

HISTORIC CONSERVATION BOARD AGENDA

5th Floor Conference Room
805 Central Ave, II Centennial

Monday, May 22, 2017 at 3:00 pm

CALL TO ORDER

DISCUSSION ITEMS:

Item 1. 1703 RACE ST The applicant requests a Certificate of Appropriateness to demolish an existing structure in the Over-the-Rhine Historic District.

Applicant: NEW REPUBLIC ARCHIECTURE

Owner: OTR HOLDINGS LLC/3CDC

Staff Report: BETH JOHNSON

Item 2. 300 W 4TH ST The applicant requests a Certificate of Appropriateness to redevelop two existing buildings for mixed-use, including construction of four decks, new entrance gate, new windows, exterior painting, roof addition and parking area. Additionally, the applicant request Zoning Relief from setback regulations.

Applicant: ASHLEY COMMERCIAL GROUP, LLC

Owner: MEGSU PROPERTIES LTD

Staff Report: DOUG OWEN

Item 3. 1745 SYCAMORE ST The applicant returns to the Board for a Certificate of Appropriateness to construct 6 new townhomes that require Zoning Relief to exceed height and setback development standards in the Over-The Rhine Historic District.

Applicant: CHRIS LACEY

Owner: TITAN CAPITAL LLC

Staff Report: BETH JOHNSON

OTHER BUSINESS

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ITEM 1

May 22, 2017

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

APPLICATION #: COA2017030
APPLICANT: New Republic Architecture
OWNER: 3CDC
ADDRESS: **1703 Race Street**
PARCELS: 094-0008-0165
ZONING: CC-P-Historic District Overlay
OVERLAYS: Over-the-Rhine
COMMUNITY: Over-the-Rhine
REPORT DATE: May 12, 2017
PRE HEARING: May 3, 2017
STAFF REVIEW: Beth Johnson, Urban Conservator

Nature of Request:

The applicant is requesting a Certificate of Appropriateness (COA) to demolish a one story rear non-contributing addition.

Existing Conditions:

The project location is 1703 Race Street. The main building is a three story masonry building and is a contributing building to the Over-the-Rhine Historic District. The building is mid-block and has buildings on either side of it. The addition is a brick and frame addition that is deteriorating and is not visible from the street.

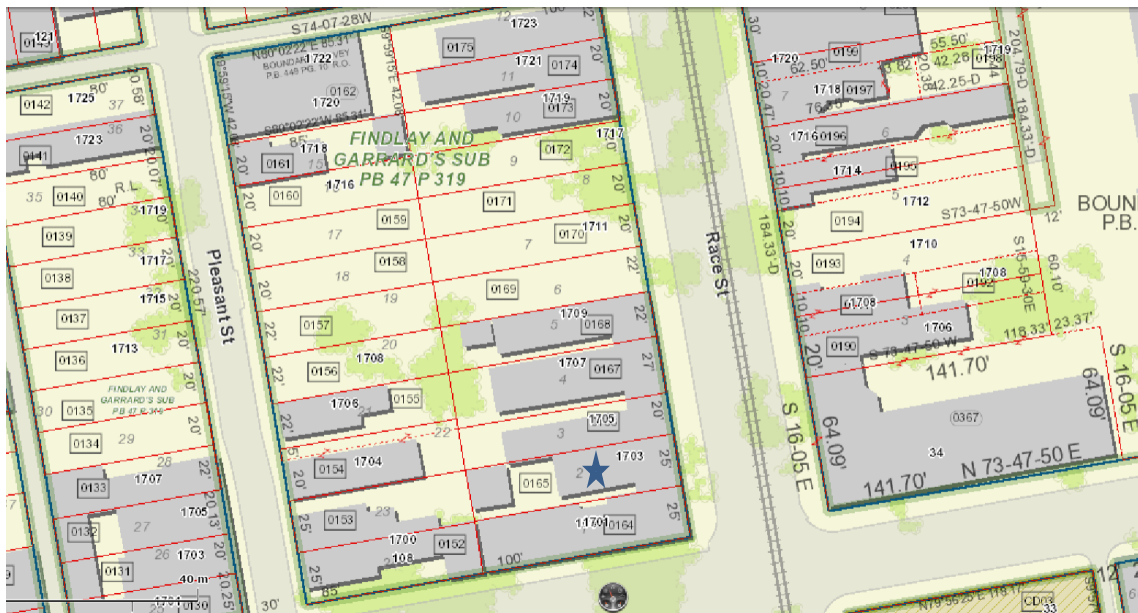


Figure 1: Map of 1703 Race Street. Map provided by Cagis Maps.

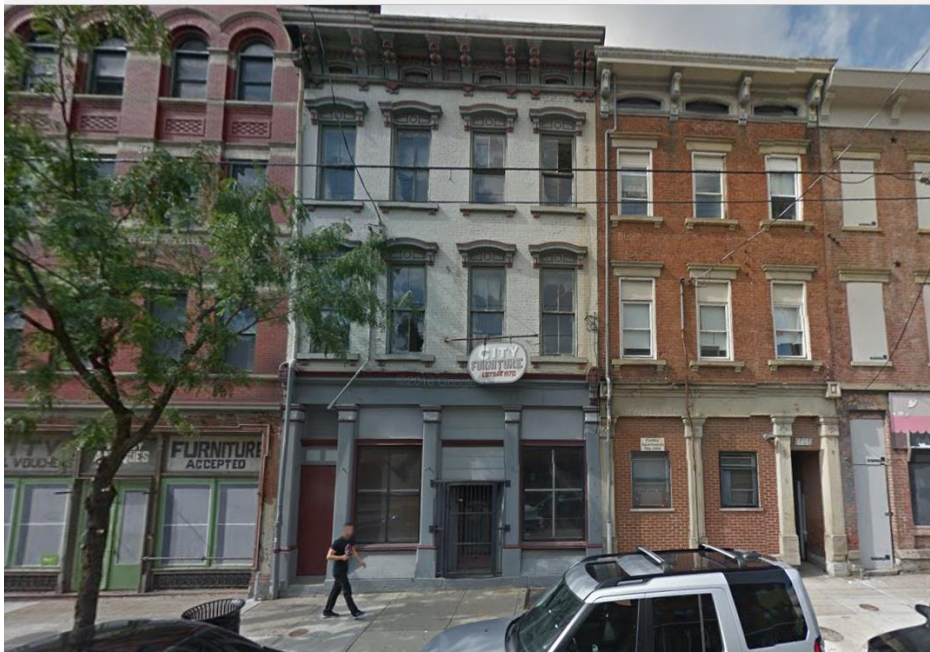


Figure 2: 1703 Race Street. Image from Google Images

Proposed Conditions:

The proposal is to demolish the one story rear addition at the rear.

Previous Reviews: NA

Applicable Zoning Code Sections:

Zoning District: Section 1409 Commercial Districts
Variance Request: N/A
HCB authority: Section 1435-05-4
Overlays: Over the Rhine Historic District
Historic Landmark/Reg: Over-the-Rhine Historic District
COA Standard: Section 1435-09-2 Certificate of Appropriateness; Standard of Review

Zoning Review

At this time there are no Zoning requirements as the building is being stabilized and rehabilitated.

Staff comments on the Specific Guidelines for Demolition of Buildings:

The proposed demolition is for a rear addition. This addition is not contributing to the property. The demolition is on the rear and will not be visible from the street. The building is in poor condition and does not contribute to the historic or architectural value of the property.

Demolition shall not be permitted unless one of the following conditions exists:

- (1) Demolition has been ordered by the Director of Buildings & Inspections for reasons of public health and safety;
The demolition has not been ordered by the Director of Buildings and Inspections. Urban Conservation staff has visited the site and confirmed the condition that the addition was built without a property foundation and has a severe uneven floor. In order to bring the building up to VBML standards this condition will have to be abated.
- (2) The owner can demonstrate to the satisfaction of the Historic Conservation Board that the structure cannot be reused nor can a reasonable economic return be gained from the use of all or part of the building proposed for demolition;
The owner is not claiming an economic hardship condition.
- (3) The owner is a non-profit corporation or organization and can demonstrate to the satisfaction of the Historic Conservation Board the denial of the application to demolish would also deny the owner the use of the property in a manner compatible with its organization purposes and would amount to a taking of the owner's property without just compensation.
Not applicable to the request.
- (4) The demolition request is for a garage or an inappropriate addition, and the demolition of said structure will not adversely affect the streetscape as determined by the Historic Conservation Board.
The demolition request is for a non-original addition to the building. The exterior of the addition is not in a contributing state to the historic district and is in disrepair. The removal of the addition will not affect the streetscape Race Street or will not adversely affect the building.

The building is currently being braced up to prevent collapse of the walls and has leaning columns on the interior. There has already been a partial collapse in the crawlspace and the roof structure is failing causing sloping of the roof in different directions.

Other Considerations:

Prehearing Results: May 3, 2017. The applicant and representatives from Over-the-Rhine Infill Committee were present and were supportive of the proposal.

Comments Provided to Staff: N/A

Consistency with *Plan Cincinnati (2012)*: N/A

Recommendation:

Staff recommends the Historic Conservation Board take the following actions:

A. CERTIFICATE OF APPROPRIATENESS:

1. **APPROVE** a Certificate of Appropriateness for demolition of the rear 1-story addition of 1703 Race Street based on the credible evidence provided by applicant and New Republic Studios in their submission dated April 5, 2017.

2. **FINDING:** The Board makes this determination per Section 1435-09-2:
 - a. That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.
 - b. That the Over-the-Rhine Historic Conservation Guidelines allow for the demolition of non-contributing additions when the demolition will not adversely affect the character of the streetscape or of the historic district.
 - c. That the demolition of the property will not adversely affect the character of the streetscape or of the historic district.



Historic Conservation Office
Department of Community Development and Planning
Centennial Plaza Two
805 Central Avenue, Suite 700
Cincinnati, OH 45202

April 7, 2017

Historic Conservation Board,

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This letter is to address the demolition of a structure in the Over-the-Rhine Historic District. The subject structure is located at 1703 Race Street. The demolition of this structure falls under condition Four, demolition due to economic hardship, within Section 1 of the "Documentation for the Demolition of Historic Properties."

The owner, 3CDC, is a non-profit corporation. The building is a three-story masonry building. The structure to be demolished is a one-story masonry addition located at the rear of the historic building. The structure is in poor condition, with foundations that have settled unevenly over the building's lifetime. The addition is leaning in two different directions and has been temporarily shored to keep it from falling onto the adjacent property. At some point, the masonry on the south wall of the addition was removed and replaced with wood framing and tin sheathing. The removal of this structure would provide a potential amenity space to be shared between the historic building at 1703 Race and the historic buildings to the north, which are also owned by 3CDC. This could facilitate better development of the aforementioned buildings.

3CDC has completed 25 historic building stabilization projects as of the end of 2015, for a total of \$2.3m. Eight active 3CDC stabilization projects are underway totaling over \$500,000, and 18 historic stabilization projects are planned for 2016 with an estimated budget of \$1.3m. By the end of 2016 3CDC will have invested nearly \$4.2m in historic building stabilization, primarily north of Liberty Street.

The following responses reference Condition 3 of the "Documentation for the Demolition of Historic Properties" published by the City of Cincinnati.

- a. Only the failing one-story addition at 1703 Race will be demolished. As such, the historic, 3-story building at the front of the property will not be affected.
- b. The one-story addition to be demolished at 1703 Race is located at the rear of the historic 3-story building and is not visible from the street.
- c. The demolition of the addition at 1703 Race will not affect the streetscape because the addition is not visible from Race street. (See [b] above)

The original structure at 1703 Race has potential for redevelopment and rehabilitation. However, the rear addition is structurally deficient, and structural stabilization would be cost-prohibitive as it would require the deconstruction of the masonry walls down to the foundation. It would then require the re-building of all of the masonry walls to their original configuration, as well as replacing the roof. Removal of the addition would improve potential for development of the original historic structure.

The cost of structurally stabilizing the rear addition at 1703 Race (i.e. deconstructing and rebuilding the existing masonry walls) is estimated to be approximately \$160,000. This exceeds the original purchase price and could not be recouped by any reasonable market price.

Partial demolition of the most structurally deficient end of the addition is estimated to be approximately \$37,000. A partially demolished and rebuilt structure would result in an extremely unattractive structure and would therefore not be marketable. Full demolition of the entire addition back to the line of the original historic wall would be more practical than partial demolition.



No development plan has currently been considered for this site, but 3CDC owns three buildings north of the property at 1705, 1707, and 1709 Race. The removal of the addition at 1703 would facilitate better development of the existing historic building as well as the aforementioned locations.

The credentials of all professionals involved are as follows:
Graham Kalbli, Registered Architect
Robin Hahn, Structural Engineer

Representative interior and exterior photos are provided below:

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CORNER SLOPES
TO THE EAST



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FAILING STRUCTURE.
SLOPES TO THE WEST



LOOKING SOUTH



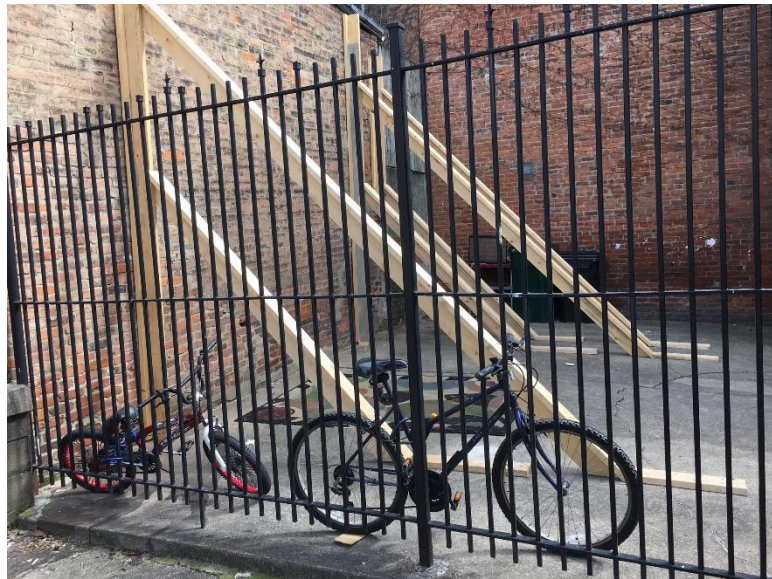
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NW CORNER OF ADDITION



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FAILING ROOF



SLOPED ROOF

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CRAWL SPACE
BELOW ADDITION



CRAWL SPACE





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SOUTH WALL

ONE-STORY
ADDITION TO BE
REMOVED



RACE STREET

GREEN STREET





1703 RACE STREET DEMOLITION

SPECIFIC HISTORIC GUIDELINES – OVER THE RHINE

1. Materials: Missing or deteriorated materials should be replaced with recycled or new materials that match the original as closely as possible with regard to the following: type, color, style, shape, and texture of material. The composition, type of joint, size of units, placement and detailing should be appropriate for the building. Synthetic materials such as aluminum or vinyl siding, imitation brick or plastic are inappropriate. Other types of synthetic materials such as split-face concrete block may be approved on a case-by-case basis.

As this is a demolition, no missing or deteriorated materials will be of issue.

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2. Door and Window Openings: Among the most important features of any building are its openings – it's windows and doors. The size and location of openings are an essential part of the overall design and an important element in the building's architecture. Don't alter or fill in original openings. Roll-down shutters and metal bar systems installed on the exterior of the building that cover door and window openings are not appropriate.

The structure has one door and three windows, which are boarded up. As this is a demolition, door/windows will not be retained.

3. Door and Window Sash:

The structure has no historic door or window trim.

4. Ornamentation:

The structure has no ornamentation.

5. Roofs:

The roof has one skylight. The skylight and roof will be removed during the demolition.

6. Cleaning: Clean exterior surfaces with the gentlest method possible. For masonry structures, begin with scraping by hand or scrubbing with a bristle brush and mild detergent. Some types of chemical cleaning can be used, but test patches should be carried out in inconspicuous areas first. Don't sandblast or use other abrasive cleaning methods that destroy the surface of brick and stone and shorten the life of the building. Don't use wire brushes, because they can also damage masonry surfaces.

As this is a demolition, no cleaning is to be performed.

7. Repointing Masonry: Repoint historic masonry with mortar that matches the existing in color, content and texture with joints that match in type and thickness. The mortar joints in masonry construction deteriorate for a variety of reasons. Repointing these joints can significantly aid the rehabilitation of a structure. Generally, buildings built prior to 1900 used a lime-based mortar. A typical lime-based mortar has the following formula: 8 parts sand, 2 parts lime, and 1 part Portland cement. This mortar is softer than the Portland cement-based mortar of today. Hard modern mortar used on historic masonry causes bricks to crack or spall during the freeze-thaw cycle.

As this is a demolition, no masonry repointing is to be performed.

8. Water-Repellent Coatings:

No water-repellent coatings are proposed

9. Painting:

No painting is proposed.

10. Wood Siding:

No siding is proposed.



11. Shutters and other outside attachments: Original shutters should be repaired and retained. Many buildings in Over-the-Rhine have or had wood shutters for the windows. Reintroducing missing shutters must be based on physical evidence and the shutters must fit the opening and be operable. Exterior light fixtures should be appropriate to the style of the building. Colonial “coach” lights are not appropriate. Mercury vapor and other streetlights are not appropriate for attachment to the façade. Exterior light fixtures should be mounted in a way that does not cast undue glare onto neighboring properties.

No shutters or outside attachments remain.

12. Storefronts:

No storefronts exist in the project.

13. Signs:

No signs are involved in the project.

14. Awnings:

No awnings exist or are proposed.

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Memorandum

Structural Consultants

ADVANTAGE GROUP
ENGINEERS, INC.



Project No. 17140.02

Date: 4.3.2017

Subject: 1703 RACE STREET

ANALYSIS SUMMARY

To: NEW REPUBLIC
404 EAST 12TH STREET, SUITE C1
CINCINNATI, OHIO 45202

Distributed By: E-MAIL

Attn: KATIE TAYLOR

From: ROBIN HAHN P.E.

Copy To: FILE

Katie at your request I met with Graham Kalbli at 1703 Race Street. The purpose of the meeting was to visually investigate the structure with respect to the overall stability with an emphasis on the rear one story portion of the building.

The existing building is a three story structure facing east onto Race Street. At the rear of the three story structure is a one story addition to the building presumably added to increase the first floor retail space. The one story and the three story structures bear on stone foundations. The basement in the three story structure was accessed from the exterior sidewalk hatch. The full basement has access to the crawlspace area under the one story addition. The grade at the crawl space is approximately 24 inches below the bottom of the floor framing. There is a center beam line at the one story area.

The exterior of the three story and the floor framing do not show any serious signs of distress. It is my opinion that this portion of the structure should be viable for any future use deemed appropriate for this building.

The exterior of the one story structure has been shored to the ground on the rear (west wall) of the structure. There is a diagonal crack extending through the north wall at the approximate middle of the skylight at the top of the wall and sloping down to the east (front) of the building approximately at the base. This is probably the result of long term settlement of the rear wall. There is approximately a 4 foot difference in grade at the rear of the property at the rear wall. The rear yard of many of the properties was used for various sanitary service like cisterns and septic tanks. These often contribute to settlement of the structures added to the rear of the original building mass. Due to the grade difference remediating the one story rear portion at the existing rear wall probably is not feasible.

The entire one story area can be removed from the rear of the three story structure without disturbing the three story structure. It is important to realize that the three story structure will need to be investigate for lateral loads and may need to be strengthened to resist lateral loads that may have been over looked during the construction of the one story addition. At the previous addition the rear masonry wall was removed. This masonry wall provides a vital role in resisting the lateral forces on the structure.



Rear one story portion in plan



Elevation of the rear one story portion

In conclusion the three story building is in fair condition and consistent with the other buildings that have been renovated in the Over the Rhine area. Some basic additions to the building to insure that the structure is tied together and to investigate the potential floor issues that most building of the same vintage inherently have. The one story portion of the building is the most problematic area. Total removal of the one story is possible without effecting the three story structure to remain.

Thank you for the opportunity to provide this investigation if you have any questions please feel free to contact me. This report is limited to the conditions observed at 1703 Race Street in Cincinnati, Ohio. This investigation was performed using visual techniques for the site observations. No finishes were removed for the investigation and no material testing was performed. No testing of the soils were performed. Any conclusion or interpretation taken by others based on this report is not the responsibility of AGE, Inc. The conclusions in this report are based on my experience as a structural engineer in the Greater Cincinnati Area.

APPLICATION FOR ZONING RELIEF AND CERTIFICATE OF APPROPRIATENESS HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

APPLICATION #: ZH20170060/ COA2017029
APPLICANT: Ashley Commercial Group
OWNER: Ashley Commercial Group
ADDRESS: **300 w. 4th St & 415 Plum St, Cincinnati OH 45202**
PARCELS: 145-0001-0051; 145-0001-0038
ZONING: DD-B
OVERLAYS: W. 4th Street Historic District
COMMUNITY: Downtown
REPORT DATE: May 15, 2017
HEARING DATE: May 22, 2017
STAFF REVIEW: Douglas Owen, Zoning Plan Examiner

Details of Zoning Relief Required:

The applicant requires Zoning Relief in the form a Dimensional Variance as follows:

1. **Section 1411-15 – Dimensional Variance of 23 feet** to allow a façade height of 17 feet at the public Right-of-Way with the remaining 23 feet recessed by approximately 10.5 feet.

Existing Conditions:

The subject property at 300 W. 4th Street consists of two buildings with internal connections contributing to the local historic district. The building on the corner is a ca. 1880 three-story Italianate building with a stone foundation, brick bearing walls, and a gently pitched roof with a decorative bracketed cornice. The building features a first floor storefront on both the south and east elevations with a corner entry. Windows consisting of original wood sash with segmental arches on the second story and rounded arches on the third story are found on the south and east elevations. The building currently houses offices throughout all three floors.

The building to the west of the corner building is a three-story ca. 1910 Neoclassical Revival building with a stone foundation brick bearing walls and a gently pitched roof. The building features elaborate ornamentation including decorative stonework above and below window and door openings and door and window surrounds. "Security Savings Bank" is engraved in the stone entablature above the first floor storefront. A decorative cornice with simple brackets and dentil molding is topped with a geometric "X" pattern. A modern addition consisting of CMU material and window openings with single-pane glass and glass block has been added to the rear of the western building and is visible from the Plum Street side. A gateway of brick columns and metal spear-top fencing connects the Fourth Street buildings to 415 Plum Street.



Figure 2. Image of 300 W. 4th Street, facing northeast. Courtesy of Google.



Figure 3. Image of 415 Plum Street, facing northwest. Courtesy of Google.

Proposed Conditions:

The proposed project will convert the existing buildings at 300 W. 4th Street into apartments on the upper floors retaining the existing tenants in the ground floor commercial space. Little work is proposed for the exterior, primarily consisting of cleaning the masonry and woodwork, repairing windows and tuckpointing as necessary. Rear decks will be added to the north elevations which will be visible from Plum Street. New door openings will be created on the north elevation to allow access to the decks.

The building at 415 Plum Street will be completely renovated and converted into an enclosed parking area. The existing building will be refaced with brick veneer with a cast stone veneer on the foundation. The existing parapet will be removed and replaced with a new corbelled parapet. Rooftop decks will be created on the east and west sides of the roof of the existing one-story structure with the parapet providing the guardrail. A new aluminum storefront system will be installed for all new window and door openings at ground level. The existing one-story structure will house 18 parking spaces. A new metal overhead door will be installed in a new opening on the north elevation to access the newly created parking garage. The door will be in a similar color as the surrounding brick veneer.

A new 2-story addition, which will be recessed approximately 10.5 feet from the front lot line, will be built on top of the existing one-story structure. The upper 2-story addition will house three condominium units. The 2-story addition will be nine bays wide and will be clad in aluminum panels from "Pac-Clad." The panels will feature a flush connection on the main body of the building with a 1.5" recessed "reveal" connection at the cornice level. Paneling will be in an "aged copper" color. Altogether, the building will total just over 40' in height.

The courtyard gateway between 300 W. 4th Street and 415 Plum Street will be replaced with a new gateway and fence system. The cast stone foundation veneer will continue through the gateway, which will be recessed approximately 4 feet from the property line. A structural steel beam will be placed above the gateway, level with the top of the first floor storefront of 415 Plum, and painted to match the storefront of 300 W. 4th. The gateway and screen that fills the opening will consist of 3" square welded wire fencing. The rear decks of 300 W. 4th will feature the same wire fencing.

Previous Reviews: No previous reviews have occurred on the subject property.

Applicable Zoning Code Sections:

Zoning District:	Section 1411	Downtown Development
Variance Requests:	Section 1411-15	Minimum Façade Height
Variance Authority:	Section 1445-07	
HCB authority:	Section 1435-05-4	
Variance Standard:	Section 1445-13	General Standards: Public Interest
	Section 1445-15	Standards for Variances
Overlays:	Section 1435	Historic Preservation

Historic District/Reg: [West Fourth Street Historic District](#)
COA Standard: [Section 1435-09-2](#) COA; Standard of Review

Zoning Analysis:

The applicant and/or owner(s) require a **Dimensional Variance** from Section 1411-15 for a 40' tall façade with the upper 23' set back 10.5' from the front lot line.

- The project is in violation of **Section 1411-15** of the Cincinnati Zoning Code, which requires a minimum façade height of 40' at the front lot line.
- A Dimensional Variance of 23' is required.

Standards for Variances per Section 1435-05-4

- (a) Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the Historic District or Historic Asset; or

The proposed two-story addition will be set back from the street by approximately 10.5 feet in order to provide additional residential amenities on the three new condominium units, mainly that the recessed façade will allow for front decks. Additionally, the recession will allow for a clear differentiation between the existing building on the ground level with the new construction above. The recession will allow the addition to complement the original building without overpowering it.

- (b) Is necessary where the denial thereof would result in a deprivation of all economically viable uses of the property as viewed in its entirety. In making such a determination, the Historic Conservation Board may consider the factors set forth in Section 1435-09-2 (aa) to (ff).

The requested variance is necessary for the project to be economically viable. The building at 415 Plum is underutilized in its current office form. Providing additional residential units to the project is vital to the success of the overall development including the renovation of the existing buildings fronting W. 4th Street. The conversion of the existing 415 Plum Street building to parking with apartments above will complement the development and the Downtown neighborhood as a whole.

General Standards

- a. **Zoning.** The proposed work conforms to the underlying zone district regulations and is in harmony with the general purposes and intent of the Cincinnati Zoning Code.

The underlying zoning is DD-B. The proposed use of the subject property conforms to the underlying zone district regulations with the exception of the relief requested herein. The proposed work is in harmony with the intent of the Zoning Code by providing a residential use that will complement and support the downtown core.

- b. **Guidelines.** The proposed work conforms to any guidelines adopted or approved by Council for the district in which the proposed work is located.

The proposed work substantially conforms to the guidelines for the district.

- c. **Plans.** The proposed work conforms to a comprehensive plan, any applicable urban design or other plan officially adopted by Council, and any applicable community plan approved by the City Planning Commission.
This project conforms with the “Live” Section of Plan Cincinnati by increasing the amount of quality residential housing in the downtown core. It also conforms to the “Sustain” Section of Plan Cincinnati by increasing density in the area which is likely to benefit existing businesses in the W. 4th Street Historic District.
- d. **Traffic.** Streets or other means of access to the proposed development are suitable and adequate to carry anticipated traffic and will not overload the adjacent streets and the internal circulation system is properly designed.
Traffic is not likely to be negatively impacted by the proposed work. The applicants shall work with DOTE to receive approval on the ingress/egress for the parking area. The project will create 18 new off-street parking spaces.
- h. **Neighborhood Compatibility.** The proposed work is compatible with the predominant or prevailing land use, building and structure patterns of the neighborhood surrounding the proposed development and will not have a material net cumulative adverse impact on the neighborhood.
The proposed work will not have an adverse impact on the neighborhood. The proposed development will increase the density in the urban core which is likely to benefit nearby businesses providing a net benefit to the area.
- j. **Adverse Effects.** Any adverse effect on the access to the property by fire, police, or other public services; access to light and air from adjoining properties; traffic conditions; or the development, usefulness or value of neighboring land and buildings.
There are no adverse impacts anticipated. Neighboring land and buildings will not be adversely impacted by the proposed development. The development is likely to increase the value of neighboring land.
- p. **Public Benefits.** The public peace, health, safety or general welfare.
There is no measurable detriment to public peace, health, safety or welfare as a result of this proposed project.

