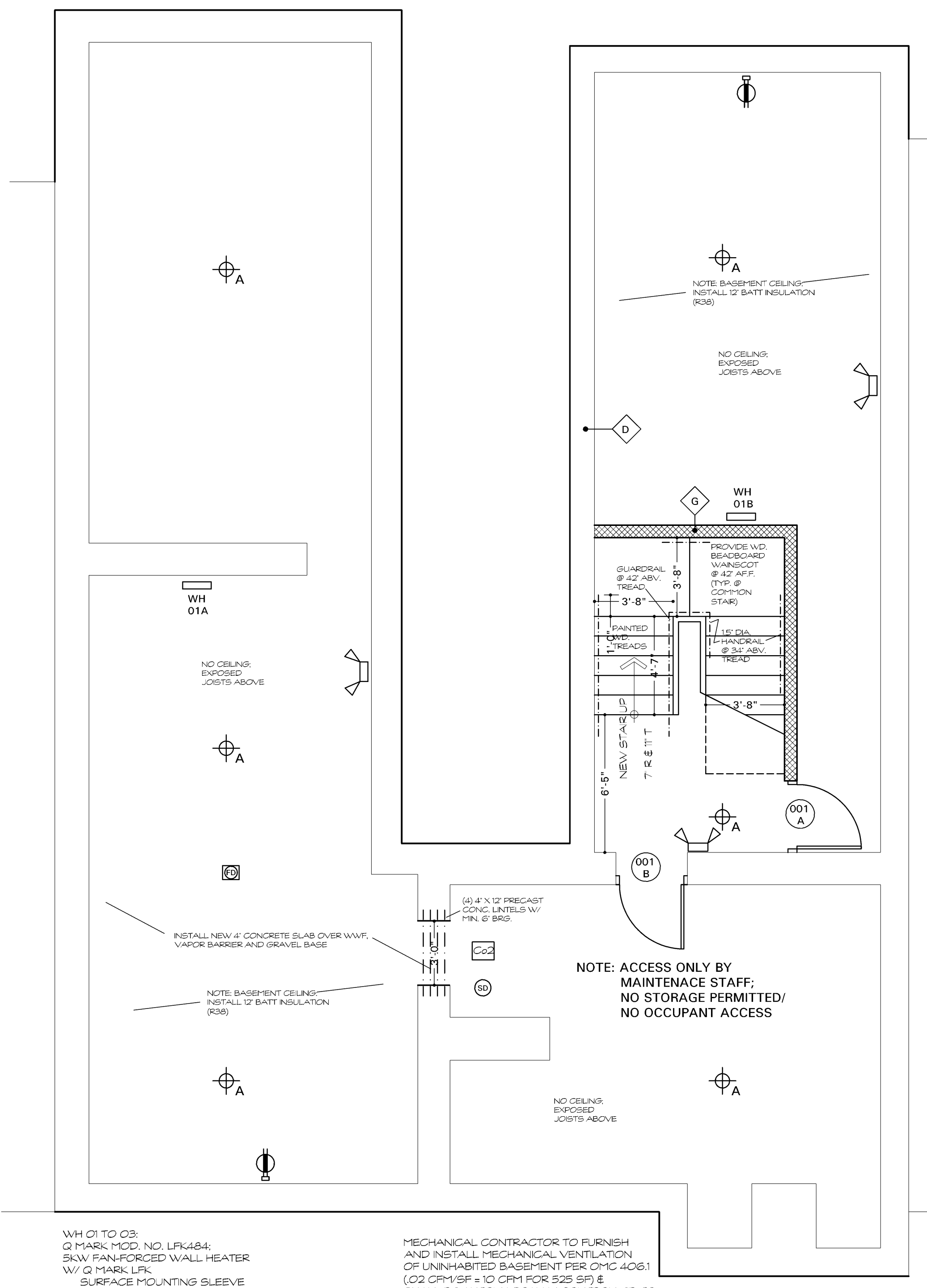
CONSTRUCTION TYPE: 3B

NO. OF STORIES: 4  
INTERIOR FINISHES NOTE:

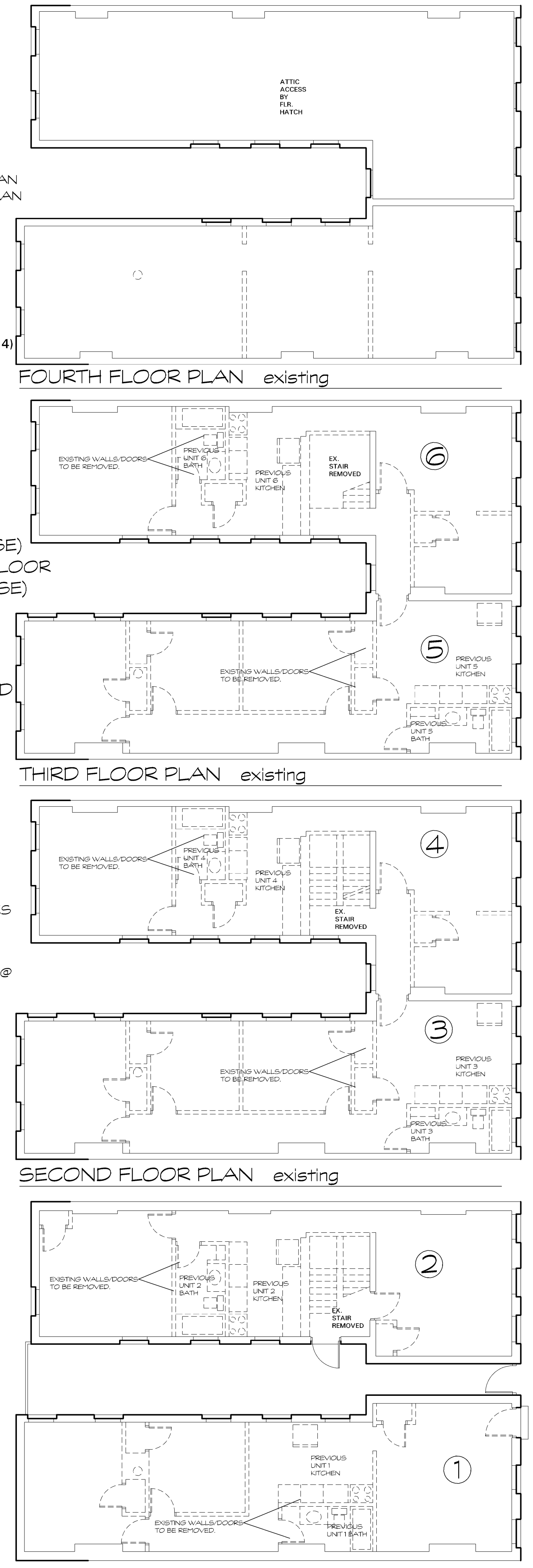
PROJECT SCOPE TO PROVIDE THE FOLLOWING:  
-NEW INTERIOR PARTITIONS TO BE PAINTED DRYWALL W/ NEW 1 X 4 PAINTED POPLAR WOOD BASE & TRIM  
-EXISTING PERIMETER FINISHED WALL SURFACES TO BE PAINTED DRYWALL OR PLASTER W/ PAINTED WOOD BASE & TRIM  
-CEILINGS TO BE NEW PAINTED DRYWALL  
-FLOORING TO BE NEW T & G WOOD (CER. TILE @ WET AREAS) FINISH SURFACE.



**SITE/ROOF PLAN**  
SCALE: 1/8" = 1'-0"  
ZONING: "RM-O.7"  
PARCEL I.D. 094-0007-0276  
EAST CLIFTON  
TOTAL LOT AREA = 2,306 SF (40'-0" X 62'-8")



**BASEMENT PLAN**  
SCALE: 1/4" = 1'-0"



**FIRST FLOOR PLAN existing**  
**EXISTING BUILDING PLANS**  
SCALE: 1/8" = 1'-0"

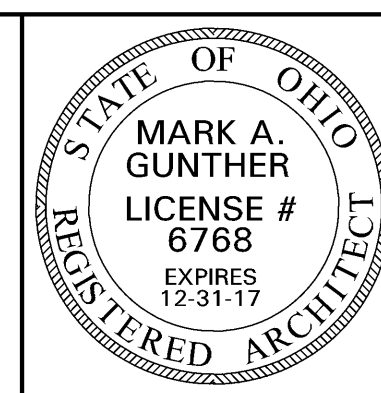


REVISION	DATE

**WICHMAN GUNTHER ARCHITECTS, INC.**  
810 PLUM STREET / CINCINNATI, OHIO 45202 / (513) 241-9933

Apartment Renovation at  
203-205 East Clifton Avenue  
Cincinnati, Ohio 45202

J16-1600  
**A-00**



DATE

REVISION

WICHMAN GUNTER ARCHITECTS, INC. 810 PLUM STREET / CINCINNATI, OHIO 45202 / (513) 241-9933

Apartment Renovation at 203-205 East Clifton Avenue Cincinnati, Ohio 45202

J16-1600

A-01

Plot data name: A01203Clifton Date: June 15, 2017 Issue: plan review

DO NOT SCALE DRAWINGS

DO NOT SCALE DRAWINGS

DO NOT SCALE DRAWINGS

WINDOW SCHEDULE table with columns: No., TYPE, MAT'L, SIZE, SASH, GLAZING, NOTES. Lists window specifications for various units.

