

**\*\*\*AGENDA\*\*\***  
**HISTORIC CONSERVATION BOARD**  
**MONDAY, OCTOBER 26, 2015 – 3:00 PM**  
**J. MARTIN GRIESEL ROOM**  
**II CENTENNIAL PLAZA – 7TH FLOOR**  
**805 CENTRAL AVENUE**

**CALL TO ORDER**

**CONSENT ITEM:**

**CERTIFICATE OF APPROPRIATENESS**

1. 223 West Fourth Street: Certificate of Appropriateness for a rehabilitation in the West Fourth Street Historic District (Strunc)

**DISCUSSION ITEMS:**

**CERTIFICATES OF APPROPRIATENESS, CONDITIONAL USE REVIEW, AND ZONING VARIANCES**

2. 206-212 Wade Street & 221-227 Kemp Alley: Certificate of Appropriateness, Conditional Use review, and Dimensional Variances for structure rehabilitations and new single-family infill construction in the Over-the-Rhine Historic District (Kellam)

**CERTIFICATE OF APPROPRIATENESS**

3. 433 East Thirteenth Street: Certificate of Appropriateness for a rehabilitation in the Over-the-Rhine Historic District (Strunc)
4. 1332 Republic Street: Certificate of Appropriateness for a rehabilitation and an addition in the Over-the-Rhine Historic District (Kellam)
5. 1349 East McMillan Street: Certificate of Appropriateness for a demolition in the Uplands Historic District (Kellam)
6. 217 West Twelfth Street: Certificate of Appropriateness for a demolition in the Over-the-Rhine Historic District (Strunc)

**PRELIMINARY DESIGN REVIEW**

7. 312 Mulberry Street: New single-family infill construction in the Over-the-Rhine Historic District (Kellam)
8. 4001 Hamilton Avenue: Rehabilitation and addition in the Northside NBD Historic District (Strunc)

**OTHER BUSINESS**

**ADJOURN**

## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

APPLICATION #: N/A  
APPLICANT: Ervin Perviz, Architect representing the owner  
OWNER: + Process Team, LLC  
ADDRESS: **223 W. Fourth Street, Cincinnati OH 45202**  
PARCELS: 145-0001-0158-00 and 0174-00

ZONING: Downtown Development District (DD)  
OVERLAYS: West Fourth Street Historic District  
COMMUNITY: Downtown  
REPORT DATE: October 15, 2015  
HEARING DATE: Prehearing October 15, 2015 at 10:00 AM  
STAFF REVIEW: Angie Strunc, City Interim Urban Conservator

---

---

### **Nature of Request:**

Consent approval for alterations and replacement of the non-original storefront on the W. Fourth Street façade.

### **Existing Conditions:**

This property is located mid-block on W. Fourth Street between Plum Street and Elm Street. Primary frontage is on W. Fourth Street and secondary frontage is on McFarland Street. Existing storefront is non-original based on historic photos and set back from the primary façade.

### **Proposed Conditions:**

The applicant requested and was granted a Certificate of Appropriateness for alterations of an existing five story structure on February 25, 2013. The approved alternations are listed in the Historic Conservation Board Decision dated February 25, 2013.

The current proposed alteration of the building will feature the following:

1. Removal of existing W. 4th Street recessed non-original storefront and replacement with new dark bronze anodized aluminum storefront in a location flush with the original façade of the building.
2. The original cast iron storefront surround will be retained, repaired and repainted. Existing glass panels between cast iron columns above the storefront glazing will remain.
3. Knee wall proposed under glazing will be granite panels.

**Previous Reviews:**

Historic Conservation Board Certificate of Appropriateness was approved on February 25, 2013 with the condition that the proposed storefront design returns to the board for approval due to the inclusion of a garage door at that time. See Exhibit A.

**Applicable Zoning Code Sections:**

Zoning District: Section 1411 Downtown Development District

Variance Request: N/A

Variance Authority:

Variance Standard:

Overlays: N/A

Historic District/Reg: [West Fourth Street Historic District](#)

COA Standard: [Section 1435-09-2](#) Certificate of Appropriateness; Standard of Review

**Details of Zoning Relief Required: N/A**

**Certificate of Appropriateness Review**

This project substantially meets the guidelines for the West Fourth Street Historic District. The work involves appropriate storefront installation restoring the original storefront location and keeping in character with the building.

**Other Considerations:**

**Prehearing Results**

October 15, 2015 – No one was in attendance.

**Comments Provided to Staff: N/A**

**Recommendation:**

Staff recommends the Historic Conservation Board take the following actions:

1. a) **APPROVE** a Certificate of Appropriateness for the storefront alteration of 223 W. Fourth Street per drawings submitted by Michael McInturf Architects dated 10/09/2015.
- b) **FINDING:** The Board makes this determination per Section 1435-09-2:
  - (a) That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

SHELL IMPROVEMENTS PERMIT  
**223 W. 4TH STREET**

---

HISTORIC BOARD PRE-HEARING  
10.09.2015

MMA

### *PROJECT SCOPE*

The work includes shell improvements to the north and south façade of the existing 5-storey building at 223 W 4th Street. The structure, completed in 1882, is located within the West Fourth Street Historic District. Exterior improvements include cleaning and repair of existing architectural features on the north and south façade (see Restoration Narrative). Improvements to the alley-facing east façade will be performed under a separate permit, with Historic approval granted at staff level.

With the exception of the first level storefront at W 4th Street, no exterior architectural features are to be altered within this scope of work. The current existing modern-day storefront is stepped back several feet from the location of the original storefront wall, as observed in historic photos. This non-historic feature is to be demolished and replaced with a new glass storefront system, flush with the front face of the building. This is in keeping with the historic design.

An additional alternate storefront layout is submitted for approval, in which the building entrance is moved to the left bay of the façade. This spatial condition may be preferable to a future first floor tenant, currently unknown.

### *RESTORATION NARRATIVE*

The north elevation consists of a stone veneer with an iron storefront surround on the first level and iron work at the top gable. The sandstone is in excellent shape other than a few spalls caused by prior anchorage and heavy carbon staining. There are missing components at the cast iron columns at the entrance. Existing photos do not give us a clear impression of what filled these voids or why they were disturbed. At some point the entrance was heavily modified with a new wall and doorway installed well back from the original storefront and main door.

It's our opinion the first level should be restored with the addition of new glass and metal panels connecting the iron columns. A small base wall, 16"-20" high, of granite could be added under the glass for structural purposes and would be appropriate to Cincinnati construction of this period. Although this entrance will be new in terms of the recent changes by past owners, it will match the original design of the building when it was built in 1882.

All metal work will be prepared for paint. Our photos of the building in its early history indicate that the iron was painted. However color is not known. We propose a tasteful color scheme matching the existing buildings on Fourth Street which would be selected by the architect or owner.

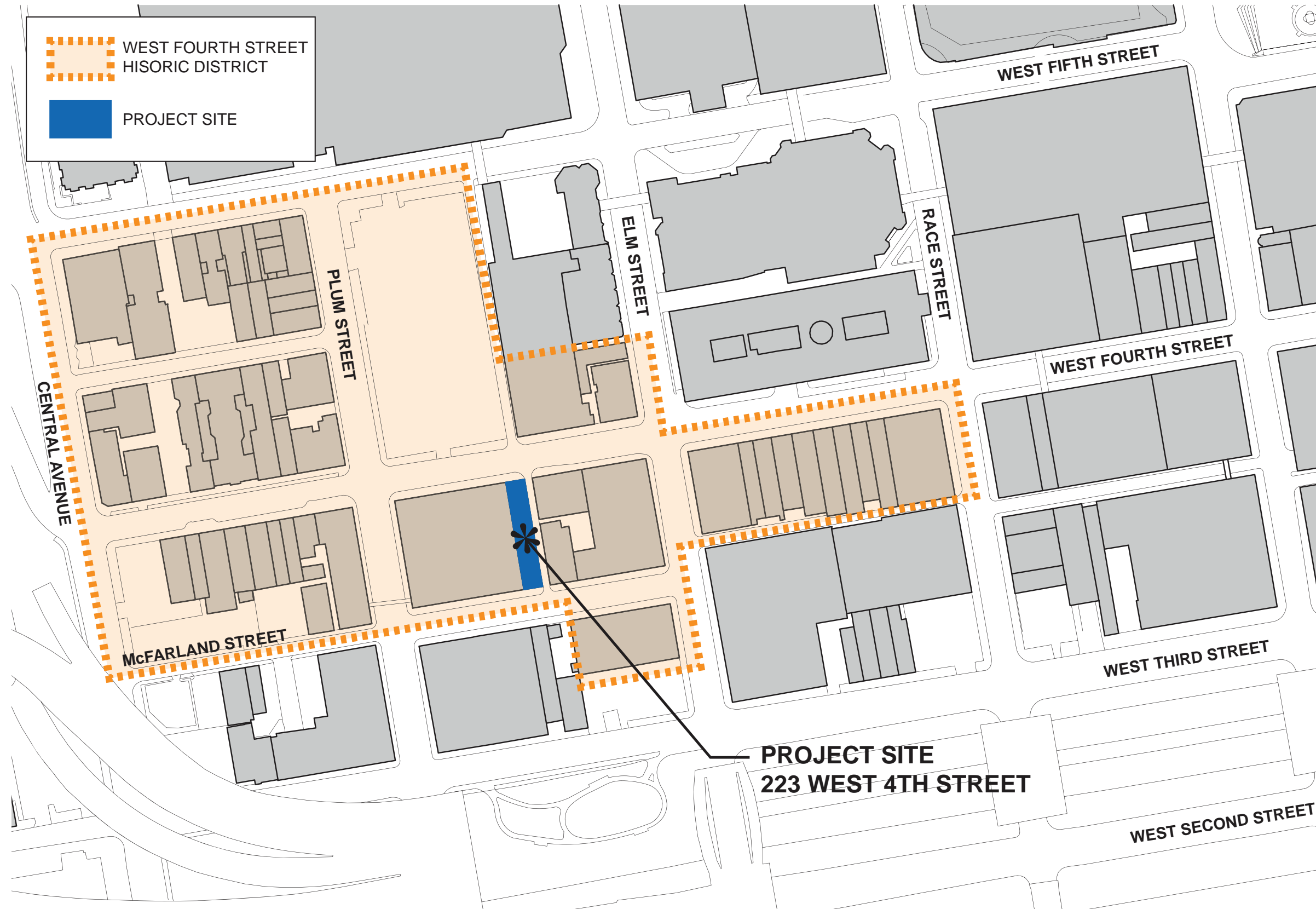
The glass block panels to either side of the entrance and including the entrance will be restored and used in the new store front and entrance design.

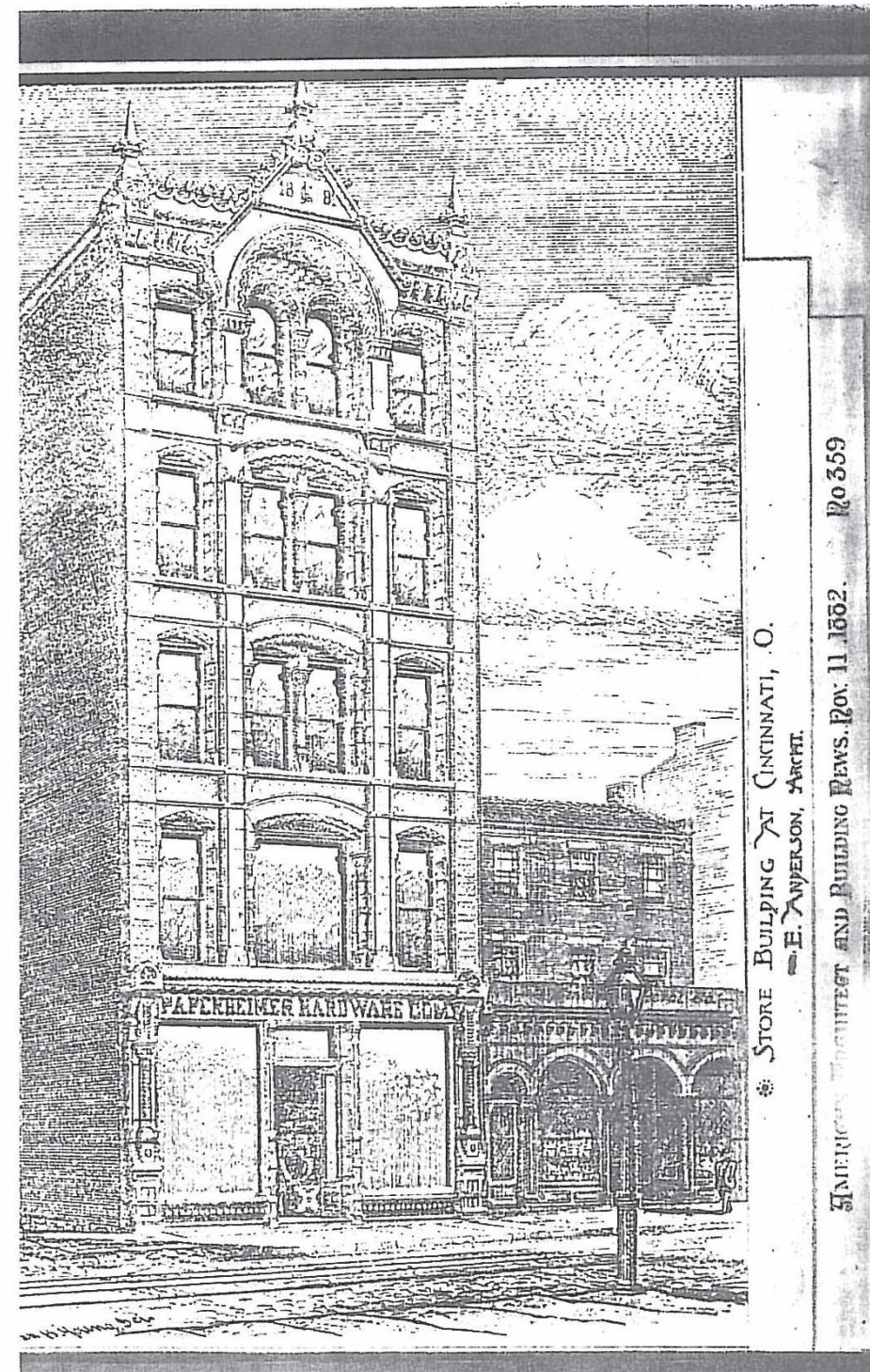
The carbon staining will be removed with Prosoco SureKlean biodegradable products. Sidewalk protection will be required to protect pedestrian traffic.

Spalls in the stone work will be repaired with a repair mortar designed to mimic the appearance of the existing stone. Color and texture will be mixed on site by a trained technician. Comproco or Edison Coatings repair products will be utilized

Failed mortar joints will be repointed with a mortar that will match the historic mortar in color, texture and tooling. The new mortar will have greater vapor permeability and will be softer than the stone units. All pointing will meet the guidelines in Preservation Brief #2 as written by the National Park Service

If possible missing iron components at the street level entrance will be infilled with steel. Determination of substitute materials will be determined by the quality of the existing historic material. If the carbon and sulphur contents are low and the iron was made correctly in the furnace, iron can be substituted. If not, other options and materials will need to be considered. All guidelines will be followed as set forth in Preservation Brief #27, "The Maintenance and Repair of Architectural Cast Iron", as written by the National Park Service.





HISTORY OF 221 / 223 WEST  
FOURTH STREET  
CINCINNATI, OHIO

ARCHITECT:  
E. ANDERSON

**BUILT IN 1881/1882**

INHABITANTS OF BUILDING:  
221/223 WEST FOURTH ST.  
(FORMERLY 183 /185 WEST  
FOURTH STREET)

1882 - 1889  
PAPENHEIMER HARDWARE CO.

1890 - 1904  
WHITAKER PAPER CO.

1909 - 1964  
THE A. NIELEN CO.  
Home furnishing  
Coffees, Teas, Spices, Soaps  
Retail and Wholesale

1965 - 1977  
JAKE TENNENBAUM FURNITURE

1978 - 2008  
CONTEMPORARY GALLERIES IN





VIEW FROM 4TH AND ELM LOOKING SOUTHWEST



VIEW FROM 4TH AND PLUM LOOKING SOUTHEAST

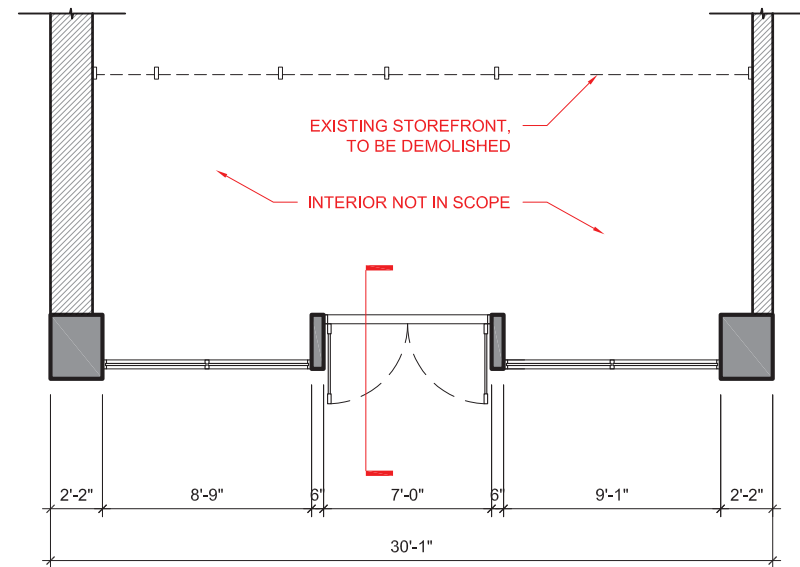
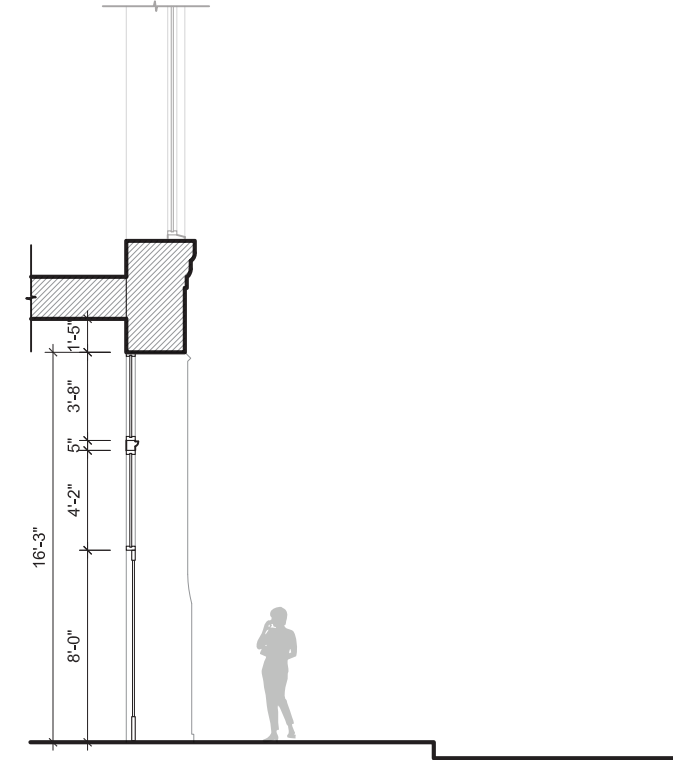


VIEW FROM 4TH AND PLUM LOOKING NORTHEAST

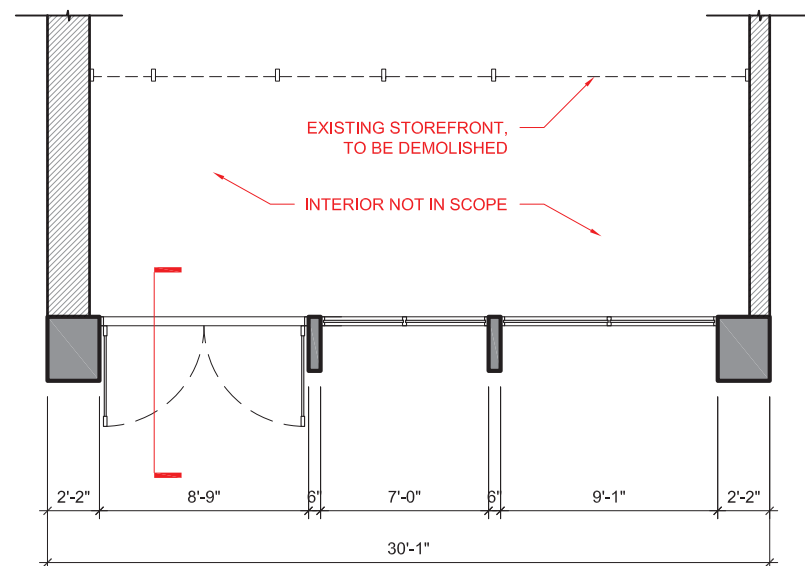
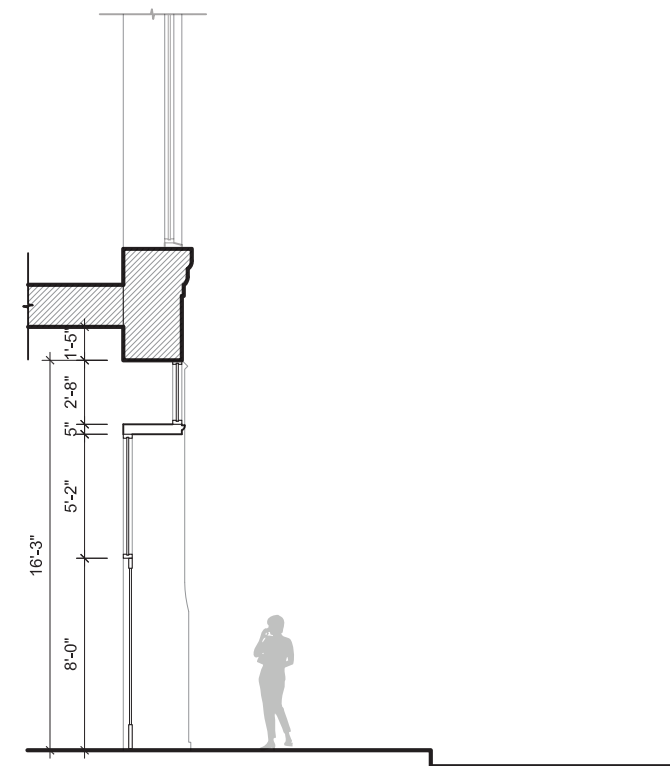
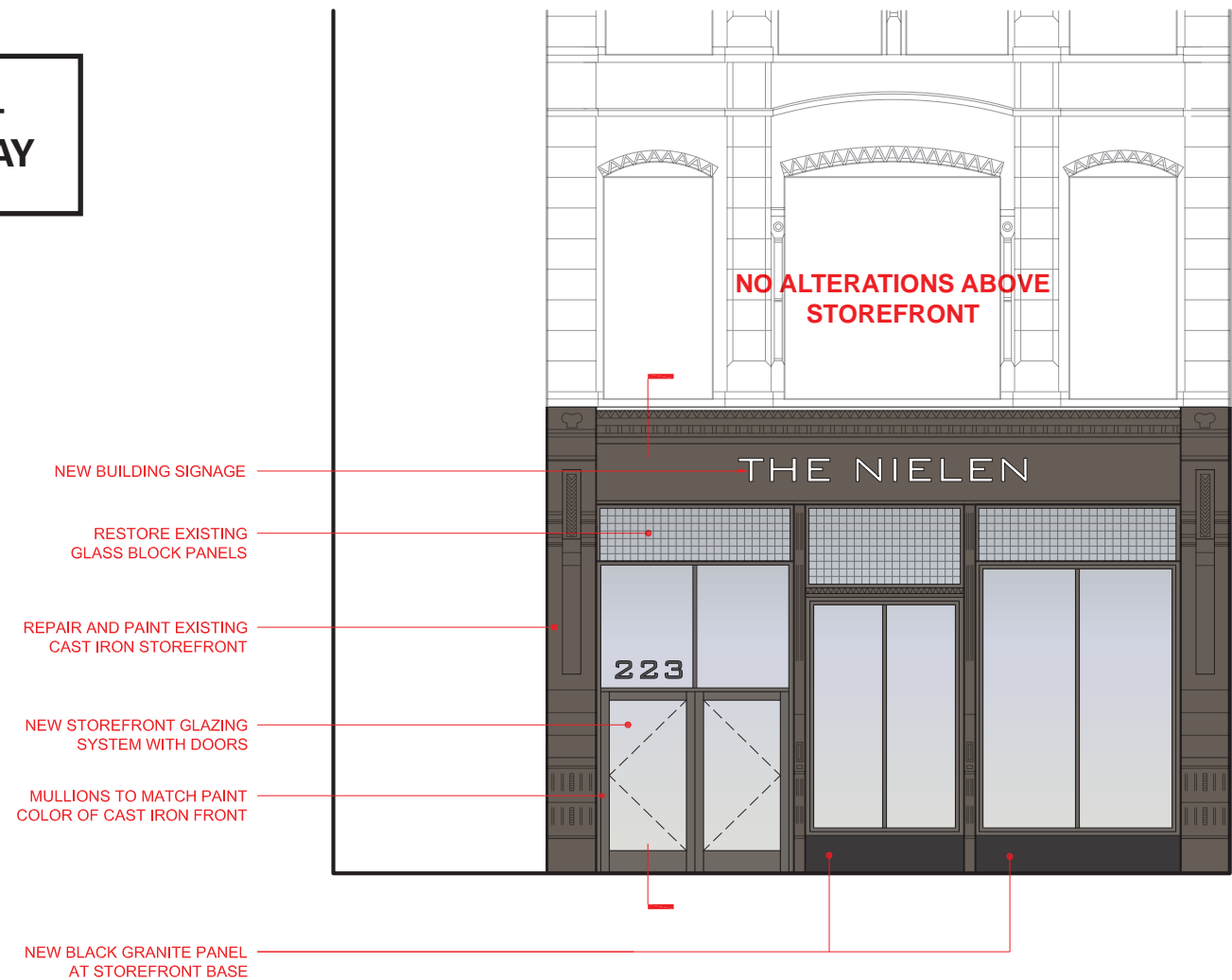


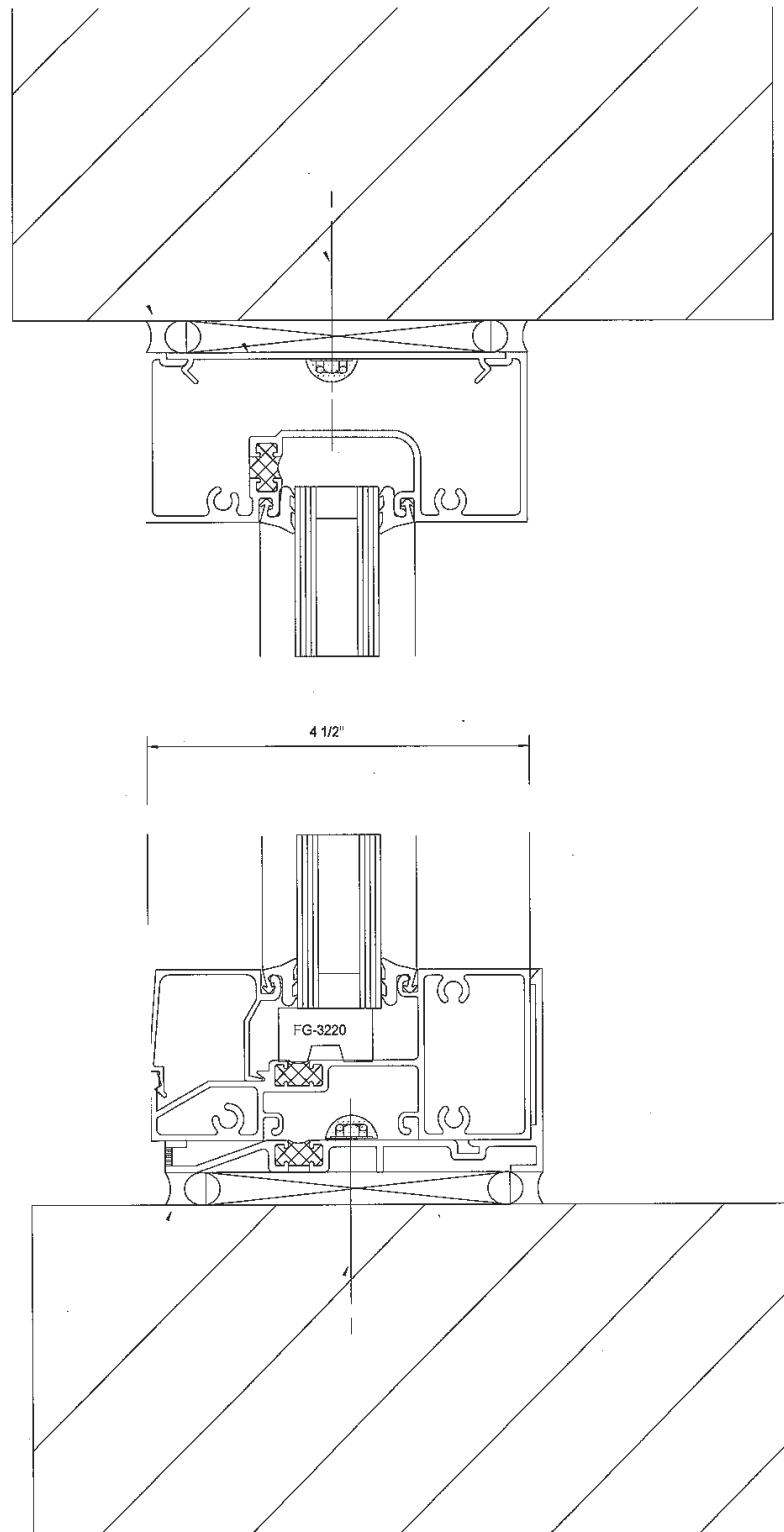
223 WEST 4TH STREET

**PRIMARY OPTION-  
ENTRANCE AT CENTER**

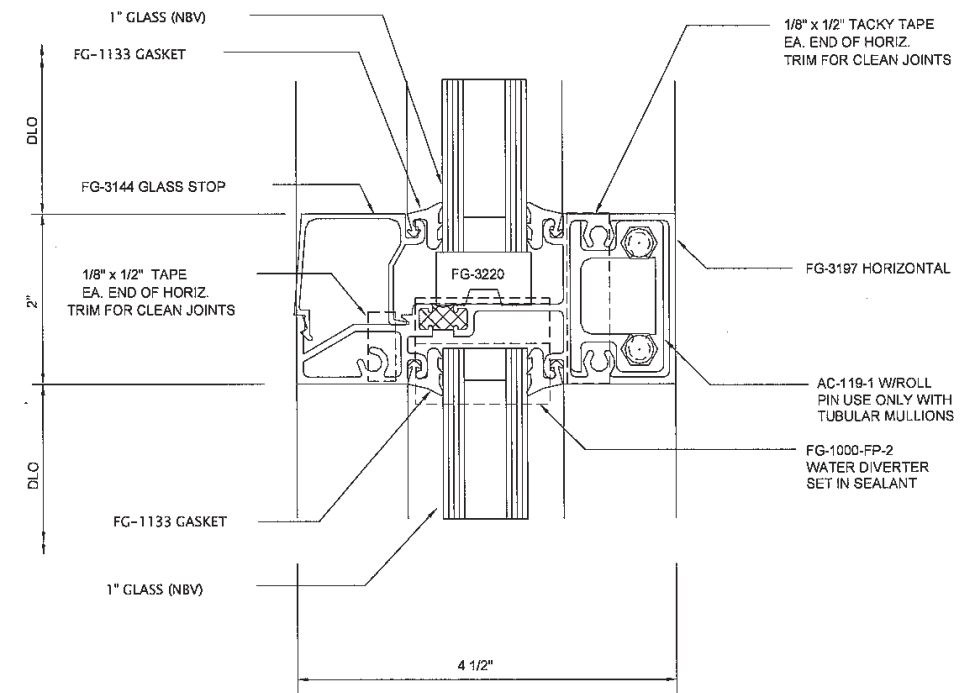


**ALTERNATE OPTION-  
ENTRANCE AT LEFT BAY**

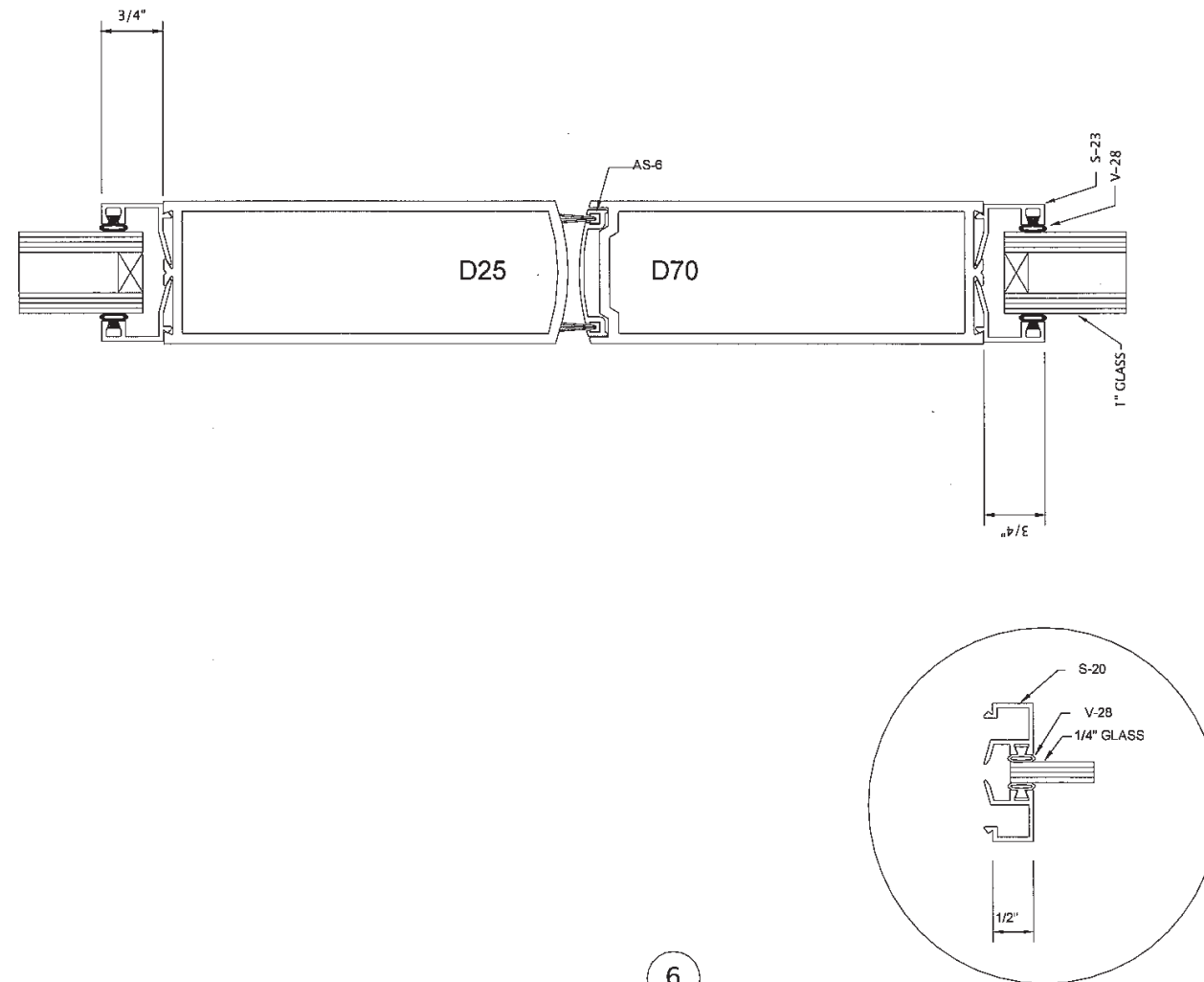
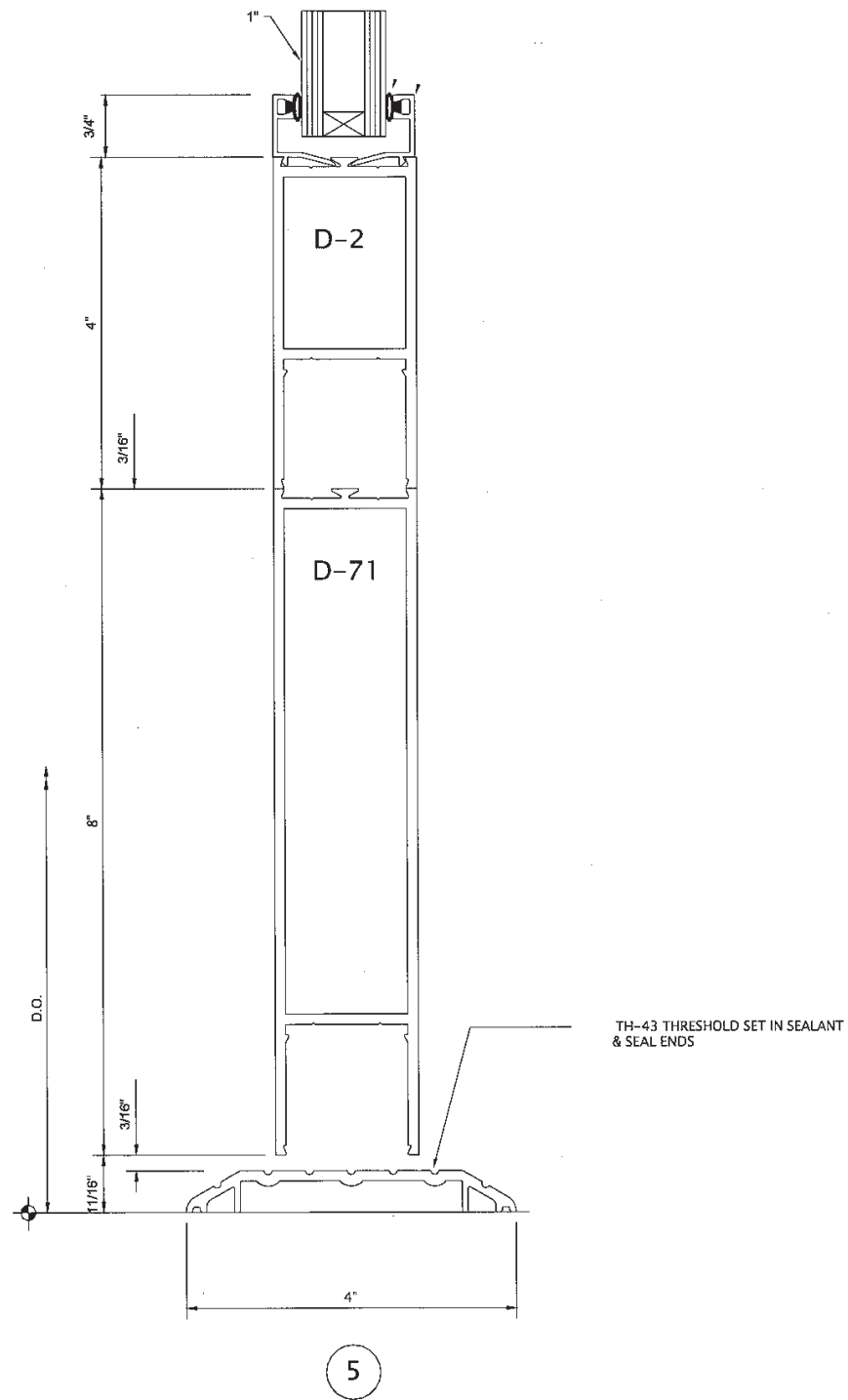




1



2



# EXHIBIT A

DECISION  
HISTORIC CONSERVATION BOARD  
CITY OF CINCINNATI  
DATE OF DECISION: FEBRUARY 25, 2013

APPLICANT: CHAD BURKE, ARCHITECT

OWNER: DAN SCHIMBERG

CASE TYPE: CERTIFICATE OF APPROPRIATENESS

PROPERTY: 223 WEST FOURTH STREET

APPLICABLE GUIDELINES: WEST FOURTH STREET HISTORIC DISTRICT

## SUMMARY OF REQUEST:

Dan Schimberg ("Owner") applied for a certificate of appropriateness to make alterations to the property located at 223 West Fourth Street, Cincinnati, Ohio 45202 ("Property") in the West Fourth Street Historic District. The proposed alterations include: (i) the restoration and repair of existing and historic windows openings; (ii) the restoration and repair of masonry and metal cornice work; (iii) the installation of glass block on alley-side windows indicated on the Owner's drawings; (iv) the removal and replacement of the non-original storefront with a new storefront system including a retractable overhead door; and (v) other exterior alterations described in the Urban Conservator's report (Items i-v collectively referred to herein as "Alterations").

## SUMMARY OF DECISION:

The certificate of appropriateness permitting the Alterations, except the removal and replacement of the non-original storefront with a new storefront system, is **APPROVED**. The removal and replacement of the non-original storefront with a new storefront system shall require the Board's review and approval of a separate application for a certificate of appropriateness.

## PUBLIC HEARING:

After reviewing the testimony and documents submitted by the Applicant, and considering the report and recommendations of the Urban Conservator, the Board conducted a public hearing on the application, prior notice of the time and place of the hearing having been published in *The City Bulletin* and mailed to the Applicant and all persons entitled to receive notice. The hearing was held on February 25, 2013 at 3:00 pm. A majority of the Board's members were present throughout the hearing constituting a quorum pursuant to Section 5 of the Board's Rules of Procedure.

A recording of the hearing was made and is available for review and transcription.

### CERTIFICATE OF APPROPRIATENESS

1. The Owner applied for a certificate of appropriateness to alter the Property. The proposed Alterations include: (i) the restoration and repair of existing and historic windows openings; (ii) the restoration and repair of masonry and metal cornice work; (iii) the installation of glass block on alley-side windows indicated on the Owner's drawings; (iv) the removal and replacement of the non-original storefront with a new storefront system including a retractable overhead door; and (v) other exterior alterations described in the Urban Conservator's report.
2. The Property is located in the West Fourth Street Historic District and is subject to the district's historic conservation guidelines. Under Cincinnati Municipal Code Section 1435-09, no alteration or demolition to a historic asset may proceed without first obtaining a certificate of appropriateness. Because the Owner proposes exterior alterations to the Property, he must obtain a certificate of appropriateness to proceed with his rehabilitation.
3. The Urban Conservator provided the Board with a report and recommendation on the Owner's request to alter the Property. The Urban Conservator found that the Alterations substantially conform to the applicable district conservation guidelines. He accordingly recommended approval of a certificate of appropriateness for the Alterations.
4. After considering the recommendation of the Urban Conservator and the evidence submitted by the Applicant, upon motion duly made and seconded, a majority of the Board members present found that the Owner presented sufficient evidence demonstrating that the criteria for the certificate of appropriateness sought have been met with the exception that the Owner's request to remove and replace the Property's non-original storefront with a new storefront system was not part of the work approved under the certificate of appropriateness.
5. The Board specifically found that the installation of glass block in the alley-side windows identified by the Owner is appropriate given the difficulty in maintaining those windows and their low visibility from the street. It also determined that the Owner did not meet the applicable criteria relative to its request to remove and replace the Property's non-original storefront with a new storefront system and, therefore, the alterations proposed for the storefront could not be approved. The Board indicated that future alteration of the storefront shall require the Board's consideration of an application for a separate certificate of appropriateness.

6. The following is a record of the votes cast by members of the Board concerning the foregoing motion.

**Affirmative:**

Mr. Ken Jones  
Mr. Ken Kreider  
Ms. Bobbie McTurner  
Mr. John Senhauser  
Ms. Judith Spraul-Schmidt

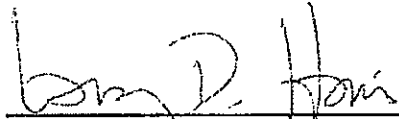
**Negative:**

None

**Absent:**

Mr. Benjamin R. Young  
Ms. Carolyn Wallace

ORDERED the 25th day of February, 2013.

  
\_\_\_\_\_  
Larry Harris  
Secretary, Historic Conservation Board

Approved 3/5/13

**APPEALS:**

This decision may be appealed to the Zoning Board of Appeals under Chapters 1435 and 1449 of the Zoning Code. Appeals must be filed within thirty days of the date of the mailing of this decision.

TRANSMITTED this 5 day of <sup>March</sup> ~~February~~, 2013, by certified mail to:

\_\_\_\_ Dan Schimberg  
\_\_\_\_ 260 East University Avenue  
\_\_\_\_ Cincinnati, Ohio 45217  
\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

TRANSMITTED this 5 day of <sup>March</sup> ~~February~~, 2013, by interdepartmental mail to Rodney Ringer and Rick Schriewer at the Permit Center.

**APPLICATION FOR  
CERTIFICATE OF APPROPRIATENESS  
AND  
CONDITIONAL USES, DIMENSIONAL AND PARKING VARIANCES  
HISTORIC CONSERVATION BOARD PUBLIC HEARING  
STAFF REPORT**

---

---

APPLICATION #:  
APPLICANT: Luke Bennett, developer and owner  
OWNER: Luke Bennett  
ADDRESS: 206-212 Wade and 221-229 Kemp Alley  
PARCELS: 081-0001-0046 to 0050-00 respectively  
ZONING: Commercial Community-Pedestrian (CC-A)  
OVERLAYS: Over-the-Rhine Historic District  
COMMUNITY: Over-the-Rhine  
REPORT DATE: October 7, 2015  
HEARING DATE: October 26, 2015  
STAFF REVIEW: Caroline Hardy Kellam, Senior City Planner

---

---

**Nature of Request:**

The applicant is requesting a Certificate of Appropriateness (COA), demolition of non-contributing additions, conditional uses, and variances in order to construct five new single-family homes and rehabilitate four residential historic buildings. Each single family dwelling is intended to be on separate deeded parcels and are zero lot line in nature and ultimate construction.

**Existing Conditions:**

The five existing properties are situated on the north side of Wade and the south side of Kemp Alley between Fall Alley and Central Parkway. There is a combination of vacant land and historic buildings. The project borders the Chatfield College parking lot to the west. The zoning is CC-A with RM 1.2 to the east and RM -0.7 to the south. Four of these lots are all thru lots to Kemp Alley. Each lot will be split with four buildings facing Wade and five buildings facing Kemp Alley.

**Proposal:**

**Rehabilitations:**

**All rehabilitations include the following work:**

1. New membrane or shingle roofs
2. New 1/1 aluminum clad wood windows (SUN)
3. Four panel wood doors
4. HVAC equipment will be located on the roof out of view.

081-0001-0050-00 – Existing 206 Wade and Existing 229 Kemp

206 Wade

- Separate building into two buildings.
- Paint partially painted brick facade
- Conditional Use Variance for first floor residential (Section 1409-07)

229 Kemp

- Demolish two lean two sheds
- Remove elevated concrete pads in front yard
- Cut window into a new front door opening
- Construct a cut away roof deck
- Paint unpainted façade
- Conditional Use Variance for first floor residential (Section 1409-07)

081-0001-0049-00 – Existing 208 Wade and Existing 227 Kemp

- Separate existing non-contributing garage building into two buildings.
- Partial removal of exterior non-visible walls.
- Add three stories to this one story building including roof decks
- Reutilize existing garage openings
- Conditional Use Variance for first floor residential (Section 1409-07)

Part 081-0001-0047-00 – Existing 212 Wade

- Construct a 3<sup>rd</sup> story addition including roof deck
- Proposed Painting of Unpainted Facade
- Removal of rear door and basement entry (for firewall with proposed 223 Kemp)
- Demolition of existing shed (proposed site of 223 Kemp)
- Conditional Use Variance for first floor residential (Section 1409-07)
- Dimensional Variance for not providing one parking space (Section 1425-19)

Part 081-0001-0046-00 – Existing 221 Kemp

- Cut a garage door opening in the first floor from former window opens
- Proposed Painting of Unpainted Façade
- Unknown Garage Door Type
- Cut a new French door in rear for deck access (not street visible)
- Conditional Use Variance for first floor residential (Section 1409-07)

**Proposal/ New Construction:**

All new construction projects below incorporate the following:

- 1. Frame construction – 3 ½ stories tall
- 2. Concrete on the first floor
- 3. Wood panels on the second and third floors
- 4. Small side bays with metal panels
- 5. Asphalt shingles on the roofs

081-0001-0049-00 – Proposed 210 Wade and Proposed 225 Kemp

- Primary material for façade – Wood Rainscreen
- Aluminum framed Glass Garage Doors
- Base/ 1<sup>st</sup> Floor – Concrete facade
- Conditional Use Variance for first floor residential (Section 1409-07)
- Dimensional Variance of 25 feet to permit a 0 foot rear yard setback (Section 1409-09)

081-0001-0048-00 – Proposed 223 Kemp

- New Constructed Painted Brick Base
- Wood Rainscreen – Primary Material on Façade
- Curved Cornice
- Conditional Use Variance for first floor residential (Section 1409-07)
- Dimensional Variance of 25 feet to permit a 0 foot rear yard setback (Section 1409-09)
- Cornice encroachment within the Right of Way

**Previous Reviews:**

On August 24, 2015, the Historic Conservation Board reviewed this project as a preliminary design review and had the following comments:

- 1. The cornice on the new construction needed to be scaled back. The overhang was too large. *(Cornices have been scaled back)*
- 2. There were concerns about use of the rain screen and so many metal panels *(Rain screens are still proposed on all new buildings)*
- 3. The curves on the elevation were not compatible with the district. *(223 Kemp has maintain a scaled back curved cornice)*

**Applicable Zoning Code Sections:**

Zoning District:	Section 1409	CC-A Community Commercial Auto
Variance Request:	1409-07	Conditional Use - Dwellings on ground floor
	1425-19	Dimensional Variance - Parking Variance
	1407-09	Dimensional Variance - Rear Yard Setback
Variance Authority:	1435-05-4	

Variance Standard: 1445-13      General Standards; Public Interest  
                                 1445-15      Standards for Variances  
                                 1445-21      Standards for Conditional Uses  
Overlays:                    N/A

Historic District/Reg: [Over the Rhine Historic District](#)  
COA Standard:            [Section 1435-09-2](#) Certificate of Appropriateness; Standard of Review

**Details of Zoning Relief Required:**

Specifically outlined above for each property. Generally three types:

- Per Section 1409-07 - Land Use Regulations – Commercial Subdistricts: A residential use is only permitted only above the ground floor in a mixed-use building. All floor of the proposed project will be used as residential. **A Conditional use approval is needed.**
  
- Per Section 1425-19 - Off-Street Parking and Loading Requirements: Each structure requires 1 parking space for every dwelling unit. **A Dimensional Variance for 1 parking space is required.**
  
- Per Section 1409-09 – Development Regulation – Commercial Districts: New residential development require a rear yard setback of 25 feet when constructed in a commercial district. The proposed development will be subdivided into two lots. Both homes (210 Wade Street & 225 Kemp Alley) will be built to the rear property line. **A 25-foot rear yard Dimensional Variance is required.**

**Zoning Analysis:**

Below is analysis of the consideration factors for all of the requested zoning actions, utilizing Section 1445-13, General Standards; Public Interest.

- a **Zoning.** The proposed work conforms to the underlying zone district regulations and is in harmony with the general purposes and intent of the Cincinnati Zoning Code.  
*The underlying zoning is CC-A. New residential construction is permitted. The majority of the zoning considerations (lot area, front and side yard setback, building height, density) are all satisfied.*
  
- b **Guidelines.** The proposed work conforms to any guidelines adopted or approved by Council for the district in which the proposed work is located.  
*The proposed use conforms to the guidelines for the district. Developers have taken measures to enhance building conformity.*
  
- c **Plans.** The proposed work conforms to a comprehensive plan, any applicable urban design or other plan officially adopted by Council, and any applicable community plan approved by the City Planning Commission.  
*This project conforms to the Over the Rhine Comprehensive Plan.*

- d **Traffic.** Streets or other means of access to the proposed development are suitable and adequate to carry anticipated traffic and will not overload the adjacent streets and the internal circulation system is properly designed.  
*These new single-family homes in some cases will take parking off the street. Net density in the buildings are being reduced. Kemp Alley homes have limited availability for on-street parking. ADA accessibility in the public sidewalk construction must be reviewed with the proposed number of driveway approaches.*
- e **Buffering.** Appropriate buffering is provided to protect adjacent uses or properties from light, noise and visual impacts.  
*Consideration should be given to working on a screen on the city owned property to shield the impact of garage doors and parked cars on Kemp Alley.*
- f **Landscaping.** Landscaping meets the requirements of Chapter 1423, Landscaping and Buffer Yards.  
*No express provisions have been made. However, consideration should be given to incorporating a decorative parking surface for the home to be located at 229 Kemp Alley to mitigate the impact of “front yard” parking.*
- g **Hours of Operation.** Operating hours are compatible with adjacent land uses.  
*This is not applicable for the proposed use.*
- (h) **Neighborhood Compatibility.** The proposed work is compatible with the predominant or prevailing land use, building and structure patterns of the neighborhood surrounding the proposed development and will not have a material net cumulative adverse impact on the neighborhood.  
*The proposed use will not have an adverse impact on the neighborhood. Residential uses are the most compatible uses for the nature of the streets on which they are located. The setback from Liberty with park area improves suitability for single family homes.*
- (i) **Proposed Zoning Amendments.** The proposed work is consistent with any proposed amendment to the zoning code then under consideration by the City Planning Commission or Council.  
*There are no proposed amendments under consideration that would impact this proposed project.*
- (j) **Adverse Effects.** Any adverse effect on the access to the property by fire, police, or other public services; access to light and air from adjoining properties; traffic conditions; or the development, usefulness or value of neighboring land and buildings.  
*There are no adverse impacts anticipated for the proposed use.*
- (k) **Blight.** The elimination or avoidance of blight.  
*Rehabbing these buildings will eliminate blight and eliminate a non-contributing structure.*
- (l) **Economic Benefits.** The promotion of the Cincinnati economy.  
*These properties will become a tax generating parcels.*

- (m) **Job Creation.** The creation of jobs both permanently and during construction.  
*Jobs may be created during construction.*
- (n) **Tax Valuation.** Any increase in the real property tax duplicate.  
*These new structures will increase the taxable value of the property.*
- (o) **Private Benefits.** The economic and other private benefits to the owner or applicant.  
*The owner has an economic benefit by creating new housing.*
- (p) **Public Benefits.** The public peace, health, safety or general welfare.  
*There is no measurable detriment to public peace, health, safety or welfare as a result of this proposed project.*

### **Standards for Conditional Use per Section 1445-21**

The Board may approve a conditional use if and only if the conditional use is specifically listed in the applicable zoning district use regulations.

*These uses are listed in the CC-A district.*

### **Standards for Dimensional Variance per Section 1445-15**

- (a) Owing to special circumstances or conditions pertaining to a specific piece of property, the strict application of the provisions or requirements of this Code or the Land Development Code, as applicable, are unreasonable and would result in practical difficulties.  
  
*Requiring the rear yard setback would make a buildable area too small to create an economically viable home site. The density provisions of the zoning code allow for higher densities of dwellings per acre. Maintaining the rear yard setback is in contradiction to the overarching desire for dense housing development contemplated in the district.*

- (b) The variance is necessary for the preservation and enjoyment of a substantial property right of the applicant possessed by owners of other properties in the same district or vicinity.

*Many of the buildings, both residential and commercial are built with 0 ft. setbacks on the rear property lines. Requiring a different standard for new buildings is a substantial hardship in the ability to utilize a vacant site in a similar manner to homes constructed in the existing neighboring historic buildings.*

### **Certificate of Appropriateness Review**

Staff feels the proposed rehabilitation, new construction and minor demolition of this project is generally appropriate in the Over-the-Rhine Historic District. The rehabilitation, new construction and minor demolition substantially meets the Over-the-Rhine Historic District guidelines with regard to scale, massing, materials and detailing. Staff does feel specific individual items are not appropriate to the character of the district such as front façade garage door openings (both in new and existing buildings); curved cornices and the proposed wood rain screen material used as building sheathing/siding.

Recommendations below highlight staff recommended conditions for Certificate of Appropriateness.

**Other Considerations:**

**Prehearing Results:**

October 15, 2015 – The applicants, representatives of CPA were in attendance. There were questions but no concerns.

**Comments Provided to Staff: N/A**

**Consistency with *Plan Cincinnati (2012)*:**

“Sustain” Initiative Area “Preserve our built history”

**Recommendation:**

Staff recommends the Historic Conservation Board take the following actions:

**081-0001-0050-00 – Existing 206 Wade and Existing 229 Kemp**

**A. CONDITIONAL USE**

1. **APPROVE** the requested conditional use as per Section 1409-07 Land Use Regulations – Commercial Subdistricts to allow:  
A residential use on the first floor of each proposed single family residence.
2. **FINDING:** The Board makes this determination per Section 1409-07 because the proposed use is permissible within the CC-A zoning district and by meeting the standards for the Certificate of Appropriateness, the Board makes this determination per Section 1435-09-2:
  - (a) That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

**B. DIMENSIONAL VARIANCE**

1. **APPROVE** the requested variance as per Section 1425-19 Off-Street Parking and Loading Requirements as outlined for 229 Kemp Alley to allow:  
A variance waiving the required one off-street parking space
2. **FINDING:** The Board makes this determination that per Section 1435-05-4:
  - (a) Such relief from literal implication of the Zoning Code will not be materially detrimental to the public health, safety and welfare or injurious to property within the district or vicinity where property is located; and
  - (b) Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the district

**CERTIFICATE OF APPROPRIATENESS**

1. **APPROVE** a Certificate of Appropriateness for the rehabilitation, roof deck, new construction and minor demolition of properties at 206 Wade Street and 229 Kemp Alley as depicted on plans dated 9/1/2015, subject to the following

conditions:

- (a) Approval of a one car parking pad in what will become the future front yard of 229 Kemp Alley subject to DOTE requirements. Approval from DOTE will be required for permit.
- (b) A decorative pavement treatment for the parking pad in the front yard at 229 Kemp Alley shall be presented to the Urban Conservator for final approval.
- (c) 206 Wade and 229 Kemp shall be permitted to paint the facades of the building.
- (d) Board supports the subdivision of the property into two parcels.
- (e) Confirmation of addressing on Kemp Alley

2. **FINDING:** The Board makes this determination per Section 1435-09-2:

- (a) That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

### **081-0001-0049-00 – Existing 208 Wade and Existing 227 Kemp**

#### **A. CONDITIONAL USE**

1. **APPROVE** the requested conditional use as per Section 1409-07 Land Use Regulations – Commercial Subdistricts to allow:

A residential use on the first floor of each proposed single family residence.

2. **FINDING:** The Board makes this determination per Section 1409-07 because the proposed use is permissible within the CC-A zoning district and by meeting the standards for the Certificate of Appropriateness, the Board makes this determination per Section 1435-09-2:

- (a) That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

#### **B. CERTIFICATE OF APPROPRIATENESS**

1. **APPROVE** a Certificate of Appropriateness for the rehabilitation of a non-contributing structure, reusing existing garage entrances, new construction with roof decks and minor demolition of properties at 208 Wade Street and 227 Kemp Alley as depicted on plans dated 9/1/2015, subject to the following conditions:

- (a) Board supports the subdivision of the property into two parcels.
- (b) Approval of driveway approaches by DOTE.
- (c) Confirmation of addressing on Kemp Alley

2. **FINDING:** The Board makes this determination per Section 1435-09-2:

- (a) That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation

guidelines.

**Part 081-0001-0046-00 – Existing 221 Kemp**

**A. CONDITIONAL USE**

1. **APPROVE** the requested conditional use as per Section 1409-07 Land Use Regulations – Commercial Subdistricts to allow:  
A residential use on the first floor of each proposed single family residence.
  
3. **FINDING:** The Board makes this determination per Section 1409-07 because the proposed use is permissible within the CC-A zoning district and by meeting the standards for the Certificate of Appropriateness, the Board makes this determination per Section 1435-09-2:
  - (a) That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

**B. CERTIFICATE OF APPROPRIATENESS**

1. **APPROVE** a Certificate of Appropriateness for the rehabilitation, garage door opening on alley front facade, deck and minor demolition of properties at 221 Kemp Alley as depicted on plans dated 9/1/2015, subject to the following conditions:
  - (a) No Certificate of Appropriateness granted for 214 Wade Street.
  - (b) 221 Kemp Alley shall be permitted to paint the facades of the building.
  - (c) Front façade garage door is not appropriate and the proposal is to cut a new opening in existing masonry wall with windows. Staff recommends removal of proposed garage door opening.
  - (d) Board supports the subdivision of the property into two parcels.
  - (e) Approval of driveway approaches by DOTE.
  - (f) Confirmation of addressing on Kemp Alley
  
2. **FINDING:** The Board makes this determination per Section 1435-09-2:
  - (a) That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

## **081-0001-0048-00 – Proposed 210 Wade and Proposed 225 Kemp**

### **A. CONDITIONAL USE**

1. **APPROVE** the requested conditional use as per Section 1409-07 Land Use Regulations – Commercial Subdistricts to allow:  
A residential use on the first floor of each proposed single family residence.
2. **FINDING:** The Board makes this determination per Section 1409-07 because the proposed use is permissible within the CC-A zoning district and by meeting the standards for the Certificate of Appropriateness, the Board makes this determination per Section 1435-09-2:
  - (a) That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

### **B. DIMENSIONAL VARIANCE**

1. **APPROVE** the requested variance as per Section 1409-09 Development Regulation – Commercial Districts as outlined for 210 Wade Street and 225 Kemp Alley and:  
Allow a Dimensional Variance of 25 feet to permit a 0 foot rear yard setback between 210 Wade Street and 225 Kemp Alley.
2. **FINDING:** The Board makes this determination per Section 1435-09-2:
  - (a) That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

### **CERTIFICATE OF APPROPRIATENESS**

1. **APPROVE** a Certificate of Appropriateness for the new construction at 206 Wade Street and 225 Kemp Alley subject to the follow conditions:
  - (a) The first floor façade of both buildings shall replace the concrete with masonry or stone; more in line with the character of the neighborhood.
  - (b) Front façade garage door is not appropriate and staff recommends removal.
  - (c) Eliminate the Wood Rainscreen on both buildings as this product is not compatible with the district and predominately wood sided front facades are not prevalent in Over the Rhine.
  - (d) Supports the subdivision of the property into two parcels.
  - (e) Approval of driveway approaches by DOTE.
  - (f) Confirmation of addressing on Kemp Alley.
2. **FINDING:** The Board makes this determination per Section 1435-09-2:
  - (a) That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

**081-0001-0047-00 – Existing 212 Wade Street and Proposed 223 Kemp Alley**

**A. CONDITIONAL USE**

1. **APPROVE** the requested conditional use as per Section 1409-07 Land Use Regulations – Commercial Subdistricts to allow:

A residential use on the first floor of each proposed single family residence.

- (g) **FINDING:** The Board makes this determination per Section 1409-07 because the proposed use is permissible within the CC-A zoning district and by meeting the standards for the Certificate of Appropriateness, the Board makes this determination per Section 1435-09-2:

- (a) That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

**B. DIMENSIONAL VARIANCE**

1. **APPROVE** the requested variance as per Section 1425-19 Off-Street Parking and Loading Requirements as outlined for 212 Wade Street to allow:

A variance waiving the required one off-street parking space.

2. **FINDING:** The Board makes this determination that per Section 1435-05-4:

- (a) Such relief from literal implication of the Zoning Code will not be materially detrimental to the public health, safety and welfare or injurious to property within the district or vicinity where property is located; and
- (b) Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the district

**C. DIMENSIONAL VARIANCE**

1. **APPROVE** the requested variance as per Section 1409-09 Development Regulation – Commercial Districts as outlined for 212 Wade and 223 Kemp and 225 Kemp Alley and:

Allow a Dimensional Variance of 25 feet to permit a 0 foot rear yard setback between 212 Wade Street and 223 Kemp Alley.

2. **FINDING:** The Board makes this determination per Section 1435-09-2:

- (a) That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

**CERTIFICATE OF APPROPRIATENESS**

1. **APPROVE** a Certificate of Appropriateness for the rehabilitation, new construction and minor demolition of non-contributing structures at 212 Wade Street and 223 Kemp Alley and subject to the following conditions

- (a) The first floor façade of 223 Kemp Alley shall replace the concrete with masonry or stone; more in line with the character of the neighborhood.

- (b) Eliminate the Wood Rainscreen on both buildings as this product is not compatible with the district and predominately wood sided front facades are not prevalent in Over the Rhine.
  - (c) Front façade garage door is not appropriate and staff recommends removal.
  - (d) Curved cornice on 223 Kemp Alley shall be modified to meet the district guidelines. If board approves said curved cornice, an easement shall be required if the cornice is within the Kemp Alley right-of-way
  - (e) 221 Kemp Alley shall not be permitted to paint the facades of the building.
  - (f) Supports the subdivision of the property into two parcels.
  - (g) Approval of driveway approaches by DOTE.
  - (h) Confirmation of addressing on Kemp Alley
2. **FINDING:** The Board makes this determination per Section 1435-09-2:
- (a) That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

Custom Carving Source, LLC  
DBA Karvoto  
3220 Spring Grove Ave  
Cincinnati OH 45225

Certificate of Appropriateness  
H I L L M A N P O I N T – Wade Street Residential Development

October 6, 2015

**UNIT COUNT**

<u>Address</u>	<u>Area</u>	<u>Unit Count</u>	<u>Parking</u>
206 Wade	2096sf	1	0
208 Wade	2282sf	1	1
210 Wade	2253sf	1	1
212 Wade	2051sf	1	0
221 Kemp	2733sf	1	1
223 Kemp	2282sf	1	1
225 Kemp	2253sf	1	1
227 Kemp	2282sf	1	1
229 Kemp	2282sf	1	1
		9 units	7 off-street parking spaces

**DRAWING INDEX**

- A0.1 Site Plan
- A0.2-3 Photographs
- A1 Floor Plans – Demo Work
- A2 Floor Plans – New Work
- A3 Elevations
  
- Attachment A Project Summary
- Attachment B Hamilton County Auditors Records
- Attachment C Window Brochures
- Attachment D Roof Product Brochures
- Attachment E Garage Door Brochures
- Attachment F Rainscreen Brochures
- Attachment G Metal Panel
- Attachment H Fiber Cement Board

HILLMAN POINT  
Wade Street Residential Development

**Summary**

Parcel ID 081-0001-0050-00	Address 208 WADE ST	Index Order Street Address	Card 1 of 1
-------------------------------	------------------------	-------------------------------	----------------

Tax Dist	001 CINTI CORP-CINTI CSD-001110	Year Built	1880
School Dist	1 CINCINNATI CSD	Total Rooms	12
Land Use	530 Three family Dwlg	# of bedrooms	4
Finished Square Ft.	3825	Full Bathrooms	3
Acreage	0.038	Half Bathrooms	0
Appraisal Area	OVER THE RHINE 01800 OVER THE RHINE		



Sales

<b>Property Information</b> 208 WADE ST 20.50 X 90 IRR PT LOT 23 HOTCHKISS AVERY ET AL SUB SQ 5 TIF ABATEMENT	<b>Owner Information</b> Call 946-4015 if Incorrect CUSTOM CARVING SOURCE LLC 3220 SPRING GROVE AVE CINCINNATI, OH 45225 USA	<b>Mail Information</b> Call 946-4800 if Incorrect CUSTOM CARVING SOURCE LLC 3220 SPRING GROVE AVE CINCINNATI, OH 45225 USA
---	--	---

Board of Revision	No	Other Assessments	Yes
Rental Registration	No	Front Ft.	131.00
Homestead	No	Mkt Land Value	15,330
Owner Occupancy Credit	No	Cauv Value	0
New Construction	No	Mkt Impr Value	38,820
Foreclosure	No	Mkt Total Value	54,150
Date	2/13/2015	Total TIF Value	16,150
Conveyance #	81217	Abated Value	0
Sale Amount	\$251,000	Exempt Value	0
# of Parcels	5	<u>Taxes Paid</u>	\$667.22
Deed Type	17 WD-Warranty Deed	(See Payments Tab For Details)	
Deed Number	337584	Tax % to value for this tax district	2.257%

Note  
1) 11-29-04 30 YEAR TIF ABATEMENT BEGAN 2003 THRU 2032

Data updated on 06/29/15

HILLMAN POINT  
Wade Street Residential Development

**Summary**

Parcel ID	Address	Index Order	Card
081-0001-0049-00	208 WADE ST	Street Address	1 of 1

Tax Dist	001 CINTI CORP-CINTI CSD-001110	Year Built	1920
School Dist	1 CINCINNATI CSD	Total Rooms	0
Land Use	455 Commercial garage	# of bedrooms	0
Finished Square Ft.	1800	Full Bathrooms	0
Acreage	0.044	Half Bathrooms	0
Appraisal Area	OVER THE RHINE 01800 OVER THE RHINE		



Sales

<b>Property Information</b>	<b>Owner Information</b>	<b>Mail Information</b>
WADE ST 20.50 X 90 IRR PTS LOT 22-23 HOTCHKISS & AVERY ET AL SUB SQ 5	Call 946-4015 if Incorrect OTR HOLDINGS INC 1203 WALNUT ST 4TH FLOOR CINCINNATI, OH 45202 USA	Call 946-4800 if Incorrect OTR HOLDINGS INC 1203 WALNUT ST CINCINNATI, OH 45202 USA

Board of Revision	No	Other Assessments	Yes
Rental Registration	No	Front Ft.	41.00
Homestead	No	Mkt Land Value	5,110
Owner Occupancy Credit	No	Cauv Value	0
New Construction	No	Mkt Impr Value	5,610
Foreclo sure	No	Mkt Total Value	10,720
Date	4/6/2005	Total TIF Value	0
Conveyance #		Abated Value	0
Sale Amount	\$0	Exempt Value	0
# of Parcels	13	<u>Taxes Paid</u>	\$337.81
Deed Type	12 QE-Quit Claim Deed Ex	(See Payments Tab For Details)	
Deed Number	50349	Tax % to value for this tax district	0.000%

Note

- 1) 11-29-04 30 YEAR TIF ABATEMENT BEGAN 2003 THRU 2032
- 2) 4-10-08 REMOVED F/TIF PROGRAM PER APPLICATION W/STATE FOR EXEMPTION

Data updated on 06/29/15

HILLMAN POINT  
Wade Street Residential Development

**Summary**

Parcel ID	Address	Index Order	Card
081-0001-0048-00	210 WADE ST	Street Address	1 of 1

Tax Dist	001 CINTI CORP-CINTI CSD-001110	Year Built	0
School Dist	1 CINCINNATI CSD	Total Rooms	0
Land Use	400 Commercial vacant land	# of bedrooms	0
Finished Square Ft.	0	Full Bathrooms	0
Acreeage	0.042	Half Bathrooms	0
Appraisal Area	OVER THE RHINE 01800 OVER THE RHINE		



Sales

Property Information	Owner Information	Mail Information
210 WADE ST 20.50x90 PTS LOT 21-22 HOTCHKISS & AVERY ET AL SUB SQ 5 TIF ABATEMENT	Call 946-4015 if Incorrect CUSTOM CARVING SOURCE LLC 3220 SPRING GROVE AVE CINCINNATI, OH 45225 USA	Call 946-4800 if Incorrect CUSTOM CARVING SOURCE LLC 3220 SPRING GROVE AVE CINCINNATI, OH 45225 USA

Board of Revision	No	Other Assessments	Yes
Rental Registration	No	Front Ft.	41.00
Homestead	No	Mkt Land Value	5,110
Owner Occupancy Credit	No	Cauv Value	0
New Construction	No	Mkt Impr Value	0
Foreclosure	No	Mkt Total Value	5,110
Date	2/13/2015	Total TIF Value	110
Conveyance #	81217	Abated Value	0
Sale Amount	\$251,000	Exempt Value	0
# of Parcels	5	<u>Taxes Paid</u>	\$86.74
Deed Type	17 WD-Warranty Deed	(See Payments Tab For Details)	
Deed Number	337584	Tax % to value for this tax district	0.000%

Note

- 1) 11-29-04 30 YEAR TIF ABATEMENT BEGAN 2003 THRU 2032
- 1) 10-16-97 DBA 100% FOR 1997

Data updated on 06/29/15

HILLMAN POINT  
Wade Street Residential Development

**Summary**

Parcel ID 081-0001-0047-00	Address 212 WADE ST	Index Order Street Address	Card 1 of 1
-------------------------------	------------------------	-------------------------------	----------------

Tax Dist	001 CINTI CORP-CINTI CSD-001110	Year Built	1890
School Dist	1 CINCINNATI CSD	Total Rooms	5
Land Use	520 Two family Dwlg	# of bedrooms	2
Finished Square Ft.	1584	Full Bathrooms	1
Acreage	0.045	Half Bathrooms	0
Appraisal Area	OVER THE RHINE 01800 OVER THE RHINE		



Sales

<b>Property Information</b> WADE ST 20.50 X 90 PT LOT 21 HOTCHKISS-AVERY ET AL SUB TIF ABATEMENT	<b>Owner Information</b> Call 946-4015 if Incorrect CUSTOM CARVING SOURCE LLC 3220 SPRING GROVE AVE CINCINNATI, OH 45225 USA	<b>Mail Information</b> Call 946-4800 if Incorrect CUSTOM CARVING SOURCE LLC 3220 SPRING GROVE AVE CINCINNATI, OH 45225 USA
---	--	---

Board of Revision	No	Other Assessments	Yes
Rental Registration	No	Front Ft.	41.00
Homestead	No	Mkt Land Value	15,330
Owner Occupancy Credit	No	Cauv Value	0
New Construction	No	Mkt Impr Value	9,470
Foreclosure	No	Mkt Total Value	24,800
Date	2/13/2015	Total TIF Value	2,700
Conveyance #	81217	Abated Value	0
Sale Amount	\$251,000	Exempt Value	0
# of Parcels	5	<u>Taxes Paid</u>	\$301.75
Deed Type	17 WD-Warranty Deed	(See Payments Tab For Details)	
Deed Number	337584	Tax % to value for this tax district	2.257%

Note

1) 11-29-04 30 YEAR TIF ABATEMENT BEGAN 2003 THRU 2032

Data updated on 06/29/15

HILLMAN POINT  
Wade Street Residential Development

**Summary**

Parcel ID	Address	Index Order	Card
081-0001-0046-00	214 WADE ST	Street Address	2 of 2

Tax Dist	001 CINTI CORP-CINTI CSD-001110	Year Built	1875
School Dist	1 CINCINNATI CSD	Total Rooms	0
Land Use	401 Apts - 4 to 19 rental units	# of bedrooms	0
Finished Square Ft.	3100	Full Bathrooms	0
Acreage	0.051	Half Bathrooms	0
Appraisal Area	OVER THE RHINE 01800 OVER THE RHINE		



**Sales**

Property Information	Owner Information	Mail Information
214 WADE ST	Call 946-4015 if Incorrect	Call 946-4800 if Incorrect
25 X 90 PT LOT 20	CUSTOM CARVING SOURCE LLC	CUSTOM CARVING SOURCE LLC
HOTCHKISS & AVERY ET AL	3220 SPRING GROVE AVE	3220 SPRING GROVE AVE
TIF ABATEMENT	CINCINNATI, OH 45225 USA	CINCINNATI, OH 45225 USA

Board of Revision	No	Other Assessments	Yes
Rental Registration	No	Front Ft.	50.00
Homestead	No	Mkt Land Value	7,190
Owner Occupancy Credit	No	Cauv Value	0
New Construction	No	Mkt Impr Value	29,680
Foreclosure	No	Mkt Total Value	36,870
Date	2/13/2015	Total TIF Value	0
Conveyance #	81217	Abated Value	0
Sale Amount	\$251,000	Exempt Value	0
# of Parcels	5	<u>Taxes Paid</u>	\$577.44
Deed Type	17 WD-Warranty Deed	(See Payments Tab For Details)	
Deed Number	337584		
		Tax % to value for this tax district	0.000%

**Note**

1) 11-29-04 30 YEAR TIF ABATEMENT BEGAN 2003 THRU 2032

Data updated on 06/30/15

HILLMAN POINT  
Wade Street Residential Development

**Summary**

Parcel ID	Address	Index Order	Card
081-0001-0046-00	214 WADE ST	Street Address	1 of 2

Tax Dist	001 CINTI CORP-CINTI CSD-001110	Year Built	1895
School Dist	1 CINCINNATI CSD	Total Rooms	0
Land Use	401 Apts - 4 to 19 rental units	# of bedrooms	0
Finished Square Ft.	4048	Full Bathrooms	0
Acreage	0.051	Half Bathrooms	0
Appraisal Area	OVER THE RHINE 01800 OVER THE RHINE		



Sales


<b>Property Information</b>	<b>Owner Information</b>	<b>Mail Information</b>
214 WADE ST 25 X 90 PT LOT 20 HOTCHKISS & AVERY ET AL TIF ABATEMENT	Call 946-4015 if Incorrect CUSTOM CARVING SOURCE LLC 3220 SPRING GROVE AVE CINCINNATI, OH 45225 USA	Call 946-4800 if Incorrect CUSTOM CARVING SOURCE LLC 3220 SPRING GROVE AVE CINCINNATI, OH 45225 USA

Board of Revision	No	Other Assessments	Yes
Rental Registration	No	Front Ft.	50.00
Homestead	No	Mkt Land Value	7,190
Owner Occupancy Credit	No	Cauv Value	0
New Construction	No	Mkt Impr Value	29,680
Foreclosure	No	Mkt Total Value	36,870
Date	2/13/2015	Total TIF Value	0
Conveyance #	81217	Abated Value	0
Sale Amount	\$251,000	Exempt Value	0
# of Parcels	5	<u>Taxes Paid</u>	\$577.44
Deed Type	17 WD-Warranty Deed	(See Payments Tab For Details)	
Deed Number	337584	Tax % to value for this tax district	0.000%

Note

1) 11-29-04 30 YEAR TIF ABATEMENT BEGAN 2003 THRU 2032

Data updated on 06/29/15



Sun Windows & Doors  
1-800-328-1151

WHY SUN? ▾ PRODUCTS ▾ OPTIONS ▾ TECHNICAL ▾ SUPPORT ▾

Home > Com > Products > CladDoubleHungs > Sun Clad Wood Easy-Tilt Double Hung Replacement Window



**Replacement SunClad Easy-Tilt Double Hung Window (Insert/Pocket Window)**

**Product Highlights**

- SunClad Extruded Aluminum Exterior
- High Durability Powder Coat Exterior Finish
- Fail-Safe Water Management System
- 3-1/8" Replacement Frame System
- Ponderosa Pine Interior
- Vertical Raise & Lower Sash Operation
- Tilt-In Sashes
- Cam-Action Sash Locks
- Finger Release Tilt Sash Latches
- Bullnose Profile Sash Lock Rail
- Positive Contact Floating Jamb Liners
- Spring Balance System
- Locking Tilt-Sash Balance Shoes
- Energy Efficient Performance
- Air & Weather Tight Sash Seal
- Insulated Glass with Duralite™ Spacer
- High Performance Low-E Glass with Argon

- Overview
- Features
- Options
- Sizes
- Technical

This is the replacement window version of our SunClad USA Easy-Tilt double hung window. It offers most of the same features and options of the new construction version, but with a 3-1/8" frame system that is ideal for replacement or retrofit applications sometimes referred to as a pocket window or insert window. The one key feature of our new construction Easy-Tilt that is missing from this version is the concealed exterior jamb liner face or edge. If this is critical to your application, you may wish to consider a total frame tear-out for your replacement solution.