Certificate of Appropriateness Review:

A Certificate of Appropriateness is required for minor changes to the exterior of the buildings along W. 4th Street consisting of minor repair work and repainting and the addition of rear decks, as well as the proposed two-story addition at 415 Plum Street. The work substantially conforms to the W. 4th Street guidelines, with the exception of the wire screen material proposed for the screen and gateway between the buildings on Plum Street and the rear decks.

Applicable Guidelines

Rehabilitation

GENERAL: *Completely new features and materials should be compatible with the building in design, color, detailing, texture, size and shape.*

- The only new features proposed for 300 W. 4th Street consists of the four rear decks. Generally, the conservation guidelines are focused on the principal façades; however, as a corner building, the decks will be visible from Plum Street. The rear decks will consist of metal support structures with composite decking material. Railings will be metal and screen material beneath the rails will consist of 3" square welded wire fencing. The decks are contemporary in style and compatible with the existing building. The wire screen, however, is not appropriate on the decks as its appearance closely resembles chain-link fencing. Other mesh material may be suitable, as would more traditional simple balusters. Only the eastern two decks will be visible from the street as the western decks will be blocked from view by the existing CMU elevator shaft addition.

SPECIFIC:

2. Openings: *The size of original openings should not be altered. Window, doors and associated trim should be repaired rather [than] replaced; essential replacements should match the character of the original.*

Window and door openings will remain intact on the south and east elevations of the 300 W. 4th Street buildings. New door openings will be created on the rear (north) elevations for access to the proposed rear decks. Existing wood-frame windows through these buildings will be repaired and repainted. No windows are expected to be damaged beyond repair.

Window and door openings on 415 Plum Street will be reconfigured for the new use. The building is on the approved demolition list for the W. 4th Street Historic District, so the new configuration of openings will not impact the character of the historic district. Existing doors are aluminum storefront entries and existing windows are large plate glass with no divisions. Proposed windows and doors will consist of a bronze anodized aluminum storefront system with translucent spandrel windows at ground level. The building is not in a Commercial Continuity overlay so the translucent windows, which will allow light through the panes, are appropriate and preferable to more opaque windows.

An additional opening will be created in the north elevation to allow for an overhead door providing access to the parking garage. The door will be painted to match the color of the brick so it will not be highly noticeable.

4. Storefronts: *Existing original storefronts should not be removed or obscured. The design of new storefronts should be in character with the building. Storefronts should not be set back in arcades, and ground-level transparency (glass*

storefronts) should be maintained.

The storefronts on the 300 W. 4th Street buildings will be repaired and retained as is. No new configurations or materials will be introduced.

The storefront on 415 Plum Street will be reconfigured from the existing. As a building listed for pre-approved demolition, 415 Plum Street is a non-contributing building in the district. The changes proposed to the storefront will replace the large expanses of plate glass with divided windows and new storefront doors. The proposed design better fits the surrounding architecture of the district. While the proposed windows will not be fully transparent, they will be translucent to allow light to infiltrate the windows during the day, and will provide a “glow” from the interior at night. The main intent of ground-floor transparency is to capture the attention of pedestrian passersby. As a residential structure with ground floor parking, this attention is not required, or necessarily desired. The proposed storefront replacement in conjunction with the refacing of the entire principal façade with brick veneer will more closely align this non-contributing building with the surrounding architecture of the district.

6. Additions: *Compatible additions are encouraged. They should appear contemporary, but should complement the design of the original building, and not overpower or detract from the original.*

The proposed two-story addition on top of the existing one-story structure at 415 Plum Street is contemporary and compatible with the existing building and the surrounding architecture. The proposed 10.5’ setback from the lot line serves to differentiate between the original building and the new construction and serves to ensure the addition will not overpower the original building. Due to the scale of the addition, the standards for new construction are applied below.

New Construction Guidelines

SPECIFIC:

1. Building Form: *The massing, height and setback of existing buildings is an important contributor to the character of the District. Buildings are parallel to the street, of varying heights, and are built to front property lines.*
 - a. *The shape of new buildings within the District should be rectilinear and should be parallel or perpendicular to the street. Buildings should be built to the front property line.*
 - b. *There are height variations within each block, but in general, taller buildings occur as one moves from west to east. Therefore, height limitations shall be considered on a block-by-block basis: Central to Plum 3-7 stories.*

The proposed addition to 415 Plum Street is rectilinear parallel with the street and brings the single-story building to a total of three stories. The existing building is one of the only single-story buildings in the W. 4th Street Historic

District. Adding a two story addition will bring the building more in line with surrounding buildings. The first story will remain at the front lot line, while the upper two stories are setback approximately 10.5 feet. In addition to helping to provide clear differentiation between the original building and the new construction, the proposed setback is beneficial to the residential development by allowing for additional outdoor living space along Plum Street. The increase in height will improve the aesthetics of this section of Plum Street even with a 10.5' setback from the front lot line.

2. The Major Parts of the Façade: *Façades on new buildings should respond to the three basic subdivisions (top, middle, base) of the façades of existing buildings.*
 - a. *There should be a significant architectural feature which visually caps the building.*
 - b. *There should be a middle section which has a regular pattern of window openings.*
 - c. *There should be a base of at least one story which is distinct from the middle section.*

The proposed addition features a defined base, middle and top. The top of the building is clearly defined by a change in reveal of the metal panels. The gap between paneling is proposed at approximately 1.5" along the top of the building, while the middle section will feature a nearly flush connection. The middle section will feature a symmetrical window pattern, and the one-story base of the building will consist of the existing one-story structure which will be differentiated in materials and setback.

3. Composition: *All existing buildings are built of masonry and they consist of several colors. Existing buildings also have a pattern on their façades established by the composition of ornamentation or such elements as columns, piers and bays placed approximately 20-30 feet on center. These elements set up a rhythm on the street and create a sense of flow to the passers-by. New buildings should respond to this context.*
 - a. *Primary building materials should be of masonry or like materials in at least two colors*
 - b. *New facades should be composed of elements that give a sense of rhythm to the building and to the street.*
 - c. *No single new façade on Fourth Street should exceed 100 feet in length without a significant change in architectural rhythm.*
 - d. *New buildings should incorporate design features to enliven the façade and provide small-scale visual interest.*

The proposed rehabilitation of the first floor will provide a brick veneer on the existing building with a cast stone base, lintels and ornamentation. The new veneer on the ground floor will greatly improve the appearance of the existing building. While the upper floors will not be masonry, the proposed metal cladding will not detract from the character of the district as it will only be placed on upper

floors and will be set back from the Plum Street façade. The building will have a rhythm in line with the three individual interior units, consisting of paired windows separated by the entry doors on the ground level and offset stairwell windows on the upper levels.

4. Window Openings: *The pattern and placement of window openings is an important part of the character of the District. The design and location of new windows should respond to this pattern.*
 - a. *Windows shall be placed symmetrically on the façade.*
 - b. *The proportion of glass to wall should be sympathetic to the existing proportions on the street. West of Plum Street, the amount of glass shall be between 20% and 70%...*
 - c. *Glazing shall not form continuous horizontal bands.*
 - d. *Mirrored glass is inappropriate.*

The pattern and rhythm of the proposed window openings on the Plum Street addition respond to the surrounding architecture and are symmetrically placed on the façade. The proportion of glass to wall falls within the acceptable range (approximately 50%). The glazing is broken up within the façade so as not to form continuous bands and no mirrored glass is proposed.

7. Open Space Screening: *Most district buildings are built to front property lines, forming a continuous blockface, and there has been little demolition. New buildings should be built to front property lines to maintain this sense of enclosure. Open spaces permitted along Fourth Street should continue this sense of enclosure through screening elements which meet the following criteria:*
 - a. *Screening should be at least 25 feet high, and at least 75% open.*
 - b. *Maximum height of the base of the screen should be three feet.*
 - c. *Screen must be at the front property line.*
 - d. *Screen design should respond to design features on adjacent structures.*

The proposed screen gate along Plum Street between the rear of 300 W. 4th Street and 415 Plum Street consists of a 3" square welded wire fencing material that is set back slightly from the front property line. Since this feature is not along the primary 4th street blockface, it is not required to be as strict in the height and setback requirements, but should respond to design features on adjacent structures. The screen/gateway will be approximately the same height as the first floor lintels on 415 Plum Street. The proposed base, piers and header are appropriate for the district; however, the wire fencing material too closely resembles chain-link fencing, especially if viewed from a distance. Chain link fencing would not be appropriate in the district and as such, the proposed material is not appropriate. Staff would prefer to see a black metal spear-top type fence, or other material more fitting of the district.

Other Considerations:

Prehearing Results: A prehearing was held on May 3, 2017.

Comments Provided to Staff: N/A

Consistency with *Plan Cincinnati (2012)*:

“Sustain” Initiative Area “Preserve our built history”

“Live” Section, specifically the action step “Improve the quality and number of moderate to high-income rental and homeowner units” (p. 165).

Other: N/A

Recommendation:

Staff recommends the Historic Conservation Board take the following actions:

I. ZONING RELIEF

A. VARIANCES

1. **Section 1411-15 – APPROVE – Dimensional Variance of 23 feet** to allow a façade height of 17 feet at the public Right-of-Way with the remaining 23 feet recessed by approximately 10.5 feet, with the following condition:
 - i. The existing curb cut in front of 415 Plum Street shall be removed.

B. FINDING: The Board makes this determination that per Section 1435-05-4:

1. Such relief from literal implication of the Zoning Code will not be materially detrimental to the public health, safety and welfare or injurious to property within the district or vicinity where property is located; and
2. Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the district.

II. CERTIFICATE OF APPROPRIATENESS

A. APPROVE a Certificate of Appropriateness for 1810 Campbell Alley per plans submitted by Platte Architecture + Design dated 02.03.2017 including any revisions submitted for permit subject to staff review and approval with the following conditions.

1. The proposed 3” welded wire fencing material on the screen and gate between buildings fronting Plum Street and on the rear decks of 300 W. 4th Street shall be replaced with a more suitable material such as aluminum spear-top fencing, to be approved by Staff.
2. The building permits must be issued within two years of the decision date or the Certificate of Appropriateness shall expire.

B. FINDING: The Board makes this determination per Section 1435-09-2:

1. That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.



4TH STREET - STREETScape



4TH STREET - STREETScape



4TH STREET - STREETScape



4TH STREET - STREETScape



4TH STREET - STREETScape



PLUM STREET - STREETScape



PLUM STREET - STREETScape



PLUM STREET - STREETScape



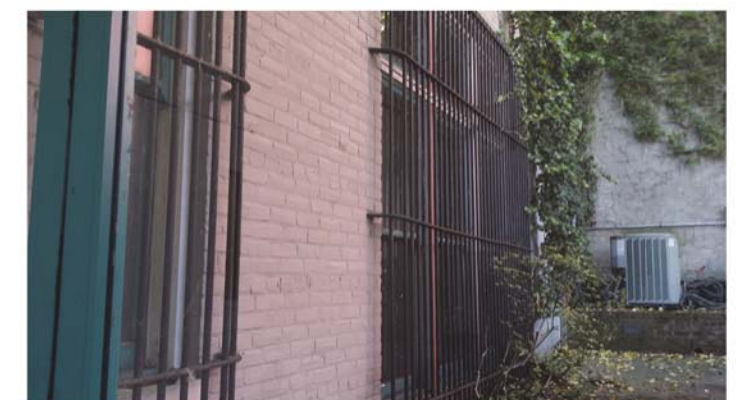
SOUTH FACADE - 4TH STREET



EAST FACADE - PLUM STREET



PARTIAL NORTH FACADE/ENTRY GATE



SECURITY GRILLS AT COURTYARD

Existing Exterior + Streetscapes 300 W 4th Street Condominiums





Southeast Perspective
300 W 4th Street



Northeast Perspective
300 W 4th Street

300 W 4TH CONDOMINIUMS

300 WEST FOURTH STREET
CINCINNATI, OH 45202

#	ISSUE	DATE
1	HISTORIC CB APPLICATION	03/12/2017
2	PREDEVELOPMENT MEETING	04/11/2017
3	DD PRICING	05/05/2017
4	HCB FINAL	05/10/2017

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE APPLICABLE BUILDING CODES, INCLUDING ACCESSIBILITY GUIDELINES.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ALL DISCREPANCIES, OMISSIONS AND CONFLICTS BEFORE BIDDING.
- DO NOT SCALE DRAWINGS - DIMENSIONS ON DRAWINGS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- INDICATED DIMENSIONS ARE FROM COLUMN C.L., FACE OF STUD, OR FACE OF MASONRY UNLESS NOTED OTHERWISE.
- WALL AND CEILING ASSEMBLIES THAT ARE IDENTIFIED WITH A FIRE RESISTIVE RATING SHALL BE CONSTRUCTED PER MANUFACTURER'S SPECIFICATIONS AND THE REQUIREMENTS OF ALL APPLICABLE CODES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE BRACING AND BLOCKING OF ALL WALLS RECEIVING MILLWORK, SHELVING, ETC. AND ANY MISCELLANEOUS WOOD BLOCKING. ALL WOOD BLOCKING TO BE TREATED WITH FIRE RETARDANT CHEMICALS BY A PRESSURE-IMPREGNATION PROCESS OR OTHER METHODS WHICH TREAT THE MATERIAL THROUGHOUT. THE MATERIAL SHALL BEAR ALL REQUIRED RATINGS AND MATERIAL STAMPS. ALL FIRE RETARDANT BLOCKING TO BE IN CONTACT WITH METAL TO BE PRIMED PRIOR TO INSTALLATION.
- ALL FLOORS SHALL BE LEVEL AND FREE OF IRREGULARITIES TO ASSURE CONSISTENT FLOOR HEIGHT.
- ALL CONTRACTORS ARE RESPONSIBLE FOR LAYING OUT EQUIPMENT PLANS TO AVOID INTERFERENCES BETWEEN BUILDING COMPONENTS AND WORK BY OTHERS.
- ALL OPENINGS IN FIRE-RATED WALLS, INCLUDING THOSE FOR DUCTS, CONDUIT, PIPING, ETC. MUST BE FILLED WITH APPROVED MATERIALS TO MAINTAIN THE FIRE-RATING CONTINUITY OF THE WALL CONSTRUCTION, INCLUDING FIRE DAMPERS FOR DUCTS AND PLENUM SYSTEMS.
- GYPSUM BOARD CONTROL JOINTS SHALL BE PROVIDED IN ACCORDANCE WITH RECOMMENDED PRACTICES OF THE UNITED STATES GYPSUM ASSOCIATION AND / OR AS INDICATED.
- ALL OPENINGS IN FLOOR SLABS AND ROOF, INCLUDING THOSE FOR DUCTS, CONDUIT, PIPING, ETC. (EXCEPT THOSE CLOSED COMPLETELY BY FIRE-RESISTANT SHAFT CONSTRUCTION) MUST BE SLEEVED OR OTHERWISE SEALED AT THEIR PERIMETER WITH APPROVED METHODS TO MAINTAIN THE FIRE-RATING CONTINUITY OF THE FLOOR CONSTRUCTION.
- DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL SIMILAR CASES UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- NO SUBSTITUTIONS OR DEVIATIONS FROM THE DRAWINGS AND SPECIFICATIONS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT.
- DIFFERING TRADE CONTRACTORS TO COORDINATE ALL BUILT-IN FIXTURES / EQUIPMENT AND SUPPLY ALL NECESSARY INFORMATION FOR CUT-OUTS TO BE PERFORMED.
- ALL ENGINEERING DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT IS THE RESPONSIBILITY OF THE MEP CONTRACTORS AND SUB-CONTRACTORS TO COORDINATE WORK WITH THE ARCHITECTURAL DRAWINGS PRIOR TO PROCEEDING WITH THE INSTALLATION OF ANY MECHANICAL, PLUMBING, OR ELECTRICAL WORK. ANY DISCREPANCY BETWEEN THE ARCHITECTURAL AND ENGINEERING DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO INSTALLATION OF WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- WHERE PROVIDED, THE SURVEY IN THESE CONSTRUCTION DOCUMENTS HAS BEEN PREPARED BY OTHERS UNDER SEPARATE CONTRACT WITH THE OWNER AND IS PRESENTED FOR INFORMATIONAL PURPOSES ONLY. THE ARCHITECT AND ITS CONSULTANTS ASSUME NO RESPONSIBILITY FOR THE EXISTING INFORMATION SHOWN HEREON.
- ALL CONSTRUCTION SHALL CONFORM WITH THE FINISH SCHEDULE AND SPECIFICATIONS IN COLOR, TEXTURE, AND GENERAL APPEARANCE.
- CONTACT BETWEEN DISSIMILAR METALS SHALL BE PROTECTED TO PREVENT GALVANIC CORROSION.
- ALL OUTSIDE CORNERS AT GYPSUM BOARD SHALL HAVE CONTINUOUS CORNER BEAD PER SPECIFICATIONS. ALL EXPOSED GYPSUM BOARD EDGES (AND AS NOTED) SHALL HAVE CONTINUOUS J-BEAD UNLESS NOTED OTHERWISE.
- FASTENERS USED IN PRESSURE TREATED WOOD SHALL HAVE THE APPROPRIATE FACTORY COATINGS TO PREVENT CORROSION DUE TO MOISTURE AND / OR THE WOOD'S CHEMICAL PRESERVATIVES.
- ALL ELECTRICAL BOXES, CONTROL BOXES, TECHNOLOGY BOXES, FIRE EXTINGUISHER CABINETS, ETC. SHALL BE OFFSET SO AS NOT TO ALIGN IN PARTITIONS WITH FIRE AND / OR STC RATINGS.

PROJECT TEAM

OWNER
ASHLEY COMMERCIAL GROUP
 3005 D... H...
 Ed... d, KY 41017
 85...341-0050

ARCHITECT / ENGINEER
PDT ARCHITECTS, LLC
 300 W... F... S...
 C... OH 45202
 513 8...-4605

DRAWING INDEX

SHEET	TITLE	PROGRESS SET 04/28/2017	DD PRICING 05/05/2017	HCB FINAL 05/10/2017

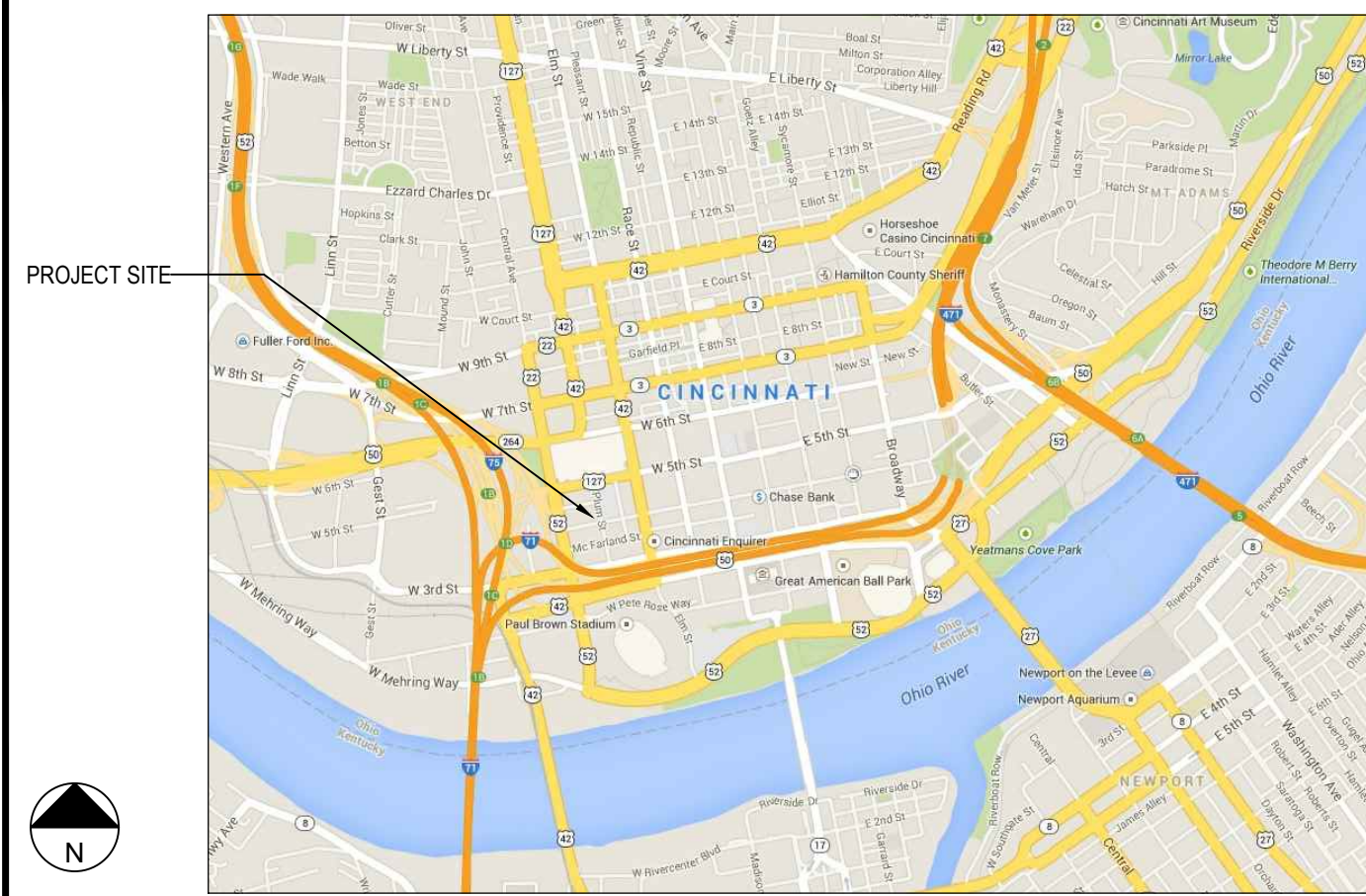
GENERAL

G000	PROJECT INFORMATION	X	X	X
G101	CODE ANALYSIS & LIFE SAFETY PLANS	X	X	
G105	UNDERLAYMENT PLANS		X	

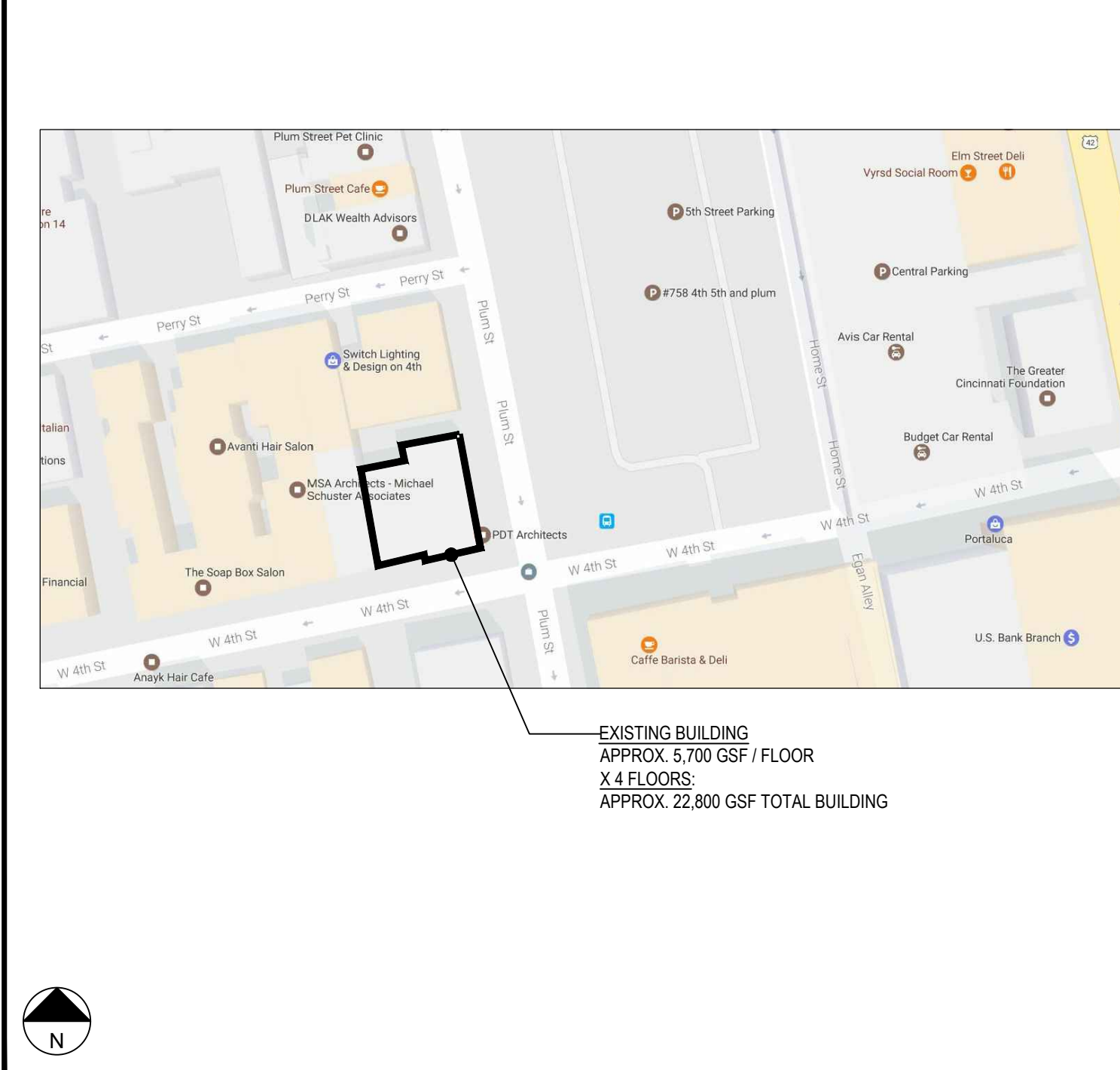
ARCHITECTURAL

D101	BASEMENT & FIRST FLOOR DEMOLITION PLANS	X	X	X
D102	SECOND & THIRD FLOOR DEMOLITION PLANS	X	X	X
A101	BASEMENT & FIRST FLOOR PLANS	X	X	X
A102	SECOND & THIRD FLOOR PLANS	X	X	X
A150	ENLARGED RESTROOM PLANS AND ELEVATIONS	X	X	
A151	ENLARGED RESTROOM PLANS AND ELEVATIONS			
A160	ENLARGED KITCHEN PLANS AND ELEVATIONS	X	X	
A200	EXISTING SOUTH & EAST EXTERIOR ELEVATIONS	X	X	X
A201	EXISTING NORTH & WEST EXTERIOR ELEVATIONS	X	X	X
A330	STAIR PLANS AND SECTIONS			
A600	DOOR / FRAME SCHEDULE AND DETAILS	X	X	
A610	STOREFRONT / WINDOW ELEVATIONS AND DETAILS			
A650	ROOM FINISH SCHEDULE	X	X	
A700	PARTITION TYPES AND DETAILS	X	X	
A701	PARTITION TYPES AND DETAILS			
A800	ROOF PLAN			

VICINITY MAP (NOT TO SCALE)