NOTE: PROVIDE NEW HEAD/SILL FLASHING PLUS BRICKMOLD. ALL GLAZING TO BE INSULATED, LOW-E W/ SECURITY FILM AT GRADE LEVEL OPENINGS. CLAD WOOD WINDOW UNITS TO BE TRIMLINE DR300 SERIES ALUMINUM WINDOWS TO BE CRYSTAL 2000 SERIES

PLUMBING NOTES

- 1. PLUMBING CONTRACTOR TO SECURE ALL NECESSARY PERMITS AND INSPECTIONS... 2. REVIEW FIXTURE TYPES, SIZES, COLORS, ETC... 3. REMOVE ALL EXISTING PIPING NOT IN USE... 4. PROVIDE WASHER HOOPS AND FLOOR DRAINS... 5. PROVIDE ALL NECESSARY RISER DIAGRAMS... 6. PROVIDE FLOOR DRAINS AT ALL UTILITY ROOMS... 7. CONTRACTOR TO PROVIDE AND INSTALL THE FOLLOWING FIXTURES:

WALL TYPES

- A 3/8" 20 GA. 1" STUDS @ 16" O.C. W/ (1) LAYER OF 1/2" DRYWALL... B 3/8" 20 GA. 1" STUDS @ 16" O.C. W/ (1) LAYER OF 5/8" F.C. GYPSUM... C 3/8" 20 GA. 1" STUDS @ 16" O.C. W/ (1) LAYER OF 1/2" DRYWALL... D 8" THICK MASONRY WALL, 2 HR. RATING... E 12" THICK MASONRY WALL, 2 HR. RATING... F 3/8" 20 GA. 1" STUDS @ 16" O.C. W/ (1) LAYER OF 1/2" DRYWALL... G 2" X 6" WOOD STUDS @ 16" O.C. W/ (1) LAYER OF 1/2" DRYWALL... H 3/8" 20 GA. 1" STUDS @ 16" O.C. W/ (1) LAYER OF 1/2" DRYWALL... H2 3/8" 20 GA. 1" STUDS @ 16" O.C. W/ (1) LAYER OF 1/2" DRYWALL, 4" SOUND BATT INSULATION, 1/2" GYPSUM BOARD, 1/2" DRYWALL

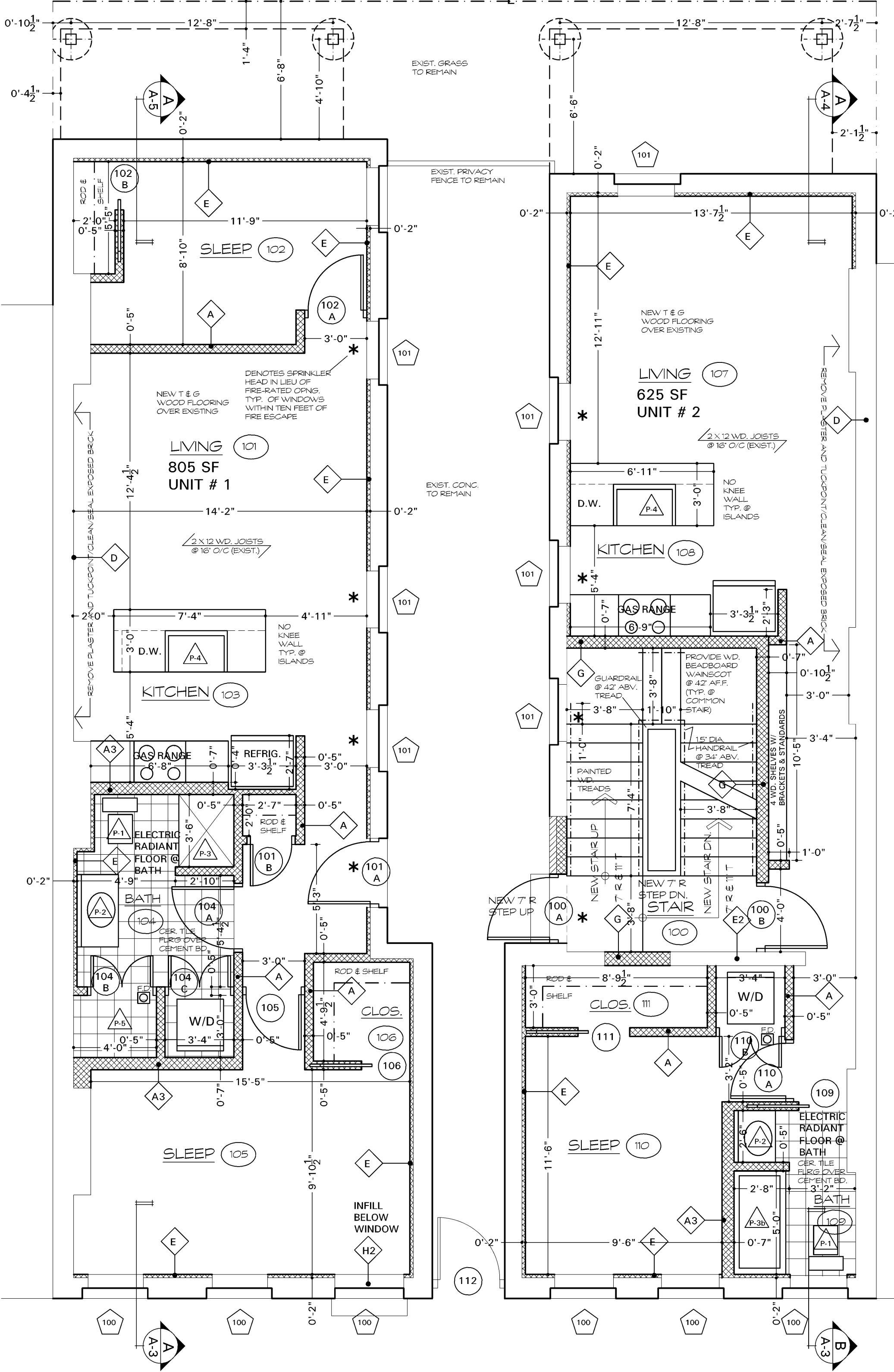
DOOR SCHEDULE table with columns: DOOR No., DOOR SIZE, MATERIAL, FINISH, TYPE, FRAME, FINISH, LABEL, HARD WARE, REMARKS. Lists door specifications for various units.

Table with columns: DOOR No., DOOR SIZE, MATERIAL, FINISH, TYPE, FRAME, FINISH, LABEL, HARD WARE, REMARKS. Lists door specifications for various units.

HARDWARE SCHEDULE

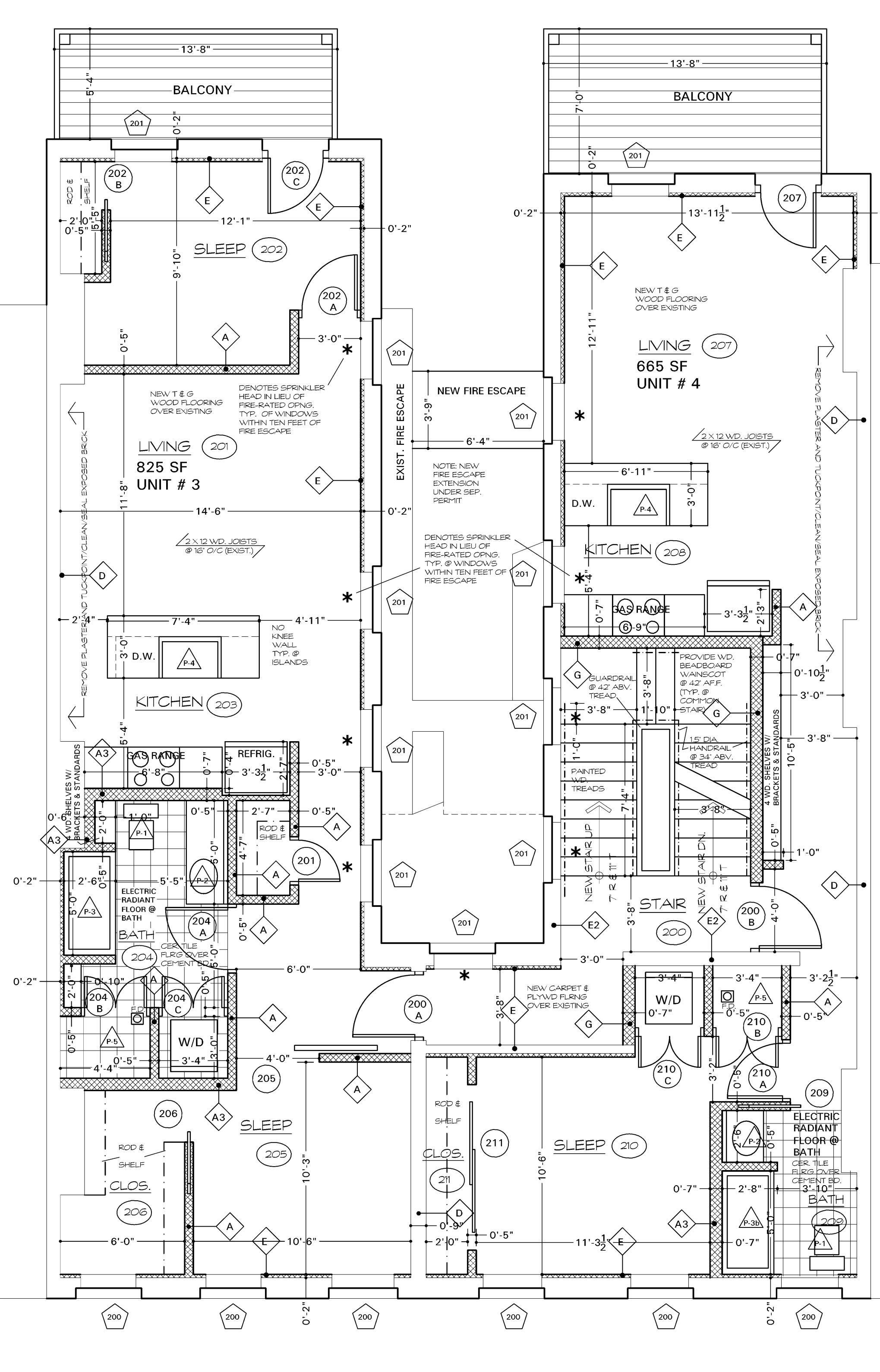
- HW-1 1 1/2" per hinges lever lockset threshold door... HW-2 pocket door frame Stanley #403925... HW-3 1 1/2" per hinges lever lockset threshold door... HW-4 1 1/2" per hinges lever lockset door stop... HW-5 1 1/2" per hinges lever passage threshold door... HW-6 1 1/2" per hinges lever passage door stop... HW-7 1 1/2" per hinges lever privacy door stop... HW-8 barn door hardware and track... HW-9 by pass door track Stanley #405666