**Operation**

**SunClad™ Double Hung Operation**

SunClad™ Double Hungs feature a sash-over-sash design where both sashes raise and lower for ventilation purposes. Both sashes will tilt inward for easy access to the exterior glass surfaces from inside the room. This can make it easier to clean your windows. The bottom sash tilts in by activating the finger release latches and pulling the top of the sash toward you. The top sash does



**earthwise**  
WINDOWS & DOORS

*The Wise Choice*



# *the Solaris*

New Construction Double Hung Window Series

[earthwisewindows.com](http://earthwisewindows.com)



## Solaris Features & Benefits



- **Fusion Welded Frame and Sash:** The utmost in strength and integrity.
- **Extra Wide, Sturdy Integral Nailing Fin:** Installation ease and inhibits water and air infiltration.
- **Patented Integral J-Channel Design:** Master frame, double walled J-Channel receptor provides clean look and saves time and materials.
- **Optional Jamb Extension Products:** Applied jamb extensions in 4-9/16" or 6-9/16" in clear or primed wood.
- **Advanced Balance System Technology:** Block and tackle, provides smooth operation of sash.
- **Trim Sightline:** Allows maximum amount of light.
- **Millwork-Look Exterior Frame Design:** Gives a rich detail and style, providing a distinctive millwork-finished look.
- **Recessed-in Tilt Latches:** Color matched low profile latches for a neat appearance.
- **Soft Curved Sash Design:** Looks more like traditional wood window sash.
- **Composite Cam Lock and Keeper:** Cam action actually draws sashes closer together for positive lock.
- **Full Length Extruded Lift Rail:** Provides easy sash operation.
- **Tilt In Sashes:** Both sashes tilt in for easy cleaning.
- **3/4" PPG Intercept Insulated Glass System:** Non-Conductive spacer provides barrier to heat transfer in insulating glass unit.
- **Interlocking Meeting Rail:** Provides additional security and has passed AAMA Forced Entry Resistance Test.
- **Optional PPG Solarban-70 Low-E Glass:** For maximum regional thermal efficiency.
- **Heavy Duty Weatherstrip Design:** With double mylar fins for resistance to air and water infiltration.
- **5 Degree Positive Sloped Sill:** Provides water runoff, even in driving rain.
- **Clear Advantage Sturdy Half Screen:** Provides a much improved and unobstructed view.
- **Lifetime Limited Guarantee Warranty**

Optional foam filled frame and sashes will increase your energy savings.

Our windows are environmentally friendly and lead free.



Optional Colonial Casing Exterior shown with J-channel in use, shown left.



Optional 3-1/2" Flat Casing shown right.

Every Solaris Fully Welded Window is custom-sized to your specifications, designed and constructed to meet your needs with styles and options you choose. This assures you of a perfect fit without altering the architectural structure of your home. Quick and clean installation is performed by qualified professionals.



# Supreme® Shingles



Supreme® Shingles are a component of the Owens Corning™ Total Protection Roofing System.™^

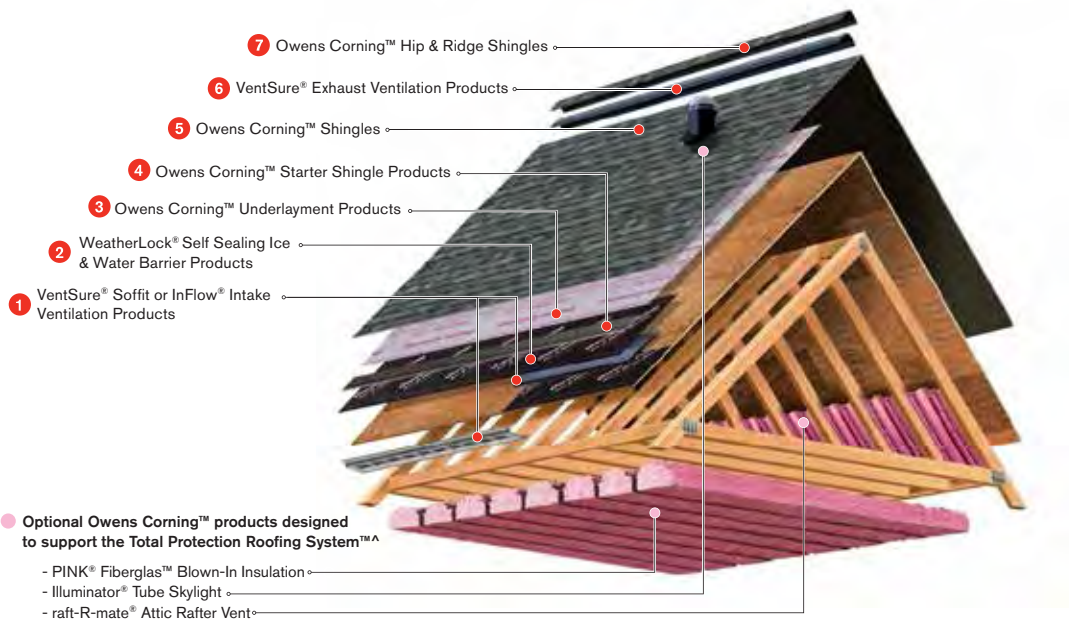


## The Total Protection Roofing System™<sup>^</sup>

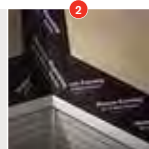
Working together to help protect and enhance your home.

It takes more than just shingles to protect your home. It takes an integrated system of components and layers designed to withstand the forces of nature outside while controlling temperature and humidity inside.

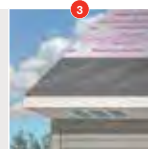
The Owens Corning™ Total Protection Roofing System™<sup>^</sup> gives you the assurance that all of your Owens Corning™ roofing components are working together to help increase the performance of your roof — and to enhance the comfort and enjoyment of those who live beneath it.



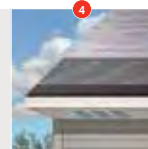
Help protect against heat and moisture buildup by creating a balanced flow of air through your attic.



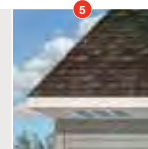
Help protect vulnerable areas where water can do the most damage: eaves, valleys, dormers and skylights.



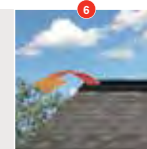
Help prevent damage from wind-driven rain by providing an additional layer of protection between the shingles and roof deck.



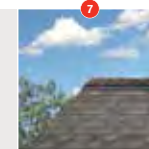
Enjoy clean lines and faster, easier installation by eliminating the need to cut shingle tabs.



Choose from a variety of durable styles and colors that provide the first line of defense against the elements.



Help protect your roof against premature failure by allowing heat and moisture to escape from the attic.



Help protect the ridge vent and add an attractive, finished look to your entire roof.



**OWENS CORNING ROOFING AND ASPHALT, LLC**  
ONE OWENS CORNING PARKWAY  
TOLEDO, OHIO, USA 43659  
**1-800-GET-PINK®**  
[www.roofing.owenscorning.com](http://www.roofing.owenscorning.com)



Pub. No. 10013324-D. Printed in U.S.A. April 2014. THE PINK PANTHER™ & © 1964-2014 Metro-Goldwyn-Mayer Studios Inc. All Rights Reserved. The color PINK is a registered trademark of Owens Corning. © 2014 Owens Corning. All Rights Reserved.

(Atlanta, Brookville, Denver, Houston, Irving, Jacksonville, Kearny, Medina, Memphis, Minneapolis, Savannah, Summit)

AVANTE™  
collection  
ALUMINUM CONSTRUCTION



America's Favorite Garage Doors®



*Avante™ Collection, Clear Aluminum (Anodized) Frame  
with Frosted Tempered Glass*



[clopay.com](http://clopay.com)



MODERN design meets  
 Asian INSPIRATION

*Aluminum and glass combine to create a sleek, contemporary look. Many window options are available to control the degree of light transmission and privacy.*

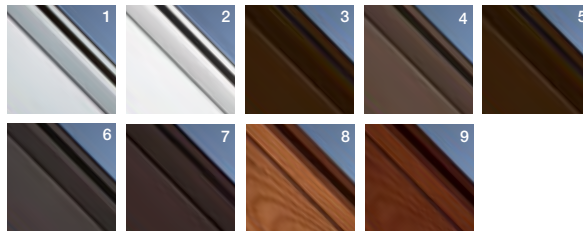
### STYLE AND CONSTRUCTION



- Aluminum frame provides a virtually maintenance-free, long-lasting door.
- Tempered glass, acrylic or solid aluminum panel options. Insulated glass is also available for increased energy efficiency.
- Integral reinforcing fin provides increased strength and longevity.
- Heavy-duty steel ball bearing rollers with nylon tires provide quiet operation.

*See your Clopay Dealer for WINDCODE® availability.*

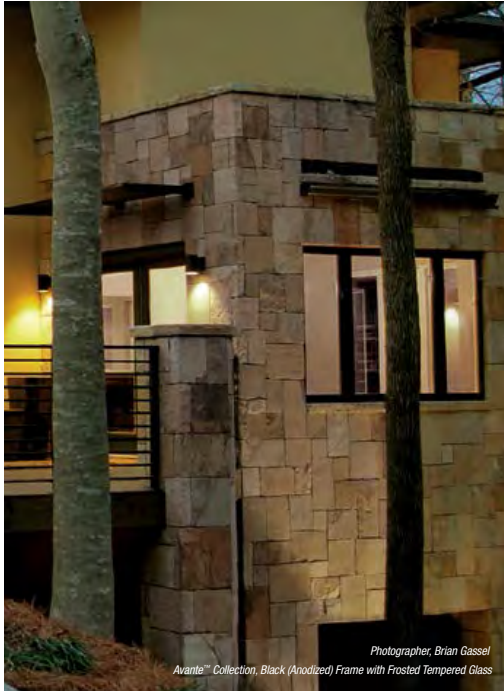
### FRAME/SOLID PANEL COLOR OPTIONS



- 1 Clear Aluminum (Anodized)
- 2 Standard White
- 3 Bronze (Painted)
- 4 Chocolate (Painted)
- 5 Bronze (Anodized)
- 6 Black (Anodized)
- 7 Dark Bronze (Anodized)
- 8 Ultra-Grain® Light Cherry
- 9 Ultra-Grain® Dark Cherry

*Due to the anodizing process, slight color variation may occur.  
 Custom colors available.*

HILLMAN POINT  
Wade Street Residential Development



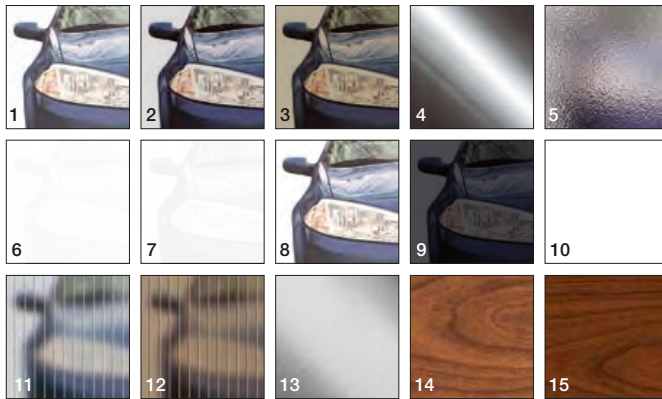
Photographer: Brian Gassel  
Avante™ Collection, Black (Anodized) Frame with Frosted Tempered Glass

# AVANTE™

collection

The Avante is the perfect choice to modernize any home; transforming not only garages, it can also be used as an indoor loft partition or a versatile solarium door.

## GLASS/PANEL OPTIONS



- 1 Clear Glass\*
- 2 Gray Tinted Glass\*
- 3 Bronze Tinted Glass\*
- 4 Mirrored Glass\*
- 5 Obscure Glass\*
- 6 White Laminate Glass
- 7 Frosted Glass\* or Acrylic
- 8 Clear Acrylic
- 9 Gray Acrylic
- 10 White Acrylic
- 11 Clear Polygal®
- 12 Bronze Polygal®
- 13 Clear Anodized (Aluminum Panel)
- 14 Ultra-Grain® Light Cherry (Aluminum Panel)
- 15 Ultra-Grain® Dark Cherry (Aluminum Panel)

Glass available in single pane or insulated. White laminated and mirrored glass not available insulated.

Panels can be aluminum to match the aluminum frame. Glass/acrylic panels may be combined with aluminum panels. Custom glass and colors available. See your Clopay Dealer for details.

\*Glass is tempered

**WARRANTIES**

FINISH LIMITED <b>5YR</b> WARRANTY	HARDWARE LIMITED <b>3YR</b> WARRANTY
---	---

**HARDWARE**

Attractive color-matched aluminum grip handles.

## WINDCODE®

Doors available to meet many regional wind load requirements.

WindCode® doors over 16' wide may have reinforcement hardware that shows through the glass panels of the door.

HILLMAN POINT  
Wade Street Residential Development



Avante™ Collection, Clear Aluminum (Anodized) Frame with Frosted Insulated Glass

Architect: [www.jamesphillipwright.com](http://www.jamesphillipwright.com)



A FOCUS ON

*green*

Clopay® is committed to designing, manufacturing and distributing garage doors that enhance the beauty, safety and value of your home while minimizing the impact on the environment.

The Avante™ Collection helps conserve natural resources by providing environmentally conscious consumers with a durable, reliable, low-maintenance door.

All Clopay doors are made in the U.S., minimizing shipping, damage and handling. For more details on Clopay's green practices visit [clopaydoor.com/green.aspx](http://clopaydoor.com/green.aspx)



For more detailed product specification information or availability of our Avante™ Collection Garage Doors, please contact your Clopay Dealer. To locate a dealer to help you select the right door for your home, just go to [www.clopaydoor.com/dealer](http://www.clopaydoor.com/dealer) or call 1-800-2CLOPAY (225-6729).

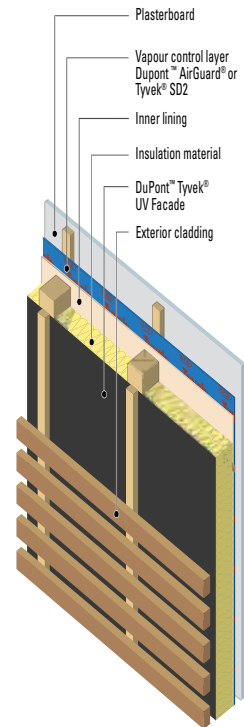
Follow us on

Distributed by:

MADE IN USA ©2015 Clopay Building Products Company, Inc., a Griffon company.

RSDR-AVANTESS-04\_REV0615

HILLMAN POINT  
Wade Street Residential Development



07 00 00 Thermal & Moisture Protection

07 27 00 Air Barriers  
07 27 26 Fluid Applied Membrane Air Barriers  
07 27 29 Air Barrier Coatings  
07 25 00 Weather Barriers

PRODUCT DATA SHEET

PROSOCO  
SINCE 1939



# Cat 5® Rain Screen

*air and waterproof barrier*

Cat 5® Rain Screen is part of the family of PROSOCO R-Guard® products developed to prevent the movement of water and air through building envelopes. Utilize Cat 5® Rain Screen as the primary air and water barrier over above grade wall assemblies prepared with R-Guard Joint & Seam Filler and/or R-Guard FastFlash®.

## OVERVIEW

PROSOCO R-Guard® Cat 5® Rain Screen Air & Water-Resistive Barrier is a fluid applied, waterproofing, and air and water barrier membrane that combines the best of silicone and polyurethane properties. This single component, Silyl-Terminated-Poly-Ether (STPE) is specially formulated to meet the unique requirements of pressure-equalized rain screen construction.

The roller applied air and waterproof barrier produces a highly durable, seamless, elastomeric weatherproof membrane on exterior sheathing behind open-jointed or vented rain screen cladding. Cat 5® Rain Screen is proven to prevent water and air penetration of the building envelope in conditions ranging from everyday weather to the drenching rains and 155 mph winds of a Category 5 hurricane.

Cat 5® Rain Screen can be applied in unfavorable weather conditions to dry or damp substrates. This feature eliminates many weather-related construction delays and accelerates the "drying in" of new buildings. The durable, elastomeric membrane adheres to most surfaces, is immediately waterproof and is compatible with most sealants and waterproofing or air barrier components.

## SPECIFICATIONS

For all PROSOCO product specifications visit [www.prosoco.com](http://www.prosoco.com).

## ADVANTAGES

- Solvent free. Isocyanate free. Phthalate free. Complies with all VOC regulations.
- Silane functional polymer provides superior long term adhesion, crack bridging and weathering characteristics. Self seals fastener penetrations.
- Bonds to most common building materials without priming to produce a durable, weatherproof membrane which will not tear or displace when subjected to wind loads during construction. Easy to repair if damaged.
- Will not tear or lose effectiveness when exposed to weather during construction.
- Designed for continuous, intermittent UV exposure under ventilated cavity, rain screen applications.
- Waterproof on application and for the life of the building. Creates an unmatched drainage plane.
- Service temperature from -75°F to 300°F (-59°C to 149°C).
- Single component – saves time.
- Easy roller application in all climates.
- Bonds and cures in wet weather and on damp substrates.
- No shrinkage. No staining. No yellowing.
- Breathable. Allows damp surfaces to dry.
- Will not support mold growth.
- Dark bronze color keeps the backup wall unseen through rain screen joints or vents.
- Stops penetration of air and water under normal and extreme weather conditions.
- Illustrations depicting the use of PROSOCO R-Guard® products are available at [www.prosoco.com](http://www.prosoco.com) by downloading the R-Guard Installation Guidelines.

## Limitations

- Not for use as a liquid flashing membrane. Use R-Guard FastFlash®.
- Not for use in place of appropriate through-wall flashing.
- Not for use below grade or in locations designed to be continuously immersed in water.

## REGULATORY COMPLIANCE

### VOC Compliance

PROSOCO R-Guard® Cat 5® Rain Screen is compliant with the following national, state and district VOC regulations:

- US Environmental Protection Agency
- California Air Resources Board SCM Districts
- South Coast Air Quality Management District
- Maricopa County, AZ
- Northeast Ozone Transport Commission



# Cat 5<sup>®</sup> Rain Screen

PRODUCT DATA SHEET  
**PROSOCO**  
SINCE 1939

## TYPICAL TECHNICAL DATA

### R-GUARD CAT 5<sup>®</sup> RAIN SCREEN

FORM	dark bronze heavy liquid
SPECIFIC GRAVITY	1.40–1.55
pH	Not applicable
WT/GAL	12.3 lbs
TOTAL SOLIDS	99%
VOC CONTENT	<30 g/L
FLASH POINT	>200°F (>93°C)
FREEZE POINT	Not applicable
SHELF LIFE	1 year in tightly-sealed, unopened container

### CURED PROPERTIES

Hardness, Shore A	20–25
Tensile Strength	100 psi
Elongation at Break	250%
Water Vapor Transmission	18 perms (ASTM E 96)
Transfer-Free Time	2–4 hours

### PERFORMANCE AT 12 MILS\*

Air Infiltration	Meets and exceeds air barrier performance requirements (ASTM E 2178)
Air Leakage of Air Barrier Assembly	Passed: 0.000 L/s·m <sup>2</sup> at 300 Pa (ASTM E 2357)
Water Penetration (static pressure)	No water penetration (ASTM E 331)
Fastener Sealability	No water infiltration (ASTM D 1970)
Surface Burning	Flame Spread: 10 (ASTM E 84) Smoke Developed: 0 NFPA and ICC Class A Building Material

\*Unless otherwise required by the referenced test method, test results cited were achieved when the product was applied at 12 wet mils to DensGlass<sup>®</sup> gold fiberglass mat gypsum sheathing. Please refer to Page 4 for a complete list of performance test results.

Illustrations depicting the use of PROSOCO R-Guard<sup>®</sup> products are available at [www.prosoco.com](http://www.prosoco.com) by downloading the R-Guard Installation Guidelines.

## PREPARATION

Protect people, vehicles, property, plants and all other surfaces not intended to receive Cat 5<sup>®</sup> Rain Screen. Apply to clean surfaces free of contaminants. Chemical residues, surface coatings or films may adversely affect adhesion. Remove and replace damaged sheathing. On exterior sheathing, treat cracks with R-Guard Joint & Seam Filler and/or R-Guard FastFlash<sup>®</sup>, as needed.

In rough openings and outside corners, prime all raw gypsum board edges with R-Guard GypPrime. Use R-Guard Joint & Seam Filler and/or R-Guard FastFlash<sup>®</sup> on joints, seams and all other interfaces, as needed. Let Joint & Seam Filler and/or FastFlash<sup>®</sup> skin over before applying Cat 5<sup>®</sup>.

### Surface and Air Temperatures

Surface and ambient temperatures should be 40°F (4°C) and rising and below 110°F (43°C) during application and drying. Wind and high temperatures will accelerate drying. **Hot Weather Precautions:** If air or surface temperatures exceed 95°F (35°C), apply to shaded surfaces and before daytime air and surface temperatures reach their peak. Hot surfaces may be cooled with a mist of fresh water. Keep containers closed and out of direct sunlight when not in use. **Cold Weather Conditions:** May be applied to frost-free substrates at temperatures below 32°F (0°C). Product will not start curing and drying until temperature rises to and remains above 32°F (0°C). **Low Humidity Conditions:** Curing may take longer than 12 hours. Lightly misting treated surfaces with fresh water will accelerate curing. **Uncured material may delay construction.**

Though R-Guard Cat 5<sup>®</sup> Rain Screen may be applied to damp surfaces and tolerates rain immediately after application, do not apply to surfaces with standing water or frost.

### Equipment

Apply using standard 1/4 to 3/8 inch nap rollers.

### Storage & Handling

Store in a cool, dry place. Keep container tightly closed when not dispensing. Do not open container until preparation work has been completed. Do not alter or mix with other chemicals. When stored at or below 80°F (27°C) R-Guard Cat 5<sup>®</sup> Rain Screen has a shelf life of 12 months after the date of manufacture. This shelf life assumes upright storage of factory-sealed containers. Do not double stack

## ALWAYS TEST

**ALWAYS TEST** a small area of each surface to confirm suitability and desired results before starting overall application. Test with the same equipment, recommended surface preparation and application procedures planned for general application.

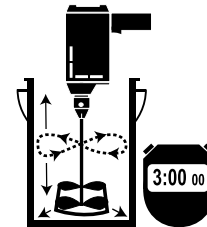
pallets. Dispose of unused product and container in accordance with local, state and federal regulations.

## APPLICATION

Before use, read "Preparation" and "Safety Information."

### Dilution & Mixing

Apply as packaged. Do not dilute or alter, or use for applications other than specified. Using a low-speed drill and paddle, mix well from top to bottom and side-to-side for a minimum of 3 minutes before use. Avoid mixing air into the product.



### Coverage Rates

Coverage rates will vary depending on surface porosity, moisture uptake, and other factors. Unless otherwise required by the referenced test method, test results cited were achieved when the product was applied at 12 wet mils to DensGlass<sup>®</sup> gold fiberglass mat gypsum sheathing. Many gypsum sheathing products require additional material to achieve hide and the desired mil thickness for a pinhole free coating. In some cases, two coats may be required. Actual rates must be determined through mock-up applications.

For more information regarding coverage rates as it pertains to glass-mat sheathing, please consult the AMT Laboratories Technical Bulletin available at [www.prosoco.com/AirBarriers](http://www.prosoco.com/AirBarriers).

PROSOCO R-Guard<sup>®</sup> Cat 5<sup>®</sup> Rain Screen is sold in 5 gallon containers.



# Cat 5<sup>®</sup> Rain Screen

PRODUCT DATA SHEET  
**PROSOCO**  
SINCE 1939

R-GUARD CAT 5 <sup>®</sup> RAIN SCREEN	COVERAGE RATES
EXTERIOR GYPSUM BOARD OSB PLYWOOD	50–100 SQ.FT. PER GALLON
CMU	50–80 SQ.FT. PER GALLON

## Application Instructions

- Roller apply to exterior wall assembly using vertical strokes with a slight diagonal slant. Ensure there are no pinholes, voids or gaps in the membrane. **NOTE:** If air or surface temperatures exceed 95°F (35°C), apply to shaded surfaces and before daytime air and surface temperatures reach their peak.
- Seal masonry ties and properly prepared penetrations as work progresses. Some sheathing will require additional material to achieve a continuous coating. Inspect surface after initial application and touch-up as needed.
- Allow product to cure and dry. Wind, high temperatures and high humidity will accelerate drying. Low temperatures and low relative humidity will extend cure time. Lightly mist treated surfaces with fresh water to accelerate cure. For cladding gaps >1 inch, it is recommended to apply a second coat in the same manner as the first coat and allow product to cure and dry.
- Inspect membrane before installing cladding. Fill deep gouges with R-Guard FastFlash<sup>®</sup> or Joint & Seam Filler. Repair any punctures or damaged areas. If the surface of the primary air barrier or liquid flashing membrane is damaged during construction, remove all loose surface contaminants before selective re-coating with additional Cat 5<sup>®</sup> Rain Screen or FastFlash<sup>®</sup>. Overlap repairs, penetration treatments, transitions, rigid flashing and other air barrier components to ensure positive drainage and continuity of the air and water-resistive barrier.

## Cleanup

Clean tools and equipment with mineral spirits or similar solvent immediately after use.

## Curing and Drying

At 70°F (21°C) and 50% relative humidity, product skins in approximately 2 hours and cures in approximately 12 hours when applied at 12 mil thickness.

R-Guard Cat 5<sup>®</sup> Rain Screen is moisture curing. Low temperatures and low relative humidity slow cure time. Wind, high temperatures and high humidity accelerate drying.

## SAFETY INFORMATION

PROSOCO R-Guard<sup>®</sup> Cat 5<sup>®</sup> Rain Screen contains calcium carbonate and may cause eye and skin irritation. Use with adequate ventilation, safety equipment and job site controls during application and handling. Read the full label and MSDS for precautionary instructions before use.

### First Aid

**Eye Contact:** Immediately rinse eyes with water. Remove any contact lenses. Hold eyelids apart to ensure rinsing of the entire surface of the eyes and lids with water. Continue flushing eyes with running water for at least 15 minutes. Get medical attention if irritation develops.

**Skin Contact:** Wash affected areas with large amounts of running water and soap for 15 minutes. Remove contaminated clothing and shoes. Wash clothing and decontaminate shoes before re-use. Get medical attention if irritation develops and persists.

**Inhalation:** Remove from area to fresh air. If not breathing, clear airway and start mouth-to-mouth artificial respiration or use a bag mask respirator. Get immediate medical attention. If victim is having trouble breathing, transport to medical care and if available, give supplemental oxygen.

**Ingestion:** DO NOT induce vomiting. DO NOT give anything by mouth to an unconscious or convulsing person. Get immediate medical attention.

**24-Hour Emergency Information: INFOTRAC at 800-535-5053**

## WARRANTY

Information and recommendations are based on our research and the research of others, and are believed to be accurate. No guarantee of their accuracy is made because we cannot anticipate every application or variations encountered in building surfaces, job conditions and methods used. The purchasers shall make their own tests to determine the suitability of such products for a particular purpose. PROSOCO, Inc. warrants this product to be free from defects. **Where permitted by law, PROSOCO makes no other warranties with respect to this product, express or implied, including without limitation the implied warranties of merchantability or fitness for particular purpose.** PROSOCO's liability shall be limited in all events to supplying sufficient product to re-treat the specific areas to which defective product has been

## BEST PRACTICES

R-Guard Cat 5<sup>®</sup> Rain Screen bonds tenaciously. Carefully protect all nearby surfaces not intended for treatment. Immediately clean up incidental contact using mineral spirits or similar solvent.

On R-Guard Cat 5<sup>®</sup> Rain Screen projects, always use Joint & Seam Filler, FastFlash<sup>®</sup> and AirDam<sup>®</sup> where required. Do not substitute.

Prepare all rough openings with R-Guard Joint & Seam Filler and/or FastFlash<sup>®</sup>. Allow to skin over before installing Cat 5<sup>®</sup> Rain Screen. Overlap Cat 5<sup>®</sup> Rain Screen onto FastFlash<sup>®</sup> by 2 inches or more. A slightly diagonal vertical application stroke provides best coverage.

Coverage rates will vary depending on surface porosity, moisture uptake, and other factors. Many gypsum sheathing products require additional material to achieve hide and the desired mil thickness for a pinhole free coating. In some cases, two coats may be required. Actual rates must be determined through mock-up applications.

For more information regarding coverage rates as it pertains to glass-mat sheathing, please consult the AMT Laboratories Technical Bulletin available at [www.prosoco.com/AirBarriers](http://www.prosoco.com/AirBarriers).

**Hot Weather Precautions:** If air or surface temperatures exceed 95°F (35°C), apply to shaded surfaces and before daytime air and surface temperatures reach their peak. Hot surfaces may be cooled with a mist of fresh water. Surfaces may be damp but must be free of standing water before application. Keep containers closed and out of direct sunlight when not in use. **Cold Weather Conditions:** May be applied to frost-free substrates at temperatures below 32°F (0°C). Product will not start curing and drying until temperature rises to and remains above 32°F (0°C). **Low Humidity Conditions:** Curing may take longer than 12 hours. Lightly mist treated surfaces with fresh water to accelerate cure. **Uncured material may delay construction.**

Wind, high temperatures and high humidity accelerate drying. At 70°F (21°C) and 50% relative humidity, product will skin in approximately 2 hours and cure in approximately 12 hours when applied at 12 mil thickness.

Low temperatures and low relative humidity will extend cure time. Mist surfaces with fresh water to accelerate cure.

Illustrations depicting the use of PROSOCO R-Guard<sup>®</sup> products are available at [www.prosoco.com](http://www.prosoco.com) by downloading the R-Guard Installation Guidelines.

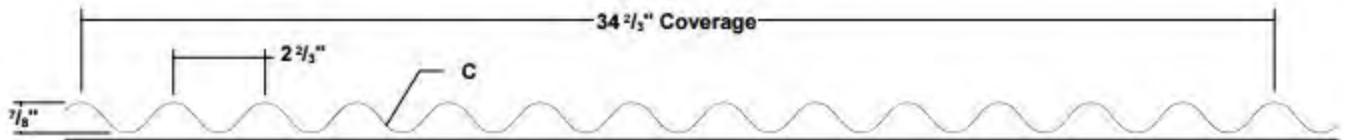
To schedule field technical support, contact your PROSOCO Technical Customer Care toll-free at 800-255-4255. Field visits by PROSOCO personnel are for the purpose of making technical recommendations only. PROSOCO is not responsible for providing job site supervision or quality control. Proper application is the responsibility of the applicator.

# 7/8" CORRUGATED PANEL OVERVIEW

## ROOF PANEL PROFILE



## WALL PANEL PROFILE



## SLOPE

The minimum recommended slope for any 7/8" Corrugated panel roofing panel is 1:12.

## SUBSTRATE

7/8" Corrugated panel is designed to be utilized over open structural framing, but can easily be used with a solid substrate. For solid substrate applications, the recommended substrate is 5/8" plywood with a 30 pound felt moisture barrier. To avoid panel distortion, use a properly aligned and uniform substructure.

## COVERAGE

7/8" Corrugated panel roof coverage is 32", and wall coverage is 34<sup>2</sup>/<sub>5</sub>".

## LENGTH

Lengths under 5'-0" are available with some cutting restrictions. Maximum recommended panel length is 45'-0". Longer panels require additional consideration in packaging, shipping, and erection. Please consult your Metal Sales branch for recommendations (see PGI-2 and 3 for locations).

## AVAILABILITY

Panels are available in 26, 24, 22 Gauge. 20 Gauge optional. Minimum quantity may apply.

## APPLICATION

Commercial, Industrial panel.

## FASTENING SYSTEM

Direct fastened (exposed).

## FASTENERS

The fastener selection guide should be consulted for choosing proper fasteners for specific applications. Quantity and type of fastener must meet necessary loading and code requirements (see PGI-12-14).

## MATERIALS

Steel grade 50 for 26, 24, and 22 Gauge. Steel Grade 33 for 20 Gauge, per ASTM A-792.

## FINISH

- ▶ Acrylic Coated Galvalume® (ACG) / ASTM A-792 - AZ55
- ▶ Prepainted Galvalume / ASTM A-792 - AZ50
- ▶ Fluorocarbon (PVDF)

\* Differential appearance of Acrylic Coated Galvalume roofing materials is not a cause for rejection.

\*\* Meets both Kynar 500 and Hylar 5000 specifications.

# G

ARCHITECTURAL WALL PANELS  
FULL LINE CATALOG

Delivering  
the power  
of possibilities



*the power of possibilities™*



## Contemporary good looks, space-age performance

The clean, linear look of Nichiha ArchitecturalBlock™ is a versatile choice for commercial and residential projects alike. Its cool modern tones and subtle seams are the perfect partner for gleaming glass, stainless steel or even paired with the warmth of wood. ArchitecturalBlock is a handsome, durable and cost effective solution. The ease of installation and wide variety of corner options make it as popular with contractors as it is with clients.

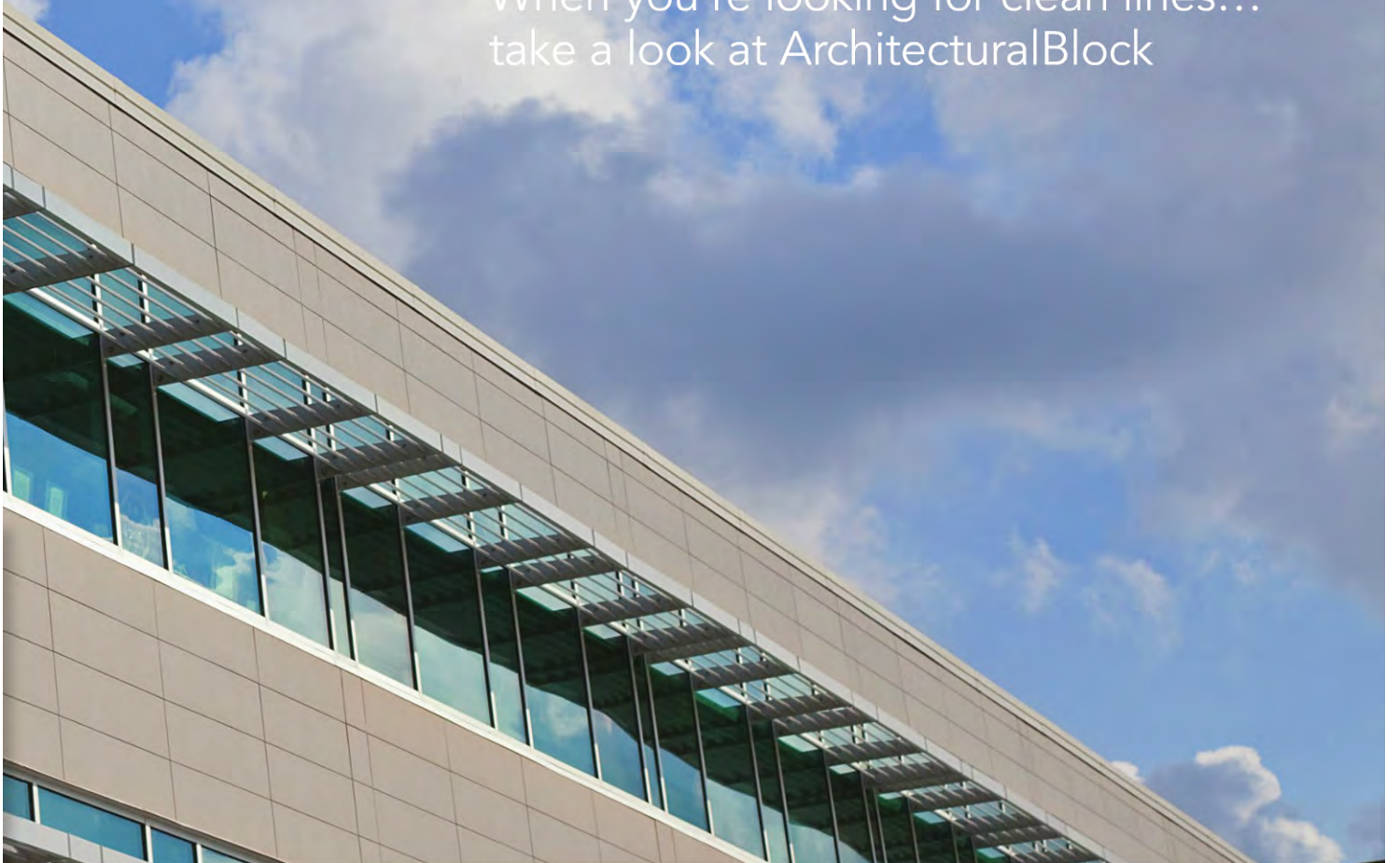


PANEL ALSO AVAILABLE WITH SCORE

ArchitecturalBlock is also available with an optional score in the middle of the panel. The distinctive deep score mark gives the impression of 3-ft panels for a decidedly different appearance from the standard panel.

The look you envisioned...  
the Performance you hoped for

When you're looking for clean lines...  
take a look at ArchitecturalBlock



ARCHITECTURALBLOCK™

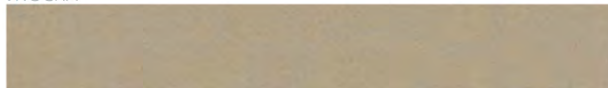
LARGE AND SMALL



GRAY



MOCHA



TUSCAN

ARCHITECTURALBLOCK™

PROFILE	LARGE 18" x 6' WITHOUT SCORE SMALL 18" x 6' WITH SCORE
DIMENSIONS (NOM. FT. ~ ACTUAL MM)	18" [H] x 6' [L] (455MM [H] x 1,818MM [L])
THICKNESS (NOM. IN. ~ ACTUAL MM)	5/8 (16MM)
WEIGHT (LBS. PER PANEL)	35.27
WEIGHT (LBS. PER SQ. FT.)	3.92
EXPOSED COVERAGE (SQ. FT. PER PANEL)	9
PACKAGING (PIECES PER PACK)	2 [18 SQ. FT.]
*APPEARANCE AND TEXTURE MAY VARY BY COLOR	

# Don't sweat the small stuff...we already have

Nichiha's unique installation hardware and accessories ensure that taking your vision from the drawing board to reality is a cinch.



ULTIMATE CLIP w/ JOINT TAB ATTACHMENT

10MM JEL 777

Compatible with 16mm (5/8") panels

10MM JEL 787

Compatible with 18 & 21mm (3/4" & 7/8") panels



ULTIMATE STARTER TRACK (10')

10MM FA 700



VERTICAL STARTER TRACK (6.6')

5MM FA 300 T



SINGLE FLANGE SEALANT BACKER (6.5')

5MM FHK 1110 R

10MM FHK 1017 R



DOUBLE FLANGE SEALANT BACKER (10')

5MM FH 1010 R

10MM FH 1020 R



CORRUGATED SHIM (4')

5MM FS 1005

10MM FS 1010



CORNERS

18"[H] x 3-1/2"[FACE] RETURNS



KURASTONE™ CLIP

5MM JE 602

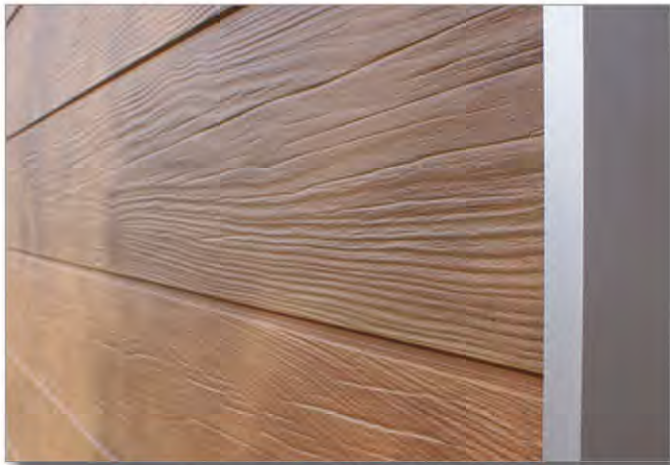
10MM JE 720CA



FINISH CLIP

10MM JE 310

# Completing the system just became easier...



Like the perfect accessory, Nichiha's customized Tamlyn trim can add the finishing touches to any project. It's not only simple and sleek; it's a cost-effective and time-efficient solution to finishing corners, windows and door trims. Choose from 6 trim profiles specifically designed for Nichiha's Architectural Wall Panels to create a durable yet handsome appearance.



Enhancing your project style doesn't mean you have to compromise on performance. Tamlyn's trim for Nichiha provides weather-resistant coatings so you can expect low maintenance and long-lasting beauty.

Whether you prefer the crisp look of a clear anodized finish or color matching your trim with nearly any color when you design with the Illumination Series — you're sure to make a statement. For our other popular panels we took it a step further by color matching all of our trim profiles for fast delivery. As you can see, we make it a breeze to achieve the exact look you're after. Completing the system with Nichiha keeps getting easier.

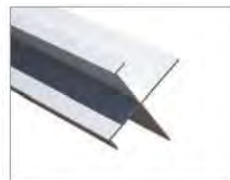


### CORNER KEY

DIMENSIONS 3" x 10'  
(NOM. FT. ~ ACTUAL MM) (76.2MM x 3,030MM)

WEIGHT (LBS. PER PIECE) 3.89

PACKAGING (LN. FT. PER PACK) 50

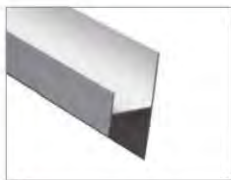


### OPEN OUTSIDE CORNER

DIMENSIONS 2.96" x 10'  
(NOM. FT. ~ ACTUAL MM) (75MM x 3,030MM)

WEIGHT (LBS. PER PIECE) 2.98

PACKAGING (LN. FT. PER PACK) 50

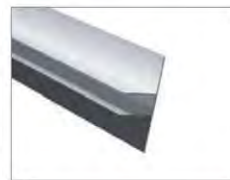


### H-MOLD

DIMENSIONS 2" x 10'  
(NOM. FT. ~ ACTUAL MM) (50.8MM x 3,030MM)

WEIGHT (LBS. PER PIECE) 2.42

PACKAGING (LN. FT. PER PACK) 50



### BEAD REVEAL

DIMENSIONS .5" x 10'  
(NOM. FT. ~ ACTUAL MM) (12.7MM x 3,030MM)

WEIGHT (LBS. PER PIECE) 2.46

PACKAGING (LN. FT. PER PACK) 50



### J-MOLD

DIMENSIONS .375" x 10'  
(NOM. FT. ~ ACTUAL MM) (9.5MM x 3,030MM)

WEIGHT (LBS. PER PIECE) 1.4

PACKAGING (LN. FT. PER PACK) 50



### L-TRIM

DIMENSIONS 1" x 10'  
(NOM. FT. ~ ACTUAL MM) (25.4MM x 3,030MM)

WEIGHT (LBS. PER PIECE) 1.2

PACKAGING (LN. FT. PER PACK) 50

The look you're after,  
the performance we insist on.



## Behind our Architectural Wall Panels is some **SERIOUS TECHNOLOGY...**



### **EASY INSTALLATION**

Timesaving Clip Installation System that reduces construction time and minimizes mistakes.



### **NO MORTAR, NO MESS**

Prefinished panels that eliminate the need for messy mortar or costly masonry-skilled labor.



### **ANY WEATHER PRODUCT**

Products that can be installed all year round.



### **PROTECTION**

Backed by some of the best warranties in the industry. Strong 50-year limited lifetime warranty.



### **LOW MAINTENANCE**

No-fuss products. No ongoing cleaning and regular maintenance needed. Your customers get to create it then enjoy it for a long, long time.



### **ENGINEERED FOR PERFORMANCE**

Go beyond our durable panels and discover a meticulously engineered moisture management system that provides a vertical drainage point for air & moisture to exit.

# MULTIPLE LOOKS. ONE SOURCE.

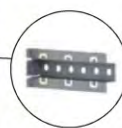
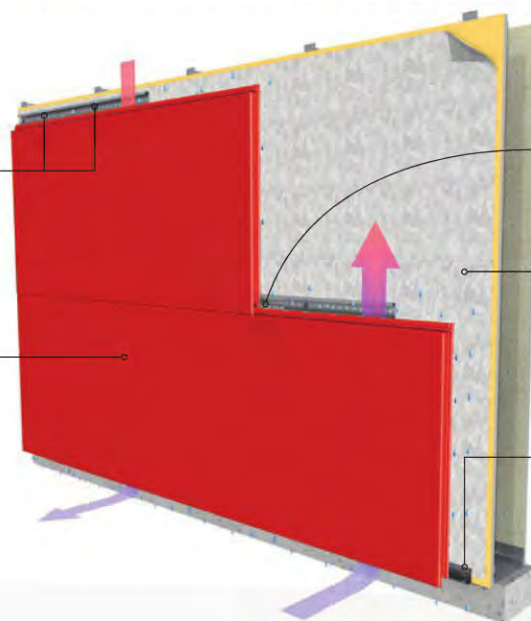


Architectural Block

Illumination Series

**The Ultimate Clip** creates a hidden fastening system that all but eliminates face fastening. Installation is quick and easy and never requires specialty subcontractors.

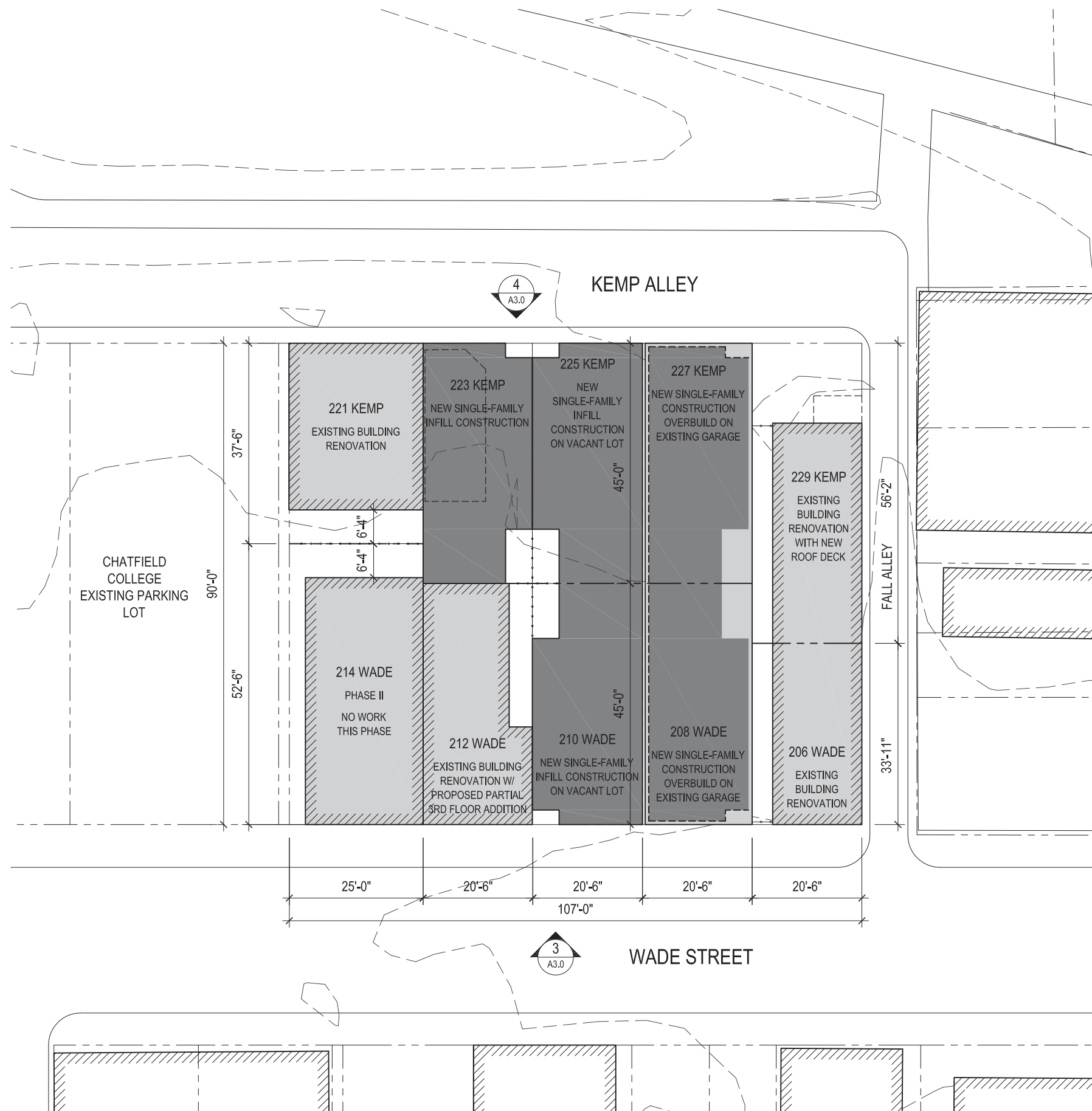
**Nichiha Architectural Wall Panels** are lightweight, easy to handle and available in a virtually endless color palette and a diverse offering of textural finishes. They're also backed with the industry's strongest warranty.



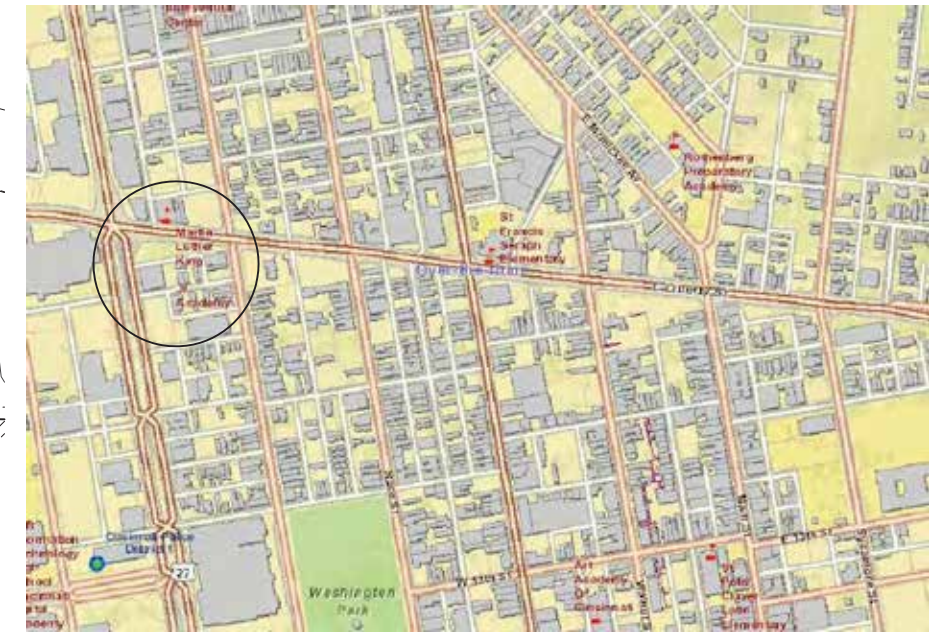
**Nichiha's Joint Tab Attachment** is designed to support panel lateral stability, helping vertical joints stay closed tightly. The tab fits in place easily and is fastened to the Ultimate Clip with provided screw.

**Drained and Back Ventilated Rainscreen** design allows water to escape and air to circulate, reducing the risk of mold and water damage inside the building.

**The Ultimate Starter Track** pulls double-duty. It ensures a fast, level installation and its patented drainage channel directs water out and away from the base of the wall.



Vicinity Map



Project Overview



HILLMAN POINT OTR  
Residential Development  
206-212 WADE STREET & 221-229 KEMP ALLEY  
CINCINNATI, OHIO 45202

ISSUE / DATE:

#	DATE	DRAWING SET	CERTIFICATE OF APPROPRIATENESS
1	SEP 01, 2015		

VICINITY PLAN, SITE PLAN & PROJECT IMAGES



1 WADE STREET LOOKING WEST  
A0.2 OVERALL VIEW



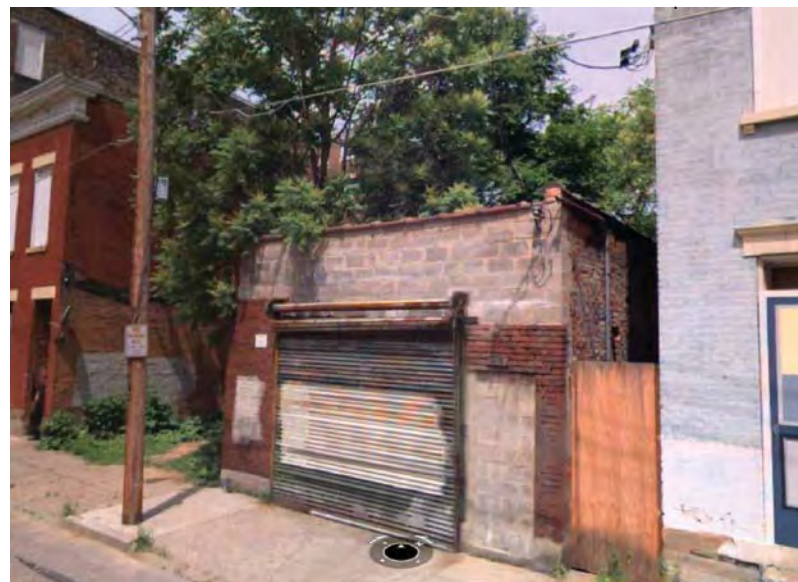
2 WADE STREET LOOKING EAST  
A0.2 OVERALL VIEW



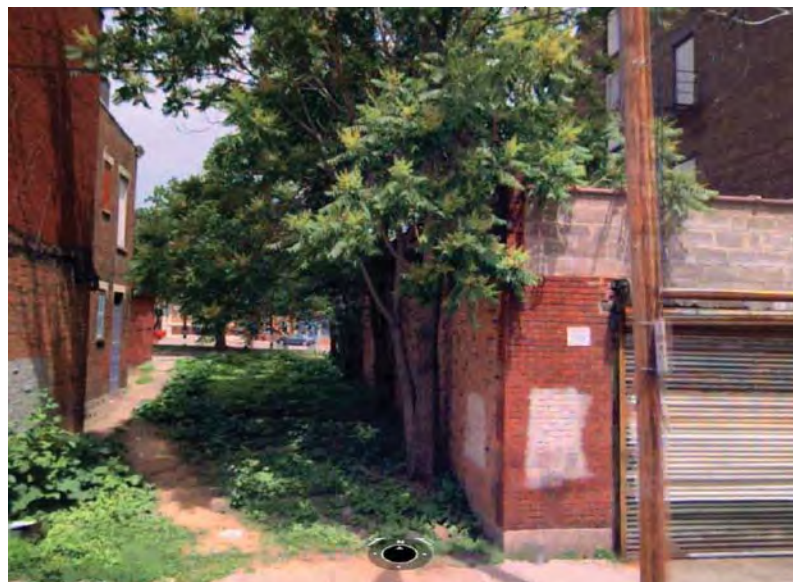
3 KEMP ALLEY LOOKING EAST  
A0.2 OVERALL VIEW



4 206 WADE STREET  
A0.2 PROPOSED RENOVATION



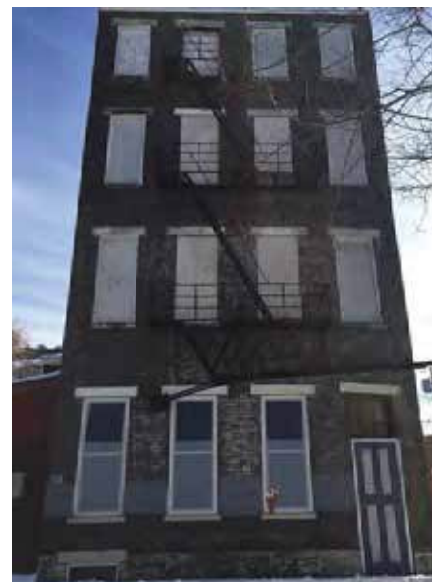
5 208 WADE STREET  
A0.2 PROPOSED RENOVATION & ADDITION



6 210 WADE STREET  
A0.2 PROPOSED NEW CONSTRUCTION ON VACANT LOT



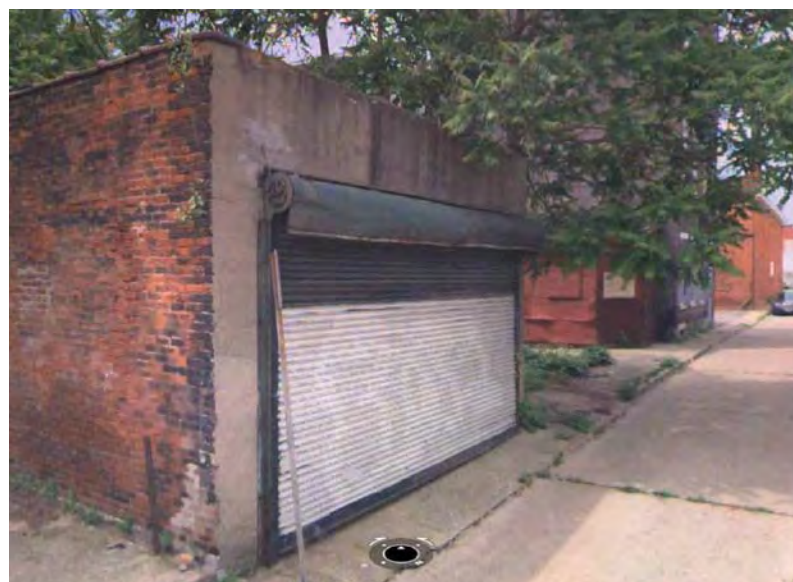
7 212 WADE STREET  
A0.2 PROPOSED RENOVATION & ADDITION



8 221 KEMP ALLEY  
A0.2 PROPOSED RENOVATION



9 223 KEMP ALLEY  
A0.2 PROPOSED DEMOLITION



10 227 KEMP ALLEY  
A0.2 PROPOSED RENOVATION & ADDITION



11 229 KEMP ALLEY  
A0.2 PROPOSED RENOVATION



12 229 KEMP ALLEY  
A0.2 PROPOSED DEMOLITION OF 1-STORY SHED

HILLMAN POINT OTR  
Residential Development  
206-212 WADE STREET & 221-229 KEMP ALLEY  
CINCINNATI, OHIO 45202

ISSUE / DATE:		DRAWING SET	CERTIFICATE OF APPROPRIATENESS
#	DATE		
1	SEP 01, 2015		

BUILDING IMAGES



1 AERIAL VIEW OF PROJECT SITE  
A0.3 WADE ST. & KEMP ALLEY



2 VIEW OF WADE STREET LOOKING EAST  
A0.3 FROM CENTRAL PARKWAY



3 VIEW OF KEMP ALLEY LOOKING SOUTH  
A0.3 FROM LIBERTY STREET



4 VIEW OF KEMP ALLEY LOOKING SOUTHEAST  
A0.3 FROM CENTRAL PARKWAY & LIBERTY

HILLMAN POINT OTR  
Residential Development  
206-212 WADE STREET & 221-229 KEMP ALLEY  
CINCINNATI, OHIO 45202

ISSUE / DATE:

#	DATE	DRAWING SET	CERTIFICATE OF APPROPRIATENESS
1	SEP 01, 2015		

SITE IMAGES

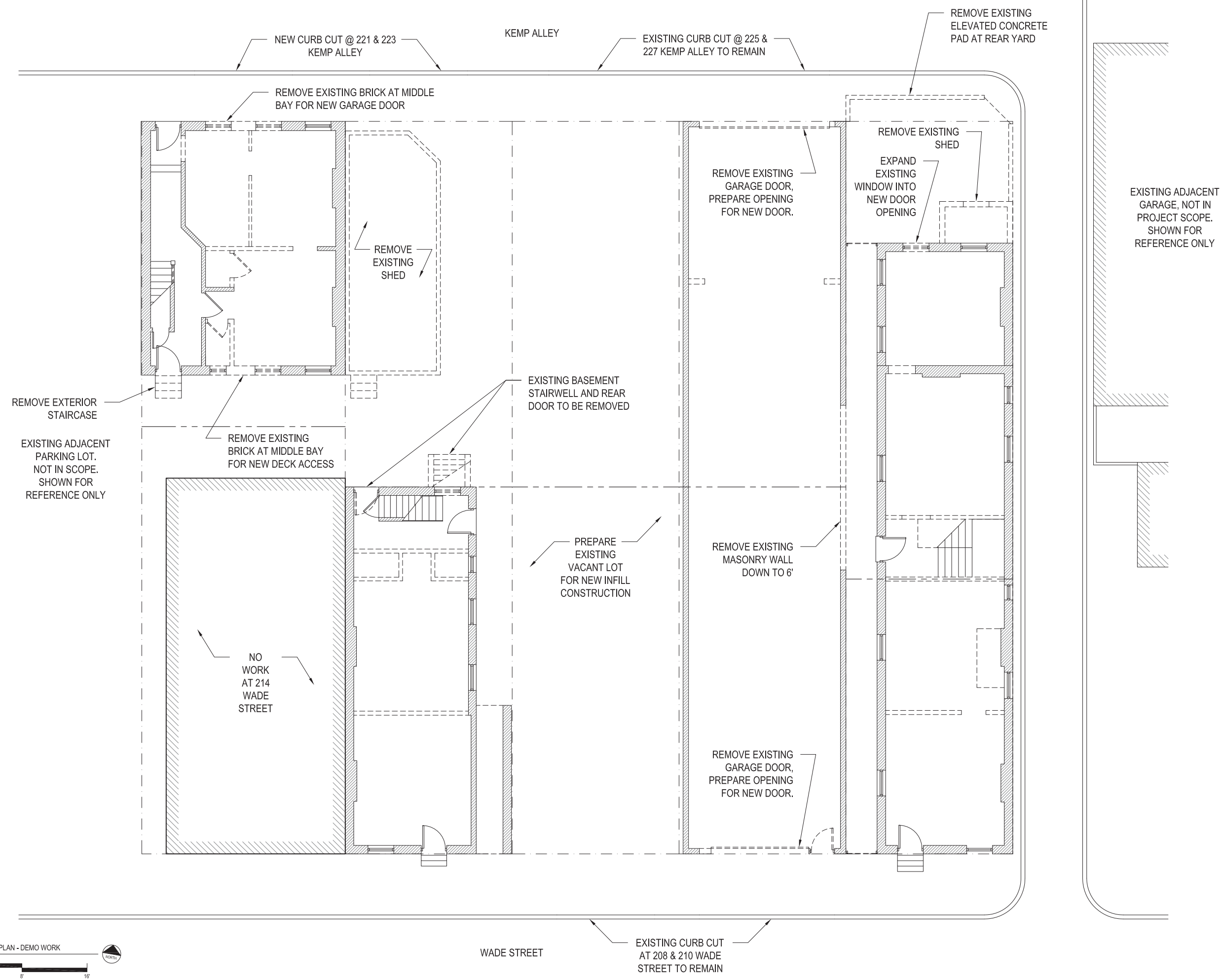
HILLMAN POINT OTR  
Residential Development  
206-212 WADE STREET & 221-229 KEMP ALLEY  
CINCINNATI, OHIO 45202

ISSUE / DATE:

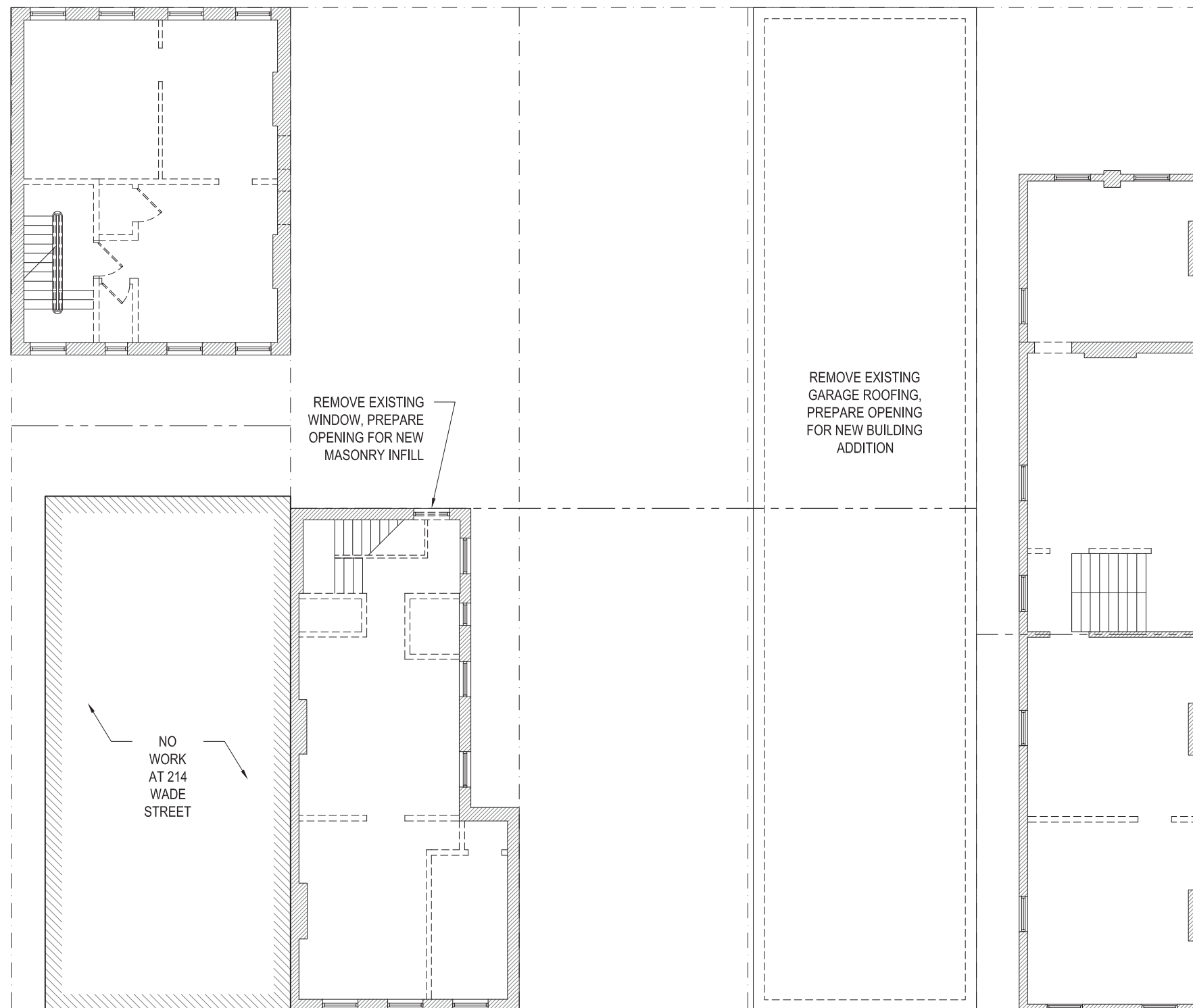
#	DATE	DRAWING SET	CERTIFICATE OF APPROPRIATENESS
1	SEP 01, 2015		

FIRST FLOOR PLAN  
DEMO WORK

A1.1



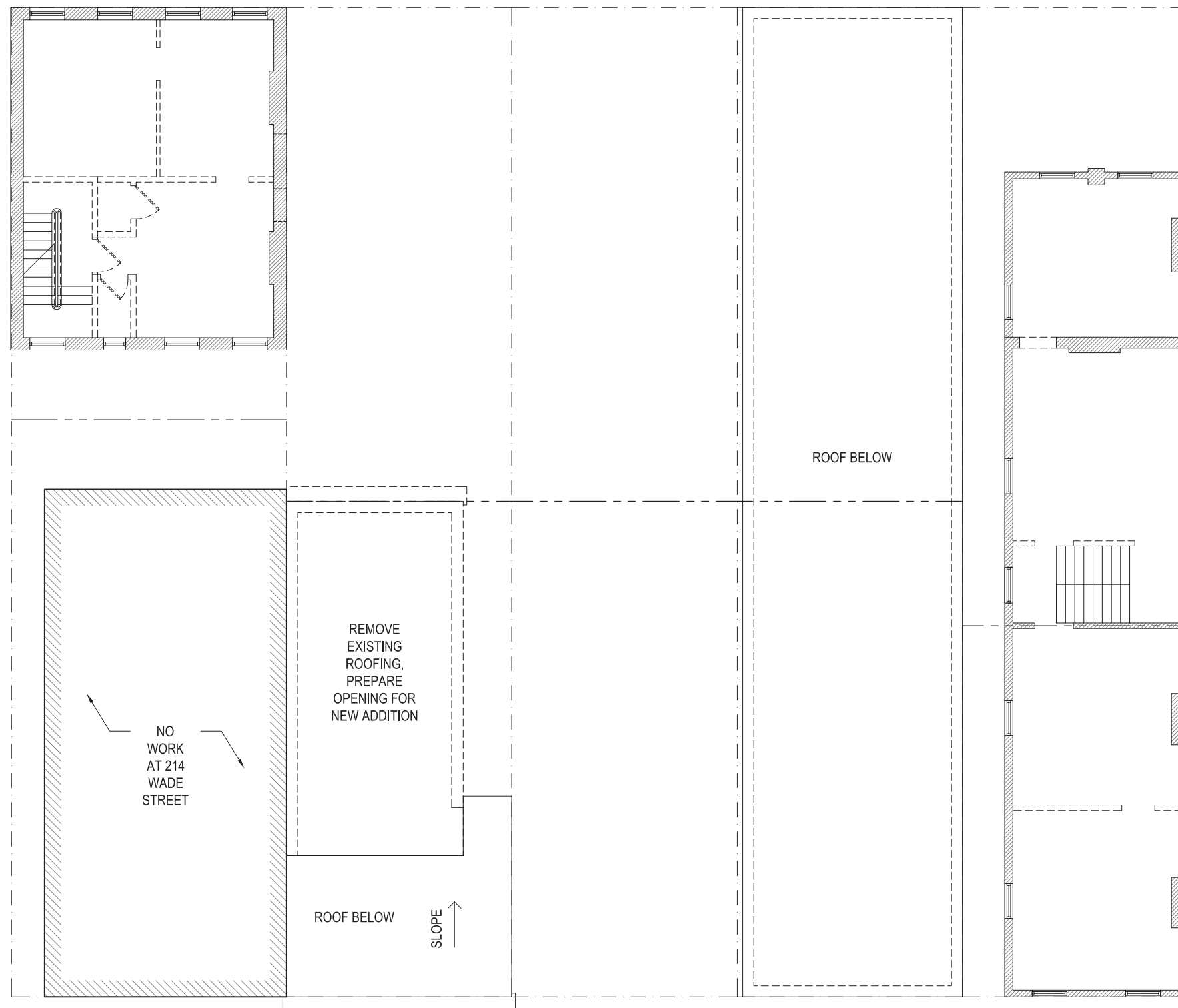
1 FIRST FLOOR PLAN - DEMO WORK  
A1.1



HILLMAN POINT OTR  
Residential Development  
206-212 WADE STREET & 221-229 KEMP ALLEY  
CINCINNATI, OHIO 45202

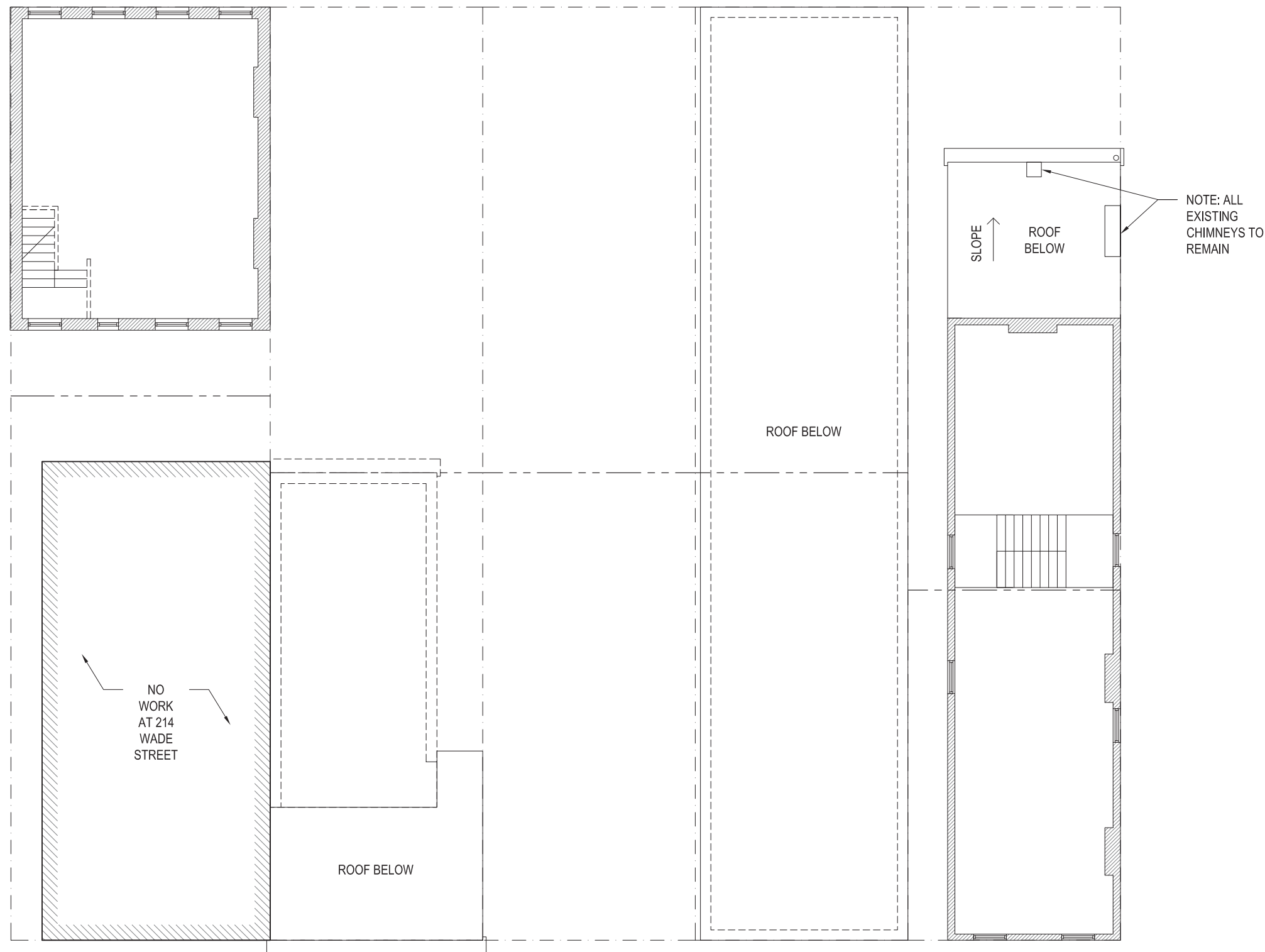
ISSUE / DATE:

#	DATE	DRAWING SET	CERTIFICATE OF APPROPRIATENESS
1	SEP 01, 2015		



HILLMAN POINT OTR  
Residential Development  
206-212 WADE STREET & 221-229 KEMP ALLEY  
CINCINNATI, OHIO 45202

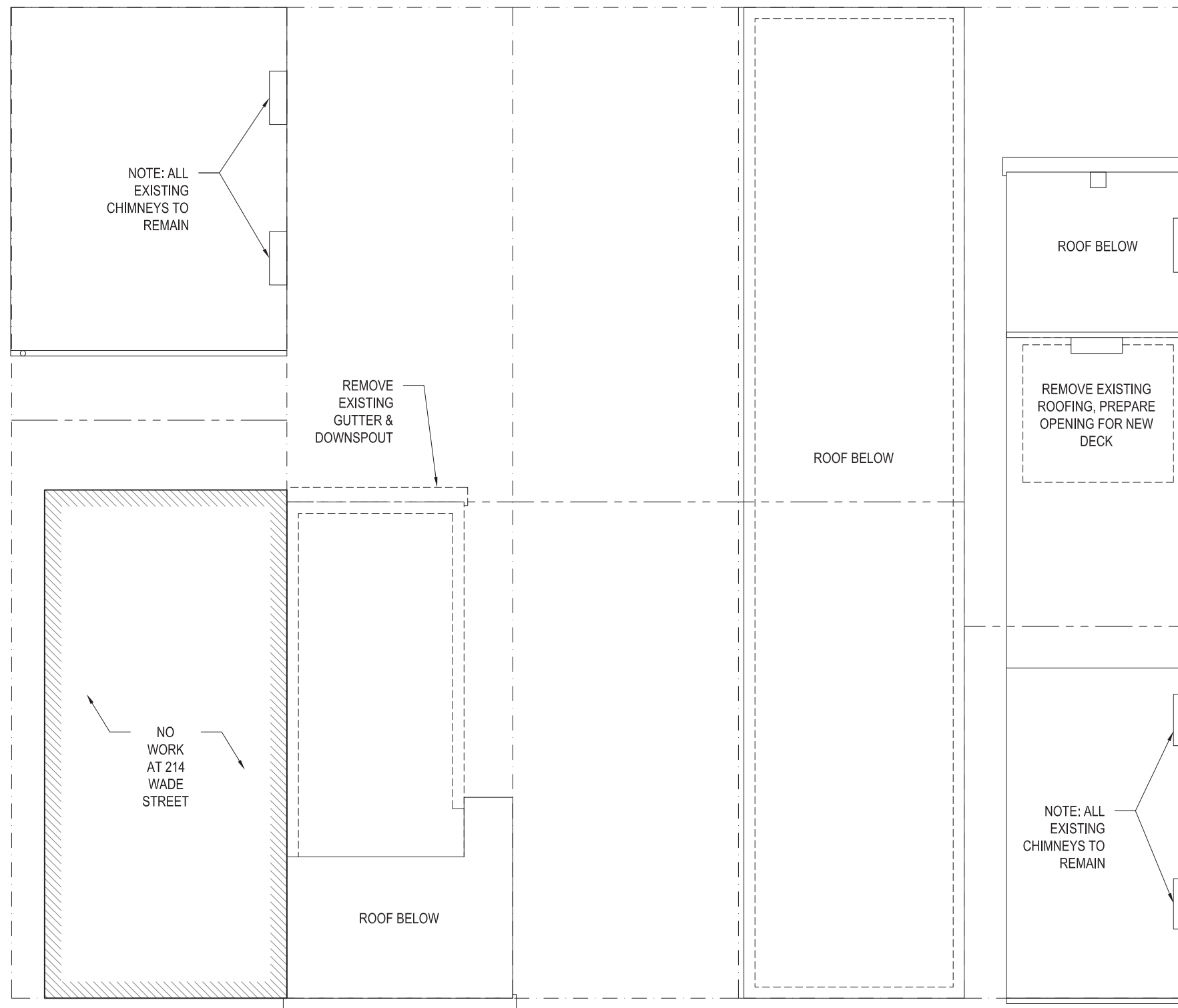
ISSUE / DATE:		DRAWING SET
#	DATE	CERTIFICATE OF APPROPRIATENESS
1	SEP 01, 2015	



HILLMAN POINT OTR  
Residential Development  
206-212 WADE STREET & 221-229 KEMP ALLEY  
CINCINNATI, OHIO 45202

ISSUE / DATE:		DRAWING SET
#	DATE	CERTIFICATE OF APPROPRIATENESS
1	SEP 01, 2015	

ATTIC LEVEL PLAN  
DEMO WORK

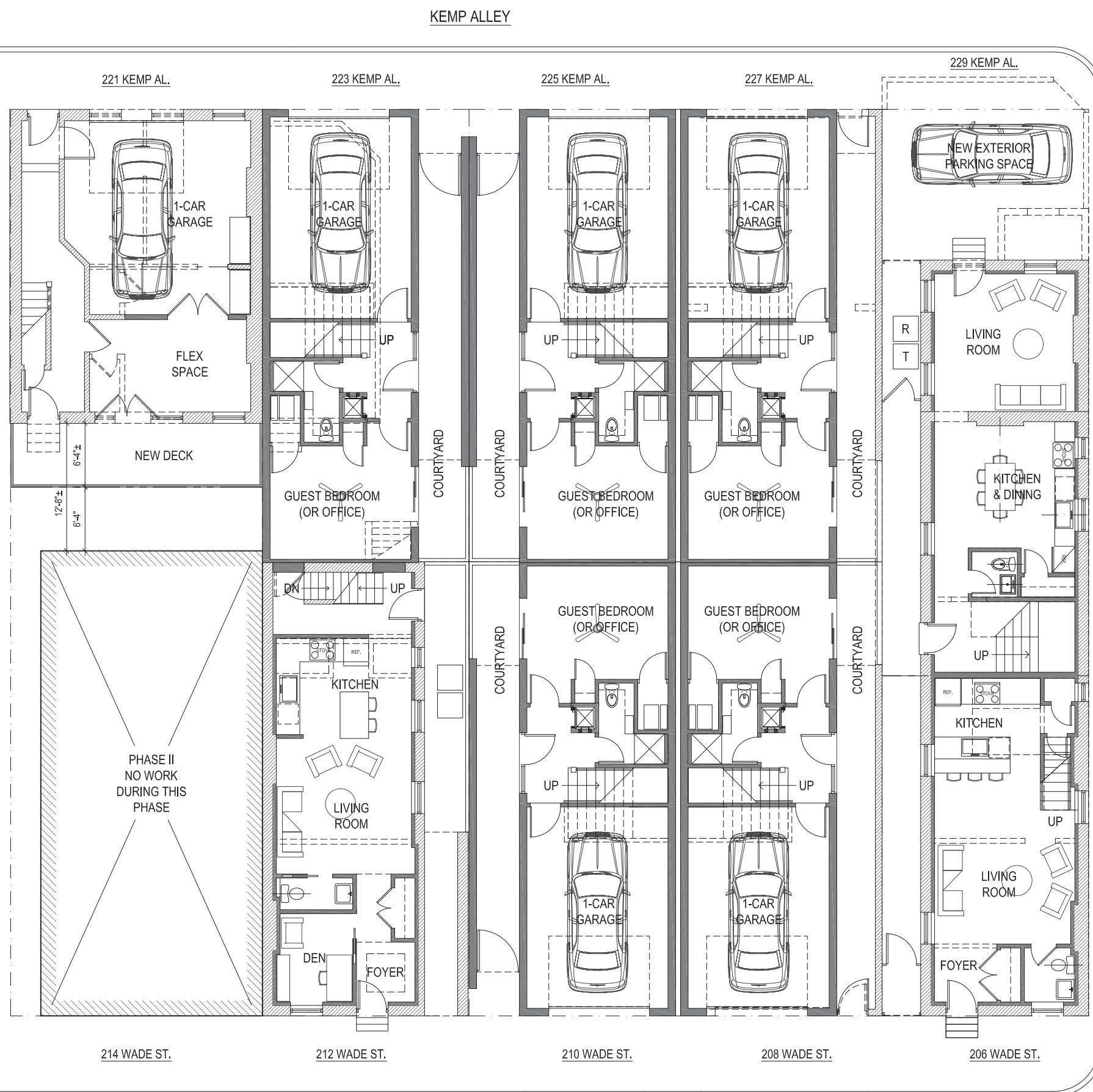


HILLMAN POINT OTR  
Residential Development  
206-212 WADE STREET & 221-229 KEMP ALLEY  
CINCINNATI, OHIO 45202

ISSUE / DATE:

#	DATE	DRAWING SET	CERTIFICATE OF APPROPRIATENESS
1	SEP 01, 2015		

ISSUE / DATE:	#	DATE	DRAWING SET	CERTIFICATE OF APPROPRIATENESS
	1	SEP 01, 2015		



KEMP ALLEY

221 KEMP AL.

223 KEMP AL.

225 KEMP AL.

227 KEMP AL.

229 KEMP AL.

12'-8"±  
6'-4"±

214 WADE ST.

212 WADE ST.

210 WADE ST.

208 WADE ST.

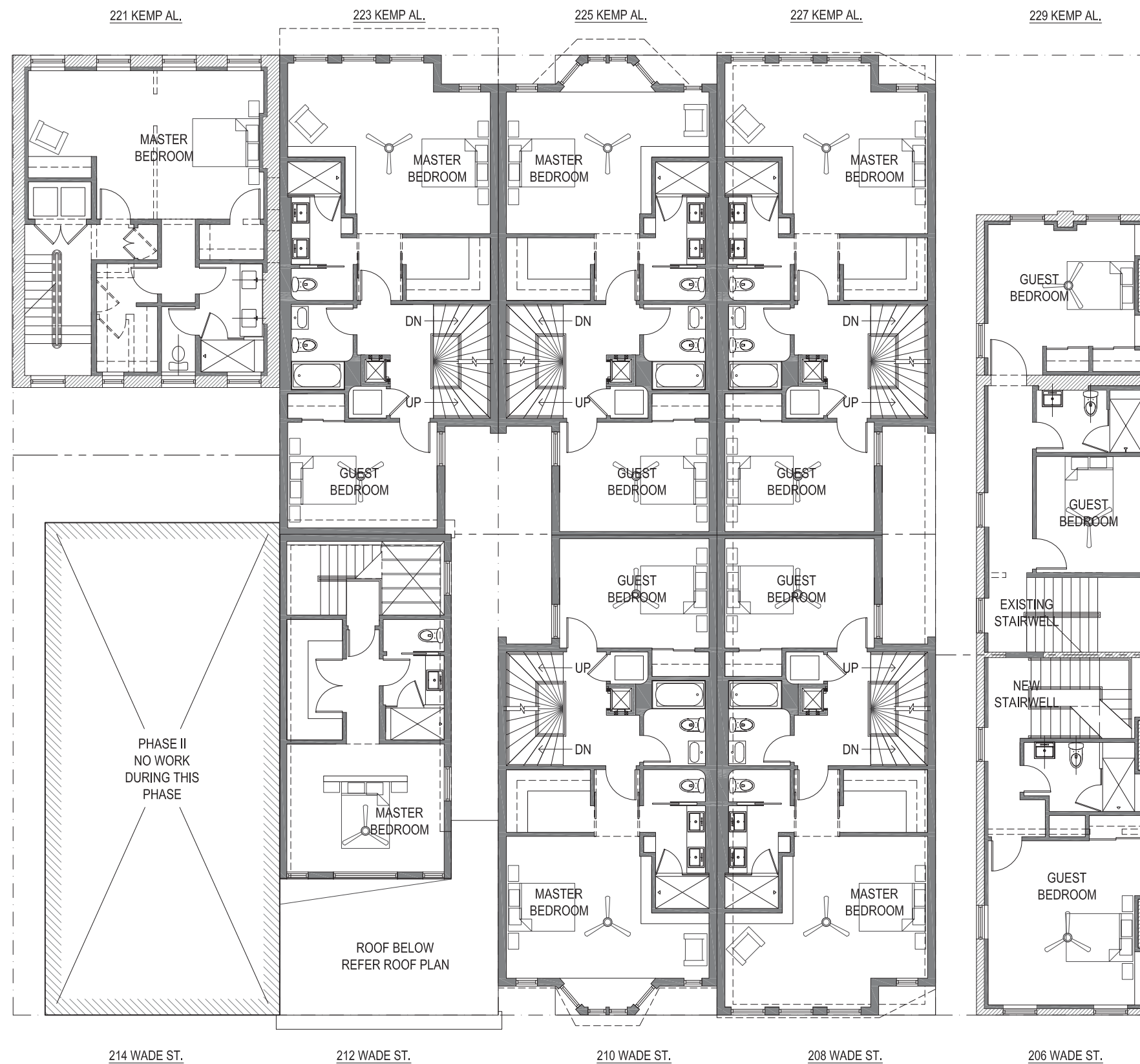
206 WADE ST.

WADE STREET



HILLMAN POINT OTR  
Residential Development  
206-212 WADE STREET & 221-229 KEMP ALLEY  
CINCINNATI, OHIO 45202

ISSUE / DATE:	#	DATE	DRAWING SET	CERTIFICATE OF APPROPRIATENESS
	1	SEP 01, 2015		



HILLMAN POINT OTR  
Residential Development  
206-212 WADE STREET & 221-229 KEMP ALLEY  
CINCINNATI, OHIO 45202

ISSUE / DATE:		DRAWING SET	CERTIFICATE OF APPROPRIATENESS
#	DATE		
1	SEP 01, 2015		

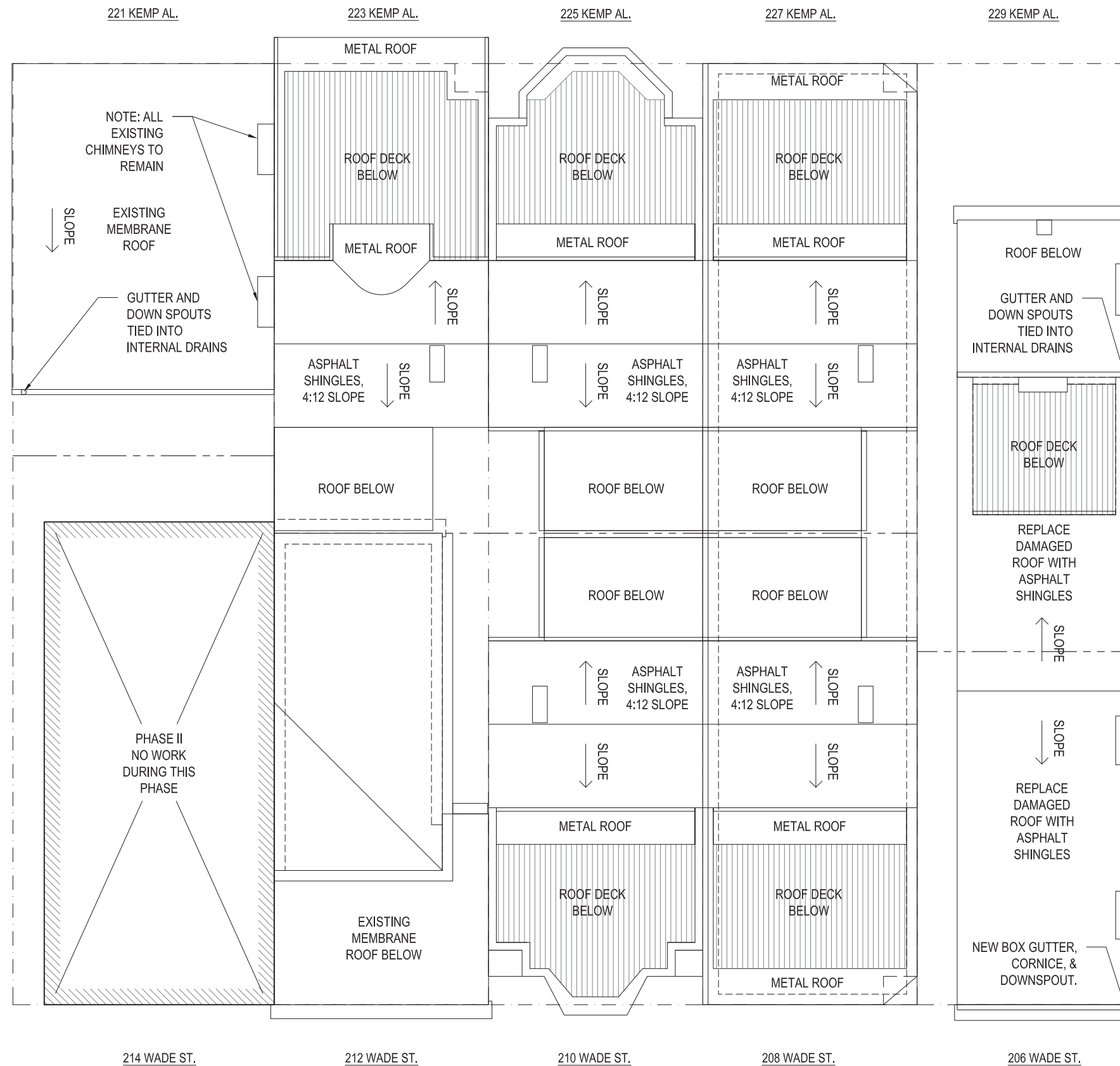
THIRD FLOOR PLAN  
PROPOSED WORK



HILLMAN POINT OTR  
Residential Development  
206-212 WADE STREET & 221-229 KEMP ALLEY  
CINCINNATI, OHIO 45202

ISSUE / DATE:		DRAWING SET	CERTIFICATE OF APPROPRIATENESS
#	DATE		
1	SEP 01, 2015		

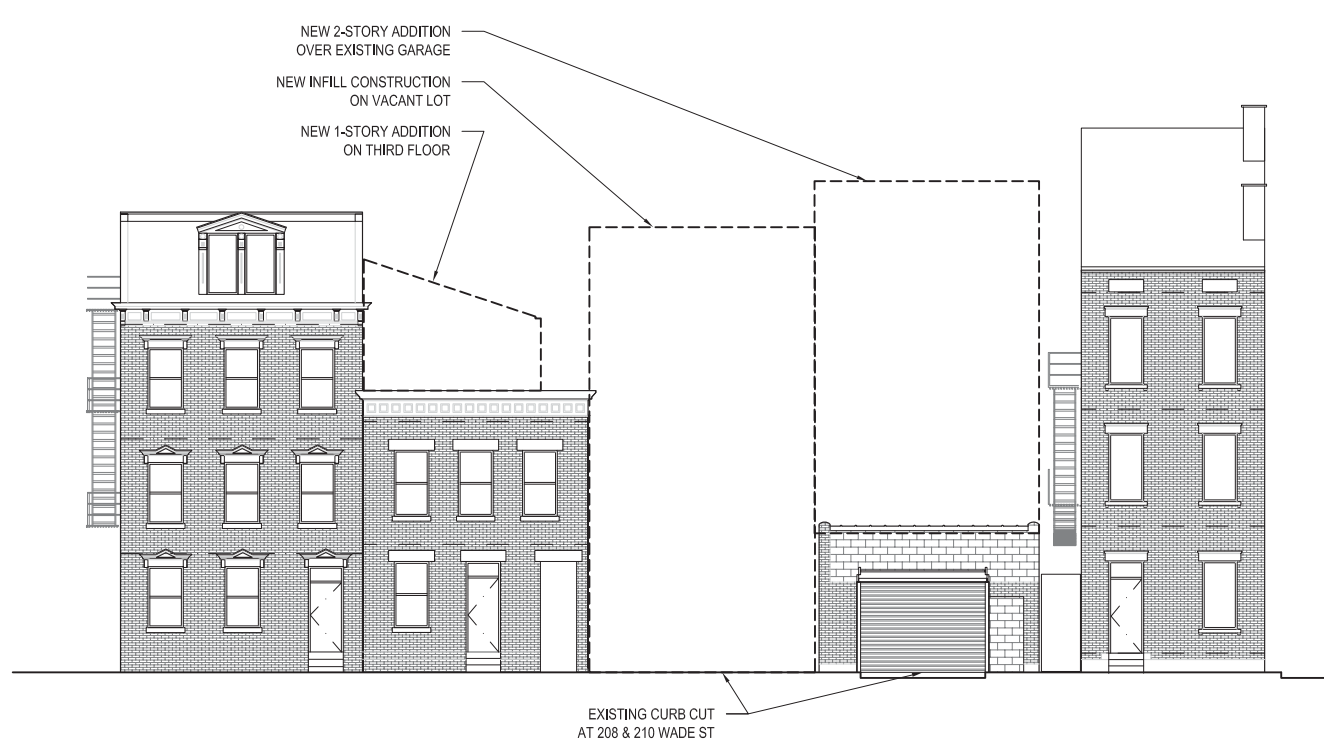
FOURTH FLOOR PLAN  
PROPOSED WORK



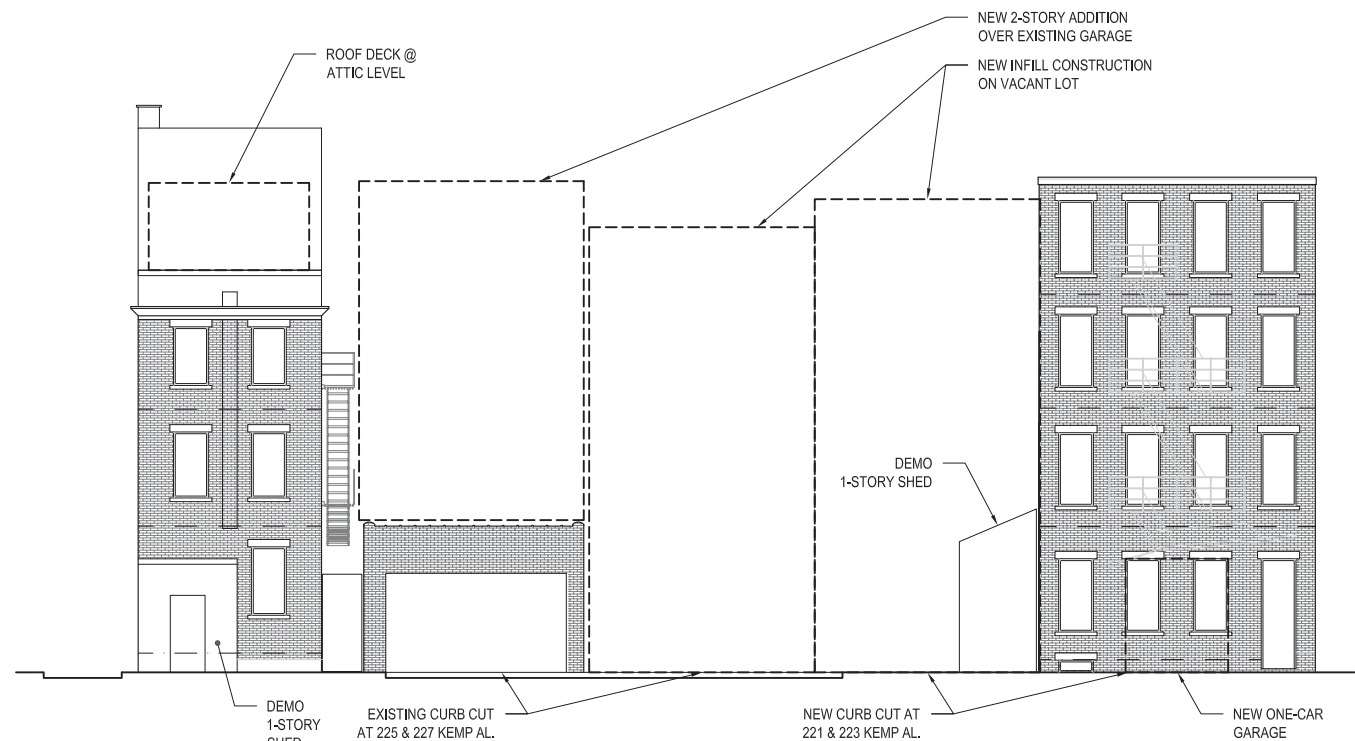
HILLMAN POINT OTR  
Residential Development  
206-212 WADE STREET & 221-229 KEMP ALLEY  
CINCINNATI, OHIO 45202

ISSUE / DATE:	#	DATE	DRAWING SET	CERTIFICATE OF APPROPRIATENESS
	1	SEP 01, 2015		

ROOF LEVEL PLAN  
PROPOSED WORK



1 EXISTING WADE STREET ELEVATION  
 A3.0 1/8" = 1'-0"



2 EXISTING KEMP ALLEY ELEVATION  
 A3.0 1/8" = 1'-0"



3 PROPOSED WADE STREET ELEVATION  
 A3.0 1/8" = 1'-0"

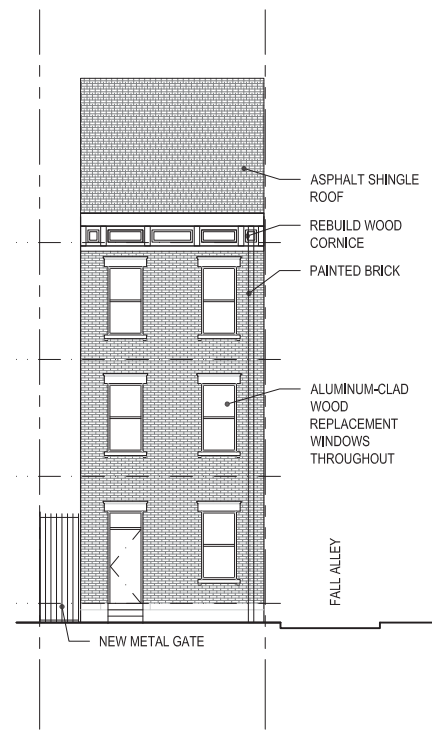


4 PROPOSED KEMP ALLEY ELEVATION  
 A3.0 1/8" = 1'-0"

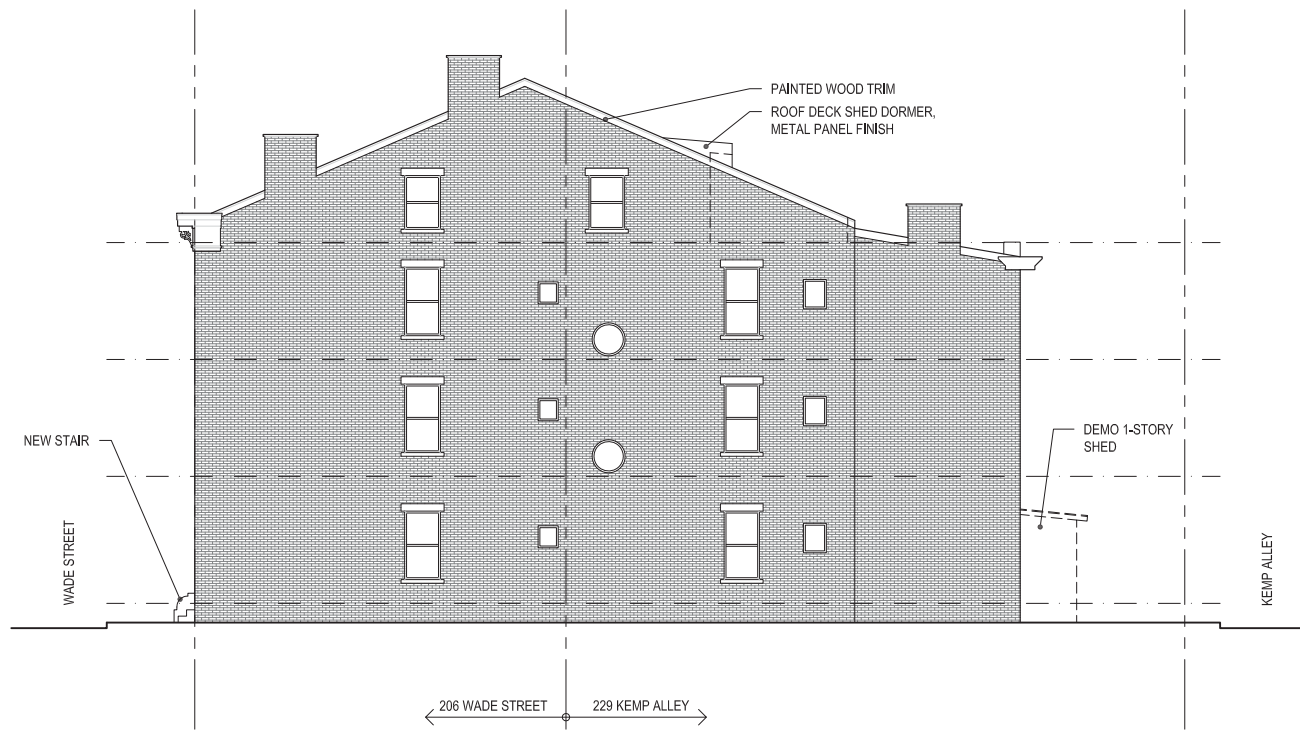
HILLMAN POINT OTR  
 Residential Development  
 206-212 WADE STREET & 221-229 KEMP ALLEY  
 CINCINNATI, OHIO 45202

ISSUE / DATE:	#	DATE	DRAWING SET	CERTIFICATE OF APPROPRIATENESS
	1	SEP 01, 2015		

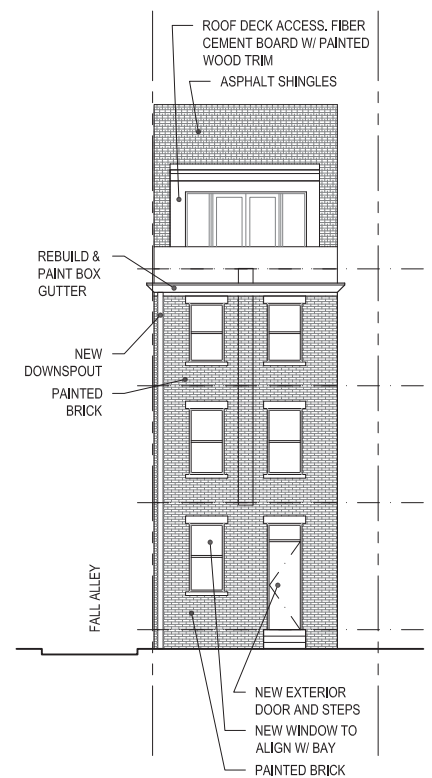
BUILDING ELEVATIONS  
 PROJECT OVERVIEW



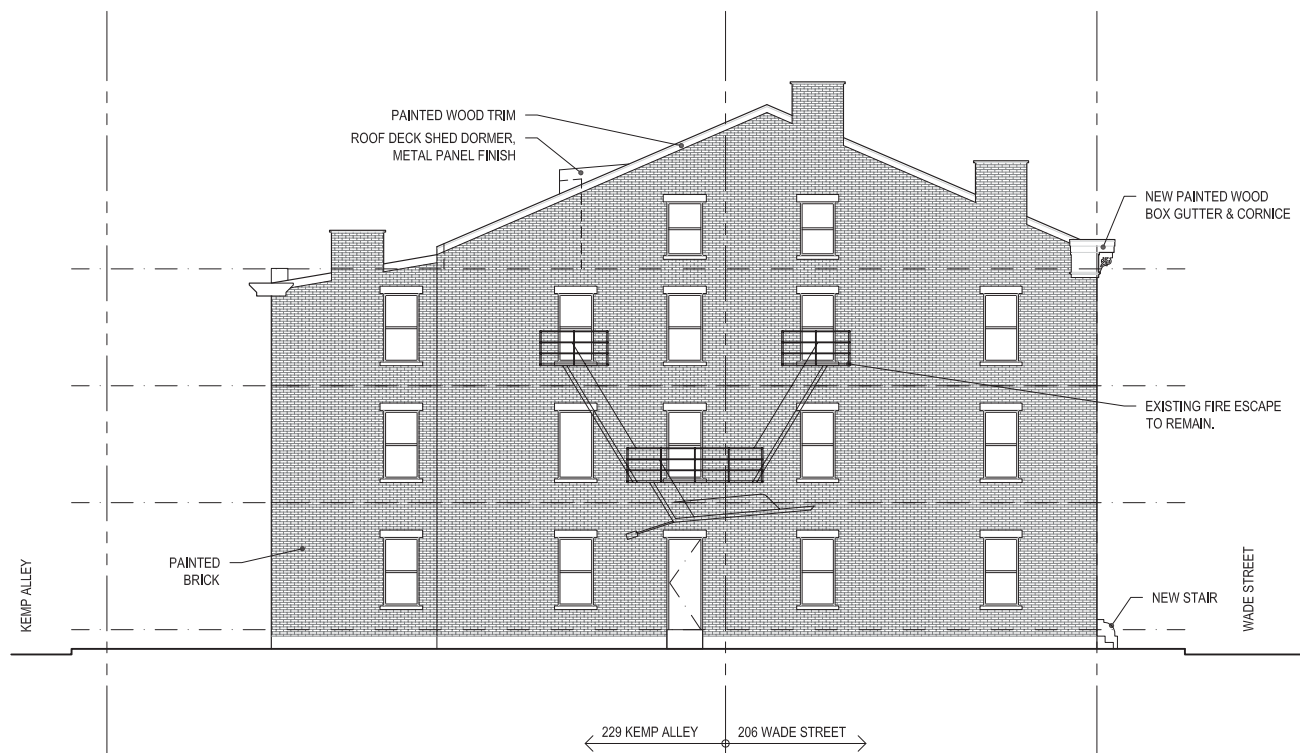
1 SOUTH ELEVATION (WAIDE ST.)  
A3.1 1/8" = 1'-0"  
0 4' 8' 16'



2 EAST ELEVATION  
A3.1 1/8" = 1'-0"  
0 4' 8' 16'



3 NORTH ELEVATION (KEMP AL.)  
A3.1 1/8" = 1'-0"  
0 4' 8' 16'



4 WEST ELEVATION  
A3.1 1/8" = 1'-0"  
0 4' 8' 16'

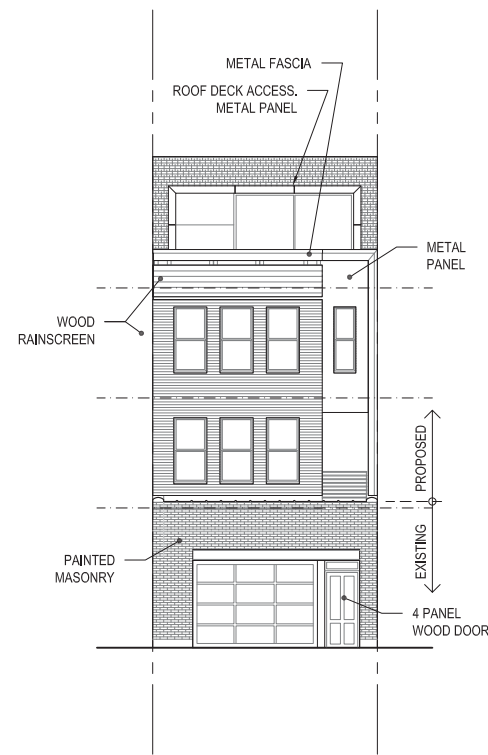
Elevation Key



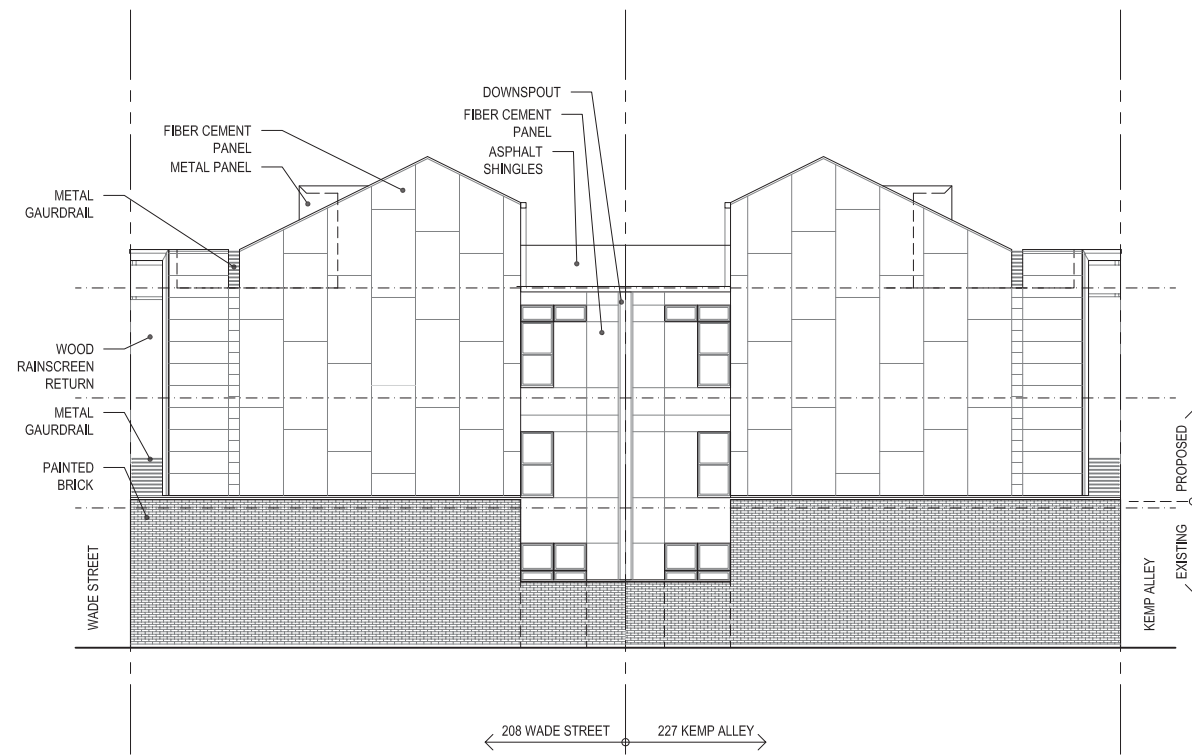
HILLMAN POINT OTR  
Residential Development  
206-212 WAIDE STREET & 221-229 KEMP ALLEY  
CINCINNATI, OHIO 45202

ISSUE / DATE	#	DATE	DRAWING SET	CERTIFICATE OF APPROPRIATENESS
	1	SEP 01, 2015		

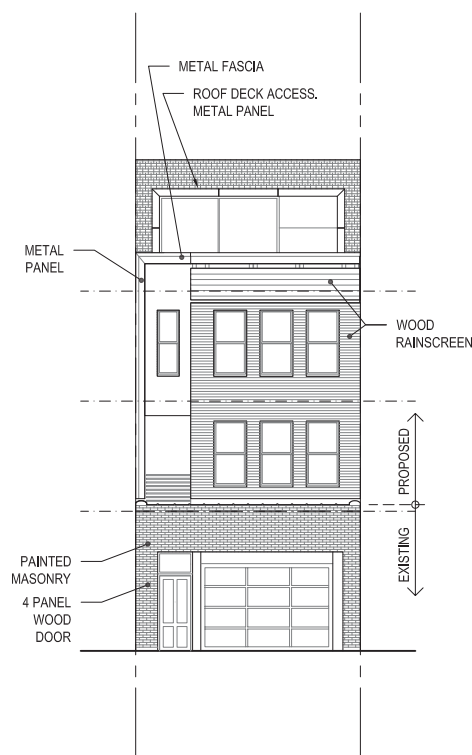
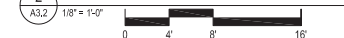
BUILDING ELEVATIONS  
206 WAIDE STREET &  
229 KEMP ALLEY



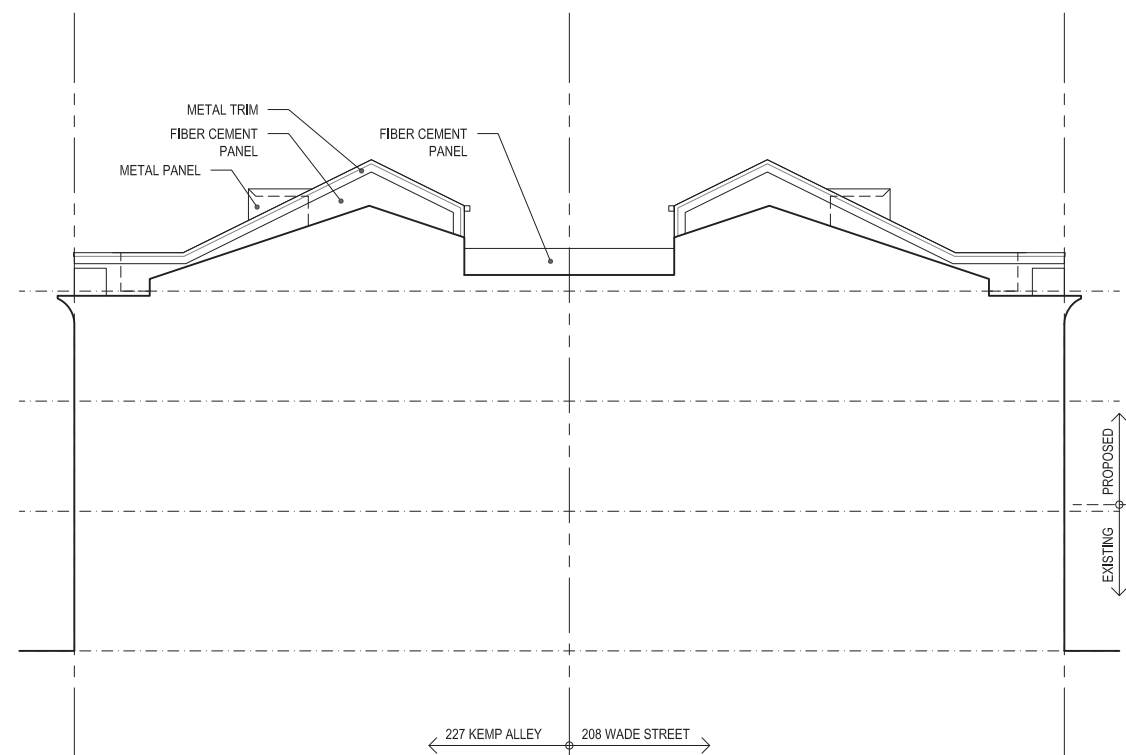
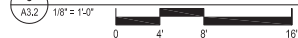
1 SOUTH ELEVATION (WAIDE ST.)



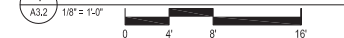
2 EAST ELEVATION



3 NORTH ELEVATION (KEMP AL.)



4 WEST ELEVATION



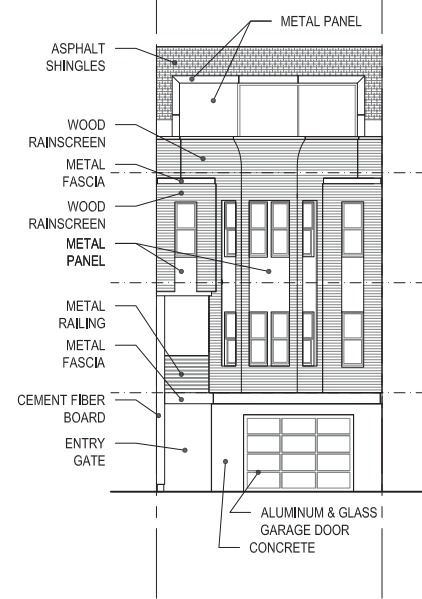
Elevation Key



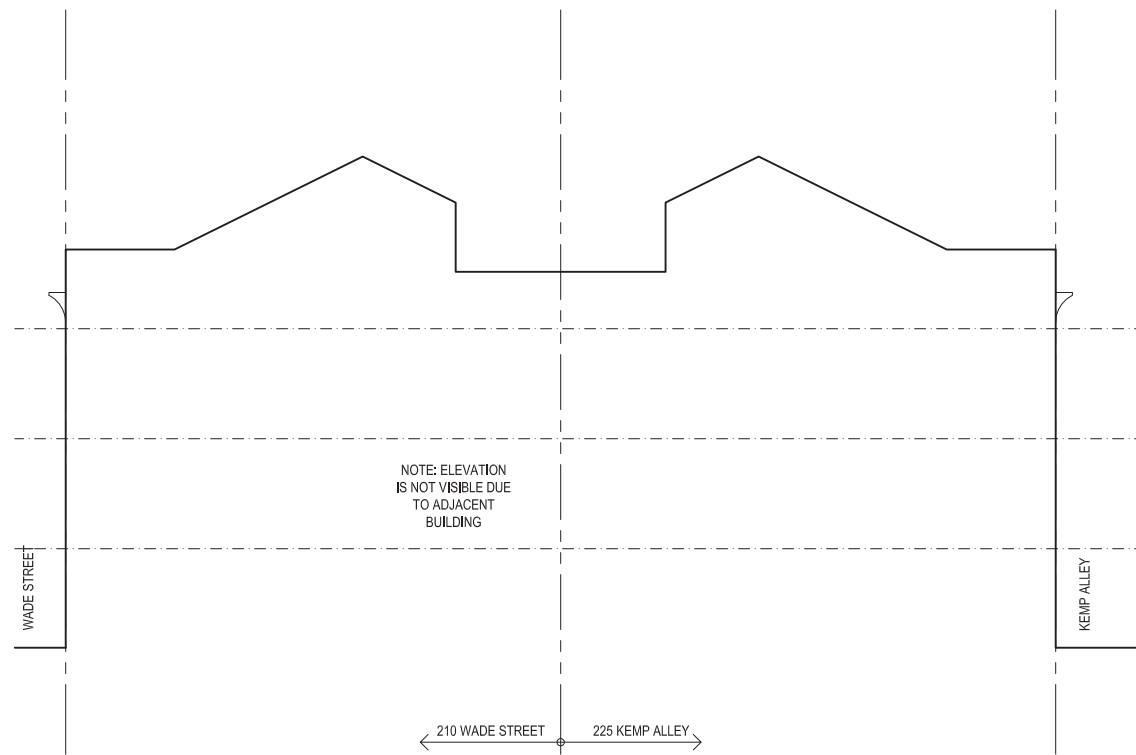
HILLMAN POINT OTR  
Residential Development  
206-212 WAIDE STREET & 221-229 KEMP ALLEY  
CINCINNATI, OHIO 45202

ISSUE / DATE:		DRAWING SET	CERTIFICATE OF APPROPRIATENESS
#	DATE		
1	SEP 01, 2015		

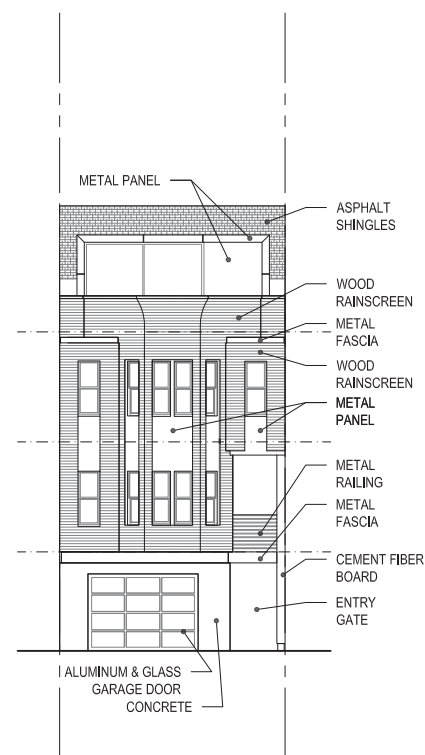
BUILDING ELEVATIONS  
208 WAIDE STREET &  
227 KEMP ALLEY



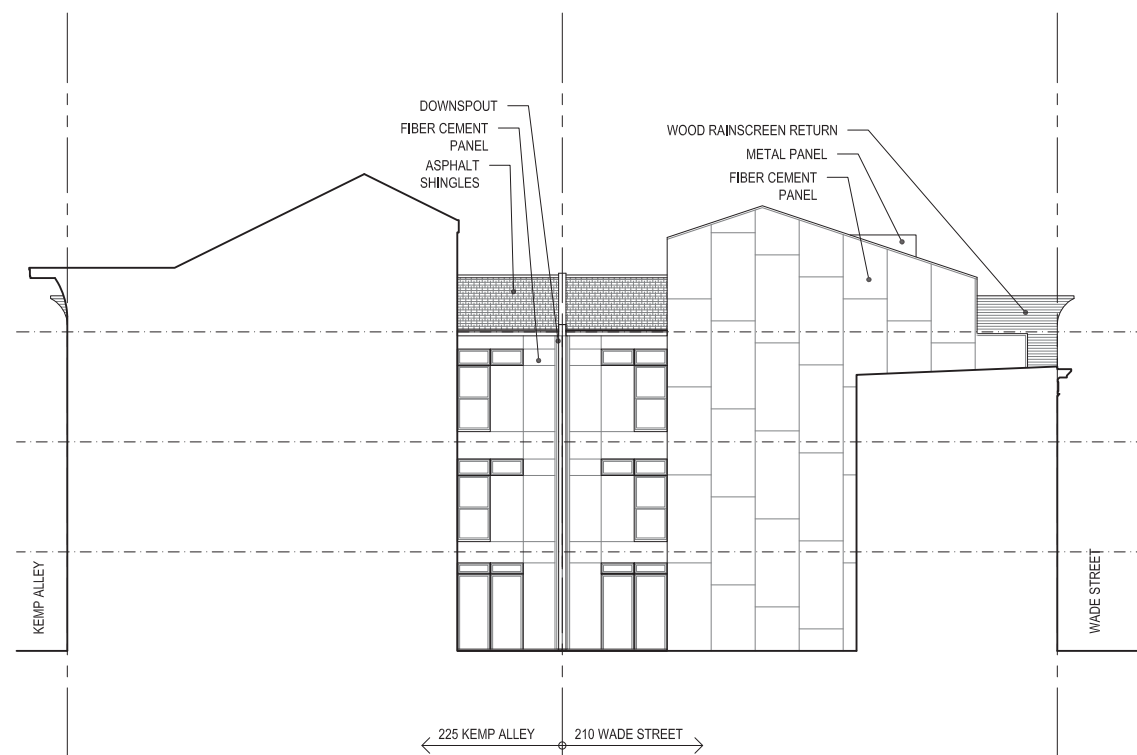
1 SOUTH ELEVATION (WAIDE ST.)  
A3.2 1/8" = 1'-0"



2 EAST ELEVATION  
A3.2 1/8" = 1'-0"



3 NORTH ELEVATION (KEMP AL.)  
A3.2 1/8" = 1'-0"



4 WEST ELEVATION  
A3.2 1/8" = 1'-0"

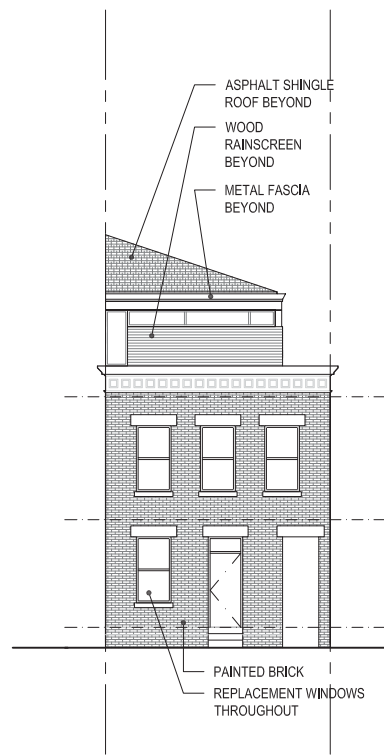
Elevation Key



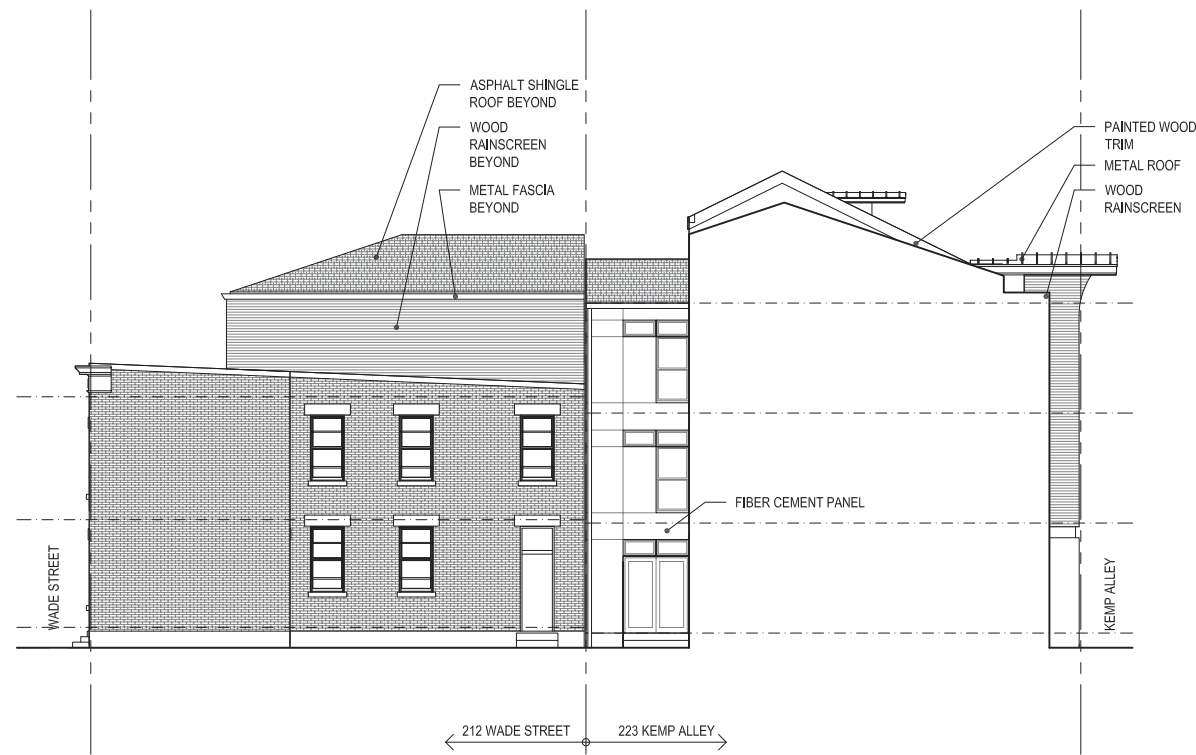
HILLMAN POINT OTR  
Residential Development  
206-212 WADE STREET & 221-229 KEMP ALLEY  
CINCINNATI, OHIO 45202

ISSUE / DATE:		DRAWING SET	CERTIFICATE OF APPROPRIATENESS
#	DATE		
1	SEP 01, 2015		

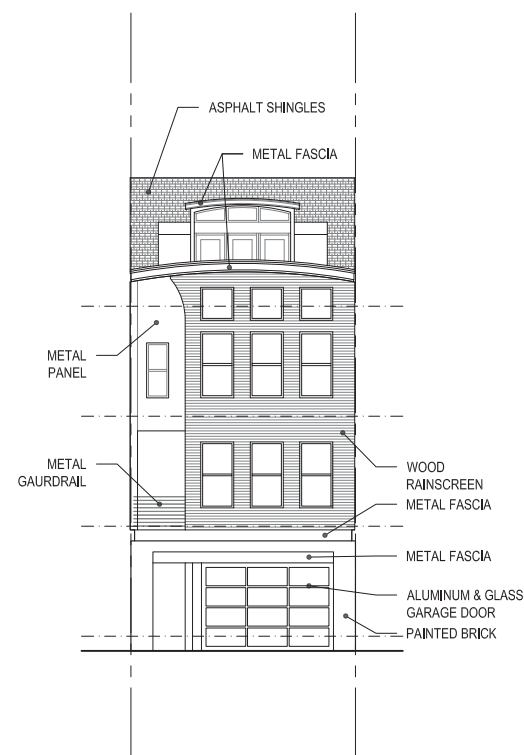
BUILDING ELEVATIONS  
210 WADE STREET &  
225 KEMP ALLEY



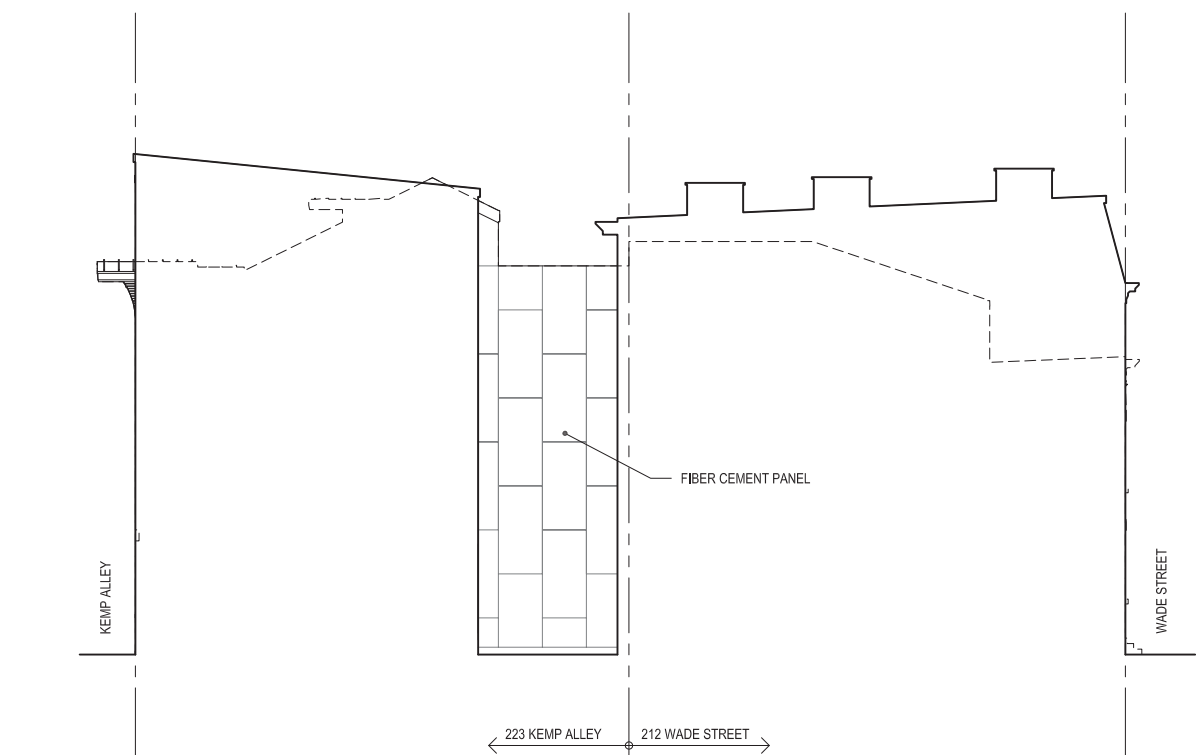
1 SOUTH ELEVATION (WAIDE ST.)  
A3.4 1/8" = 1'-0"  
0 4' 8' 16'



2 EAST ELEVATION  
A3.4 1/8" = 1'-0"  
0 4' 8' 16'



3 NORTH ELEVATION (KEMP AL.)  
A3.4 1/8" = 1'-0"  
0 4' 8' 16'



4 WEST ELEVATION  
A3.4 1/8" = 1'-0"  
0 4' 8' 16'

Elevation Key

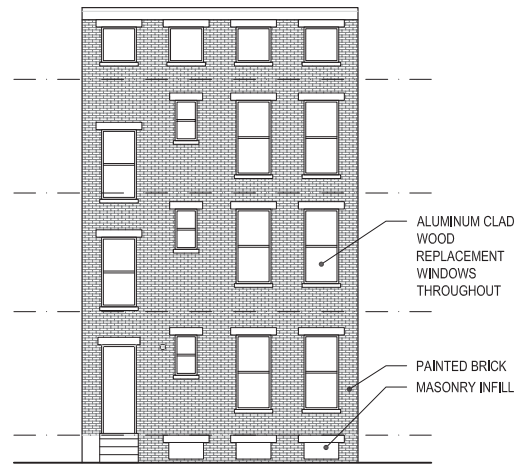


HILLMAN POINT OTR  
Residential Development  
206-212 WAIDE STREET & 221-229 KEMP ALLEY  
CINCINNATI, OHIO 45202

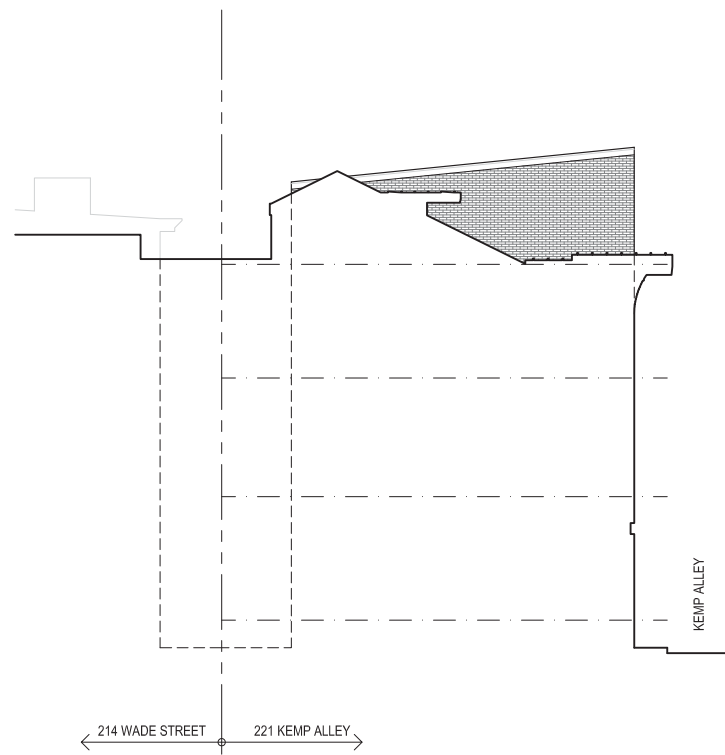
ISSUE / DATE:

#	DATE	DRAWING SET	CERTIFICATE OF APPROPRIATENESS
1	SEP 01, 2015		

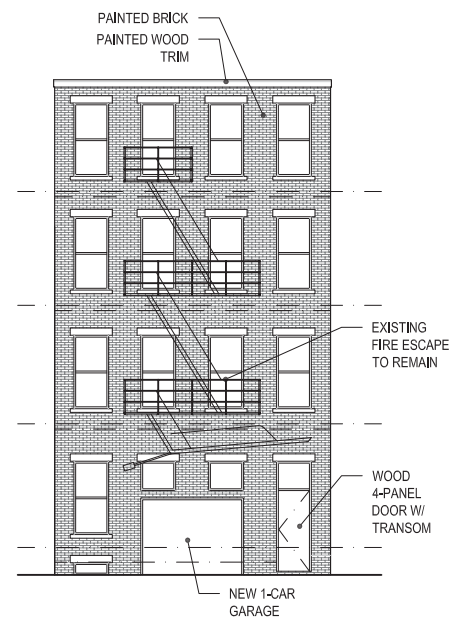
BUILDING ELEVATIONS  
212 WAIDE STREET &  
223 KEMP ALLEY



1 SOUTH ELEVATION  
A3.5 1/8" = 1'-0"  
0 4' 8' 16'



2 EAST ELEVATION  
A3.5 1/8" = 1'-0"  
0 4' 8' 16'



3 NORTH ELEVATION (KEMP AL.)  
A3.5 1/8" = 1'-0"  
0 4' 8' 16'



4 WEST ELEVATION  
A3.5 1/8" = 1'-0"  
0 4' 8' 16'

Elevation Key



HILLMAN POINT OTR  
Residential Development  
206-212 WADE STREET & 221-229 KEMP ALLEY  
CINCINNATI, OHIO 45202

ISSUE / DATE	#	DATE	DRAWING SET	CERTIFICATE OF APPROPRIATENESS
	1	SEP 01, 2015		

BUILDING ELEVATIONS  
221 KEMP ALLEY

## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

APPLICATION #: N/A  
APPLICANT: Matthew Schottelkotte, Architect representing the owner

OWNER: Broadway Square III, LLC  
ADDRESS: **433 E. Thirteenth Street, Cincinnati OH 45202**  
PARCELS: 075-0003-0062-00 and 0063-00

ZONING: Residential Multi Family (RM 1.7)  
OVERLAYS: Over the Rhine Historic District  
COMMUNITY: Pendleton  
REPORT DATE: October 15, 2015  
HEARING DATE: Prehearing October 15, 2015 at 11:00 AM  
STAFF REVIEW: Angie Strunc, City Interim Urban Conservator

---

---

### **Nature of Request:**

The applicant is requesting a Certificate of Appropriateness for rehabilitation of an existing (12) unit residential building to support an (8) unit residential building with ground floor commercial space.