SITE LOCATION PLAN



ARCHITECTURAL ABBREVIATIONS

@	ANCHOR BOLT	CT	CERAMIC TILE	FLR	FLOOR	LLH(V)	LONG LEG HORIZ / VERT	PERF	PERFORATED	STIFF	STIFFENER
AC	AIR CONDITIONING	CTR	FIRE RETARDANT CURTAIN WALL	FO-F/FR(T)	FACE OF FIRE RETARDANT (TREATED)	LAM	LAMINATE	PERP	PERPENDICULAR	STL	STEEL
ACT	ACOUSTIC CEILING TILE	D	DEPTH	FT (G)	FOOT (ING)	LAV	LAVATORY	PL	PROPERTY LINE	SUSP	SUSPENDED
AD	AREA DRAIN	DTL	DETAIL	FV	FIELD VERIFY	LB	POUND (WEIGHT)	PL	PLATE	SYM	SYMMETRICAL
ADD	ADDENDUM	DEM	DEMOLITION	FTF	FLOOR TO FLOOR	LF	LINEAL FOOT	PLUMB	PLUMBING	SYS	SYSTEM
ADDL	ADDITIONAL	DF	DIAMETER	FTR	FIN TUBE RADIATOR	LOC	LOCATION	PLYWD	PLYWOOD		
ADJ	ADJACENT	DIM	DIMENSION	GA	GAUGE	LP	LOW POINT	PNL	PANEL	T	TREAD
AFF	ABOVE FINISHED FLOOR	DN	DOWN	GC	GALVANIZED	LT	LIGHT	POL	POLISHED	TC	TOP AND BOTTOM PAIR OF CURB
ALUM	ALUMINUM	DR	DOOR	GALV	GALVANIZED	PR	PAIR	PRFAB	PREFABRICATED	TD	TRENCH DRAIN
ALT	ALTERNATE	DS	DOWN SPOUT	GC	GENERAL CONTRACTOR	PSF	POUNDS PER SQUARE FOOT	PTD	PAINTED	TEL	TELEPHONE
ANOD	ANODIZED	DWG(S)	DRAWING(S)	GEN(L)	GENERAL	MDO	MED DENSITY OVERLAY	PT	PRESSURE TREATED	THK	THICK
APPROX	APPROXIMATE	GL	GLASS / GLAZING	MECH	MECHANICAL	PTD	PAINTED	QTY	QUANTITY	THLD	THRESHOLD
ARCH	ARCHITECTURAL	EA	EACH	MFR	MANUFACTURER	R	RISER	TO-TI	TO-TOP	TOB	TOP OF BEAM
BD	BOARD	EIFS	EXT INSUL FINISH SYSTEM	GYP	GYPSUM	MISC	MISCELLANEOUS	TOC	TOP OF CONCRETE	TOF	TOP OF FOOTING
BTWN	BETWEEN	EJ	EXPANSION JOINT	H	HIGH	MOD	MODIFIED	TOP	TOP OF PARAPET	TOS	TOP OF SLAB
BLK(G)	BLOCK(ING)	EL(EV)	ELEVATION	HC	HOLLOW CORE	MDO	MODIFIED	TOP	TOP OF PARAPET	TOF	TOP OF FOOTING
BM	BEAM	ELEC	ELECTRIC(CAL)	HB	HOSE BIB	MSL	MEAN SEA LEVEL	TOF	TOP OF CONCRETE	TOF	TOP OF FOOTING
BOT-BO-B	BOTTOM (OF)	ENG	ENGINEER	HD	HEAD	MTD	MOUNTED	TOF	TOP OF CONCRETE	TOF	TOP OF FOOTING
BRG	BEARING	EQ	EQUAL	HDW(R)	HARDWARE	MTL	METAL	TOF	TOP OF CONCRETE	TOF	TOP OF FOOTING
BSMT	BASEMENT	EQ	EQUAL	HDW(R)	HARDWARE	MTL	METAL	TOF	TOP OF CONCRETE	TOF	TOP OF FOOTING
BUR	BUILT-UP ROOF(ING)	EQUIP	EQUIPMENT	HM	HOLLOW METAL	NA	NOT APPLICABLE	TOF	TOP OF CONCRETE	TOF	TOP OF FOOTING
C-C	CENTER TO CENTER	ESC	ESCALATOR	HM	HOLLOW METAL	NA	NOT APPLICABLE	TOF	TOP OF CONCRETE	TOF	TOP OF FOOTING
CB	CATCH BASIN	EVR	ELEVATOR	HOR(IZ)	HORIZONTAL	NIC	NOT IN CONTRACT	TOF	TOP OF CONCRETE	TOF	TOP OF FOOTING
CFM	COLD FORMED METAL	EW	ELECTRIC WATER	HP	HIGH POINT	NO / #	NUMBER REQUIRED	TOF	TOP OF CONCRETE	TOF	TOP OF FOOTING
CFM	COLD FORMED METAL	EWC	ELECTRIC WATER COOLER	HR	HOUR	NOM	NOMINAL	TOF	TOP OF CONCRETE	TOF	TOP OF FOOTING
CG	CORNER GUARD	EXH	EXHAUST	HTR	HEATER	NTS	NOT TO SCALE	TOF	TOP OF CONCRETE	TOF	TOP OF FOOTING
CIP	CAST IN PLACE CONCRETE	EXP	EXPOSURE / EXPOSED EXTERIOR	HW	HOT WATER HEATER	OC	ON CENTER	TOF	TOP OF CONCRETE	TOF	TOP OF FOOTING
CJ	CONTROL JOINT	EXT	EXTERIOR	ID	INSIDE DIAMETER	OD	OUTSIDE DIAMETER	TOF	TOP OF CONCRETE	TOF	TOP OF FOOTING
CL	CENTER LINE	FA	FIRE ALARM	IN	INCH	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED	TOF	TOP OF CONCRETE	TOF	TOP OF FOOTING
CLG	CLEAR(ANCE)	FACP	FIRE ALARM CONTROL PANEL	INSUL	INSULATION	OFI	OWNER FURNISHED CONTRACTOR INSTALLED	TOF	TOP OF CONCRETE	TOF	TOP OF FOOTING
CMU	CONCRETE MASONRY UNIT	FR	FIRE-RESISTIVE FLOOR DRAIN	INT	INTERIOR	OFI	OWNER FURNISHED CONTRACTOR INSTALLED	TOF	TOP OF CONCRETE	TOF	TOP OF FOOTING
CO	CLEAN OUT	FD	FLOOR DRAIN	INV	INVERT	OFI	OWNER FURNISHED CONTRACTOR INSTALLED	TOF	TOP OF CONCRETE	TOF	TOP OF FOOTING
COL	COLUMN	FDN	FOUNDATION	JAN	JANITOR	OH	OPPOSITE HAND	TOF	TOP OF CONCRETE	TOF	TOP OF FOOTING
COMM	COMMUNICATIONS	FE	FIRE EXTINGUISHER	JT	JOINT	OPNG	OPENING	TOF	TOP OF CONCRETE	TOF	TOP OF FOOTING
CONC	CONCRETE	FEC	FIRE EXTINGUISHER CABINET	KO	KNOCK-OUT	OPP	OPPOSITE	TOF	TOP OF CONCRETE	TOF	TOP OF FOOTING
CONN	CONNECTION	KP	KICKPLATE	OVHD	OVERHEAD	OVHD	OVERHEAD	TOF	TOP OF CONCRETE	TOF	TOP OF FOOTING
CONN	CONNECTION	KP	KICKPLATE	OVHD	OVERHEAD	OVHD	OVERHEAD	TOF	TOP OF CONCRETE	TOF	TOP OF FOOTING
CONTR	CONTRACTOR	FHC	FIRE HOSE CABINET	PLAM	PLASTIC LAMINATE	PC	PRECAST CONCRETE	TOF	TOP OF CONCRETE	TOF	TOP OF FOOTING
COORD	COORDINATE	FIN	FINISH	PCF	POUNDS PER CUBIC	PCF	PRECAST CONCRETE	TOF	TOP OF CONCRETE	TOF	TOP OF FOOTING
CSK	COUNTERSUNK	FIXT	FIXTURE	L	ANGLE	PCF	PRECAST CONCRETE	TOF	TOP OF CONCRETE	TOF	TOP OF FOOTING

MATERIAL SYMBOL LEGEND

	MOP SINK - COORDINATE W/ PLUMBING DRAWINGS		WATER CLOSET - REFER TO PLUMBING DRAWINGS		SINK IN SINK BASE CABINET - REFER TO PLUMBING & CASEWORK DRAWINGS		WALL-HUNG LAVATORY - REFERENCE PLUMBING DRAWINGS		ROOM TAG		NORTH ARROW
	LEVEL ELEVATION - REFERENCE FROM FINISH FLOOR (U.N.O.)		WATER COOLERS - COORDINATE WITH PLUMBING DRAWINGS		FLOOR / TRENCH DRAIN - REFERENCE PLUMBING DRAWINGS		FLOOR SINK - COORDINATE WITH PLUMBING DRAWINGS & FOOD SERVICE DRAWINGS		COLUMN TAG & CENTERLINE		DOOR TAG (SEE DOOR SCHEDULE)
	DRAWING No. DETAIL TAG		SEM-RECESSED FIRE EXTINGUISHER CABINET		FIRE EXTINGUISHER ON WALL BRACKET		REVISION TAG & CLOUD		WINDOW TAG (SEE WINDOW ELEVATIONS & DETAILS)		KEY NOTE
	DRAWING No. ELEVATION CALLOUT		DRAWING TITLE		INTERIOR ELEVATION CALLOUT		SECTION CALLOUT		PARTITION TYPE		

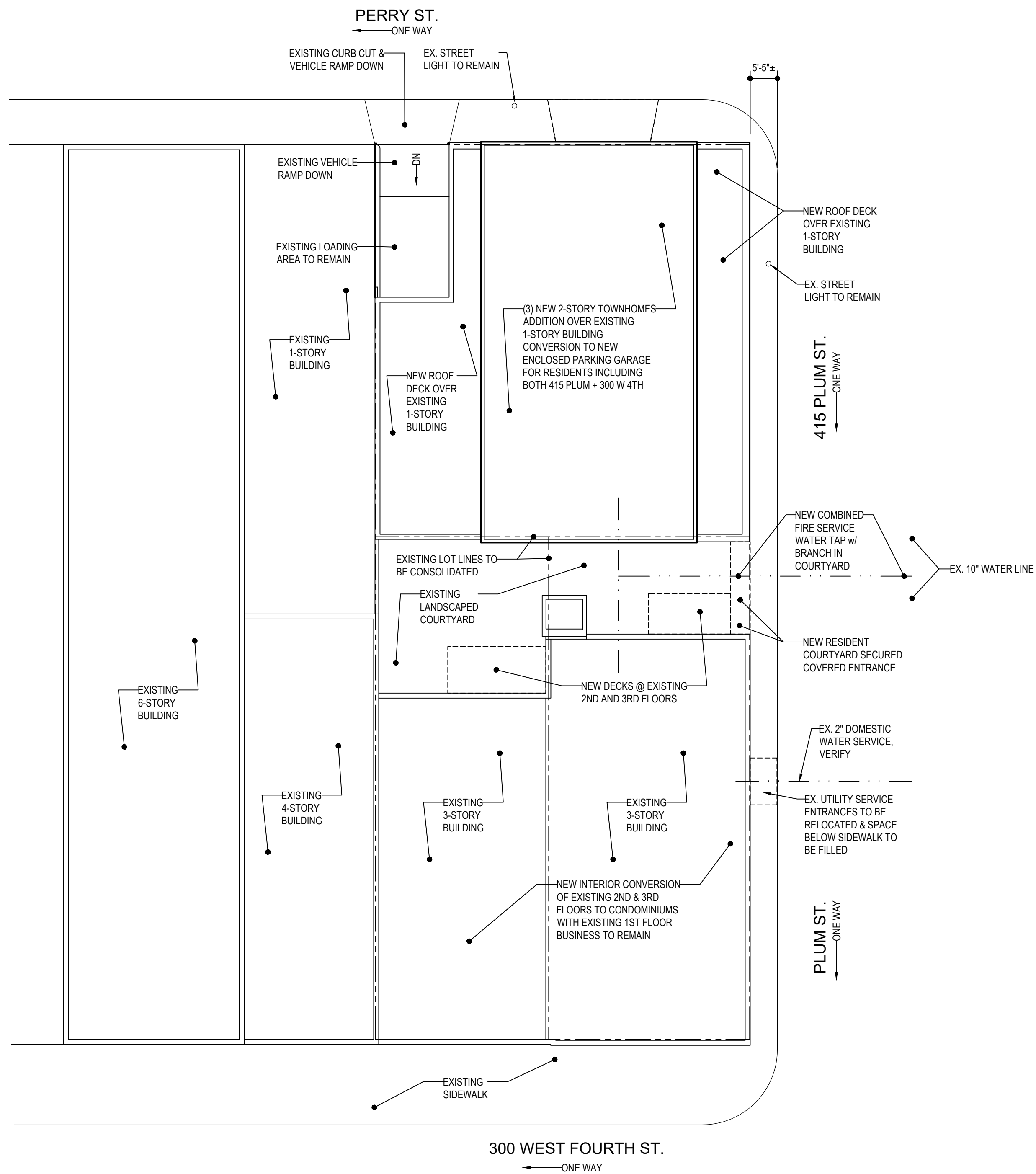
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RESIDENTIAL CONVERSION
ASHLEY COMMERCIAL GROUP
 300 WEST FOURTH STREET
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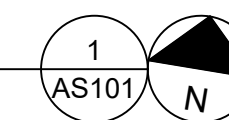
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COMMISSION NO.	P-706
PROJECT INFORMATION	
G000	



SITE PLAN
SCALE: 1/16" = 1'-0"



#	ISSUE	DATE
	HISTORIC CB APPLICATION	03/31/2017
	PREDEVELOPMENT MEETING	04/11/2017
	DD PRICING	05/05/2017
	HCB FINAL	05/10/2017

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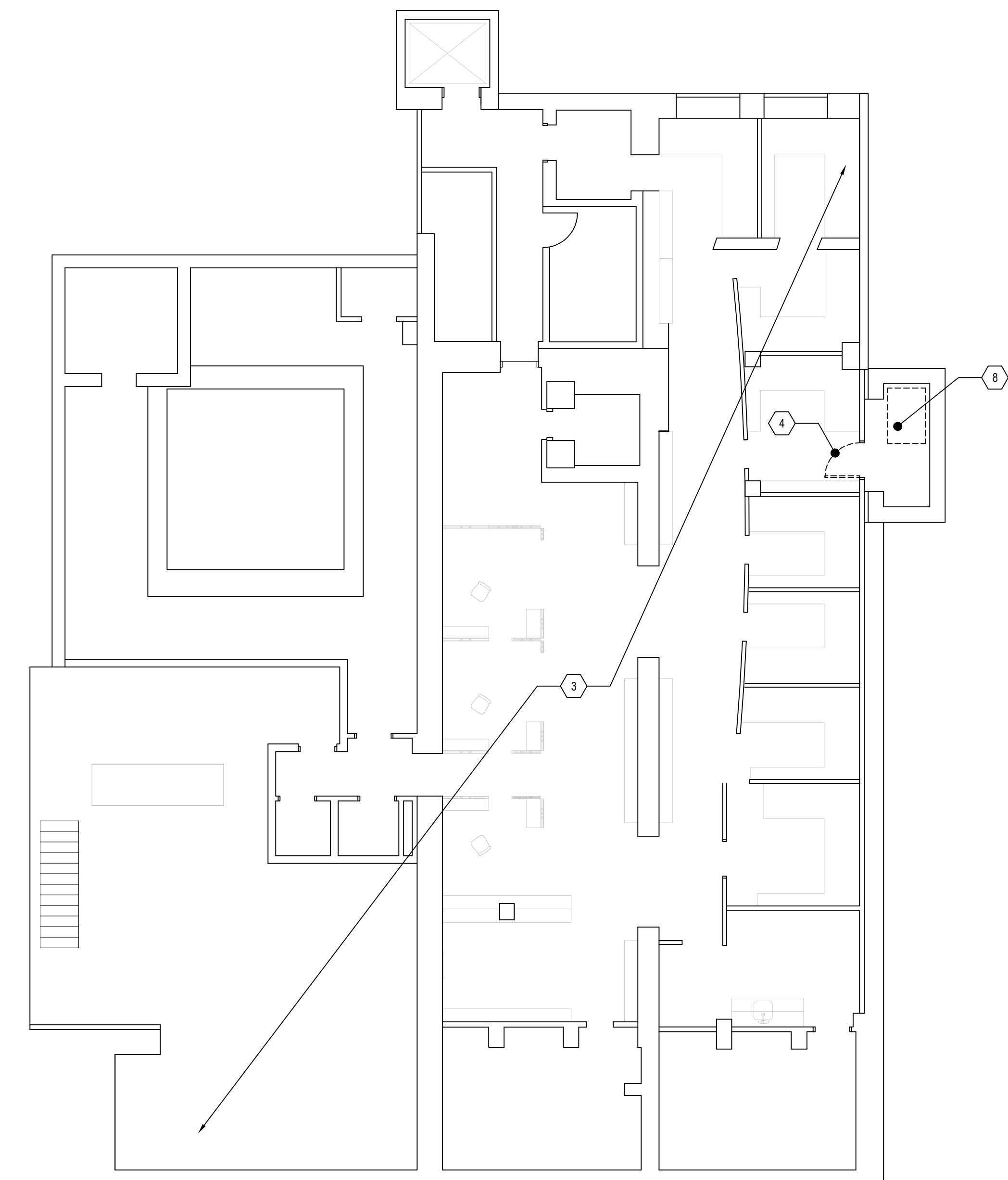
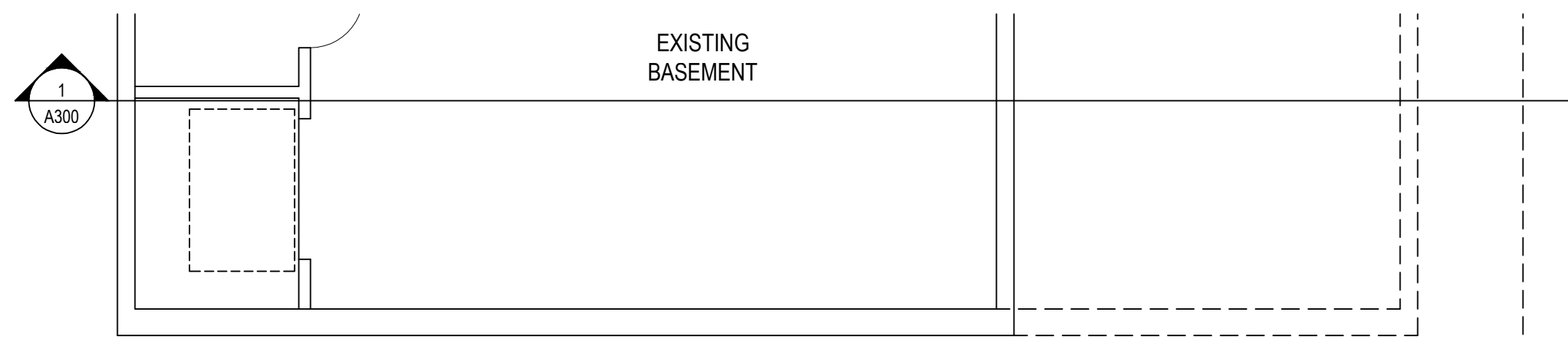
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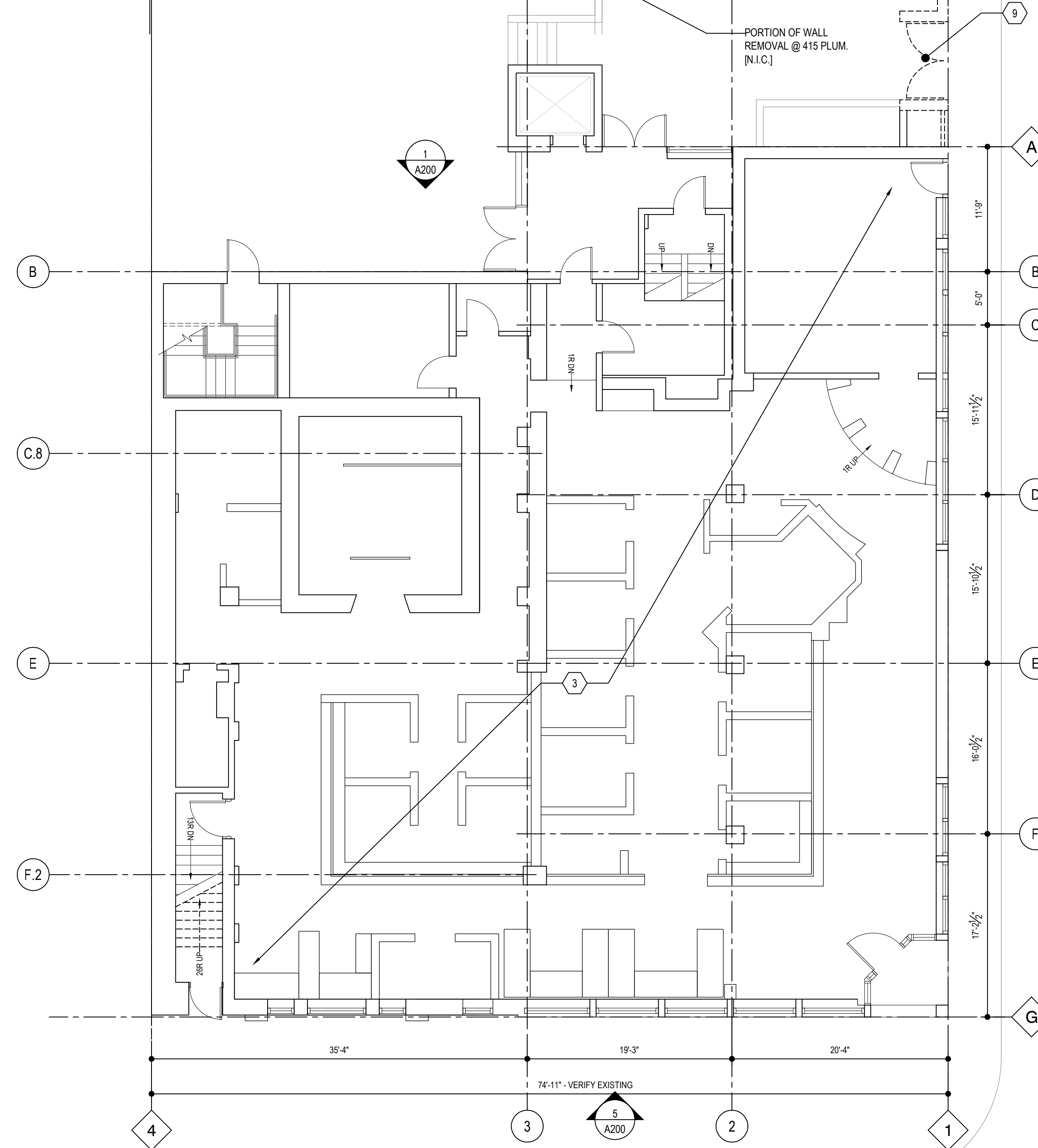
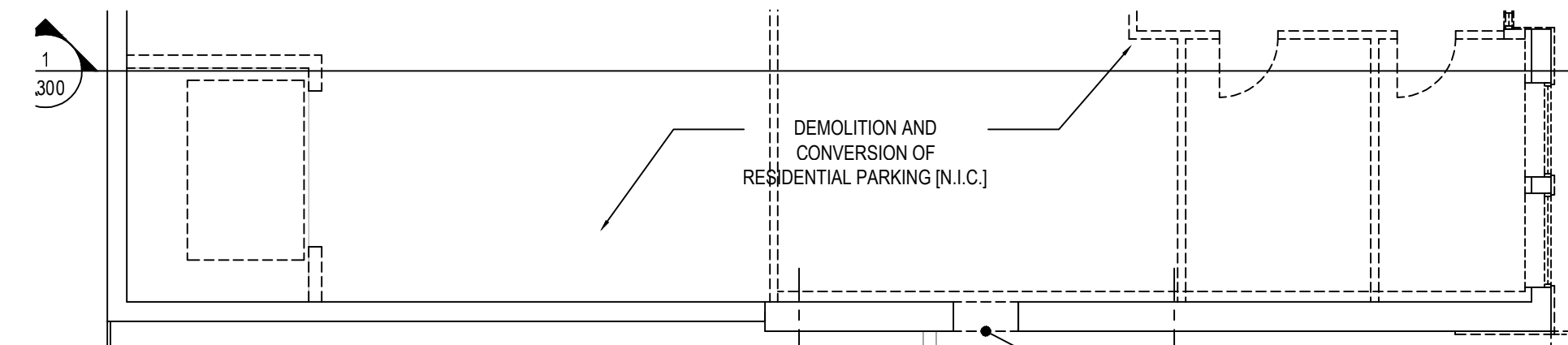
SITE PLAN

AS101



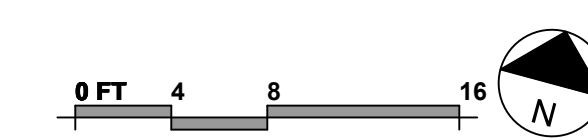
**BASEMENT
DEMOLITION PLAN**
SCALE: 1/8" = 1'-0"

2
D101



**FIRST FLOOR
DEMOLITION PLAN**
SCALE: 1/8" = 1'-0"

1
D101

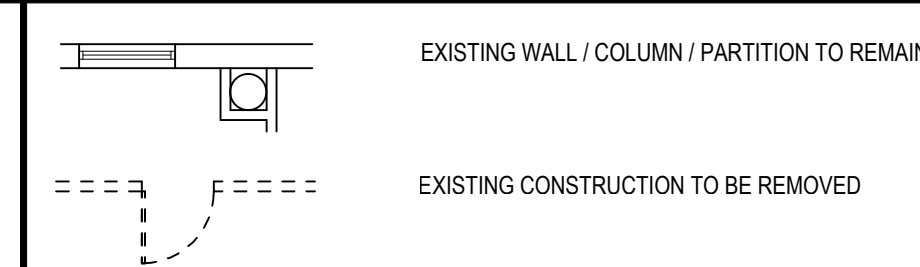


GENERAL NOTES

- A) EXISTING WALLS & PARTITIONS SHOWN SHADED FOR REFERENCE
- B) VERIFY EXISTING CONDITIONS TO EXTENT REQUIRED FOR NEW WORK
- C) COORDINATE BUILDING ACCESS, SECURITY, CONSTRUCTION STAGING, STAIR / ELEVATOR USAGE & WORK RESTRICTIONS WITH OWNER AND APPLICABLE PHASING
- D) PROVIDE TEMPORARY PARTITIONS WITH EGRESS / ACCESS DOORS AS INDICATED AND/OR REQUIRED BY A.H.J. COORDINATE WITH OWNER AND APPLICABLE PHASING
- E) VERIFY EXISTING CONDITIONS & REMOVE EXISTING CONSTRUCTION AS INDICATED TO EXTENT REQUIRED FOR NEW WORK
- F) REFERENCE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR APPLICABLE DEMOLITION OF SERVICES / FIXTURES
- G) REMOVE EXISTING CEILINGS WHERE ADJACENT TO PARTITIONS INDICATED TO BE REMOVED U.N.O.
- H) DISPOSE DEMOLITION MATERIAL IN ACCORDANCE WITH OWNER REQUIREMENTS
- I) REMOVE EXISTING APPLIED FINISHES, SIGNAGE, WALL ACCESSORIES, MIRRORS, MARKER BOARDS, CHALKBOARDS, CABINETRY, ETC., U.N.O.
- J) PROTECT EXISTING STRUCTURE, PARTITIONS, FINISHES & ITEMS TO REMAIN. PATCH / REPAIR AND/OR REPLACE DAMAGED ITEMS TO MATCH EXISTING CONDITIONS.
- K) REMOVE ALL ABANDONED CONDUIT, PIPING, LIGHTING, MECHANICAL EQUIPMENT, ETC. COORDINATE WITH MECH. / PLUMBING / ELECT.

- L) REMOVE CORROSION, OIL, DIRT, ETC. FROM EXISTING ITEMS TO REMAIN & THOROUGHLY CLEAN / PREPARE TO RECEIVE NEW FINISHES WHERE INDICATED
- M) REFERENCE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR COORDINATION
- N) DIMENSIONS ARE TO FACE OF EXIST. FINISH / NEW FRAMING / COL. C.L. U.N.O.
- O) COORDINATE ALL WORK WITH OWNER'S PHASING PLANS / SEQUENCES AND OTHER REQUIREMENTS
- P) PATCH / REPAIR ALL EXISTING FINISH SURFACES WHERE EXPOSED TO VIEW
- Q) PATCH / INFILL ALL ABANDONED OPENINGS TO MATCH EXISTING ADJACENT CONSTRUCTION U.N.O.