RELOCATED



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

DOOR No.	DOOR SIZE	MATERIAL	FINISH	TYPE	FRAME	FINISH	LABEL	HARD WARE	REMARKS
300 A	3'-0" x 7'-0"	SOLID WOOD	PANTRY	FLUSH SLAB	HOLLOW PNL	PANTRY	1" LABEL, W/D	HW-1	NO GLASSING
300 B	3'-0" x 7'-0"	SOLID WOOD	PANTRY	FLUSH SLAB	HOLLOW PNL	PANTRY	1" LABEL, W/D	HW-1	NO GLASSING
301	2'-0" x 7'-0"	SOLID WOOD	PANTRY	FOUR PANEL	WOOD	PANTRY	1" LABEL, W/D	HW-2	NO GLASSING
302 A	2'-8" x 7'-0"	SOLID WOOD	PANTRY	FOUR PANEL	WOOD	PANTRY	1" LABEL, W/D	HW-2	NO GLASSING
302 B	2'-8" x 7'-0"	SOLID WOOD	PANTRY	FOUR PANEL	WOOD	PANTRY	1" LABEL, W/D	HW-2	NO GLASSING
302 C	2'-8" x 7'-0"	SOLID WOOD	PANTRY	FOUR PANEL	WOOD	PANTRY	1" LABEL, W/D	HW-2	NO GLASSING
302 D	2'-8" x 7'-0"	SOLID WOOD	PANTRY	FOUR PANEL	WOOD	PANTRY	1" LABEL, W/D	HW-2	NO GLASSING
303	2'-8" x 7'-0"	SOLID WOOD	PANTRY	FOUR PANEL	WOOD	PANTRY	1" LABEL, W/D	HW-2	NO GLASSING
304 A	10'-18" x 8'-0"	SOLID WOOD	PANTRY	FOUR PANEL	WOOD	PANTRY	1" LABEL, W/D	HW-4	NO GLASSING
304 B	10'-18" x 8'-0"	SOLID WOOD	PANTRY	FOUR PANEL	WOOD	PANTRY	1" LABEL, W/D	HW-4	NO GLASSING
304 C	10'-18" x 8'-0"	SOLID WOOD	PANTRY	FOUR PANEL	WOOD	PANTRY	1" LABEL, W/D	HW-4	NO GLASSING
304 D	10'-18" x 8'-0"	SOLID WOOD	PANTRY	FOUR PANEL	WOOD	PANTRY	1" LABEL, W/D	HW-4	NO GLASSING
305	4'-0" x 7'-0"	SOLID WOOD	PANTRY	FLUSH SLAB	TRACK	NONE	NONE	HW-5	
306	2'-8" x 7'-0"	SOLID WOOD	PANTRY	FOUR PANEL	POCKET	NONE	NONE	HW-2	
307	2'-8" x 7'-0"	SOLID WOOD	PANTRY	FOUR PANEL	WOOD	PANTRY	1" LABEL, W/D	HW-2	
308	2'-8" x 7'-0"	SOLID WOOD	PANTRY	FOUR PANEL	POCKET	NONE	NONE	HW-2	
309	2'-8" x 7'-0"	SOLID WOOD	PANTRY	FOUR PANEL	WOOD	PANTRY	1" LABEL, W/D	HW-2	
310 A	2'-8" x 7'-0"	SOLID WOOD	PANTRY	FOUR PANEL	WOOD	PANTRY	1" LABEL, W/D	HW-2	
310 B	10'-18" x 8'-0"	SOLID WOOD	PANTRY	FOUR PANEL	WOOD	PANTRY	1" LABEL, W/D	HW-4	
310 C	10'-18" x 8'-0"	SOLID WOOD	PANTRY	FOUR PANEL	WOOD	PANTRY	1" LABEL, W/D	HW-4	
311	10'-18" x 7'-0"	SOLID WOOD	PANTRY	FLUSH SLAB	TRACK	NONE	NONE	HW-5	

400 A	3'-0" x 7'-0"	SOLID WOOD	PANTRY	FLUSH SLAB	HOLLOW PNL	PANTRY	1" LABEL, W/D	HW-1	
400 B	3'-0" x 7'-0"	SOLID WOOD	PANTRY	FLUSH SLAB	HOLLOW PNL	PANTRY	1" LABEL, W/D	HW-1	
401 A	2'-8" x 8'-0"	W/D & GLASS	PANTRY	FULL LITE	WOOD	PANTRY	1" LABEL, W/D	HW-3	
401 B	2'-8" x 8'-0"	W/D & GLASS	PANTRY	FULL LITE	WOOD	PANTRY	1" LABEL, W/D	HW-3	
402 A	2'-8" x 7'-0"	SOLID WOOD	PANTRY	FOUR PANEL	WOOD	PANTRY	1" LABEL, W/D	HW-2	
402 B	10'-18" x 8'-0"	SOLID WOOD	PANTRY	FOUR PANEL	WOOD	PANTRY	1" LABEL, W/D	HW-4	
402 C	10'-18" x 8'-0"	SOLID WOOD	PANTRY	FOUR PANEL	WOOD	PANTRY	1" LABEL, W/D	HW-4	
402 D	10'-18" x 8'-0"	SOLID WOOD	PANTRY	FOUR PANEL	WOOD	PANTRY	1" LABEL, W/D	HW-4	
403	2'-0" x 7'-0"	SOLID WOOD	PANTRY	FOUR PANEL	WOOD	PANTRY	1" LABEL, W/D	HW-2	
404	2'-8" x 8'-0"	W/D & GLASS	PANTRY	FULL LITE	WOOD	PANTRY	1" LABEL, W/D	HW-3	
405	2'-8" x 7'-0"	SOLID WOOD	PANTRY	FOUR PANEL	WOOD	PANTRY	1" LABEL, W/D	HW-2	
406 A	2'-8" x 7'-0"	SOLID WOOD	PANTRY	FOUR PANEL	WOOD	PANTRY	1" LABEL, W/D	HW-2	
406 B	2'-8" x 7'-0"	SOLID WOOD	PANTRY	FOUR PANEL	WOOD	PANTRY	1" LABEL, W/D	HW-2	
406 C	2'-8" x 7'-0"	SOLID WOOD	PANTRY	FOUR PANEL	WOOD	PANTRY	1" LABEL, W/D	HW-2	
406 D	10'-18" x 8'-0"	SOLID WOOD	PANTRY	FOUR PANEL	WOOD	PANTRY	1" LABEL, W/D	HW-4	

No.	TYPE	MAT'L	SIZE	SASH	GLAZING	NOTES
100	DOUBLE HUNG	CLAD WOOD	3'-2" x 7'-1"	ONE / ONE	CLEAR	SILL @ 30" A.F.F.
102	DOUBLE HUNG	ALUMINUM	3'-2" x 7'-1"	ONE / ONE	CLEAR	SILL @ 30" A.F.F.
200	DOUBLE HUNG	CLAD WOOD	3'-2" x 6'-4"	ONE / ONE	CLEAR	SILL @ 30" A.F.F.
201	DOUBLE HUNG	ALUMINUM	3'-2" x 6'-4"	ONE / ONE	CLEAR	SILL @ 30" A.F.F.
300	DOUBLE HUNG	CLAD WOOD	3'-2" x 5'-10"	ONE / ONE	CLEAR	SILL @ 30" A.F.F.
301	DOUBLE HUNG	ALUMINUM	3'-2" x 5'-10"	ONE / ONE	CLEAR	SILL @ 30" A.F.F.
400	DOUBLE HUNG	CLAD WOOD	3'-2" x 1'-8"	SINGLE	CLEAR/TEMPERED	SILL @ 17" A.F.F.
401	DOUBLE HUNG	ALUMINUM	3'-2" x 5'-10"	ONE / ONE	CLEAR	SILL @ 22" A.F.F.
402	CASIMENT	ALUMINUM	10'-3" x 6'-0"	SINGLE	CLEAR	SILL @ 32" A.F.F.