### **Existing Conditions:**

This property is located at the southwest corner of E. 13<sup>th</sup> Street and Pendleton Street. It is an existing masonry building, four story plus attic fronting E. 13th Street.

### **Proposed Conditions:**

The proposal is to rehabilitate the existing structure currently used as a twelve unit residential into an eight unit residential with a first floor commercial space that is more historically accurate to the building use. There are both interior and exterior scopes of work. The proposal also includes new roof top mechanical units not visible from the adjacent right of way.

The renovation of the building will feature the following:

1. Placement of new metal clad wood windows in existing masonry openings. 2/2 double hung replacement throughout with fixed windows in the attic.
2. Non-original brick infill with residential windows along the first floor north and east facades will be removed and new storefront in existing original masonry openings will be installed. With evidence of a corner cast iron column, a clipped storefront entry will be reintroduced with this proposal
3. Repair and tuck-pointing of existing masonry walls and exterior stone as needed.
4. New asphalt shingles on the roof; including cornice and box gutter repair.
5. Four panel metal exterior doors in existing masonry openings.

6. Interior renovation for tenant finish.

**Previous Reviews: N/A**

**Applicable Zoning Code Sections:**

Zoning District:           Section 1405           Residential Multi-Family District  
Multi-family Dwelling – Permitted Use  
Commercial – Limited Permitted Use

Variance Request:    N/A  
Variance Authority:  
Variance Standard:

Overlays:                N/A

Historic District/Reg: [Over the Rhine Historic District](#)  
COA Standard:        [Section 1435-09-2](#)   Certificate of Appropriateness; Standard of Review

**Details of Zoning Relief Required:** No zoning relief is sought. However, the applicant is purposefully taking an existing non-conforming structure of 12 dwelling units and reducing to 8 dwelling units, in closer conformity to the allowable number of dwelling units, 5. Staff supports this reduction in density.

**Certificate of Appropriateness Review**

This project substantially meets the guidelines for the Over-the-Rhine Historic District. The work involves appropriate window installations, restoration, and reintroduces first floor commercial as it was originally constructed.

While there is no current commercial tenant, the future commercial use of the structure will be limited by the current zoning code and any deviation from that allowable usage will require a zoning variance to be returned to the board. It should be noted that only a Food Market would be allowed by limitation on the property. Business Services, Offices, Personal Services are some of the generally acceptable uses, though limitations not present at this site would still require a variance. Eating and Drinking establishments of all types and Outdoor Patios, with or without Entertainment, are not noted as a permissible or conditional use in the RM 0.7 District. Given the Board’s recent concern regarding Eating and Drinking Establishments within the interior of neighborhoods, the Board may wish to express now if it would consider such a use at this location

In conversations with the owners, it appeared that the owners and staff believed Eating and Drinking establishments would not be appropriate at this location.

**Other Considerations:**

**Prehearing Results**

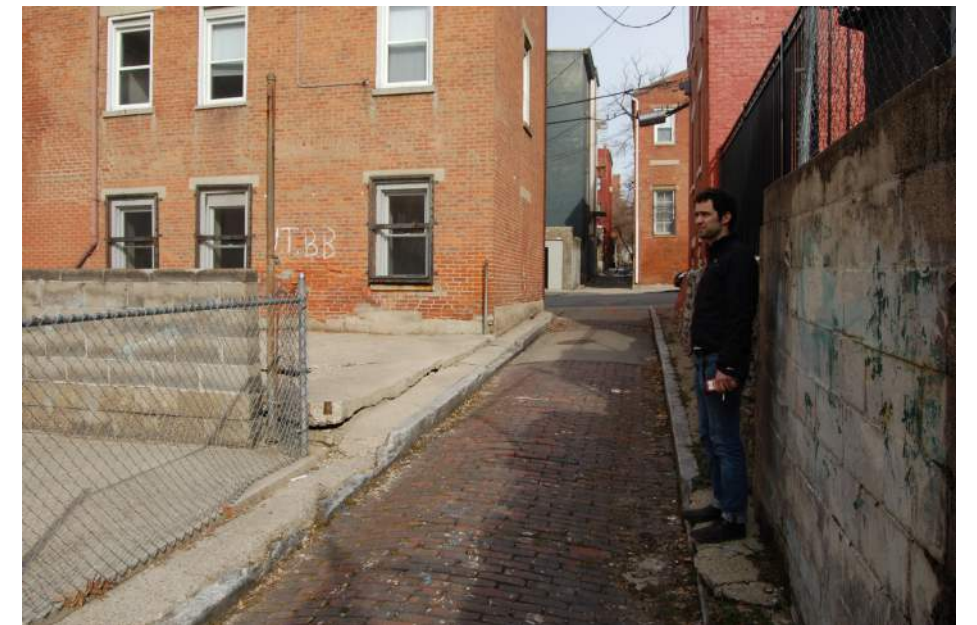
October 15, 2015 - Only the owner and architect were in attendance.

**Comments Provided to Staff: N/A**

**Recommendation:**

Staff recommends the Historic Conservation Board take the following actions:

1. a) **APPROVE** a Certificate of Appropriateness for the rehabilitation of 433 E. 13th Street per drawings submitted by GBBN dated 4/03/2015 including any revisions submitted for permit subject to the following conditions:
  1. The first floor commercial use in the future will be subject to board approval if the proposed use is not permitted under the current zoning code. The Board shall not consider Eating and Drinking Establishments within the designated Commercial Use space at this location because of the isolated nature of the property within the Pendleton neighborhood.
  2. Approval of the requested reduction in non-conformity of use on the property, allowing for an 8 dwelling unit building instead of 5 dwelling units per the RM 0.7 district.
  
- b) **FINDING:** The Board makes this determination per Section 1435-09-2:
  - (a) That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.



**EXISTING CONDITIONS**  
Model Group | 433 East 13th Street



# LINE OF SIGHT

Model Group | 433 East 13th Street: Looking South



## LINE OF SIGHT

Model Group | 433 East 13th Street: Looking West

# 433 EAST 13TH STREET

CINCINNATI, OH 45202



## Construction Documents

433 East 13th Street, Cincinnati, OH 45202

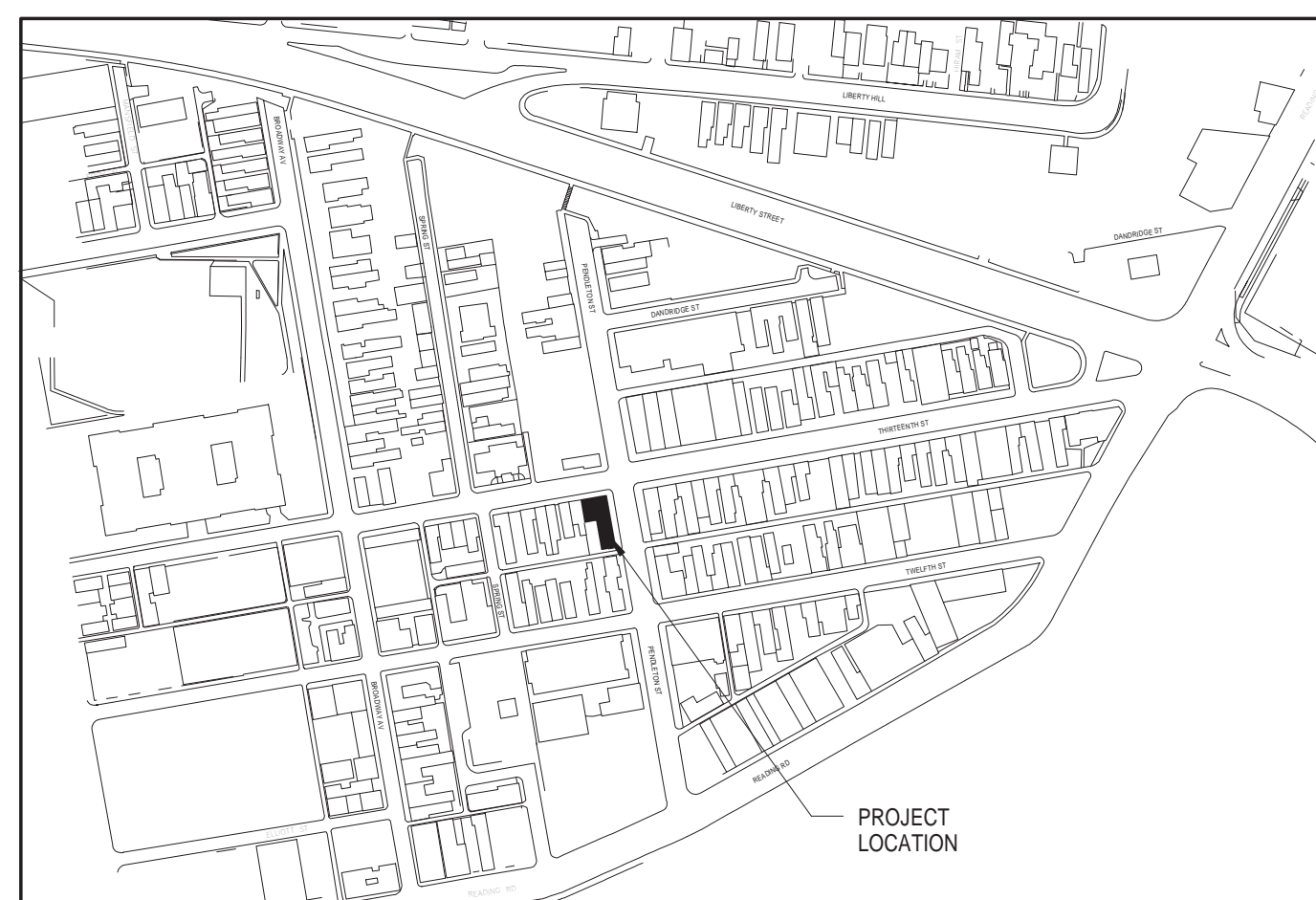
**Project Architect**  
GBBN Architects Inc.  
332 E. 8th St.  
Cincinnati, OH 45202-2217  
v 513-241-8700  
f 513-241-8873  
http://www.gbbn.com

**Owner/Developer**  
Model Group  
2170 Gilbert Avenue  
Cincinnati, OH 45206  
513-559-0048

**Structural Engineer**  
Advantage Group Engineers, Inc.  
660 Lincoln Avenue, Suite 305  
Cincinnati, OH 45206  
513-396-8900

**MEP Engineer**  
Engineered Building Systems, Inc.  
515 Monmouth Street, Suite 204  
Newport, KY 41071  
859-261-0585

### LOCATION MAP



### PROJECT INFORMATION

**1. PROJECT DESCRIPTION:**  
PROJECT IS THE RENOVATION OF AN EXISTING 4-STORY, 12 UNIT RESIDENTIAL BUILDING INTO A 8 UNIT RESIDENTIAL BUILDING. WORK INCLUDES COMPLETE INTERIOR RENOVATION INCLUDING ALL NEW MEPS, NEW PARTITIONS, NEW KITCHENS, BATHROOMS AND FINISHES.  
**HISTORIC TAX CREDIT CERTIFICATION IS BEING APPLIED FOR FOR THIS PROJECT**

**2. DESIGN CODE:**  
2011 OHIO BUILDING CODE  
CODE APPROACH: THE RENOVATION OF THIS EXISTING BUILDING WILL BE GOVERNED BY CHAPTER 34 "EXISTING STRUCTURES" AND MORE SPECIFICALLY UNDER SECTION 3403 "ADDITIONS, ALTERATIONS OR REPAIRS". ALTERATIONS AND ADDITIONS TO THIS BUILDING SHALL COMPLY WITH THE REQUIREMENTS OF THE CODE FOR NEW CONSTRUCTION. NONSTRUCTURAL ALTERATIONS OR REPAIRS ARE PERMITTED TO BE MADE OF THE SAME MATERIALS OF WHICH THE BUILDING IS CONSTRUCTED PROVIDED THEY DO NOT ADVERSELY AFFECT ANY STRUCTURAL MEMBER OR THE FIRE RESISTANCE RATING OF ANY PART OF THE BUILDING.

**3. ZONING DISTRICT:**  
RM 1.2

**4. USE GROUP:**  
EXISTING BASEMENT - S-1 (STORAGE)  
FIRST FLOOR - R-2 (RESIDENTIAL)  
SECOND FLOOR - R-2 (RESIDENTIAL)  
THIRD FLOOR - R-2 (RESIDENTIAL)  
FOURTH FLOOR - R-2 (RESIDENTIAL)

**PROPOSED** BASEMENT - S-1 (STORAGE)  
FIRST FLOOR - R-2 (RESIDENTIAL)  
SECOND FLOOR - R-2 (RESIDENTIAL)  
THIRD FLOOR - R-2 (RESIDENTIAL)  
FOURTH FLOOR - R-2 (RESIDENTIAL)

**5. SQUARE FOOTAGE**  
COMMERCIAL SPACE 1ST FLOOR - 995 SF  
BUSINESS OCCUPANCY - 11 TOTAL OCCUPANTS  
2 PARKING SPOTS PROVIDED  
1 HR SEPARATION

UNIT 101 - 900 SF  
UNIT 201 - 910 SF  
UNIT 202 - 525 SF  
UNIT 203 - 675 SF

UNIT 301 - 904 SF  
UNIT 302 - 1,100 SF  
UNIT 303 - 1,325 SF  
UNIT 401 - 904 SF

**6. HEIGHT AND AREA:**  
IIB, R-2  
ALLOWABLE 16,000 SF/FLOOR, 4 STORIES, 55' HT  
EXISTING/PROPOSED 2,643 SF/FLOOR, 4 STORIES, 42' HT

**7. CONSTRUCTION TYPE:**  
IIB  
**8. OCCUPANCY:**  
AREA: 15,858 GSF  
OCCUPANCY COUNT = 15,858 GSF / 200 GSF PER OCCUPANT = 79 OCCUPANTS

**9. INTERIOR FINISH RATING:**  
FLOORS: CLASS II  
UNIT WALLS AND CEILINGS: CLASS C  
EXIT ENCLOSURES / CORRIDORS: CLASS B

**10. AUTOMATIC SPRINKLER SYSTEM:**  
THE EXISTING BUILDING IS NOT EQUIPPED WITH A SPRINKLER SYSTEM. RENOVATION FULLY SPRINKLERED NFPA 13 SYSTEM.

**12. FIRE RESISTANCE RATING:**  
WALLS SEPARATING DWELLING UNITS: 1-HOUR  
HORIZONTAL ASSEMBLIES SEPARATING DWELLING UNITS: 1-HOUR  
HORIZONTAL ASSEMBLY SEPARATING BASEMENT FROM DWELLING UNITS: 2-HOUR  
EXIT STAIR ENCLOSURES: 2-HOUR

**13. EGRESS REQUIREMENTS:**  
2-EXIST REQUIRED PER OBC SECTION 1021. 2-EXIST ARE PROVIDED FROM EACH UNIT, ONE EXIT IS THE EXISTING EXIT STAIR AND 1 EXIT IS THE EXISTING FIRE ESCAPE.

### DRAWING INDEX

Sheet Number	Sheet Name
--------------	------------

00-General	
TS	TITLE SHEET
AS	ARCHITECTURAL STANDARDS
SP-1	SPECIFICATIONS
SP-2	SPECIFICATIONS
05-Demo	
D201	FIRST FLOOR DEMOLITION PLAN
D202	SECOND FLOOR DEMOLITION PLAN
D203	THIRD FLOOR DEMOLITION PLAN
D204	FOURTH FLOOR DEMOLITION PLAN

15-Architectural	
A200	BASEMENT FLOOR PLAN
A201	SITE PLAN/ FIRST FLOOR PLAN
A202	SECOND FLOOR PLAN
A203	THIRD FLOOR PLAN
A204	FOURTH FLOOR PLAN
A205	ROOF PLAN
A301	INTERIOR DETAILS
A401	ELEVATIONS
A402	ELEVATIONS
A601	PARTITION TYPES AND DETAILS
A611	SCHEDULES & DETAILS
A612	SCHEDULES & DETAILS
A700	BASEMENT REFLECTED CEILING PLAN
A701	FIRST FLOOR REFLECTED CEILING PLAN
A702	SECOND FLOOR REFLECTED CEILING PLAN
A703	THIRD FLOOR REFLECTED CEILING PLAN
A704	FOURTH FLOOR REFLECTED CEILING PLAN

### DRAWING INDEX

Sheet Number	Sheet Name
--------------	------------

20-Structural	
S001	STRUCTURAL GENERAL NOTES
S100	FOUNDATION PLAN
S110	FIRST FLOOR FRAMING PLAN
S120	SECOND FLOOR FRAMING PLAN
S130	THIRD FLOOR FRAMING PLAN
S140	FOURTH FLOOR FRAMING PLAN
S150	ROOF FRAMING PLAN
S310	FOUNDATION SECTIONS
S320	FRAMING SECTIONS

Drawing Issue:

### CONSTRUCTION DOCUMENTS

No.	Date	Description
2	07/01/2015	ISSUED FOR PERMIT
3	08/21/15	REVISED FOR PERMIT

Drawing Title

### TITLE SHEET

Job Number:  
13382  
File:  
Scale:  
1" = 300'-0"  
Date:  
04/03/15



Steven T. Kenat, License #10435  
Expiration Date: 12/31/15

TS



Project Architect  
GBBN Architects Inc.  
332 E. 8th ST.  
Cincinnati, OH 45202-2217  
v 513-241-8700  
f 513-241-8873  
http://www.gbbn.com

433 EAST 13TH STREET

CINCINNATI, OH 45202

**Owner/Developer**  
Model Group  
2170 Gilbert Avenue  
Cincinnati, OH 45202  
513-559-0048

**Structural Engineer**  
Advantage Group Engineers, Inc.  
660 Lincoln Avenue, Suite 305  
Cincinnati, OH 45206  
513-396-8900

**MEP Engineer**  
Engineered Building Systems, Inc.  
515 Monmouth Street, Suite 204  
Newport, KY 41071  
859-261-0585

Drawing Issue:

**CONSTRUCTION DOCUMENTS**

No.	Date	Description
1	07/01/2015	ISSUED FOR PERMIT
2	08/21/15	REVISED FOR PERMIT
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		

Drawing Title

**FIRST FLOOR DEMOLITION PLAN**

Job Number:  
13382

File:

Scale:  
As indicated

Date:  
04/03/15



Steven T. Kenat, License #10435  
Expiration Date: 12/31/15

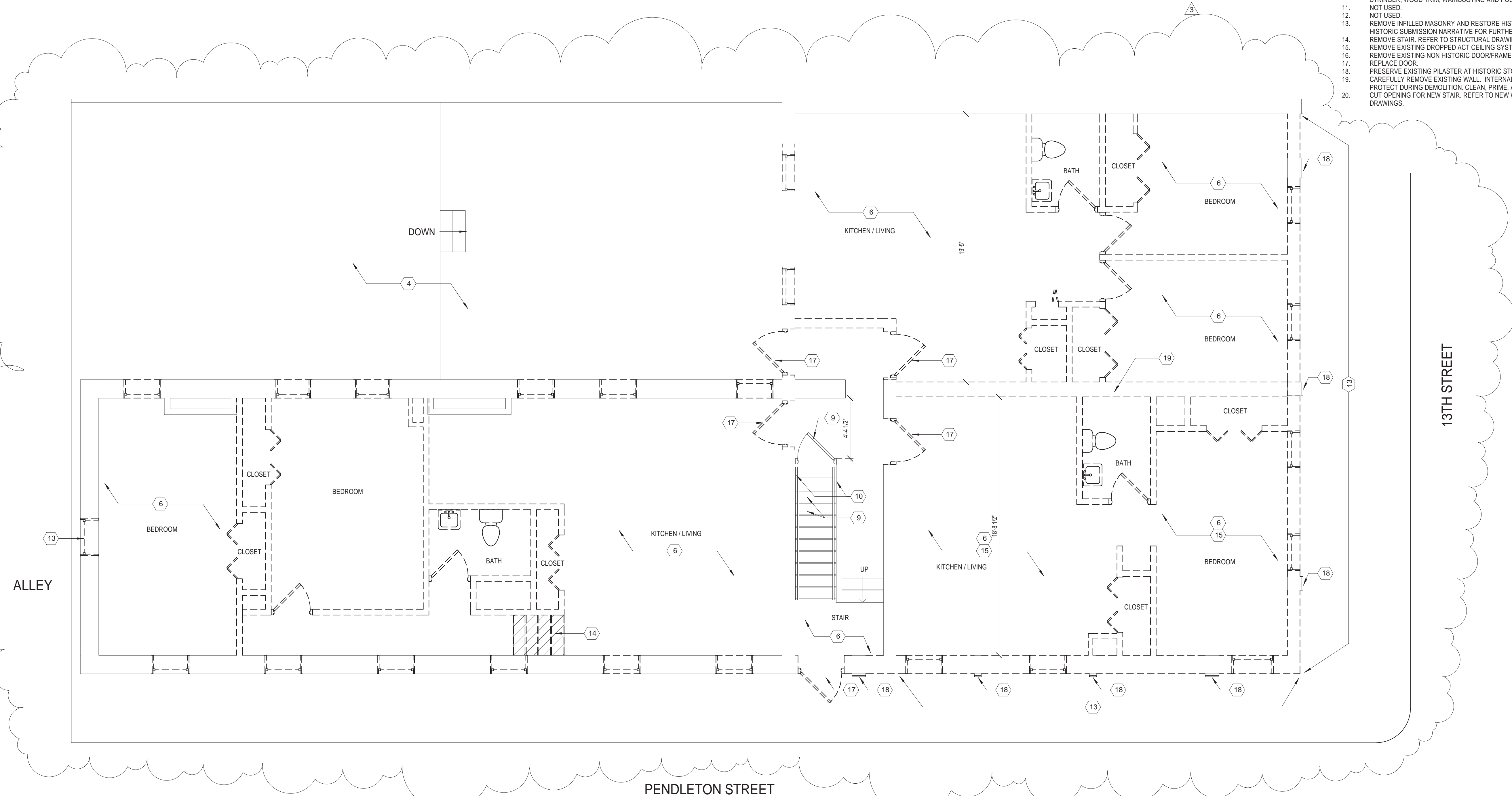
**D201**

**GENERAL NOTES - DEMOLITION FLOOR PLAN**

- A. SEE HISTORIC PART 2 SUBMISSION FOR ADDITIONAL INFORMATION.
- B. PROTECT ALL HISTORIC WOODWORK INCLUDING BUT NOT LIMITED TO WINDOW AND DOOR CASINGS, STAIRS, BASEBOARDS, ETC.
- C. REMOVE ALL FLOORING DOWN TO ORIGINAL FLOORING SURFACE.
- D. ALL SOUND PLASTER ON WALLS AND CEILING TO REMAIN, U.N.O.
- E. REMOVE ALL EXISTING ELECTRICAL CONDUIT, RECEPTACLES, LIGHTING, ETC.
- F. REMOVE ALL EXISTING PLUMBING LINES, FIXTURES, EXISTING APPLIANCES, CABINETS AND COUNTERTOPS, ETC.
- G. PROTECT ALL ORIGINAL HISTORIC FEATURES AT ALL TIMES.
- H. REMOVE ALL NON-HISTORIC DROPPED DRYWALL SOFFITS AND CEILING.
- I. REMOVE ALL INTERIOR NON HISTORIC PARTITIONS.
- J. REMOVE AND REPLACE ALL EXTERIOR DOORS.
- K. REMOVE/REPLACE ALL WINDOWS, REMOVE ENTIRE ASSEMBLY TO ROUGH MASONRY OPENING, REPLACE WITH HISTORICALLY APPROPRIATE WINDOW ASSEMBLY, EXCEPT WHERE NOTED OTHERWISE.
- L. ANY HISTORIC FEATURES UNCOVERED DURING DEMOLITION TO BE RECORDED, PRESERVED AND REPORTED TO ARCHITECT.
- M. EXISTING STONE FOUNDATIONS TO REMAIN. REPAIR AS REQUIRED.
- N. REMOVE EXISTING ASPHALT SHINGLES AND FELT. REPAIR/ REPLACE ROOF SHEATHING AS NECESSARY.
- O. EXISTING FIRE ESCAPE TO REMAIN. REPAIR AS NEEDED. CLEAN, PRIME AND PAINT. REFER TO STRUCTURAL DRAWINGS.

**DEMOLITION NOTES:**

- 1. NOT USED.
- 2. NOT USED.
- 3. REMOVE DROPPED DRYWALL CEILING AND FRAMING.
- 4. REMOVE EXISTING CONCRETE PAD.
- 5. CREATE NEW OPENING FOR DOOR.
- 6. REMOVE EXISTING WALL COVERING, DRYWALL AND FURRING TO SUBSTRATE AT EXTERIOR WALLS AND UNIT DEMISING WALLS.
- 7. EXISTING FIRE ESCAPE TO REMAIN.
- 8. REMOVE SOFFIT ABOVE.
- 9. REMOVE VCT TREAD COVERING AND METAL NOSING. REPAIR/ REPLACE WOOD TREADS AS NECESSARY.
- 10. REMOVE EXISTING NON HISTORIC RAILING. PROVIDE NEW RAILING. HISTORIC STAIR STRINGER, WOOD TRIM, WAINSCOTING AND POSTS TO REMAIN.
- 11. NOT USED.
- 12. NOT USED.
- 13. REMOVE INFILLED MASONRY AND RESTORE HISTORIC STOREFRONT. REFER TO HISTORIC SUBMISSION NARRATIVE FOR FURTHER INFORMATION.
- 14. REMOVE STAIR. REFER TO STRUCTURAL DRAWINGS.
- 15. REMOVE EXISTING DROPPED ACT CEILING SYSTEM.
- 16. REMOVE EXISTING NON HISTORIC DOOR/FRAME - CLOSE PORTAL.
- 17. REPLACE DOOR.
- 18. PRESERVE EXISTING PILASTER AT HISTORIC STOREFRONT.
- 19. CAREFULLY REMOVE EXISTING WALL. INTERNAL CAST IRON COLUMNS TO REMAIN. PROTECT DURING DEMOLITION. CLEAN, PRIME, AND PAINT.
- 20. CUT OPENING FOR NEW STAIR. REFER TO NEW WORK PLANS AND STRUCTURAL DRAWINGS.



**FIRST FLOOR DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"

PENDLETON STREET

13TH STREET

ALLEY

C:\Revit\csm\13382\_plandemo\_n\m\433\_ET\2015\_04\_14.dwg  
04/03/2015 3:24:10 PM

GENERAL NOTES - FLOOR PLAN

- A. CONTRACTOR TO REFERENCE FEDERAL HISTORIC PART II NARRATIVE AND VERIFY ALL WORK CONFORMS WITH THESE REGULATIONS. NOTIFY ARCHITECT WITH ANY CONFLICTS.
- B. ALL WINDOWS ARE TO BE REPLACED WITH NEW ALUMINUM CLAD WOOD WINDOWS. ALL WINDOW REPLACEMENT SHOULD BE MOCKED UP, REVIEWED AND APPROVED BY OWNER/OHPO.
- C. ALL EXISTING PLASTER WALLS AND CEILINGS ARE TO BE PATCHED AND REPAIRED, IF BEYOND REPAIR, REPLACE WITH SMOOTH GYPSUM BOARD.
- D. G.C. TO VERIFY FLOOR ELEVATIONS.
- E. REPAIR WATER DAMAGED FLOOR, CEILING AND STRUCTURE AS REQUIRED TO MATCH ADJACENT.
- F. ALL FLOORS TO RECEIVE HARDWOOD T&G FLOOR WITH SOUND MAT BELOW U.N.O. NEW GYP.BD. CEILING ON EXISTING WOOD JOIST FOR FIRE RATED SEPARATION AS REQUIRED.
- G. ALL WALLS TO BE TYPE 71A UNLESS NOTED OTHERWISE.
- H. ALL ROUGH OPENINGS FOR DOOR FRAMES ARE 4-INCHES FROM NEAREST CORNER OR CENTERED IN WALLS UNLESS DIMENSIONED OTHERWISE.
- I. ALL APPLIANCES, FIXTURES AND HARDWARE TO BE SELECTED BY OWNER.
- J. COORDINATE ALL FINISHES, COUNTERTOPS, CABINETS AND FLOORING WITH OWNER. FINISH SCHEDULE INDICATES BASE FINISHES.
- K. EXISTING FIRE ESCAPE TO REMAIN. CLEAN, PRIME AND PAINT. REFER TO STRUCTURAL DRAWINGS.
- L. ALL RESTROOMS TO RECEIVE CERAMIC TILE FLOOR AND SHOWER. STYLE AND PATTERN T.B.D.
- M. VERIFY FIRE RATING FOR ACCEPTABILITY OF CURRENT STAIR ENCLOSURE WALL ASSEMBLY.
- N. PROVIDE ONE WIRE ROD/SHELF IN EACH CLOSET AND BEDROOM CLOSET.
- O. PROVIDE PASSIVE RADON SYSTEM PER CUT SHEET. INSTALL PVC PIPE THROUGH SLAB TO GRAVEL BASE BELOW AND VENT THROUGH ROOF. WHERE BASEMENT SLAB IS INTERRUPTED BY FOUNDATION WALLS PROVIDE LATERAL PERFORATED PIPE CONNECTING SEPARATED SECTIONS OF SLAB.
- P.

CONSTRUCTION NOTES - FLOOR PLAN

- 1. REPAIR EXISTING STONE STEPS AS REQUIRED.
- 2. EXISTING WOOD STAIR TO BE REPAIRED WITH LIKE MATERIALS. SANDED, PRIMED, AND PAINTED. ARCHITECT TO SELECT COLORS.
- 3. NEW ALUMINUM AND GLASS STOREFRONT WITH KNEE WALL.
- 4. 6" TALL PREFINISHED ALUMINUM FENCE.
- 5. PREFINISHED ALUMINUM GATE.
- 6. NEW CONCRETE SLAB OVER COMPACTED GRAVEL.
- 7. CLEAN AND REPAIR EXISTING CONCRETE FLOOR AS REQUIRED.
- 8. EXISTING FIRE ESCAPE TO REMAIN. CLEAN, PRIME, AND PAINT. REFER TO STRUCTURAL DRAWINGS.
- 9. NEW CONCRETE STAIR WITH PAINTED STEEL GUARDRAIL AND HANDRAIL.
- 10. AREA DRAIN.
- 11. EXISTING STEEL COLUMN.
- 12. FURNITURE BY TENANT.
- 13. VERIFY SITE GRADING AND ELEVATIONS DURING CONSTRUCTION.
- 14. NEW STEEL COLUMN AND BEAMS. REFER TO STRUCTURAL DRAWINGS.
- 15. ACCESSIBLE BATHROOM. REFER TO AS SHEETS FOR ADDITIONAL DETAILS.
- 16. NEW 2 HOUR PARTITION INFILL.
- 17. TEMPERED SAFETY GLAZING AT DOOR AND ADJACENT WINDOW TO DOOR.
- 18. 6" TALL PRE-FINISHED ALUMINUM FENCE AND GATE SURROUND AT TRASH CAN ENCLOSURE.
- 19. SECOND MEANS OF EGRESS FOR UNIT.
- 20. STEEL COLUMN. REFER TO STRUCTURAL DRAWINGS.



Project Architect  
**GBBN Architects Inc.**  
 332 E. 8th ST.  
 Cincinnati, OH 45202-2217  
 v 513-241-8700  
 f 513-241-8873  
 http://www.gbbn.com

433 EAST 13TH STREET

CINCINNATI, OH 45202

Owner/Developer  
 Model Group  
 2170 Gilbert Avenue  
 Cincinnati, OH 45202  
 513-559-0048

Structural Engineer  
 Advantage Group Engineers, Inc.  
 660 Lincoln Avenue, Suite 305  
 Cincinnati, OH 45206  
 513-396-8900

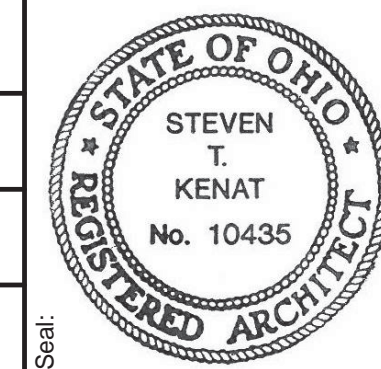
MEP Engineer  
 Engineered Building Systems, Inc.  
 515 Monmouth Street, Suite 204  
 Newport, KY 41071  
 859-261-0585

Drawing Issue:  
**CONSTRUCTION DOCUMENTS**

No.	Date	Description
1	08/23/2015	OHPO Part 2 Amendment
2	07/01/2015	ISSUED FOR PERMIT
3	08/21/15	REVISED FOR PERMIT

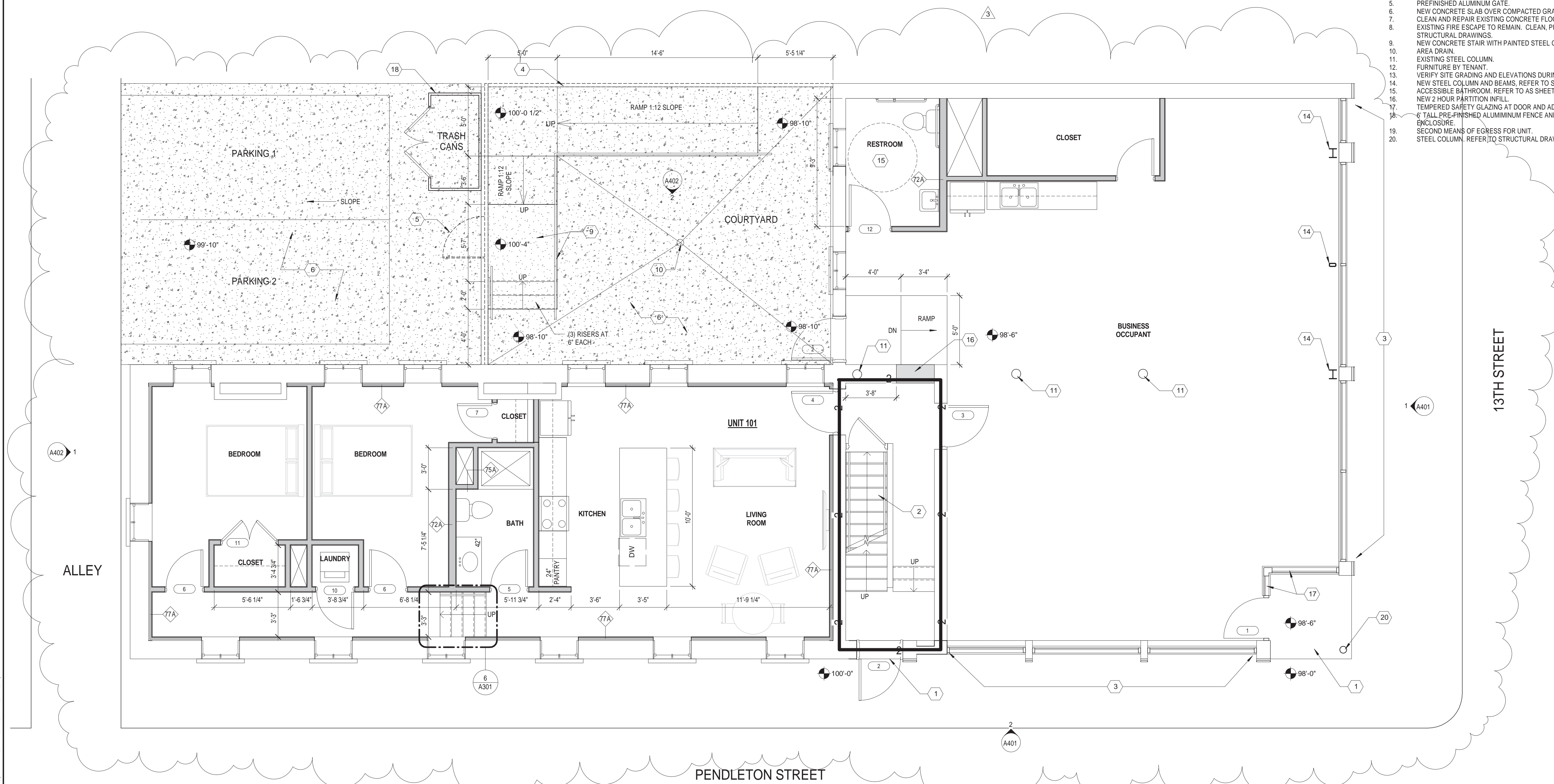
Drawing Title  
**SITE PLAN/ FIRST FLOOR PLAN**

Job Number:  
13382  
 File:  
 Scale:  
 As indicated  
 Date:  
04/03/15



Steven T. Kenat, License #10435  
 Expiration Date: 12/31/15

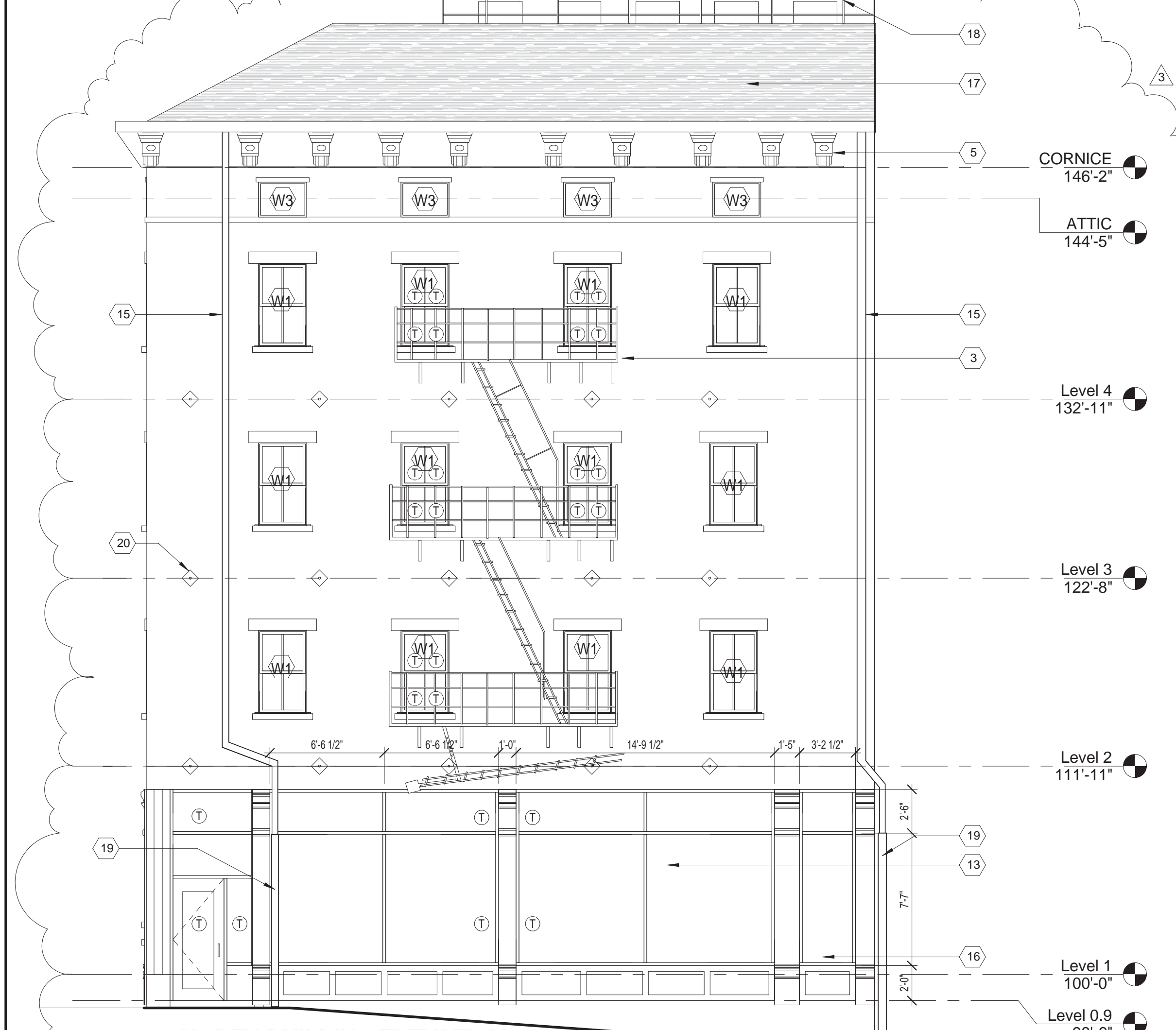
**A201**



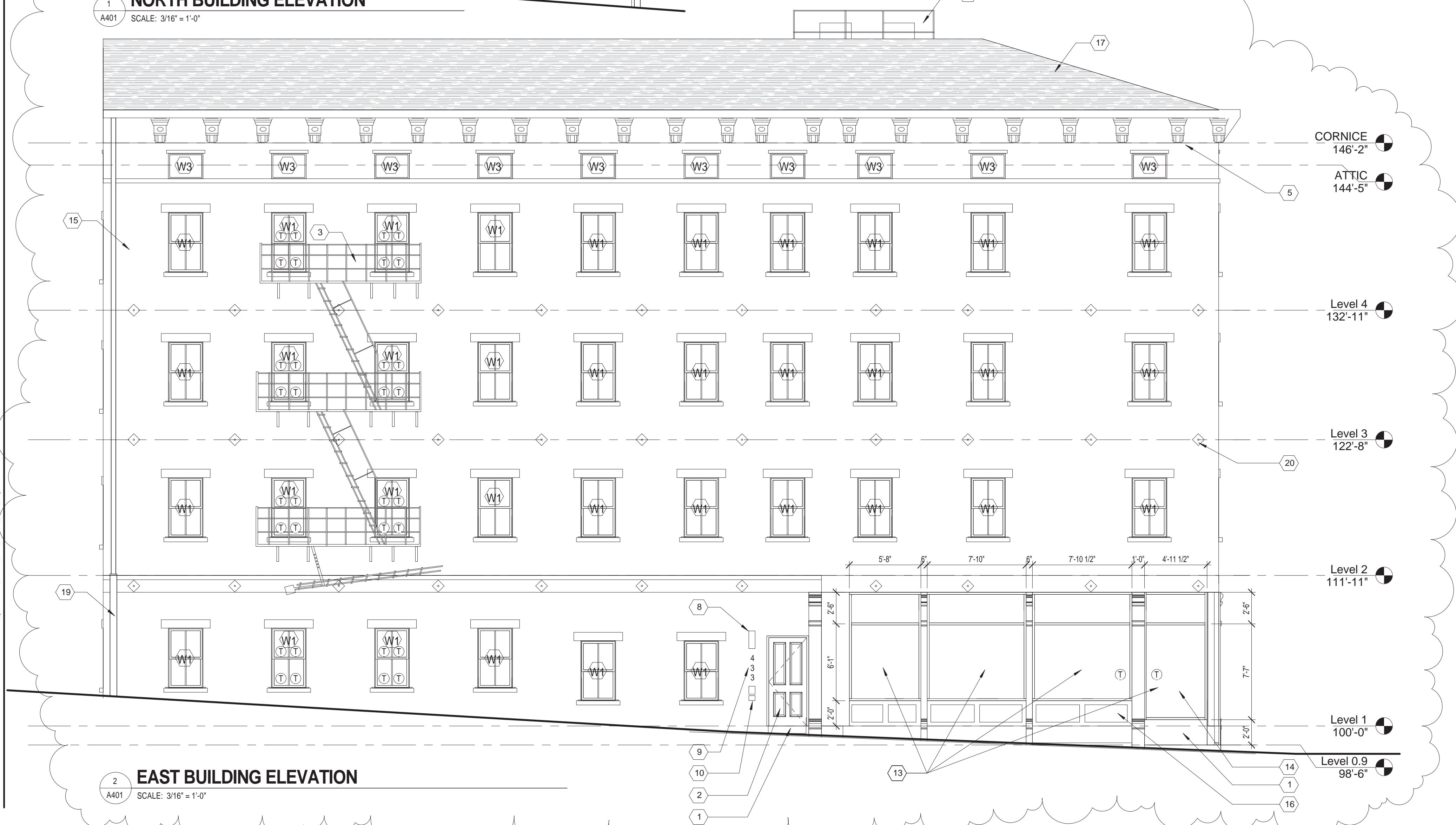
**SITE PLAN/ FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

C:\Revit\csm\13382\p\pendleton\_rhmb\_433\_ET101\_R114.dwg  
 8/30/2015 3:53:52 PM





**1 NORTH BUILDING ELEVATION**  
SCALE: 3/16" = 1'-0"



**2 EAST BUILDING ELEVATION**  
SCALE: 3/16" = 1'-0"



**GENERAL NOTES - ELEVATIONS**

- A. ALL WINDOWS ARE TO BE REPLACED WITH ALUMINUM CLAD WOOD WINDOWS. ALL WINDOW REPLACEMENT SHOULD BE MOCKED UP, REVIEWED AND APPROVED BY OWNER/OHPD.
- B. REFER TO HISTORIC NARRATIVE AND SPECIFICATIONS FOR PROPER/ ACCEPTABLE CLEANING METHODS FOR EXTERIOR SURFACES AND TUCK POINTING REQUIREMENTS.
- C. G.C. TO VERIFY FLOOR ELEVATIONS.
- D. REPAIR EXISTING CORNICE AS REQUIRED.
- E. PROVIDE SAFETY GLAZING ON ALL WINDOWS AT EXISTING FIRE ESCAPE.

**CONSTRUCTION NOTES - ELEVATIONS**

- 1. REPAIR EXISTING STONE STEPS AS REQUIRED.
- 2. NEW METAL EXTERIOR FRONT ENTRY DOOR WITH HARDWARE.
- 3. EXISTING FIRE ESCAPE TO REMAIN. G.C. TO VERIFY STRUCTURAL STABILITREPAIR AS NEEDED. SCRAPE, PRIME AND PAINT.
- 4. PROVIDE NEW METAL GATE.
- 5. REPAIR CORNICE AS REQUIRED, PRIME & PAINT. COLORS TBD.
- 6. PREFINISHED METAL GUTTER.
- 7. NEW FIXED TRANSOM WINDOW, PROVIDE SAFETY GLAZING WHERE REQUIRED.
- 8. EXTERIOR LIGHT FIXTURE
- 9. NEW ADDRESS SIGNAGE.
- 10. NEW INTERCOM & KEY BOX.
- 11. EXISTING BRICK TO REMAIN EXPOSED & UNPAINTED, REPAIR AS REQUIRED.
- 12. 6' TALL PREFINISHED METAL FENCE.
- 13. NEW ALUMINUM STOREFRONT WINDOW SYSTEM. VERIFY DIMENSIONS IN FIELD.
- 14. NEW CLIPPED CORNER ENTRY. SEE HISTORIC DOCUMENTS FOR DETAILS.
- 15. PREFINISHED METAL DOWNSPOUT. FACE SEAMS TO OUTSIDE.
- 16. STOREFRONT KNEE-WALL WITH 1X4 WOOD TRIM. SEE HISTORIC DOCUMENT FOR DETAILS.
- 17. NEW ASPHALT SHINGLES OVER ROOFING FELT.
- 18. MECHANICAL PLATFORM WITH 42" GUARDRAIL AT PERIMETER. REFER TO STRUCTURAL DRAWINGS.
- 19. PVC DOWNSPOUT SURROUND AT BOTTOM PORTION OF DOWNSPOUT. PAINT TO MATCH DOWNSPOUT COLOR.
- 20. EXTERIOR WALL TIE BACK PLATE. PRIME AND PAINT. REFER TO STRUCTURAL DRAWINGS. ALIGN VERTICALLY AS POSSIBLE.
- 21. SMOOTH FIBER CEMENT FASCIA TRIM. PAINT TO MATCH EXISTING.



Project Architect  
GBBN Architects Inc.  
332 E. 8th ST.  
Cincinnati, OH 45202-2217  
v 513-241-8700  
f 513-241-8873  
http://www.gbbn.com

433 EAST 13TH STREET

CINCINNATI, OH 45202

**Owner/Developer**

Model Group  
2170 Gilbert Avenue  
Cincinnati, OH 45202  
513-559-0048

**Structural Engineer**

Advantage Group Engineers, Inc.  
660 Lincoln Avenue, Suite 305  
Cincinnati, OH 45206  
513-396-8900

**MEP Engineer**

Engineered Building Systems, Inc.  
515 Monmouth Street, Suite 204  
Newport, KY 41071  
859-261-0585

Drawing Issue:

**CONSTRUCTION DOCUMENTS**

No.	Date	Description
2	07/01/2015	ISSUED FOR PERMIT
3	08/21/15	REVISED FOR PERMIT

Drawing Title

**ELEVATIONS**

Job Number:

13382

File:

Scale:

As indicated

Date:

04/03/15



Steven T. Kenat, License #10435  
Expiration Date: 12/31/15

**A401**

9/20/2015 3:34:01 PM C:\Revit\cadd\13382\_permit\main\_450\_E\_13th\_L14\_sppr.rvt

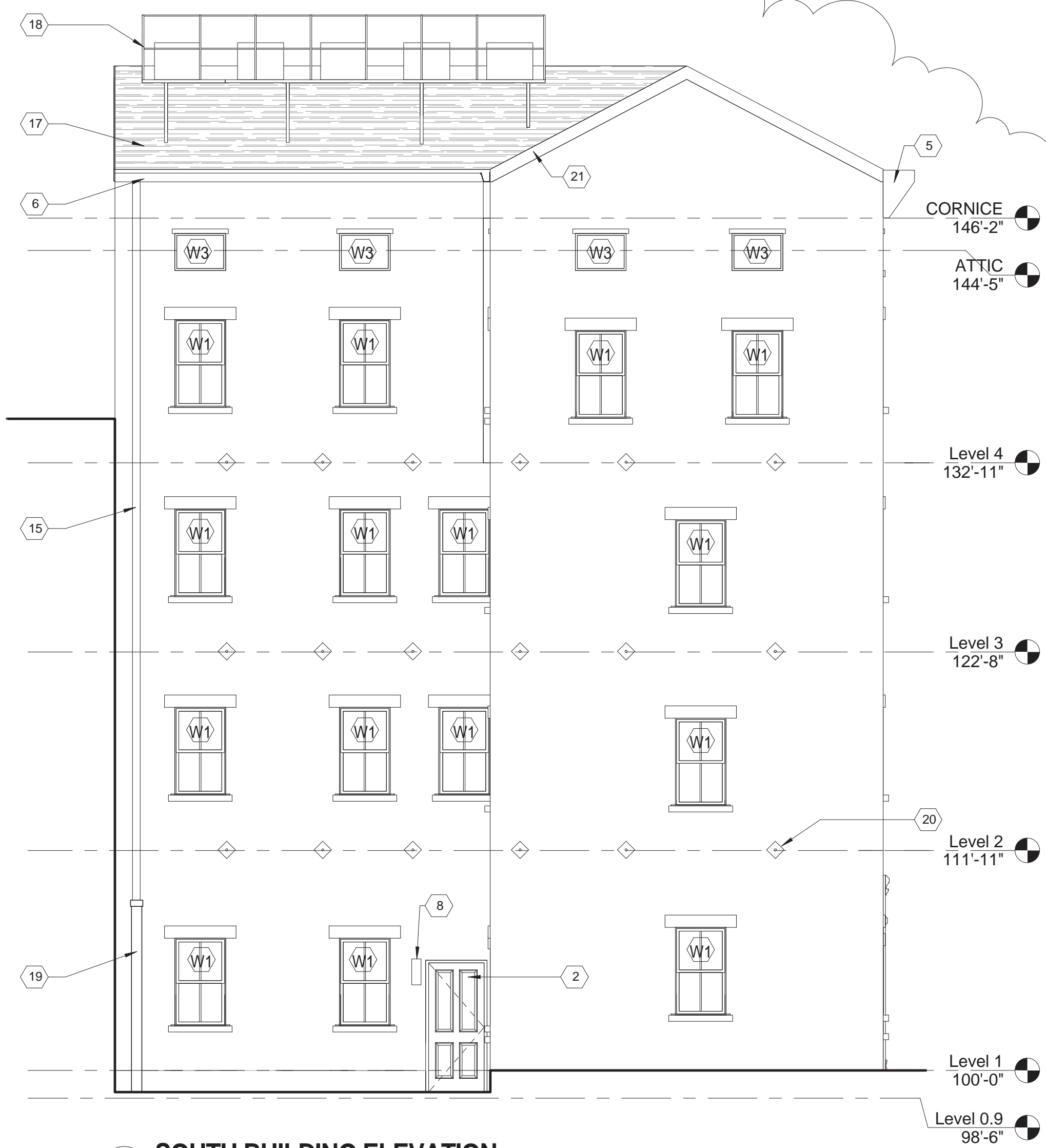
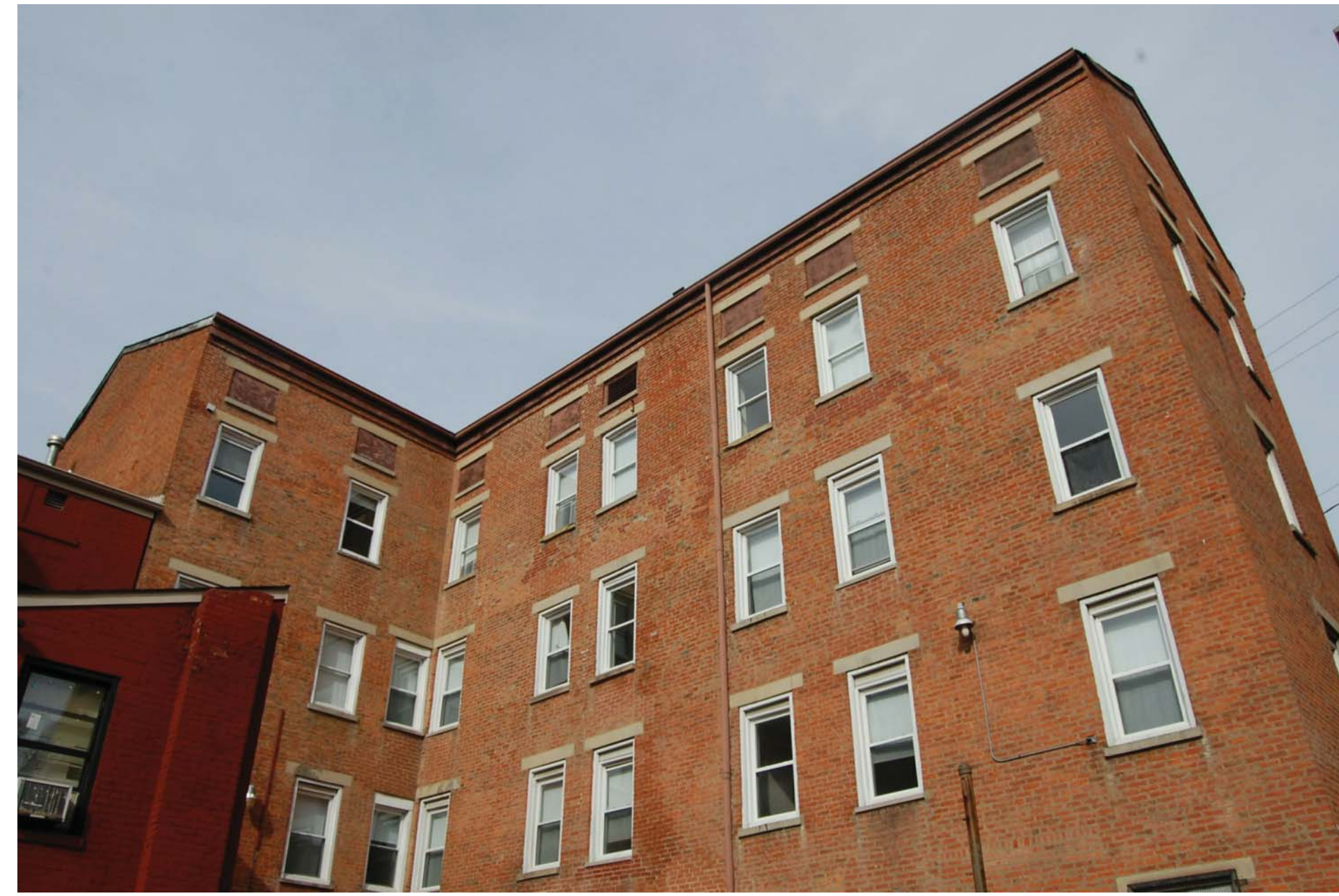
GENERAL NOTES - ELEVATIONS

- A. ALL WINDOWS ARE TO BE REPLACED WITH ALUMINUM CLAD WOOD WINDOWS. ALL WINDOW REPLACEMENT SHOULD BE MOCKED UP, REVIEWED AND APPROVED BY OWNER/OHPD.
- B. REFER TO HISTORIC NARRATIVE AND SPECIFICATIONS FOR PROPER/ ACCEPTABLE CLEANING METHODS FOR EXTERIOR SURFACES AND TUCK POINTING REQUIREMENTS.
- C. G.C. TO VERIFY FLOOR ELEVATIONS.
- D. REPAIR EXISTING CORNICE AS REQUIRED.
- E. PROVIDE SAFETY GLAZING ON ALL WINDOWS AT EXISTING FIRE ESCAPE.

TEMPERED SAFETY GLAZING

CONSTRUCTION NOTES - ELEVATIONS

- 1. REPAIR EXISTING STONE STEPS AS REQUIRED.
- 2. NEW METAL EXTERIOR FRONT ENTRY DOOR WITH HARDWARE.
- 3. EXISTING FIRE ESCAPE TO REMAIN. G.C. TO VERIFY STRUCTURAL STABILITREPAIR AS NEEDED. SCRAPE, PRIME AND PAINT.
- 4. PROVIDE NEW METAL GATE.
- 5. REPAIR CORNICE AS REQUIRED, PRIME & PAINT. COLORS TBD.
- 6. PREFINISHED METAL GUTTER.
- 7. NEW FIXED TRANSOM WINDOW, PROVIDE SAFETY GLAZING WHERE REQUIRED.
- 8. EXTERIOR LIGHT FIXTURE.
- 9. NEW ADDRESS SIGNAGE.
- 10. NEW INTERCOM & KEY BOX.
- 11. EXISTING BRICK TO REMAIN EXPOSED & UNPAINTED, REPAIR AS REQUIRED.
- 12. 6' TALL PREFINISHED METAL FENCE.
- 13. NEW ALUMINUM STOREFRONT WINDOW SYSTEM. VERIFY DIMENSIONS IN FIELD.
- 14. NEW CLIPPED CORNER ENTRY. SEE HISTORIC DOCUMENTS FOR DETAILS.
- 15. PREFINISHED METAL DOWNSPOUT. FACE SEAMS TO OUTSIDE.
- 16. STOREFRONT KNEE-WALL WITH 1x4 WOOD TRIM. SEE HISTORIC DOCUMENT FOR DETAILS.
- 17. NEW ASPHALT SHINGLES OVER ROOFING FELT.
- 18. MECHANICAL PLATFORM WITH 42" GUARDRAIL AT PERIMETER. REFER TO STRUCTURAL DRAWINGS.
- 19. PVC DOWNSPOUT SURROUND AT BOTTOM PORTION OF DOWNSPOUT. PAINT TO MATCH DOWNSPOUT COLOR.
- 20. EXTERIOR WALL TIE BACK PLATE. PRIME AND PAINT. REFER TO STRUCTURAL DRAWINGS. ALIGN VERTICALLY AS POSSIBLE.
- 21. SMOOTH FIBER CEMENT FASCIA TRIM. PAINT TO MATCH EXISTING.



**1 SOUTH BUILDING ELEVATION**  
SCALE: 3/16" = 1'-0"



**2 WEST BUILDING ELEVATION**  
SCALE: 3/16" = 1'-0"

Drawing Issue:  
**CONSTRUCTION DOCUMENTS**

No.	Date	Description
1	06/23/2015	OHPD Part 2 Amendment
2	07/01/2015	ISSUED FOR PERMIT
3	08/21/15	REVISED FOR PERMIT

Drawing Title:  
**ELEVATIONS**

Job Number:  
13382  
File:  
Scale:  
As indicated  
Date:  
04/03/15



Steven T. Kenat, License #10435  
Expiration Date: 12/31/15

## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

---

APPLICATION #:

APPLICANT: Platte Architecture + Design  
OWNER: David Le  
ADDRESS: **1332 Republic Street, Cincinnati OH 45202**  
PARCELS: 081-0004-0177-00

ZONING: Commercial Community Pedestrian (CC-P)  
OVERLAYS: Over-the-Rhine Historic District  
COMMUNITY: Over-the-Rhine  
REPORT DATE: October 19, 2015  
HEARING DATE: October 26, 2015  
STAFF REVIEW: Caroline Hardy Kellam, Senior City Planner

---

---

### **Nature of Request:**

The applicant is requesting a Certificate of Appropriateness (COA) to rehabilitate and construct an addition at this location. The sign is not a part of this permit.

### **Existing Conditions:**

The property is situated on the southeast corner of Republic and West 14<sup>th</sup> Streets. This structure is noncontributing building within the historic district. The building is currently used as residential but the proposal is for use as a bar and restaurant. The adjacent new building to the east is Trinity Flats Condominiums. The adjacent building to the south is currently vacant and under construction to become individual condominiums. Opposite corners have Picnic & Pantry, Salazar's Restaurant, Yoga Bar and neighboring upper story dwelling units.

### **Proposed Conditions:**

The proposal includes the following work:

1. Replace the front and side solid garage doors with full lite glass garage doors. Infill with brick the furthest garage door opening to the east.
2. Lower all existing window sill height and replace windows with aluminum clad wood windows, Pella 1/1. One existing window opening will be converted to a full glass door with transom able.
3. Construct a second story on the east end of the building to house a stair tower, restrooms and mechanical space. Siding material proposed is rectangular metal panels. The stair is needed to meet egress requirements.
4. Construct a second story addition on the south west end of the building to house a stair tower. Siding material proposed is rectangular metal panels. Exposed,

sloped roof material is proposed to be standing seam metal. The stair is needed to meet egress requirements.

5. A steel frame system is proposed to cantilever the addition low slope roof over the patio space. The frame system is open to view.
6. New roof with a deck paver system for walking on. The patio is proposed to hold furniture, benches, fire pit, living wall and a bar counter with seating.
7. Construct a metal railing surrounding the roof top deck with a tube steel frame and flush perforated metal panels. The proposal is to place the continuous metal railing on top of the existing masonry wall with new metal coping, yielding very minimal setback from the wall face.

**Applicable Zoning Code Sections:**

Zoning District: Commercial Community Pedestrian (CC-P) with limitations  
Variance Request: N/A  
Overlays: N/A

Historic District/Reg: Over-the-Rhine Historic District  
COA Standard: [Section 1435-09-2](#) Certificate of Appropriateness; Standard of Review

**Use Variance:** N/A

**Urban Design Review:** N/A

**Zoning Review**

Given the nature of the request, Staff wished to remind the Board of the following, primarily Section 1419-21:

- Only Outdoor patios within 100 ft. of residential zoning districts require a conditional use. The nearest such district is 210+- ft.
- Within 500 ft. of a residential district, the outdoor patio may not be greater than 50 % of the accessible indoor area. The Outdoor patio is approximately 50% of the total area and thus conforms. It is one of the larger patios within Over-the-Rhine.
- Within 500 ft. of a residential district, outdoor entertainment is prohibited. This condition should be enforced with this approval.
- Outdoor patios may be used until 2 a.m. as this site is situated. The applicant has not stated that they intend to limit the hours of operation of the bar or the patio. Staff however is concerned with the proximity to so many dwellings and would propose the Board consider limiting the hours to what has been conditionally approved in other examples in historic neighborhoods which has been Midnight to 7 AM on Friday and Saturday and 10 PM to 7 AM on all other days.
- Parking requirements: Base requirement – 19; CC-P 2,000 sq. ft. exemption – 6; 50% Parking reduction (Washington Park Garage) – 3; Minimum needed to create - 5; Parking needed to be created – 0

## **Certificate of Appropriateness Review**

Although this is a noncontributing building, this is a rather large addition. If the railing could be setback further from the front and side elevations, it may reduce the visibility of the railing and occupants from the ground floor. The glass doors are an improvement over the metal garage doors. Overall staff finds that the applicant is improving a noncontributing building in the district but has reservations regarding the placement of the second story addition and rooftop bar terrace in such close proximity to residential condominium units.

### **Other Considerations:**

**Prehearing Results:** October 15, 2015 – The applicant was the only person in attendance.

**Comments Provided to Staff: NA**

**Consistency with *Plan Cincinnati (2012)*: N/A**

### **Recommendation:**

Staff recommends the Historic Conservation Board take the following action:

1. a) **APPROVE** a Certificate of Appropriateness for the rehabilitation and new addition at 1332 Republic Street as a bar with rooftop outdoor eating and drinking area subject to the following conditions:
  - 1) No outdoor entertainment, including the use of audio/visual equipment or amplified sound, shall be permitted on the patio. The patio may not be greater in area than 50% of the total indoor area of the facility.
  - 2) Entertainment, if conducted indoors, shall not be discernably audible outside of the establishment, including when garage doors are open.
  - 3) The patio railing be held back from the front and side elevations to minimize its visibility.
  - 4) No signage has been approved as a part of this proposal.
  - 5) Use of the Outdoor area is prohibited between Midnight and 7 AM on Friday and Saturday and 10 PM and 7 AM on all other days.
- b) **FINDING:** The Board makes this determination per Section 1435-09-2:
  - (a) That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

SHEET INDEX

A0.00	COVER SHEET
A0.01	SITE CONTEXT
A1.00	EXISTING/DEMO PLANS
A1.01	PROPOSED PLANS - BASEMENT AND 1ST FLOOR
A1.02	PROPOSED PLANS - 2ND FLOOR/TERRACE AND ROOF
A2.01	PROPOSED ELEVATIONS - NORTH AND WEST
A2.02	PROPOSED ELEVATIONS - SOUTH AND EAST
A3.01	SITE LINE STUDIES
A3.02	SITE LINE STUDIES
A3.03	SITE LINE STUDIES
A4.01	SIGNAGE
A4.02	MATERIAL EXAMPLES
A4.03	RAILING INFORMATION
A5.01	WINDOW AND OVERHEAD DOOR LITERATURE

PROJECT DESCRIPTION

THE PROJECT IN THE OVER-THE-RHINE HISTORIC DISTRICT CONSISTS OF A REHABILITATION OF A SINGLE-STORY RESIDENCE INTO A TWO-STORY BAR, INCLUDING AN ADDITION OF A PARTIAL SECOND STORY AND A ROOF TERRACE.