PLAN LEGEND



DEMOLITION PLAN CODED NOTES

1. GENERAL DEMOLITION: REMOVE INTERIOR PARTITIONS, CASEWORK, FLOORING, CEILINGS, ACCESSORIES, DOORS & FINISHES, INCLUDING ASSOCIATED MECHANICAL, PLUMBING & ELECTRICAL ITEMS. INFILL ABANDONED FLOOR / CEILING PENETRATIONS WITH CONST. TO MATCH EXISTING U.N.O. PREPARE FOR NEW WORK AS INDICATED AND REF. MEP DRAWINGS.
2. REMOVE EXISTING STAIR IN ITS ENTIRETY.
3. EXISTING OFFICE SPACE TO REMAIN, AND MODIFICATIONS REQUIRED TO ACHIEVE WORK ON ABOVE LEVELS TO BE PATCHED AND REPAIRED TO MATCH ITS PREVIOUS CONDITION.
4. REMOVE EXISTING DOOR AND FRAME
5. REMOVE EXISTING WINDOW / DOOR AND/OR EXISTING WALL FOR NEW WINDOW / DOOR. REMOVE PORTION OF EXISTING WALL WHERE REQUIRED FOR INCREASED OPENING SIZE. TOOTH-CUT EXPOSED EXTERIOR FINISH BRICK TO REQD. EXTENTS FOR MATCHING EXISTING OPENING CONDITIONS. SALVAGE BRICK & STONE TRIM FOR RE-USE IN NEW WORK.
6. MECHANICAL AREAS: COORDINATE REQUIRED SIZE / ROUTING WITH DESIGN-BUILD PLANS BY RESPONSIBLE DISCIPLINE CONTRACTORS. CUT / CORE NEW FLOOR OPENING(S), REF. STRUCTURAL FOR NEW OPENING REQUIREMENTS.
7. REMOVE AND REPLACE EXISTING FLOORING & SUBFLOOR TO EXTENTS REQUIRED FOR ROUTING PLUMBING.
8. REMOVE / RELOCATE EXISTING UTILITIES FOR INFILL OF EXISTING SPACE UNDER SIDEWALK.
9. REMOVE EXISTING COURTYARD MASONRY PIERS & FENCING / GATE.

#	ISSUE	DATE
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**FIRST FLOOR
BASEMENT
DEMOLITION PLANS**

D101

#	ISSUE	DATE
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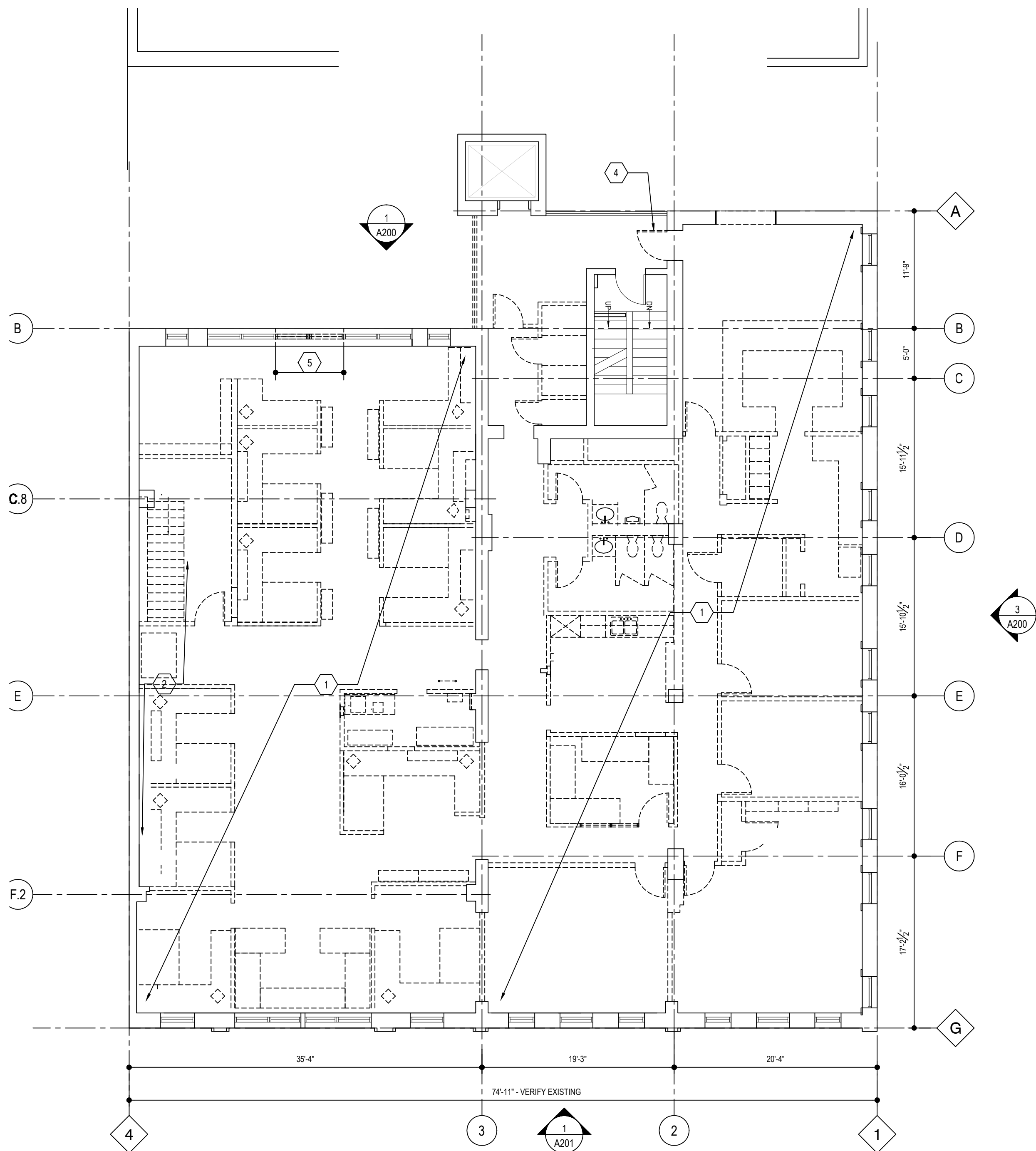
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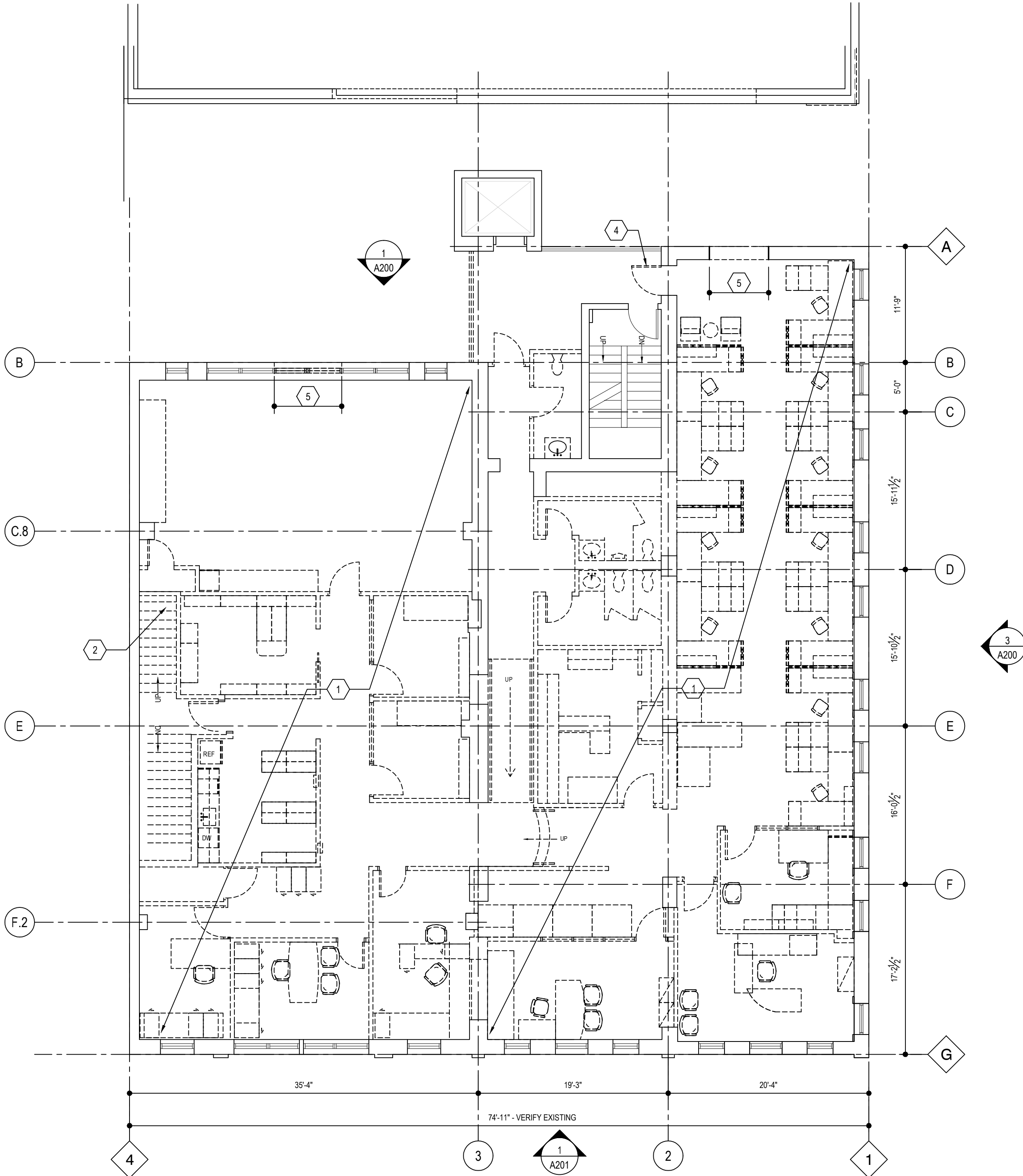
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**SECOND
THIRD FLOOR
DEMOLITION PLANS**

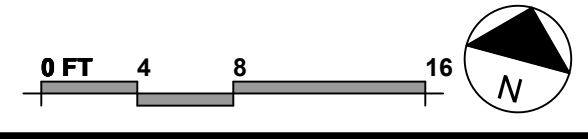
D102



**THIRD FLOOR
DEMOLITION PLAN**
SCALE: 1/8" = 1'-0"



**SECOND FLOOR
DEMOLITION PLAN**
SCALE: 1/8" = 1'-0"

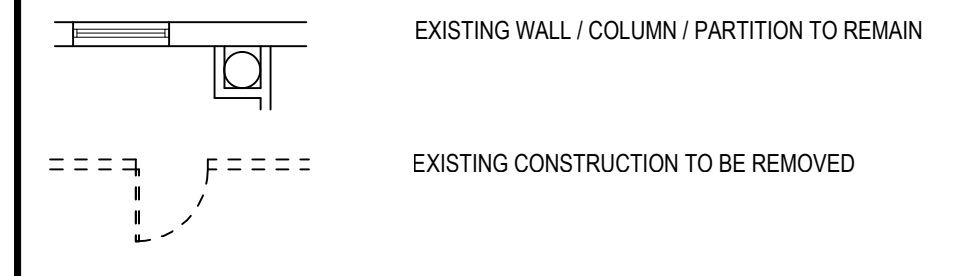


GENERAL NOTES

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- B) VERIFY EXISTING CONDITIONS TO EXTENT REQUIRED FOR NEW WORK
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PLAN LEGEND



DEMOLITION PLAN CODED NOTES

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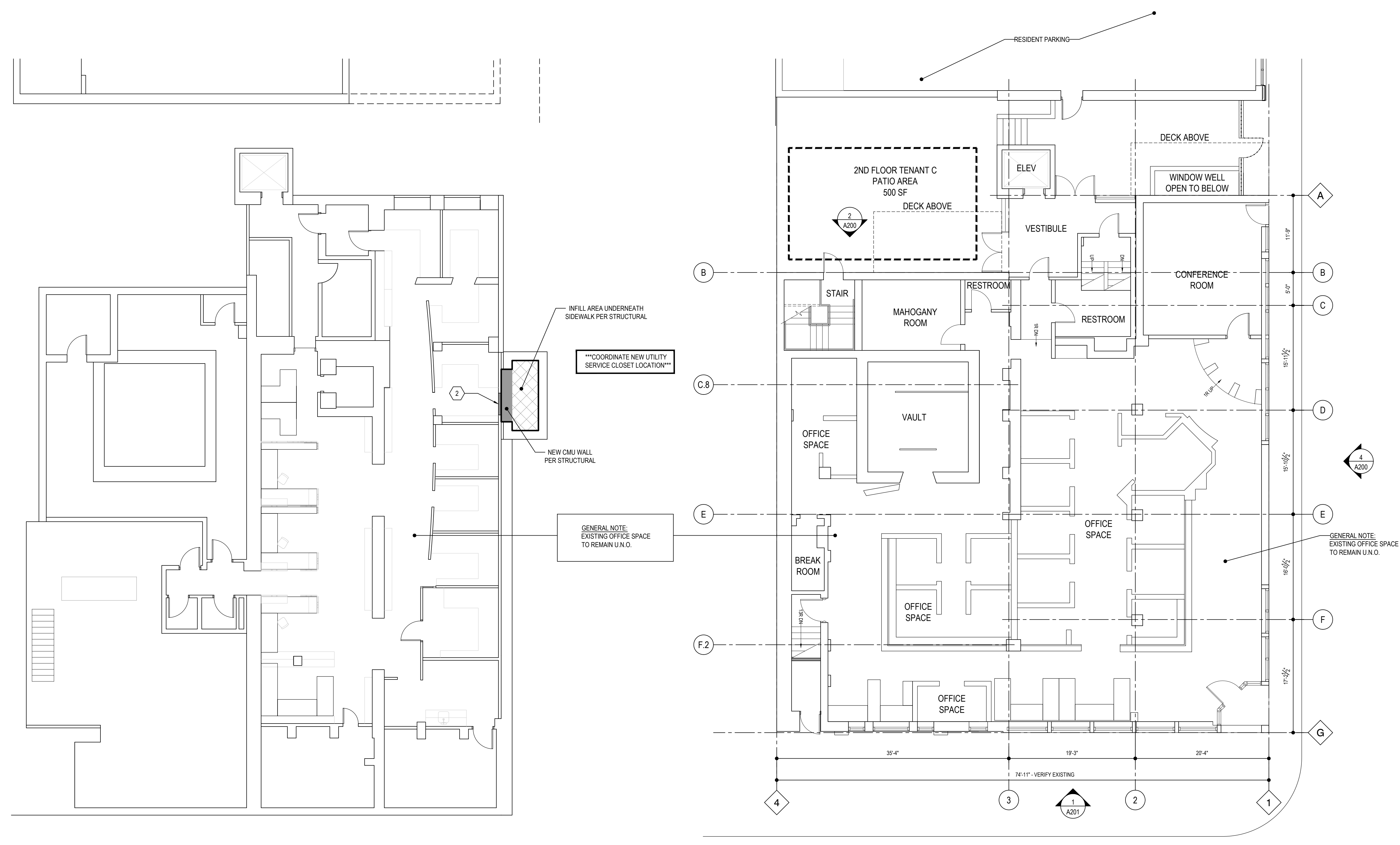
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FIRST FLOOR
BASEMENT PLANS

A101



BASEMENT PLAN
SCALE: 1/8" = 1'-0"
2
A101

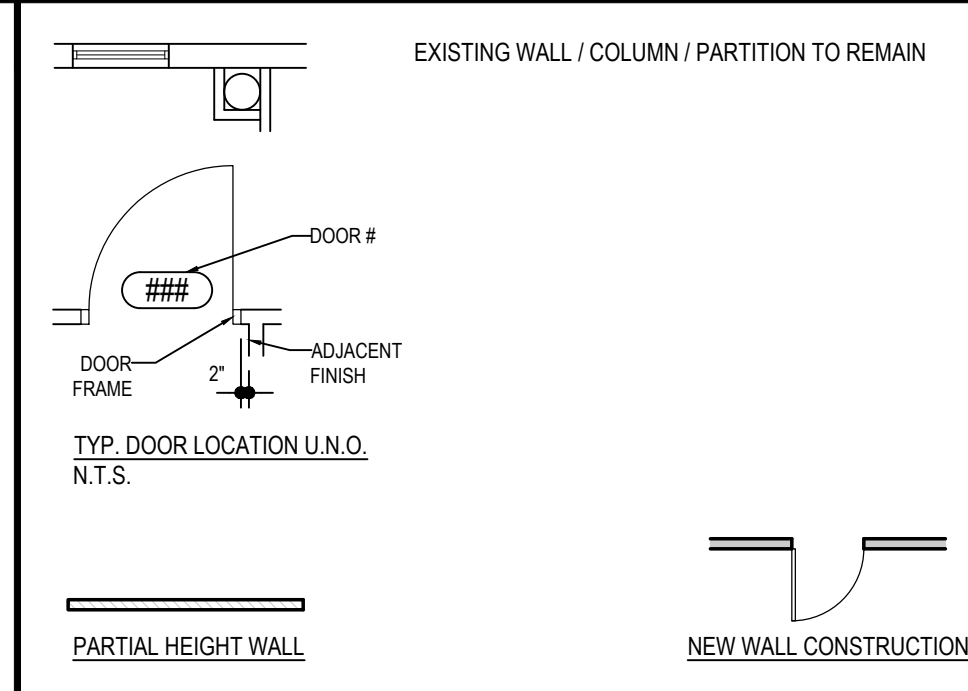
FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"
1
A101

GENERAL NOTES

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PLAN LEGEND



FLOOR PLAN CODED NOTES

1. NEW WINDOW IN EXISTING / MODIFIED OR NEW OPENING AS SCHEDULED
2. INFILL WALL OPENING WITH CONSTRUCTION TO MATCH EXISTING ADJACENT CONSTRUCTION. VERIFY QUANTITY OF SALVAGED BRICK / SILLS AVAILABLE FOR RE-USE AND/OR PROVIDE NEW FACE BRICK VENEER W/ MORTAR COLOR TO MATCH EXISTING MASONRY CONSTRUCTION.
3. EXISTING WOOD WINDOWS: CLEAN, RE-GLAZE W/ 1/4" LAMINATED CLEAR GLASS. PAINT & RESTORE TO OPERABLE CONDITION.
4. M.E.P. SHAFT / CHASE SPACE: COORDINATE REQUIRED SIZE / ROUTING WITH DESIGN-BUILD PLANS BY RESPONSIBLE DISCIPLINE CONTRACTORS
5. NEW ELEVATOR IN EXISTING SHAFT OPENING
6. EXISTING WOOD WINDOWS TO REMAIN WITH NEW STORM WINDOW. CLEAN, PAINT & RESTORE WINDOW TO OPERABLE CONDITION. SEE EXTERIOR ELEVATIONS.
7. EXISTING ELEVATOR WITH NEW EQUIPMENT AND FINISHES
8. NEW DOOR IN EXISTING FRAME AS SCHEDULED
9. EXISTING METAL WINDOW TO REMAIN
10. EXISTING METAL WINDOW FRAME TO REMAIN AND BE REGLAZED WITH CLEAR GLAZING.
11. NEW EXPOSED METAL DUCT, PRIME AND PAINT. REFERENCE MECHANICAL DWGS FOR SIZE AND LOCATION.
12. VERIFY EXIST. SHAFT CONSTRUCTION AS 2-HOUR FIRE-RATED. PATCH ANY EXIST. OPENINGS WITH 2-HOUR FIRE-RATED CONST. EXISTING SHAFT ACCESS DOORS TO REMAIN.

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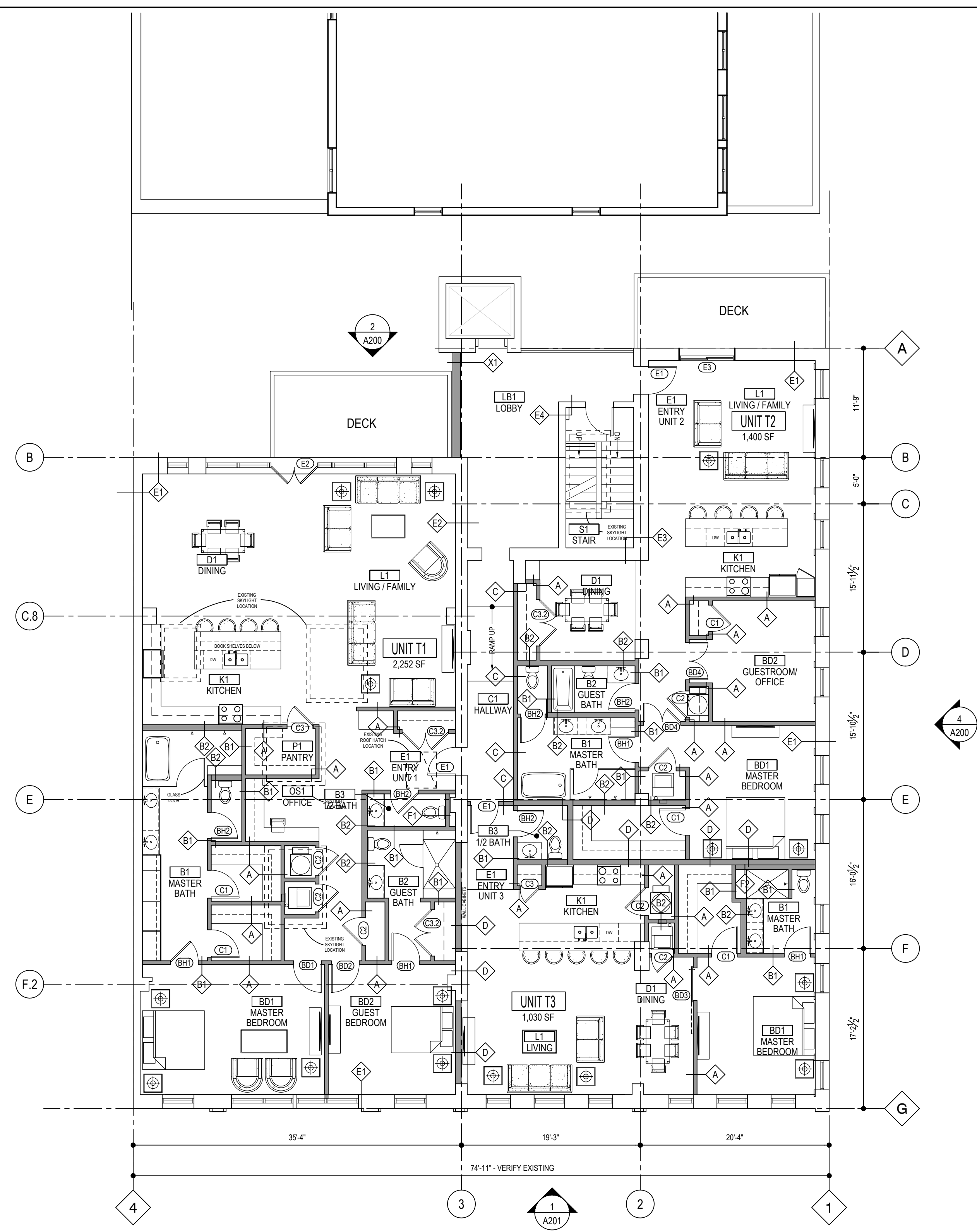
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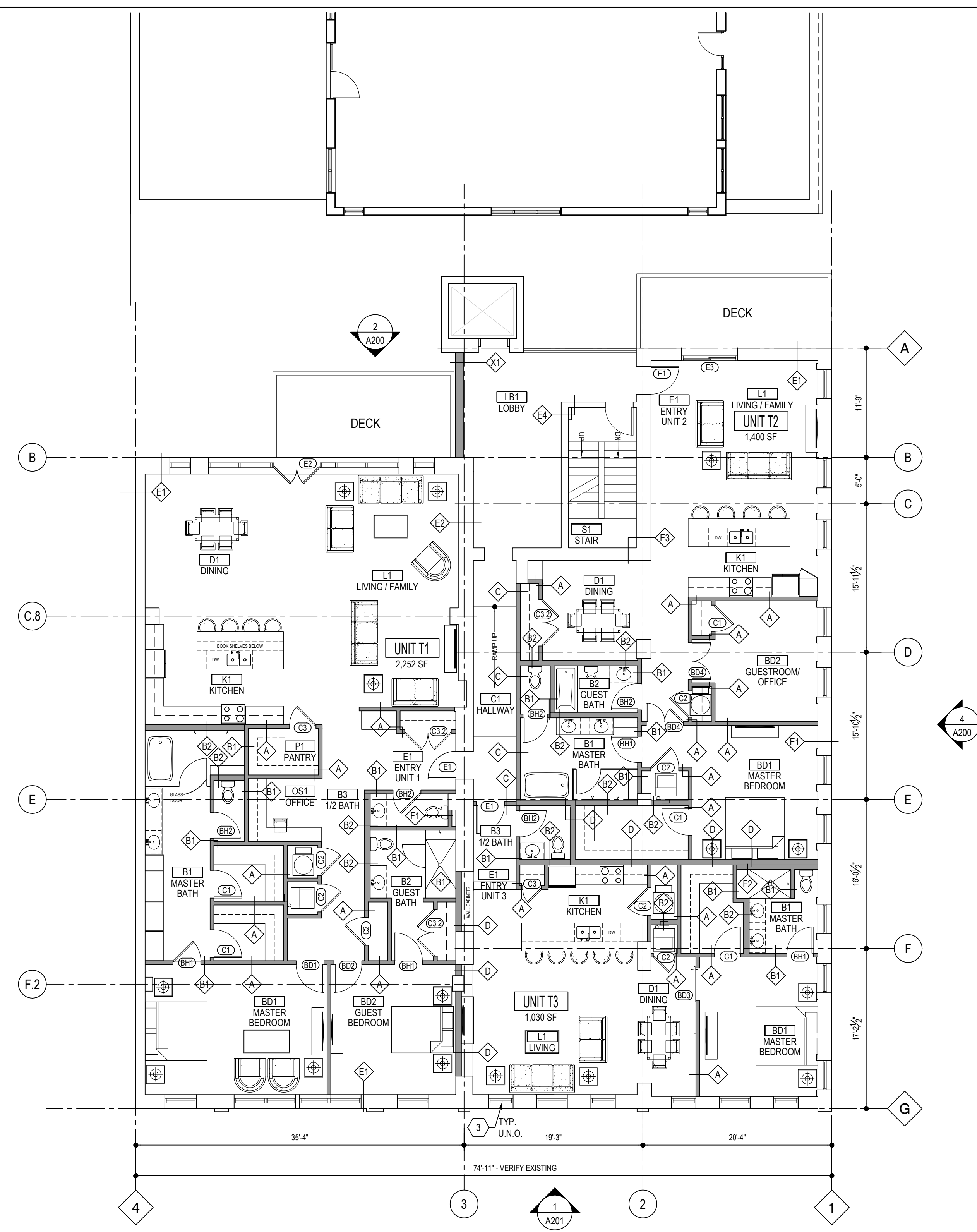
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SECOND AND THIRD FLOOR PLANS