NOTE: PROVIDE NEW HEAD/SILL FLASHING PLUS BRICKMOLD.  
 ALL GLAZING TO BE INSULATED, LOW-E SECURITY FILM AT GRADE LEVEL OPENINGS.  
 CLAD WINDOW UNITS TO BE TRIMLINE D3000 SERIES  
 ALUMINUM WINDOWS TO BE CRYSTAL 2000 SERIES

**HARDWARE SCHEDULE**

HW-1	HW-2	HW-3	HW-4	HW-5	HW-6	HW-7	HW-8	HW-9
1 1/2" per hinges lever lockset threshold closer	HW-2 pocket door frame Storley #A03825 pocket door privacy pul Storley #A04040	HW-3 1 1/2" per hinges lever lockset threshold	HW-4 1 1/2" per hinges lever pull w/ register catch	HW-5 1 1/2" per hinges lever passage threshold closer	HW-6 1 1/2" per hinges lever passage door stop	HW-7 1 1/2" per hinges lever privacy door stop	HW-8 barn door hardware and track.	HW-9 by pass door track Storley #A05866

FINISH BRUSHED STAINLESS

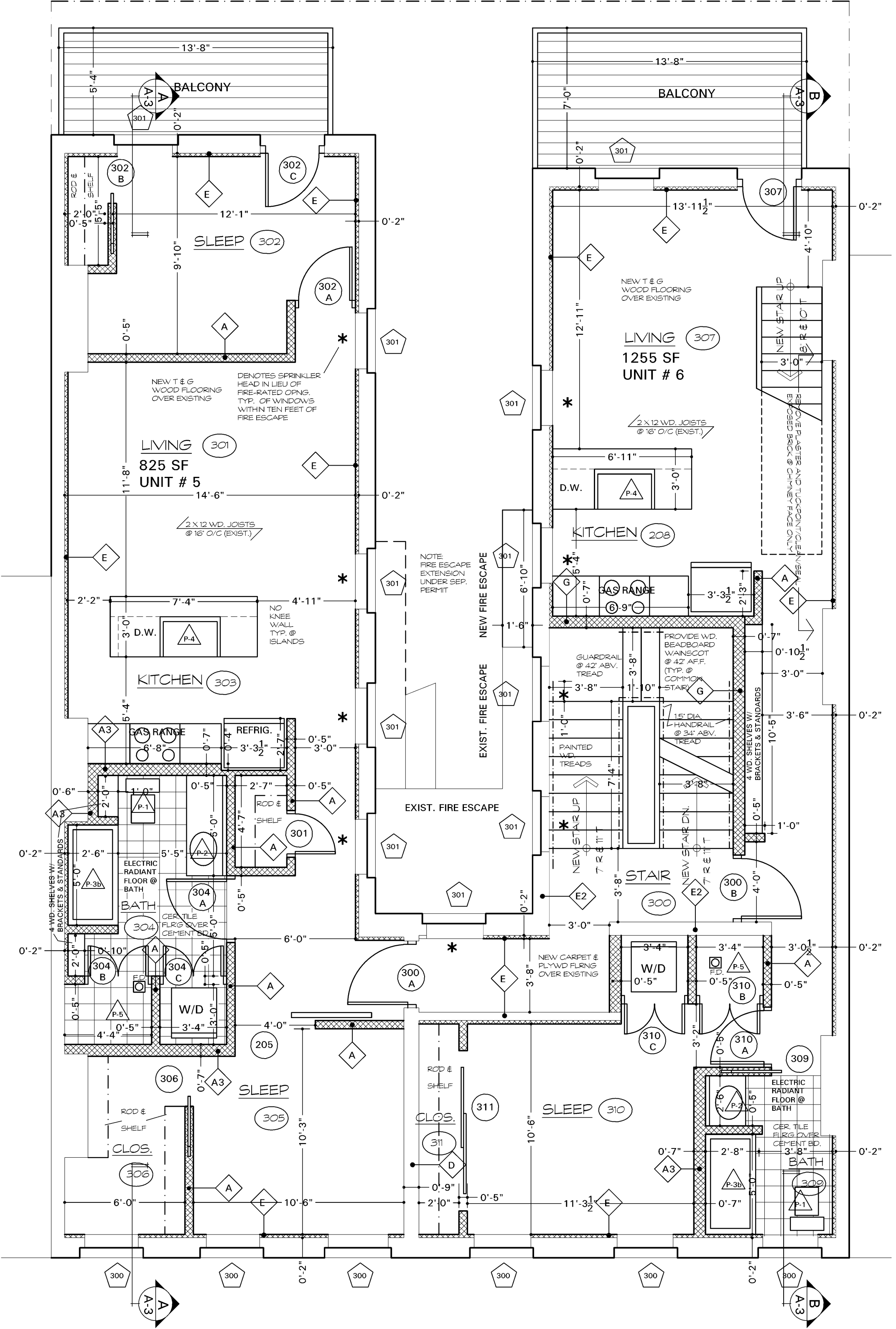
ALL EGRESS DOORS SHALL BE READILY  
 OPENABLE FROM THE SIDE WHICH EGRESS IS  
 TO BE MADE WITHOUT THE USE OF KEYS  
 OR SPECIAL KNOWLEDGE OR EFFORT

**PLUMBING NOTES**

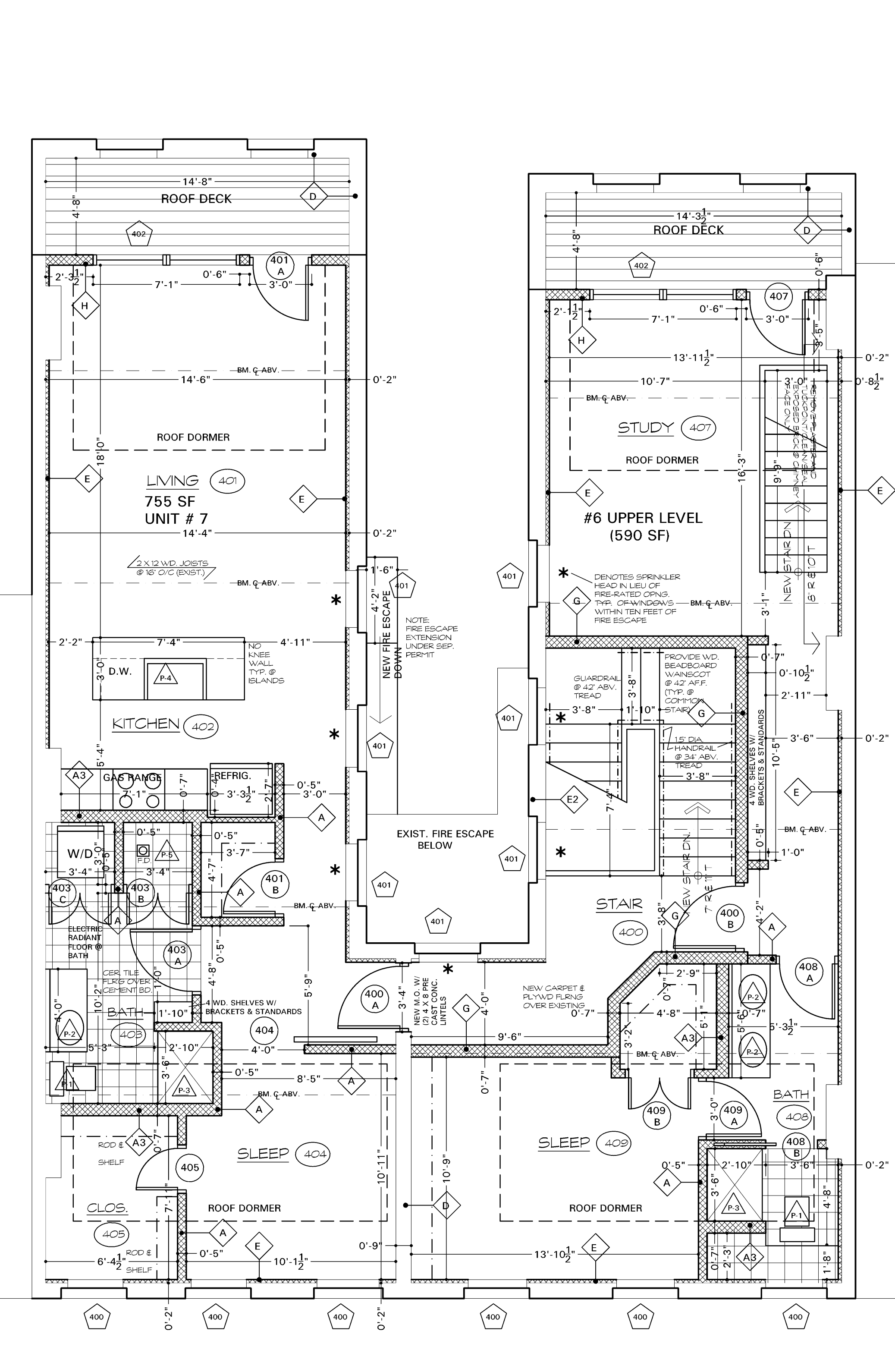
- PLUMBING CONTRACTOR TO SECURE ALL NECESSARY PERMITS AND INSPECTIONS REQUIRED BY LOCAL CODES.
  - REVIEW FIXTURE TYPES, SIZES, COLORS, ETC. WITH OWNER & ARCHITECT PRIOR TO INSTALLATION.
  - REMOVE ALL EXISTING FIXTURES NOT IN USE.
  - PROVIDE WASHER HOOPS AND FLOOR DRAINS IN LAUNDRY LOCATIONS.
  - PROVIDE ALL NECESSARY RISER DIAGRAMS & SINGS AS REQUIRED TO PERFORM THE WORK.
  - PROVIDE FLOOR DRAINS AT ALL UTILITY ROOMS TO PROVIDE INDIRECT SOURCE FOR CONDENSERS AND HOT WATER HEATERS.
  - CONTRACTOR TO PROVIDE AND INSTALL THE FOLLOWING FIXTURES:
- PA1 KOHLER TOILET, MOD. NO. K-3684
  - PA2 KOHLER 1/2" LAV. FAUCET & HOT/COLD SINK BY KOHLER
  - PA3 32" x 32" OR 48" CUSTOM TILE SHOWER FLOOR W/ DELTA RICOON BIX SHOWER HEAD AND VALVE
  - PA4 30" x 60" BATHTUB W/ DELTA RICOON BIX SHOWER HEAD AND VALVE
  - PA5 DELTA MOD. NO. PRESSURE FAUCET
  - PA6 PREMIER PLUS MOD. NO. 4780S LOW BOY 16.5 GAL. CAPACITY ELEC. HOT WATER HEATER
  - PA7 UTILITY SINK & FAUCET