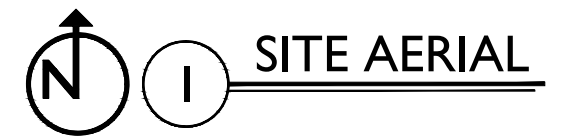
BUILDING AREA

BASEMENT	140 SF
FIRST FLOOR	1,275 SF
SECOND FLOOR ADDITION (INTERIOR)	475 SF
ROOF TERRACE (EXTERIOR)	875 SF

# 1332 REPUBLIC STREET

CINCINNATI, OHIO 45202

## DOCUMENTATION FOR CERTIFICATE OF APPROPRIATENESS



**A0.00**  
**COVER SHEET**  
**CROWN & KEY BAR**

09.10.2015

**PROPOSED PROJECT:**  
**1332 REPUBLIC ST.**  
**CINCINNATI, OHIO**

**PLATTE**  
**architecture + design**

202 W. ELDER ST. | 4TH FLOOR  
CINCINNATI, OH 45202  
T: 513.871.1850 | F: 513.871.1829  
WWW.PLATTEDESIGN.COM  
COPYRIGHT PROTECTED 2015



1 CONTEXT FROM ADJACENT ROOFTOP, LOOKING WEST



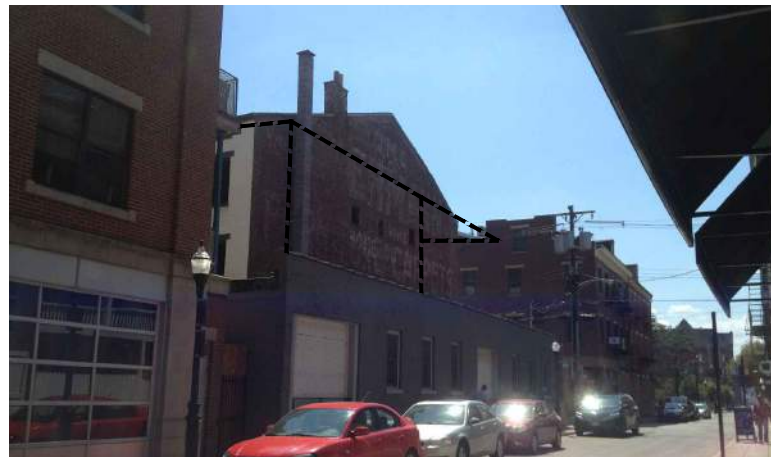
4 VIEW FROM CORNER, FOURTEENTH AND REPUBLIC



7 WEST FACADE



8 SOUTH FACADE



2 VIEW FROM EAST ON FOURTEENTH



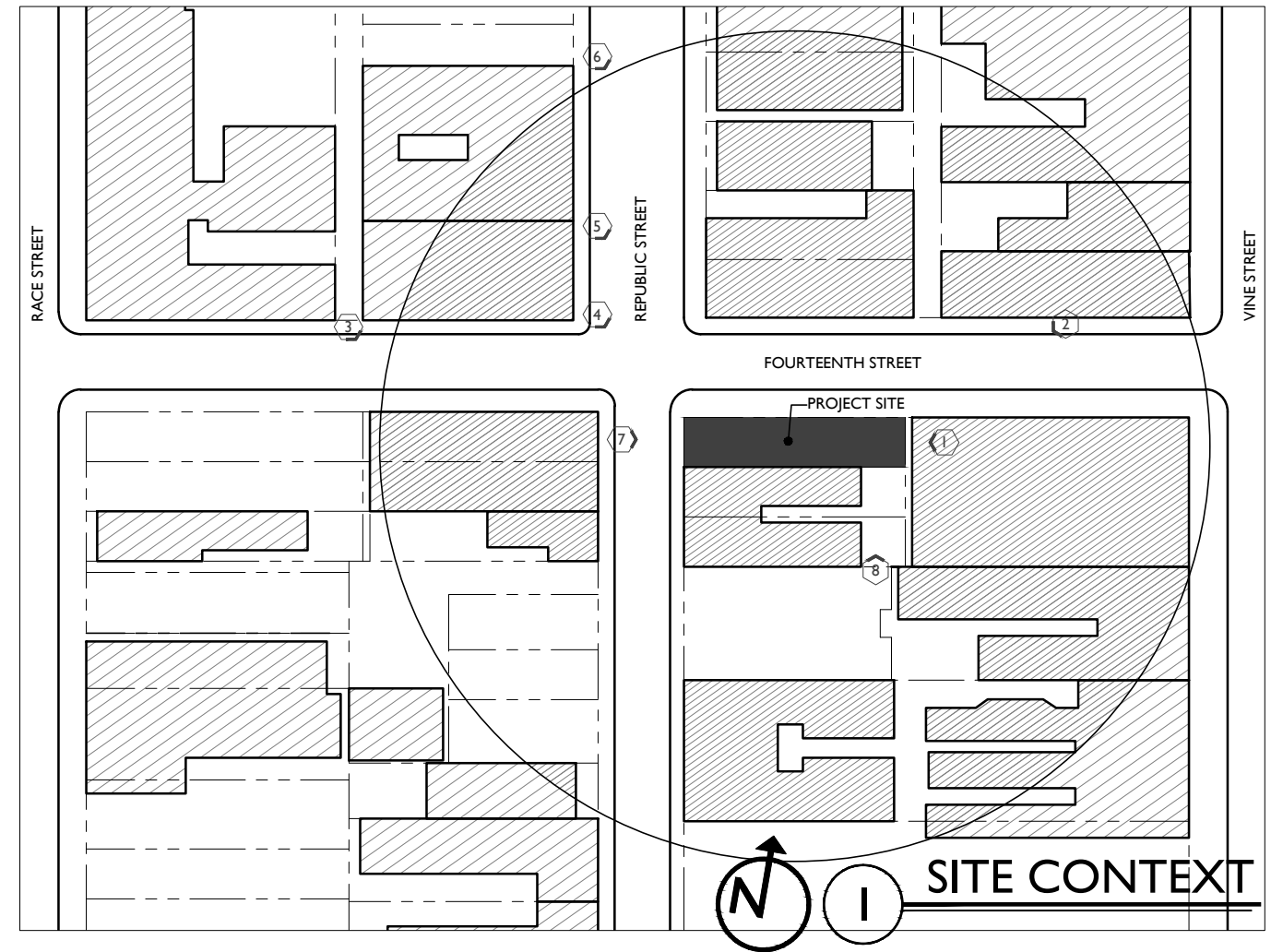
5 VIEW FROM NORTH ON REPUBLIC



3 VIEW FROM WEST ON FOURTEENTH



6 VIEW FROM NORTH ON REPUBLIC



A0.01  
SITE CONTEXT  
CROWN & KEY BAR

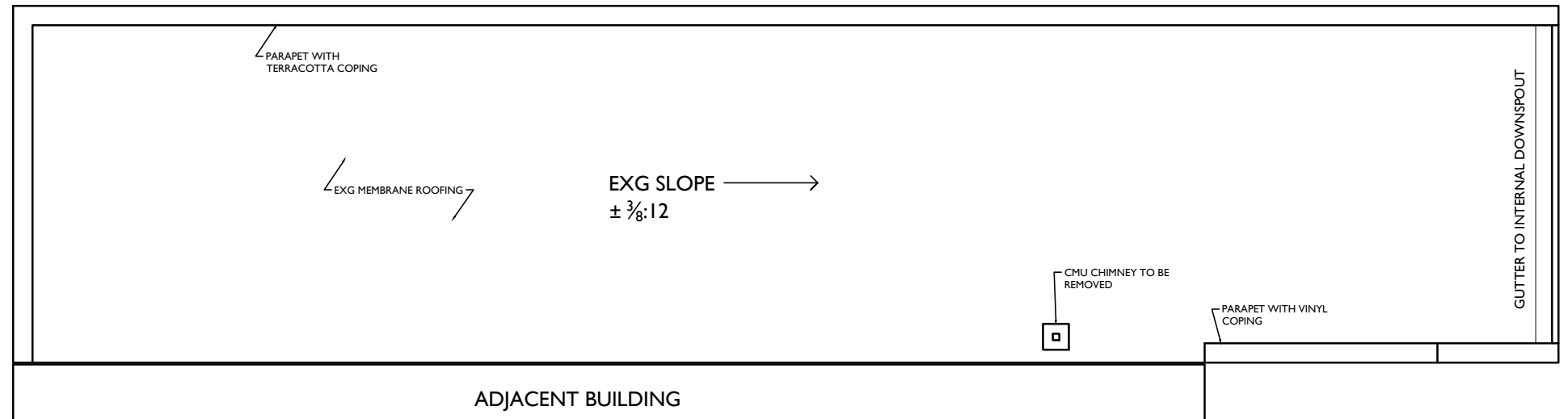
09.10.2015

# DENOTES PHOTO NUMBER, LOCATION, AND DIRECTION

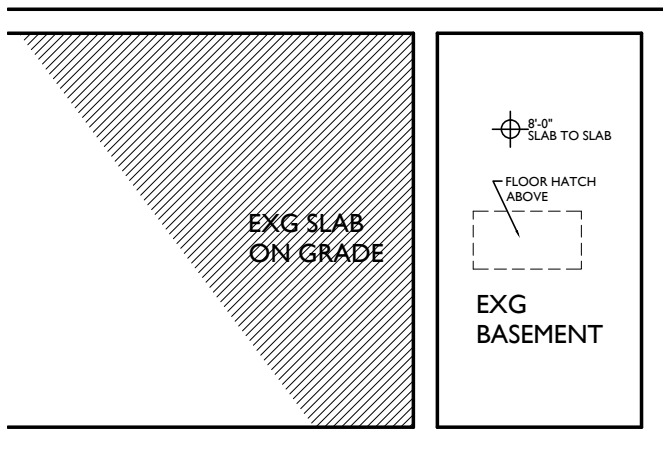
PROPOSED PROJECT:  
**1332 REPUBLIC ST.**  
CINCINNATI, OHIO

**PLATTE**  
architecture + design

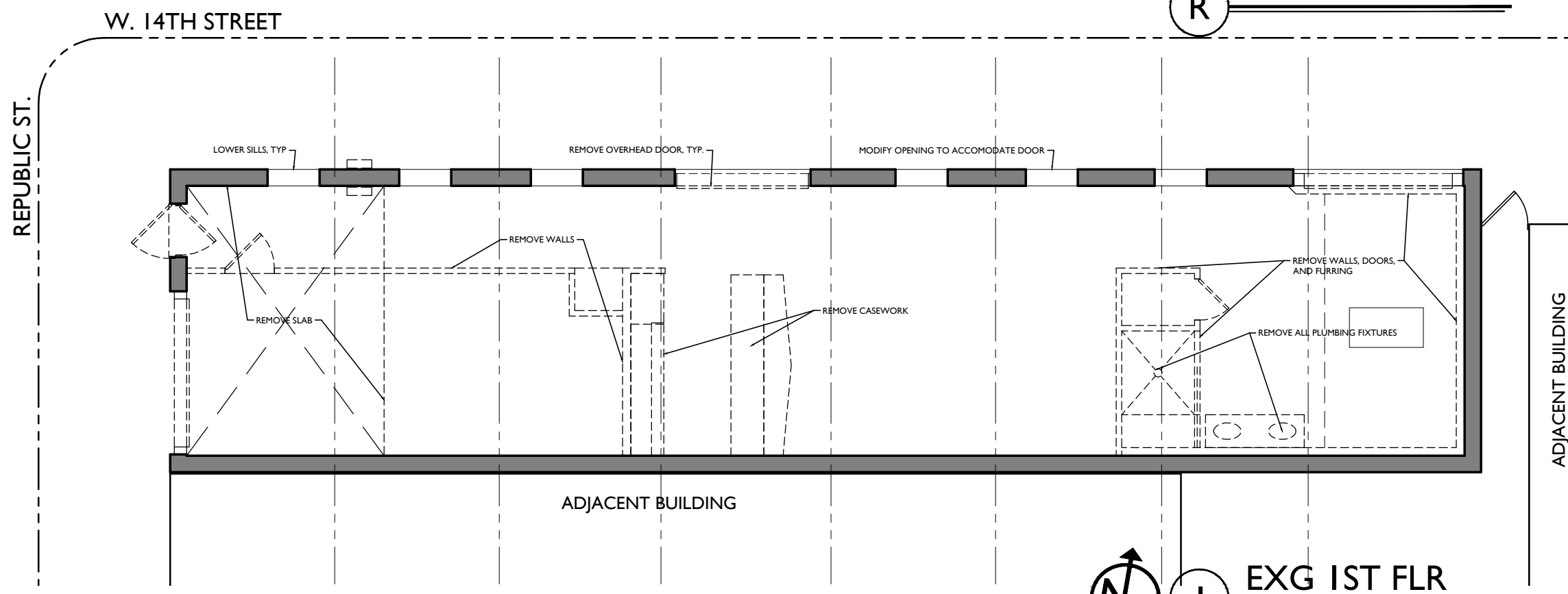
202 W. ELDER ST. | 4TH FLOOR  
CINCINNATI, OH 45202  
T: 513.871.1850 | F: 513.871.1829  
WWW.PLATTEDESIGN.COM  
COPYRIGHT PROTECTED 2015



**(R) EXG ROOF**



**(N) (B) EXG BASEMENT**



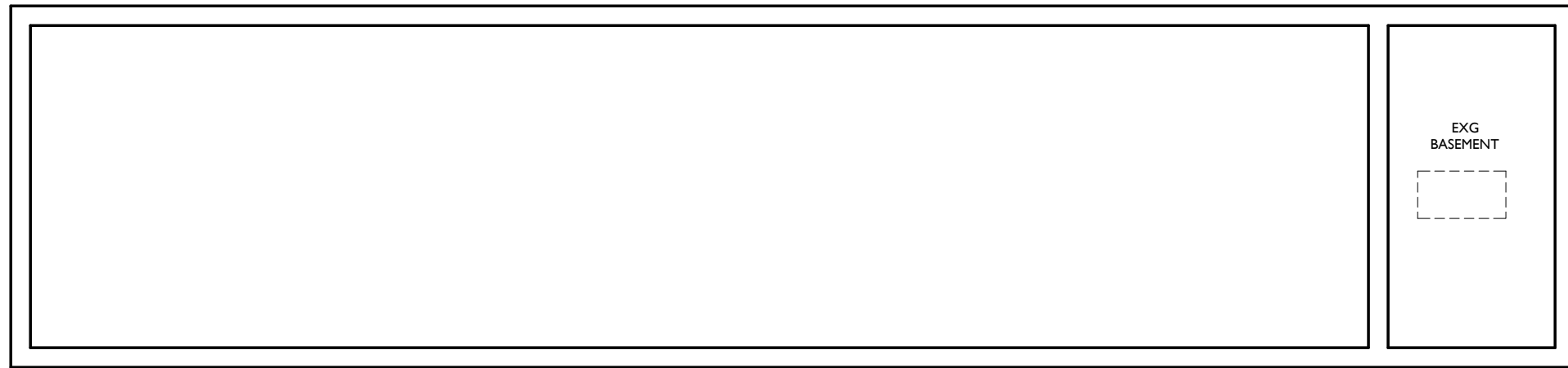
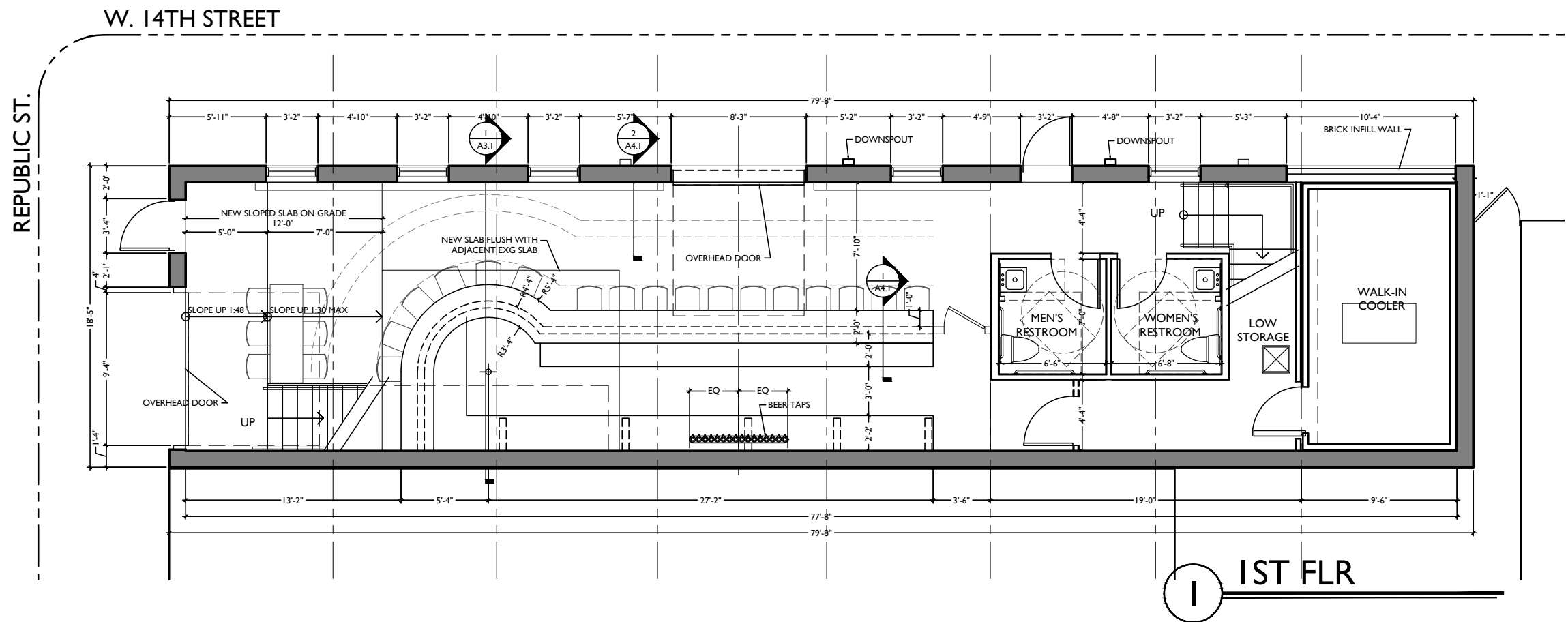
**(N) (I) EXG 1ST FLR**

**A1.00  
EXISTING/DEMO PLANS  
CROWN & KEY BAR**

SCALE: 1/16" = 1'-0"  
09.10.2015

**PROPOSED PROJECT:  
1332 REPUBLIC ST.  
CINCINNATI, OHIO**

**PLATTE**  
architecture + design  
202 W. ELDER ST. | 4TH FLOOR  
CINCINNATI, OH 45202  
T: 513.871.1850 | F: 513.871.1829  
WWW.PLATTEDESIGN.COM  
COPYRIGHT PROTECTED 2015



AI.01  
 PROPOSED PLANS  
 CROWN & KEY BAR

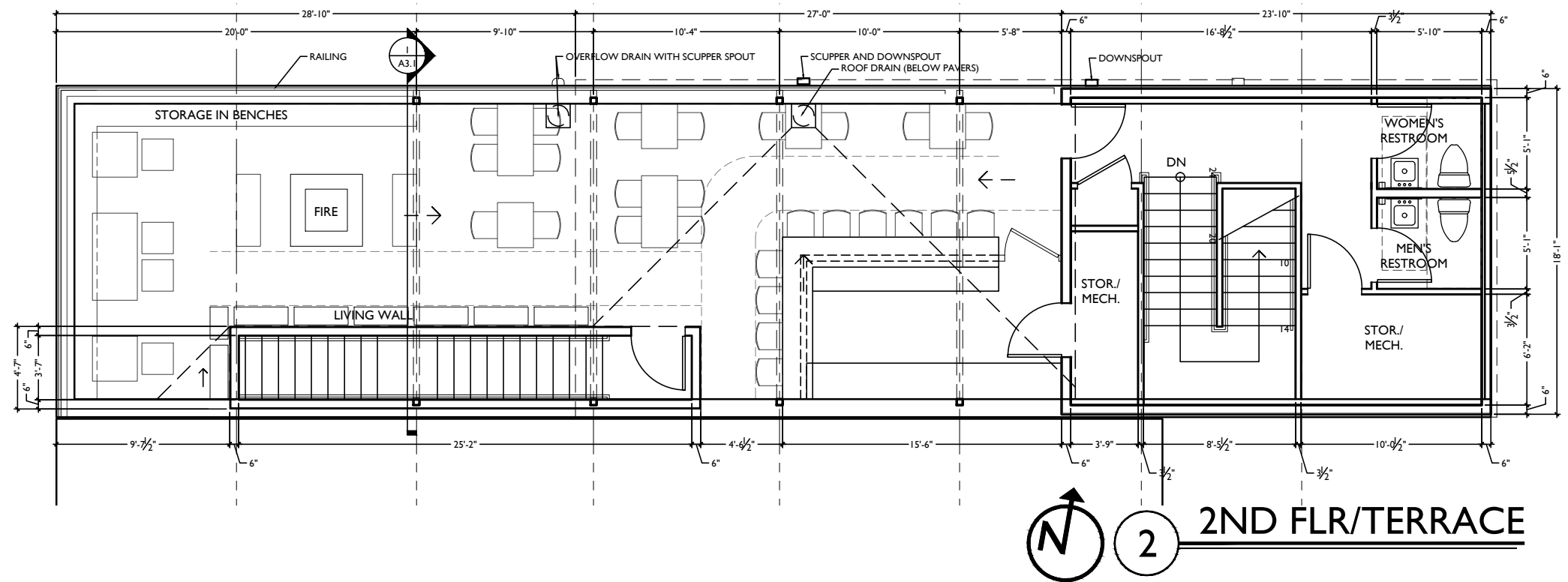
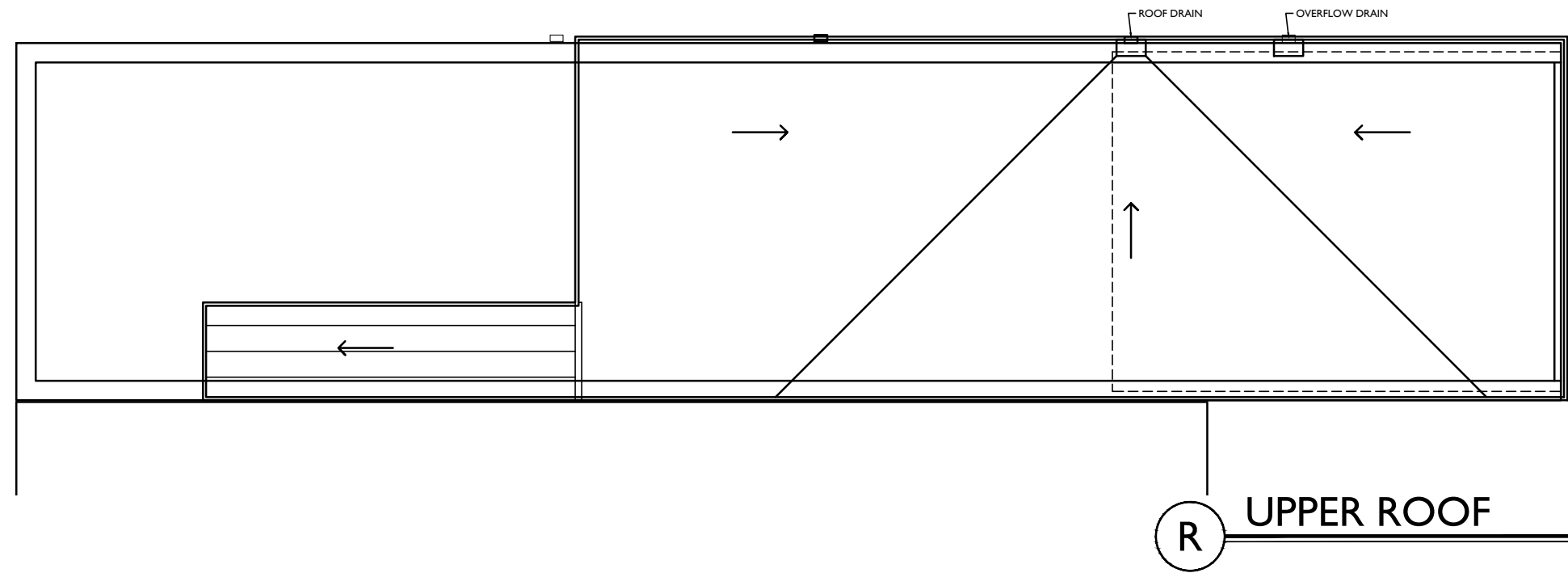
SCALE: 1/16" = 1'-0"  
 09.10.2015

PROPOSED PROJECT:  
**1332 REPUBLIC ST.**  
 CINCINNATI, OHIO

**N**  
**B** BASEMENT

**PLATTE**  
 architecture + design

202 W. ELDER ST. | 4TH FLOOR  
 CINCINNATI, OH 45202  
 T: 513.871.1850 | F: 513.871.1829  
 WWW.PLATTEDESIGN.COM  
 COPYRIGHT PROTECTED 2015



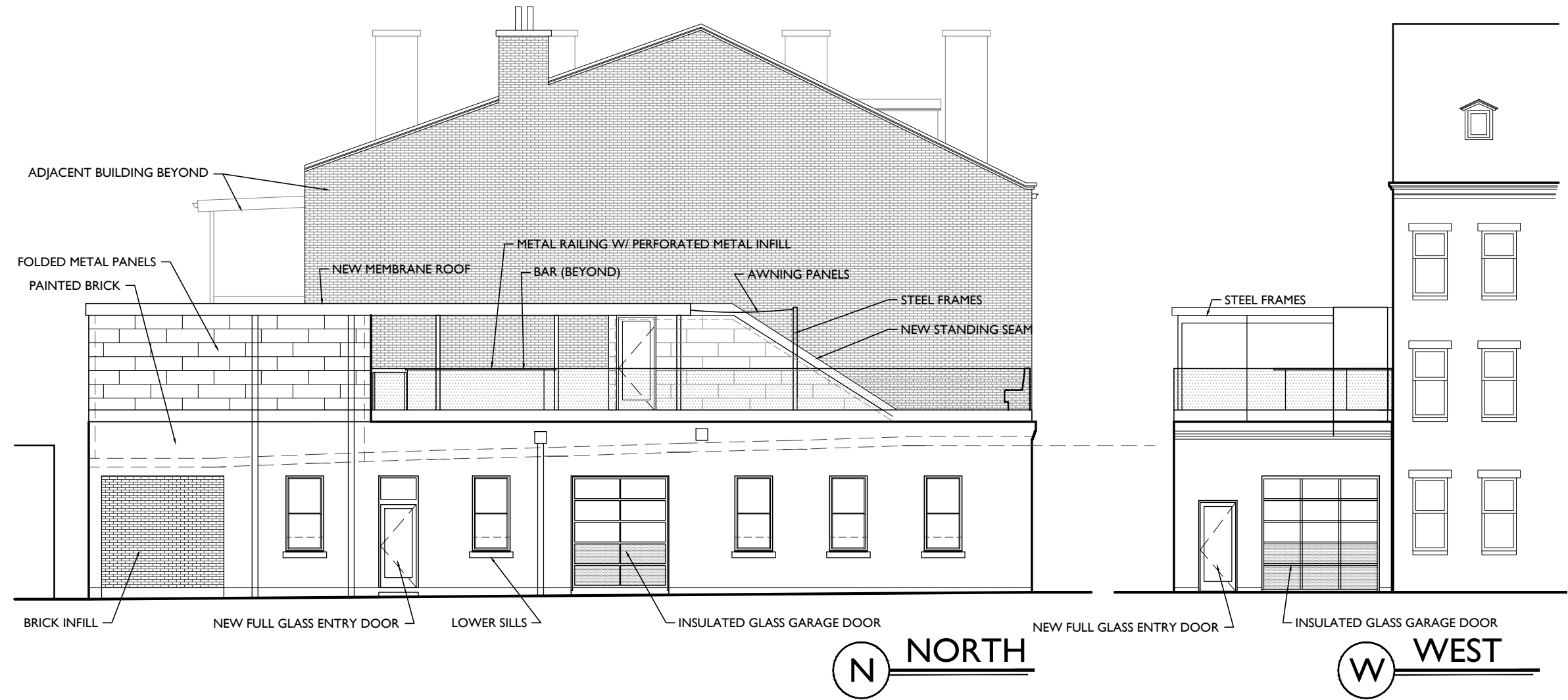
AI.02  
 PROPOSED PLANS  
 CROWN & KEY BAR

SCALE: 1/16" = 1'-0"  
 09.10.2015

PROPOSED PROJECT:  
**1332 REPUBLIC ST.**  
 CINCINNATI, OHIO

**PLATTE**  
 architecture + design

202 W. ELDER ST. | 4TH FLOOR  
 CINCINNATI, OH 45202  
 T: 513.871.1850 | F: 513.871.1829  
 WWW.PLATTEDESIGN.COM  
 COPYRIGHT PROTECTED 2015



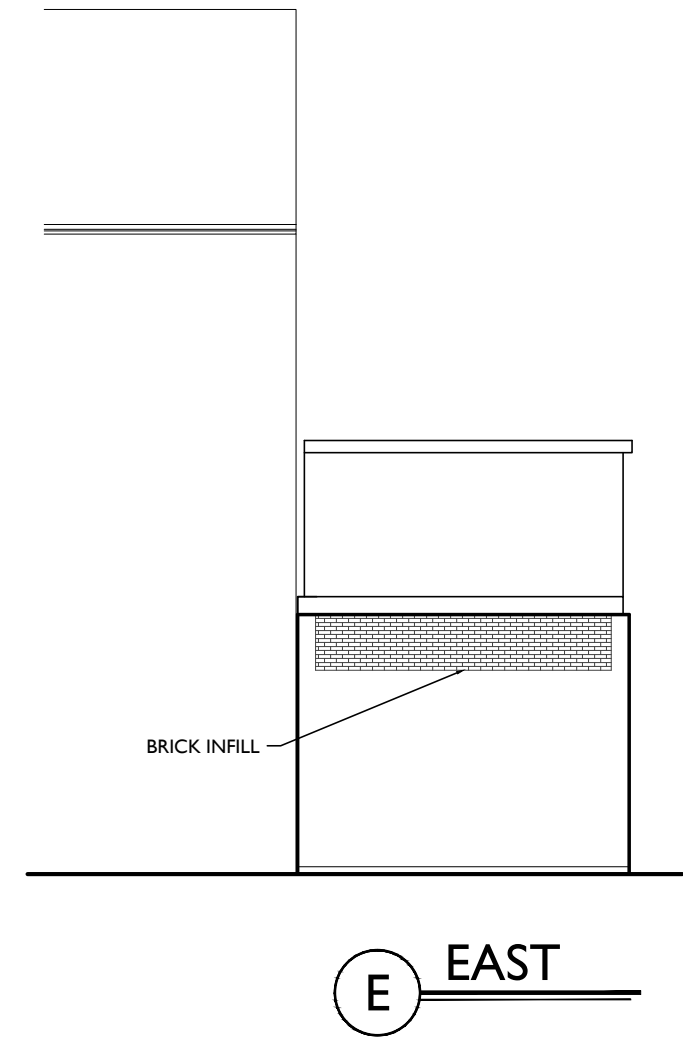
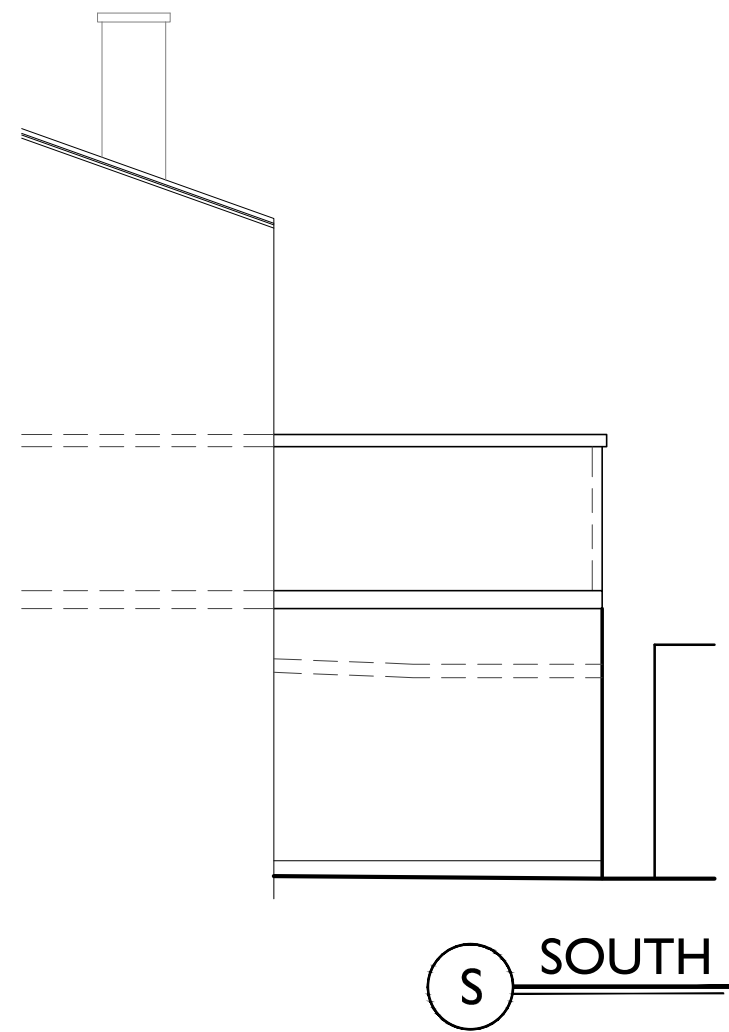
A2.01  
 PROPOSED ELEVATIONS  
 CROWN & KEY BAR

SCALE: 3/32" = 1'-0"  
 09.10.2015

PROPOSED PROJECT:  
**1332 REPUBLIC ST.**  
 CINCINNATI, OHIO

**PLATTE**  
 architecture + design

202 W. ELDER ST. | 4TH FLOOR  
 CINCINNATI, OH 45202  
 T: 513.871.1850 | F: 513.871.1829  
 WWW.PLATTEDESIGN.COM  
 COPYRIGHT PROTECTED 2015



A2.02  
PROPOSED ELEVATIONS  
CROWN & KEY BAR

SCALE: 3/32" = 1'-0"  
09.10.2015

PROPOSED PROJECT:  
**1332 REPUBLIC ST.**  
CINCINNATI, OHIO

**PLATTE**  
architecture + design

202 W. ELDER ST. | 4TH FLOOR  
CINCINNATI, OH 45202  
T: 513.871.1850 | F: 513.871.1829  
WWW.PLATTEDESIGN.COM  
COPYRIGHT PROTECTED 2015



EXISTING VIEW FROM WEST ON FOURTEENTH



PROPOSED VIEW FROM WEST ON FOURTEENTH

A3.01  
SITE LINE STUDIES  
CROWN & KEY BAR

09.10.2015

PROPOSED PROJECT:  
1332 REPUBLIC ST.  
CINCINNATI, OHIO

**PLATTE**  
architecture + design

202 W. ELDER ST. | 4TH FLOOR  
CINCINNATI, OH 45202  
T: 513.871.1850 | F: 513.871.1829  
WWW.PLATTEDESIGN.COM  
COPYRIGHT PROTECTED 2015



EXISTING FROM NORTHWEST CORNER AT 14TH AND REPUBLIC



PROPOSED FROM NORTHWEST CORNER AT 14TH AND REPUBLIC

A3.02  
SITE LINE STUDIES  
CROWN & KEY BAR

09.10.2015

PROPOSED PROJECT:  
**1332 REPUBLIC ST.**  
CINCINNATI, OHIO

**PLATTE**  
architecture + design

202 W. ELDER ST. | 4TH FLOOR  
CINCINNATI, OH 45202  
T: 513.871.1850 | F: 513.871.1829  
WWW.PLATTEDESIGN.COM  
COPYRIGHT PROTECTED 2015



EXISTING/PROPOSED VIEWS FROM EAST ON FOURTEENTH



EXISTING/PROPOSED VIEWS FROM NORTH ON REPUBLIC

**A3.03**  
**SITE LINE STUDIES**  
**CROWN & KEY BAR**

09.10.2015

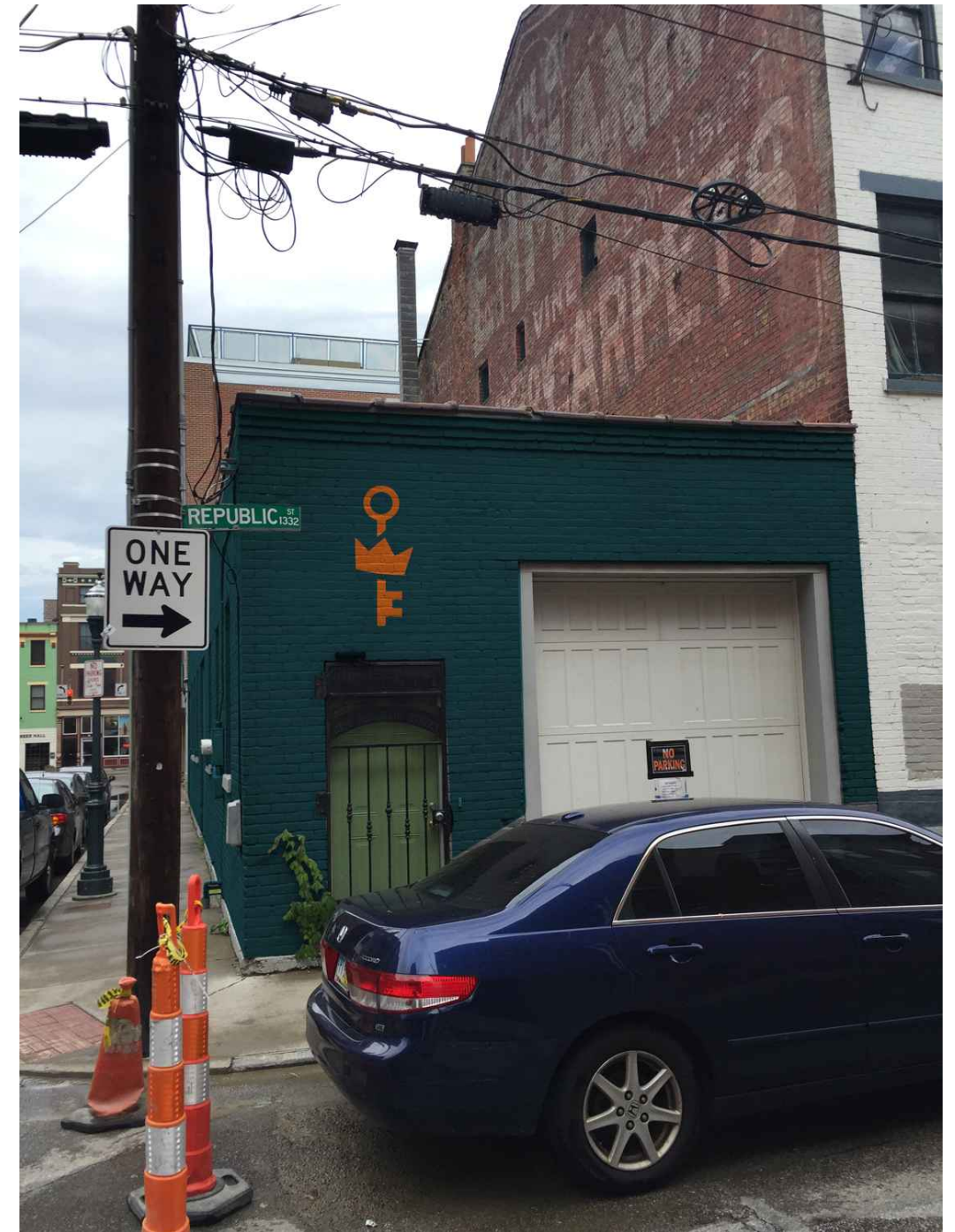
**PROPOSED PROJECT:**  
**1332 REPUBLIC ST.**  
**CINCINNATI, OHIO**

**PLATTE**  
**architecture + design**

202 W. ELDER ST. | 4TH FLOOR  
CINCINNATI, OH 45202  
T: 513.871.1850 | F: 513.871.1829  
WWW.PLATTEDESIGN.COM  
COPYRIGHT PROTECTED 2015



NORTHEAST WALL - PROPOSED MURAL



WEST WALL - ENTRY MARKER

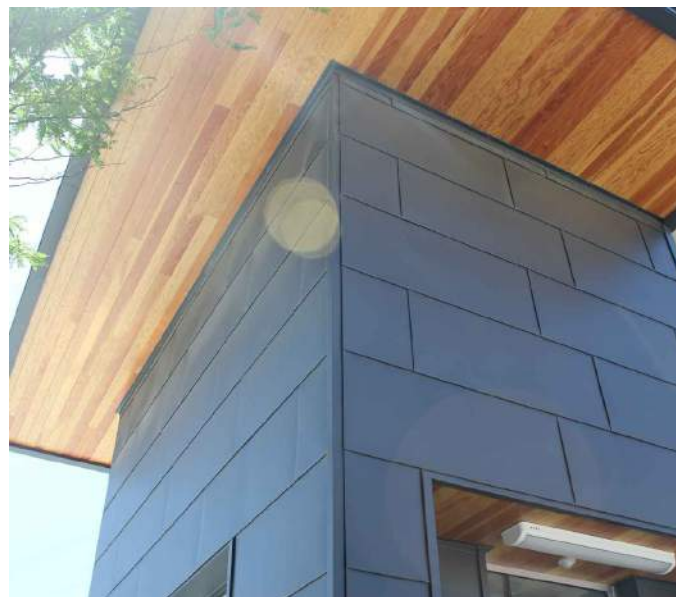
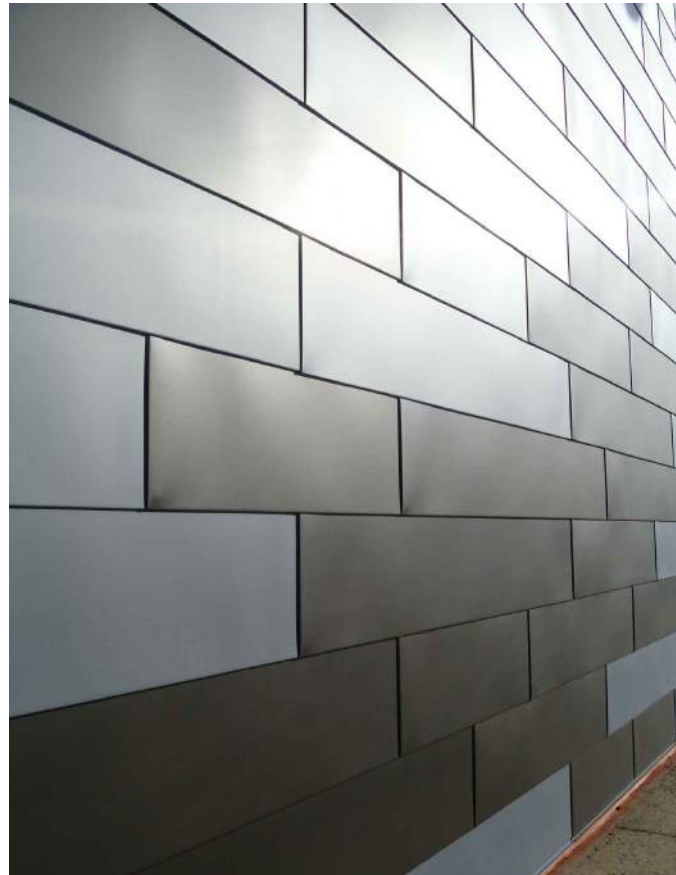
A4.01  
MATERIALS - SIGNAGE AND MURALS  
CROWN & KEY BAR

09.10.2015

PROPOSED PROJECT:  
**1332 REPUBLIC ST.**  
CINCINNATI, OHIO

**PLATTE**  
architecture + design

202 W. ELDER ST. | 4TH FLOOR  
CINCINNATI, OH 45202  
T: 513.871.1850 | F: 513.871.1829  
WWW.PLATTEDESIGN.COM  
COPYRIGHT PROTECTED 2015



CLADDING AT NEW ADDITION:  
 RECTANGULAR METAL WALL TILE PANELS (METAL SHINGLES)  
 HORIZONTAL INSTALLATION WITH FLAT LOCK SEAMS AND  
 CONCEALED CLIPS

FINISH:  
 TITANIUM ZINC  
 MATTE GRAPHITE GRAY  
 (METAL TRIM AND COPINGS TO MATCH)

NEW LOW SLOPE ROOFS:  
 EPDM MEMBRANE  
 NOT VISIBLE TO STREET.

EXAMPLES OF METAL PANEL CLADDING - METAL WALL TILE PANELS

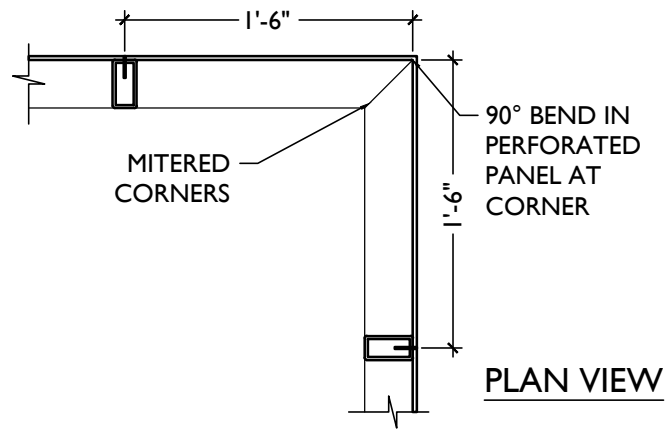
A4.02  
 MATERIALS - EXAMPLE IMAGES  
 CROWN & KEY BAR

09.10.2015

PROPOSED PROJECT:  
**1332 REPUBLIC ST.**  
 CINCINNATI, OHIO

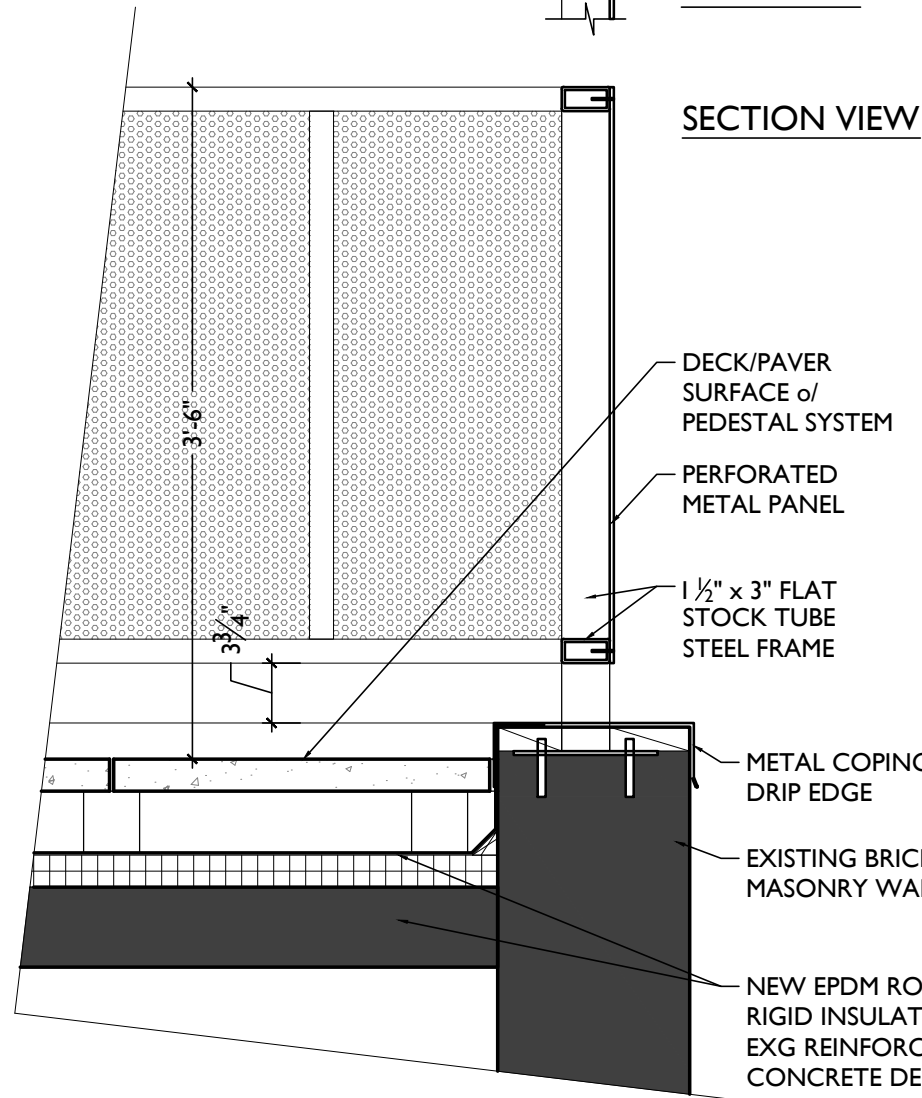
**PLATTE**  
 architecture + design

202 W. ELDER ST. | 4TH FLOOR  
 CINCINNATI, OH 45202  
 T: 513.871.1850 | F: 513.871.1829  
 WWW.PLATTEDESIGN.COM  
 COPYRIGHT PROTECTED 2015



PLAN VIEW

GUARDRAIL:  
 PERFORATED TITANIUM ZINC PANELS  
 MATTE GRAPHITE GRAY FINISH  
 OVER METAL FRAME



SECTION VIEW



PERFORATED METAL ON OUTSIDE FACE OF GUARDRAIL FRAMING



GUARDRAIL FRAMING TO BE ON INSIDE FACE.

PROPOSED RAILING DETAIL

**A4.03**  
**MATERIALS - RAILING DETAILS**  
**CROWN & KEY BAR**

SCALE: 1" = 1'-0"  
 09.10.2015

**PROPOSED PROJECT:**  
**1332 REPUBLIC ST.**  
**CINCINNATI, OHIO**

**PLATTE**  
 architecture + design

202 W. ELDER ST. | 4TH FLOOR  
 CINCINNATI, OH 45202  
 T: 513.871.1850 | F: 513.871.1829  
 WWW.PLATTEDESIGN.COM  
 COPYRIGHT PROTECTED 2015

# Modern Aluminum Collection

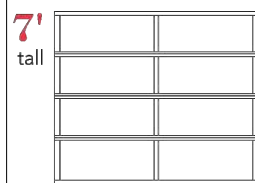
Sleek, sophisticated garage doors

The Modern Aluminum Collection combines glass and aluminum for unparalleled visual appeal, strength and light infiltration. It's a unique solution for your extraordinary home.

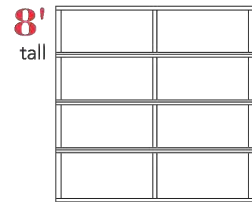
## Frame option

The height and width of the door is fully customizable. Door sizes up to 26'. Section height varies dependent on door height.

**Model 521**  
Heavy duty frame



7'  
tall



8'  
tall

## Glass type

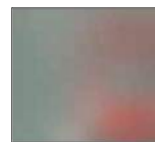
Double Strength (DSB) glass comes standard. In addition we offer an array of choices to complement your home. Insulated glass available.



Clear Double Strength (DSB)



Obscure



Satin Etched

## Specialty Glass

- Laminated White – privacy
- Low E Glass\* – thermal efficiency
- Tempered Glass – enhanced safety
- Tinted Glass\* – color options: Green, Grey, Bronze

\* Insulated options available

## Glass alternatives

- Clear polycarbonate\* – shatter resistant
- Multi-wall polycarbonate – superior strength with UV protection; color options: Clear, White, Bronze
- Acrylic\* – shatter resistant



Clear



Dark Bronze

## Color

### Anodized finishes

Clear anodized finish comes standard. Dark bronze anodized finish is also available. To add further distinction, solid aluminum panels are available.

### Powder coat finishes

Select from 197 powder coat color options to best match your home. Actual color may vary slightly from brochure due to fluctuations in printing process. Color samples are available by request through your local Overhead Door Distributor.



Up to a limited 1-year warranty

OVERHEAD DOOR - MODERN ALUMINUM SERIES - MODEL 521

A5.01  
BROCHURES - OVERHEAD DOORS AND DOUBLE-HUNG WINDOWS  
CROWN & KEY BAR

09.10.2015

Architect Series\*

Designer Series\*

Pella® ProLine 450

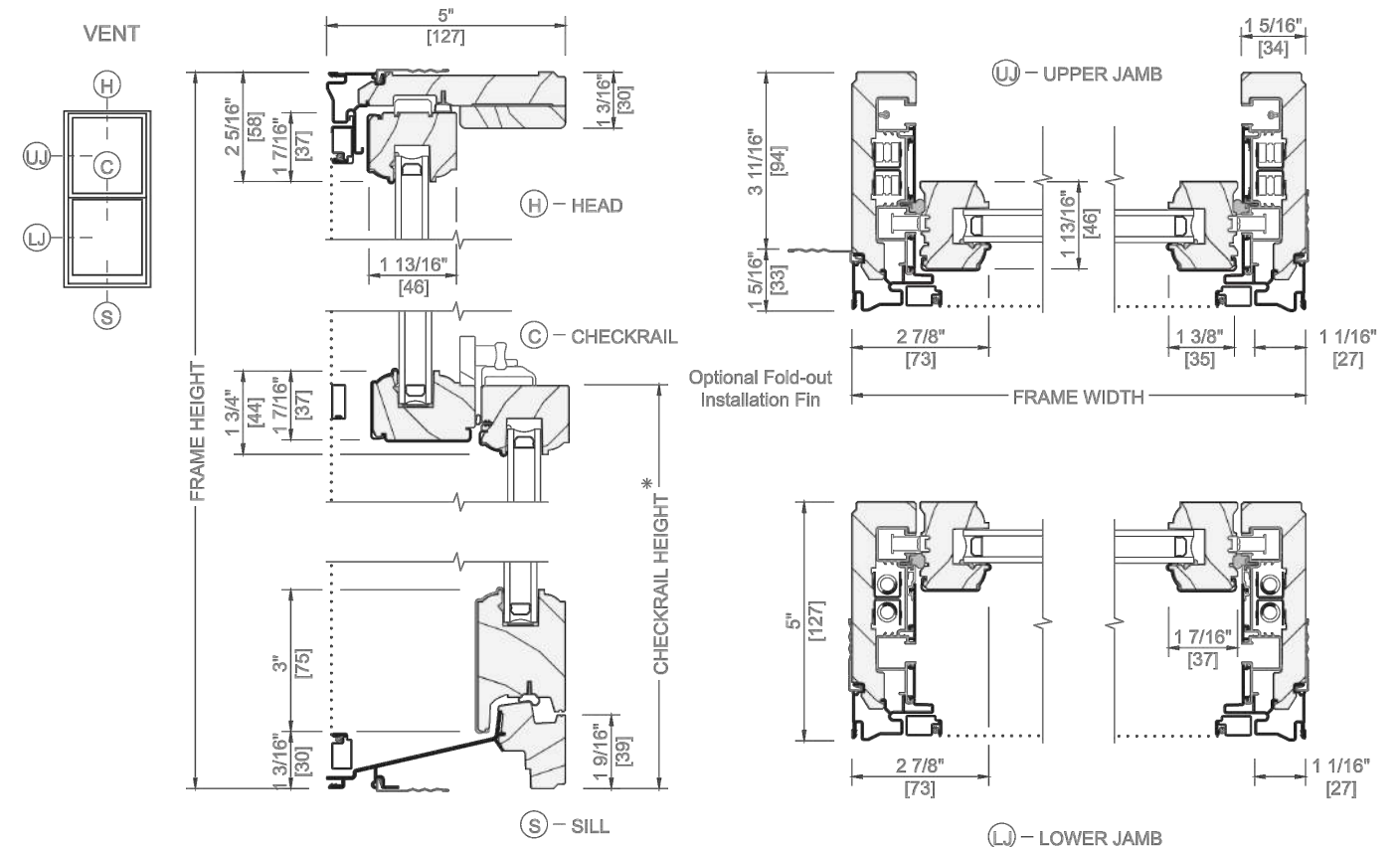


DOUBLE-HUNG

## UNIT SECTIONS

Aluminum-Clad Wood

LX Single- and Double-Hung



\* Dimension required for ordering units with unequal sash.

PELLA ARCHITECT SERIES ALUMINUM-CLAD WOOD WINDOWS

PROPOSED PROJECT:  
1332 REPUBLIC ST.  
CINCINNATI, OHIO

**PLATTE**  
architecture + design

202 W. ELDER ST. | 4TH FLOOR  
CINCINNATI, OH 45202  
T: 513.871.1850 | F: 513.871.1829  
WWW.PLATTEDESIGN.COM  
COPYRIGHT PROTECTED 2015

# PLATTE

architecture + design

---

202 W. ELDER STREET 4TH FLOOR | CINCINNATI, OH 45202  
WWW.PLATTEDESIGN.COM T: 513.871.1850 | F: 513.871.1829

September 10, 2015

Urban Conservator  
Cincinnati Historic Conservation Board  
805 Central Avenue, Suite 720  
Two Centennial Plaza  
Cincinnati, OH 45202

To Whom It May Concern:

This letter and the attached documentation are intended to explain the justification for the issuance of a Certificate of Appropriateness for renovations to the property at 1332 Republic Street.

This project in the Over-the-Rhine Historic District consists of a rehabilitation of a single-story garage-turned-residence into a two-story bar, including an addition of a partial second story and a roof terrace. The building, built in 1921, is included on the Over-the-Rhine's non-contributing resource list (line number 144).

The one-story brick façade will be maintained with some alterations. One of the three garage door openings will be infilled with brick. The other two garage doors will be replaced with glazed overhead doors from the Modern Aluminum Collection of the Overhead Door Company of Cincinnati. There are six existing window openings with double-hung windows. One of these openings will be enlarged to accommodate a full-glass metal egress door. The sill height of the other five window openings will be lowered to improve the vertical proportions of the building, and the double-hung windows will be replaced with new aluminum-clad wood windows from the Pella Architect Series. One existing entry door on the west façade will be replaced with a full glass metal entry door, and a metal security gate over this door will be removed. The brick will be repainted.

The roof level will be converted to a rooftop terrace with bar. There will be two additions on the roof, which will be clad with rectangular metal siding panels. The metal will be a matte finish graphite gray zinc. The addition on the east side of the roof level will house restrooms, storage, and a stairway. The new low-slope membrane roof over this addition will extend over the outdoor bar area to create a covered outdoor space. Steel frames will support this roof structure, and an extra steel frame will allow for seasonal awning attachment to provide shade and rain protection. The underside of the roof overhang will be clad in sealed wood. Another addition will be added to the southwest portion of the roof to accommodate a second stairway. The sloped roof on this addition will be standing seam zinc to match the siding. A new guardrail will be installed along the north and west edges of the roof. The railing will be flat stock steel tube frame with perforated metal panels mounted on the outside face. This will allow the railing to read as a simple horizontal band at the top of the brick façade.

The project, if approved, will begin construction in Fall 2015 and will be completed by early 2016. The projected project budget is \$400,000. Several permanent jobs will be created by this establishment. The proposed roof terrace along with the operable overhead doors of the ground level will allow patrons to safely occupy the outdoors in a narrow but busy thoroughfare between Washington Park and the activity on Vine Street. This project will complete the corner at 14th and Republic, where Salazar, Picnic and Pantry, and Low Spark reside. The roof level additions are kept to a minimum while still accommodating safe and code-compliant egress from the roof. We feel this project is an appropriate approach to transforming this small 'non-contributing' building into a great asset in the OTR neighborhood.

Sincerely,

Melissa Reddy

Architect, Platte Architecture + Design



PROPOSED VIEWS FROM EAST ON FOURTEENTH - REVISED



PROPOSED VIEW FROM NORTH ON REPUBLIC - REVISED



PROPOSED FROM NORTHWEST CORNER AT 14TH AND REPUBLIC - REVISED

**A6.01**  
**ADDITIONAL INFORMATION**  
**CROWN & KEY BAR**

10.20.2015

**PROPOSED PROJECT:**  
**1332 REPUBLIC ST.**  
**CINCINNATI, OHIO**

**PLATTE**  
**architecture + design**

202 W. ELDER ST. | 4TH FLOOR  
CINCINNATI, OH 45202  
T: 513.871.1850 | F: 513.871.1829  
WWW.PLATTEDESIGN.COM  
COPYRIGHT PROTECTED 2015



CLOSEUP VIEW ALONG FOURTEENTH STREET



FACADE ALONG FOURTEENTH STREET



FACADE ON REPUBLIC

**A6.02  
ADDITIONAL INFORMATION  
CROWN & KEY BAR**

10.20.2015

**PROPOSED PROJECT:  
1332 REPUBLIC ST.  
CINCINNATI, OHIO**

**PLATTE**  
architecture + design

202 W. ELDER ST. | 4TH FLOOR  
CINCINNATI, OH 45202  
T: 513.871.1850 | F: 513.871.1829  
WWW.PLATTEDESIGN.COM  
COPYRIGHT PROTECTED 2015

Trinity Flats Condominiums

1332 Republic



Condominiums

1328-1330  
Republic future  
condos

1332 Republic



1332 Republic

15 W. 14th St.  
Yoga Bar - 1st Floor



# Dusty Rhodes, Hamilton County Auditor

generated on 8/21/2015 10:51:52 AM (EST)

## Summary

<b>Parcel ID</b> 081-0004-0177-00	<b>Address</b> 1332 FOURTEENTH ST	<b>Index Order</b> Street Address	<b>Card</b> 1 of 1
--------------------------------------	--------------------------------------	--------------------------------------	-----------------------

<b>Tax Dist</b>	001 CINTI CORP-CINTI CSD-001110	<b>Year Built</b>	1921
<b>School Dist</b>	1 CINCINNATI CSD	<b>Total Rooms</b>	3
<b>Land Use</b>	510 Single family Dwlg	<b># of bedrooms</b>	1
<b>Finished Square Ft.</b>	1156	<b>Full Bathrooms</b>	1
<b>Acreage</b>	0.034	<b>Half Bathrooms</b>	0
<b>Appraisal Area</b>	OVER THE RHINE 01800 OVER THE RHINE		

[Sales](#)



### Property Information

FOURTEENTH ST  
0.0340 AC  
TIF & CRA ABATEMENT

### Owner Information

**Call 946-4015 if Incorrect**  
LE DAVID  
1106 RACE ST  
#2  
CINCINNATI, OH 45202 USA

### Mail Information

**Call 946-4800 if Incorrect**  
LE DAVID  
1106 RACE ST  
CINCINNATI, OH 45202 USA

<b>Board of Revision</b>	No	<b>Other Assessments</b>	Yes
<b>Rental Registration</b>	No	<b>Front Ft.</b>	99.00
<b>Homestead</b>	No	<b>Mkt Land Value</b>	30,680
<b>Owner Occupancy Credit</b>	No	<b>Cauv Value</b>	0
<b>New Construction</b>	No	<b>Mkt Impr Value</b>	107,210
<b>Foreclosure</b>	No	<b>Mkt Total Value</b>	137,890
<b>Date</b>	1/25/2013	<b>Total TIF Value</b>	23,700
<b>Conveyance #</b>	45451	<b>Abated Value</b>	99,190
<b>Sale Amount</b>	\$220,000	<b>Exempt Value</b>	0
<b># of Parcels</b>	1	<b>Taxes Paid</b>	\$839.63
<b>Deed Type</b>	17 WD-Warranty Deed	(See Payments Tab For Details)	
<b>Deed Number</b>	277523	<b>Tax % to value for this tax district</b>	2.257%

### Note

1) 8-31-11 10 YEAR CRA ABATEMENT-REHAB-\$291,800 MAX-BEGAN TAX YEAR 2011 THRU 2020 BACK TO TAXABLE 2021 PAYABLE 2022

David Le  
1332 Republic St.  
Cincinnati, OH 45202  
513-257-7014

August 21, 2015

To Whom It May Concern:

I am writing this letter to inform you that I give permission to Crown & Key to do alterations to the building. If you have further questions, please contact my business partner Bao Nguyen (513-615-2210 or [bao@langthanggroup.com](mailto:bao@langthanggroup.com)).

Sincerely,

A handwritten signature in cursive script that reads "Da L".

David Le  
Member  
The Lang Thang Group, LTD

**APPLICATION FOR  
CERTIFICATE OF APPROPRIATENESS  
HISTORIC CONSERVATION BOARD PUBLIC HEARING  
STAFF REPORT**

---

**APPLICATION #:**

**APPLICANT:** Richard Tranter, attorney for the owner  
**OWNER:** 1349 East McMillan LLC  
**ADDRESS:** **1349 East McMillan Street, Cincinnati OH 45206**  
**PARCELS:** 063-0002-0033-00, 0034-00, 0042-00, 0043-00

**ZONING:** Office Limited (OL)  
**OVERLAYS:** Uplands Historic District  
**COMMUNITY:** East Walnut Hills  
**REPORT DATE:** October 21, 2015  
**PRE HEARING:** October 15, 2015  
**STAFF REVIEW:** Caroline Hardy Kellam, Senior City Planner

---

**Nature of Request:**

The applicant is requesting a Certificate of Appropriateness (COA) to demolish a contributing structure within the Uplands Historic District, maintain an existing asphalt parking lot on the north end of the property and a freestanding HVAC unit and regrade the remaining parcel to plant grass.

**Existing Conditions:**

The property is situated on the south side of East McMillan Street and the lot stretches through to Fleming Street. The adjacent neighbor to the west is St. Ursula Academy on separately owned parcels. To the east is New Thought Unity Center, single family home and apartment building. To the south are two single family homes that abut the property. They were recently sold by the applicant for rehabilitation and sale.

**Proposed Conditions:**

The proposal includes the following work:

1. Demolish the building
2. Retain the parking lot
3. Maintain an HVAC unit on property which supports the neighboring school buildings
4. Regrade the unpaved portion of the property and seed

**Applicable Zoning Code Sections:**

**Zoning District:** Office Limited (OL)  
**Variance Request:** Not requested, but believed to be necessary, see below  
**Overlays:** N/A

Historic District/Reg: Uplands Historic District  
COA Standard: Section 1435-09-2 Certificate of Appropriateness; Standard of Review

**Use Variance:** N/A  
**Urban Design Review:** N/A

### **Zoning Analysis**

The OL District is often utilized as a transitional district within the City's Zoning Code. Given the nature of the structure of 1349 E. McMillan, potential uses that could utilize the building include:

- **Permitted Uses:** Multi-family Housing, Day Cares, Adult Day Cares, Cultural Institutions, Religious Assembly, Schools, Banks and Financial Institutions, Funeral Homes, Business Services, Medical Services, Offices
- **Limited Uses:** Commercial Meeting Facilities, Personal Services and Personal Instructional Uses, Clubs and Lodges
- **Conditional Use:** Commercial Labs and  
**Parking Facilities:** When a primary use exists on a property, the associated parking is considered an accessory to the primary use. Since this parcel is not owned in common name to the school itself, nor is consolidated with the school holding, the parking facility would be an off-site parking facility as presently configured. If the Board were to consider demolition of the historic building and is provided no proposed future principle use, a Conditional Use should be sought or the property completed unified in ownership. Additionally, a newly established parking facility should be brought into conformity with the following standards below. The property abuts RM 2.0 districts on the east and south sides of the lot. With the extreme grade changes, the Board should consider establishing additional landscape buffers on the 1349 site at top of grade to mitigate the view from below which cannot be screened effectively by the future southern homeowners' 6 foot tall fence. Any changes, regardless of ownership upon this parcel would be reviewed for approval by the Historic Conservation Board.
- The subject property is located directly adjacent to Residential Multi-Family (RM-2) District.
- The following sections would pertain to parking lot development.

#### **§ 1425-29. - Parking Lot Landscaping.**

One tree, two inches or more in caliper, must be planted for every ten parking spaces.

- (a) *Perimeter Landscaping.* Parking lots must provide a perimeter landscape area of at least three feet in width.
- (b) *Ground Cover.* Ground cover must be installed appropriate to the surface conditions of the area. Grass is the default landscaping material.
- (c) *Lighting and Walkways.* Lighting fixtures and walkways are permitted within all islands and perimeter areas.

- (d) *Maintenance.* All required planting must be permanently maintained in good growing condition and replaced with new plant materials when necessary to ensure continued compliance with applicable landscaping requirements.

### **§ 1423-13. - Required Buffer Yards.**

Buffer yards are required between certain zone districts with the type of yard depending on the adjoining zoning district. Schedule 1423-13-A prescribes the required buffer yards between adjoining districts.

- (a) *Buffer Yard Plan.* A buffer yard plan must be submitted in conjunction with other application materials, as provided in Chapter 1441, Application Procedures, Fees, Permits and Certificates. The buffer yard plan must incorporate a landscaping plan. The buffer yard plan must show the location of all buffer yards on the project site, location of utility easements, roads, emergency access, walkways and existing and proposed structures on the site.
- (b) *Location.* Required buffer yards of Schedule 1423-13-A must be developed along the perimeter of the lot and extend inward from the property line of the development site. Buffer yards may not be located within any dedicated public or private street right-of-way.

## **Certificate of Appropriateness Review**

**Overview of the Property** – 1.0630 acres. 13,962 sq. ft. building area. Purchase Price approx. \$50/sq. ft.

- The property purchased was one of several that occurred last decade.
  - 7/3/03 - 1309 E. McMillan (Fine Arts) \$425,000 – St. Ursula (\$43/sq. ft.)
  - 3/16/04 - 1349 E. McMillan (Demolition Site) \$699,000 – 1349 East McMillan LLC. (\$50/sq. ft.)
  - 6/01/04 – 1340 Fleming - \$100,000 – 1349 East McMillan LLC (\$56/sq. ft.)
  - 9/14/04 – 1344 Fleming - \$136,000 – 1349 East McMillan LLC (\$78/sq. ft.)
  - 11/13/08 - 1322 E. McMillan (Student Center) 1322 East McMillan LLC - \$1,700,000 (\$71/sq. ft.)
- 1349 East McMillan LLC's three purchases squared up the available land east of the school.
- 8/14/14 - 1349 East McMillan LLC sold 1340 and 1344 Fleming for \$35,000, for a net loss of \$201,000 on the property. The homes appear to have been sold substantially below fair market value for the East Walnut Hills neighborhood. 1344 Fleming has been on the market for a month listed for \$299,000.

## **Uplands Historic District – Establishment; and Site’s Contribution Within the District**

In April 1998 the Kemper Heirs Historic District, which included St. Ursula Academy, was proposed before the Historic Conservation Board and they recommended to City Planning Commission (CPC) in May of 1998. After extensive testimony from St. Ursula in opposition to being included in the district, CPC delayed the decision and requested St. Ursula be removed from the district. Historic staff changed the name of the district and brought it back to the CPC in June 1998. The district was later approved by City Council. St. Ursula purchased 1349 E. McMillan with full knowledge of the historic status of the building.

This building is a contributing building within the Uplands Historic District. The building was built in 1915 and falls within the period of significance, which dates until 1920. It is significant for its architecture, which is referred to as Neo Georgian. When East Walnut Hills was surveyed in the early 2000s as part of the Cincinnati Historic Inventory Survey the building was determined eligible for the National Register and the State Historic Preservation Office concurred with those findings. The address 1349 E. McMillan Street does not appear on the noncontributing list that is a part of the Uplands Historic District Guidelines.

### **Materials Presented by Applicant**

Summary of the applicant’s submittal packet:

1. In 2004 the building was purchased for \$699,000 in foreclosure.
2. The two most recent assessments were in 2011 - and 2014 - \$787,010
3. The property has not been listed for sale in 11 years. This has been independently verified.
4. According to a contractor’s estimate it will cost \$3.4 million to renovate the building for an office use. No scope of work or purpose of project was provided within the documentation presented prior to the meeting. No engineer certification was provided substantiating the proposed cost.
5. It will cost \$85,000 to demolish the building. No certification was provided with estimate. Estimate was from 2012.
6. Per the applicant’s hardship questionnaire, no significant improvements have been made since the 2004 purchase. No significant expenses have been incurred beyond insurance and minimal utilities.

### **Economic Hardship Questionnaire: Document attached**

## Upland Demolition Guidelines

The demolition of existing buildings shall not be permitted unless one of the following conditions exists:

1) Demolition has been ordered by the Director of Buildings and Inspections for public safety because of an unsafe or dangerous condition which constitutes an emergency.

*This is not the case. City has only been called for minor property maintenance violations.*

2) The owner can demonstrate to the satisfaction of the Historic Conservation Board that the structure cannot be reused nor can a reasonable economic return be gained from the use of all or part of the building proposed for demolition.

*The owner has not documented to date that no one was interested in the property for any of the permitted zoning uses nor demonstrated that there was no ability to make a reasonable return on the property.*

3) The owner is a non-profit corporation or organization and can demonstrate to the satisfaction of the Historic Conservation Board that the denial of the application to demolish would also deny the owner the use of the property in a manner compatible with its organizational purposes and would amount to a taking of the owner's property without just compensation.

*This is not the case. During the pre-hearing applicant's representatives stated that the recent St. Ursula Strategic Plan was implemented. It was also stated that the campus would not be increasing the enrollment of the school, that its current enrollment maximums were their future goal.*

4) The demolition request is for an inappropriate addition or a non-significant portion of a building and the demolition will not adversely affect those parts of the building which are significant as determined by the HCB.

*This building is contributing within the district.*

5) The demolition request is for a non-contributing building and the demolition will not adversely affect the character of the district.

*This building is contributing within the district.*

### Other Considerations:

**Prehearing Results:** October 15, 2015 – The applicant, representatives of the East Walnut Hills Assembly and the Cincinnati Preservation Association were in attendance. There were questions of the applicants and potential concern expressed by residents and Assembly members.

**Comments Provided to Staff:** Attached are letters from the East Walnut Hills Assembly, the Walnut Hills Redevelopment Foundation and the De Sales Corner Development Corporation.

**Consistency with *Plan Cincinnati (2012)*:**

Not consistent with the "Sustain" Initiative Area "Preserve our built history"

**Actions of the Board**

**Previous Board Standard of Review**

The Board previously reviewed two demolitions of structures within the East Walnut Hills neighborhood.

1725 Madison Road

- Third attempt to redevelopment a church building and subsequent additions.
- Primary structure was substantially destroyed by fire and rebuilt before Historic District established.
- Site was small and potential uses were in close proximity to residences and no off-site parking was available for the site.
- The approval to demolish was contingent upon a) approval of a PD for condominium townhomes and maintaining significant and prominent portions of the original façade, including the steeple tower.

2753 Johnstone

- Owned by Seven Hills School
- Was proposed as part of a comprehensive site redevelopment plan that allowed for improved recreational activities for students and improved parking facilities.
- School demonstrated that the building was not useful in the operations of the school facility.
- Building was not prominently located and was situated in the middle of the school campus.

**Recommendation:**

Staff recommends the Historic Conservation Board take the following action:

1. a) **DENY** a Certificate of Appropriateness for the demolition of 1349 E. McMillan Street.
- b) **FINDING:** The Board makes this determination per Section 1435-09-2:  
(a) That the property owner has not demonstrated by credible evidence that the property owner will suffer economic hardship if the Certificate of Appropriateness is not approved.

October 12, 2015

Via Hand Delivery

Ms. Caroline Kellam  
City Planning Department  
City of Cincinnati  
805 Central Avenue  
7<sup>th</sup> Floor, Centennial Two  
Cincinnati, Ohio 45202

**Re:** *1349 East McMillan Street, Cincinnati, Ohio / Demolition Application / Application for Certificate of Appropriateness*

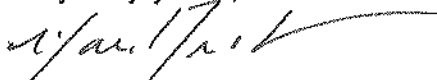
Dear Ms. Kellam:

Per your request last week, please find enclosed ten (10) copy sets of the following documents:

- Application for Certificate of Appropriateness received by the City Planning Department on June 1, 2015;
- HGC White Box Proposal as to the subject property dated October 22, 2012;
- Nine (9) photographs of the subject property and street views; and
- Post-Demolition site plan.

Also, please find enclosed a CD containing the aforementioned documents. Finally, it is our intention to attend the pre-hearing meeting scheduled for this Thursday at 10:00 a.m. and the meeting of the Historic Conservation Board scheduled for Monday, October 26<sup>th</sup> at 3:00 p.m.

Very truly yours,



Richard B. Tranter  
Attorney for St. Ursula Academy

HISTORIC CONSERVATION BOARD  
DEPARTMENT OF CITY PLANNING AND BUILDINGS  
CITY OF CINCINNATI, OHIO

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

ATTACHMENT

Owner: 1349 East McMillan LLC  
c/o Richard B. Tranter, Esq.  
255 East Fifth Street  
Suite 1900  
Cincinnati, Ohio 45202  
(513) 977-8684  
richard.tranter@dinsmore.com

Contractor: O'Rourke Wrecking Co.  
Attn: Steve Sheridan  
660 Lunken Park Drive  
Cincinnati, Ohio 45226  
(513) 871-1400

**Work Proposed**

The owner proposes to demolish the existing building and re-grade the property.

**Additional Information**

The owner may supplement this Application with additional documentation.



Richard B. Tranter  
(513) 977-8684 (direct) ^ (513) 977-8141 (fax)  
richard.tranter@dinsmore.com

June 1, 2015

**HAND DELIVERED**

Historic Conservation Board  
Department of City Planning and Buildings  
City of Cincinnati, Ohio  
Two Centennial Plaza  
805 Central Avenue  
Suite 700  
Cincinnati, OH 45202

**RE:** Application for Certificate of Appropriateness  
1349 East McMillan Street, East Walnut Hills

Dear Members of the Board:

1349 East McMillan LLC ("SUA")<sup>1</sup> respectfully submits this Application for Certificate of Appropriateness (this "Application") for your consideration. As set forth in this Application, SUA, as owner of the property located at 1349 East McMillan Street in East Walnut Hills (the "Property")<sup>2</sup>, seeks approval from the Historic Conservation Board (the "Board") to demolish the building (the "Building") located on the Property. This Application comes before the Board because the Property is situated within the Uplands Historic District.

SUA acquired the Property in 2004 following foreclosure and sale pursuant to court order. At the time of the acquisition, SUA hoped to convert the Building to beneficial use for the Academy, as the location of the Property adjacent to the SUA campus promised the opportunity for expansion.

---

<sup>1</sup> 1349 East McMillan LLC is an Ohio limited liability company of which St. Ursula Academy is the sole member.