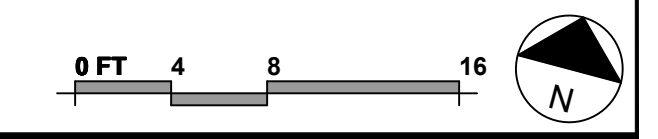
A102



THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

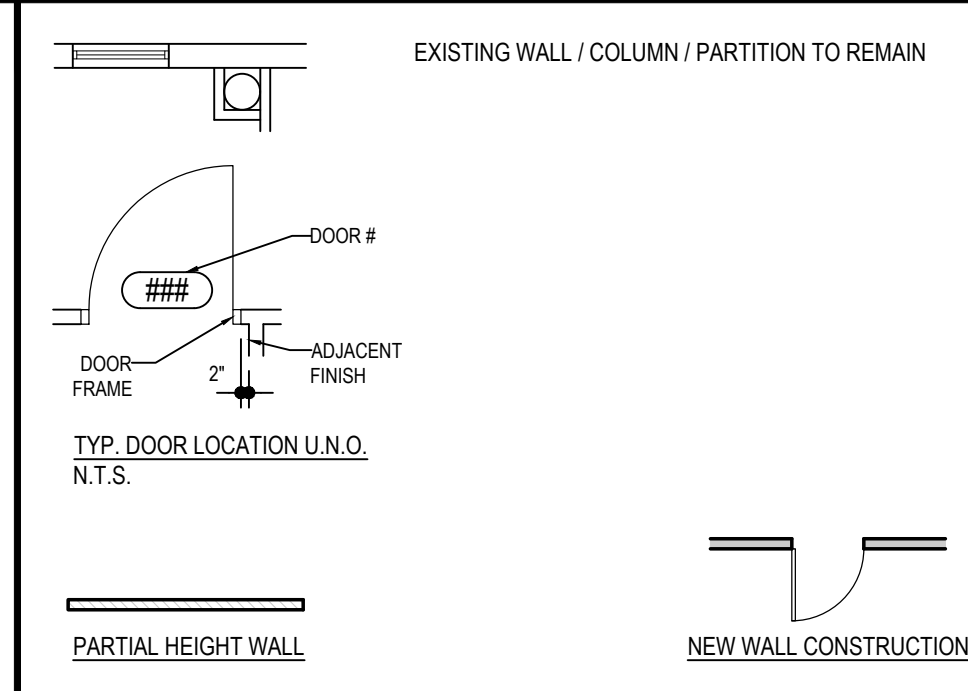


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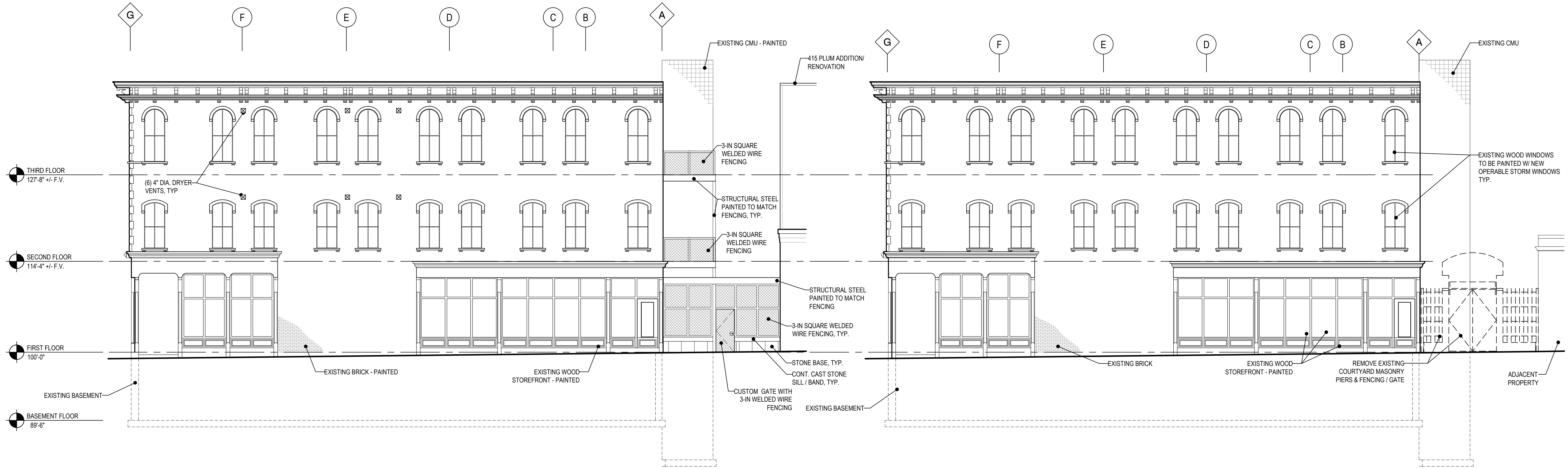
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PLAN LEGEND



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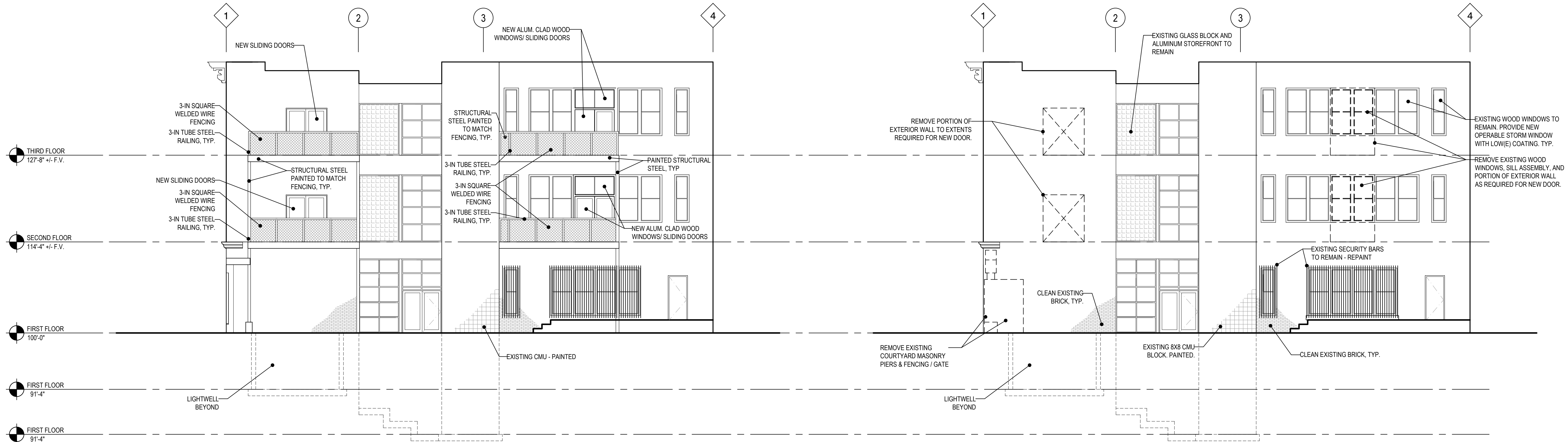
PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"

4
A200

EXISTING/DEMO EAST ELEVATION
SCALE: 1/8" = 1'-0"

3
A200

NOTE: ALL EXISTING PAINTED SURFACES TO BE REPAINTED TYP.

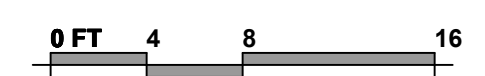


PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'-0"

2
A200

EXISTING/DEMO NORTH ELEVATION
SCALE: 1/8" = 1'-0"

1
A200



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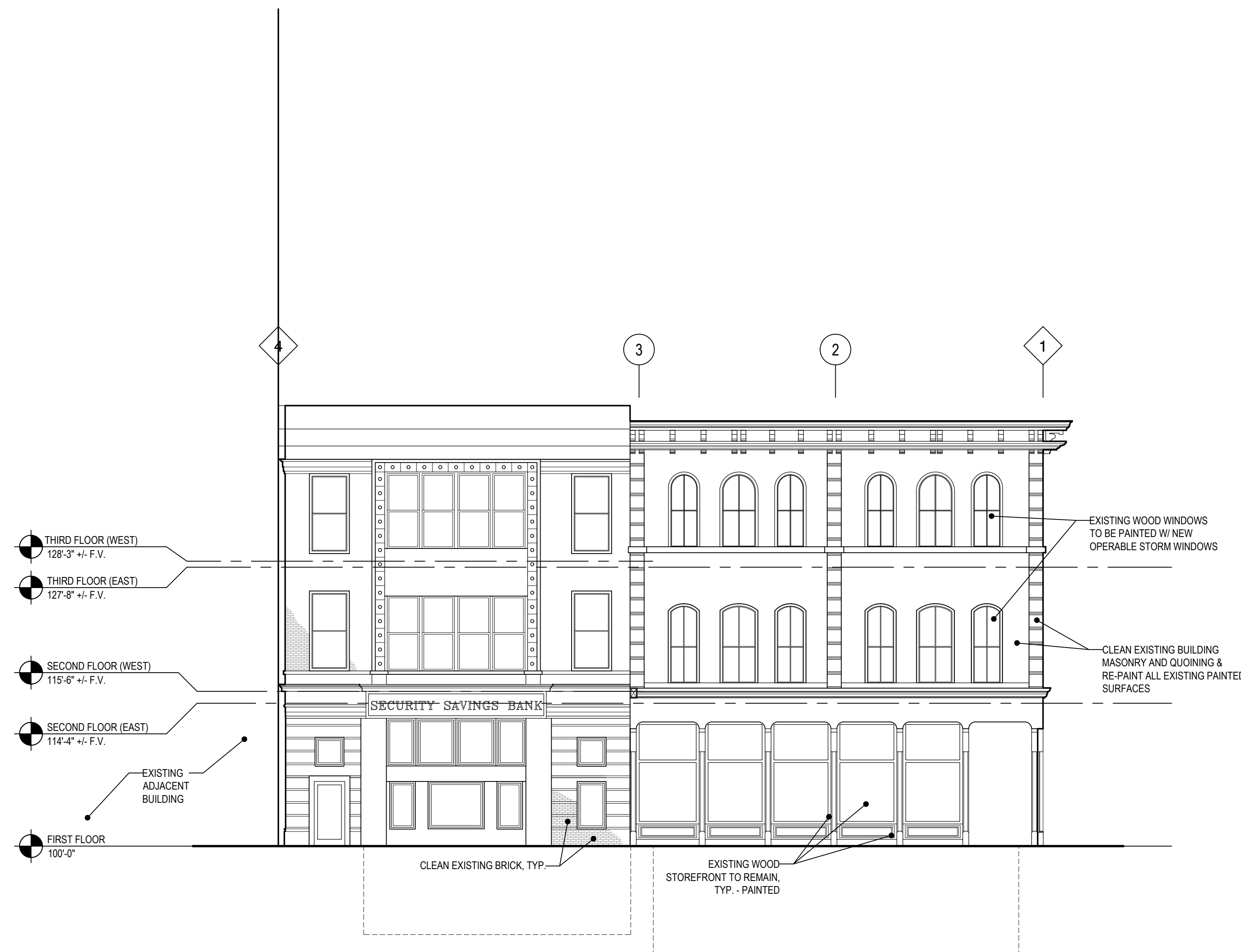
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EXTERIOR ELEVATIONS
A200



EXISTING NORTH ELEVATION
SCALE: 1/8" = 1'-0"

1
A201

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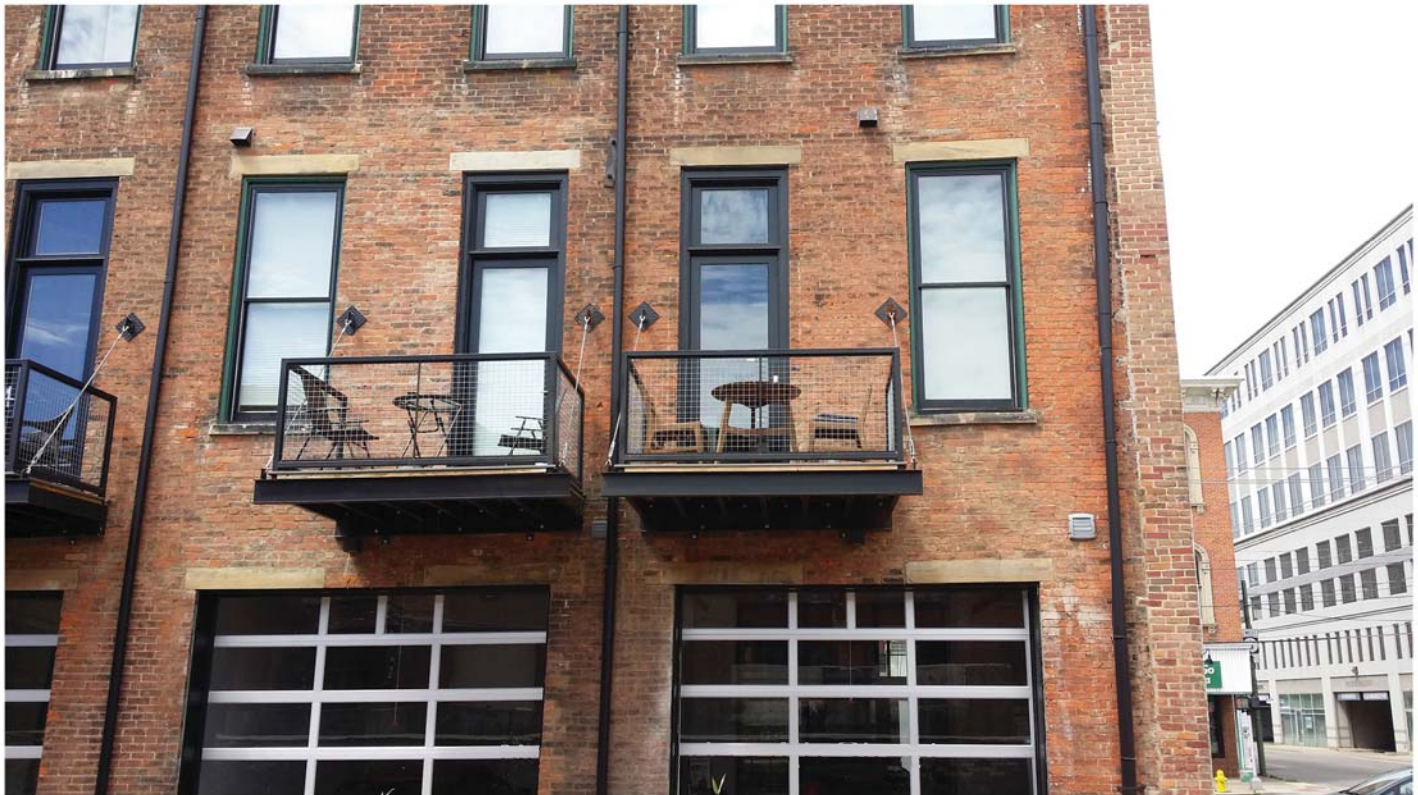
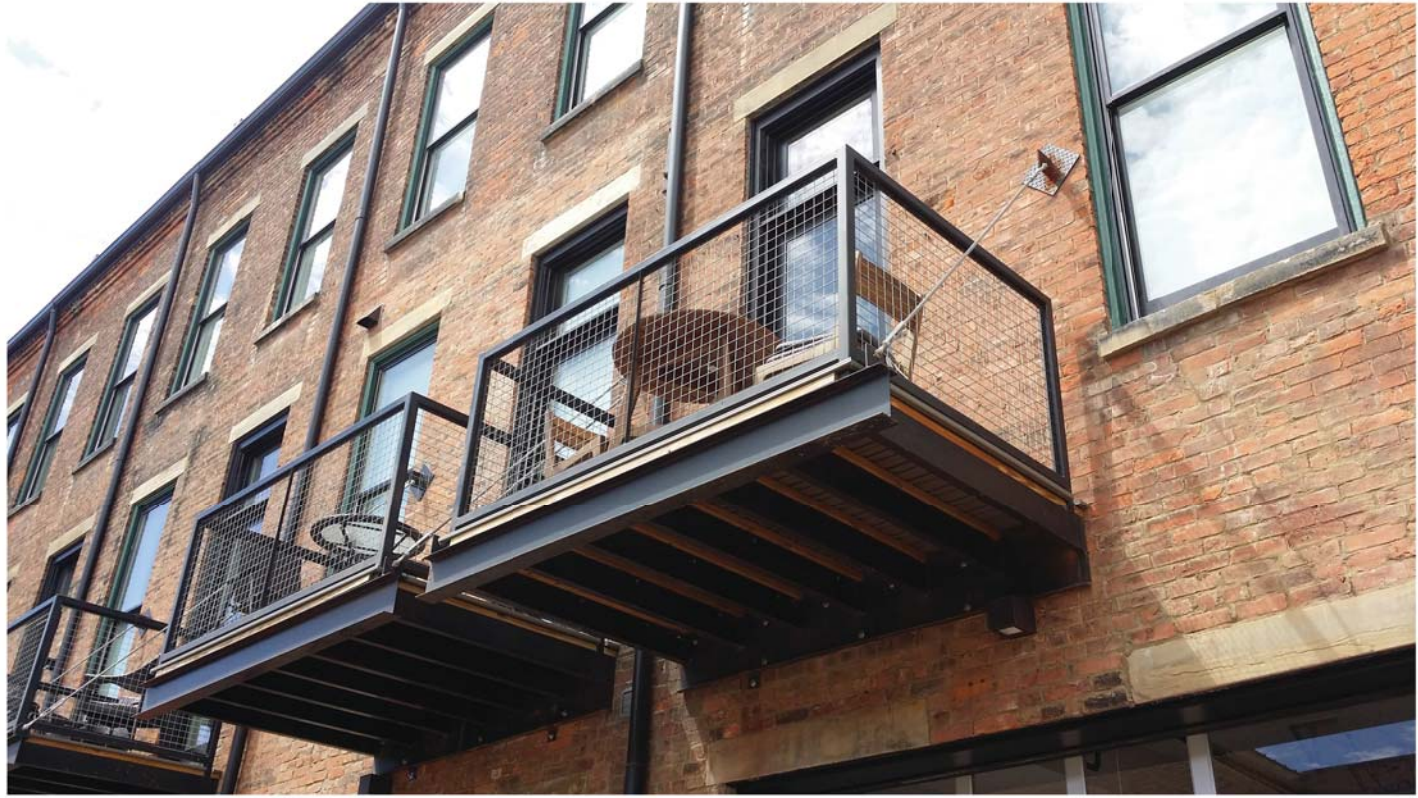
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EXTERIOR ELEVATIONS

A201



East Perspective
300 W 4th Street



Exterior Balcony - Basis of Design
806 Scott Blvd, Covington KY





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WOOD WINDOWS AND PATIO DOORS

415 Plum St.
Window Basis-of-Design



CONTEMPORARY

Seals tight and locks easily.

Architect Series® casement windows feature the SureLock® System that reaches out to pull the window sash against the weatherstripping to form a tight seal against drafts, making them more energy-efficient. Plus, Pella's patented Unison Lock System secures casement and awning windows in two places with a single, easy-to-reach handle.

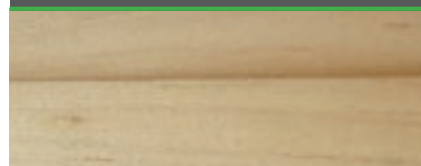


Lasting beauty.

EnduraGuard® wood protection offers advanced protection against the effects of moisture, decay, stains from mold and mildew – as well as termite damage. This proven immersion-treatment method will help ensure that Pella® wood windows and patio doors look and perform beautifully for years.



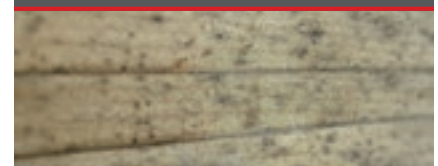
Pella EnduraGuard wood protection.



Pella's casement window after 7 months of exposure to moisture.*



Competitor's pressure-treated wood.



Stain mold present after 7 months of field-testing a competitor's pressure-treated wood.*



The confidence of added protection.

Pella products are backed by some of the strongest warranties in the business. See written limited warranty for details, including exceptions and limitations, at pella.com/warranty.

*For testing purposes, the seal between the bottom rail and the glass was compromised in both casement units tested.

Find your type.

WINDOWS



Casement and Awning Windows

Nothing between you and your view. Open and close with the turn of a handle – great for spots that are difficult to reach.

Years of smooth openings and closings. Stainless steel operating arms and hinges resist rust and corrosion.

More convenient handle design. Fold-away handle won't get in the way of window treatments.

Easier cleaning. Easy-clean wash feature makes it simple to clean the exterior glass from inside your home.



Double-Hung and Single-Hung Windows*

Traditional and practical. The sashes on double- and single-hung windows slide open and closed vertically, providing efficient ventilation.

Years of smooth, easy operation. Our balance systems help ensure your windows will open and close easily for years.

A tight seal against the elements. Pella's cam-action locks pull the sashes against the weatherstripping.

Easier cleaning. Opening sashes tilt in – making it easy to clean the exterior glass from inside your home.



Fixed and Special Shape Windows

Virtually endless design possibilities. Special Shape windows are available in curves and angles to add architectural interest and natural light.*

Create a custom design. Assembling a combination of fixed windows makes a contemporary design statement.

A quality, seamless look. Special Shape windows are available with grille options to match other Pella® windows and doors.

For more information on Pella's window and patio door offering, see your local Pella sales representative or visit:

CHOOSEPELLA.COM/OFFERING



Sliding Patio Doors

A precise fit.

Maximize your floor space with sliding patio doors – since they don't swing, you can place furniture nearby.

Smooth operation for years.

Stainless steel track and adjustable dual rollers allow the panel to glide easily.

Better draft protection.

Pella's unique design on Architect Series® doors puts the sliding panel on the outside. When the wind blows against it, it creates a tighter seal and the screen is protected.



Hinged Patio Doors

Stunning design and functional passages.

Choose from single or double in-swing or out-swing doors.

Extra security.

Pella's advanced multipoint locking system secures the door at the top, middle and bottom for more peace of mind.

Bring the outside in.

Hinged patio doors draw the eye outdoors and highlight your yard, patio or deck.



Scenescape™ Patio Doors*

Expand your horizons.

Our multipanel patio doors accommodate a range of designs that create breathtaking scenic views.

Invite the outdoors in.

Capture a wide-open view with patio door panels that can tuck out of sight within a wall pocket or stack together to blur the lines of indoor and outdoor living.

Transform your room in a breeze.

Lift-and-slide panels are lifted off the track with a turn of the handle, allowing the panels to roll open or closed.

CONTEMPORARY

Ultimate views.





Sleek from sash to frame. Pella® Architect Series® contemporary wood windows and patio doors are the ultimate view of modern style. Products can arrive unfinished; or choose from a wide variety of prefinished paint or stain colors – including Black – to create the sophisticated space you envisioned.



Inside Out

Pella's contemporary offering helps balance exposure to the outside with maintaining comfort inside. Our windows feature expansive glass without compromising on energy efficiency.



Minimalist Finishes

Exclusive, patent-pending hardware enhances the clean, modern look while options like Black stain transform your window into a design statement.

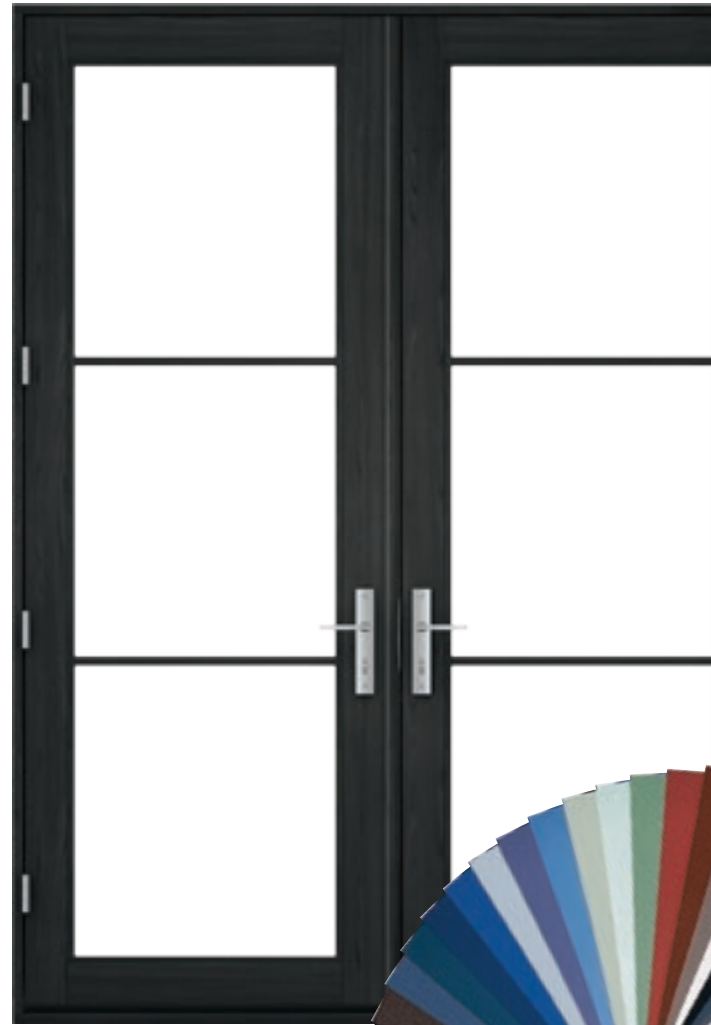
Get more ideas and inspiration:

[CHOOSEPELLA.COM/CONTEMPORARY](https://www.choosepella.com/contemporary)

Imagine the possibilities of wood windows and patio doors. Get the traditional or contemporary look you want by specifying every aspect of your Pella® Architect Series® products. With shapes, sizes, grilles and glass, indulge in your imagination.

A touch of glass.

As with all art, beauty is in the details. And when it comes to Pella's exclusive decorative glass collection, those details start with unique glass types and textures. Then our artisans create exclusive patterns and distinctive coming colors, resulting in glass that delivers unmatched elegance.



Countless exterior colors.

EnduraClad® low-maintenance exterior finish helps keep the exterior of your window or patio door protected from the elements and is fade-resistant. So your windows and patio doors will look great for years.

Beautifully functional hardware.

Our exclusive new selection of window hardware and Baldwin® patio door collaborations were designed to add the perfect finishing touch to your Pella® products. Each traditional or contemporary style is available in a diverse palette of striking finishes – allowing for a personal design statement.

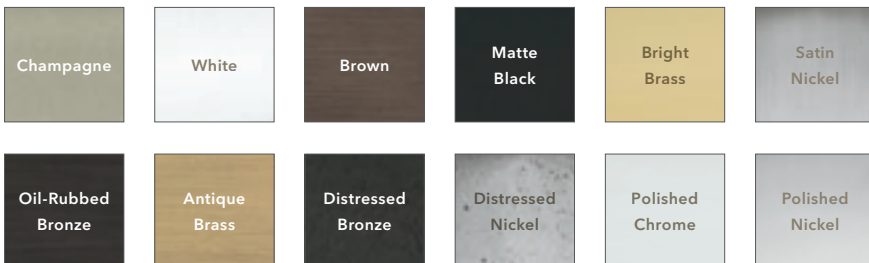
HARDWARE STYLES



Styles from the Essential collection shown.

HARDWARE FINISHES

Pella's hardware is available in a variety of complementary finishes for windows and patio doors to help you curate a cohesive look.



Complement a modern frame.

The sleek design of your Architect Series® contemporary casement window hardware balances the frame's minimalist style with your home's modern aesthetic. And you'll love the convenience of our fold-away cranks.

Complete the look you love.

Architect Series® traditional double-hung windows are available with beautifully detailed historical spoon-style locks and sash lifts.



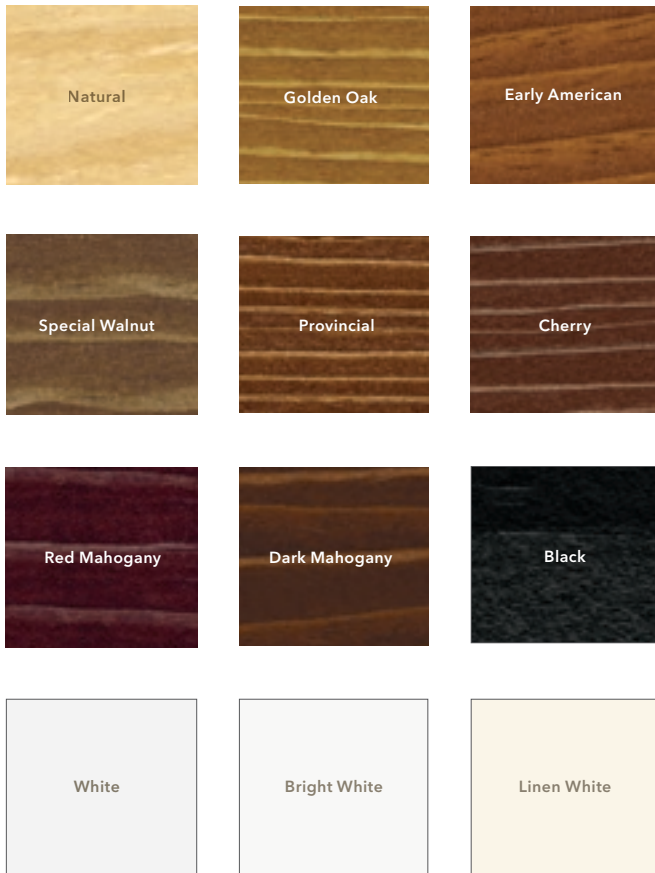
See the entire collection of Pella® wood hardware:

[CHOOSEPELLA.COM/HARDWARE](https://www.choosepella.com/hardware)

Impeccably coordinated.