**WALL TYPES**

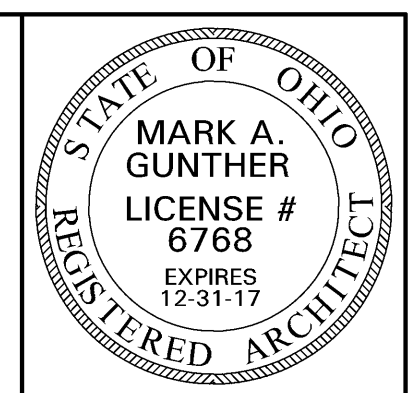
- NOTE: STANDARD WALLBOARD AT BATHS IS WATER RESISTANT
- A 3 5/8" 20 GA. 1" STUDS @ 16" O.C. W/ (1) LAYER OF 1/2" DRYWALL (OR GYPSUM BOARD) @ 5/8" CEILING BATTERS @ 16" O.C. W/ (1) LAYER OF 1/2" DRYWALL IN WALL CAVITY
  - A2 SAME ASSEMBLY AS WALL TYPE 'A' EXCEPT STUDS ARE 2 X 4 WOOD @ 16" O.C.
  - A3 SAME ASSEMBLY AS WALL TYPE 'A' EXCEPT STUDS ARE 6" 20 GA. @ 16" O.C.
  - B 3 5/8" 20 GA. 1" STUDS @ 16" O.C. W/ (1) LAYER OF 5/8" F.C. GYPSUM BOARD @ 4" SOUND BATTES EXTENDING FROM FLOOR TO UNDERSIDE OF FINISHED CEILING 1 HR. WALL, U.L. L. U301
  - B2 SAME ASSEMBLY AS WALL TYPE 'B' EXCEPT STUDS ARE 6" 20 GA. 1 HR. WALL, U.L. L. U301
  - C 3 5/8" 20 GA. 1" STUDS @ 16" O.C. W/ (1) LAYER OF 1/2" DRYWALL EA. SIDE
  - C2 SAME ASSEMBLY AS WALL TYPE 'C' EXCEPT STUDS ARE 2 X 4 WOOD @ 16" O.C.
  - D 8" THICK MASONRY WALL, 2 HR. RATING, U.L. RUBBER PATCH EXISTING PLASTER OR TUCK POINT EXPOSED BRICK
  - E 12" THICK MASONRY WALL, 2 HR. RATING, U.L. RUBBER PATCH EXISTING PLASTER OR TUCK POINT EXPOSED BRICK
  - E2 12" THICK MASONRY WALL, 2 HR. RATING, U.L. RUBBER PATCH EXISTING PLASTER OR TUCK POINT EXPOSED BRICK
  - F 3 5/8" 16 GA. 1" STUDS @ 16" O.C. W/ (2) LAYERS OF 1/2" DRYWALL (OR GYPSUM BOARD) @ 5/8" CEILING BATTES W/ TYVEK & 4" CEMENT BOARD LAP SIDING, U.L. U301 ONE HOUR RATING
  - G 2 X 6 WOOD STUDS @ 16" O.C. W/ (2) LAYERS OF 5/8" F.C. DRYWALL EA. SIDE AND SOUND ATTENUATION BLANKET IN WALL CAVITY, 2 HR. WALL, U.L. L. U301
  - H 3 5/8" 20 GA. 1" STUDS @ 16" O.C. W/ 1/2" EXT. TREATED PLYWOOD SHEATHING & 4" SOUND BATTES W/ TYVEK & 4" CEMENT BOARD LAP SIDING



**THIRD FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



**FOURTH FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

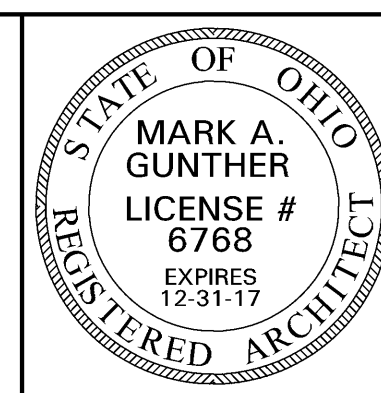


DATE \_\_\_\_\_  
 REVISION \_\_\_\_\_

**WICHMAN GUNTER ARCHITECTS, INC.**  
 810 PLUM STREET / CINCINNATI, OHIO 45202 / (513) 241-9933

Apartment Renovation at  
 203-205 East Clifton Avenue  
 Cincinnati, Ohio 45202

J16-1600  
**A-02**  
 Plot data  
 name: A0220302.dwg  
 date: June 15, 2017  
 issue: plan review