<sup>2</sup> 1349 East McMillan LLC is the title owner of the Property. As the sole member of 1349 East McMillan LLC, SUA is the beneficial owner of the property, and is referred to as such in this Letter.

As SUA began investigating alternative plans for the Property, it realized that the scope of the work necessary to rehabilitate the Building would be cost prohibitive. Specifically, the estimate to rehabilitate the Building exceeds \$3.4 million.

Alternatively, SUA considered selling the Property in as-is condition. Ultimately, however, SUA became aware that, if a willing buyer could be found at all, the price it could obtain would result in SUA forfeiting a sizeable portion of its initial investment.

Finally, taking no action would be similarly unpalatable. Every year, SUA incurs thousands of dollars in operating costs for the Property. For this continual outlay of funds—funds that could be better spent on Academy activities—SUA receives no benefit whatsoever. Equally as troubling, the risk of injuries to and damage caused by trespassers exists as long as the Building is vacant.

Certainly, SUA recognizes that historic preservation, in appropriate cases, is a laudable goal. However, the rights of land owners may not be unreasonably and unnecessarily burdened in the pursuit of historic preservation. When, due to constraints imposed by the City in the interest of preserving property located in an historic district, an owner is forced into a position of economic hardship or required to single-handedly shoulder the financial burden of a public interest, such constraints must give way to the rights of the owner.

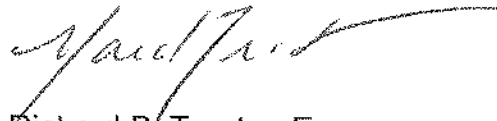
The foregoing precisely describes the dilemma SUA would face if this Application were denied. In such event, SUA would be made to elect one of three courses of action: (1) sell the Property and forfeit most or all of its initial investment; (2) repair the Building without hope of any return on a much larger investment; or (3) do nothing and continue to absorb annual operating deficits *ad infinitum*. All of the aforementioned choices would diminish resources needed by SUA to fulfill its educational mission. A decision of this Board allowing SUA to demolish the Building would be consistent with the Board's guidelines and would avoid economic hardship for SUA.

Finally, it should be noted that SUA is a unique property owner. SUA is a non-profit institution whose mission is to educate and nurture young women. SUA has earned a reputation as one of the most respected high schools in the area. SUA is also an essential and welcome member of the East Walnut Hills community. Indeed, SUA's presence in the community is so highly regarded that City Council—due in large part to the outcry by community residents—expressly excluded certain portions of the SUA campus from the Uplands Historic District. In so doing, City Council responded to the wishes of community residents by signaling its view that the community would best be served by allowing SUA to focus on its critical mission where there was no justification for complying with the historical preservation guidelines. Given this, there is no compelling justification for burdening SUA in its ownership of the Property.

Historic Conservation Board  
June 1, 2015  
Page 3

In sum, the Board should approve this Application. As required, SUA's responses to the economic hardship questionnaire are attached hereto for the Board's consideration.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Richard B. Tranter", with a long, sweeping horizontal flourish extending to the right.

Richard B. Tranter, Esq.

*Legal Counsel to St. Ursula Academy*

Enclosures

Economic Hardship Questionnaire Responses

St. Ursula Academy  
1349 E. McMillan Street

1. The amount paid for the property, the date of purchase and the party from whom purchased, including a description of the relationship, if any, between the owner and the person from whom the property was purchased.

The subject property was purchased by 1349 East McMillan LLC, an Ohio limited liability company, from BLC Real Estate, LLC, a Delaware limited liability company, on February 10, 2004. Title to the subject property was conveyed by General Warranty Deed recorded on March 16, 2004 at O.R. Vol. 9563, Pg. 1915, Hamilton County, Ohio Recorder's Office. The purchase price paid for the subject property was \$699,000.00.

2. The condition of the property when purchased.

At the time of purchase by the current owner in February 2004, the subject property was in poor condition. For example, the building showed the following signs of deterioration:

- (a) Visible evidence of moisture intrusion and mold;
- (b) Painted and other finished surfaces in disrepair;
- (c) Damaged windows with inefficient single-pane glazing;
- (d) Exposed asbestos and other toxic substances (i.e., paint) and unmarked containers; and
- (e) Collapsing ceiling structures.

3. The value of significant interior and exterior improvements made after purchase.

No significant improvements have been made since purchase.

4. The assessed value of the land and improvements thereon according to the two (2) most recent assessments.

	Land	Improvements	Total
2014	\$145,860	\$641,150	\$787,010
2011	\$145,860	\$641,150	\$787,010

**5. Real estate taxes for the previous two (2) years.**

	<b>Real Estate Taxes</b>
2014	\$35.78
2011	\$35.78

**6. Annual debt service, if any, for the previous two (2) years.**

There is no annual debt service owed on the subject property.

**7. All appraisals obtained within the previous two (2) years by the owner or applicant in connection with his purchase, financing or ownership of the property.**

No appraisals of the subject property have been obtained in the past two years.

**8. Any listing of the property for sale or rent, price asked and offers received if any.**

The subject property has not been listed for sale, although the owner has investigated selling the property.

**9. Any consideration by the owner as to profitable adaptive uses for the property.**

The owner has considered complete and partial renovations of the building for Academy uses, including for a theater, dining hall, and student center, as well as for speculative leasing to office tenants. However, the substantial costs necessary to return the building to a habitable condition would far exceed the anticipated rental income.

Additionally, the owner has considered selling the subject property in an as-is condition, but doing so would result in a significant loss to the owner.

**10. An itemized statement of the annual costs of all insurance on the property.**

During its period of ownership from February 2004 through to the present, total insurance costs for the subject property (including projected 2015 costs) amounted to \$53,120, and an average annual cost of \$4,829.

11. A statement of potential return on investment based on existing or new uses, including costs of rehabilitation of existing supplementary new construction, and using fair market value for the property, a “reasonable” rate of return on investment, and prevailing rehabilitation and rental rates in the area. (Including floor area per floor and total).

Because of the significant rehabilitation costs, there is no use of the property from which a return on investment would be realized.

12. All available reports, if any, on the structural condition of the property.

There are no structural reports for the subject property. However, a substantial portion of the estimated \$3.4 million required to rehabilitate the building would be used to address structural issues (e.g., new slab on grade, replace floor framing, roof framing repair and new room, etc.).

13. Annual gross (pre-tax minus maintenance and other costs) income from the property for the previous two (2) years.

The subject property has not generated any income since it was purchased by the current owner in 2004. In fact, it has generated significant losses during that time frame.

14. Whether or not the property was occupied when purchased, and any income from the property at the time it was purchased immediately or prior thereto.

The subject property was vacant prior to and at the time of purchase by the current owner.

15. Itemized operating and maintenance expenses for the previous two (2) years.

	2014	2013
Water	\$1,157	\$1,168
Real Estate Taxes	\$38	\$36
Insurance	\$5,399	\$5,509
Landscaping/Clean Up	\$300	\$300
Maintenance Inspections	\$30	\$30
Parking Lot Maintenance	\$0	\$400
Snow Removal	\$550	\$550
<b>Total</b>	<b>\$7,474</b>	<b>\$7,993</b>

**16. Annual cash flow, if any, for the previous two (2) years.**

The subject property has not generated any cash flow since it was acquired by the current owner in 2004.

**17. For vacant, semi-vacant and under-utilized buildings, or buildings in need of rehabilitation, owner is required to submit a statement of potential return on investment based on existing or new uses, including costs of rehabilitation, and supplementary new construction, and using fair market value for the property, a "reasonable" rate of return on investment, and prevailing rehabilitation and rental rates in the area.**

As stated in No. 11 above, there is no use of the property from which a return on investment would be realized due to the significant rehabilitation costs.

**18. Owner required statement of anticipated income from the property after the demolition of the structure or structures.**

The owner does not anticipate earning any income from the property following its demolition.



# SAINT URSULA ACADEMY

October 22, 2012

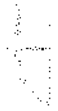
Discription	Quantity	Unit	Unit Cost	Total Cost
	21,150	gsf		
<b>A10 Foundations</b>				
New Slab On Grade	10,250	sf	4.00	41,000
Vapor Barrier @ new SOG	10,250	sf	1.00	10,250
Radon Vent	1	ls	1,200.00	1,200
Excavate for Gravel of SOG	190	cy	65.00	12,338
Excavate & BF Perimeter	1,218	cy	40.00	48,735
Foundation Drainage	514	lf	25.00	12,850
Waterproof exterior of existing stone foundation	5,140	sf	5.00	25,700
Excavate for new elevator pit	1	ls	5,000.00	5,000
Pour pad for new elevator pit	100	sf	100.00	10,000
Form & pour elevator pit walls	200	sf	125.00	25,000
<b>A10 Foundations Total</b>			<b>9.08</b>	<b>192,073</b>
<b>B10 Superstructure</b>				
Replace all Floor Framing	10,900	sf	25.00	272,500
Patch Joist Pockets	1	ls	5,000.00	5,000
Steel Perimeter Angle	1,683	lf	25.00	42,075
Roof Framing Repair	10,250	sf	5.00	51,250
Load Bearing CMU for Elevator Shaft	1,400	sf	25.00	35,000
<b>B10 Superstructure Total</b>			<b>19.19</b>	<b>405,825</b>
<b>B20 Exterior Enclosure</b>				
Masonry Repair	14,515	sf	5.00	72,573
f Exterior Wood Trim	1,000	hrs	55.00	55,000
f Equipment for Exterior Wood & Masonry	1	ls	20,000.00	20,000
f Materials for Exterior Wood & Masonry	1	ls	15,000.00	15,000
HM Doors, Frames & Hardware	6	ea	1,500.00	9,000
Front Doors	9	ea	5,000.00	45,000
Replace "Engineering" Door Entrance	1	ea	7,500.00	7,500
f Exterior caulking @ windows	92	ea	75.00	6,900
Windows	92	ea	1,250.00	115,000
f Paint Exterior Window Frames	92	ea	150.00	13,800
Studs & Insulation at Perimeter	14,515	sf	5.25	76,201
f Repair & Paint Fire Escape	1	ea	2,000.00	2,000
<b>B20 Exterior Enclosure Total</b>			<b>20.71</b>	<b>437,974</b>
<b>B30 Roofing</b>				
Replace All Roofs	10,250	sf	15.00	153,750
f Gutters	296	lf	27.50	8,140
f Downspouts	264	lf	15.00	3,960
f Rebuild Scuppers	7	ea	350.00	2,450
<b>B30 Roofing Total</b>			<b>7.96</b>	<b>168,300</b>



**SAINT URSULA**  
ACADEMY

October 22, 2012

Discription	Quantity	Unit	Unit Cost	Total Cost
<b>C10 Interior Construction</b>				
Misc. steel	21,150	sf	0.50	10,575
Rough Carpentry	21,150	sf	0.25	5,288
Rated Drywall Ceiling	21,150	sf	5.00	105,750
Partitions	21,150	sf	2.00	42,300
5'x5' HVAC Shaft	800	sf	7.00	5,600
Mechanical Rooms	4	ea	2,500.00	10,000
Main Electric/Comm Closet	1	ea	2,500.00	2,500
Electric/Comm Closet	3	ea	1,000.00	3,000
HM Doors, Frames & Hardware Rooms	8	ea	1,000.00	8,000
<b>C10 Interior Construction Total</b>			9.13	193,013
<b>C20 Stairs</b>				
Rebuild Original Wood Staircase 1 to M	1	ls	10,000.00	10,000
Build New Stairs	6	ea	7,500.00	45,000
Handrails	7	ea	1,500.00	10,500
<b>C20 Stairs Total</b>			3.10	65,500
<b>C30 Interior Finishes</b>				
NO Work				0
<b>C30 Interior Finishes Total</b>			0.00	0
<b>D10 Conveying Systems</b>				
Elevator	1	ls	70,000.00	70,000
<b>D10 Conveying Systems Total</b>			3.31	70,000
<b>D20 Plumbing</b>				
Plumbing	1	ls	20,000.00	20,000
<b>D20 Plumbing Total</b>			0.95	20,000
<b>D30 HVAC</b>				
HVAC	21,150	sf	10.00	211,500
<b>D30 HVAC Total</b>			10.00	211,500
<b>D40 Fire Protection</b>				
Fire Protection	21,150	sf	2.75	58,163
<b>D40 Fire Protection Total</b>			2.75	58,163
<b>D50 Electrical</b>				
Electrical	21,150	sf	6.50	137,475
<b>D50 Electrical Total</b>			6.50	137,475



**SAINT URSULA**  
ACADEMY

October 22, 2012

Discription	Quantity	Unit	Unit Cost	Total Cost
<b>F20 Demolition</b>				
Interior Demolition & Abatement	1	ls	225,000.00	225,000
Demo Stairs	1	ls	15,000.00	15,000
<b>F20 Demolition Total</b>			11.35	240,000
<b>G20 Site Improvements</b>				
Underground Fire Water Line	1	ls	15,000.00	15,000
New Gas Line	1	ls	15,000.00	15,000
Water Tap Fee	1	ls	9,000.00	9,000
1.5" Water Meter	1	ls	1,500.00	1,500
1.5" MSD Fee		Existing		0
Concrete Repair	1	ls	25,000.00	25,000
Site Lighting Allowance	1	ls	15,000.00	15,000
Exterior Signage Allowance	1	ls	5,000.00	5,000
Landscaping	1	ls	25,000.00	25,000
<b>G20 Site Improvements Total</b>			5.22	110,500
<b>Z10 Misc General Requirements</b>				
Safety	21,150	gsf	0.75	15,863
Building Permit	1	ls	10,000.00	10,000
Site Construction Fence	700	lf	12.50	8,750
Small Tools	6	mo	500.00	3,000
Temp Toilets 2 for 6 mns	12	mo	125.00	1,500
Electrical Utility Charges	6	mo	750.00	4,500
Water Utility Charges	6	mo	75.00	450
Temp Heat	1	ls	4,000.00	4,000
Dumpsters	20	Pulls	350.00	7,000
<b>Z10 Misc General Requirements Total</b>			2.60	55,063
<b>Total Direct Cost</b>			\$ 111.84	\$ 2,365,384
<b>Z30 General Conditions Total</b>				236,538
<b>Contingency</b>			25.00%	650,481
<b>Fee (Includes 0.25% CAT)</b>			5.25%	170,751
			\$ 161.84	\$ 3,423,000



1974

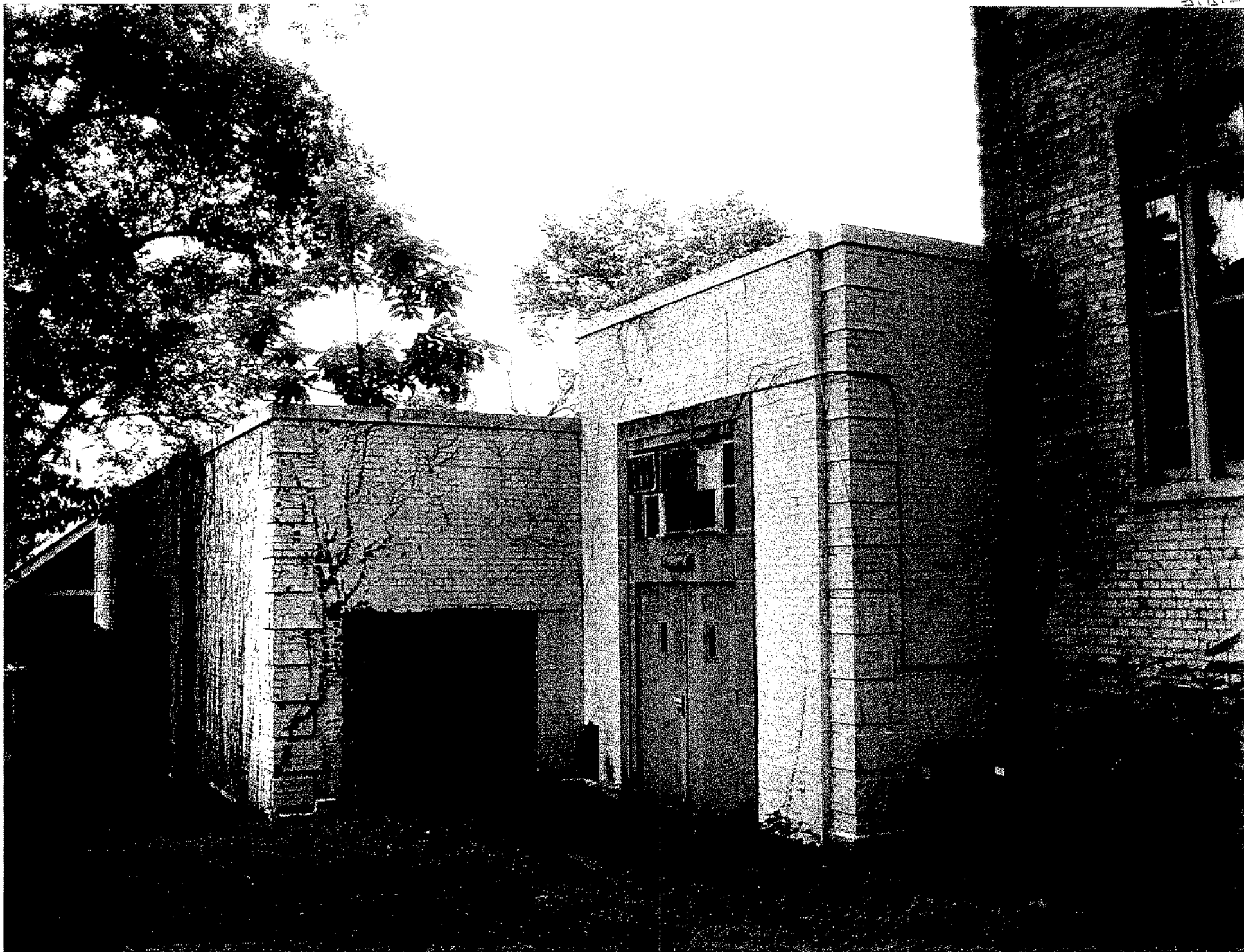




FRONT



SIDE



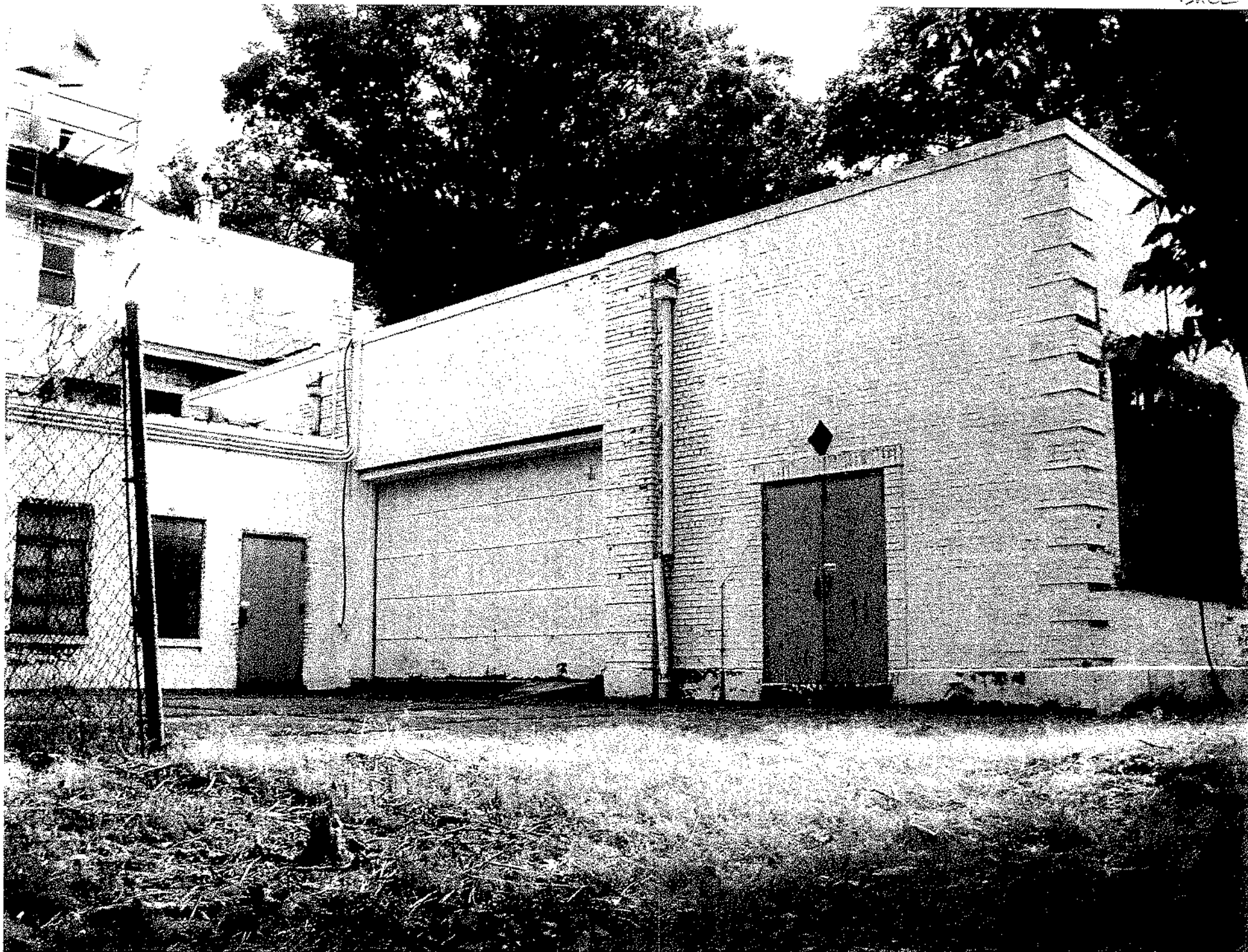
SIDE



SURE BACK



BACK

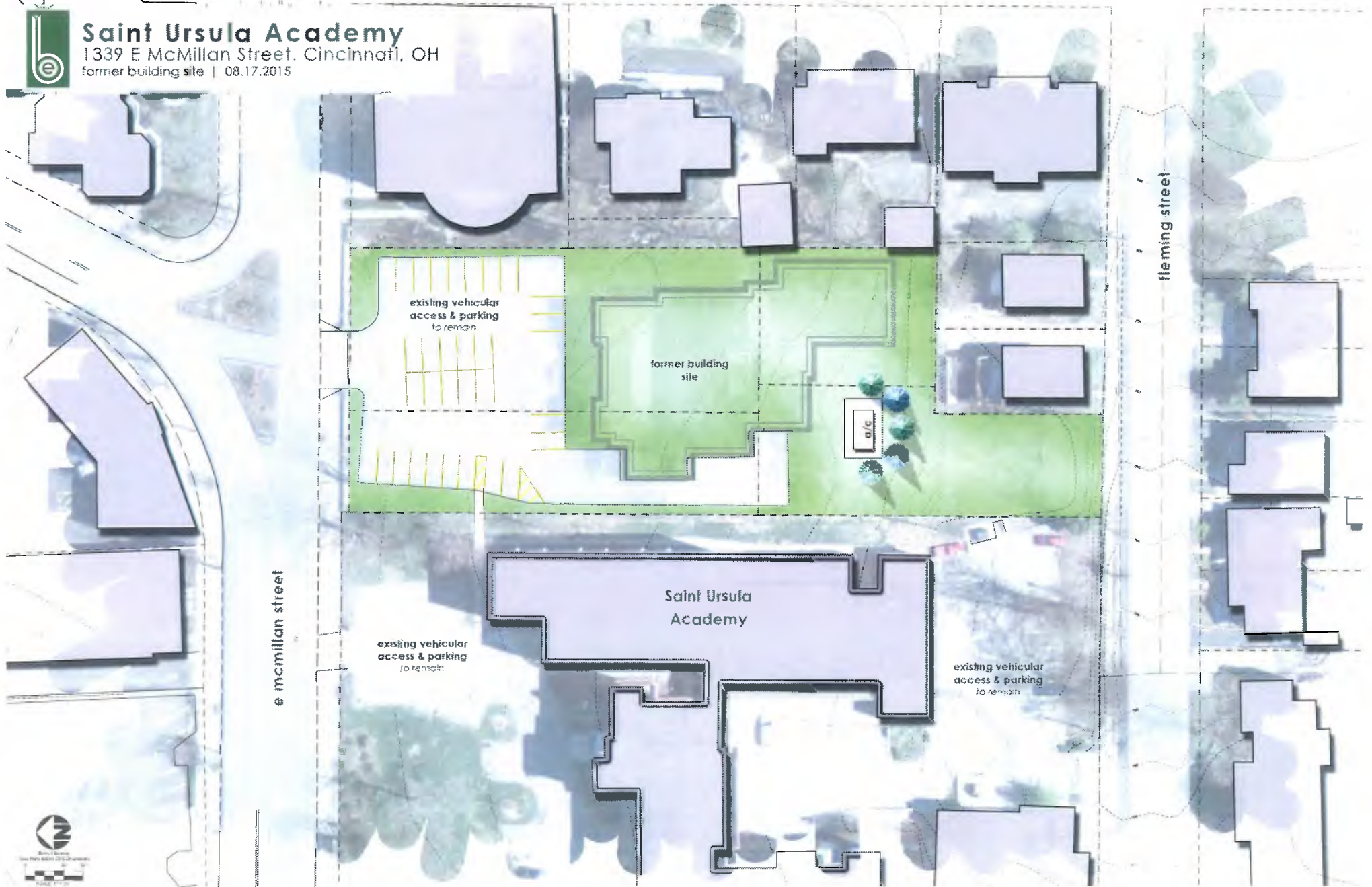


BACK





**Saint Ursula Academy**  
1339 E McMillan Street, Cincinnati, OH  
former building site | 08.17.2015



e mcmillan street

fleming street

existing vehicular  
access & parking  
to remain

former building  
site

a/c

Saint Ursula  
Academy

existing vehicular  
access & parking  
to remain

existing vehicular  
access & parking  
to remain





SENT VIA EMAIL  
karmstrong@saintursula.org

January 6, 2014

Saint Ursula Academy  
Attn.: Kathleen Armstrong  
1339 E. Mcmillan St.  
Cincinnati, OH 45206  
Phone: (513) 961-3410 x 180

**RE: Demolition and Site Restoration of former Schneider Building located at 1401 E. Mcmillan Avenue next to St. Ursula Academy in Cincinnati, OH.**

Dear Mrs. Armstrong:

Thank you for the opportunity to provide pricing for your demolition project. OWC boasts two proud SUA Alumnae, Kim O'Rourke '85 & Michelle Telinda '88. We would appreciate every opportunity to perform this work and be a part of assisting SUA in the improvement of its campus so that it can continue to contribute to the lives of its students, just as it has to our family members. We will provide all labor, material, equipment and supervision necessary to complete the demolition work identified below.

**Demolition of 1401 E. Mcmillan Schneider Building Complex.....\$94,850.00**

**Scope of Work:** Demolish the former Schneider complex completely, removing the existing multi-story structure, basement and below grade foundations. Upon completion of the basement removal of the main structure, OWC will import and place structural fill material in multiple lifts at a standard compaction specification. The fill material that is imported will be suitable for future grass growth. The asphalt parking lot and north driveway will be removed to the city sidewalk limits. The rock walls along the E. Mcmillan Street sidewalk will remain in place. Final site restoration will include seeding of the disturbed areas. Debris generated from the demolition work will be properly disposed of off-site at a legal recycling or C&D landfill facility.

*O'Rourke Wrecking Company*

660 Lunken Park Drive  
Cincinnati, Ohio 45226-1800  
Phone (513) 871-1400 • Fax (513) 871-1313  
[www.orourkewrecking.com](http://www.orourkewrecking.com)

In addition, the above defined scope and following clarifications represent O'Rourke Wrecking Company's understanding of the desired demolition scope reasonably anticipated at the time of bid. However, we welcome the opportunity to meet to further refine the scope listed herein.

**St. Ursula Academy will be responsible for the following items:**

- Verify final layout / location of removals.
- Ensure / verify an 'asbestos free' work area, to include required survey / abatement work (as applicable).
- Remove / protect any items to be salvaged and / or re-incorporated into future construction / returned to the Owner.
- Any / all follow-up new construction / re-work to include all follow-up patch / prep / leveling / repair work to existing construction scheduled to remain, to include any roof / building closure and / or structural re-support issues.
- Any / all follow-up new construction / re-work (i.e. modifications to existing structure to remain; follow-up building closure, etc).

**This proposal specifically INCLUDES the following items:**

- One (1) mobilization to the Project site based on work commencing spring 2014.
- Staffing the project with full-time supervisory personnel.
- Obtaining necessary (local) demolition permits and filing appropriated EPA notifications.  
*Note:* Owner to provide requisite pre-demolition NESHAP asbestos inspection survey to be used in filing the EPA 10-day demolition notification.
- Coordinate / provide all MEP disconnects / make safe / re-routes as to facilitate O'Rourke Wrecking's planned demolition work. This would include preparatory notification to the utility providers to disconnect and clear gap of existing electrical, water, gas, communication, and other like items servicing the demolition work area / attached to construction scheduled for removal.
- Capping of the sanitary sewer drain line per code.
- Provisions for erosion control measures (i.e. silt fence, straw bales, dandy bags, erosion matting, etc) and / or site restoration (i.e. application of grass seed / straw mulch).
- Work to be coordinated such that planned new-construction / renovation work will have little or no impact on demolition operations, to include unimpeded, ready access to the demolition work areas based on a continuous / uninterrupted progression of work.
- Import and Placement of structural fill material in lifts at a 95% compaction standard to match existing sub grade at the site.
- Proper off-site disposal of all demolition debris generated from the demolition work in a legal recycling or C&D landfill facility, to include payment of all associated transportation and tipping fees.

**This proposal specifically INCLUDES the following items (continued):**

- Any items the Owner wishes to salvage have been identified prior to pricing and will be removed by the Owner/General Contractor prior to O'Rourke Wrecking Company proceeding with the work.
- All salvageable material (i.e. ferrous and non-ferrous metals) present in the building(s) / located on-site at the time of bid / generated by ongoing demolition work is to become the property of O'Rourke Wrecking Company.

**This proposal specifically EXCLUDES the following items:**

- Removal of perimeter fencing on the south, west and north sides.
- Removal of trees located on the property
- Payment of prevailing wage rates / submission of certified payrolls. *Note:* O'Rourke Wrecking Company is a non-union specialty demolition contractor and intends on using non-union labor and operators to complete this work. Organized labor union affiliation/inclusion is excluded.
- Final preparation(s) / modifications as required for new connections (i.e. creation of any new beam pockets / future MEP openings / etc).
- Extensive site grading, import/export of excess or unsuitable fill materials, construction of new building pad(s), site restoration activities, repairs to existing construction scheduled to remain and / or other preparations for new construction activities.
- Removal or disposal of unusable or unsuitable soils generated during excavation activities.
- Salvage / storage / repair / refurbishment of any item scheduled to remain for re-use / incorporation into the follow-up re-build work (if any).
- Temporary / permanent shoring / sheeting / bracing at structures and adjacent site infrastructure scheduled to remain (if any).
- Removal, handling, and / or disposal of *excessive* loose building contents (i.e. paper records, waste, loose debris, surplus supplies, surplus stock, boxes, loose fixtures, desks, chairs, appliances, furniture, abandoned vehicles, etc).
- Environmental remediation (i.e. asbestos / hazardous materials survey / abatement, UST removal, contaminated soil excavation / disposal, grease interceptor pumping / cleaning / removal, etc.) other than as specifically noted and included herein without prior approval / change order.
- Additional watering of seeded materials after then initial application.
- Provision of dumpsters to be used by the general contractor / other trade contractors.
- Architectural, geo-technical, civil, structural and environmental engineering.

January 6, 2014  
St. Ursula Academy- Kathleen Armstrong  
Page 4 of 4

O'Rourke Wrecking Company will retain title to all scrap and other salvage proceeds derived from the demolition work. Standard insurance coverage provided by O'Rourke (\$20M General / Excess Liability, \$5M Pollution Liability, and Workers Compensation) is *included* in the above pricing. **It should be noted that our insurance specifically includes coverage for demolition operations of this size and scope, while many other firms proposing to perform demolition work do not have coverage specifically as a demolition specialty contractor.**

O'Rourke Wrecking Company would welcome an opportunity to discuss the complete scope of this proposal, the mutual responsibilities of each of our companies and overall coordination with the planned field operations. This quotation is valid for **FORTY FIVE (45) DAYS ONLY** and shall be subject to termination thereafter.

Please do not hesitate to call on me should you have any questions or concerns. I can be reached in the office at (513) 871-1400 or on via cell at (513) 313-6566.

We appreciate the opportunity to quote this work, and look forward to hearing from you soon.

Sincerely,

**O'ROURKE WRECKING COMPANY**

*Steve Sheridan*

Steve Sheridan  
Estimator

October 20, 2015

Ms. Caroline Kellam  
City Planning Department  
City of Cincinnati  
805 Central Avenue  
7<sup>th</sup> Floor, Centennial Two  
Cincinnati, Ohio 45202

**Re:** *1349 East McMillan Avenue, Cincinnati, Ohio / Demolition Application / Application for Certificate of Appropriateness*

Dear Ms. Kellam:

I wish to support the application by St. Ursula Academy for a certification of appropriateness to demolish the building at 1349 East McMillan Avenue. I own the properties at 1340 and 1344 Fleming Avenue which are next to and behind the subject property. The views from my residential properties look directly into the back of the building which is a hodge-podge of building additions and wings. The demolition of the building and restoration of the property to grass would protect my property values and make for a more pleasing view from the back of my buildings. Please ensure that my communication is referenced at the hearing before the Historic Conservation Board.

Sincerely,

A handwritten signature in black ink, appearing to read 'Dan Mouch', with a stylized flourish at the end.

Dan Mouch

cc: Kathleen Armstrong

**Jeffery P. Hopkins**

221 E. 4<sup>th</sup> Street, Suite 800  
Cincinnati, OH 45202

email: 2401 grandview@fuse.net  
(513) 684-2852 (Business)  
(513) 733-3880 (Home)

---

---

October 20, 2015

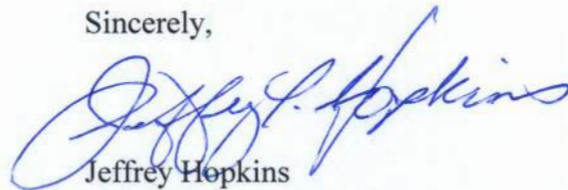
Ms. Caroline Kellam  
City Planning Department  
City of Cincinnati  
805 Central Avenue  
7<sup>th</sup> Floor, Centennial Two  
Cincinnati, Ohio 45202

RE: 1349 East McMillan Avenue, Cincinnati, Ohio  
("Subject Property" / Demolition Application /  
Application for Certificate of Appropriateness

Dear Ms. Kellam:

As the owner of the apartment building, diagonally adjacent to the rear corner of the Subject Property, I support the application by St. Ursula Academy ("SUA") for a certificate of appropriateness to demolish the building at 1349 East McMillan Avenue. SUA has been a good steward of its facilities, and I understand their need to demolish a structure that cannot be utilized for school or offices uses. Also, the views from the back of my apartments will be enhanced in comparison to the current view. Finally, the demolition of the building and restoration of the property to grass would protect my property values. Accordingly, I support SUA's application.

Sincerely,



Jeffrey Hopkins  
Managing Member  
2401 Grandview LLC

cc: Kathleen Armstrong

10/19/2015

Ms. Caroline Kellam  
City Planning Department  
City of Cincinnati  
805 Central Avenue  
7th Floor, Centennial Two  
Cincinnati, Ohio 45202

Re: 1349 East McMillan Avenue, Cincinnati, Ohio / Demolition Application / Application  
for Certificate of Appropriateness

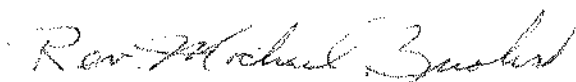
Dear Ms. Kellam:

I am the minister at New Thought Unity Center located adjacent to 1349 E. McMillan the property in discussion. I am writing in support of the application of St. Ursula Academy to demolish this building with the understanding that not only is this structure beyond repair it is also a safety hazard in my opinion.

I have witnessed the efforts by the Academy to maintain their buildings, however this particular building appears unsalvageable. St. Ursula, by my observations, wants to make all of their campus buildings and grounds more beautiful, I encourage you to allow this demolition. This action will improve the look and appeal of all the properties that surround it.

The Academy is a good neighbor and I encourage them to devote time and finances toward more useful endeavors.

Respectfully,



Rev. Michael Brooks  
New Thought Unity Center  
1401 East McMillan Avenue  
Cincinnati, Ohio  
cc: Kathleen Armstrong



DeSales Corner Development Corporation  
C/O Mr. Freeman Durham  
2725 Johnstone Place  
Cincinnati, OH 45206

Historic Conservation Board  
C/O Ms. Caroline Kellam  
City Planning Department  
805 Central Avenue, Suite 700  
Cincinnati, OH 45202

October 19, 2015

RE: 1349 East McMillan

Dear Board Members:

DeSales Corner Development Corporation (DCDC) is a 501(c)(3) organization formed to promote development and economic growth in the historic business district of East Walnut Hills. DCDC is concerned with preserving the past and incorporating it into the future. DCDC fully supports appropriate development within the four historic districts in East Walnut Hills. These beautiful districts, and the area that surrounds them, are an integral part of the character of our neighborhood.

The Schneider building at 1349 East McMillan is within the Uplands Historic District. It is located prominently at the corner of McMillan and Woodburn Avenue. It is an imposing structure; unique in style and scale, and its facade is a key architectural presence on the street. It can be seen from several blocks down Woodburn. If this building is torn down and replaced with green space or a parking lot, we see the demolition as creating yet another "missing tooth" that degrades the historic character of the neighborhood. While we agree that the rear wings of the structure are of no value and may be razed, we feel that the front facade and roof make a significant contribution to the historic district.

DCDC acknowledges that St. Ursula Academy (SUA) is an important member of our community, and has been a good steward of its own historic school building and the W. Mack Johnson (fine arts) building. We are grateful for all the vitality that they continue to bring to East Walnut Hills.

It should be noted, however, that SUA has opposed the application of historic conservation regulations to it in the past. In 1999, SUA worked to exclude the SUA property from the Uplands Historic District despite the significant architectural value of its buildings. SUA then razed two houses it owned at the east corner of Upland and Fleming.

SUA asserts that it needs to demolish the Schneider building because the building is in poor shape and creates possible liabilities. We agree that the Schneider building needs significant work. It is important to note, however, that SUA purchased the building in 2004. By SUA's own admission, SUA knew that the building was in poor shape when SUA bought it. By SUA's own admission, SUA has made no improvements to the interior or exterior of the building for the past 11 years that SUA has owned it, and so its deterioration has continued. Operating and maintenance expenses are minimal. It seems disingenuous to argue that economic hardship now justifies the demolition of the building because it is in bad shape. It would appear to an outside observer that SUA purchased the building with the intent to demolish it from the start, and have simply been waiting for time and the elements to make a stronger case. No one should be allowed to acquire a historic property that needs work, and then claim that economic hardship justifies the demolition of the acquired property.

At the request of the East Walnut Hills Assembly, SUA agreed to meet with the professional staff of the Walnut Hills Redevelopment Foundation (WHRF) to discuss alternatives to demolition. The WHRF staff left that meeting with the impression that SUA had no real interest in alternatives that would preserve the building, but that SUA wanted to have full control over the property and to have the building gone. While SUA states that they will replace the building with green space, the lack of any landscaping plan or permanent commitment suggests that soon the green space will be replaced with additional parking.

DCDC views our historic architecture as a major asset in the effort to revitalize East Walnut Hills. DCDC does not feel SUA's claim of economic hardship truly justifies the demolition of this well-identified and significant building. Instead, DCDC suggests a continued dialogue between SUA and the community about alternatives that would preserve the historic presence of the Schneider building as an anchor at the end of Woodburn Avenue.

Respectfully submitted,

A handwritten signature in cursive script that reads "Dianne Marcus". The signature is written in black ink and is positioned above the typed name.

Dianne Marcus, Vice President

East Walnut Hills Assembly, Inc.  
P. O. Box 68050  
Cincinnati, OH 45206

Caroline H. Kellam--Senior Planning Analyst  
Dept. of Community Dev. & Plng.  
Two Centennial Plaza, Suite 700  
805 Central Avenue  
Cincinnati, Ohio 45202-1947

Re: 1349 E. McMillan St., St. Ursula Academy, Cert. of Appropriateness of Demolition

Dear Ms. Kellam,

Thank you and the Historic Conservation Board for the opportunity to address this issue. The East Walnut Hills Assembly ("EWHA") is unable to support 1349 East McMillan LLC's (the "LLC") request for Certificate for Appropriateness to demolish the Schneider Building at 1349 East McMillan St. In its application for the Certificate, the LLC has argued economic hardship as justification for its request to demolish the Building. The EWHA believes that, at this time, the LLC has been unable to prove economic hardship necessary to require the demolition of the Schneider Building. The Schneider Building is a stately and unique structure that adds to the historical texture of the neighborhood. Furthermore, the Schneider building is a contributing structure (within the period of significance) in the Uplands Historic District.

Section 1435 of the Municipal Code of Cincinnati controls the demolition of buildings in the Uplands Historic District. The EWHA believes that, under the terms of Section 1435-09-2(b), the LLC has been unable to establish, as required, the "credible evidence" that the LLC "will suffer economic hardship" if a Certificate of Appropriateness to demolish the Schneider Building (the "Building") is not approved.

Section 1435-09-2(b) states that the Historic Conservation Board "shall" consider multiple factors to determine "economic hardship" when considering a Certificate of Appropriateness to demolish a building. The Board shall consider the following:

1. Section 1435-09-2(b) (i): "Will all economically viable use of the property be deprived without the approval of a Certificate of Appropriateness" – The LLC has argued that there is no economically viable use of the Building. The LLC's representatives have argued that, from the time of purchase until the present day, there has been no viable use for the property. However, the LLC has not shown that it drew up and bid out any plans for use of the Building, during the first eight years of ownership (2004-2012). In 2012, after years of neglecting the property, the LLC solicited and received a single plan from a contractor (HGC) to upgrade the Building. One bid from one contractor does not definitively determine a lack of economic viability - whether in 2012 or during the eleven years of LLC's ownership. Nor does it show a desire from the LLC to actively pursue creative reuse of the Building for school related purposes. Furthermore, the LLC has made only half-hearted attempts to market the building to prospective tenants or buyers and

has not actively placed the building for lease or sale on the open market. So, at this time, the LLC still has further options to pursue before it can claim that "all economically viable use of the property" is deprived unless the demolition occurs.

2. Section 1435-09-2(b) (ii): "Will the reasonable investment-backed expectations of the property owner be maintained without approval of a Certificate of Appropriateness" – The LLC is arguing that (1) it should not be expected to sell the property and forfeit much of its investment; (2) it should not have to continue to absorb annual operating deficits; and (3) it should not be required to repair the Building without hope of return on its original investment. In response the EWHA states the following. (1) The LLC is a sophisticated entity participating in the real estate market. While it is unfortunate that LLC may have paid too much for the property at a foreclosure sale (\$699,000), it is surely not the role of the Historic Conservation Board to ensure that entities engaging in the real estate market be shielded from risks of making a bad real estate investment. If the LLC puts the property on the market, it will be able to re-coup some of its investment. Furthermore, the LLC is now planning to spend more than \$100,000 to demolish and mitigate asbestos and lead. How will those costs be re-couped in the future? (2) The LLC has stated the annual expenses on the property have averaged out to \$4829 a year. If the Building were demolished, the LLC would still have water, real estate taxes, insurance, maintenance, snow removal and landscaping costs in annual expenses (\$2400 approximately plus reduced insurance costs). This \$2400+ annual expense is not significant when looking at the entire budget of Saint Ursula Academy. Furthermore, if projected demolition costs of greater than \$100,000 were applied instead to annual expenses, the LLC could afford to pay those expenses for many years to come. (3) As discussed in 1. above, the LLC has not exhausted the viable alternative uses for the property; it is premature for the LLC to argue that there is "no hope" for return on its investment.

3. Section 1435-09-2(b) (iii): "Whether the economic hardship was created or exacerbated by the property owner. In evaluating the above factors for economic hardship, the Historic Conservation Board may consider any or all of the following factors:"

(aa) "A property's current level of economic return" - The LLC should be required to exhaust all its options for economic return before being granted a Certificate.

(bb) "Any listing of property for sale or rent, price asked, and offers received, if any, within the previous two years, including testimony and relevant documents;" – The LLC has made no attempt to actively sell or rent the property on the open market during the entire eleven years it has owned the property.

(cc) "The feasibility of alternative uses for the property that could earn a reasonable economic return;" – In 2012, the LLC solicited a non-competitive bid from one contractor for an amorphous plan to produce what the LLC representative has termed a "white box". Furthermore, the LLC has not worked with the community development corporations in the area (WHRF and DCDC) to explore non-traditional ways to use the property. There may be feasible uses for the property; however, the LLC has not made attempts to avail themselves of these uses.

(dd) "Any evidence of self-created hardship through deliberate neglect or inadequate maintenance of the property;" The LLC has not provided any evidence to indicate that it

has taken any steps or invested any monies in the eleven years that it has owned the Building to maintain or repair the Building. Clearly the Building has been neglected during this time. The LLC provides scant evidence to show that SUA actively examined alternate uses for the use of the property. The LLC made ineffectual attempts (at best) to market the property to possible tenants and made no attempts to prepare the property for sale. The LLC instead ignored the Building, allowing it to fall into further disrepair.

(ee) "Knowledge of landmark designation or potential designation at time of acquisition:"

– The LLC was aware, at the time of purchase, that the Building was in the Uplands Historic District and is a contributing structure in the District.

(ff) "Economic incentive and/or funding available to the applicant through federal, state, city or private programs." The LLC has not shown that it has availed itself of any incentives or funding that may be available from governmental or private programs.

While the EWHA can not support the LLC's request for a Certificate of Appropriateness at this time, the EWHA may be willing to support a similar request in the future. However, the EWHA believes, that at this time, the LLC has not established its contention that there is no economic viability in the property. The EWHA recommends that the LLC and Saint Ursula Academy actively pursue all alternatives available to enhance the economic viability of the property. A sale of the property may be possible and certainly should be considered – the representatives of the LLC and Saint Ursula Academy have stated that the school is the right size currently and there are no expansion plans anticipated. WHRF and similar institutions may have creative ways to enhance economic viability through non-traditional financing and development.

In the alternative, if the Historic Conservation Board agrees to the demolition of the Building, the EWHA respectfully requests that any Certificate of Appropriateness requires the LLC to submit a fully developed landscape plan that mitigates the impact of the loss of the Building. The Building is a commanding structure that holds the corner of Woodburn and McMillan and creates an ending focal point along the view down Woodburn. The LLC's representative has stated that it plans to do no more than retain the existing parking and plant grass until it decides in some distant future to submit a reuse for the property for consideration. Furthermore, the EWHA questions whether any parking should be allowed on this property in a historic district when there is no building that the parking supports. The EWHA is strongly opposed to the property being used solely as a parking lot. Too many residential and historic buildings in East Walnut Hills have met the wrecking ball to produce parking lots.

East Walnut Hills is a wonderful community comprised of concerned residents, striving merchants and commercial concerns anchored by its many thriving long-lived institutions amidst stunning architecture. Thank you for your guidance and support in preserving its unique character.



John McHugh  
President

East Walnut Hills Assembly



Walnut Hills  
Redevelopment  
Foundation

915 McMillan Street  
Cincinnati, Ohio  
46208

Office: 513-593-9473

Dear Historic Conservation Board Members:

The Walnut Hills Redevelopment Foundation (WHRF) is concerned with the demolition of 1349 E. McMillan (The Schneider Building). While we are not against all demolition in Walnut Hills and East Walnut Hills, we do believe that if a building is significant historically and architecturally then all efforts should be undertaken to save said building.

The Schneider building, located in the Upland Historic District, is indeed historically and architecturally significant. It is located prominently at the corner of McMillan and Woodburn Avenue, is unique in style and scale, and its facade is key architectural presence on the street. If this building is torn down and replaced with green space or a parking lot, we see the demolition as creating yet another "missing tooth" that degrades the historic character of the neighborhood. While we agree that the rear wings of the structure are of no value and may be raised, we feel that the front facade and roof make a significant contribution to the historic district.

The WHRF acknowledges that St. Ursula Academy (SUA) is an important member of our community, and has been a good steward of its own historic school building and the W. Mack Johnson (fine arts) building. We are grateful for all the vitality that they continue to bring to East Walnut Hills, but regrettably we cannot support the demolition of The Schneider Building.

\

Sincerely,

A handwritten signature in black ink, appearing to read 'Kevin Wright', written over a light blue horizontal line.

Kevin Wright, Executive Director

**APPLICATION FOR  
CERTIFICATE OF APPROPRIATENESS  
HISTORIC CONSERVATION BOARD PUBLIC HEARING  
STAFF REPORT**

---

APPLICATION #: N/A  
APPLICANT: Chad Burke, Architect representing the owner  
OWNER: Shelter House Volunteer  
Cincinnati Shakespeare Company (in contract)  
ADDRESS: **217 W. 12<sup>th</sup> Street, Cincinnati, OO 45202**  
PARCELS: Buildings to Demolish: 076-0001-0138-00, 076-0001-0139-00, 076-0001-0377-00, 076-0001-0137-00  
Building Remaining: 076-0001-0135-90, 076-0001-0136-00  
ZONING: Commercial Community-Auto Oriented (CC-A)  
OVERLAYS: Over-the-Rhine Historic District  
COMMUNITY: Over-the-Rhine  
REPORT DATE: October 15, 2015  
HEARING DATE: Prehearing October 15, 2015 at 10:30 AM  
STAFF REVIEW: Angie Strunc, City Interim Urban Conservator

---

---

**Nature of Request:**

The applicant is requesting a Certificate of Appropriateness (COA) to demolish two buildings at this address in order to clear land for new development.

**Existing Conditions:**

This proposed project is a cluster of three buildings located in the southwest corner of 12<sup>th</sup> and Elm Street. 217 W. 12<sup>th</sup> Street is currently owned by the Shelter House Volunteer and is known as the Drop Inn Center. 211-217 W. 12<sup>th</sup> Street (1121-1129 Elm Street) Drop Inn Center Shelter House is currently on the OTR non-contributing resource list. This is the east and center buildings.

225 W 12<sup>th</sup> is identified as a contributing structure. This is the west building to remain.

The applicant is currently in the process of acquiring these properties.

**Proposed Conditions:**

The proposal includes the following work:

1. Demolish the 1988 two story masonry east building listed as a non-contributing structure.
2. Demolish the single story masonry center building listed as a non-contributing structure.

**Previous Reviews:**

The applicant brought this proposed project of demolition of existing structures followed

by construction of a new theater building on this site to the board on October 12, 2015 as a preliminary design review.

**Applicable Zoning Code Sections:**

Zoning District: Section 1409 Commercial Districts

Variance Request: N/A

Variance Authority:

Variance Standard:

Overlays: N/A

Historic District/Reg: [Over the Rhine Historic District](#)

COA Standard: [Section 1435-09-2](#) Certificate of Appropriateness; Standard of Review

**Details of Zoning Relief Required: N/A for this demolition request.**

**POTENTIALLY for future proposed construction.** During initial reviews, the site appears to have no zoning concerns pertaining to the right to utilize the property or basic siting considerations. The applicant initially considered an inordinately large “billboard” sized sign, out of context for Over-the-Rhine as well as downtown. Required parking was also not addressed. Applicant shall have to address both of those concerns or demonstrate sufficient factual evidence to seek zoning relief.

**Certificate of Appropriateness Review**

Staff feels the proposed demolition of the two non-contributing structures is appropriate in the Over-the-Rhine Historic District as a plan is in place for new infill construction.

**Other Considerations:**

**Prehearing Results:**

October 15, 2015 – No one was in attendance.

**Comments Provided to Staff: N/A**

**Consistency with *Plan Cincinnati (2012)*: N/A**

**Recommendation:**

Staff recommends the Historic Conservation Board take the following actions:

1. a) **APPROVE** a Certificate of Appropriateness for the demolition of two non-contributing structures (east and center buildings) at 217 W. 12th Street, Tax ID Parcels 076-0001-0138-00, 076-0001-0139-00, 076-0001-0377-00, 076-0001-0137-00 only, per drawings submitted by GBBN Architects dated 10/05/2015 and subject to the following conditions:
  1. Upon proof of ownership by the Shakespeare Theater.
  2. Upon the Historic Conservation Board recommends an additional Certificate of Appropriateness granting at a minimum that the proposed use, proposed building massing and envelope and all necessary variances, such as parking variances, to allow for the use of the property as a theater.
- b) **FINDING:** The Board makes this determination per Section 1435-09-2:
  - (a) That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.



architecture.  
interiors.  
planning.  
facilities.

beijing  
cincinnati  
louisville  
pittsburgh

10.05.2015

Angie Strunc  
Two Centennial Plaza  
805 Central Avenue, Suite 720  
Cincinnati, OH 45202

Re: Cincinnati Shakespeare Company, 217 West 12<sup>th</sup> Street

Dear Ms. Strunc,

Cincinnati Shakespeare Company is a resident ensemble theater company bringing Shakespeare and the Classics to life for audiences of all ages. Having outgrown their current space and lease, Cincinnati Shakespeare Company has been taking steps over the last year to create a permanent home for classical theater at the southwest corner of 12<sup>th</sup> and Elm Streets.

This project proposes the demolition of the non-historic portions of the existing Drop-In Center. The Teamster’s building will be preserved and used for administration, with very minor modifications at the ground level interior to create an on-site scene shop. The 24,000 square foot new theater building would house a world class auditorium and backstage support, lobby and amenity spaces, and a rehearsal/education/event space overlooking Washington Park.

The auditorium design features a thrust stage that emphasizes patrons’ shared experience of the play. Scaled to create an intimate atmosphere for Shakespearean and Classical theater, it seats 200 patrons at the ground level. A balcony with 50 additional seats allows more authentic staging of Shakespeare’s works.

Cincinnati Shakespeare Company currently programs a high level of activity throughout the year, with over 270 active days and nights. The new theater will enable them to expand this program including performances, rehearsals, set building, educational programming and special events.

In addition to promoting the vitality of OTR, the Cincinnati Shakespeare Company is excited to be better positioned for collaboration and to extend its outreach efforts in the community as the newest member of the city’s cultural corridor including Music Hall, Memorial Hall, and Washington Park.

We look forward to working with the historic conservation board to ensure that this project fulfills both the programmatic requirements of the Cincinnati Shakespeare Company and the intent of the historic guidelines for OTR.

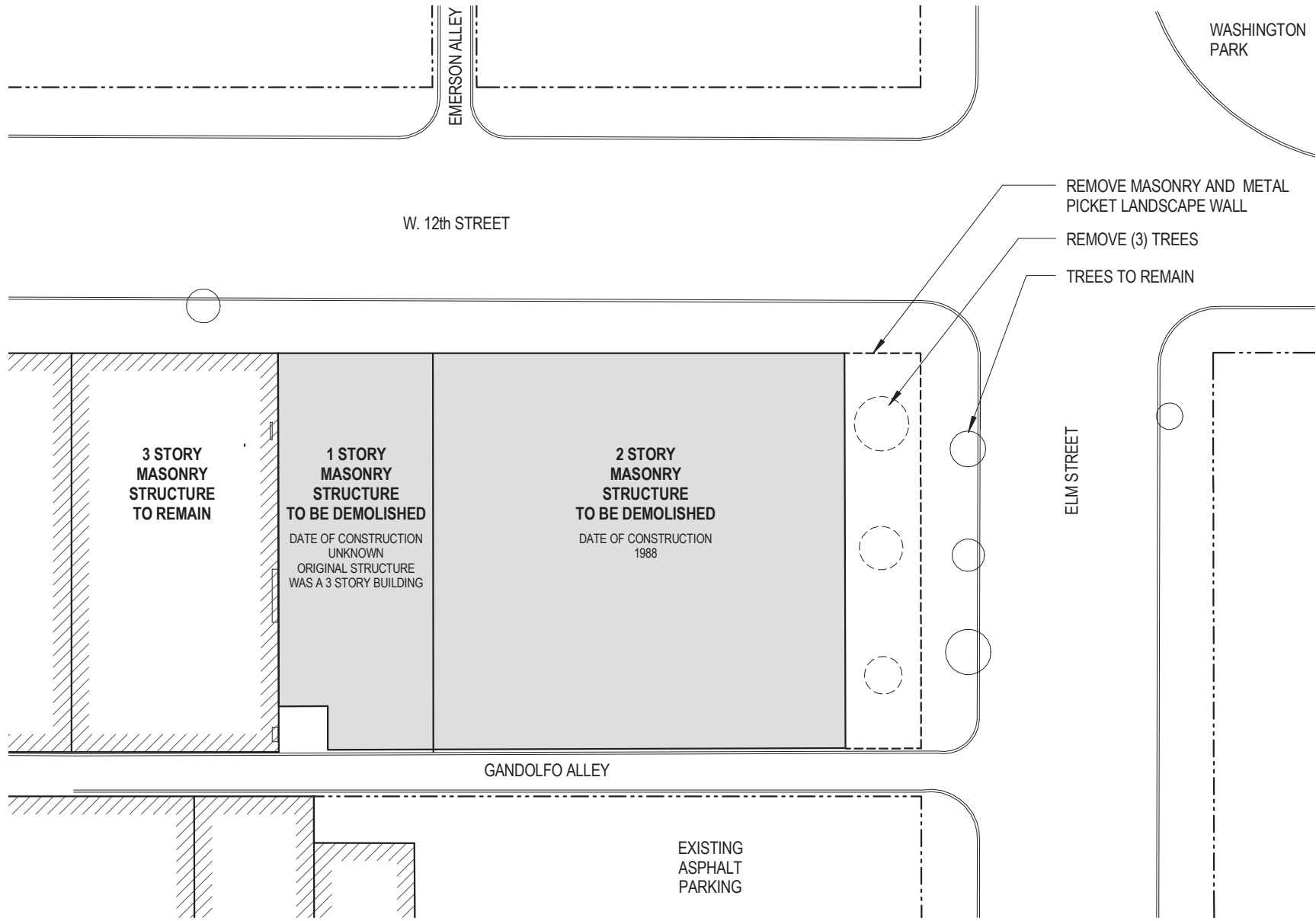
Sincerely,

Chad Burke  
Project Manager

\_\_\_\_\_  
Authorization

10.05.2015

\_\_\_\_\_  
Date



# SITE DEMOLITION PLAN

SCALE: 1" = 30'-0"

217 W. 12th St  
 DEMOLITION APPROVAL PACKAGE  
 October 05, 2015





**PARTIAL NORTH ELEVATION**  
**217 W. 12th STREET**  
1 Story Masonry Structure



**PARTIAL NORTH ELEVATION**  
**217 W. 12th STREET**  
3 Story Masonry Structure  
To Remain



**SOUTH ELEVATION - GANDOLFO ALLEY**  
**217 W. 12th STREET**  
2 Story Masonry Structure

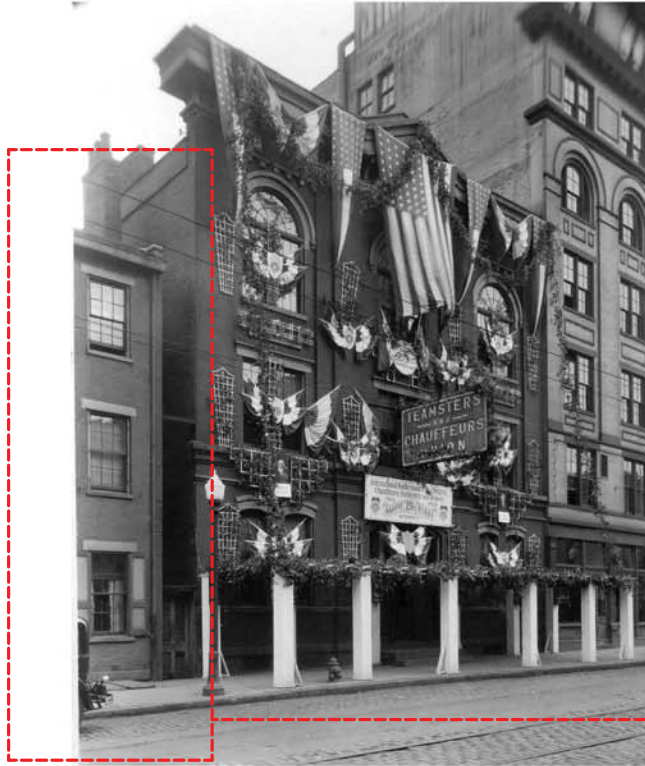


**EAST ELEVATION - ELM STREET**  
**217 W. 12th STREET**  
2 Story Masonry Structure

217 W. 12th St  
**DEMOLITION APPROVAL PACKAGE**  
October 05, 2015



# Preserving the Teamster's Building



Teamsters building c. 1928  
Celebrating the Union's 25th Anniversary.

ONE STORY BUILDING TO THE EAST OF THE TEAMSTERS BUILDING DOES NOT APPEAR TO BE ORIGINAL/CONTRIBUTING. POSSIBLY A ONE STORY REPLACEMENT STRUCTURE

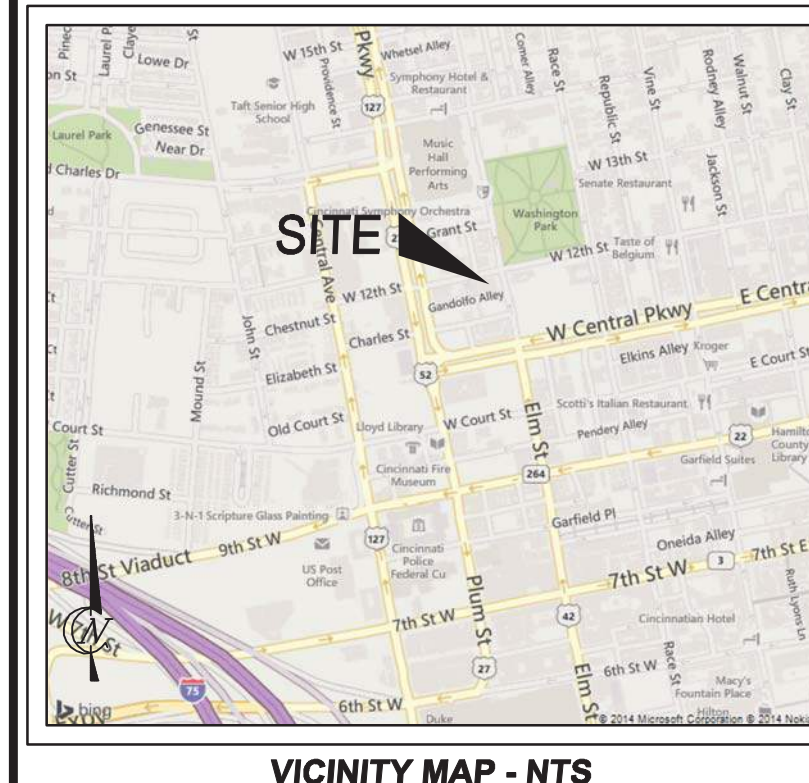
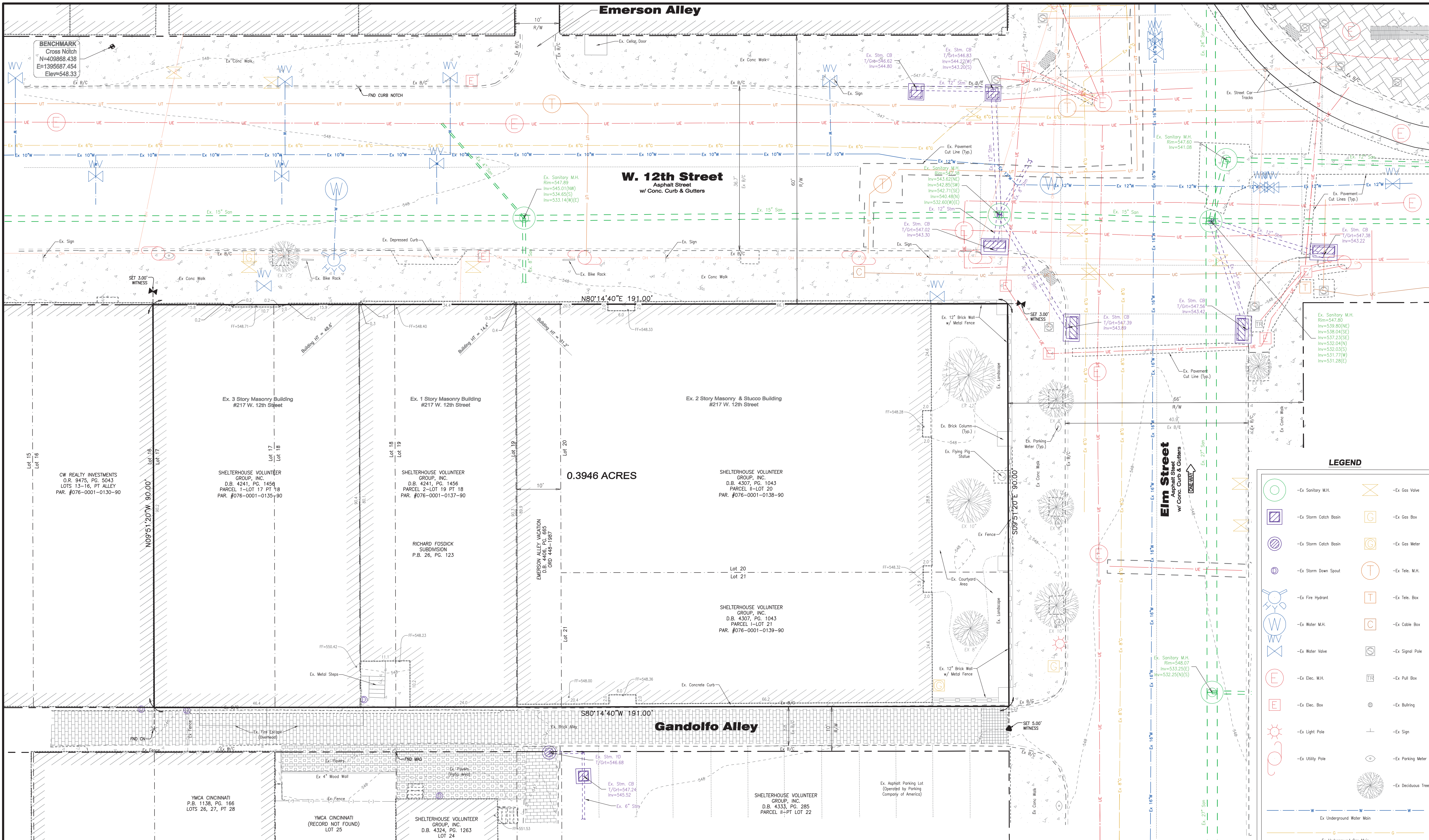
1. WINDOW HEAD DETAIL DOES NOT MATCH THE EXISTING ONE STORY STRUCTURE.
2. APPEARS TO BE AN ALLEY BETWEEN THE TWO BUILDINGS THAT DOES NOT EXIST TODAY.



Teamsters building today  
Façade replacement believed to be circa 1940's  
One story building to the east (red outline) does not appear to be original/contributing

217 W. 12th St  
DEMOLITION APPROVAL PACKAGE  
October 05, 2015





**SURVEY NOTES:**

Underground pipes and conduits are plotted from structure to structure or from field markings or utility plans where applicable. Exact location of underground improvements cannot be determined without excavating and completely exposing them.

The reference meridian is based on NAD83 (2011) Ohio State Plane Coordinates, South Zone (3402). The vertical datum is NAVD88.

All documents used as shown.

All plat and deed references are to the Hamilton County, Ohio Recorder's Office and Registered Land Records.

**BENCHMARK**

A set cross notch located on the existing North sidewalk of W. 12th Street approximately 233' West of the intersection of W. 12th Street and Elm Street. Said cross notch is 8.8' North of the North curb line of W. 12th Street, 14.9' Northwest of a gas service valve and 21.1' Northeast of an electric manhole.

Elevation = 548.33 (NAVD88)

**UTILITY COMPANIES**

- Sanitary Sewer & Storm Water Metropolitan Sewer District (513) 244-1300
- Water Greater Cincinnati Water Works (513) 591-7700
- Gas Duke Energy (513) 287-2594
- Electric Duke Energy (513) 287-3498
- Telephone Cincinnati Bell Telephone (513) 397-5660
- Cable TV Time Warner Cable (513) 489-5042

**MONUMENTATION**

- Found Iron Pipe
- Found MAG Nail
- Found Cross Notch
- Set MAG Nail
- Set Cross Notch
- Set Benchmark

**LEGEND**

- Ex Sanitary M.H.
- Ex Storm Catch Basin
- Ex Storm Catch Basin
- Ex Storm Down Spout
- Ex Fire Hydrant
- Ex Water M.H.
- Ex Water Valve
- Ex Elec. M.H.
- Ex Elec. Box
- Ex Light Pole
- Ex Utility Pole
- Ex Gas Valve
- Ex Gas Box
- Ex Gas Meter
- Ex Tele. M.H.
- Ex Tele. Box
- Ex Cable Box
- Ex Signal Pole
- Ex Pull Box
- Ex Bulbing
- Ex Sign
- Ex Parking Meter
- Ex Deciduous Tree
- Ex Underground Water Main
- Ex Underground Gas Main
- Ex Overhead Utilities
- Ex Underground Electric
- Ex Underground Telephone
- Ex Chainlink Fence
- Ex Metal Fence
- Ex Landscape Border
- Ex Major Contour
- Ex Minor Contour

**SHelterhouse Volunteer Group, Inc.**  
217 WEST 12TH STREET  
CITY OF CINCINNATI  
HAMILTON COUNTY, OHIO

**BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY**

www.bayerbecker.com  
209 Grandview Drive  
Fort Mitchell, KY 41017-8592/261-1113

Plot time: Dec 23, 2014 - 10:47am  
Drawing name: J:\2014\14R054-000\SV\DWG\14R054-000 BM.dwg - Layout Tab: Layout1

Drawing: 14R054-000 BM  
Drawn by: JUB  
Checked by: CRG  
Issue Date: 12-23-14  
Sheet: 1 OF 1

## APPLICATION FOR A PRELIMINARY DESIGN REVIEW HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

---

APPLICATION #:

APPLICANT: Chad Puckett, architect, representing the owner  
OWNER: Conrad Cross  
ADDRESS: **312 Mulberry Street, Cincinnati OH**  
PARCELS: 94-60-294

ZONING: Residential Multi Family (RM -0.7)  
OVERLAYS: Over-the-Rhine Historic District  
COMMUNITY: Over-the-Rhine  
REPORT DATE: October 16, 2015  
HEARING DATE: October 26, 2015  
STAFF REVIEW: Caroline Hardy Kellam, Senior City Planner

---

---

### **Nature of Request:**

The applicant is requesting a Preliminary Design Review to construct a single-family house.

### **Existing Conditions:**

The property is situated on the north side of Mulberry between Sycamore and Main Streets. There are vacant parcels on either side of the lot.

### **Proposed Conditions:**

The proposed new house will feature the following:

1. Wood frame construction with grey brick and a cast stone foundation
2. The brick will wrap around the side elevations 8'. The remainder of the side and rear elevations will feature cement board lap siding.
3. Single hung 2/2 aluminum clad wood windows (Pella)
4. Four panel wood doors with sidelights and a 12" transom
5. Wood garage doors
6. Cut away roof deck setback 25'-8" from the front façade
7. Metal gate at front door
8. Metal railing on front porch
9. Small retaining wall in rear yard
10. HVAC condenser units will be located in the rear yard

### **Applicable Zoning Code Sections:**

Zoning District:           Section 1405           Residential Multi-Family Districts

Variance Request: Potentially  
Overlays: Hillside

Historic District/Reg: [Over-the-Rhine Historic District](#)  
COA Standard: [Section 1435-09-2](#) Certificate of Appropriateness; Standard of Review

**Use Variance:** N/A

**Urban Design Review:** N/A

### **Certificate of Appropriateness Review**

This new house will infill a vacant lot and eliminate a gap, which weakens the streetscape and the overall character of the district. New construction can improve both the physical quality and economic vitality of the neighborhood. This new house does not overly replicate the surrounding historic buildings. The building has a base, a middle and a top. The roof and window openings are compatible with those in the district. The setback of the new house is similar to surrounding setbacks on the street and in the district. The house does have a vertical emphasis and is the appropriate height for the district. The use of brick and lap siding is appropriate for the district. Overall staff feels the proposed new construction meets the guidelines for the Over-the-Rhine Historic District.