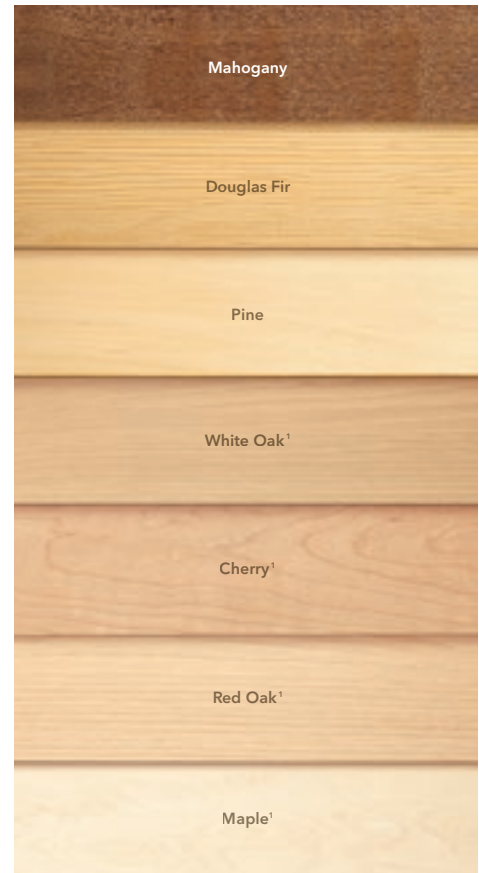
PREFINISHED PINE INTERIORS

Pella's factory finish on the wood interiors of your windows and patio doors gives you instant wow. Choose a stunning stained finish to match the color of other wood in your home or a painted White finish for a fresh, bright look. Also available primed and ready-to-paint.



WOOD TYPES

Your Architect Series® windows or patio doors can be made from your choice of today's most desirable woods – so they'll tastefully complement your home's other interior finishes.



ALUMINUM-CLAD EXTERIORS

Pella's low-maintenance EnduraClad® exterior finish resists fading, so your windows and patio doors stay looking great for years. Take this beauty and durability one step further with Pella EnduraClad Plus² protective finish that provides exceptional weatherability. Plus, Pella offers virtually unlimited custom color options for a unique look.



wood window and patio door DESIGN GUIDE

TRADITIONAL

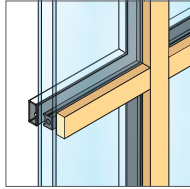
CONTEMPORARY

GRILLES

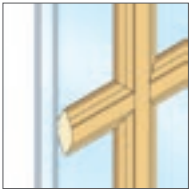
Choose the look of true divided light or grilles-between-the-glass that make cleaning the glass easier.



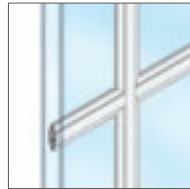
Ogee Integral Light Technology[®] Grilles
2", 1-1/4" or 7/8"



Square Integral Light Technology Grilles
7/8"



Roomside Removable Grilles
2", 1-1/4", 3/4"



Aluminum Grilles-Between-the-Glass
3/4"



Optional interior grille colors with exterior color that matches the EnduraClad[®] color you choose.

ADDED PROTECTION

For additional window fall protection, our Window Opening Control Device (WOCD) is available with optional factory application.⁴ Allowing the window to only open a few inches, the WOCD sits discreetly on the window and is easy to operate.

¹ Available on a custom basis. For more information on wood type availability, contact your local Pella sales representative.

² EnduraClad Plus protective finish is not available with all colors. See your local Pella sales representative for availability.

³ Only available with matching interior and exterior colors.

⁴ Factory-applied WOCD may not be available on all products. See your local Pella sales representative for availability.

GLASS

INSULSHIELD[®] LOW-E GLASS COLLECTION



Advanced Low-E insulating double-pane glass with argon ¹	•	•
AdvancedComfort Low-E insulating double-pane glass with argon ¹	•	•
NaturalSun Low-E insulating double-pane glass with argon ¹	•	•
SunDefense™ Low-E insulating double-pane glass with argon ¹	•	•
Low-E insulating triple-pane glass with argon or krypton ²	•	-

ADDITIONAL GLASS OPTIONS

HurricaneShield [®] products with impact-resistant glass ³	•	•
Laminated (non-impact-resistant) ³ , tinted ^{1,3} or obscure ^{1,3} glass also available on select products	•	•
STC-improved double-pane sound glass ²	•	•

¹ Optional high-altitude InsulShield Low-E glass is available with argon in select products.

² Available on select products only. See your local Pella sales representative for availability.

³ Available with Low-E insulating glass with argon on select products.

INTERIORS

WOOD TYPES

Mahogany, Douglas Fir, Pine, White Oak [†] , Cherry [†] , Red Oak [†] , Maple [†]	•	•
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INTERIOR FINISHES

Unfinished	•	•
Primed, ready-to-paint (Pine)	•	•
Prefinished stain or paint (Pine)	•	•

[†] Available on a custom basis. For more information on wood type availability, contact your local Pella sales representative.

EXTERIORS

EXTERIOR FINISHES

Aluminum-clad with EnduraClad [®] protective finish	•	•
Aluminum-clad with EnduraClad Plus [®] protective finish	•	•
Primed, ready-to-finish (Mahogany or Pine)	•	•
Unfinished (Mahogany)	•	•

EXTERIOR TRIM

EnduraClad factory-applied trim	•	•
---------------------------------	---	---

LOW-MAINTENANCE ENDURA CLAD EXTERIORS

27 standard colors	•	•
Virtually unlimited Custom colors	•	•

[†] EnduraClad Plus is not available in all colors. See your local Pella sales representative for availability.

HARDWARE

HARDWARE STYLE COLLECTIONS

Classic	•	-
Modern	-	•
Rustic	•	-
Essential	•	-

HARDWARE FINISHES*

Champagne, White, Brown, Matte Black, Bright Brass, Satin Nickel or Oil-Rubbed Bronze	•	•
Antique Brass	•	-
Distressed Bronze or Distressed Nickel	•	-
Polished Chrome or Polished Nickel	-	•

* Hardware finish availability may vary by style.

GRILLES

Integral Light Technology [®] grilles (wood roomside and EnduraClad or wood exterior with nonglare spacer between)	•	•
Aluminum grilles-between-the-glass	•	•
Roomside removable grilles	•	-

SCREENS*

Vivid View [®] high-transparency screen (windows only)	•	•
InView™ flat screen	•	•
Rolscreen [®] soft-closing retractable screen (casement windows and sliding patio doors only)	•	-
Self-closing top-hung screen door (sliding patio doors only)	•	•

* ⚠ WARNING: Screen will not stop child or pet from falling out of window or door. Keep child or pet away from open window or door.

(•) Full offering (-) Partial offering

Because we're always working to further refine our products and develop new ones, specifications may change without notice. Actual products may vary slightly from illustrations and photos. See your local Pella sales representative for specific details and options available.



PLUM STREET - STREETSCAPE



PLUM STREET - STREETSCAPE



PLUM STREET - STREETSCAPE



PLUM STREET - STREETSCAPE



PERRY STREET - STREETSCAPE



PERRY STREET - STREETSCAPE



PERRY STREET - STREETSCAPE



PERRY STREET - STREETSCAPE



EAST FACADE - PLUM STREET



SOUTH FACADE / COURTYARD - PLUM STREET



NORTH FACADE - PERRY STREET



NORTH FACADE & RAMP - PERRY STREET

Existing Exterior + Streetscapes 415 Plum Street Townhomes





Southeast Perspective
415 Plum Street



North Facade - 4th Street



Northwest Perspective - 4th Street

Setback Precedent
321 W 4th Street

470

415 Plum St.
Sectional Door
basis-of-design

INSULATED STEEL



INSULATED SECTIONAL STEEL-BACK DOOR



PERFECT FOR COMMERCIAL AND INDUSTRIAL APPLICATIONS WHERE DURABILITY, RELIABILITY AND ENERGY EFFICIENCY ARE ESSENTIAL

- **Solidly Constructed for Reliable Performance**
 - Steel interior backing provides a durable finished appearance
 - Baked-on polyester paint finish eliminates field painting and provides long-lasting protection against the elements
 - Heavy-duty track and hardware are fabricated of high-quality galvanized steel and engineered for precise, trouble-free performance
- **Thermal performance**
 - 2" polystyrene insulation delivers superior 9.83 R-Value*

Field-painted to match brick



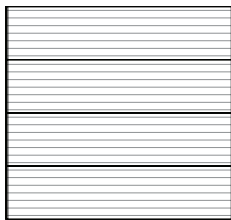
INDUSTRY LEADING
COMMERCIAL & INDUSTRIAL SOLUTIONS

MODEL 470 INSULATED SECTIONAL STEEL-BACK DOOR

Attributes	General specifications
Rugged construction	Three-layer sandwich construction with inner and outer galvanized steel provides durability and reliability
Thermal performance	2" polystyrene insulation delivers superior R-value* of 9.83
Air resistance	Tongue-and-groove joint profile prevents air leakage between sections
Track, springs and hardware	Multiple options for track, springs and hardware available to meet any need: <ul style="list-style-type: none"> – 2" and 3" track available in standard lift, high lift, full-vertical and low headroom options – 10,000 cycle springs standard with high cycle options up to 100,000 cycles – Heavy-duty hardware options available, including 14 gauge commercial leaf end and center hinges
Warranty	10 year delamination; 10 year rust-through; 1 year material & workmanship

*R-value: R-value is a measure of thermal efficiency. The higher the R-value the greater the insulating properties of the door. Overhead Door Corporation uses a calculated door section R-value for our insulated doors.

Panel and glazing options



Ribbed panel



Double Thermal Acrylic (25" w by 12" h)



Insulated DSB (24" w by 7" h)



Clear Short (19" w by 12" h)



Clear Long (42" w by 13" h)

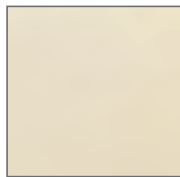
Finish options

Field-painted to match brick

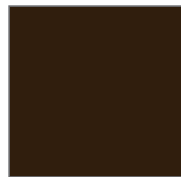
Baked-on, double-coat finish available in:



White



Almond



Brown



Sandstone



Desert Tan

Actual colors may vary from brochure due to fluctuation in the printing process. Always request a color sample from your Overhead Door Distributor for accurate color matching.



INDUSTRY LEADING
COMMERCIAL & INDUSTRIAL SOLUTIONS



2501 S. State Hwy. 121 Bus., Suite 200, Lewisville, TX 75067

1-800-929-DOOR • sales@overhaddoor.com

www.overhaddoor.com



Northeast Perspective
415 Plum Street

FLUSH/REVEAL WALL PANELS

MATERIALS

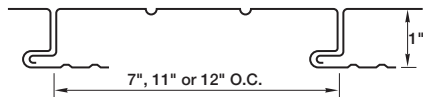
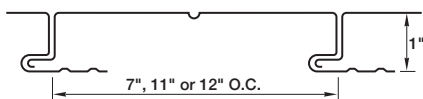
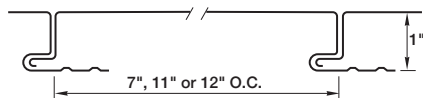
.032 aluminum 24 gauge steel
.040 aluminum* 22 gauge steel*

SPECS

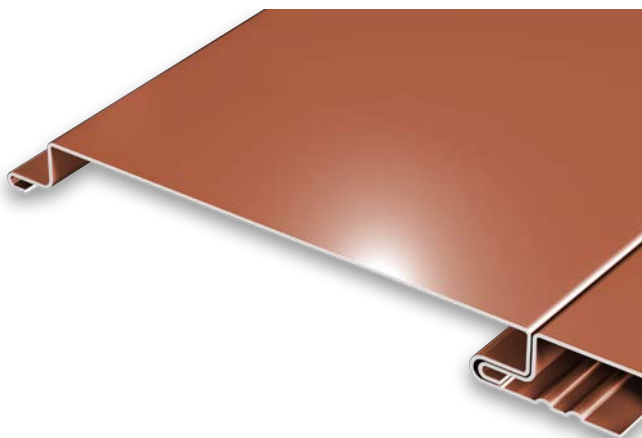
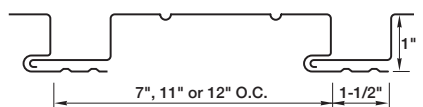
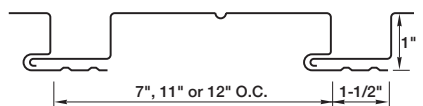
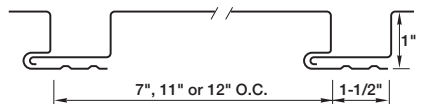
7", 11" or 12" O.C. 1" High

Additional widths available upon request

FLUSH PANEL



REVEAL PANEL



FLUSH PANEL



REVEAL PANEL

PRODUCT FEATURES

- ▶ Corrective leveled for superior flatness
- ▶ Available with up to two stiffener beads
- ▶ Rounded interlock leg provides improved flush fit
- ▶ 30-year non-prorated finish warranty
- ▶ Panel lengths up to 25'

MATERIAL

- ▶ 38 stocked colors (24 gauge steel)
- ▶ 15 stocked colors (22 gauge steel)
- ▶ 36 stocked colors (.032 aluminum)
- ▶ 20 stocked colors (.040 aluminum)
- ▶ Galvalume Plus available

ASTM TESTS

- ▶ ASTM E330 tested - 12' only

FLORIDA BUILDING PRODUCT APPROVALS

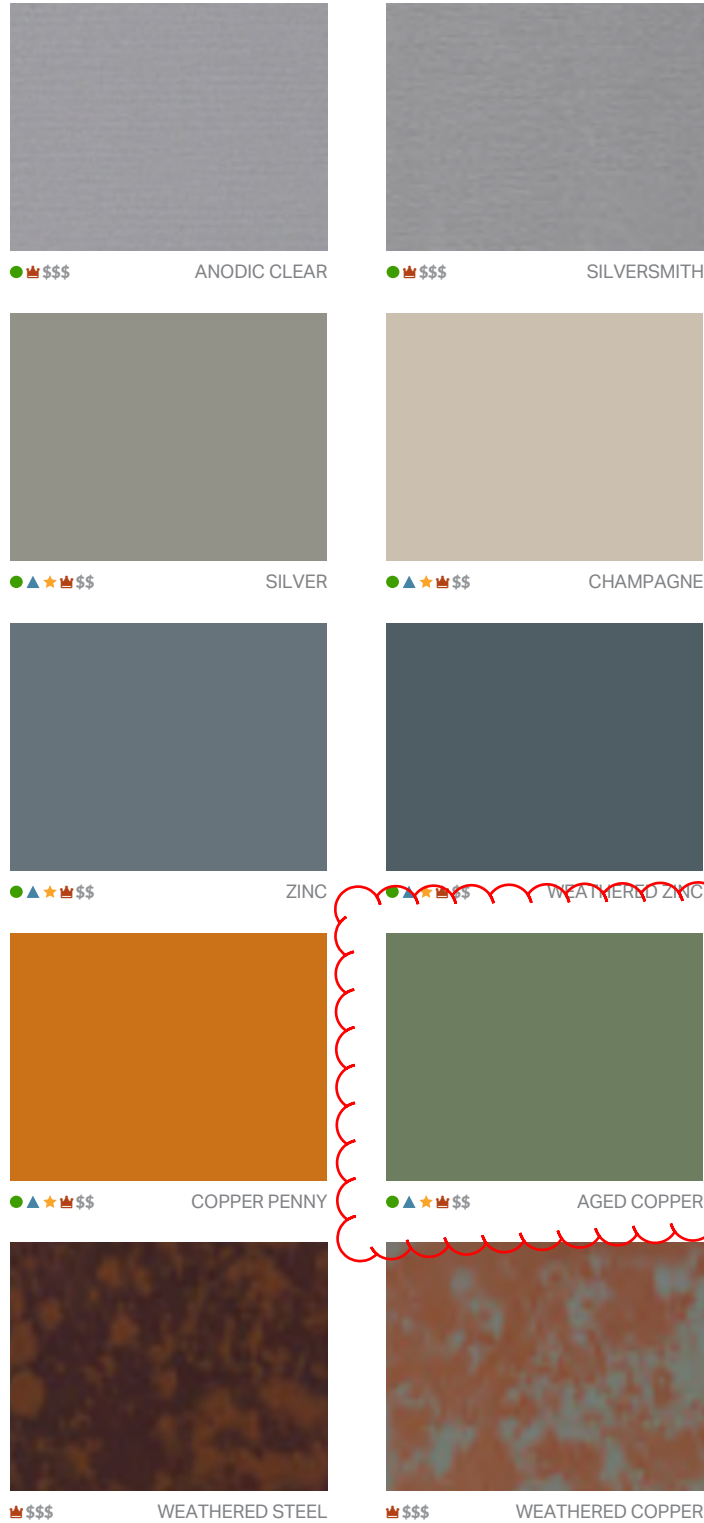
Please refer to pac-clad.com or your local factory for specific product approval numbers for Flush panels.

*Limited color availability. 12" O.C. has reduced fastening flange. A complete specification is available online at pac-clad.com.

Premium Colors

Standard Colors

415 Plum St. - Basis-of-Design



Metal Panel color



Kynar 500® or Hylar 5000® pre-finished steel and aluminum for roofing, curtainwall and storefront applications.



- PAC-CLAD Metallic Colors
- ★ ENERGY STAR® Colors
- ▲ PAC-CLAD Cool Colors
- 👑 Premium Colors

See back for color availability chart.



PAC-CLAD.COM TX: 800 441 8661 MD: 800 344 1400
HQ: 800 PAC CLAD GA: 800 272 4482 MN: 877 571 2025

NOTE: Colors above are not exact representations of actual PAC-CLAD colors. Ask a PAC representative for a color-chip chart or painted metal samples before making final color selection.

PAC-CLAD® Color Availability

PAC-CLAD STANDARD COLORS	REFLECTIVITY	EMISSION	3 YEAR EXPOSURE	SRI	STEEL		ALUMINUM				ENERGY STAR
					24 GA.	22 GA.	.032	.040	.050	.063	
AGED BRONZE	0.29	0.86		29	✓						
ALMOND	0.53	0.87	0.52	62	✓	✓	✓	✓	✓		★
ARCADIA GREEN	0.31	0.88	0.32	32	✓		✓				★
AWARD BLUE					✓		✓		✓		
BERKSHIRE BLUE*	0.26	0.87	0.25	25	✓						★
BONE WHITE	0.67	0.86	0.64	81	✓	✓	✓	✓	✓	✓	★
BURGUNDY					✓		✓		✓		
BURNISHED SLATE	0.32	0.86		33	✓						
CARDINAL RED	0.37	0.86	0.36	39	✓		✓		✓		★
CHARCOAL	0.27	0.87	0.27	27	✓		✓		✓		★
CITYSCAPE	0.44	0.86	0.43	49	✓	✓	✓	✓	✓		★
COLONIAL RED	0.32	0.88	0.32	34	✓		✓	✓	✓		★
DARK BRONZE	0.26	0.85	0.24	24	✓	✓	✓	✓	✓	✓	★
EVERGREEN	0.27	0.86	0.25	26	✓		✓				★
FOREST GREEN					✓	✓	✓	✓	✓		
GRANITE*	0.32	0.87	0.33	33	✓	✓	✓	✓	✓		★
GRAPHITE	0.29	0.86		29	✓						
HARTFORD GREEN	0.29	0.86	0.30	29	✓		✓	✓	✓		
HEMLOCK GREEN	0.29	0.86	0.30	29	✓		✓		✓		★
HUNTER GREEN	0.27	0.86	0.26	26	✓		✓				★
INTERSTATE BLUE					✓		✓		✓		
MANSARD BROWN	0.29	0.86	0.27	29	✓	✓	✓	✓	✓		★
MATTE BLACK					✓		✓	✓	✓	✓	
MEDIUM BRONZE	0.26	0.88	0.25	26	✓	✓	✓	✓	✓	✓	★
MIDNIGHT BRONZE	0.06	0.88		0	✓			✓			
MILITARY BLUE	0.29	0.87	0.28	29	✓		✓				★
MUSKET GRAY	0.31	0.87	0.30	32	✓	✓	✓		✓		★
PATINA GREEN	0.33	0.86	0.32	34	✓		✓				★
SANDSTONE	0.49	0.87	0.49	56	✓	✓	✓	✓	✓	✓	★
SIERRA TAN	0.36	0.87	0.36	39	✓	✓	✓	✓	✓		★
SLATE BLUE	0.25	0.87	0.24	24	✓		✓				★
SLATE GRAY	0.37	0.88	0.36	40	✓	✓	✓	✓	✓		★
STONE WHITE	0.64	0.87	0.61	77	✓	✓	✓	✓	✓	✓	★
TEAL	0.26	0.87	0.26	25	✓		✓				★
TERRA COTTA	0.36	0.88	0.35	39	✓		✓		✓		★
PAC-CLAD PREMIUM COLORS											
AGED COPPER	0.26	0.87	0.25	25	✓		✓		✓		★
ANODIC CLEAR	0.54	0.81		61				✓			
CHAMPAGNE	0.40	0.82	0.36	42	✓		✓	✓	✓		★
COPPER PENNY	0.47	0.87	0.44	53	✓		✓	✓	✓		★
SILVER	0.49	0.81	0.46	54	✓	✓	✓	✓	✓		★
SILVERSMITH	0.53	0.81		60				✓			
WEATHERED COPPER					✓						
WEATHERED STEEL					✓						
WEATHERED ZINC	0.26	0.82	0.23	23	✓	✓	✓		✓		★
ZINC	0.33	0.88	0.32	35	✓		✓	✓	✓		★
CLEAR-COAT ACRYLIC FINISH (NON-KYNAR)											
GALVALUME PLUS	0.68	0.14	0.55	57	✓	✓					★

PAC-CLAD Metallic finishes are available from stock at a moderate extra cost. PAC-CLAD Copper Penny is a Non-Weathering finish. Solar Reflectance Index calculated according to ASTM E-1980.

*Low Gloss/Low Sheen, full 70% PVDF finish

ENERGY STAR PERFORMANCE CRITERIA:

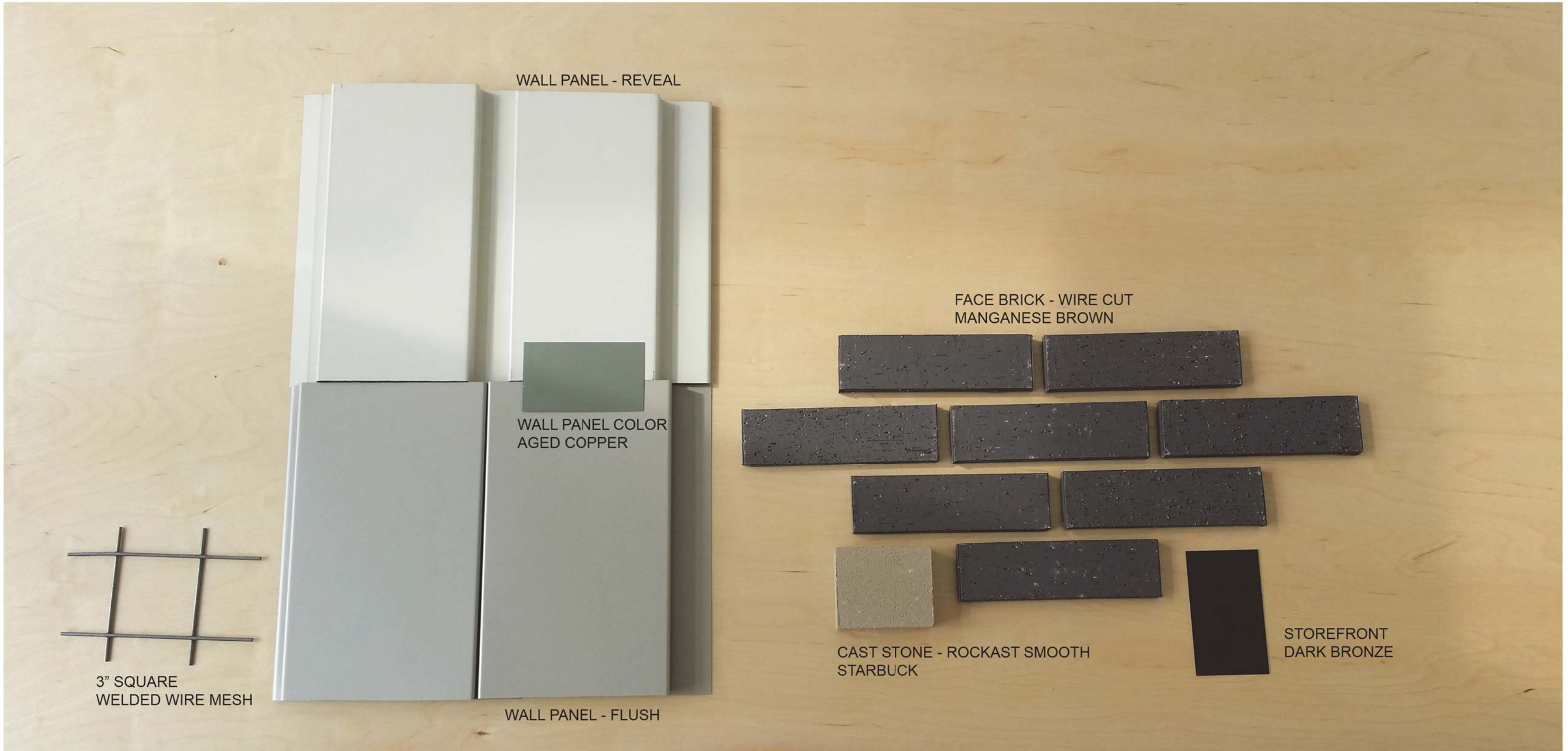
Emissivity uses ASTM C1371 Reflectivity uses ASTM C1549.

TECHNICAL DATA FOR KYNAR 500/HYLAR 5000 COATING:

- ▶ South Florida Exposure: Color (ASTM D 2244) - No more than 5ΔE Hunter units at 20 years; Chalk (ASTM D 4214) - Rating no less than 8 at 20 years; Film integrity - 20 years.
- ▶ Accelerated Weathering (ASTM D 4587, ASTM G 154): 5000 Hours, QUV-A, 340 NM Bulb - Chalk, per ASTM D 4214, rating of 6 or better; Color, per ASTM D 2244, < 5ΔE (Hunter Units) color change.