REVISION	DATE

**WICHMAN ■ GUNTHER ARCHITECTS, INC.**  
 810 PLUM STREET / CINCINNATI, OHIO 45202 / (513) 241-9933

Apartment Renovation at  
 203-205 East Clifton Avenue  
 Cincinnati, Ohio 45202

J16-1600

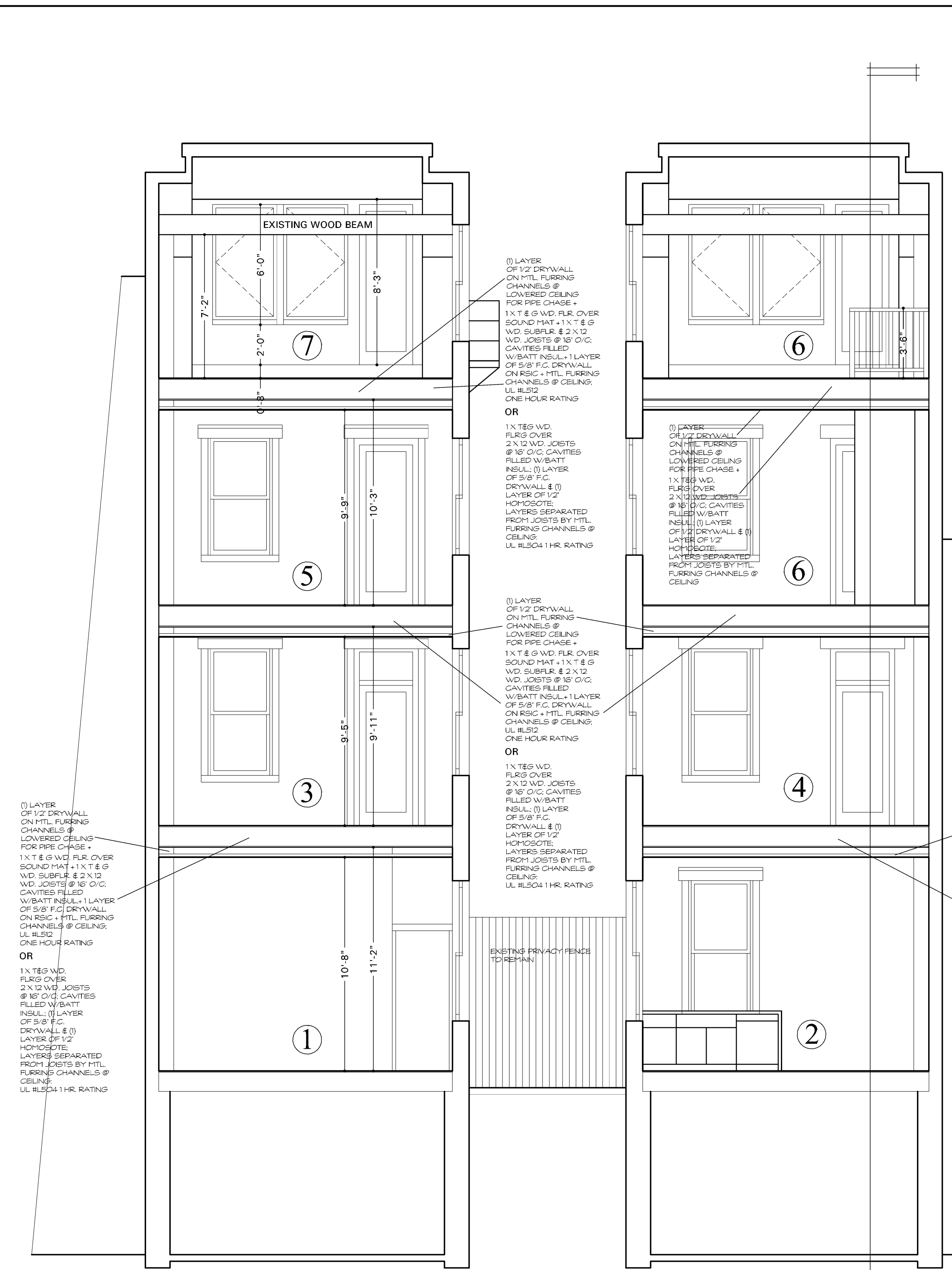
**A-03**

plot data  
 name: A03203Clifton  
 date: June 15, 2017  
 issue: plan review

DO NOT SCALE DRAWINGS

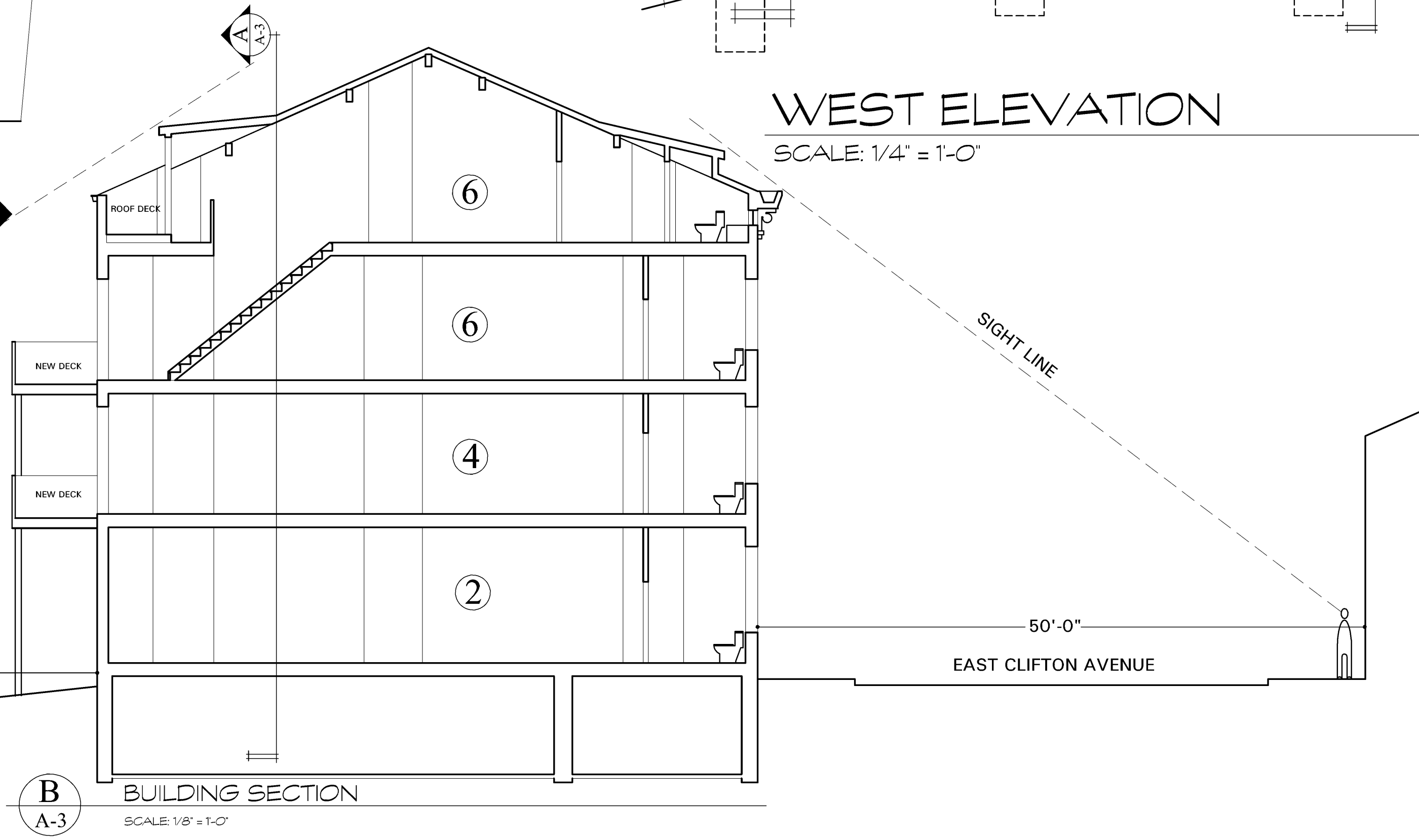
DO NOT SCALE DRAWINGS

DO NOT SCALE DRAWINGS



**A BUILDING SECTION**  
 A-3 SCALE: 1/4" = 1'-0"