### **Other Considerations:**

**Consistency with *Plan Cincinnati (2012)*:**  
“Sustain” Initiative Area “Preserve our built history”

### **Recommendation:**

There is no official Board action required on this proposal at this time. Members of the Board are requested to comment on the proposed design regarding the proposed new construction and alterations identifying issues that may require additional consideration to meet the intent of the guidelines for the historic district.

# APPLICATION

# HCB

**HISTORIC  
CONSERVATION  
BOARD**

# CERTIFICATE OF APPROPRIATENESS

APPLICATION BUILDING ADDRESS: 312 Mulberry

DISTRICT NAME: OTR  
(if applicable)

OWNER NAME: Conrad Cross

ADDRESS: 5573 Childs Ave, Cinti 45248 PHONE NO: 513-200-8587

EMAIL: conradcross@gmail.com

CONTRACTOR NAME: Conrad Cross

ADDRESS: 5573 Childs Ave, Cinti 45248 PHONE NO: 513-200-8587

EMAIL: conradcross@gmail.com

ARCHITECT NAME: Chad Pulcett

ADDRESS: 3621 Borch Ave. Cinti 45208 PHONE NO: 513-675-2243

EMAIL: clp@foldformdesign.com

**HCB USE ONLY**

DATE RECEIVED BY HCB: \_\_\_\_\_

PERMIT/APD NO: \_\_\_\_\_

APP. COMPLETION DATE: \_\_\_\_\_

**PLEASE NOTE: THE FOLLOWING FEES ARE DUE TO PROCESS YOUR APPLICATION.**

Certificate of Appropriateness (without Board review)... \$50.00

Historic Conservation Board Review .....\$500.00

**HCB USE ONLY**

Fee Received: \$ \_\_\_\_\_

Date Received: \_\_\_\_\_

**IT IS YOUR RESPONSIBILITY TO NOTIFY THE URBAN CONSERVATOR IF ANY OF THIS INFORMATION CHANGES DURING THE PENDING REVIEW OF YOUR**

WORK PROPOSED: (Describe type of work, existing conditions, and methods to be used, materials proposed)

HCB USE ONLY	
<input type="checkbox"/>	MINOR ALTERATION
<input type="checkbox"/>	NEW CONSTRUCTION
<input type="checkbox"/>	ADDITION
<input type="checkbox"/>	DEMOLITION
<input type="checkbox"/>	REHABILITATION
<input type="checkbox"/>	OTHER _____

New single family residence. Refer to attached drawings and letter.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

IN ORDER TO EXPEDITE HCB ACTION, PLEASE ATTACH ADDITIONAL INFORMATION, IF AVAILABLE, AS MAY BE APPROPRIATE. LIST ANY INFORMATION ATTACHED: (Elevations, site plans, specifications, photos, material samples, additional drawings or written matter)

-Attached

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Attach a letter explaining the justification for the issuance of the desired Certificate of Appropriateness. Be advised that the burden of proof is on the applicant.

# FOLD AND FORM

September 10, 2015

Urban Conservator, City of Cincinnati  
3300 Central Parkway  
Cincinnati, OH 45225

RE: COA Application for 312 Mulberry St., Proposed Single Family Residence

Dear Sir or Madam,


The attached drawings and documents propose the construction of a new single-family residence on the vacant lot at 312 Mulberry St., which is located in the OTR Historic District. The residence will have a garage / basement level with three stories of living space above and have approximately 3,266 square feet of living space. The lot width is 33'-0" and depth is 62'-8". The overall house width is 28'-0" and is 40'-0" deep.

The street façade is designed respecting the historic proportions, massing, and materials of the surrounding homes found on Mulberry St. The brick and cast-stone façade with cast-stone lintels, sills, and wood cornice is similar to neighboring buildings, contributing and maintaining the historic fabric found in that area. The window openings are also designed to be narrow and vertically oriented, similar to existing historic homes in the neighborhood. The design of the proportions of the street façade is oriented vertically as to be taller than wide while also maintaining the common massing of the base, middle, and top found throughout the neighborhood. The front façade is also composed of the top, middle, and base proportions typically found within the district. The north, east, and west elevations will be sided with horizontal lap fiber cement board siding.

We are seeking variances from the zoning code for the height and rear-yard setback. We are requesting a variance of 4'-2" for the height envelope. The natural topography of the site rises to the rear of the house that moves the district height limit of 35'-0" into the roof deck structure of the house. Only a small portion of the third floor roof projects beyond the height limit. Refer to elevation 2 on sheet A4.0. We are also requesting a rear-yard variance of 7'-6". Due to the relative shallow lot being 62'-8" and maintaining the front of the house within the 5'-0" front-yard setback this pushes the house to be outside the district requirement of 20'-0" for the rear-yard setback.

Please let me know if you have any questions or comments in your review of the attached material and COA submittal. I look forward to working with you on the development of this neighborhood.

Sincerely,



Chad Puckett, AIA



# New Single Family Residence: Cross Residence

312 Mulberry Street  
Cincinnati, OH 45202

FOLD  
ARCHITECTURE

FOLD & FORM, LLC  
3621 BURCH AVE.  
CINCINNATI, OH  
(513) 675 - 2243

## GENERAL NOTES

THIS IS A PROPRIETARY DESIGN OF CHAD PUCKETT. THE DESIGN DATA AND INFORMATION RELATING THERETO IS NOT TO BE USED, DISSEMINATED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF CHAD PUCKETT.

- ALL CONTRACTORS SHALL GUARANTEE ALL WORK EXECUTED UNDER THIS CONTRACT; BOTH AS TO MATERIAL AND WORKMANSHIP, FOR A PERIOD OF TWELVE (12) MONTHS AFTER THE DATE OF WRITTEN ACCEPTANCE, UNLESS OTHERWISE SPECIFICALLY PROVIDED IN THE CONTRACT. HE SHALL REPLACE WITH NEW MATERIALS, INCLUDING THE INSTALLATION THEREOF, ANY OR ALL PARTS GIVING INDICATION OF DEFECTIVE MATERIAL, OR FAULTY WORKMANSHIP DURING SUCH TIME. ANY REPLACING REPAIRING DURING THE GUARANTEE PERIOD SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER AND AT SUCH TIME AS WILL OCCASION THE LEAST INCONVENIENCE. IN ADDITION, ANY DAMAGE TO ADJACENT AREAS/SURFACES CAUSED BY FAULTY MATERIALS OR WORKMANSHIP SHALL ALSO BE REPAIRED TO THE OWNER'S SATISFACTION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY DIMENSIONS SHOWN ON THE DRAWINGS WITH THE CONDITIONS ON THE JOB. THE CONTRACTOR MUST NOTIFY THE OWNER OR ARCHITECT OF ANY VARIATIONS FROM THE DIMENSIONS AND DETAILS SHOWN ON THESE DRAWINGS.
- THE CONTRACTOR REMAINS RESPONSIBLE FOR DETAILS AND ACCURACY, FOR CONFIRMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESS, AND FOR TECHNIQUES OF ASSEMBLY.
- CONTRACTORS SHALL VISIT THE SITE OF THE PROPOSED WORK AND FULLY ACQUAINT THEMSELVES WITH CONDITIONS AS THEY CURRENTLY EXIST SO THAT THEY MAY FULLY UNDERSTAND THE FACILITIES, DIFFICULTIES AND RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK. ACCESS TO THE SPACE SHALL COORDINATED WITH THE BUILDING OWNER.
- NO SUBSTITUTIONS OF FINISHES OR PAINT COLORS WITHOUT PRIOR WRITTEN APPROVAL BY THE DESIGNER.
- ALL CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ANY AND ALL APPLICABLE CODES, REGULATIONS AND LAWS.
- CONTRACTOR SHALL FURNISH ALL ITEMS SHOWN ON THE DRAWINGS UNLESS NOTED OTHERWISE. FINISHES, FIXTURES AND EQUIPMENT ARE REFERRED TO IN THE OWNER / CONTRACTOR AGREEMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING FLOOR FINISH MATERIALS TO ENSURE THAT TRANSITIONS BETWEEN FLOORING MATERIALS WILL BE SMOOTH AND IN ACCORDANCE WITH THE DRAWINGS. UNLESS OTHERWISE STATED, CHANGES IN FLOORING MATERIAL SHALL OCCUR AT THE CENTERLINE OF DOORS.
- NOT USED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ALL INTERIOR GLASS SURFACES AND FLOOR SURFACES PRIOR TO OCCUPANCY OF THE SPACE BY TENANT. ALL TRASH, CONSTRUCTION DEBRIS, TOOLS, ETC. SHALL BE REMOVED BY CONTRACTOR PRIOR TO OCCUPANCY. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR CLEANING UP ALL PUBLIC AREAS AND REMOVING ALL TRASH, CONSTRUCTION DEBRIS, TOOLS, ETC. UPON COMPLETION OF THE PROJECT. PARTITIONING AT WALL CABINETS AND COUNTERS SHALL HAVE BRACING.
- DO NOT SCALE DRAWINGS.

## BUILDING INFORMATION

### GOVERNING CODE

2013 OHIO RESIDENTIAL CODE

### USE GROUP

SINGLE FAMILY RESIDENCE

### CONSTRUCTION TYPE

WOOD FRAMED

### DESIGN LOADING

FLOOR LOADING DESIGN 40# / S.F. LIVE LOAD  
10# / S.F. DEAD LOAD  
50# / S.F. TOTAL LOAD

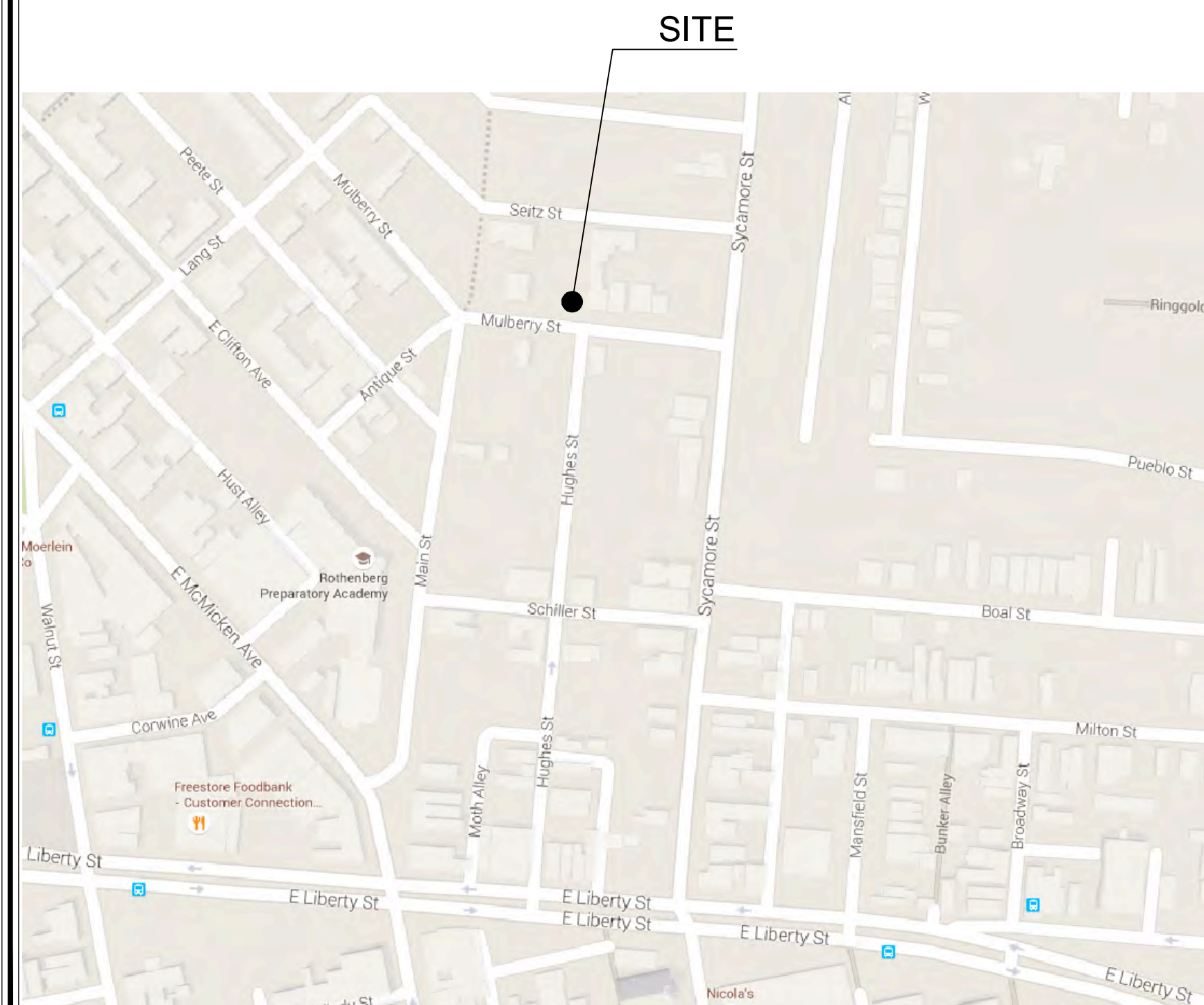
ROOF LOADING DESIGN 20# / S.F. LIVE LOAD  
10# / S.F. DEAD LOAD  
30# / S.F. TOTAL LOAD

### AREA GROSS CONDITIONED LIVING SPACE

ENTRY LEVEL 634 S.F.  
FLOOR 1 1,115 S.F.  
FLOOR 2 1,115 S.F.  
FLOOR 3 402 S.F.  
TOTAL 3,266 S.F.

## VICINITY MAP

NTS



## ABBREVIATIONS

& or &lt;	And	Dbl.	Double	Gal.	Gauge	Mos.	Masonry	S	Sched.	South
∠	Angle	Dipl.	Department	Gals.	Galvanized	Max.	Maximum	Sched.	Sect.	Schedule
Ø	At	Di.	Diameter	C.B.	Grab Bar	M.C.	Medicine Cabinet	Shl.	Sheet	Section
⊕ or ⊖	Centerline	D.F.	Drinking Fountain	Gen.	General	Mech.	Mechanical	Sim.	Sheet	Similar
Di.	Diameter	Div.	Division	Gr.	Granular	Mir.	Manufacturer	S.M.	Sheet Metal	Specification
Sq or ~	Square Foot	D.L.	Dead Load	Gran.	Granular	M.H.	Man Hole	Spec.	Spec.	Standard
#	Round or Number	Do.	Down	G.S.M.	Galvanized Sheet Metal	Mil.	Millium	Sq.	Square	Stainless Steel
±	Plus or Minus	Do.	Down	G.V.	Gas Valve	Misc.	Miscellaneous	S.S.	Street	Stainless Steel
A.B.	Anchor Bolt	Dr.	Dr.	Oyp.	Oypsum Wall Board	M.O.	Masonry Opening	Sl.	Street	Standard
A/C	Air Conditioning	D.S.	Downspout	Oyl.	Oil	Mtd.	Mounted	Sl.	Steel	Storage
Acoust.	Acoustical	Dwg.	Drawing	H or H.C.	Handicapped	Mtl.	Metall	Star.	Struct.	Suspended
Adj.	Adjustable	E	East	H.B.	Hose Bibb	N	North	Susp.	Sym.	Symmetrical
A.F.F.	Above Finish Floor	Ea.	Each	Hdwd.	Hardware	N.A.	Not Applicable	T	Tread	Telephone
A.F.G.	Above Finish Grade	E.J.	Expansion Joint	Hdr.	Hardware	Nec'y	Necessary	Temp.	Tempered	Top and Bottom
Alum.	Aluminum	Ei.	Elevation	Hgt.	Height	N.I.C.	Not In Contract	TAB	Through	Trough and Groove
Approx.	Approximate	Elec. or Elect.	Electrical	H.M.	Hollow Metal	No.	Number	TAB	Through	Trough and Groove
Arch.	Architect(ural)	Elev.	Elevator	H.P.	High Point	Nom.	Nominal	Thru	Through	Trough and Groove
Appl.	Appliances	Emec.	Emergency	H.S.	Heat Strength	Non Comb.	Non Combustible	T.V.	Tube Steel	Television
Atten.	Attention	Enc.	Enclosure	Hig.	Heating	N.T.S.	Not To Scale	Typ.	Typical	
Eng.	Engineer	H.V.A.C.	Heating, Ventilation, A/C	H.W.	Hot Water	O.A.	Overall	T.S.	Tube Steel	
E.P.	Electrical Panel	Eq.	Equal	Eqpt. or Equip.	Equipment	O.C.	On Center	T.V.	Tube Steel	
Bd.	Board	Eqpt.	Equipment	Equipm.	Equipment	O.D.	Outside Diameter	Typ.	Typical	
Bl.	Bilaminous	E.W.C.	Electric Water Cooler	LD.	Inside Diameter	Off.	Offset	T/C or T.O.C.	Top of Curb/Concrete	
Bldg.	Building	E.W.	Each Way	In.	Inch(es)	Off.	Offset	T/O or T.O.D.	Top of Drain	
Bk.	Block	Ext.	Existing	Incl.	Include	Ong.	Opening	T/O or T.O.P.	Top of Parapet	
Bkg.	Blocking	Insul.	Insulation	Int.	Interior	Opp.	Opposite	T/S or T.O.S.	Top of Steel	
Bm.	Beam	Int.	Interior	Invt.	Invert	O.T.O.	Out To Out	T/W or T.O.W.	Top of Wall	
B/O	By Others	F.A.	Fire Alarm	J.P.S.	Iron Pipe System	Part.	Particle or Partial	U.N.D.	Unless Noted Otherwise	
Bot.	Bottom	F.B.	Face Brick	J.C.	Janitor's Closet	P.L.	Protrusion	Ur.	Urinal	
Brg.	Bearing	F.D.	Floor Drain	Jan.	Janitor	P. Lam.	Plastic Laminate			
Bk.	Breakout	Fdn.	Foundation	Jn.	Joint	Plas.	Plaster			
Bm.H.	Breakmetal	F.E.	Fire Extinguisher	F.E.C.	Fire Extinguisher Cabinet	Plas.	Plaster			
B.U.R.	Built-Up-Roofing	F.H.C.	Fire Hose Cabinet	Fl.	Finish	Plyd	Plywood			
C	Channel	Fl.	Finish	Flr.	Floor	Pnd	Pendant			
Cab.	Cabinet	Flr. or Fl.	Flr.	Fluor.	Fluorescent	Pr.	Pair			
C.B.	Cotton Basin	Fluor.	Fluorescent	Frm.	Frame	P.S.F.	Pounds/Square Foot			
C/C or C.C.	Center to Center	Frm.	Frame	F.R.	Fire Resistant	Pt.	Point			
Car.	Ceramic	F.R.T.	Fire Retardant Treated	Lab.	Laboratory	P.T.	Pressure Treated			
C.I.	Cast Iron	F.R.P.	Fiber Reinforced Plastic	L.L.	Live Load	P.T.	Partition			
Cg.	Ceiling	F.S.R.	Flexible Sheet Roofing	LL.	Live Load	R	Riser			
Cl.	Closet	Fl.	Foot/Feet	LP.	Low Point	R.A.	Return Air			
C or Cl	Centerline	Fl.	Foot/Feet	L.P.	Low Point	Rad.	Radius			
C.M.U.	Concrete Masonry Unit	F.T.	Fully Tempered	Lt. Wt.	Light Weight	R.D.	Roof Drain			
C.O.	Cased Opening	Fig.	Figure	LL.H.	Long Leg Horizontal	Ref.	Refer or Reference			
Col.	Column	Fut.	Future	LL.V.	Long Leg Vertical	Refr.	Refrigerator			
Comb.	Combination	F.V.	Field Verify	Kil.	Kitchen	Reg.	Regular or Register			
Comp.	Compacted			K.O.	Knockout	Reinf.	Reinforce(d)			
Conc.	Concrete					Req'd	Required			
Const.	Construction					Res.	Resistant-Res.			
Cont.	Continuous					Rm.	Room			
Corr.	Corrosion					R.O.	Rough Opening			
C.P.	Chrome Plated					R.W.C.	Rain Water Collector			
C.W.	Cold Water									
C.J.	Control Joint									
Cr.	Clear									

## DRAWING SYMBOLS

	ELEVATION	ELEVATION, WORK POINT, DATUM		BREAK LINE
	MATCH LINE			DOOR REFERENCE
	SECTION REFERENCE			PARTITION TYPE REFERENCE
	ELEVATION REFERENCE			ROOM REFERENCE
	INTERIOR ELEVATION REFERENCE			KEY NOTE REFERENCE
	DETAIL BUBBLE WITH TAGS			REVISION CLOUD & NUMBER
	COLUMN LINES			

## INDEX TO DRAWINGS

SHEET #	SHEET TITLE	PRELIM. REVIEW			
A1.0	COVER SHEET AND PROJECT INFORMATION	09.19.15			
A2.0	SITE PLAN & FOUNDATION PLAN	09.19.15			
A3.0	ENTRY FLOOR, FIRST FLOOR PLANS	09.19.15			
A3.1	SECOND & THIRD FLOOR PLANS	09.19.15			
A4.0	EXTERIOR ELEVATIONS	09.19.15			
A4.1	EXTERIOR ELEVATIONS	09.19.15			
A5.0	BUILDING SECTIONS	09.19.15			
A6.0	WALL SECTIONS	09.19.15			
A6.1	WALL SECTIONS	09.19.15			

New Single Family Residence:  
Cross Residence  
312 Mulberry Street  
Cincinnati, OH 45202

PRELIMINARY  
DESIGN REVIEW

10.19.15

NO.	ISSUE DESCRIPTION	DATE

Scale \_\_\_\_\_ Drawn By \_\_\_\_\_

A1.0

CONCRETE

CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301-96, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", EXCEPT AS MODIFIED BY THE SUPPLEMENTAL REQUIREMENTS BELOW.

- 1. MATERIALS: (fc BASED ON 28 DAY UNLESS NOTED OTHERWISE)
A. CONCRETE UNLESS NOTED: fc = 4000 PSI, NORMAL AGGREGATE.
B. CONCRETE FOR EXTERIOR FLAT WORK, WALKS, ETC.: fc = 4500 PSI, (5% TO 7% ENTRAINED AIR), MINIMUM CEMENT CONTENT = 520 #/CY, MAXIMUM WATER / CEMENTITIOUS RATIO = 0.45
C. CONCRETE FOR INTERIOR FLOOR SLABS: fc = 4000 PSI AT 28 DAYS, 1800 AT 3 DAYS, NORMAL WEIGHT AGGREGATE, MINIMUM PORTLAND CEMENT CONTENT PER ACI 301-96 TABLE 4.2.2.1, WATER NOT PERMITTED TO BE ADDED AT THE SITE, HARDWARE ADMIXTURE REQUIRED, MAXIMUM WATER/CEMENT RATIO = 0.50.
D. CONCRETE FOR FOUNDATION WALLS WITH EXTERIOR EXPOSURE: fc = 4000 PSI, (5% TO 7% ENTRAINED AIR), MAXIMUM WATER/CEMENT RATIO = 0.50. THE CEMENT PORTION OF THE MIXTURE SHALL BE 30% FLY ASH OR SLAG, & SHALL BE LOCALLY EXTRACTED, PROCESSED, AND MANUFACTURED WITHIN 500 MILES OF THE SITE. REFER TO LEED REQUIREMENT MR. 2.2.
E. CONCRETE FOR FOOTINGS: fc = 3000 PSI.
F. REINFORCING STEEL: ASTM A615 60 KSI YIELD DEFORMED.
G. ADMIXTURES: ADMIXTURES CONTAINING CHLORIDE ARE NOT PERMITTED IN REINFORCED CONCRETE OR CONCRETE CONTAINING METALS.

- 2. WHEN THE AIR TEMPERATURE IS LESS THAN 40 deg. F, THE TEMPERATURE OF THE CONCRETE SHALL BE MAINTAINED BETWEEN 50 deg AND 70 deg. F FOR 7 DAYS.
3. AT CORNERS AND INTERSECTIONS OF WALLS AND FOOTINGS, PROVIDE BENT BARS OF EQUAL SIZE AND AT SAME SPACING AS TYPICAL REINFORCING AROUND CORNER AND/OR INTO ADJUTING WALL OR FOOTINGS. BARS SHALL HAVE EMBEDMENT OF 30 DIAMETERS (16" MIN.).
4. LAP SPLICE REINFORCING BARS 48 DIAMETERS UNLESS OTHERWISE NOTED.
5. ALL CAST-IN-PLACE CONCRETE WALLS SHALL BE PLACED CONTINUOUSLY WITH NO COLD JOINTS AND VIBRATED ADEQUATELY TO PREVENT AIR POCKETS.

- 6. CONCRETE WORK IN COLD WEATHER SHALL CONFORM TO ALL REQUIREMENTS OF ACI 306.1-90 "STANDARD SPECIFICATION FOR COLD WEATHER CONCRETING" AND ACI 306R-88 "COLD WEATHER CONCRETING".
7. CONCRETE WORK IN HOT WEATHER SHALL CONFORM TO ALL REQUIREMENTS OF ACI 305R-91 "HOT WEATHER CONCRETING". USE FIGURE 2.1.5 TO DETERMINE IF PRECAUTIONS AGAINST PLASTIC SHRINKAGE ARE REQUIRED.
8. NOT USED
9. MACHINE TROWEL INTERIOR FINISH FLOOR SLAB AND CURE USING "CURE AND SEAL" TYPE CURING COMPOUND MEETING FEDERAL SPECIFICATION TT-C-00800, VOC COMPLIANT, 30% MINIMUM SOLIDS CONTENT. FOR EXTERIOR APPLICATIONS USE LIGHT BROOM FINISH AND ACRYLIC BASED CURING COMPOUND.

- 10. FLOOR SLAB-ON-GRADE SHALL CONFORM TO THE FOLLOWING SURFACE PROFILE TOLERANCES PER ASTM E-1155 AND AGI 117:
FINISH TO A FLOOR FLATNESS (FF) OF 20 AND FLOOR LEVELNESS (FL) OF 17.
11. SEE ARCHITECTURAL DRAWINGS FOR VAPOR BARRIER REQUIREMENTS. VAPOR BARRIER, SHALL BE PLACED OVER COMPACTED GRANULAR SUBBASE AND SEAL ALL JOINTS.
12. CONTROL JOINTS IN SLABS ON GROUND SHALL BE LOCATED AT 10'-0" MAXIMUM SPACING AND SHALL CREATE SECTIONS OF SLAB WITH A MAXIMUM ASPECT RATIO OF 1.5:1. CONTROL JOINTS SHALL BE SAWN AND SHALL BE A MAXIMUM OF 1/4 OF THE SLAB THICKNESS DEEP. THE CONTROL JOINT SHALL BE SAWN AS SOON AS THE SAW BLADE CAN CUT THE CONCRETE WITHOUT DISPLACING THE AGGREGATE.

- 13. WHERE BRITTLE FLOOR FINISHES ARE TO BE APPLIED TO FLOOR SLABS, COORDINATE CONTROL JOINT LOCATIONS WITH FLOOR FINISH JOINT LOCATIONS AND ARCHITECT.
14. CONCRETE MIX: 5000 PSI @ 28 DAYS, MAXIMUM 1" AGGREGATE: SLUMP 5", AIR CONTENT 4.5 - 7% CEMENT: TYPE I ASTM C 150 - 86 351 LBS GRANEM CEMENT: GRADE 100 ASTM C989 189 LBS FLY ASH: ASTM C 618, TYPE C ONLY 118 LBS SAND: ASTM C 33, OHIO 703.2 1170 LBS AGGREGATE: ASTM C 33, OHIO 703.1 SIZE 8'S 274 LBS 1354 LBS AGGREGATE: ASTM C 33, OHIO 703.1 SIZE 57'S 296 LBS WATER: 2-4 OZ. / 100 LBS WATER REDUCER: ASTM C 494-86 TYPE A OR D 1.5 LBS FIBERMESH: NOTE: FLY ASH TO TOTAL CEMENTITIOUS RATIO SHALL BE A MINIMUM OF 30%, NOT TO EXCEED 33%.

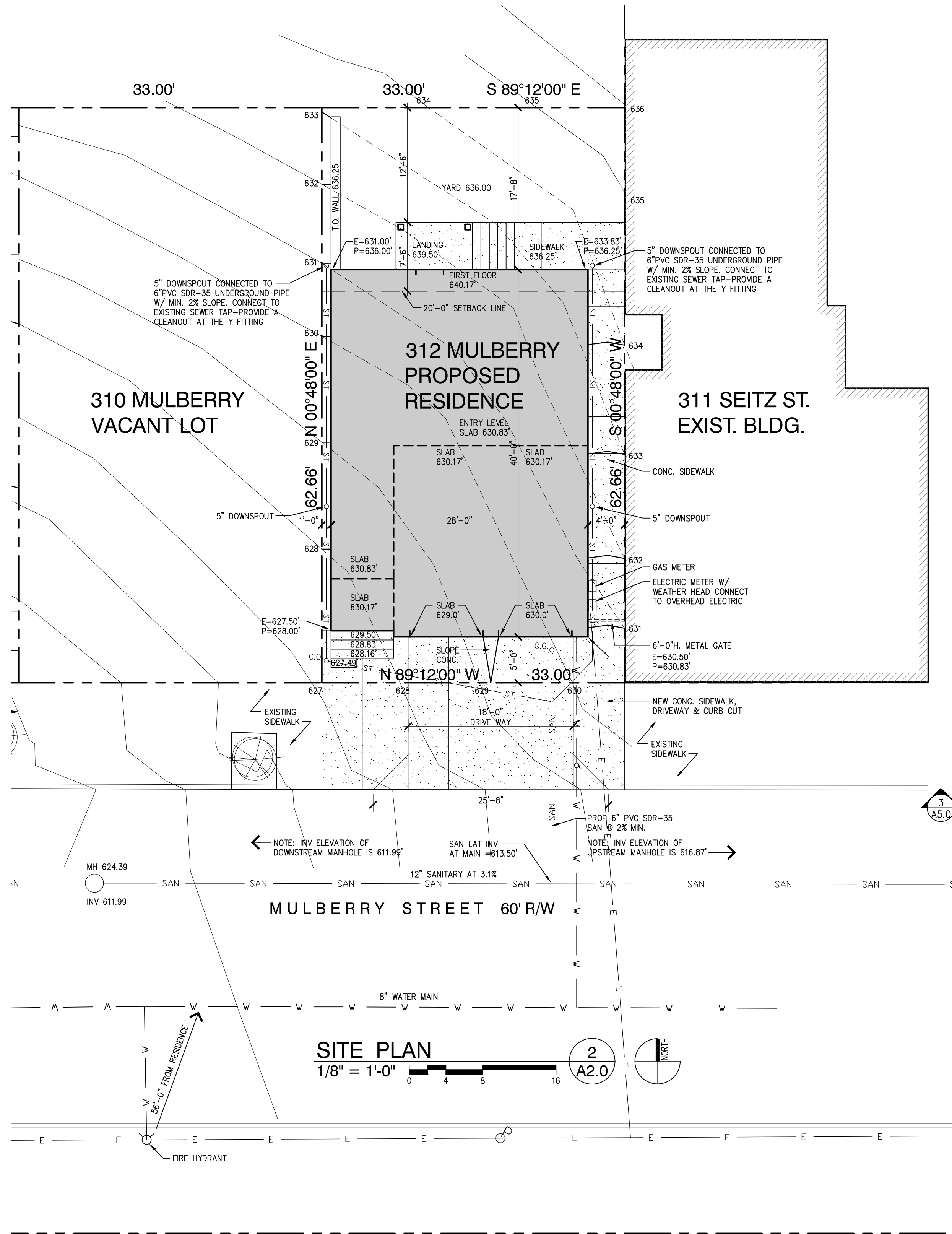
FOUNDATIONS

- 1. FOUNDATION ELEVATIONS SHOWN ARE FOR BIDDING PURPOSES AND MAY BE LOWERED TO SUIT SUB-SURFACE SOIL CONDITION, ELEVATION AND BEARING STRATA SHALL BE APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACING CONCRETE.
2. CONTRACTOR SHALL CONTACT UTILITY COMPANIES FOR LOCATING UNDERGROUND SERVICES AND IS RESPONSIBLE FOR THEIR PROTECTION AND SUPPORT.
3. FOUNDATION DESIGN IS BASED ON THE ASSUMPTION OF FAVORABLE SOIL CONDITIONS (I.E. CONDITIONS THAT ARE CONSISTENT WITH THE PARAMETERS ASSUMED FOR THE DESIGN) AND MUST BE VERIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION.
4. CONCRETE AND THE REINFORCING STEEL FOR TRENCH FOOTINGS SHALL BE PLACED AS SOON AS IS PRACTICAL AFTER THE TRENCH IS EXCAVATED NO COMPLETE EXCAVATIONS SHALL BE ALLOWED TO REMAIN OPEN OVERNIGHT.
5. NOT USED
6. NOT USED
7. ALL FOOTINGS SHALL BEAR ON LEVEL (SLOPE NOT TO EXCEED 1 IN 12) UNDISTURBED SOIL OR APPROVED ENGINEERED FILL. FOUNDATIONS HAVE BEEN DESIGNED FOR A MINIMUM SOIL BEARING PRESSURE OF 3000 PSF BELOW STRIP FOOTINGS AND 3000 PSF BELOW ISOLATED COLUMN FOOTINGS.

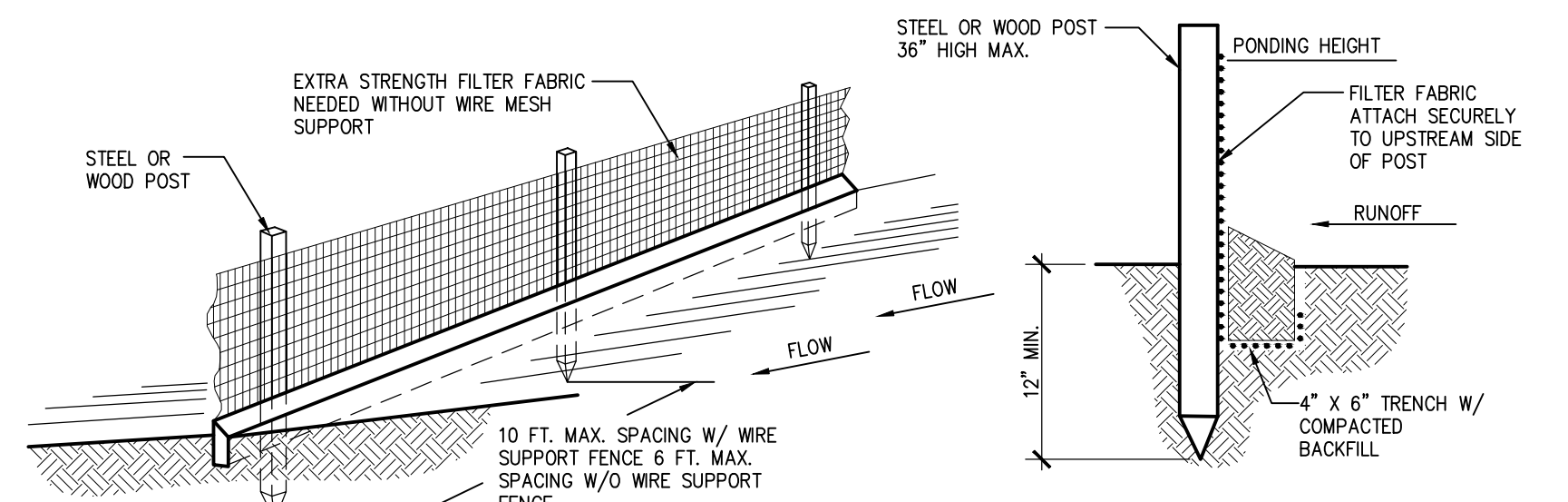
- 8. COMPACTION:
A. ALL FILL MATERIALS SHALL BE APPROVED BY A GEOTECHNICAL CONSULTANT.
B. ENGINEERED FILL BENEATH FOOTINGS: MINIMUM COMPACTION 98 % STANDARD PROCTOR DENSITY AT THE OPTIMUM MOISTURE CONTENT.
C. BACKFILL AGAINST WALLS.
1. BACKFILL ALONG INTERIOR FACE OF FOUNDATION WALLS SHALL BE:
A. CLAYEY MATERIAL COMPACTED IN 6" LIFTS TO 95% STANDARD PROCTOR DENSITY OR CONCRETE WITH A COMPRESSIVE STRENGTH OF fc = 500 PSI OR
B. WELL GRADED GRANULAR MATERIAL COMPACTED IN 6" LIFTS, AT THE BOTTOM OF THE GRANULAR BACKFILL PLACE A 4" DIA. PERFORATED FOUNDATION DRAIN PIPE. PROVIDE A POSITIVE SLOPE TO DAYLIGHT OR TO SUMP.
2. BACKFILL ALONG EXTERIOR FACE OF SHALLOW WALL FOUNDATIONS SHALL BE:
A. COMPACTED CLAYEY MATERIAL, COMPACT TO 95% STANDARD PROCTOR DENSITY OR
B. COMPACTED GRANULAR MATERIAL WITH 4" DIAMETER FOUNDATION DRAIN PIPE AT THE BOTTOM OF THE GRANULAR MATERIAL. PROVIDE A POSITIVE SLOPE TO DAYLIGHT OR TO SUMP.
D. FILL BELOW FLOOR SLABS: TOP 12" OF SUBBASE BELOW INTERIOR FLOOR SLAB SHALL BE PROOF ROLLED TO 98 % STANDARD PROCTOR DENSITY PRIOR TO PLACEMENT OF SLAB. PROVIDE 4" COMPACTED LAYER OF GRANULAR BASE MATERIAL BELOW SLAB.

FOUNDATIONS

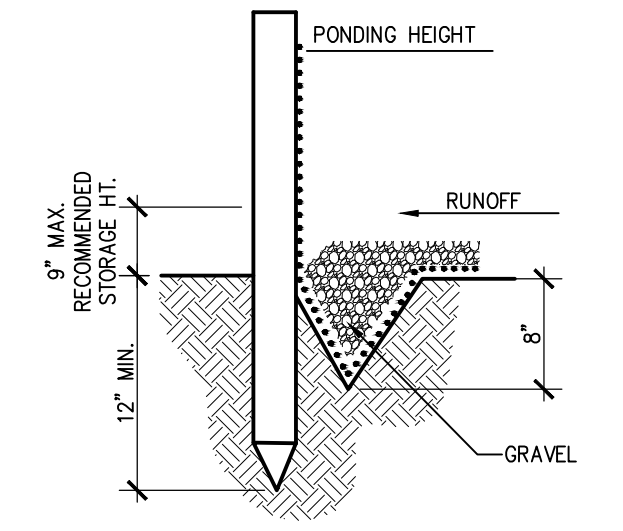
- 9. PROVIDE ENGINEERED FILL OR LOW STRENGTH CONCRETE (500 PSI) UNDER FOUNDATIONS AT SOFT SPOTS AND FOR EXTENDING EXCAVATION TO ADEQUATE BEARING MATERIAL. INSTALL FOUNDATIONS AT DESIGNED ELEVATIONS.
10. ALL AREAS WITHIN THE FOOTPRINT OF THE BUILDING, INCLUDING UTILITY TRENCHES, MUST BE FREE OF ANY WET AND/OR SOFT AREAS PRIOR TO PLACEMENT OF FILL MATERIAL OR SLAB.
11. SEAL UTILITY TRENCH AT THE EXTERIOR FOUNDATION WALL BY USING A COMPACTED CLAYEY BACKFILL OR LEAN CONCRETE TO CREATE A DAM TO PREVENT ENTRY OF WATER.
12. FINISH GRADE SHALL SLOPE AWAY FROM BUILDING. TYPICAL.



SITE PLAN 1/8" = 1'-0" A2.0



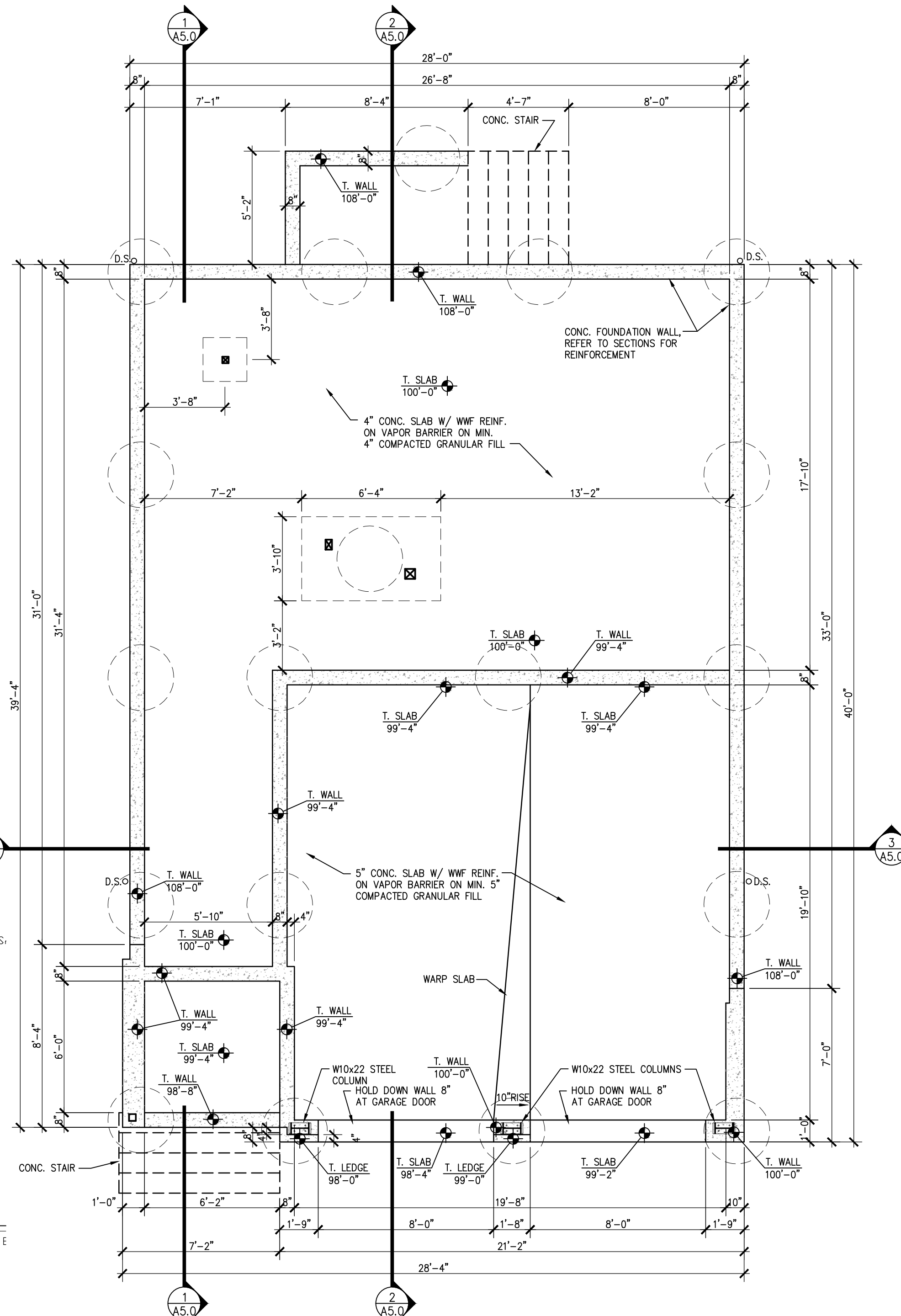
STANDARD DETAIL TRENCH W/ NATIVE BACKFILL



ALTERNATE DETAIL TRENCH W/ GRAVEL BACKFILL

SILT FENCE DETAILS

- NOTE:
1. INSPECT & REPAIR FENCE AFTER EACH STORM EVENT & REMOVE SEDIMENT WHEN NECESSARY.
2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.



FOUNDATION PLAN 1/4" = 1'-0" A2.0

New Single Family Residence: Cross Residence 312 Mulberry Street Cincinnati, OH 45202

PRELIMINARY DESIGN REVIEW

10.19.15

Table with columns: NO., ISSUE DESCRIPTION, DATE. Includes sheet title 'FOUNDATION PLAN', 'SITE PLAN', and scale 'Scale Drawn By'.

A2.0









New Single Family Residence:  
**Cross Residence**  
312 Mulberry Street  
Cincinnati, OH 45202

PRELIMINARY  
DESIGN REVIEW

10.19.15

NO. ISSUE DESCRIPTION DATE

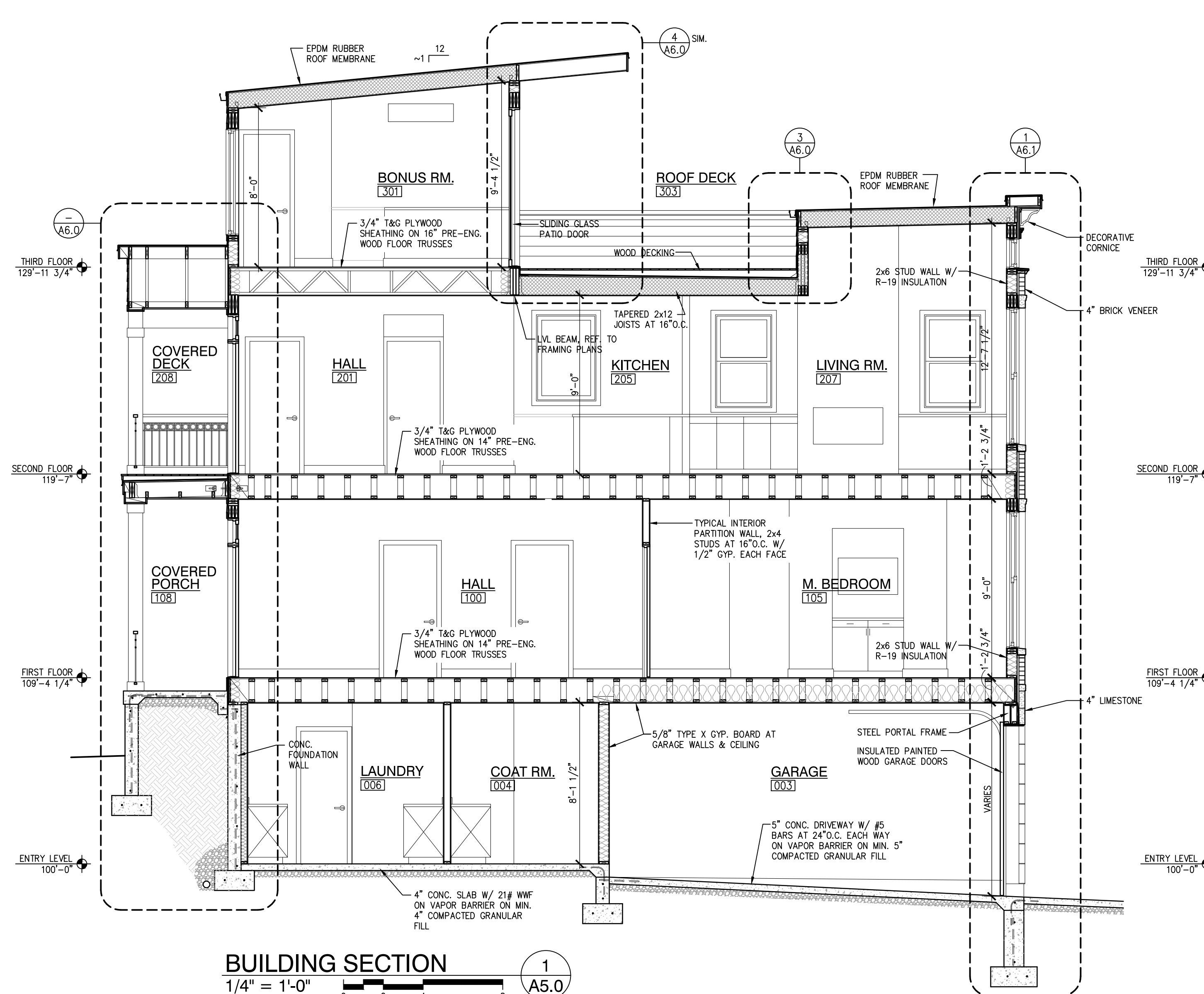
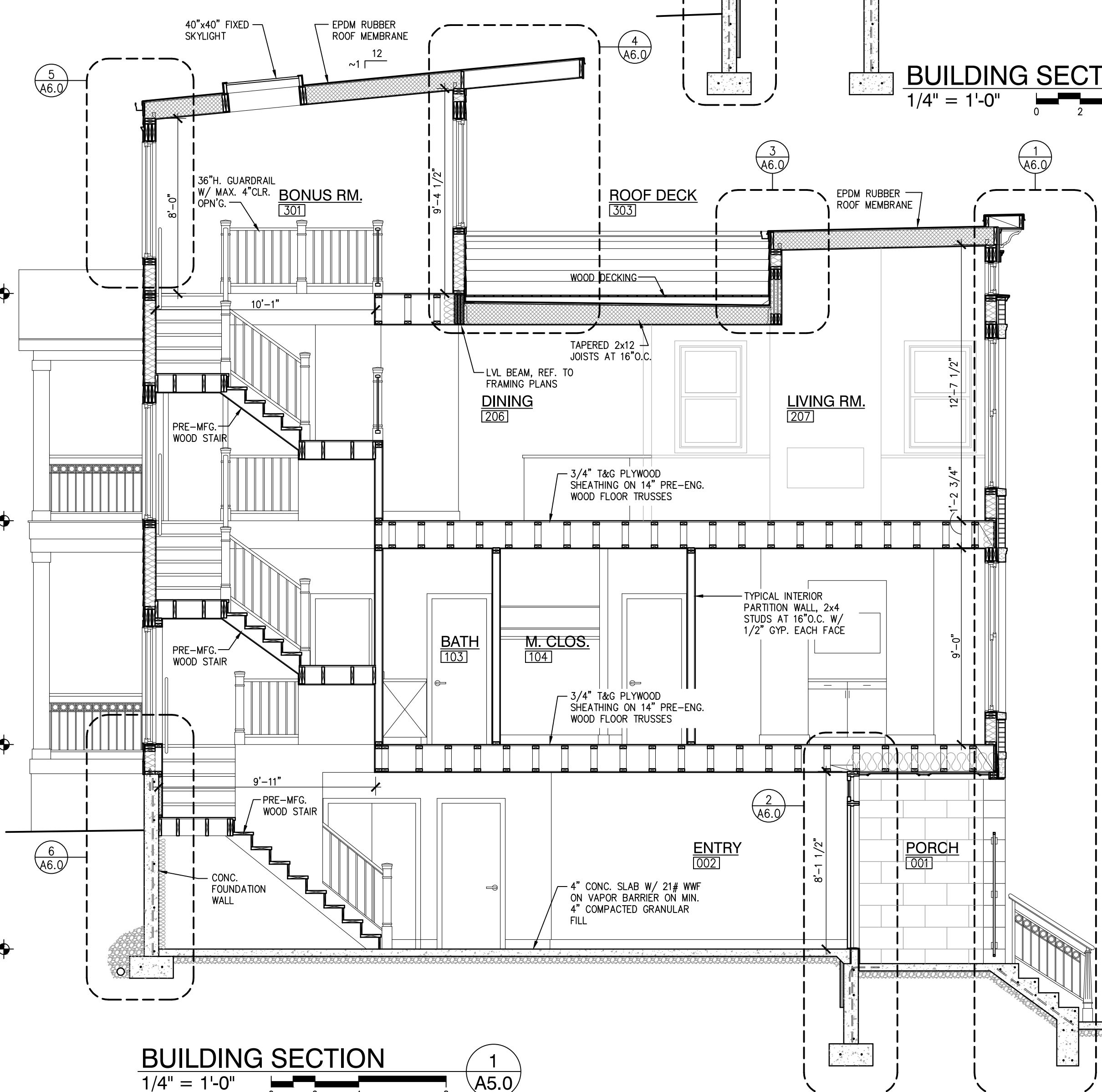
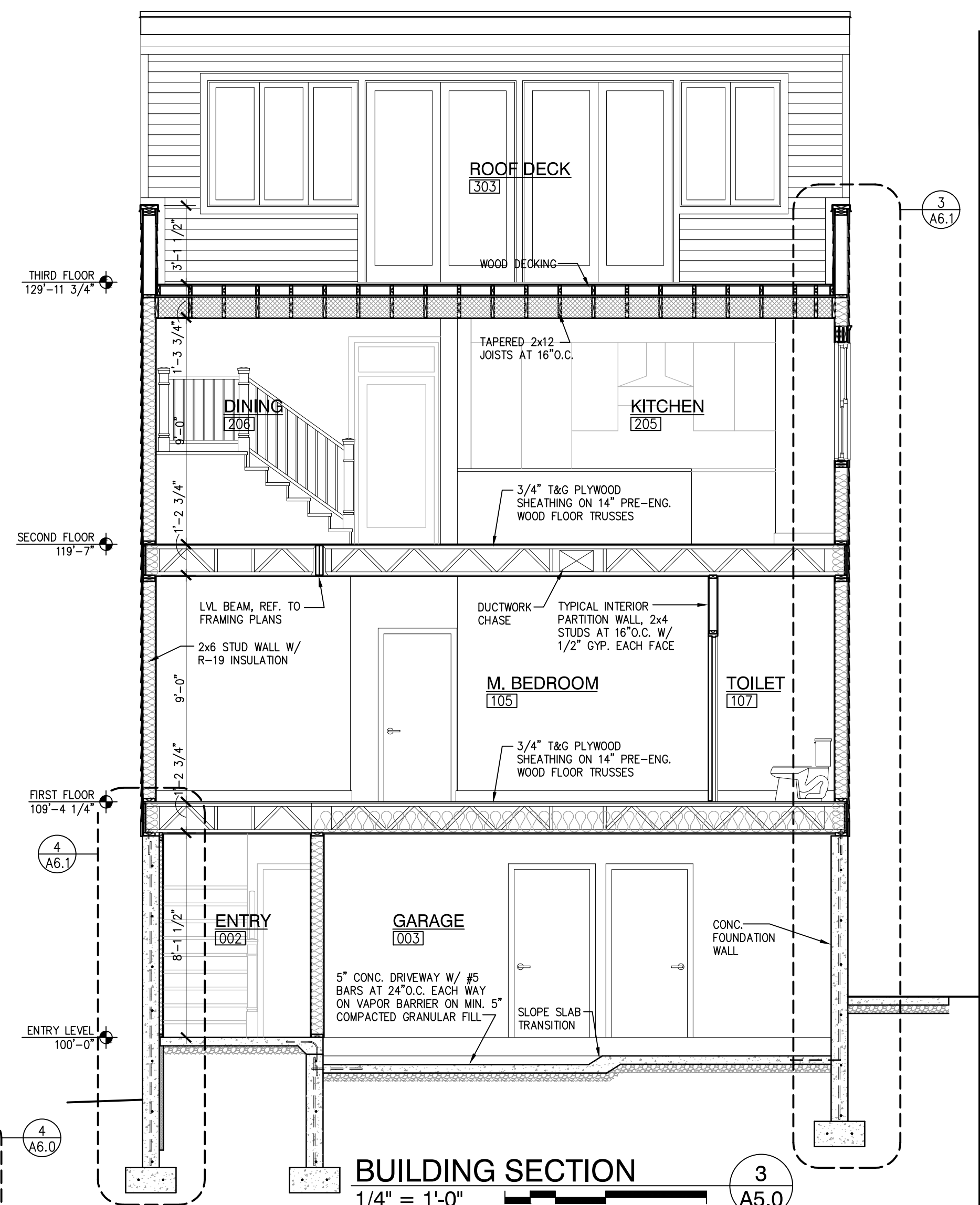
Sheet Title

Issued For Permit Date

Scale Drawn By

15005

A5.0









**APPLICATION FOR  
CERTIFICATE OF APPROPRIATENESS  
PRELIMINARY DESIGN REVIEW  
HISTORIC CONSERVATION BOARD PUBLIC HEARING  
STAFF REPORT**

APPLICATION #: N/A  
APPLICANT: Jason Schneider, Architect representing the owner  
OWNER: Rock Island Realty LTD, Lisa Meeks  
ADDRESS: **4001 Hamilton Avenue, Cincinnati OH 45223**  
PARCELS: 221-0013-0046-00

ZONING: Commercial Community-Pedestrian (CC-P)  
OVERLAYS: Northside NBD Historic District  
COMMUNITY: Northside  
REPORT DATE: October 19, 2015  
HEARING DATE: N/A  
STAFF REVIEW: Angie Strunc, City Interim Urban Conservator

---

---

**Nature of Request:**

The applicant is requesting a Preliminary Design Review for rehabilitation of existing a structure and construction of a new addition in the Northside Neighborhood.

**Existing Conditions:**

This proposed project is located in the northwest corner of Hamilton Avenue and Hoffner Street. This is a key six way intersection of Hamilton Avenue, Hoffner Street, Spring Grove Avenue, Old Ludlow Avenue and Ludlow Avenue Viaduct in an area known as Knowlton's Corner. The original structure is a wood frame three stories, constructed in 1880 in the Second Empire architectural style. A two story rear addition is a wood frame structure presumably constructed in the early 20<sup>th</sup> century.

The existing use is first floor commercial with upper floors as residential. The building is currently vacant.

**Proposed Conditions:**

The applicant is proposing to rehabilitate the existing three and two story structure by replacing existing windows with wood clad aluminum 2/2 by Marvin (Wood-Ultrex Integrity, or similar), existing wood siding repair and paint, existing wood roofing shingle repair, and corner storefront replacement. The existing storefront has been modified in the past with inappropriate high windows and wood infill below which will be replaced with appropriate window size and knee wall construction. The existing cast iron storefront surround will remain although the applicant is seeking to widen the commercial storefront to the west by adding additional storefront window bays.

The proposed third floor addition on the west end of the building will have wood siding to match existing on the east side and flat-seam metal roofing panels to match existing roof in color at the new Mansard roof. New windows will be wood clad aluminum 1/1 by Marvin (Wood-Ultrex Integrity, or similar), 3 windows on the south façade, west side are proposed to be enlarged in order to bring the sill height down from 4'-6" to 3'-0" above finished floor.

The proposed use is the same with first floor commercial (proposed is likely A-2 restaurant or bar) with upper floors and addition as residential.

**Previous Reviews: N/A**

**Applicable Zoning Code Sections:**

Zoning District: Section 1409 Commercial Districts  
Variance Request: N/A  
Overlays: N/A

Historic District/Reg: Northside NBD District

**Details of Zoning Relief Required: POTENTIALLY.** During initial reviews, the site appears to have no zoning concerns pertaining to the right to utilize the property as intended although there are limitations on commercial uses. Required parking was also not addressed at this time.

**Certificate of Appropriateness Review**

The guidelines for new construction indicate an applicant should not try to imitate the old, but should be compatible with respect to the following:

**Initial Staff comments on the Specific Guidelines for Alterations and Rehabilitation:**

In general, the proposed rehabilitation items meet the district guidelines. Examples include existing wood siding that will be restored and repainted, window replacement will be in the existing framed opening, and ornamentation will remain. The original storefront columns, lintels and cornices that divide the storefront into bays will remain. The applicants request to expand this bay system into new framed openings to the west could detract from the original entry prominence but does open up this highly visible corner of the Northside Business District.

**Initial Staff comments on the Specific Guidelines for New Construction:**

1. **Materials:** The proposed new materials such as wood siding are compatible with the existing structure. Proposed new roofing materials such as flat seam metal roof panels are different than the existing structure in shape and size but the applicant proposes they match in color.

2. **Scale:** The proposed addition design meets the scale of the existing structure and the character of the district.
3. **Form:** The addition shape and massing match the existing building with the proposed mansard roof design and dormer windows. The window openings are vertical.
4. **Detailing:** Detailing is generally compatible with the existing building and the character of the district.
5. **Height:** The height is comparable to the existing building and does not detract from the character or appearance of the district.
6. **Setback:** N/A
7. **Historic Integrity:** Overall, compatibility of the new work is appropriate for the district. The proposed addition of new storefront on the south façade, west of the original storefront openings is not historically accurate and would require the removal of existing framed window and door openings. The cast iron storefront surround should remain as should any original columns at the clipped corner entry. How the cast iron original surround blends with the new proposed storefront detailing is not clear to staff at this time.

**Other Considerations:**

**Proposed Use:** No change in proposed use.

**Recommendation:**

There is no official Board action required on this proposal at this time. Members of the Board are requested to comment on the proposed design to identify issues that may require additional consideration to meet the intent of the guidelines for the historic district.

16 October 2015

Angie Strunc, RA  
Interim Urban Conservator  
City of Cincinnati  
3300 Central Parkway  
Cincinnati, Ohio 45225

**RE: 4001 Hamilton Ave; information for October 28<sup>th</sup> Pre-Design review with Historic Conservation Board.**

Dear Angie,

Thank you for taking the time to meet with us October 1<sup>st</sup> to discuss our approach to the renovation of 4001 Hamilton Avenue. We have updated drawings and other information based on your suggestions and we present the attached packet for distribution to Historic Conservation Board Members.

As we discussed, we are finishing up the schematic design phase for this project and would appreciate any guidance the Board could give us moving forward. The specific items we would like to discuss are:

1. Material selection for the third floor addition,
2. Enlarging the windows on the southwest façade toward the rear of the building,
3. Expanding the historic storefront to create a highly visible and vibrant space to welcome people to the Northside neighborhood.

We wish to be respectful of the Board's time and will defer discussion of technical issues, such as window details, until we seek approval via a Certificate of Appropriateness. Our goal for this meeting is to discuss major design decisions prior to moving forward with Design Development. The Board's guidance will help us identify the way forward for this exciting project.

The attached packet includes the following:

- Select text from Part 1 of the Historic Preservation Certification Application (Although we are no longer pursuing historic tax credits, we are sharing the history of the building to better understand context.
- Northside Historic Business District Guidelines. The Northside Historic Business District is not a nationally recognized historic district, but is a locally recognized district with it's own set of guidelines, attached herein.
- Existing Building Context Photos: Photos of the building from various angles and photos of adjacent buildings.
- Existing Building Plans and Elevations: Provided for comparison against Proposed Drawings.
- Proposed Rendering, Plans, and Elevations showing design intent.

Presenters at the hearing will be:

- Project Architect: Jason Schneider, AIA
- Owner: Lisa Meeks,



Thank you for the opportunity to discuss this project with the Board. If you have any questions, please feel free to contact me at 513.542.2500 ext 4, or 513.910.6299.

Sincerely,

A handwritten signature in black ink, appearing to be 'Jason Schneider', written over the word 'Sincerely,'.

Jason Schneider, AIA, NCARB, LEED AP BD+C



**HISTORIC PRESERVATION CERTIFICATION APPLICATION  
PART 1 – EVALUATION OF SIGNIFICANCE**

NPS Project Number

**Instructions:** This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1. **Property Name** The Corner; The Elk Tasting Room; Stolz Drugstore

Street 4001 Hamilton Avenue

City Cincinnati County Hamilton State OH Zip 45223-2601

Name of Historic District Northside NBD Historic District

National Register district  certified state or local district  potential district

2. **Nature of request** (check only one box)

- certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.
- certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.
- certification that the building does not contribute to the significance of the above-named district.
- preliminary determination for individual listing in the National Register.
- preliminary determination that a building located within a potential historic district contributes to the significance of the district.
- preliminary determination that a building outside the period or area of significance contributes to the significance of the district.

3. **Project Contact** (if different from applicant)

Name Adrienne Cowden Company 720 Consulting

Street 2114 Alpine Place City Cincinnati State OH

Zip 45206 Telephone (513) 378-7836 Email Address adrienne.cowden@gmail.com

4. **Applicant**

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable] (1)  I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or (2)  if I am not the fee simple owner of the above-described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Lisa Meeks Signature *[Signature]* Date 06/23/2015

Applicant Entity Rock Island Realty, Ltd. SSN \_\_\_\_\_ or TIN 26-4507395

Street 215 E. 9th Street City Cincinnati State OH

Zip 45202 Telephone (513) 608-8795 Email Address lisameeks@newman-meeks.com

**NPS Official Use Only**

The National Park Service has reviewed the Historic Preservation Certification Application – Part 1 for the above-named property and has determined that the property:

- contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes.
- contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes.
- does not contribute to the significance of the above-named district.

Preliminary Determinations:

- appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
- does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.
- appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.
- appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer.
- does not appear to qualify as a certified historic structure.

Date \_\_\_\_\_ National Park Service Authorized Signature \_\_\_\_\_

NPS comments attached



UNITED STATES DEPARTMENT OF THE INTERIOR  
NATIONAL PARK SERVICE

OMB Approved  
No. 1024-0009  
Form 10-168  
Rev. 2014

**HISTORIC PRESERVATION CERTIFICATION APPLICATION**  
**PART 1 – EVALUATION OF SIGNIFICANCE**

NPS Project Number

**Instructions:** This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

**1. Property Name** The Corner; The Elk Tasting Room; Stolz Drugstore

Street 4001 Hamilton Avenue

City Cincinnati County Hamilton State OH Zip 45223-2601

Name of Historic District Northside NBD Historic District

National Register district  certified state or local district  potential district

**2. Nature of request** (check only one box)

- certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.
- certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.
- certification that the building does not contribute to the significance of the above-named district.
- preliminary determination for individual listing in the National Register.
- preliminary determination that a building located within a potential historic district contributes to the significance of the district.
- preliminary determination that a building outside the period or area of significance contributes to the significance of the district.

**3. Project Contact** (if different from applicant)

Name Adrienne Cowden Company 720 Consulting

Street 2114 Alpine Place City Cincinnati State OH

Zip 45206 Telephone (513) 378-7836 Email Address adrienne.cowden@gmail.com

**4. Applicant**

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable] (1)  I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or (2)  if I am not the fee simple owner of the above-described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Lisa Meeks Signature *LSM* Date 06/23/2015

Applicant Entity Rock Island Realty, Ltd. SSN \_\_\_\_\_ or TIN 26-4507395

Street 215 E. 9th Street City Cincinnati State OH

Zip 45202 Telephone (513) 608-8795 Email Address lisameeks@newman-meeks.com

**NPS Official Use Only**

The National Park Service has reviewed the Historic Preservation Certification Application – Part 1 for the above-named property and has determined that the property:

- contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes.
- contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes.
- does not contribute to the significance of the above-named district.

Preliminary Determinations:

- appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
- does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.
- appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.
- appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer.
- does not appear to qualify as a certified historic structure.

Date \_\_\_\_\_ National Park Service Authorized Signature \_\_\_\_\_

NPS comments attached

HISTORIC PRESERVATION CERTIFICATION APPLICATION  
PART 1 – EVALUATION OF SIGNIFICANCE

Property name The Corner; The Elk Sample Room; Stolz Drugstore

NPS Project Number \_\_\_\_\_

Property address 4001 Hamilton Avenue (Cincinnati Hamilton County OH 45223-2601)

5. Description of physical appearance

4001 Hamilton Avenue is situated at the six-way intersection of Hamilton Avenue, Hoffner Street, Spring Grove Avenue, Old Ludlow Avenue and the Ludlow Avenue Viaduct in a subarea of the Northside neighborhood business district known as Knowlton’s Corner. The building anchors the northwest corner of Hamilton Avenue and Hoffner Street. Cluxton Alley runs behind (west of) the property.

The three-story portion – a c. 1880 frame Second Empire mixed-use building – represents the original structure. A two-story frame rear addition was constructed in the early 20<sup>th</sup> century. The addition does not appear on the 1922 Sanborn Fire Insurance Map. However, it is visible in photographs of the building during the 1933 flood of the Ohio River and the Mill Creek (see Figure 1). The building has a parged stone foundation, and wood clapboards of varying widths sheath the exterior walls. Patterned wood shingles cover the mansard roof, which is punctuated by front gable dormers on the main (east) façade and south elevation. Two brick chimneys with terra cotta pots pierce the roof. A simple bracketed wood cornice features decorative festoons. The rear addition has a raised seam metal and a membrane roof. A single brick chimney pierces through the metal roof near the northwest corner of the addition. Window openings have simple wood trimwork, and there is a combination of wood double-hung sash of various configurations (two-over-two, one-over-two, two-over-one, six-over-one) and 20<sup>th</sup> century one-over-one replacement sash.



Figure 1. View of 4001 Hamilton Avenue, March 1933

An altered cast iron storefront wraps around the southeast corner of the building. It features a recessed entryway with sidelights, a glazed door, transoms and a tiled stoop. The building has four additional entrances – three in the south elevation and one in rear (west) elevation. The easternmost entrance in the south elevation opens into the first floor commercial space. It has a modern aluminum door, a transom and a simple wood surround. Two entrances – the westernmost entrance in the south elevation and the rear (west) elevation entrance – open into the first floor of the rear addition. The entrance in the rear (west) elevation appears to be a later 20<sup>th</sup> century modification. It has a six-panel aluminum door and contemporary wood trim.

*continued*

Date of construction c. 1880, mid-1920s/early 1930s Source of date Physical inspection/ historic research

Date(s) of alteration(s) 20<sup>th</sup> century Source of date Physical inspection/ historic research

Has building been moved?  no  yes, specify date \_\_\_\_\_

6. Statement of significance

The property at 4001 Hamilton Avenue is located in and contributes to Cincinnati’s Northside NBD Historic District, established locally in 1982 by Ordinance No. 189-1982 and certified by the National Park Service in 1983 (see attached). The district encompasses the neighborhood’s historic business district and includes a diverse mix of late 19<sup>th</sup> and early 20<sup>th</sup> century commercial and mixed-use buildings. In the early 20<sup>th</sup> century Knowlton’s Corner was Cincinnati’s third busiest shopping area. The majority of structures are two- to five-story brick buildings with storefronts and architectural styles include Queen Anne, French Renaissance, Romanesque, Italianate, and Second Empire. The district includes the National Register listed Domhoff Buildings (4201-4203 Hamilton Avenue and 1604-1614 Chase Avenue) and part of the National Register listed Hoffner Lodge Historic District (bounded by Blue Rock, Moline, Langland and Hamilton). 4001 Hamilton Avenue contributes to the architectural character of the Northside NBD Historic District as an unusual example of a frame Second Empire mixed-use building. The continued existence of this frame structure is remarkable in that it survived at least two major floods – one in 1933 and the “Great Flood” of 1937 (see Figures 1, 2, 3, and 4). It represents a tangible link to the commercial history, development and evolution of the business district while providing a glimpse of the important role social clubs, fraternal orders and service organizations once played in the community.



Figure 2. View of 4001 Hamilton Avenue During the Great Flood, 1937



Figure 3. View of 4001 Hamilton Avenue During The Great Flood, January 1937

Based on available city directories, the building at 4001 Hamilton Avenue was first utilized as a grocery store (1879-1884) operated by Henry Hanfeld [sic Handfeld] and Elizabeth Hanfeld. However, beginning in 1885, the use shifted. For nearly three and

*continued*

7. Photographs and maps. Send photographs and map with application

# HISTORIC PRESERVATION CERTIFICATION APPLICATION

## PART 1 – EVALUATION OF SIGNIFICANCE

Property name The Corner; The Elk Sample Room; Stolz Drugstore

NPS Project Number \_\_\_\_\_

Property address 4001 Hamilton Avenue (Cincinnati Hamilton County OH 45223-2601)

### 5. Description of physical appearance *(continued)*

The south elevation entrance has a two-light wood transom, a simple wood surround and a modern aluminum door. The fourth and final entrance, which is centered in the south elevation, provides access to the residential units in the upper floors. It has a simple pedimented wood surround and a concrete step. This entrance opens into an enclosed stair hall with a straight flight of stairs to the second floor.

Based on physical inspection, prior owners modified the interior space multiple times over the years. The first floor commercial space includes two large rooms connected by a hallway and a bathroom. The second floor has two residential units. The rear unit is located in the two-story addition and is now a single open room. The second residential unit has four rooms including a bathroom. On the first and second floors a change in the floor level demarcates the separation between the front c. 1880 portion of the building and the rear two-story addition. A simple, painted wood staircase leads up to the third floor residential unit. This unit has four rooms, including a three-piece bathroom. The building has an unfinished basement under the c. 1880 portion accessed by a simple wood stair from the first floor. There is a crawl space beneath the addition.

### 6. Statement of significance *(continued)*

a half decades, it operated continuously as a saloon from 1885 to 1918 until Prohibition. The building also had at least one residential unit in the upper floors.

From 1885 to 1888, Joseph G. Stolz was the proprietor of "The Corner" saloon, alternately described in city directories as a "wine and beer saloon" and a place with a "choice brands of wines, liquors and cigars constantly on hand." Lawrence H. Rabe ran a saloon at this address for a single year, 1889, before Frank Kuhl began his five-year tenure. From 1890 to 1894 Kuhl is listed as the proprietor of "The Corner" saloon with "a specialty of fine old whiskies, choice wines and fine cigars; meals at all hours." Louis Schueler took over the establishment in 1895. Under his ownership, 4001 Hamilton Avenue served as a saloon and daily market. The 1905 City Directory calls the saloon "The Elk Sample Room" with the "finest wines, liquors and cigars available." In addition to being a business owner, Schueler also served as a councilman for the 23<sup>rd</sup> Ward.