- ▶ Humidity Resistance (ASTM D 2247): Galvalume or HDG, 100% RH, 2000 hours - No field blisters; Aluminum, 100% RH, 3000 hours - No field blisters
- ▶ Salt Spray Resistance (ASTM B 117): Aluminum, 3000 hours, Galvalume or HDG, 1000 hours - Creep from scribe no more than 1/16", no field blisters
- ▶ Chemical/Acid Pollution Resistance (ASTM D 1308): Pass
- ▶ T-Bend (ASTM D 4145): 1T - 3T with no loss of adhesion
- ▶ Pencil hardness (ASTM D 3363): HB - 2B
- ▶ Specular Gloss (ASTM D 523) @ 60 degrees: Typical - 20 - 35

- ▶ Abrasion Resistance (ASTM D 968): 80 +/- 10 liters
- ▶ Cross Hatch Adhesion (ASTM D 3359): No loss of adhesion
- ▶ Reverse Impact (ASTM D 2794): Galvalume or HDG, 2x metal thickness inch-pounds, no loss of adhesion; Aluminum, 1.5x metal thickness inch-pounds, no loss of adhesion
- ▶ Flame Test (ASTM E 84): Class A Coating
- ▶ Water Immersion (ASTM D 870): 500 hours, 100 degrees, no loss of adhesion



WALL PANEL - REVEAL

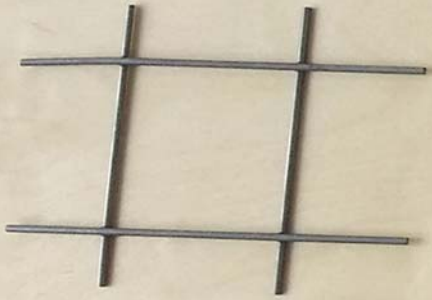
WALL PANEL COLOR
AGED COPPER

WALL PANEL - FLUSH

FACE BRICK - WIRE CUT
MANGANESE BROWN

CAST STONE - ROCKAST SMOOTH
STARBUCK

STOREFRONT
DARK BRONZE



3" SQUARE
WELDED WIRE MESH

Proposed Materials
415 Plum Townhomes



415 Plum St.
Brick basis-of-design

FACE BRICK - BUFFS AND GREYS



Golden Buff



Light Grey Blend



Grey Blend



Light Sandstone



Dark Sandstone



Manganese Brown

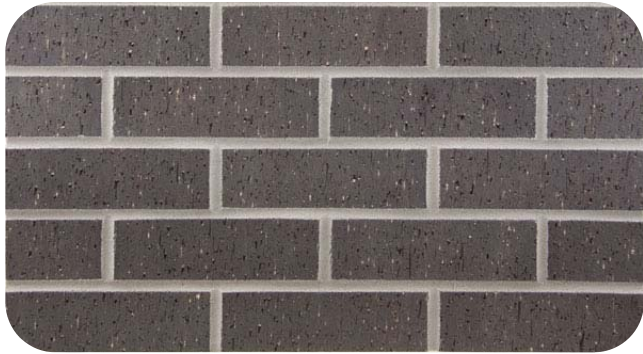


Tuscan Grey



Grey Heritage W/Black

MANGANESE BROWN



VELOUR

Available Sizes

Modular
Norman
2-5/8" Kingsize
Kingsize
Closure
Utility
Triple

Available Textures

Velour
Smooth
Matt
Vertical Score

Colors, textures, and sizes featured in this color catalog may not be available in all combinations, contact Endicott or your distributor for further information.

Due to variances in the graphic display of devices and reproduction in printers, colors may vary. Final color selections should be made from a key panel or mock up.

415 Plum St. Cast Stone basis-of-design

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MY REGION

[Cincinnati / Dayton / NKY](#)

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Like 0

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Related Products



[\(/products/architectural-stone/rockcast-modular-veneer-units/rockcast-split\)](/products/architectural-stone/rockcast-modular-veneer-units/rockcast-split)



[\(/products/architectural-stone/rockcast-modular-veneer-units/rockcast-chiseled\)](/products/architectural-stone/rockcast-modular-veneer-units/rockcast-chiseled)

[< ROCKCAST MODULAR VENEER UNITS \(/PRODUCTS/ROCKCAST-ARCHITECTURAL-STONE/ROCKCAST-MODULAR-VENEER-UNITS\)](/products/rockcast-architectural-stone/rockcast-modular-veneer-units)

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RockCast Smooth



Superior Quality, Super Fast.

The RockCast Architectural Masonry Veneer Series is a superior-quality, highly durable architectural stone product that can be used at or below grade for the best performance. The product exceeds ASTM test specification C90 and was the first product of its kind to be manufactured on a machine.

The exceptional product is simple to install using standard masonry practices. Produced with an integral water repellent (IWR), the Architectural Masonry Veneer Series requires little maintenance and is easy to clean.

Through the Ready Service Program, many Buffstone items are in stock and available today! Our additional 21 standard colors (monotone & blends) are available in 3-6 weeks depending on the service program you select. Reading Rock's RockCast architectural stone products offer the most comprehensive color and delivery options in the industry.

A Variety of Designs

The Architectural Masonry Veneer Series is available in eight standard shapes and a variety of textures. Reading Rock specializes in creating custom colors and is experienced in matching our RockCast architectural stone products to compliment existing materials on site. Our manufacturing capabilities provide customers with unlimited color solutions that are sure to meet any design requirement.

Our Process

The best way to ensure quality is to control each step of the process. We maintain product excellence by executing all the following steps with our own quality-focused team:

- **Sales:** Every member of the RockCast team is dedicated to your project and is capable of assisting you at every state of your project.
- **Manufacturing:** From initial examination of raw materials, to the complete manufacturing process, our experienced staff monitors your project every step of the way.
- **Kiln Cured:** Pieces are placed into a kiln with 100% humidity and 100 degree heat for up to 12 hours then yard cured for a minimum of three days.
- **Packaged & Shipped:** Each order is palletized, shrink-wrapped and labeled for shipment to the yard or job site.
- **Distribution:** We emphasize perfection during throughout our process to deliver the right products, on time, every time.

[Options](#)

[Installation](#)

[Information Downloads](#)

Colors:



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Brownstone



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Buffstone



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Charlotte Tan



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Clay



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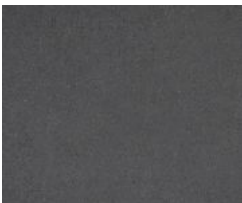
Creme Buff



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Crystal White



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Shadow



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Light Grey



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Merlot



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Riesling



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Smokehouse



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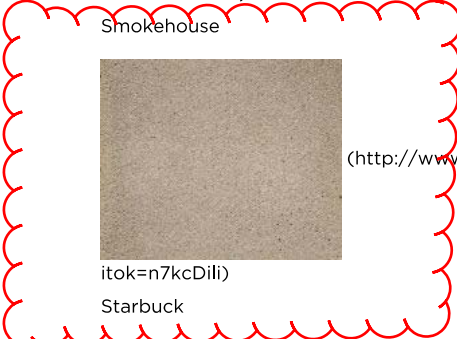
Starbuck



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Bur Ridge





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B3rCCV)
Commonwealth



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Flax



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Golden Sky



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Lily White



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Old Ohio



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itok=fPvQJj8_)
Savannah



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Slate



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itok=Vp05ipH_)

Smoke Gray



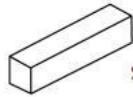
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itok=d1_YvSTX)

Wheatstone

Shapes:

(D) $3\frac{5}{8}$ " x (H) $3\frac{5}{8}$ " x (L) $11\frac{5}{8}$ "



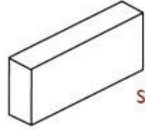
Smooth ST412

(D) $3\frac{5}{8}$ " x (H) $3\frac{5}{8}$ " x (L) $23\frac{5}{8}$ "



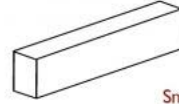
Smooth ST004

(D) $3\frac{5}{8}$ " x (H) $7\frac{5}{8}$ " x (L) $15\frac{5}{8}$ "



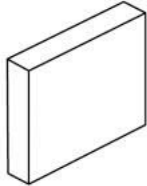
Smooth ST015

(D) $3\frac{5}{8}$ " x (H) $7\frac{5}{8}$ " x (L) $23\frac{5}{8}$ "



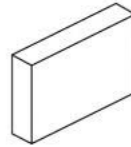
Smooth ST005

(D) $3\frac{5}{8}$ " x (H) $15\frac{5}{8}$ " x (L) $17\frac{5}{8}$ "



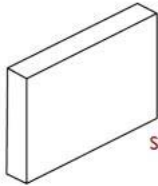
Smooth ST1618

(D) $3\frac{5}{8}$ " x (H) $11\frac{5}{8}$ " x (L) $15\frac{5}{8}$ "



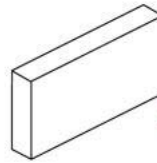
Smooth ST013

(D) $3\frac{5}{8}$ " x (H) $15\frac{5}{8}$ " x (L) $23\frac{5}{8}$ "



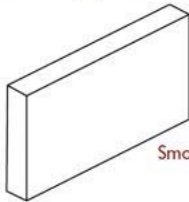
Smooth ST001

(D) $3\frac{5}{8}$ " x (H) $11\frac{5}{8}$ " x (L) $23\frac{5}{8}$ "



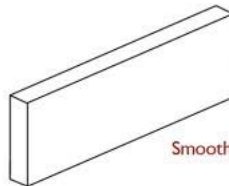
Smooth ST003

(D) $3\frac{5}{8}$ " x (H) $15\frac{5}{8}$ " x (L) $31\frac{5}{8}$ "



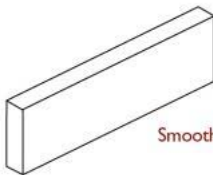
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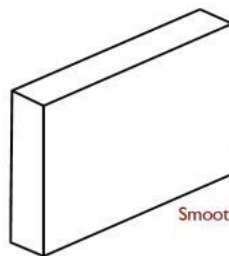
Smooth ST1648

(D) $3\frac{5}{8}$ " x (H) $11\frac{5}{8}$ " x (L) $47\frac{5}{8}$ "



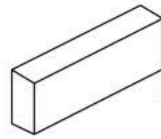
Smooth ST1248

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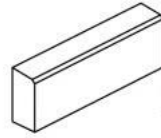


Smooth ST2436

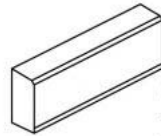
(D) 4 $\frac{5}{8}$ " x (H) 7 $\frac{5}{8}$ " x (L) 23 $\frac{5}{8}$ "



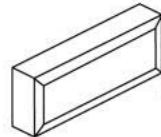
Smooth ST025



Smooth ST525
with 1" x 1" single
sided chamfer

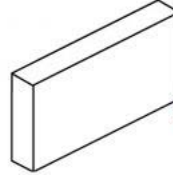


Smooth ST625
with 1" x 1" double
sided chamfer

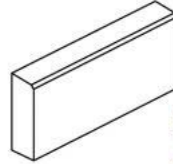


Smooth ST425

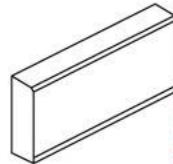
(D) 4 $\frac{5}{8}$ " x (H) 11 $\frac{5}{8}$ " x (L) 23 $\frac{5}{8}$ "



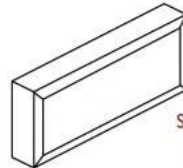
Smooth ST023



Smooth ST523
with 1" x 1" single
sided chamfer



Smooth ST623
with 1" x 1" double
sided chamfer



Smooth ST423

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> YES 40 FS/FI

Outside Glazed Storefront Systems

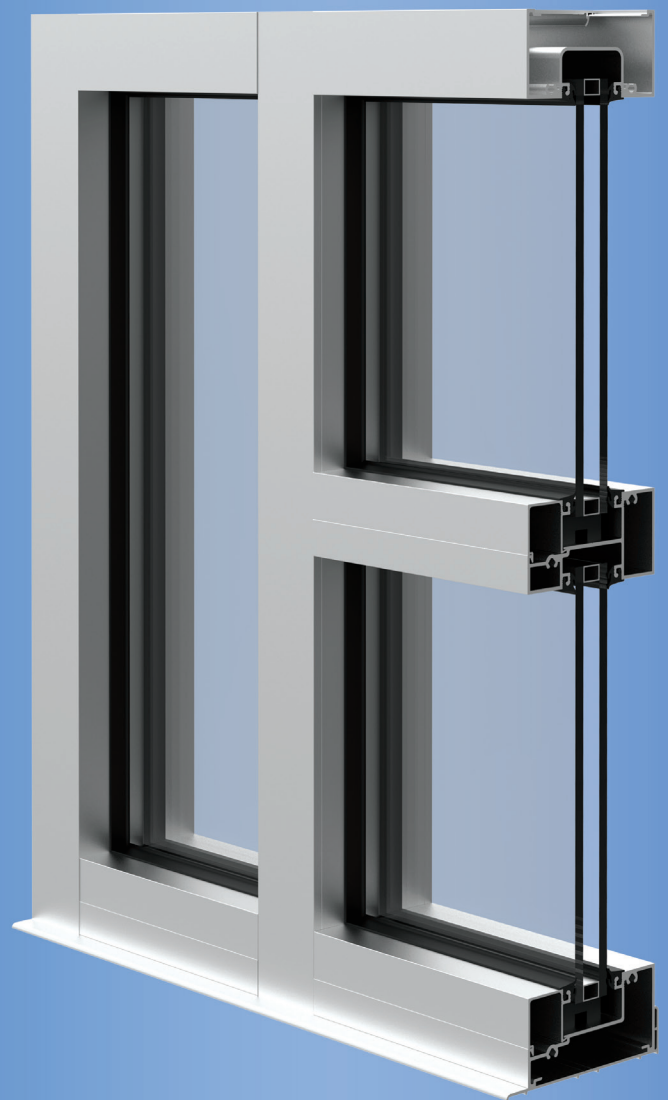
415 Plum St.
Alum storefront basis-of-design

SYSTEM DESCRIPTION:

YES 40 FS (1-3/4" x 4") is a center set, flush glazed framing systems designed primarily for 1/4" glass or infill panels 1/4" to 3/8" thick. YES 40 FI (2" x 4") is a center set, flush glazed framing system developed for 1" insulating glass and other types of infill panels of varying thicknesses. Both systems will accommodate YKK AP's hinged mullion, as well as our flexible mullion; these mullions allow more creative freedom where curves and angles become a functional part of the design.

OPTIONS & FEATURES:

- Outside Glazed
- Screw Spline or Shear Block Assembly
- Gasket With Stretch-Resistant Cord
- Integral Entrance Door Frames
- Enhanced Water Infiltration Resistance



> YES 40 FS/FI

Outside Glazed Storefront Systems Specifications

1.01 SUMMARY

- A. Section Includes: Aluminum Storefront Systems
 - 1. YKK AP Series YES 40 FS Storefront System (Monolithic Glazing)
 - 2. YKK AP Series YES 40 FI Storefront System (Insulated Glazing)
- B. Related Sections:
 - 1. Sealants: Refer to Division 7 Joint Treatment Section for sealant requirements.
 - 2. Glass and Glazing: Refer to Division 8 Glass and Glazing Section for glass and glazing requirements.

1.02 SYSTEM DESCRIPTION

- A. Performance Requirements: Provide aluminum storefront systems that comply with performance requirements indicated, as demonstrated by testing manufacturer's assemblies in accordance with test method indicated.
 - 1. Air Infiltration: When tested in accordance with ASTM E 283 at differential static pressure of 6.24 PSF (299 Pa), completed storefront systems shall have maximum allowable infiltration of:
 - a. 0.06 CFM/FT² (1.10 m³/h·m²) for YES 40 FS systems.
 - b. 0.06 CFM/FT² (1.10 m³/h·m²) for YES 40 FI systems.
 - 2. Water Infiltration: No uncontrolled water when tested in accordance with ASTM E 331 at test pressure differential of:
 - a. 10 PSF (479 Pa) for YES 40 FS systems.
 - b. 10 PSF (479 Pa) for YES 40 FI systems.(or when required, field tested in accordance with AAMA 503). Fastener Heads must be seated and sealed against Sill Flashing on any fasteners that penetrate through the Sill Flashing.
 - 3. Wind Loads: Completed storefront system shall withstand wind pressure loads normal to wall plane indicated:
 - a. Exterior Walls:
 - 1) Positive Pressure:
 - 2) Negative Pressure:
 - b. Interior Walls (Pressure Acting in Either Direction):
 - 4. Deflection: Maximum allowable deflection in any member when tested in accordance with ASTM E 330 with allowable stress in accordance with AA Specifications for Aluminum Structures.
 - a. Without Horizontals: L/175 or 3/4" (19.1mm) maximum.
 - b. With Horizontals: L/175 or L/240 + 1/4" (6.4mm) for spans greater than 13'-6" (4.1m) but less than 40'-0" (12.2m).
 - 5. Thermal Movement: Provide for thermal movement caused by 180 degrees F. (82.2 degrees C.) surface temperature, without causing buckling stresses on glass, joint seal failure, undue stress on structural elements, damaging loads on fasteners, reduction of performance, or detrimental effects

2.01 MANUFACTURERS

- A. Acceptable Manufacturers: YKK AP America Inc.
 - 1. Storefront System: YKK AP YES 40 FS Storefront System.
 - 2. Storefront System: YKK AP YES 40 FI Storefront System.
- B. Storefront Framing System:
 - 1. Description: Center rabbet, exterior flush glazed; jambs and vertical mullions continuous; head, sill, intermediate horizontal attached by screw spline joinery.
 - 2. Components: Manufacturer's standard extruded aluminum expansion mullions, 0–15 degree hinged mullions, 90 degree corner posts, flexible corner posts, three way corner post, 93–170 degree flexible corner posts, entrance door framing, and indicated shapes.

2.02 MATERIALS

- A. Extrusions: ASTM B 221 (ASTM B 221M), 6063-T5 Aluminum Alloy.

2.03 ACCESSORIES

- A. Manufacturer's Standard Accessories:
 - 1. Fasteners: Zinc plated steel concealed fasteners; Hardened aluminum alloys or AISI 300 series stainless steel exposed fasteners, countersunk, finish to match aluminum color.
 - 2. Sealant: Non-skinning type, AAMA 803.3
 - 3. Glazing: Setting blocks, edge blocks, and spacers in accordance with ASTM C 864, shore durometer hardness as recommended by manufacturer; Glazing gaskets in accordance with ASTM C 864.

2.06 FINISHES

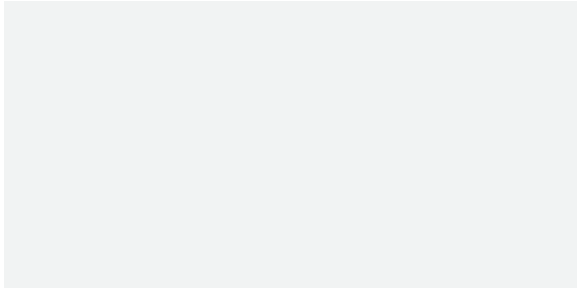
- A. Anodic Coating: Electrolytic color coating followed by an organic seal applied in accordance with the requirements of AAMA 612.
- B. High Performance Organic Coating Finish: Type Factory applied two-coat 70% Kynar resin by Arkema or 70% Hylar resin by Solvay Solexis, fluoropolymer based coating system, Polyvinylidene Fluoride (PVF-2), applied in accordance with YKK AP procedures and meeting AAMA 2605 specifications.

For additional information on architectural aluminum products offered by YKK AP America Inc. visit our web site at www.ykkap.com.

YKK AP Anodized Plus®



Standard Matte Finish



*YS1N Clear



YH3N Champagne



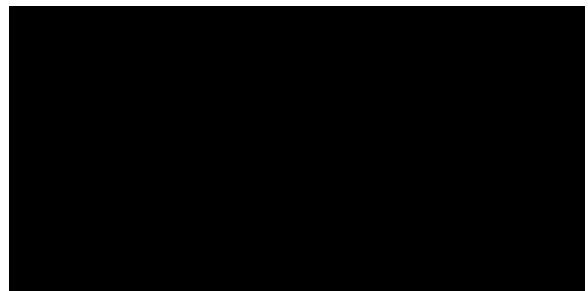
YB1N Medium Bronze



*YB5N Dark Bronze



*YW3N White



*YK1N Black

**Normally in stock for quick delivery, consult your local YKK AP Service Center for availability.*

The color samples shown on this page are reproduced as closely as possible to the actual YKK AP Anodized Plus® colors and are to be used only as a guide. For actual anodized aluminum samples contact your local YKK AP sales representative at 1-800-955-9551 or www.ykkap.com.

Anodized Plus® is a registered trademark of YKK AP America Inc.

What is Anodized Plus®? It is more innovation from YKK AP. Anodized Plus provides a unique protective seal on anodic finishes. Its anodic coating combined with an organic seal offers the dual benefits of enhanced durability and resistance to staining and degradation.

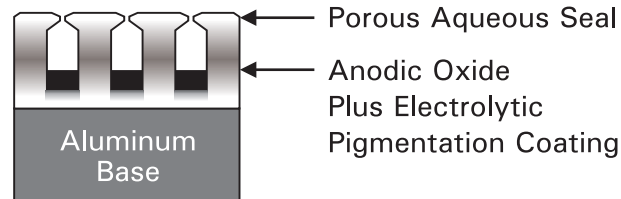
Conventional anodic coatings rely on hot water or steam sealing to close the porous anodic layer; however, it is not possible to close every pore using this process. YKK AP Anodized Plus replaces the conventional sealing process with a unique non-aqueous, electrodeposited organic seal that provides complete protection for the anodic oxide and the pigmentation coating.

YKK AP controls every step in the manufacturing process under one roof. To ensure the quality and the integrity of the aluminum alloy we cast our own aluminum logs for extrusion. Our method of electrolytic coloring by vertical immersion provides unmatched color consistency and eliminates the need for color range samples. The colors available are white, black, clear, champagne, medium and dark bronze.

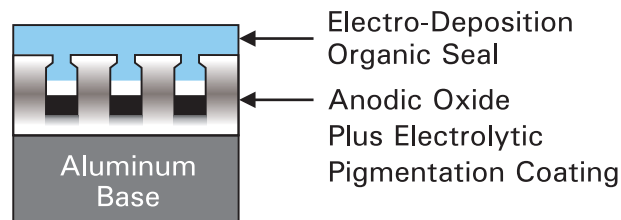
YKK AP Anodized Plus meets all of the requirements for the newest standard for anodized finishes, AAMA 612. To ensure that the anodized finish on your next project meets your aesthetic requirements and stands up to chemicals commonly found on construction sites and harsh environments specify AAMA 612 — specify YKK AP Anodized Plus.

Conventional Anodized VS. YKK Anodized Plus®

Conventional Anodized Finish



YKK Anodized Plus® Finish

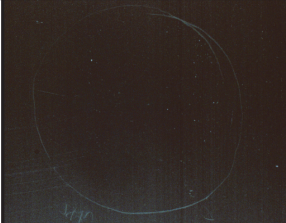
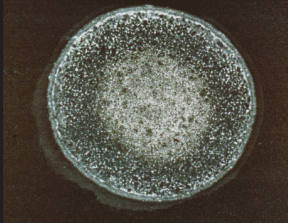




The synergistic effects of this new aluminum finish result in important advantages:

- ◆ Increased resistance to chemical corrosion.
- ◆ Superior color and gloss retention.
- ◆ Enhanced protection of aluminum substrate.
- ◆ 10 Year Warranty on YS1N (Clear), YH3N (Champagne), YB1N (Med. Bronze), YB5N (Dk. Bronze) & YK1N (Black).

See YKK AP Anodized Plus brochure for more information.

Mortar Resistance & CASS Corrosion Resistance Test

	YKK AP Anodized Plus®	Standard Anodized Coating
Mortar Resistance AAMA 2605 (24 Hour Pat Test)		
CASS Corrosion Resistance ASTM B368 (CASS 240 Hours)		

This brochure is intended for product information only. Contents are subject to change without notice and should not be construed as representations or warranties.

415 PLUM STREET TOWNHOMES

415 PLUM STREET
CINCINNATI, OH 45202

#	ISSUE	DATE
	HISTORIC CB APPLICATION	03/31/2017
	PREDEVELOPMENT MEETING	04/11/2017
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GENERAL NOTES

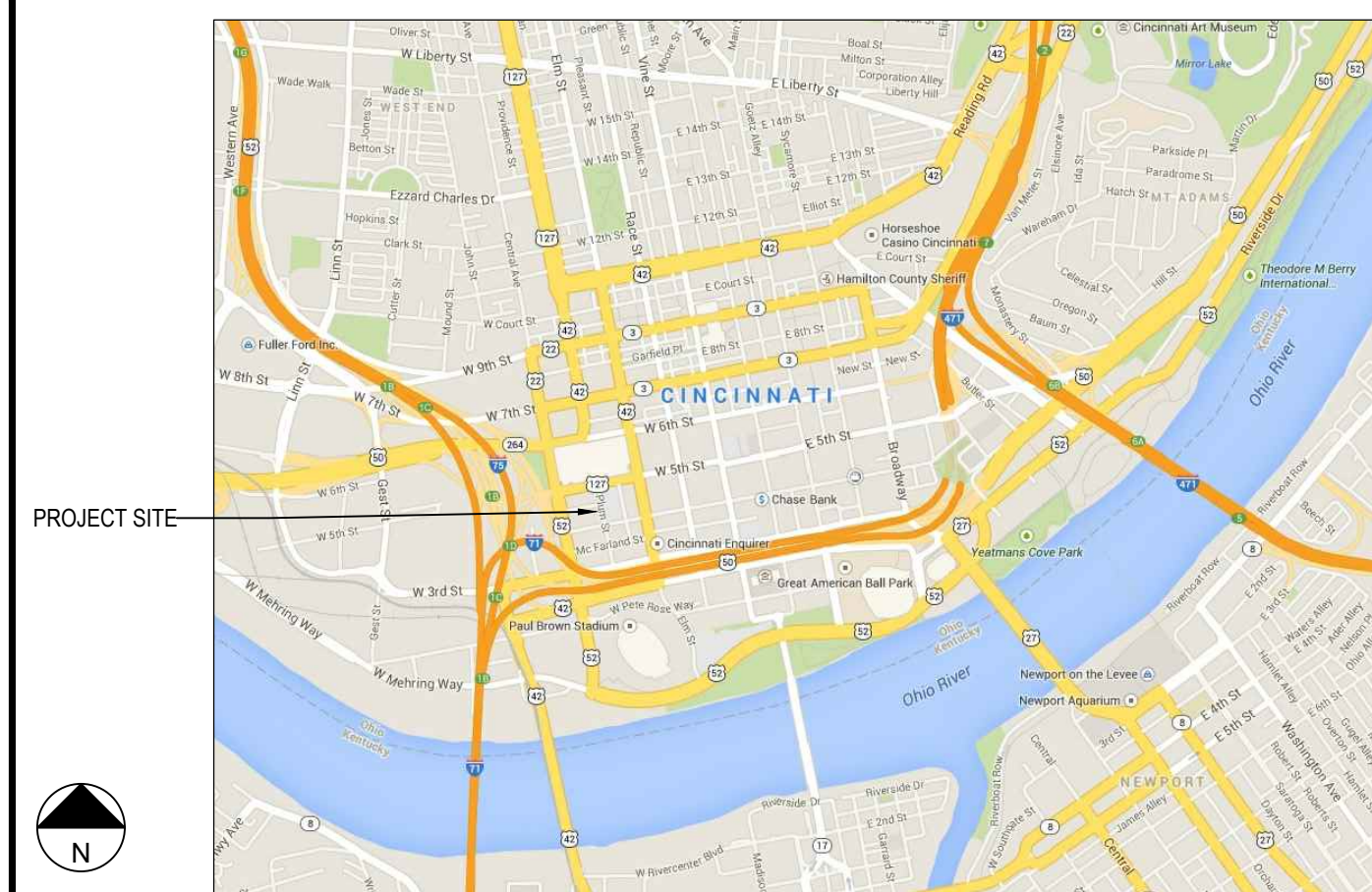
- ALL WORK SHALL CONFORM TO THE APPLICABLE BUILDING CODES, INCLUDING ACCESSIBILITY GUIDELINES.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ALL DISCREPANCIES, OMISSIONS AND CONFLICTS BEFORE BIDDING.
- DO NOT SCALE DRAWINGS - DIMENSIONS ON DRAWINGS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- INDICATED DIMENSIONS ARE FROM COLUMN C.L., FACE OF STUD, OR FACE OF MASONRY UNLESS NOTED OTHERWISE.
- WALL AND CEILING ASSEMBLIES THAT ARE IDENTIFIED WITH A FIRE RESISTIVE RATING SHALL BE CONSTRUCTED PER MANUFACTURER'S SPECIFICATIONS AND THE REQUIREMENTS OF ALL APPLICABLE CODES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE BRACING AND BLOCKING OF ALL WALLS RECEIVING MILLWORK, SHELVING, ETC. AND ANY MISCELLANEOUS WOOD BLOCKING. ALL WOOD BLOCKING TO BE TREATED WITH FIRE RETARDANT CHEMICALS BY A PRESSURE-IMPREGNATION PROCESS OR OTHER METHODS WHICH TREAT THE MATERIAL THROUGHOUT. THE MATERIAL SHALL BEAR ALL REQUIRED RATINGS AND MATERIAL STAMPS. ALL FIRE RETARDANT BLOCKING TO BE IN CONTACT WITH METAL TO BE PRIMED PRIOR TO INSTALLATION.
- ALL FLOORS SHALL BE LEVEL AND FREE OF IRREGULARITIES TO ASSURE CONSISTENT FLOOR HEIGHT.
- ALL CONTRACTORS ARE RESPONSIBLE FOR LAYING OUT EQUIPMENT PLANS TO AVOID INTERFERENCES BETWEEN BUILDING COMPONENTS AND WORK BY OTHERS.
- ALL OPENINGS IN FIRE-RATED WALLS, INCLUDING THOSE FOR DUCTS, CONDUIT, PIPING, ETC. MUST BE FILLED WITH APPROVED MATERIALS TO MAINTAIN THE FIRE-RATING CONTINUITY OF THE WALL CONSTRUCTION, INCLUDING FIRE DAMPERS FOR DUCTS AND FLENUM SYSTEMS.
- GYPSUM BOARD CONTROL JOINTS SHALL BE PROVIDED IN ACCORDANCE WITH RECOMMENDED PRACTICES OF THE UNITED STATES GYPSUM ASSOCIATION AND / OR AS INDICATED.
- ALL OPENINGS IN FLOOR SLABS AND ROOF, INCLUDING THOSE FOR DUCTS, CONDUIT, PIPING, ETC. (EXCEPT THOSE CLOSED COMPLETELY BY FIRE-RESISTANT SHAFT CONSTRUCTION) MUST BE SLEEVED OR OTHERWISE SEALED AT THEIR PERIMETER WITH APPROVED METHODS TO MAINTAIN THE FIRE-RATING CONTINUITY OF THE FLOOR CONSTRUCTION.
- DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL SIMILAR CASES UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- NO SUBSTITUTIONS OR DEVIATIONS FROM THE DRAWINGS AND SPECIFICATIONS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT.
- DIFFERING TRADE CONTRACTORS TO COORDINATE ALL BUILT-IN FIXTURES / EQUIPMENT AND SUPPLY ALL NECESSARY INFORMATION FOR CUT-OUTS TO BE PERFORMED.
- ALL ENGINEERING DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT IS THE RESPONSIBILITY OF THE MEP CONTRACTORS AND SUB-CONTRACTORS TO COORDINATE WORK WITH THE ARCHITECTURAL DRAWINGS PRIOR TO PROCEEDING WITH THE INSTALLATION OF ANY MECHANICAL, PLUMBING, OR ELECTRICAL WORK. ANY DISCREPANCY BETWEEN THE ARCHITECTURAL AND ENGINEERING DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO INSTALLATION OF WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- WHERE PROVIDED, THE SURVEY IN THESE CONSTRUCTION DOCUMENTS HAS BEEN PREPARED BY OTHERS UNDER SEPARATE CONTRACT WITH THE OWNER AND IS PRESENTED FOR INFORMATIONAL PURPOSES ONLY. THE ARCHITECT AND ITS CONSULTANTS ASSUME NO RESPONSIBILITY FOR THE EXISTING INFORMATION SHOWN HEREON.
- ALL CONSTRUCTION SHALL CONFORM WITH THE FINISH SCHEDULE AND SPECIFICATIONS IN COLOR, TEXTURE, AND GENERAL APPEARANCE.
- CONTACT BETWEEN DISSIMILAR METALS SHALL BE PROTECTED TO PREVENT GALVANIC CORROSION.
- ALL OUTSIDE CORNERS AT GYPSUM BOARD SHALL HAVE CONTINUOUS CORNER BEAD PER SPECIFICATIONS. ALL EXPOSED GYPSUM BOARD EDGES (AND AS NOTED) SHALL HAVE CONTINUOUS J-BEAD UNLESS NOTED OTHERWISE.
- FASTENERS USED IN PRESSURE TREATED WOOD SHALL HAVE THE APPROPRIATE FACTORY COATINGS TO PREVENT CORROSION DUE TO MOISTURE AND / OR THE WOOD'S CHEMICAL PRESERVATIVES.
- ALL ELECTRICAL BOXES, CONTROL BOXES, TECHNOLOGY BOXES, FIRE EXTINGUISHER CABINETS, ETC. SHALL BE OFFSET SO AS NOT TO ALIGN IN PARTITIONS WITH FIRE AND / OR STC RATINGS.