**WEST ELEVATION**  
 SCALE: 1/4" = 1'-0"

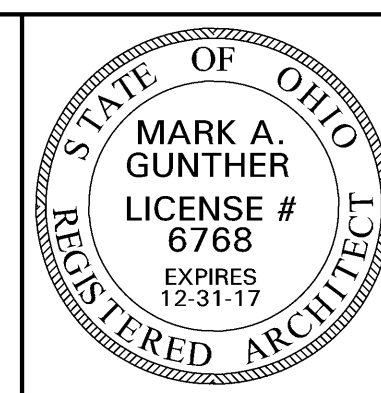


**B BUILDING SECTION**  
 A-3 SCALE: 1/8" = 1'-0"

HUST ALLEY

EAST CLIFTON AVENUE

SIGHT LINE



DATE  
REVISION

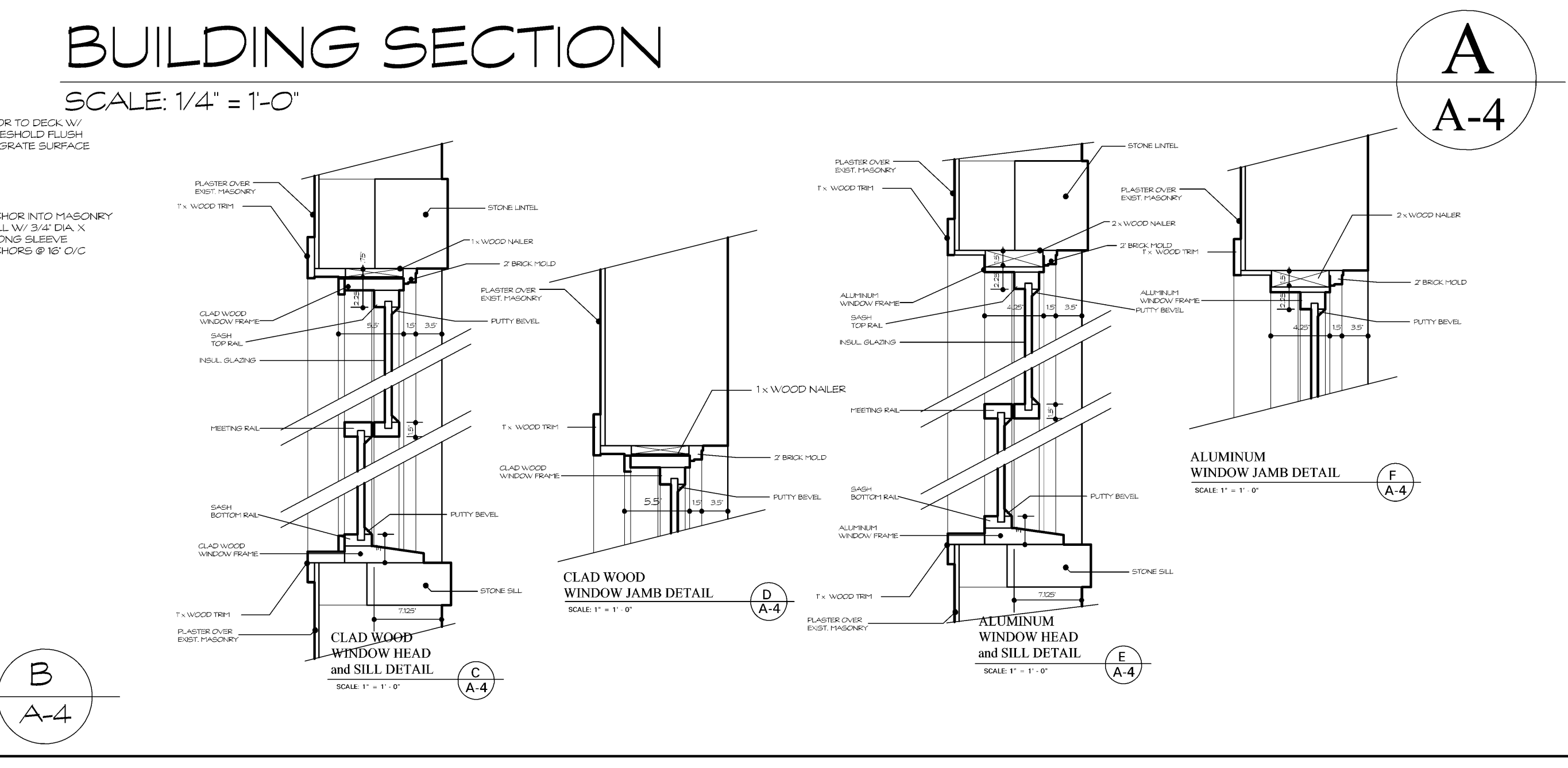
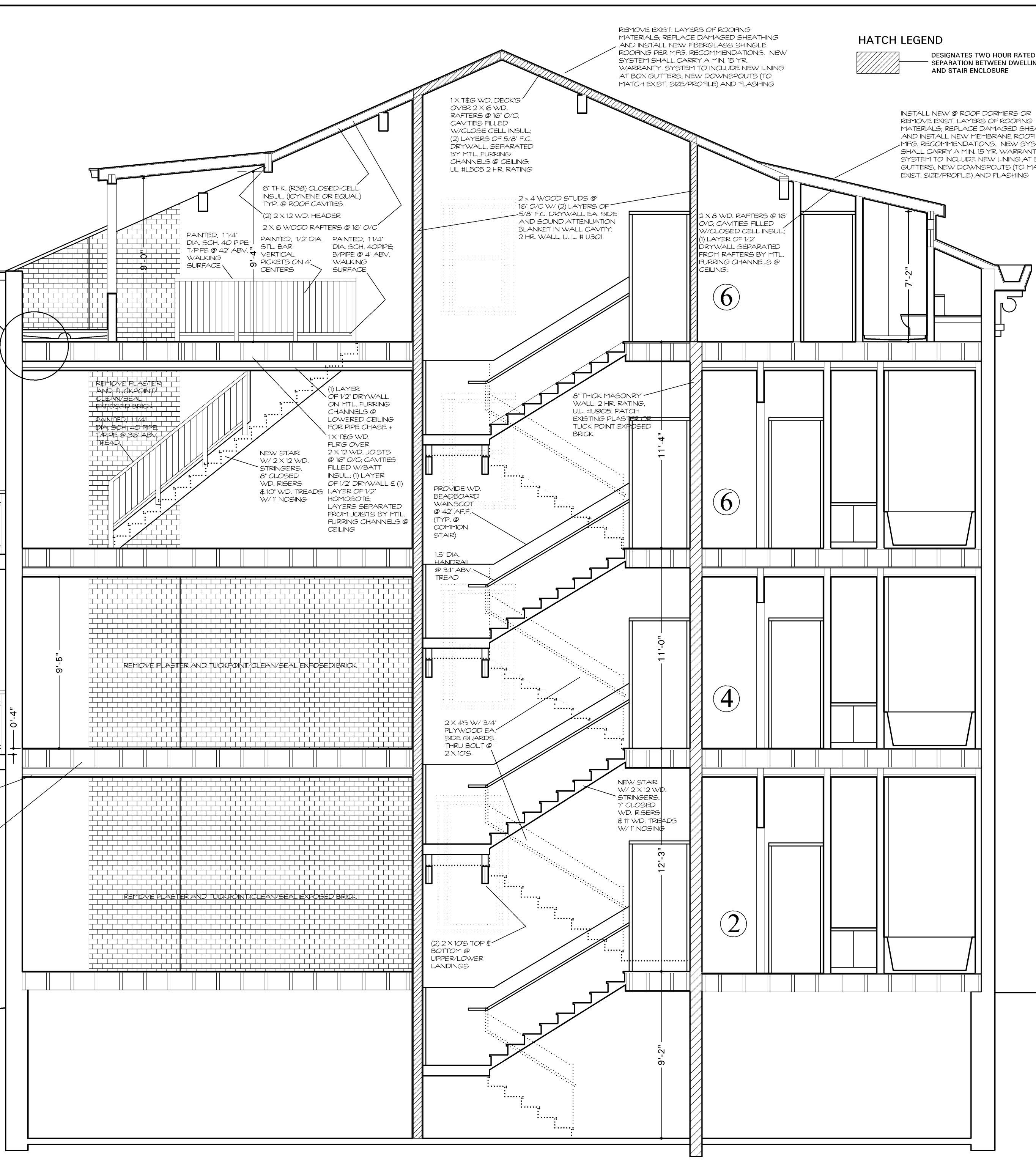
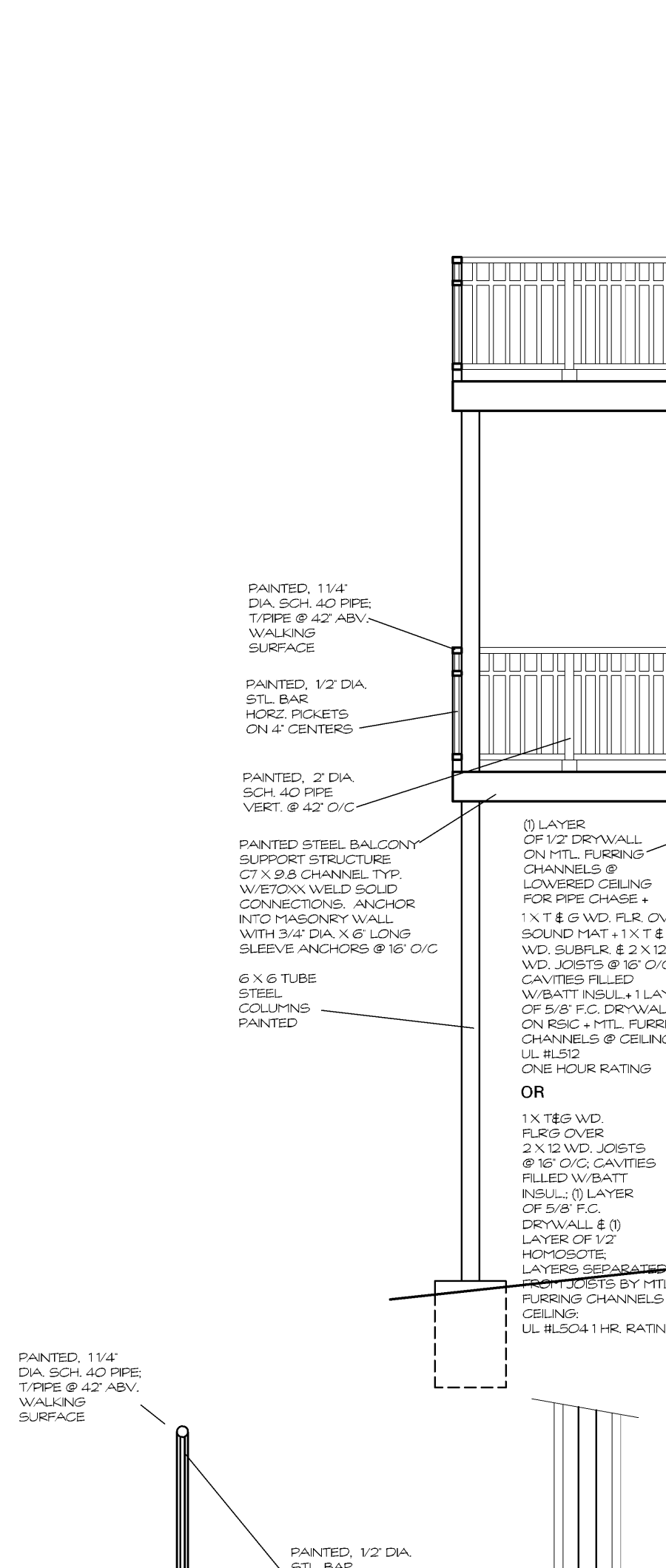
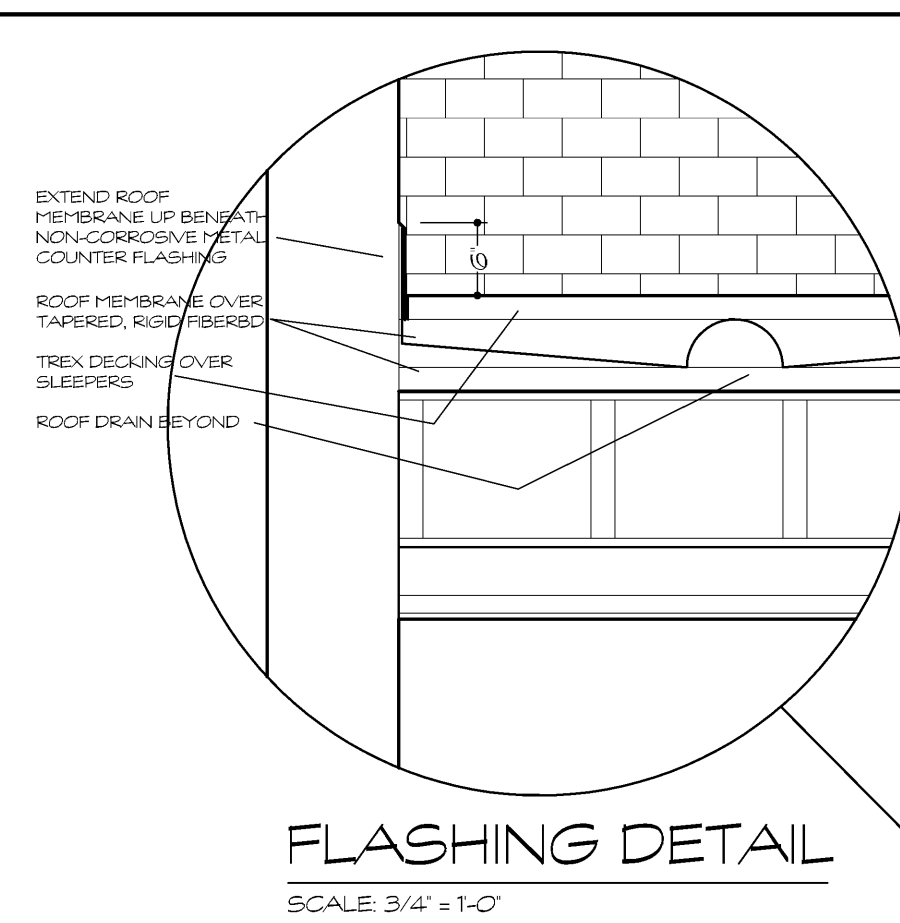
WICHMAN GUNTER ARCHITECTS, INC.  
810 PLUM STREET / CINCINNATI, OHIO 45202 / (513) 241-9933