Prohibition laws banned the sale of alcohol nationwide, and in 1919, Schueler began to sell soft drinks. It is currently unknown whether or not the establishment continued to sell liquor behind the scenes as one of the nation's many speakeasy clubs. Schueler retained the business until 1922, after which it rapidly changed hands from Walter Scheffel (1923) to John G. Kolde (1924) to Morris Stein (1925); all of these men sold soft drinks. In 1926, Joseph Stolz took over the commercial space as a drugstore, and the Stolz pharmacy remained at this location until c. 1952. The name "Stolz" is visible on a number of historic photographs of the building during his tenure (see Figures 1 and 4).



Figure 4. View of 4001 Hamilton Avenue (Stolz Pharmacy), late 1920s/early 1930s

In addition to residential apartments and businesses, 4001 Hamilton Avenue was home to a wide array of social societies. Five Point Mutual Aid and Victory Mutual Aid held meetings at 4001 Hamilton Avenue in the 1910s and 1920s.

Between 1927 and 1943, the building was home to the Northside Business Club. Over the years, between 1927 and 1972, city directories record an increasing number of social clubs, fraternal orders, and service organizations at this address including: Brotherhood of Locomotive Engineers Local No. 95, Brotherhood of Railway Maintenance Local No. 885, Royal Blue Lodge No. 570, Brotherhood of Local Firemen & Engineers Local No. 715, Geo. R. Garrett Service Star Legion of Camp Washington, Harmony Council Lodge No. 98, Old Timers Auxiliary No. 1029 (VFW), Fifteenth Ward Democratic Club, Western Star Rebekah Lodge No. 788, Queen City Lodge RRCA No. 1009, Friendship Lodge No. 15, Patriotic Women of America, Northside Men's Club, Northside Women's Club, and the Northside Business Club. These societies were not sole tenants during a single year either. For example, 10 different societies and several businesses occupied 4001 Hamilton Avenue in 1960 alone. This activity stopped abruptly in 1973, after which the building stood vacant or was occupied by a single business.

### Sources

Cincinnati City Directories (various dates).

Public Library of Cincinnati & Hamilton County, Photo Archives (Transportation and Floods) and Newsdex.

Sanborn Fire Insurance Maps: 1891, 1922, 1904 (updated to 1930), 1934-1937, 1904 (updated to 1950).

HISTORIC PRESERVATION CERTIFICATION APPLICATION  
PART 1 - EVALUATION OF SIGNIFICANCE

Property name The Corner; The Elk Sample Room; Stolz Drugstore

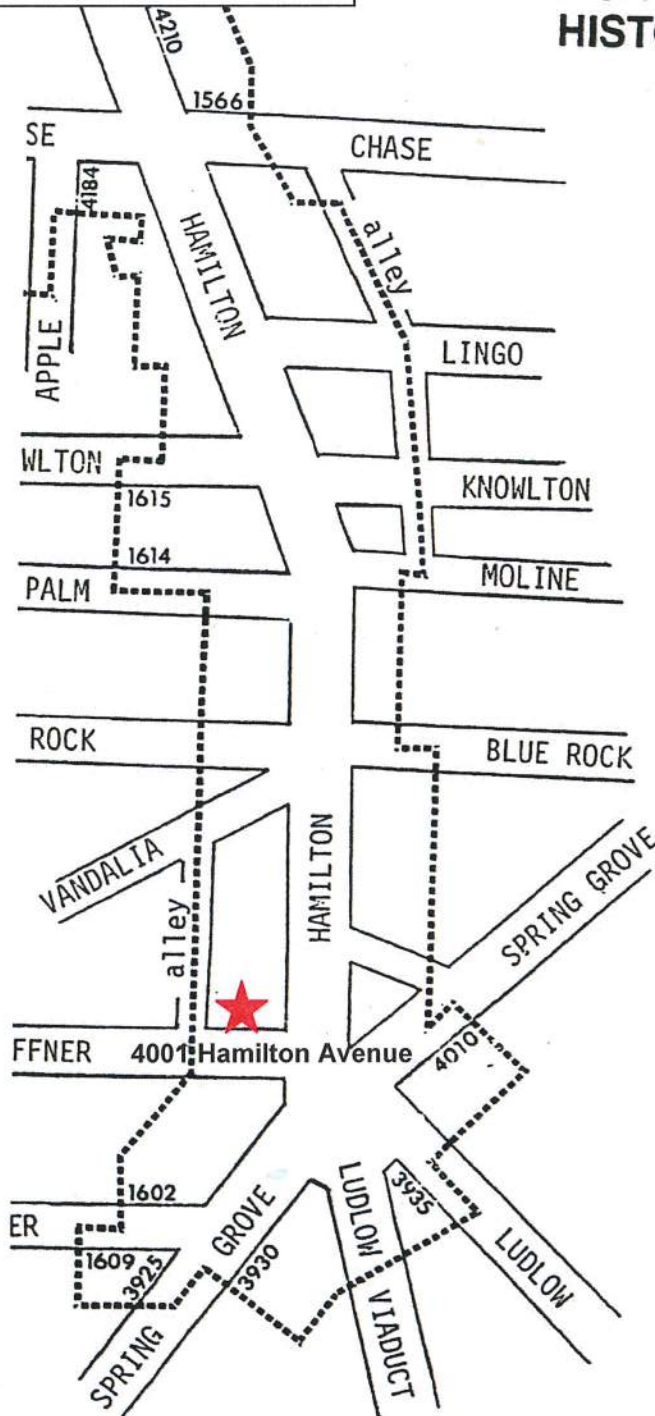
NPS Project Number \_\_\_\_\_

Property address 4001 Hamilton Avenue (Cincinnati Hamilton County OH 45223-2601)

7. Photographs and maps (continued)

**4001 Hamilton Avenue**  
Northside NBD Historic District  
Cincinnati, Hamilton County, Ohio  
Location Map

**NORTHSIDE NBD  
HISTORIC DISTRICT**



MAY 1982



# United States Department of the Interior

NATIONAL PARK SERVICE

MID-ATLANTIC REGION  
143 SOUTH THIRD STREET  
PHILADELPHIA, PA. 19106

11 MAR 1983

IN REPLY REFER TO:

Genevieve Ray, Urban Conservator  
City Planning Commission  
City of Cincinnati  
Room 222, City Hall  
801 Plum Street  
Cincinnati, OH 45202

Dear Ms. Ray:

This is to notify you as duly authorized representative that the Northside Business District Historic District has been certified by the Secretary of the Interior for purposes of §2124 of the Tax Reform Act of 1976, §§701 (f) and 315 of the Revenue Act of 1978, and §§212 and 214 of the Economic Recovery Tax Act of 1981 as meeting substantially all the requirements for listing of districts in the National Register of Historic Places.

Individual property owners of depreciable buildings within this district can qualify for the Federal tax incentives by filling out Parts 1 and 2 of a Historic Preservation Certification Application (sample enclosed) and submitting them to the State Historic Preservation Officer (SHPO). In Ohio the SHPO is Mr. W. Ray Luce, The Ohio Historical Society, Interstate 71 at 17th Avenue, Columbus, Ohio 43211. Additional application forms are available from the SHPO. For optimum results it is important that these applications be submitted as early as possible in the planning of a rehabilitation project.

Review Boards and Commissions should become familiar with the Secretary of the Interior's "Standards for Rehabilitation" (copy enclosed). These standards are used by the Secretary in certifying rehabilitation work for the tax incentives of the Tax Reform Act. Both the SHPO and this office are available to advise individuals and organizations in this matter.

If you have any questions, please call Martha Raymond or Cynthia MacLeod of this office at (215) 597-1578.

Sincerely,

Myra F. Harrison  
Assistant Regional Director  
Office of Cultural Programs

Enclosure

cc: NR/WASO  
OH SHPO

(DISTRICT)





HOBART ST

COATES AL

INGOL AL

HAMILTON AV

APPLE ST

LINGO ST

FURBER ST

KWO WILTON ST

INGOL AL

LANGLAND ST

PALM AV

MOORE CT

E AL

VANDALIA AV

BLUE ROCK ST

**Northside  
NBD  
Historic  
District**

GELLOW ST

LEXINGTON AL

COSBY ST

LOGAN AL

SPRING GROVE AV

COOPER ST

LUTONIA AV VIA

OLD BLUFF AV

# CONSERVATION GUIDELINES: NORTHSIDE NBD HISTORIC DISTRICT

## Introduction

### General Characteristics of Northside

### General Guidelines – Alteration and Rehabilitation

### Specific Guidelines – Alteration and Rehabilitation

### Demolition

### Buildings of a Later Period

### New Construction and Additions

### Comments on the Guidelines

---

## INTRODUCTION

The Cincinnati City Planning Department was asked to study the historic resources of Northside's Business District in August, 1981, by the Northside Community Council, Northside Business Club, and Northside Urban Conservation. From October, 1981, to April, 1982, a committee of community representatives worked with the Historic Conservation Office of the City Planning Department to draft guidelines and to determine district boundaries. Public meetings were held at the Northside Business Club, Community Council, and Coalition of Block Clubs.

The Planning Department wishes to thank the Study Committee for many hours of effort and encouragement to produce these guidelines:

Don Beimesche  
Sharon Belmonte  
Will Book  
John Eick  
Steven Grote  
Michael Weyand

These guidelines are used by the Historic Conservation Board to review exterior changes to buildings in the historic district. The Northside NBD Historic District boundaries and guidelines were adopted by City Council on May 26, 1982.

## GENERAL CHARACTERISTICS OF NORTHSIDE

The Northside NBD contains a mixture of buildings of varying heights, styles, and dates of construction. Most date from the turn of the century, are 1 to 3 stories, and are built of brick. The character of Hamilton and Chase Avenues within the district is established primarily by the fact that the buildings sit on the front property line and the avenues are lined with first floor storefronts.

Storefronts generally have tall windows and low windowsills. Upper floor windows are regularly spaced and contain double-hung windows with one-over-one panes of glass. Building styles found in the district include: Queen Anne, characterized by decorative brickwork, varied window treatment, and sometimes asymmetrical towers; Italianate, characterized by bracketed cornices, and window hoods; and vernacular styles, which do not fit particular stylistic categories but are simply detailed buildings which may contain some elements of different styles.

Buildings differ in age, height, and design, but all are sited on the sidewalk. Upper floor windows are regularly placed and line up with each other. Buildings have well-defined tops (cornices) and bottoms (storefronts). The district has great visual variety.

Some buildings have had first floor alterations or additions which are not in keeping with the character of the original building or the district. Many of these can be "brought back" to be more compatible with their surroundings.

Awnings and signs have traditionally been part of the neighborhood.

## **ALTERATION AND REHABILITATION REVIEW CRITERIA**

### **GENERAL GUIDELINES**

1. Since there is a variety of building types in Northside, each project should be reviewed individually. There are, however, a few guidelines that apply to all rehabilitation work:
2. Avoid removing or altering historic material or distinctive architectural features: if it's original and in fairly good shape, try to keep it.
3. Don't try to make the building look older than it really is.
4. A later addition to an old building may have gained significance on its own. Don't assume it's worthless just because it's not part of the original building.
5. Repair rather than replace wherever possible. If replacing, replicate the original – don't invent something new that "might have been."
6. Be sensitive to distinct stylistic features and examples of skilled craftsmanship.
7. Surface cleaning should be done by the gentlest means possible. Don't sandblast or use other abrasive methods. Cleaning may not be necessary at all.
8. New additions should look new. They should be compatible with the existing structure but should not try to copy the old building.
9. Before starting on a project, stand back and look at your building and how it relates to its neighbors. Uncover original design features that may be buried under layers of improvements. It takes detective work but there may be evidence of where original elements were located. Research may turn up pictures of what your building originally looked like.

### **ALTERATION AND REHABILITATION REVIEW CRITERIA SPECIFIC GUIDELINES**

#### **1. MATERIALS: REPAIR OR MATCH THE ORIGINAL AS CLOSELY AS POSSIBLE**

Original materials should be repaired, restored, and reused whenever possible. Original materials should not be removed or covered. Where necessary, missing or deteriorated material should be replaced with appropriate recycled or new materials which match the original as closely as possible with regard to:

type of material	color	placement
size of unit	shape	detailing
composition	texture	
style	type of joint	

#### **2. STOREFRONTS: THEY SET THE IMAGE OF THE BUILD**

The basic elements which give the storefront its character shall be retained and repaired. These include:

- |                             |                      |
|-----------------------------|----------------------|
| (a) Original window height  | (e) Original piers   |
| (b) Original sill height    | (f) Original lintels |
| (c) Doorways                | (g) Transoms         |
| (d) Proportions of openings | (h) Decorative work  |

Piers or columns which divide the storefront into bays, and lintels or cornices which separate the storefront from the upper floors should not be covered or removed. Windows should not be filled-in. Sill height should be maintained. Original transoms, window configuration, doors, and ornamentation should be retained, repaired, or replicated. Where no original materials or detailing remains, new work should be compatible with the original character of the building.

### 3. WINDOWS: THE "EYES" OF THE BUILDING SHOULD REMAIN OPEN

Perhaps the most distinctive features of any building are its openings. The original pattern of window openings and their shape and configuration should not be altered. Window openings should not be reduced, enlarged, or filled-in on street facades. Replacement windows should match the original in size, shape, and design.

Original window openings and storefronts should be retained.

### 4. SIGNS: AVOID CLUTTER. THE SIMPLER AND CLEANER THE BETTER

Signs should be compatible with the district and in character with the building they are on. The removal of inappropriate and extraneous signs is encouraged. New or altered signs should meet the following guidelines:

- a. Signs should be compatible with the architecture of the building they are attached to.
- b. The design of signs should capitalize on the special character of the area and reflect the nature of the business they are identifying.
- c. Large signs should be kept flat against buildings and not detract from the architecture of the building or cover architectural details.
- d. Generally, signs should be attached to storefront lintels, or at the height of the lintel.
- e. Small projecting signs may be used for identification. These may take the form of projecting symbol signs.
- f. Signs should be adequately spaced from other signs for good visibility and should be approximately the same size and shape, placed in the same general location, and at the same height as other signs of similar businesses.
- g. Obsolete signs and unused sign supports should be removed. New roof top signs and signs which extend above the roof line of a building or above the window sill line of the 2nd floor of buildings should not be permitted.

### 5. ORNAMENTATION: KEEP ORIGINAL ORNAMENTATION, IT MAKES YOUR BUILDING SPECIAL

The existing architectural features that give buildings their character such as decorative piers, columns, brackets, decorative brickwork and terra cotta should be preserved. The addition of inappropriate and out of character features should be avoided.

### 6. MASONRY CLEANING: NEVER SANDBLAST

Cleaning of masonry is generally discouraged. If cleaning is necessary, it should be done by the least damaging method available, ranging from washing with a mild detergent and soft bristle brushes to chemical cleaning. Sandblasting is not an acceptable method for cleaning: it destroys brick and lessens the life of buildings.

Sandblasting brick severely damages the surface.

### 7. SILICONE: AVOID WATER REPELLENT COATINGS

Water repellent coatings (silicone) should never be used unless there is actual water penetration through the masonry units themselves, and the problem is not caused by faulty or missing mortar, poorly functioning gutters and downspouts, or rising ground water.

If water is penetrating through the masonry to interior surfaces, then only the affected area should be treated, and only after the masonry has been allowed to dry.

Painting is more permanent and provides a good measure of waterproofing to masonry walls. This procedure is highly recommended for the renewal of buildings in the district.

8. PAINTING: IF IT WAS PAINTED, PAINT IT AGAIN

Painted brick buildings should be repainted rather than stripped or cleaned to reveal the natural brick color.

The color of trim and decorative detailing on a building should contrast with the wall paint color. Light colored buildings should have darker trim and dark colored buildings should have lighter trim. At no time should the detailing and trim be painted the same color as the walls.

9. REPOINTING: USE THE RIGHT CEMENT AND MATCH MORTAR JOINTS

Older, softer bricks require a softer mortar. It is important to simulate the old lime and sand mortars, both in appearance and in composition. This will insure that during periods of freezing and thawing, the expansion and contraction characteristics of brick and mortar will be nearly the same. If a hard, modern mortar with a high portland cement content is used, the softer bricks may suffer irreparable damage during freeze/thaw periods.

A mixture consisting of one part of white masonry cement, two parts of lime, and seven to nine parts of the smallest available mesh sand (to match the original sand) is recommended.

In general, the mortar joint should be concave, as this gives the greatest bond of mortar to brick. In restoration work, however, the type of original joint should be matched with new work.

10. APPURTENANCES / AWNINGS: DO NOT COVER IMPORTANT FEATURES

All appurtenances, such as shutters, light fixtures, and signs, should be compatible with the building upon which they are to be installed. The installation of canvas canopies and awnings is permissible but should not obscure or require the removal of significant architectural features. Canopies and awnings made of plastic, wood, or metal shall not be permitted.

11. WALL RESURFACING / WOOD FRAME STRUCTURES: USE WOOD CLAPBOARD

Wood clapboard siding should be used as the repair or replacement material where appropriate, and its use is encouraged as a resurfacing material on wood frame buildings. The use of aluminum or vinyl siding for resurfacing should be avoided. Artificial stone, asbestos, asphalt shingles, and other similar resurfacing materials shall not be used. Architectural features such as cornices, brackets, window sills, and lintels should not be removed or obscured when resurfacing material is applied. Siding should be applied horizontally and all wood siding should be painted.

12. UTILITY/SYSTEM INSTALLATION: PLACE THEM INCONSPICUOUSLY

The installation of utility and mechanical systems such as water or gas meters, and central air conditioning cooling units, should be inconspicuously placed and screening should be provided; the installation of such systems should be avoided on the street facade. Wall or window air conditioning units on the street facade should be avoided.

13. WALLS AND FENCES: RETAIN THE ORIGINAL

Existing retaining walls, gates, and fences should be repaired and retained wherever possible. The installation of chain link fences shall be discouraged on street frontage.

14. PARKING: LOTS SHOULD BE SCREENED AND LANDSCAPED

Parking should be designed so as not to detract from the visual quality of the district.

- a. Screening should be sufficient to minimize the view of parked vehicles from other properties, from the street, and other public areas. Screening may employ masonry walls, landscaping, and fencing. The design of this screening should be compatible with the district.

- b. Within the interior of parking lots, there should be adequate landscaping, including planting islands containing trees to provide shade and to break up large areas of paving.

**DEMOLITION: PERMITTED ONLY UNDER CERTAIN CIRCUMSTANCES**

Demolition of existing buildings shall not be permitted unless one of the following conditions exist:

- a. Demolition has been ordered by the Director of Buildings & Inspections for reasons of public health and safety;
- b. The owner can demonstrate to the satisfaction of the Historic Conservation Board that the structure cannot be reused nor can a reasonable economic return be gained from the use of all or part of the building proposed for demolition;
- c. The demolition request is for an inappropriate addition, or a building of a later period, and the demolition of said structure will not adversely affect the streetscape as determined by the Historic Conservation Board.

**BUILDINGS OF A LATER PERIOD**

Buildings of a later period were generally constructed after most of the rest of the district was built and are of a different architectural character than the district due to their age and the different character of their scale, material, and detailing. The following "later period" buildings are subject to this review criteria:

- 4110 Hamilton
- 4143 Hamilton
- 4147 Hamilton at Spring Grove
- White Castle
- Standard Oil Station at Spring Grove

Additions, alterations and rehabilitation to the above buildings shall either be compatible with the style and character each possesses, or shall cause the above building to become more compatible with the district.

**NEW CONSTRUCTION/ADDITIONS: COMPATIBLE BUT NOT COPIES**

New construction should not try to imitate the old, but should be compatible with respect to the following:

**MATERIALS** – The type of materials and their color, texture, scale and detailing should be compatible with those of the District and/or the original building. Predominate materials are brick with stone, wood, or cast iron trim.

**SCALE** – The scale of new work and its constituent parts should be compatible with the District and/or the original building and the scale of its parts.

**FORM** – The shape, massing, and proportions of new work should be compatible with the District and the original building. Openings are primarily vertical.

**DETAILING** – The detailing including, but not limited to, the following features and their placement on additions and new construction should be compatible with the District:

- |               |          |          |         |
|---------------|----------|----------|---------|
| walls         | roofs    | windows  | doors   |
| eaves         | cornices | chimneys | porches |
| appurtenances |          |          |         |

**HEIGHT** – The height of an addition should not exceed the height of the original building. Buildings in the Northside Historic District vary from 1 to 3 stories high. The height of new buildings should be

comparable to the height of existing buildings and should not detract from the character and appearance of the District.

**SETBACK** – The setback of new buildings should be comparable to the setbacks of existing buildings in the District. Buildings are commonly sited on the sidewalk and 3-10 feet from adjacent buildings or attached to them.

**HISTORIC INTEGRITY** – Compatibility of new work to original work is required, but imitation of old work in new construction should be avoided. If original openings are filled in on the side or rear elevations, the outline of the original opening should remain apparent by setting new infill material back from the surface and leaving original sills and lintels in place.

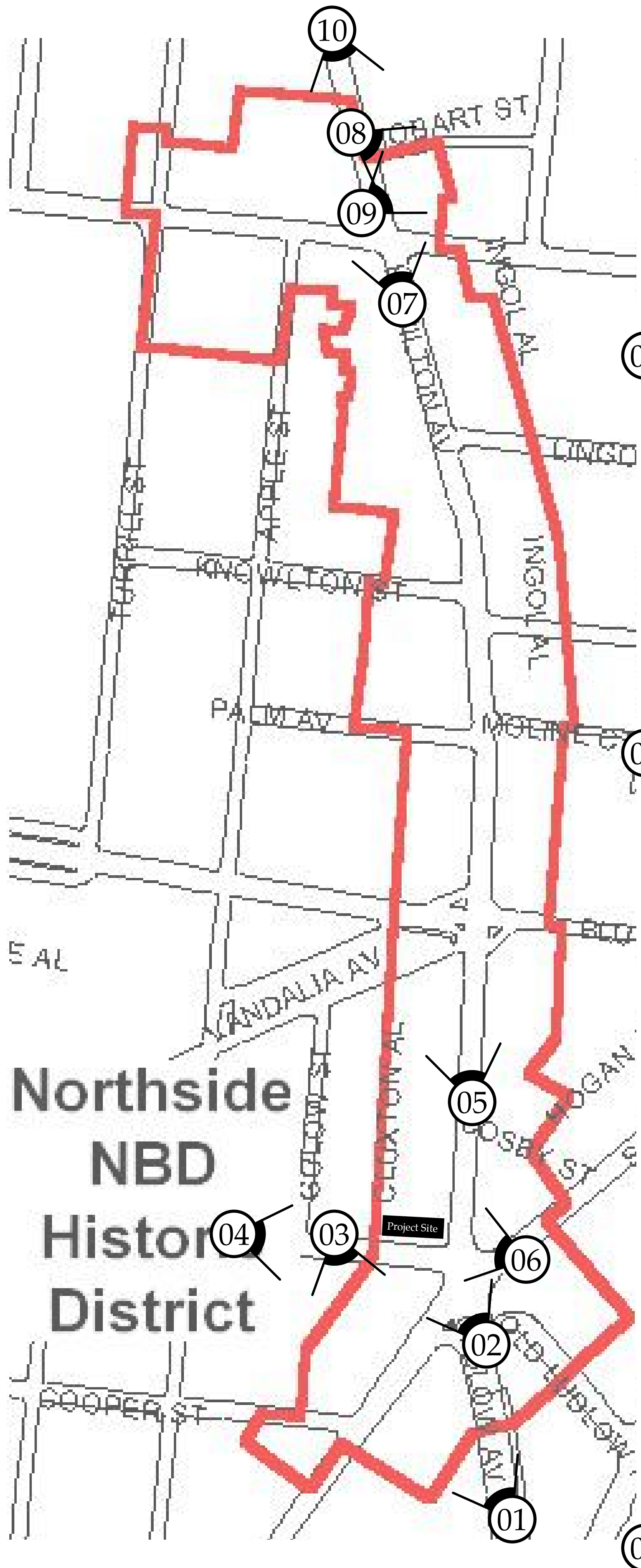
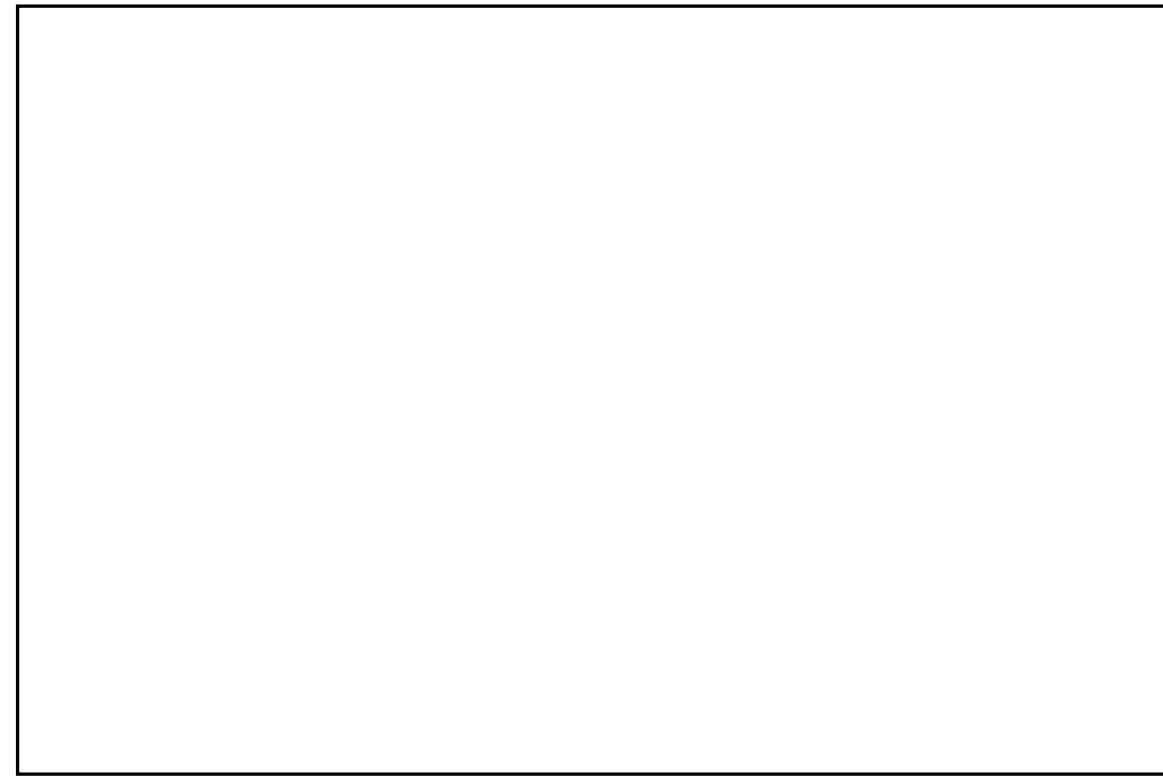
**THESE GUIDELINES ARE NOT CAST IN CONCRETE.**

- They do not force you to do work on your property.
- They do not force you to "take the property back to the way it was."
- They can be waived or adjusted if the owner shows that sticking to the guidelines would cost more than he/she could afford.
- Ordinary repair and maintenance does not require review by the Historic Conservation Board.

Applicants are encouraged to consult with Historic Conservation Board staff before they finalize their plans and formally apply for a building permit.



10



03



04



08



09



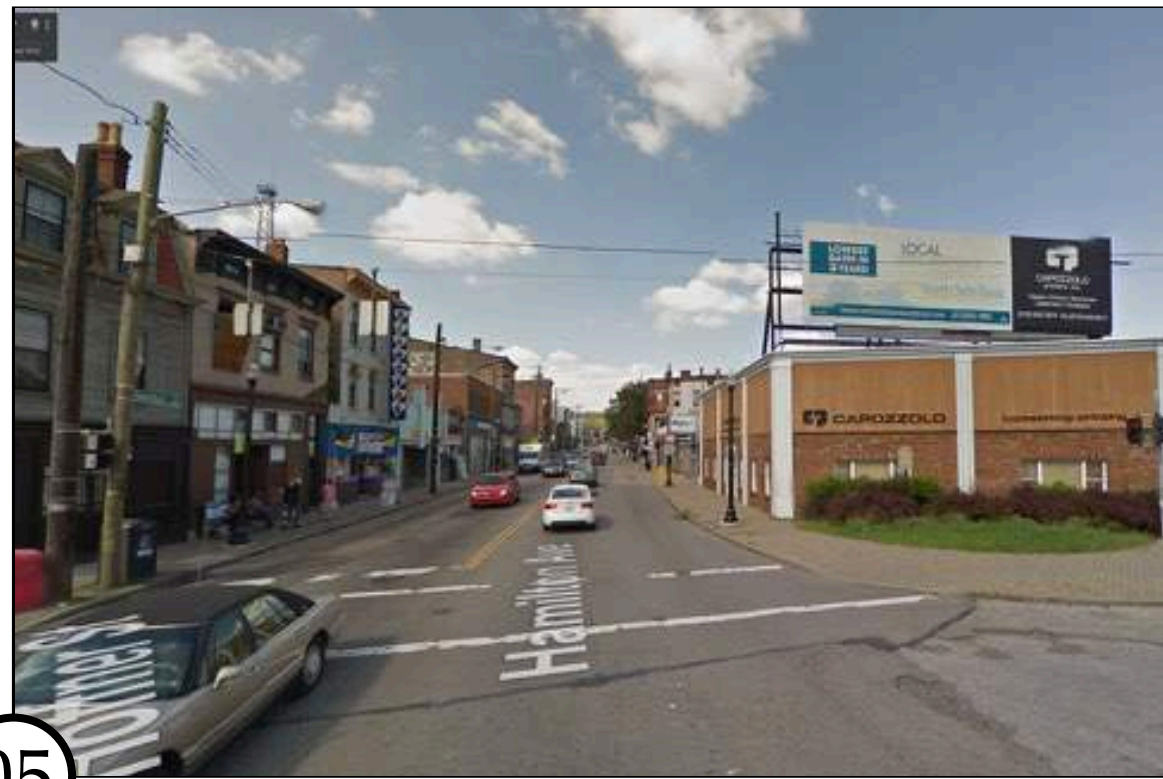
02



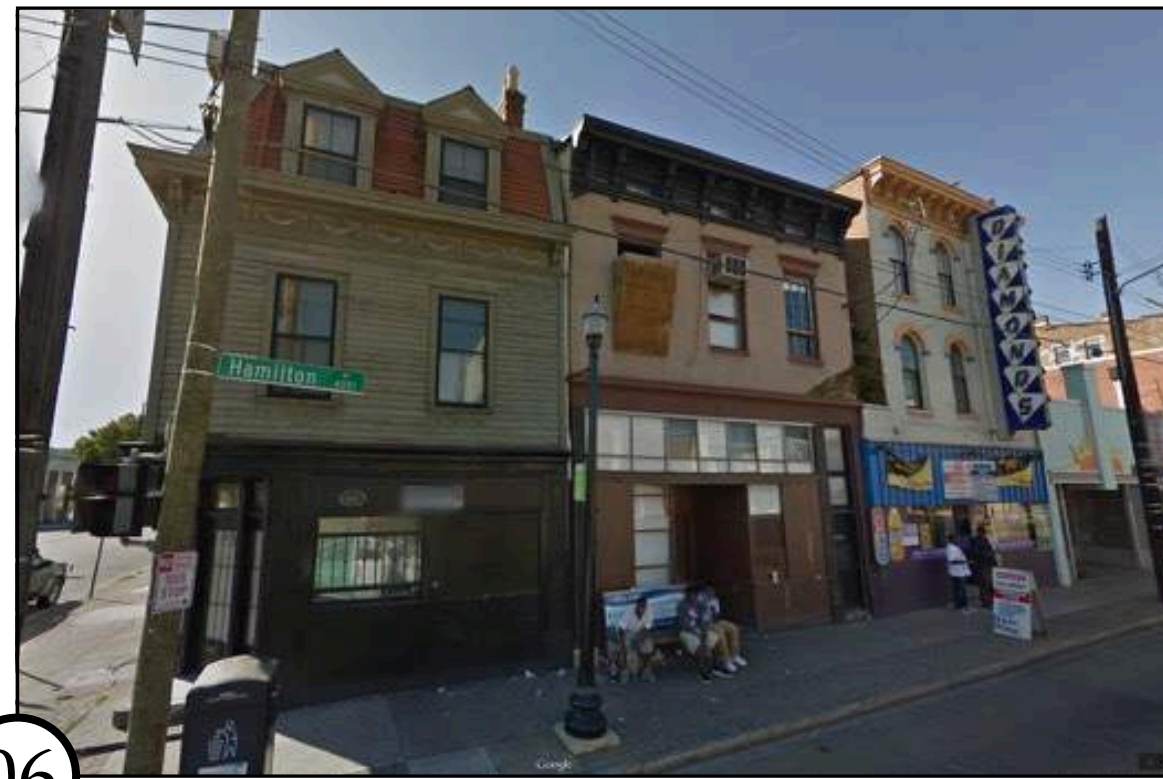
07



07



05



06



Northside gateway from Ludlow Viaduct.

# Neighborhood Context C1



Existing Storefront (to be replaced)



East Facade (Hamilton Ave).



Existing entry (to be replaced).



Southwest Corner (Hoffner St).



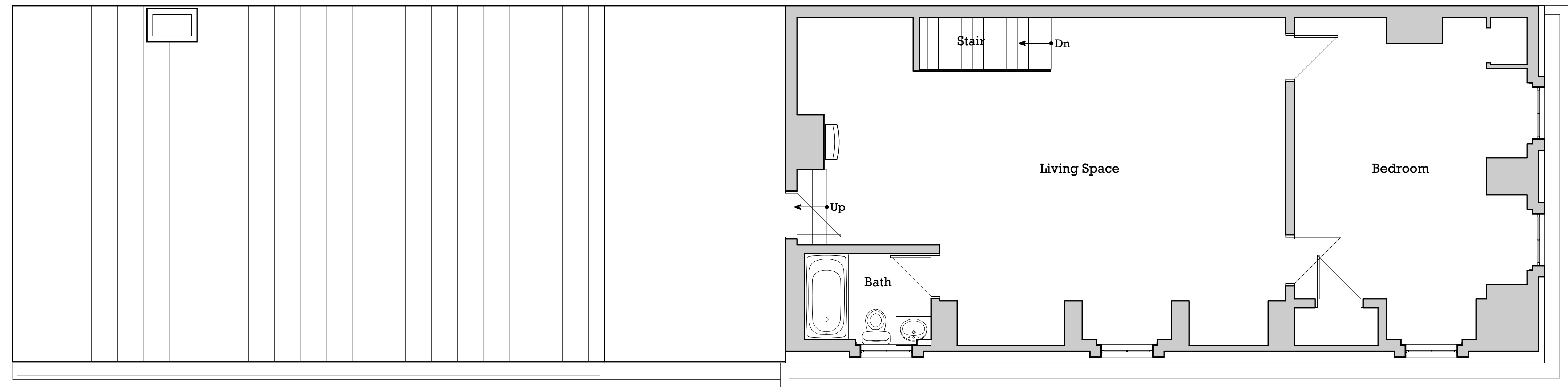
Southeast Corner at Hamilton Ave.



West Facade (Cluxton Alley).



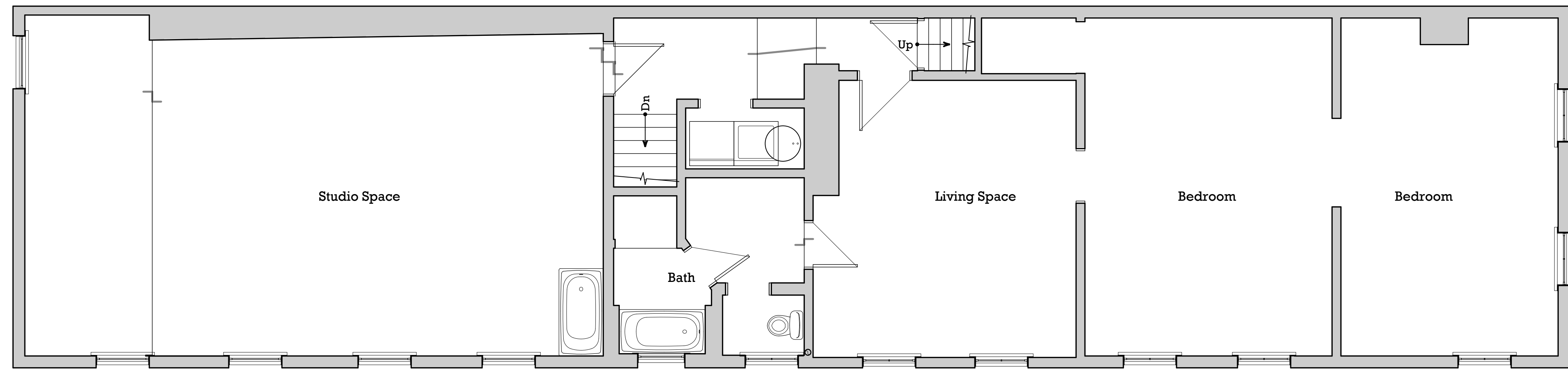
South Facade (Hoffner St).



Third Floor Plan  
1/4"=1'-0"

Roof

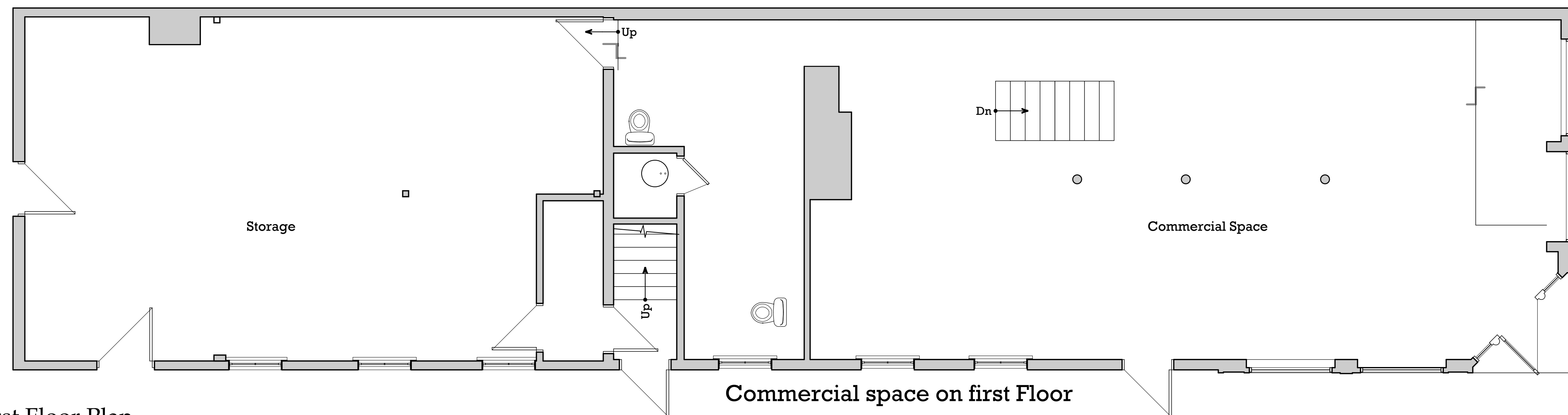
Unit 3A



Second Floor Plan  
1/4"=1'-0"

Unit 2B

Unit 2A



First Floor Plan  
1/4"=1'-0"

Commercial space on first Floor

Commercial Space

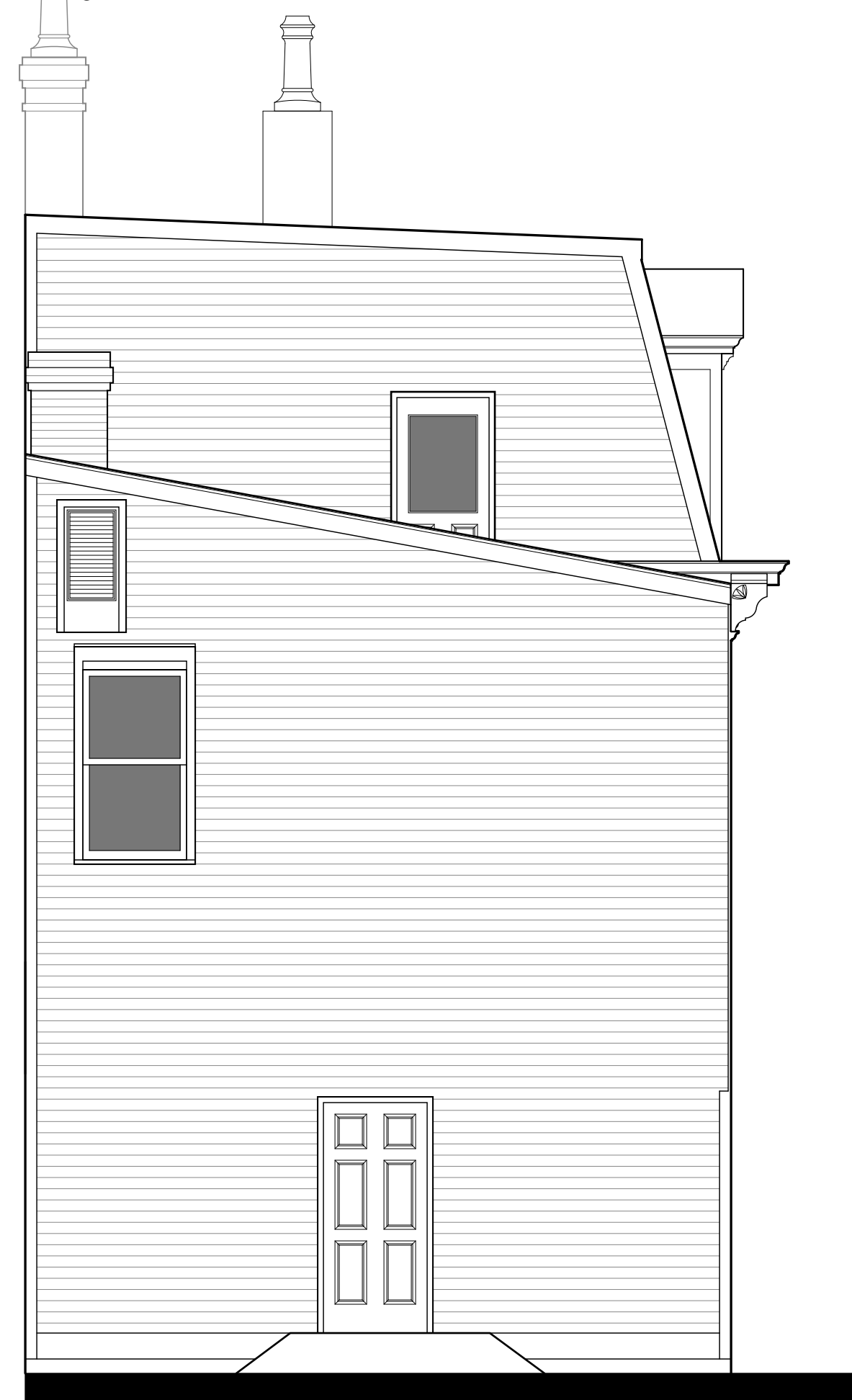
Storage



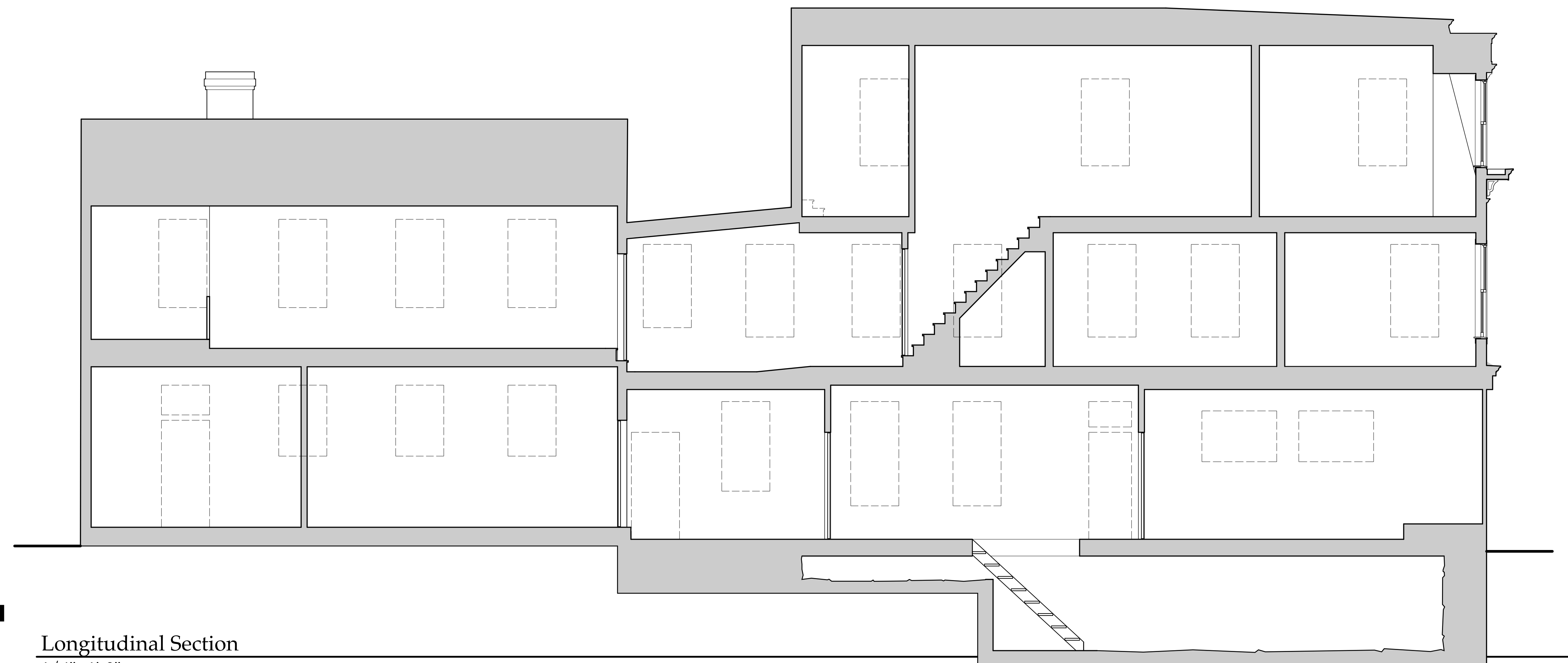
South Elevation  
1/4"=1'-0"



East Elevation  
1/4"=1'-0"

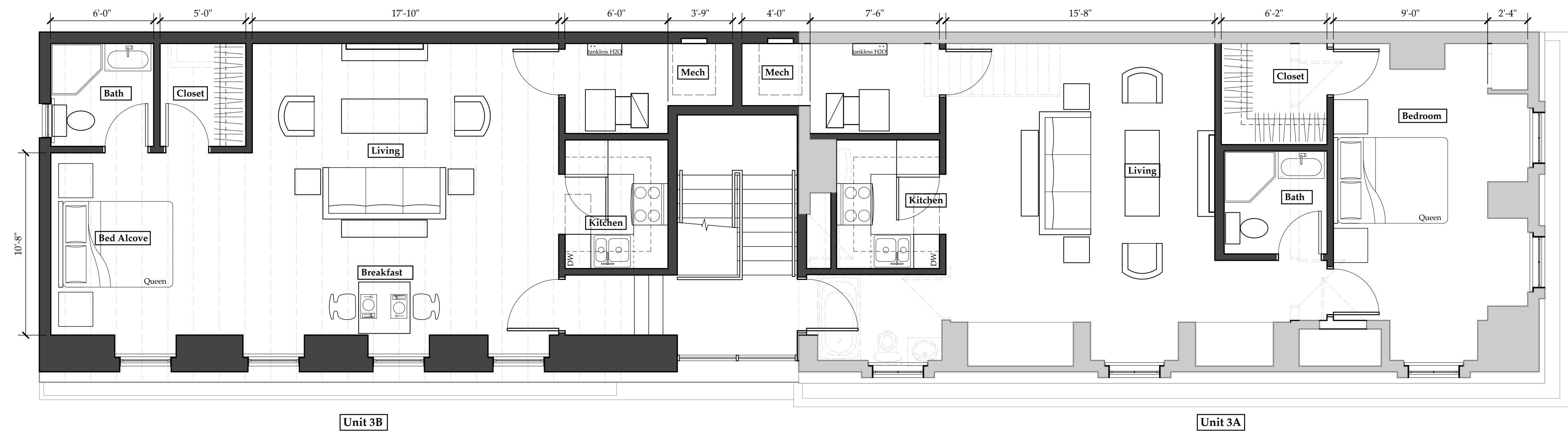


West Elevation  
1/4"=1'-0"



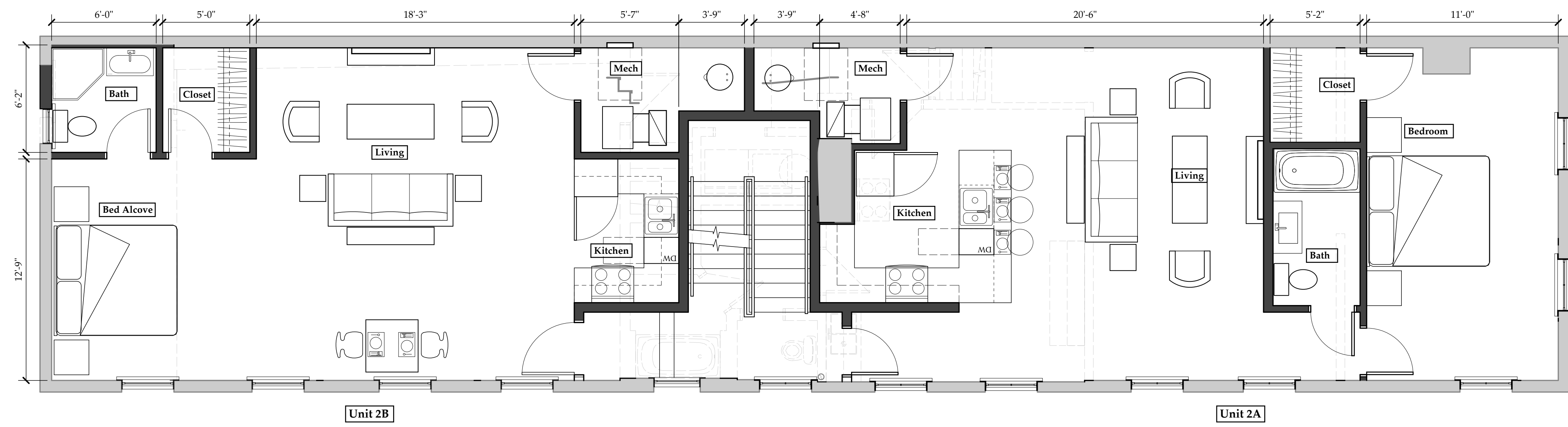
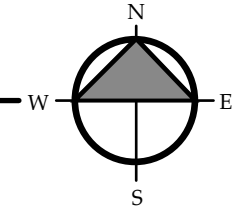
Longitudinal Section  
1/4"=1'-0"

Unit Summary		
Unit 1A	White box; commercial / retail	1,450 s.f.
Unit 2A	1 Bedroom, Tub	800 s.f.
Unit 2B	Studio, shower	675 s.f.
Unit 3A	1 Bedroom, shower	735 s.f.
Unit 3B	Studio, shower	600 s.f.



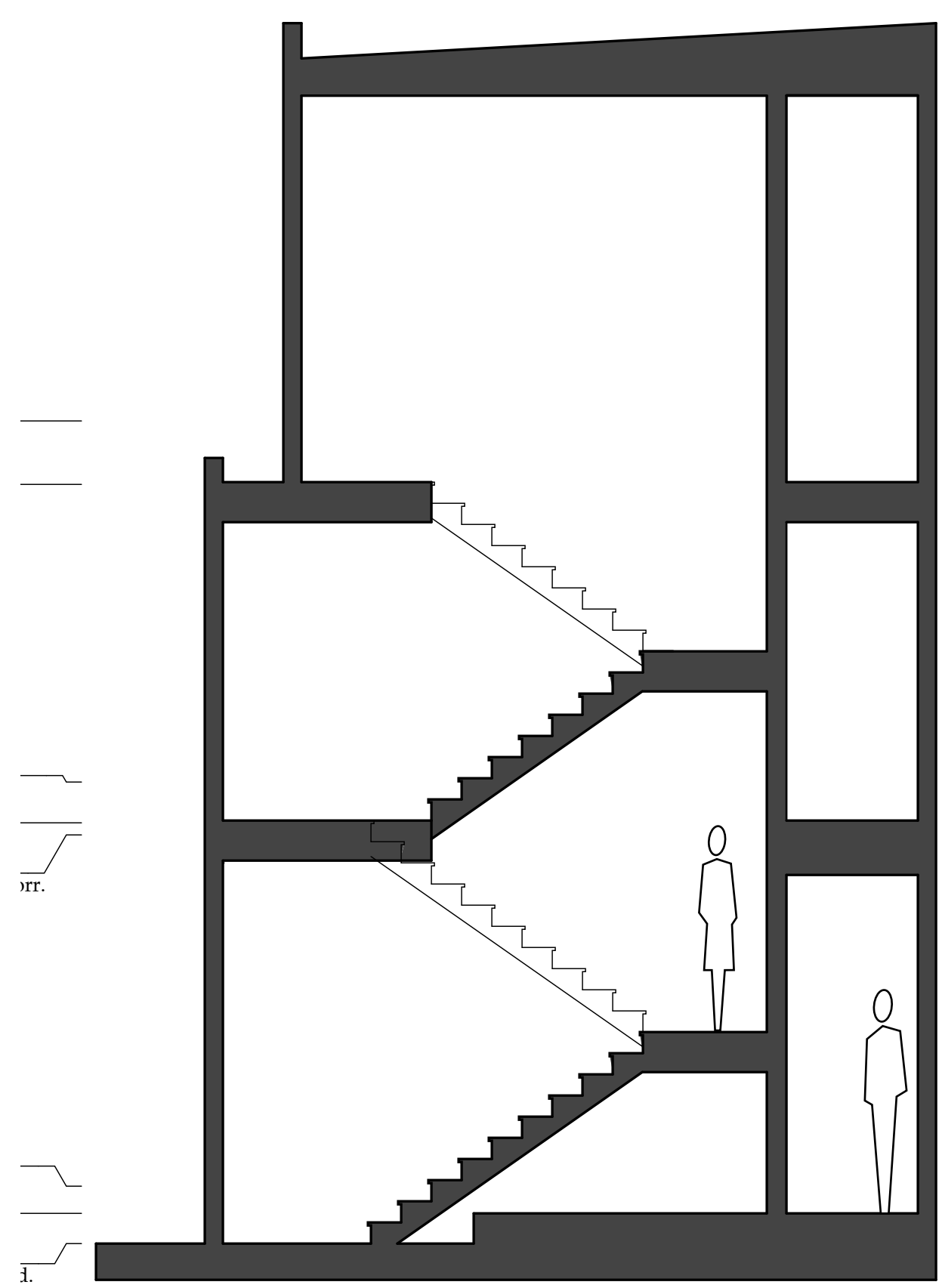
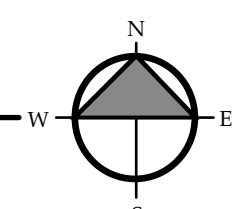
Third Floor Plan

1/4"=1'-0"



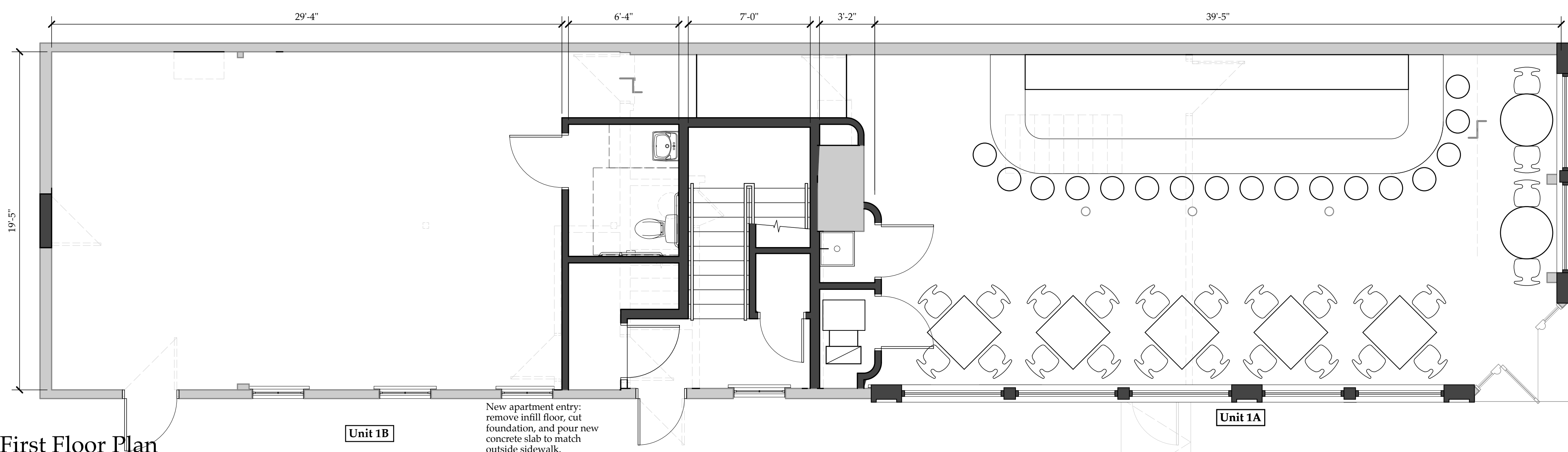
Second Floor Plan

1/4"=1'-0"



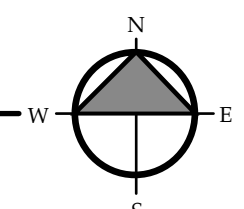
Transverse Section

1/4"=1'-0"



First Floor Plan

1/4"=1'-0"





- ↕ 121'-10 1/4" Unit 3B
- ↕ 120'-1 1/4" Unit 3A
- ↕ 111'-10 3/4" Unit 2B
- ↕ 110'-9 1/4" Unit 2A
- ↕ 110'-5 1/4" Landing/Corr.
- ↕ 100'-9" Unit 1B
- ↕ 100' Unit 1A
- ↕ Grade @ mid.

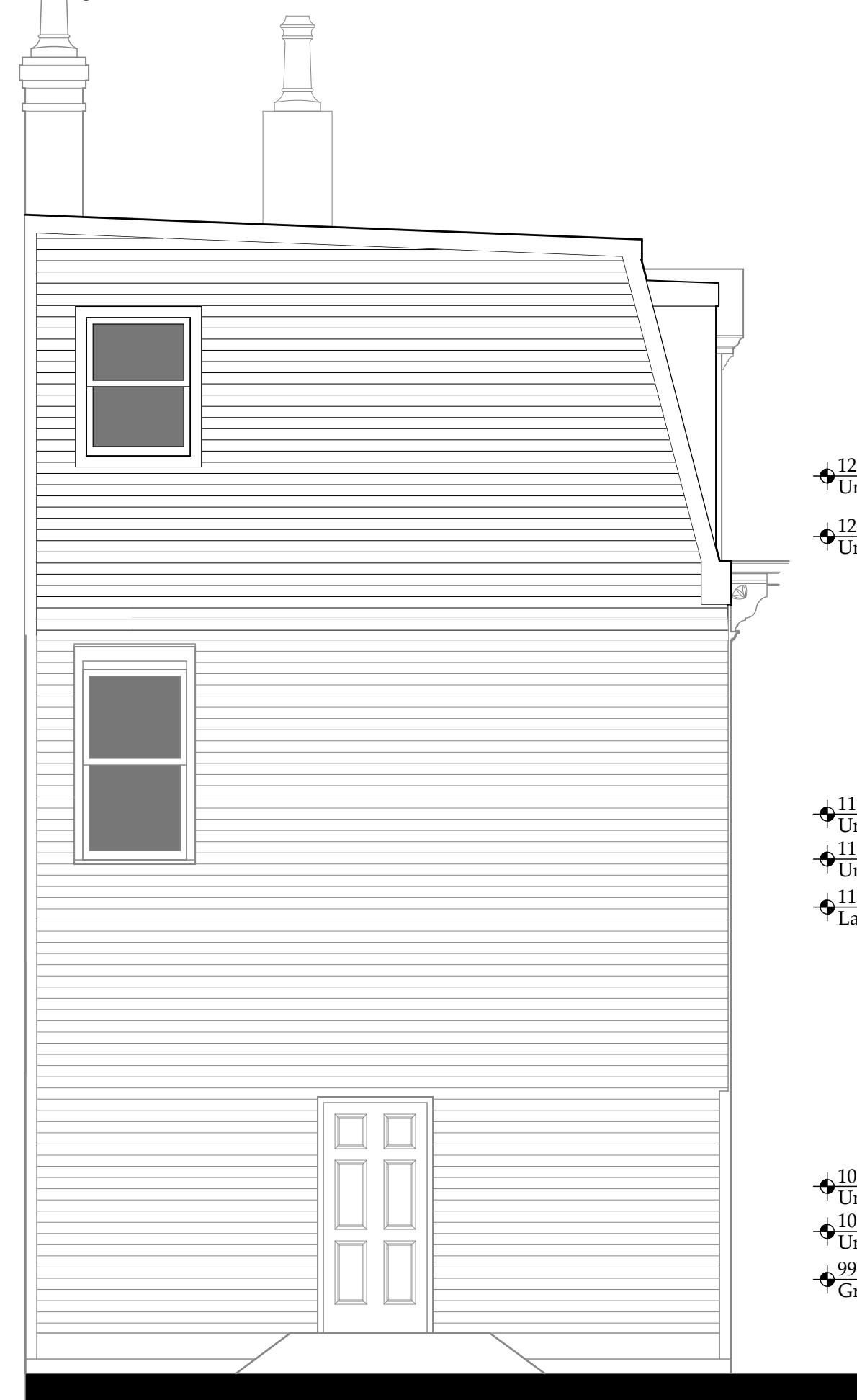
South Elevation

1/4"=1'-0"



East Elevation

1/4"=1'-0"



- ↕ 121'-10 1/4" Unit 3B
- ↕ 120'-1 1/4" Unit 3A
- ↕ 111'-10 3/4" Unit 2B
- ↕ 110'-9 1/4" Unit 2A
- ↕ 110'-5 1/4" Landing/Corr.
- ↕ 100'-9" Unit 1B
- ↕ 100' Unit 1A
- ↕ 99'-2" Grade @ mid.

West Elevation

1/4"=1'-0"



- ↕ 93'-0 3/4" Basement

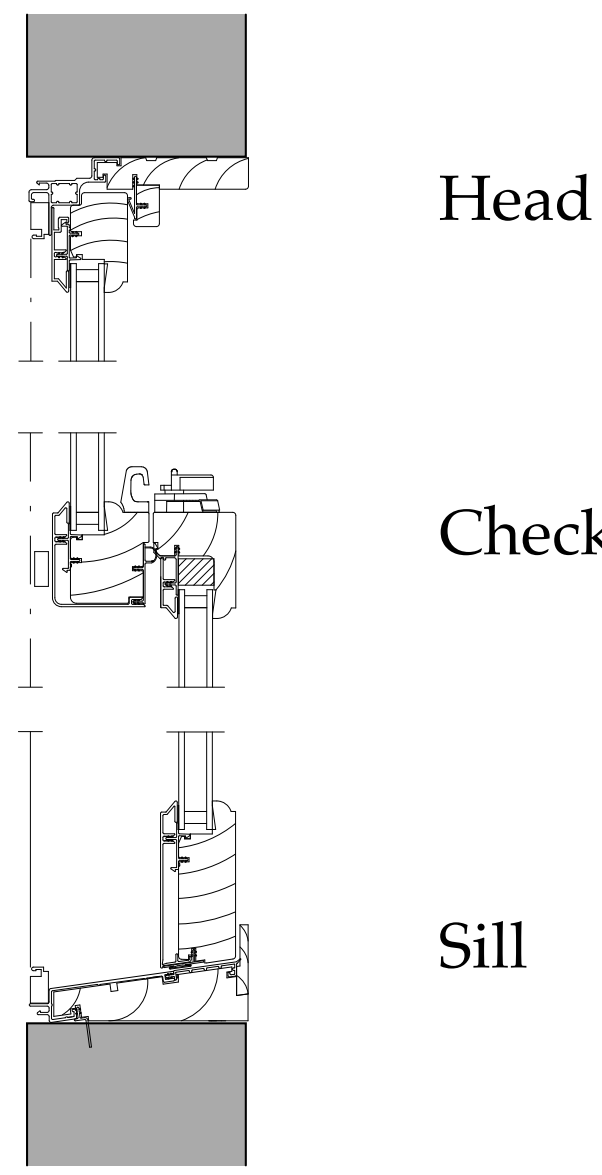
Longitudinal Section

1/4"=1'-0"





Proposed third floor addition.



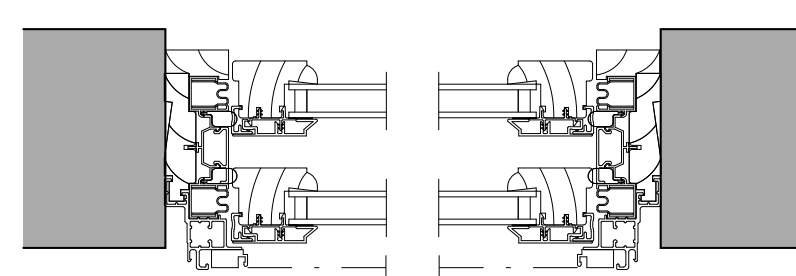
Head

Checkrail

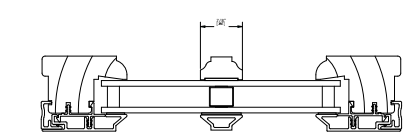
Sill



Wood exterior shown. Aluminum clad exterior will be installed.



Jambs

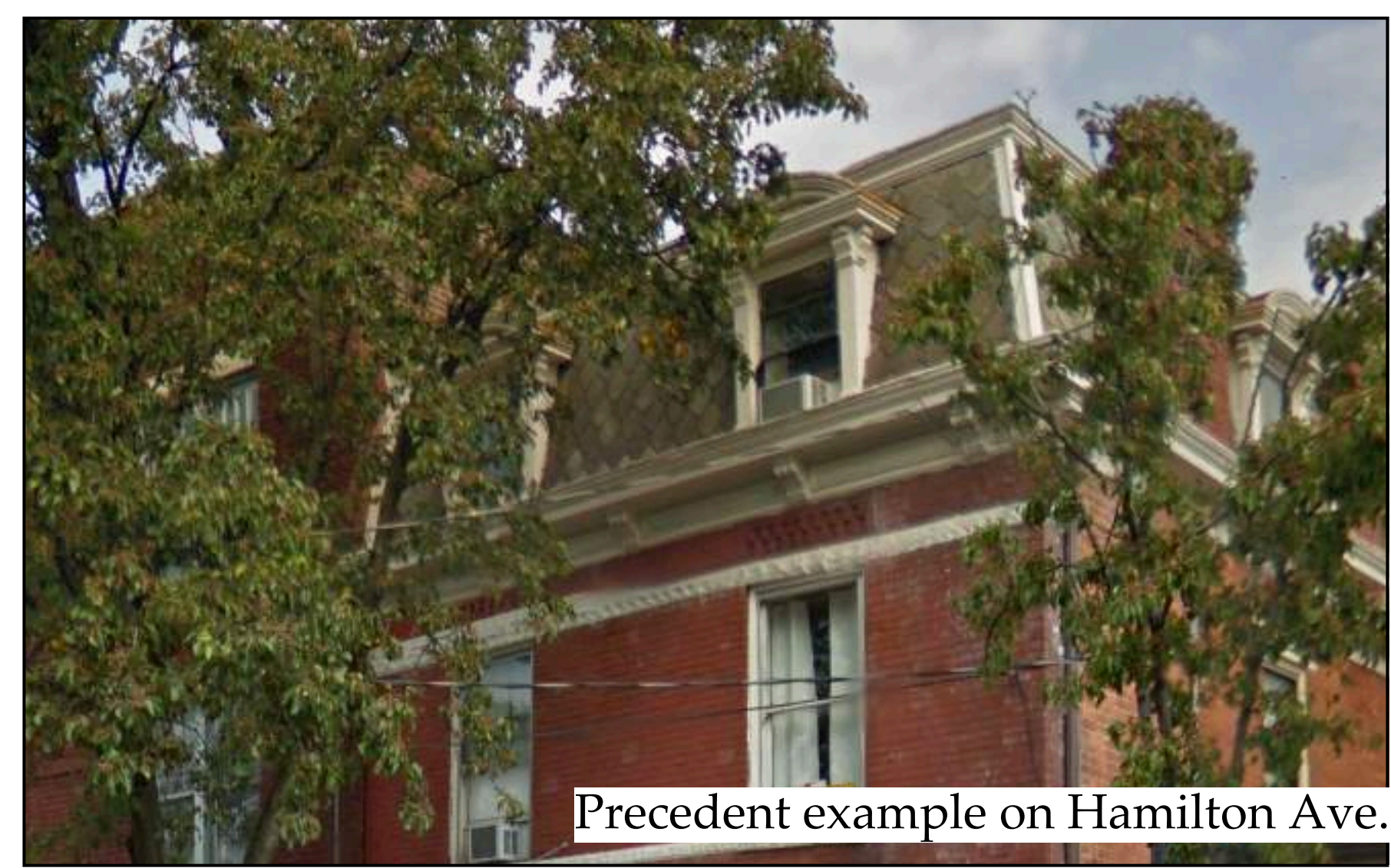


Simulated Divided Lites

Window Details: Marvin Integrity Insert Double Hung with SDL  
3"-1'-0"



Precedent example on Hamilton Ave.



Precedent example on Hamilton Ave.



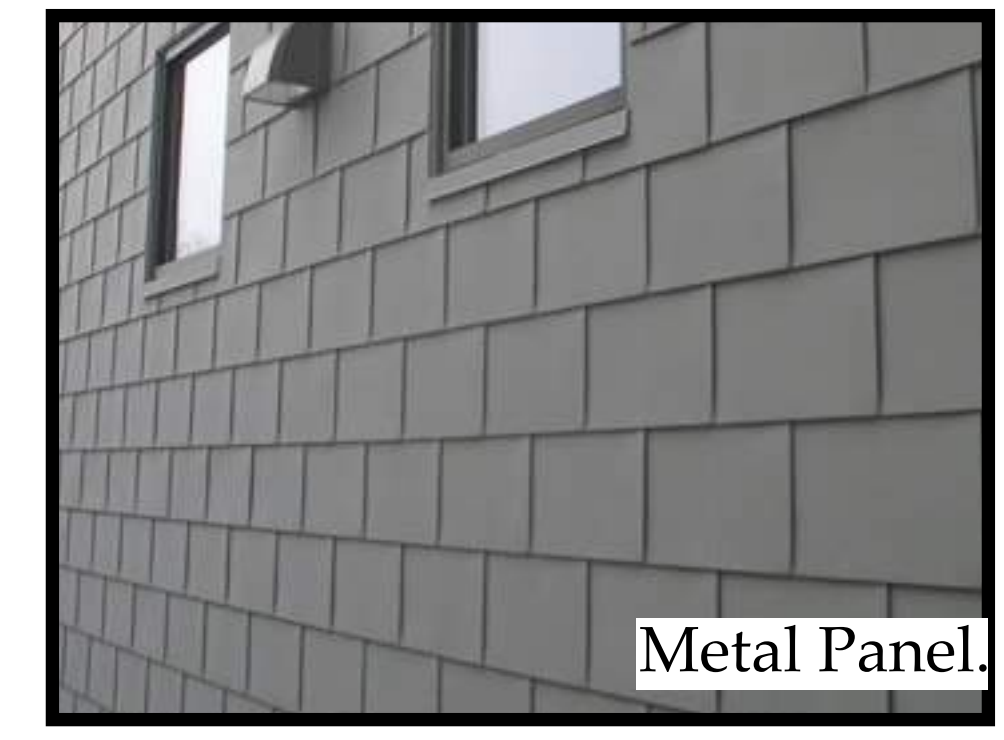
Contemporary Mansard.



Contemporary Mansard.



Contemporary Mansard.



Metal Panel.



Contemporary Mansard.



Contemporary Mansard.



South Elevation  
1/4"=1'-0"



East Elevation  
1/4"=1'-0"

Elevations