Apartment Renovation at  
203-205 East Clifton Avenue  
Cincinnati, Ohio 45202

J16-1600

A-04

plot data  
name: A04203Clifton  
date: June 15, 2017  
issue: plan review



EAST ELEVATION

SCALE: 1/4\"/>

No.	TYPE	MATL	SIZE	SASH	GLAZING	NOTES
100	DOUBLE HUNG	CLAD WOOD	3'-2" x 7'-1"	ONE / ONE	CLEAR	SILL @ 30" A.F.F.
102	DOUBLE HUNG	ALUMINUM	3'-2" x 7'-1"	ONE / ONE	CLEAR	SILL @ 30" A.F.F.
200	DOUBLE HUNG	CLAD WOOD	3'-2" x 6'-4"	ONE / ONE	CLEAR	SILL @ 30" A.F.F.
201	DOUBLE HUNG	ALUMINUM	3'-2" x 6'-4"	ONE / ONE	CLEAR	SILL @ 30" A.F.F.
300	DOUBLE HUNG	CLAD WOOD	3'-2" x 5'-10"	ONE / ONE	CLEAR	SILL @ 30" A.F.F.
301	DOUBLE HUNG	ALUMINUM	3'-2" x 5'-10"	ONE / ONE	CLEAR	SILL @ 30" A.F.F.
400	DOUBLE HUNG	CLAD WOOD	3'-2" x 1'-8"	SINGLE	CLEAR/TEMPERED	SILL @ 17" A.F.F.
401	DOUBLE HUNG	ALUMINUM	3'-2" x 5'-10"	ONE / ONE	CLEAR	SILL @ 22" A.F.F.
402	CASSETT	ALUMINUM	03'-6" x 6'-0"	SINGLE	CLEAR	SILL @ 32" A.F.F.

NOTE: PROVIDE NEW HEAD/SILL FLASHING PLUS BRICKMOLD.  
ALL GLAZING TO BE INSULATED. LOW 'E' W/ SECURITY FILM AT GRADE LEVEL OPENINGS.  
CLAD WOOD WINDOW UNITS TO BE TRIMLINE DR300 SERIES  
ALUMINUM WINDOWS TO BE CRYSTAL 2000 SERIES

## Johnson, Beth

---

**From:** Matt Jacob <mattjjacob@gmail.com>  
**Sent:** Thursday, August 24, 2017 11:48 PM  
**To:** Johnson, Beth  
**Cc:** Mark A. Gunther, RA  
**Subject:** 203-205 E. Clifton - Parking Variance  
**Attachments:** 20170823\_192133.jpg; 20170823\_192142.jpg; 20170823\_192212.jpg

Beth,

As we discussed at our pre-hearing meeting on 8/23/17, our project at 203-205 E. Clifton Ave. in OTR is seeking a variance from the city code that requires one parking space be provided for each new unit within a building. Because our project is the redevelopment of an existing 6-unit building into a 7-unit building (through recapturing the space on the 4th story and upgrading interior layouts), the city code is requiring that we provide 1 additional parking space to accommodate the increase in the total number of units to this site. For the following reasons, we are seeking approval of this variance and relief from this code requirement in keeping with the spirit of the code:

Our primary reasoning is based on a constant number of bedrooms for the site. The existing building on the site has 6-units with a unit mix of five 2-bedroom units and one 1-bedroom unit for a total of 11 bedrooms in the existing building that are currently being used by tenants. The redeveloped building will have 7-units with a future unit mix of four 2-bedroom units and three 1-bedroom units for a total of 11 bedrooms as well when the project is complete. Despite the change in unit number to the building layout, the same number of bedrooms (and therefore occupants) will remain on the site as currently exist. As a result, we believe that our proposed plan keeps with the spirit of the code to ensure that this project will not adversely impact the surrounding area.

In addition, on-street parking in the area surrounding this project is not difficult to find for occupants or visitors to the area. In contrast to the area south of Liberty in Over-the-Rhine where on-street parking is difficult, the area surrounding this property north of Liberty has ample public on-street parking for both occupants and visitors to the property. The attached pictures that I took on the evening after our pre-hearing of the surrounding streets on East Clifton Ave. and around the corner on Lang Street illustrate this point that surrounding residents will not be adversely impacted. Similarly in contrast to southern OTR, northern OTR lacks public parking structures and public surface lots that could be used to provide the additional parking to this project through a parking agreement, so this ample on-street public parking in the area north of Liberty is the intended area to be used for projects such as this.

There are also other problems with the prescribed ratio of 1 parking space for each new 1 unit in the context of this project. First, it fails to take into account the walkable urban location of this project where current residents in the building today only have 0.5 cars per bedroom and make extensive use of many forms of transportation through nearby bike-share stations, nearby streetcar and bus stops, and quick access to ridesharing services due to this central location when they are unable to walk directly to the many surrounding amenities in the OTR/CBD area. Additionally, this parking requirement also works directly against the intended public benefits that this project will provide by becoming LEED certified as it will increase pollution to the area. The additional cost of providing this parking space (either through agreement or new construction) also reduces the economic feasibility of a project already in need of a CRA abatement to remain viable.

I hope that I have made a compelling case for approval of the parking variance sought for our project, but please feel free to reach out to me with further questions.

(PS: this weekend I plan on looking at the economic feasibility of the front dormers, so I should have something to you by Monday. any guidance that you could give about the level of proof needed would be helpful)

**Matt Jacob**

513-675-4978

[MattJacob@Gmail.com](mailto:MattJacob@Gmail.com)

## Johnson, Beth

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**From:** Matt Jacob <mattjacob@gmail.com>  
**Sent:** Sunday, August 27, 2017 10:43 PM  
**To:** Johnson, Beth  
**Cc:** Mark A. Gunther, RA  
**Subject:** 203 E. Clifton - Front Dormers

Beth,

I've spent the weekend going over the changes that you recommended for the front dormers on our project and frankly I think we've already compromised as much as we can to keep this attic space usable on the streetside of these upper 2 units.

I remeasured the space, in what are already pretty small bedrooms (10x10 and 10x13), and the ceilings on the high side of these bedrooms are only ~8 feet high with a slant down to ~4 feet on the front exterior wall (so you lose at least a quarter of the volume of the room from the ceiling). This is far from the ~12 foot ceilings throughout the rest of our project, which already makes these bedrooms less desirable even despite their premium location at the top with a view. Comfortable ventilation is also going to be difficult in these high tight spaces, which is why we had planned for both a separate mini-split head in each bedroom as well as a ceiling fan. Without a dormer to allow space for these ceiling fans, adequate ventilation is going to be even more of a challenge to keep tenants happy. It was already getting stuffy in there with it still wide open and new walls will restrict flow further.

Originally for this reason we had wanted to open up these front bedrooms as much as possible by raising the cornice and punching in bigger front windows (also for the view), all while extending the dormer to the exterior street wall to keep the ceiling height to ~8 feet the whole way, but we compromised prior to our submitted design to keep the dormers from being visible from across the street, as is typically HCB's rule of thumb. We were a little surprised at the additional concern about the side views of the roof from down the street since it's hard to know where to draw that line from. There is already a step back from the side walls from where the dormers begin, but we don't really have enough control to hide the change in roof-line from hundreds of feet down the street since the bathroom in the corner requires enough headroom for going to the bathroom standing up (and we already pulled it off the wall into the usable space as much as we could).

Even with the current compromise proposed, the heavy slant in the ceiling makes the rooms marginally usable for their intended purposes as a 2nd standard bedroom (unit 6) and a primary bedroom (unit 7). We tried to compensate by giving unit 6's bathroom a double sink (even though we were barely even able to wedge it into the space). But in all actuality, both of these proposed bedrooms are going to remain tight with limited walkable space once you factor in furniture. As a result, compromising further is going to take these rooms from marginal intended uses to completely different intended uses. Unit 7's current 1BD/1BA layout with ample entertainment space (in the open kitchen/living/deck) will likely shift to a studio/1BA with an office/den that will kill the flow of the space for entertainment (with the studio's bed in the living room). Likewise, Unit 6's current 2BD/2BA with study/den will likely revert to a 1BD/1BA with a study/den and an office (or if I'm lucky a 1BD/1.5BA with study/den and kids bedroom). All of these changes will also substantially change the tenant/risk profile of these units and the income capacity that can be counted on to cover of the rent (for example, a kids bedroom/office mean one less income stream in the unit, likely to otherwise come from a second roommate).

Despite my expertise in financial modeling, there seem to be too many variables changing here to reasonably predict how much this change will damage the project with a high degree of certainty/accuracy. It's very

subjective on exactly how much these changes will negatively affect future rents, but the change in unit mix to these strange unit configurations will almost certainly increase my long-term vacancy as the building becomes harder to keep full (not many people looking/willing to pay for all these dens). Cutting out the cost of rebuilding the dormers will only save so much since many of these rafters need work regardless. Any savings from losing/downgrading the bathroom would need put back into the other bathroom to compensate. In the end these are also small pieces of the overall construction costs, so they won't reduce my debt service payments enough to make up for the lost revenue that I need to a above the bank's 1.20 DSCR.

Given the struggle I'm having to keep this project breaking even (without taking a development profit and utilizing CRA abatements), this is an additional curve-ball that I don't see a way for us to accommodate despite our best efforts. If you have any further questions, feel free to reach out before the hearing,

**Matt Jacob**

513-675-4978

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