PROJECT TEAM

OWNER
ASHLEY COMMERCIAL GROUP
 3005 D... H...
 Ed... d, KY 41017
 85...341-0050

ARCHITECT / ENGINEER
PDT ARCHITECTS, LLC
 300 W... F... S...
 C... OH 45202
 513 8...-4605

VICINITY MAP (NOT TO SCALE)



DRAWING INDEX

SHEET	TITLE	HISTORIC APP. 03/31/2017	PREDEVELOP CONF 04/11/2017	DD / PRICING 05/05/2017	HCB FINAL 05/10/2017
G000	PROJECT INFORMATION			X	X
G101	CODE ANALYSIS & LIFE SAFETY PLANS				

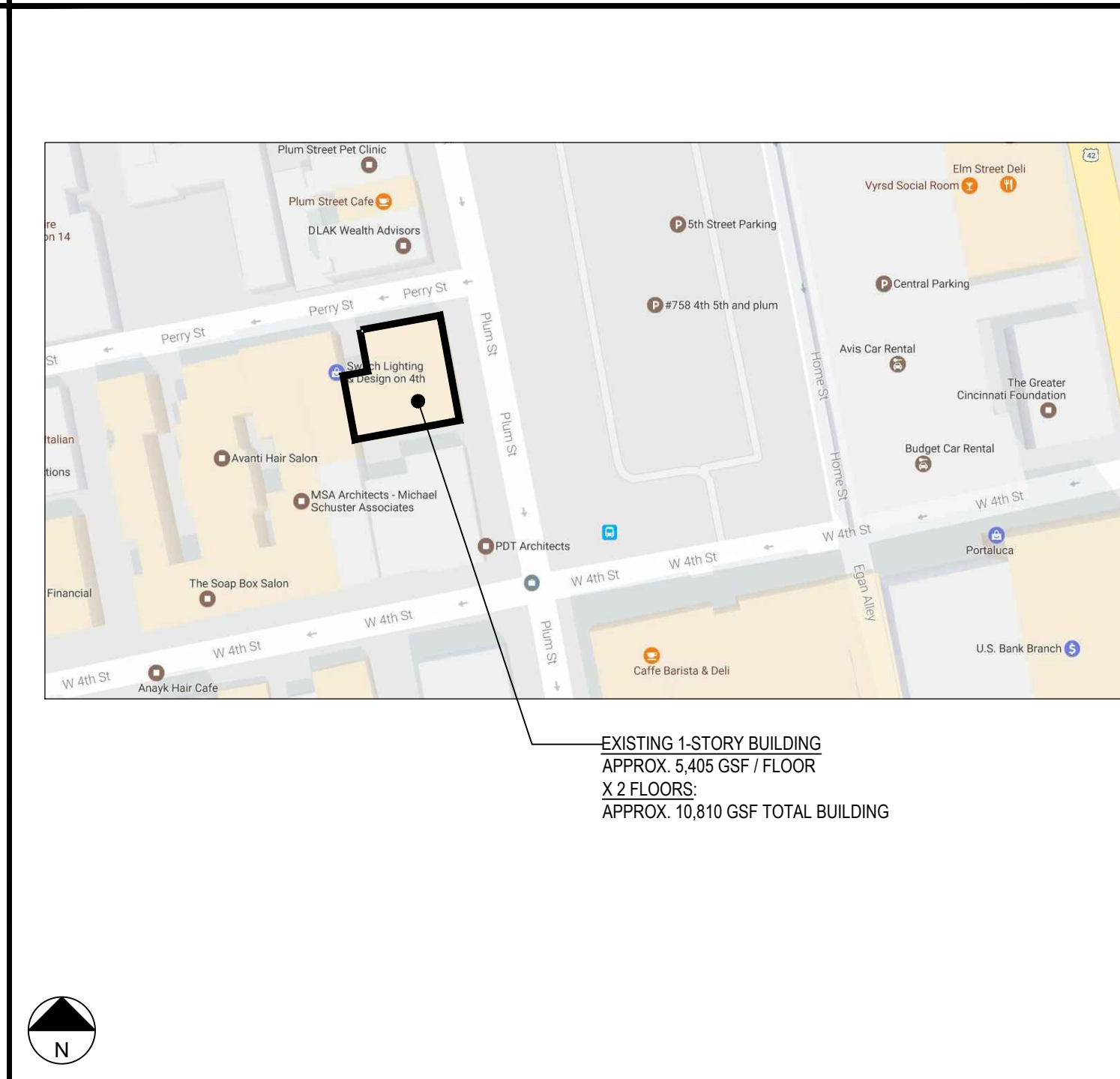
GENERAL					
G000	PROJECT INFORMATION			X	X
G101	CODE ANALYSIS & LIFE SAFETY PLANS				

ARCHITECTURAL					
AS101	SITE PLAN	X	X	X	X
D101	BASEMENT & FIRST FLOOR DEMOLITION PLANS	X	X	X	X
D102	ROOF DEMOLITION PLAN			X	X
A101	BASEMENT & FIRST FLOOR PLANS	X	X	X	X
A102	SECOND & THIRD FLOOR PLANS	X	X	X	X
A150	ENLARGED RESTROOM PLANS AND ELEVATIONS				
A151	ENLARGED RESTROOM PLANS AND ELEVATIONS				
A160	ENLARGED KITCHEN PLANS AND ELEVATIONS				
A201	EXTERIOR ELEVATIONS	X	X	X	X
A201	EXTERIOR ELEVATIONS	X	X	X	X
A300	BUILDING SECTIONS			X	X
A310	WALL SECTIONS & DETAILS				
A330	STAIR PLANS AND SECTIONS				
A600	DOOR / FRAME SCHEDULE AND DETAILS				
A610	STOREFRONT / WINDOW ELEVATIONS AND DETAILS				

ARCHITECTURAL ABBREVIATIONS

@	ANCHOR BOLT	CT	CERAMIC TILE	FLR	FLOOR	LLH(V)	LONG LEG HORIZ / VERT	FOOT	STIFF	STIFFENER	
AC	AIR CONDITIONING	CTR	CENTER	FO-FI	FACE OF FIRE RETARDANT (TREATED)	LAM	LAMINATE	PERF	PERFORATED	STL	STEEL
ACT	ACOUSTIC CEILING TILE	CW	CURTAIN WALL	FR(T)	FRONT FACE	LAV	LAVATORY	PERP	PERPENDICULAR	STRUC	STRUCTURE (AL)
AD	AREA DRAIN	D	DEPTH	FT (G)	FOOT (ING)	LB	POUND (WEIGHT)	PL	PLATE	SUSP	SUSPENDED
ADD	ADDENDUM	DTL	DETAIL	FV	FIELD VERIFY	LF	LINEAL FOOT	PLUMB	PLUMBING	SYS	SYSTEM
ADDL	ADDITIONAL	DEMO	DEMO-LISH-(L)TION	FTF	FLOOR TO FLOOR	LOC	LOCATION	PLYWD	PLYWOOD		
ADJ	ADJACENT	DF	DRINKING FOUNTAIN	GA	GAUGE	PNL	PANEL	PR	POLISHED	T	TREAD
AFF	ABOVE FINISHED FLOOR	DIM	DIMENSION	GR	GRADE	POL	POLISHED	PR	PAIR	TC	TOP AND BOTTOM
ALUM	ALUMINUM	DN	DOWN	GALV	GALVANIZED	MAS	MASONRY	PREFAB	PREFABRICATED	TD	TRENCH DRAIN
ALT	ALTERNATE	DR	DOOR	GC	GENERAL	MATL	MATERIAL	PSF	POUNDS PER SQUARE FOOT	TEL	TELEPHONE
ANOD	ANODIZED	DS	DOWN SPOUT	CONTRACTOR	CONTRACTOR	MAX	MAXIMUM			TEMP	TEMPERATURE
APPROX	APPROXIMATE	DWG(S)	DRAWING(S)	GEN(L)	GENERAL	MDO	MED DENSITY OVERLAY	PT	PRESSURE TREATED PAINTED	THK	THICK
ARCH	ARCHITECTURAL	(E)-EX(S)T	EXISTING	GL	GLASS / GLAZING	MECH	MECHANICAL	PTD		THLD	THRESHOLD
BD	BOARD	EA	EACH	GR	GRADE	MFR	MANUFACTURER	QTY	QUANTITY	TO-TI	TOP OF
BTWN	BETWEEN	EIFS	EXT INSUL FINISH SYSTEM	GYP	GYPSUM	MIN	MINIMUM	R	RISER	TOB	TOP OF BEAM
BLDG	BUILDING					MISC	MISCELLANEOUS	Q	QUANTITY	TOC	TOP OF CONCRETE
BLK(G)	BLOCK(ING)	EJ	EXPANSION JOINT	H	HIGH	MOD	MASONRY OPENING	RAD	RADIUS	TOP	TOP OF FOOTING
BM	BEAM	EL(EV)	ELEVATION	HC	HOLLOW CORE	MO	MODIFIED	RCP	REFLECTED CEILING PLAN	TOP	TOP OF PARAPET
BOT-BO-B	BOTTOM (OF)	ELEC	ELECTRIC(CAL)	HB	HOSE BIB	MSL	MEAN SEA LEVEL	RD	ROOF DRAIN	TOS	TOP OF SLAB
BRG	BEARING	ENG	ENGINEER	HD	HEAD	MTD	MOUNTED	RD	ROOF DRAIN	TO STL	TOP OF STEEL
BSMT	BASEMENT	EQ	EQUAL	HDW(R)	HARDWARE	MTL	METAL	REBAR	REINFORCING BAR	TS	TUBE STEEL
BUR	BUILT-UP ROOF(ING)	EQUIP	EQUIPMENT	HDWD	HARDWOOD	RECEPT	RECEPTACLE	TW	TOP OF WALL	TYP	TYPICAL
C-C	CENTER TO CENTER	ESC	ESCALATOR	HM	HOLLOW METAL	NA	NOT APPLICABLE	REF	REFER / REFERENCE		
CB	CATCH BASIN	EVRT	ELEVATOR	HOR(I)Z	HORIZONTAL	NIC	NOT IN CONTRACT	RENF	REINFORCING	UNO / UON	UNLESS NOTED OTHERWISE
CFM	COLD FORMED METAL	EW	EACH WAY	HP	HIGH POINT	NO / #	NUMBER	RELOC	RELOCATED(D)		
CFRM	COLD FORMED MTL	EW	ELECTRIC WATER	HR	HOUR	NOM	NOMINAL	REQD	REQUIRED		
FRAMING		COOLER	COOLER	HT	HEIGHT	NTS	NOT TO SCALE	RET	RETAINING	VAR	VARIABLE
CG	CORNER GUARD	EXH	EXHAUST	HTR	HEATER	RM	ROOM	VCT	VINYL COMPOSITION TILE		
CIP	CAST IN PLACE	EXP	EXPANSION / EXPOSED	HHW	HOT WATER HEATER	RO	ROUGH OPENING	ROW	RIGHT OF WAY	VERT	VERTICAL
CJ	CONTROL JOINT	EXT	EXTERIOR	ID	INSIDE DIAMETER	OD	OUTSIDE DIAMETER	VE	VESTIBULE	VYF	VERIFY
CL	CENTER LINE	FA	FIRE ALARM	IN	INCH	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED	SC	SOLID CORE SCHEDULE	W (O)	WITH (OUT)
CLG	CEILING	FACP	FIRE ALARM CONTROL PANEL	INSUL	INSULATION	INT	INTERIOR	SECT	SECTION	WF	WIDE / WIDTH
CLR	CLEAR(ANCE)	FR	FIRE-RESISTIVE UNIT	INV	INVERT	OFOI	OWNER FURNISHED, OWNER INSTALLED	SF	SQUARE FEET	W	WOOD
CMU	CONCRETE MASONRY UNIT	FD	FLOOR DRAIN	JAN	JANITOR	OH	OPPOSITE HAND	SHT(G)	SHEET / SHEATHING	WD	WIDE / WIDTH
CO	CLEAN OUT	FDN	FOUNDATION	JT	JOINT	OPNG	OPENING	SIM	SIMILAR	WID	WIDE / WIDTH
COL	COLUMN	FEC	FIRE EXTINGUISHER CABINET	KO	KNOCK-OUT	OPP	OPPOSITE	SOG	SLAB ON GRADE	WF	WIDE FLANGE
COMM	COMMUNICATIONS	FIN	FINISH FLOOR	KP	KICKPLATE	OVHD	OVERHEAD	SO	SQUARE	WH	WATER HEATER
CONC	CONCRETE	FHC	FIRE HOSE CABINET	L	ANGLE	PLAM	PLASTIC LAMINATE	SS	STAINLESS STEEL	WP	WATERPROOF(ING)
CONN	CONNECTION	FIN	FINISH	L	ANGLE	PC	PRECAST CONCRETE	STC	SOUND TRANSMISSION CLASS	WT	WEIGHT
CONTR	CONTRACTOR	FIXT	FIXTURE	L	ANGLE	PCF	PRECAST CONCRETE POUNDS PER CUBIC	STD	STANDARD	WWF	WELDED WIRE FABRIC
COORD	COORDINATE										
CSK	COUNTERSUNK										

SITE LOCATION PLAN (NOT TO SCALE)



MATERIAL SYMBOL LEGEND (NOT ALL MAY APPLY)

	MOP SINK. COORDINATE W/ PLUMBING DRAWINGS		WATER CLOSET- REFER TO PLUMBING DRAWINGS		SINK IN SINK BASE CABINET- REFER TO PLUMBING & CASEWORK DRAWINGS		WALL-HUNG LAVATORY- REFERENCE PLUMBING DRAWINGS		ROOM TAG		NORTH ARROW		EXISTING WORK TO BE REMOVED
	LEVEL ELEVATION REFERENCE (FROM FINISH FLOOR U.N.O.)		WATER COOLERS. COORDINATE WITH PLUMBING DRAWINGS		FLOOR / TRENCH DRAIN - REFERENCE PLUMBING DRAWINGS		FLOOR SINK- COORDINATE WITH PLUMBING DRAWINGS & FOOD SERVICE DRAWINGS		COLUMN TAG & CENTERLINE		DOOR TAG (SEE DOOR SCHEDULE)		NEW WORK
	DRAWING No. DETAIL TAG		SEM-RECESSED FIRE EXTINGUISHER CABINET		FIRE EXTINGUISHER ON WALL BRACKET		REVISION TAG & CLOUD		WINDOW TAG (SEE WINDOW ELEVATIONS & DETAILS)		KEY NOTE		BATT INSULATION
	DRAWING No. ELEVATION CALLOUT		DRAWING TITLE		INTERIOR ELEVATION CALLOUT		SECTION CALLOUT		PARTITION TYPE		RIGID INSULATION		HARDWOOD
	DRAWING No. SHEET No.		DRAWING No. SHEET No.		DRAWING No. SHEET No.		DRAWING No. SHEET No.		DRAWING No. SHEET No.		PLYWOOD		BRICK
	DRAWING No. SHEET No.		DRAWING No. SHEET No.		DRAWING No. SHEET No.		DRAWING No. SHEET No.		DRAWING No. SHEET No.		CMU		CONCRETE
	DRAWING No. SHEET No.		DRAWING No. SHEET No.		DRAWING No. SHEET No.		DRAWING No. SHEET No.		DRAWING No. SHEET No.		STEEL		

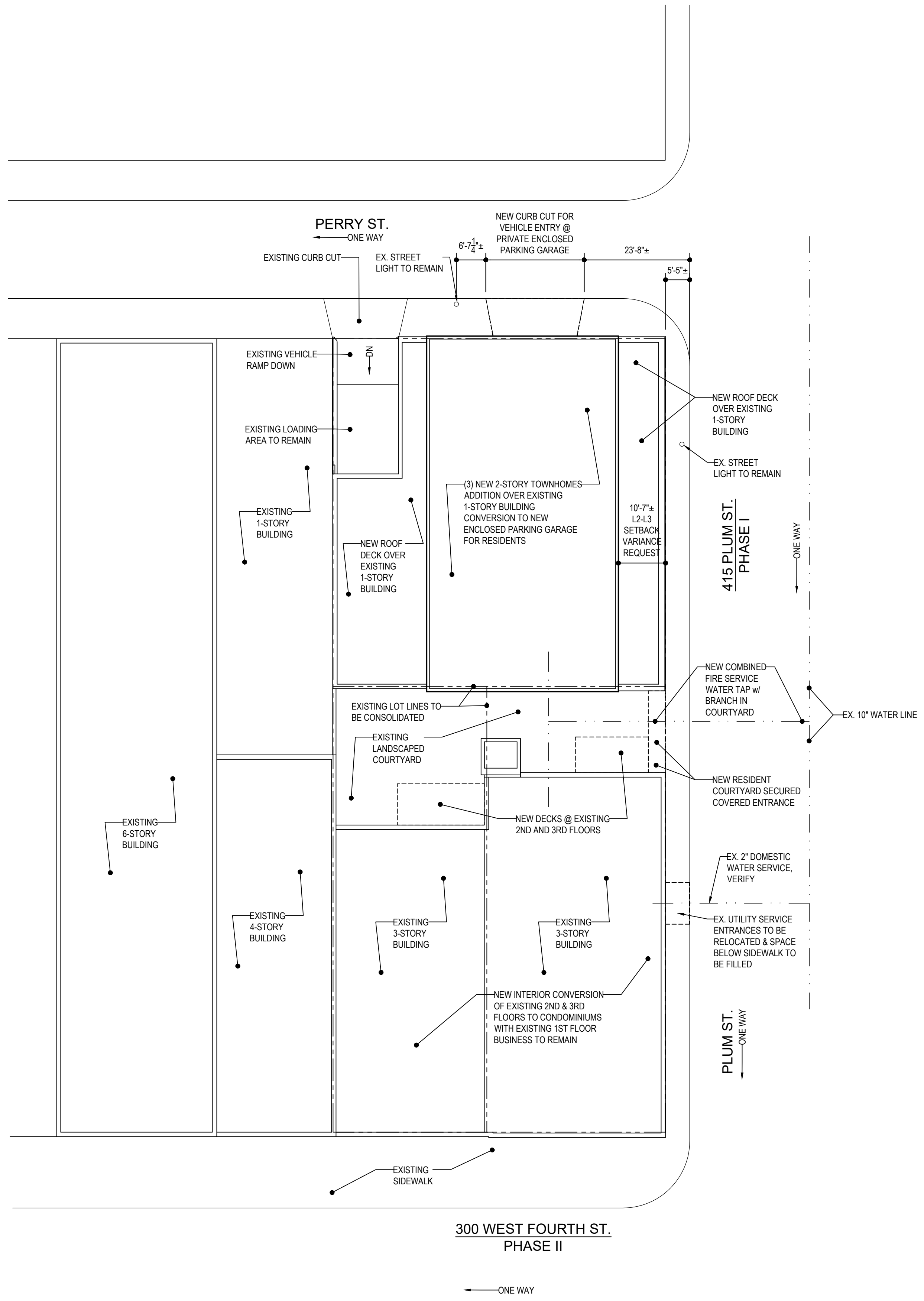
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RESIDENTIAL CONVERSION
ASHLEY COMMERCIAL GROUP
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 architects, llc
 always going beyond
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 www.pdtarchitects.com

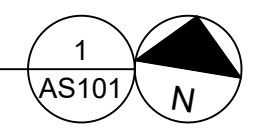
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COMMISSION NO.	P-706.1
PROJECT INFORMATION	
G000	



SITE PLAN
SCALE: 1/16" = 1'-0"



#	ISSUE	DATE
	HISTORIC CB APPLICATION	03/31/2017
	PREDEVELOPMENT MEETING	04/11/2017
	DD PRICING	05/05/2017
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**415 PLUM TOWNHOMES
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SITE PLAN

AS101

#	ISSUE	DATE
	HISTORIC CB APPLICATION	03/31/2017
	PREDEVELOPMENT MEETING	04/11/2017
	DD PRING	05/05/2017
	HCB FINAL	05/10/2017

**415 PLUM TOWNHOMES
RESIDENTIAL CONVERSION
ASHLEY COMMERCIAL GROUP**

415 PLUM STREET
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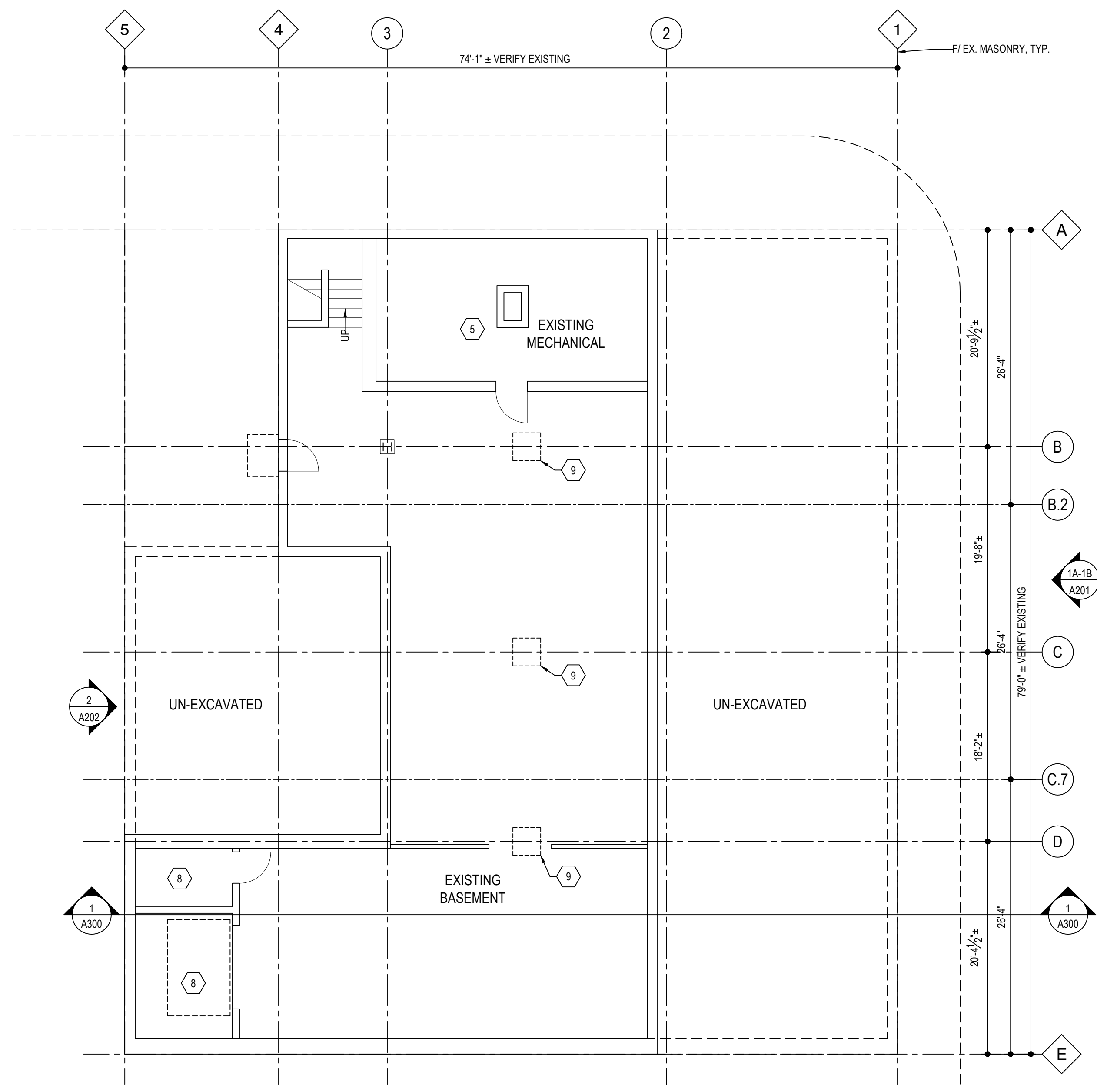
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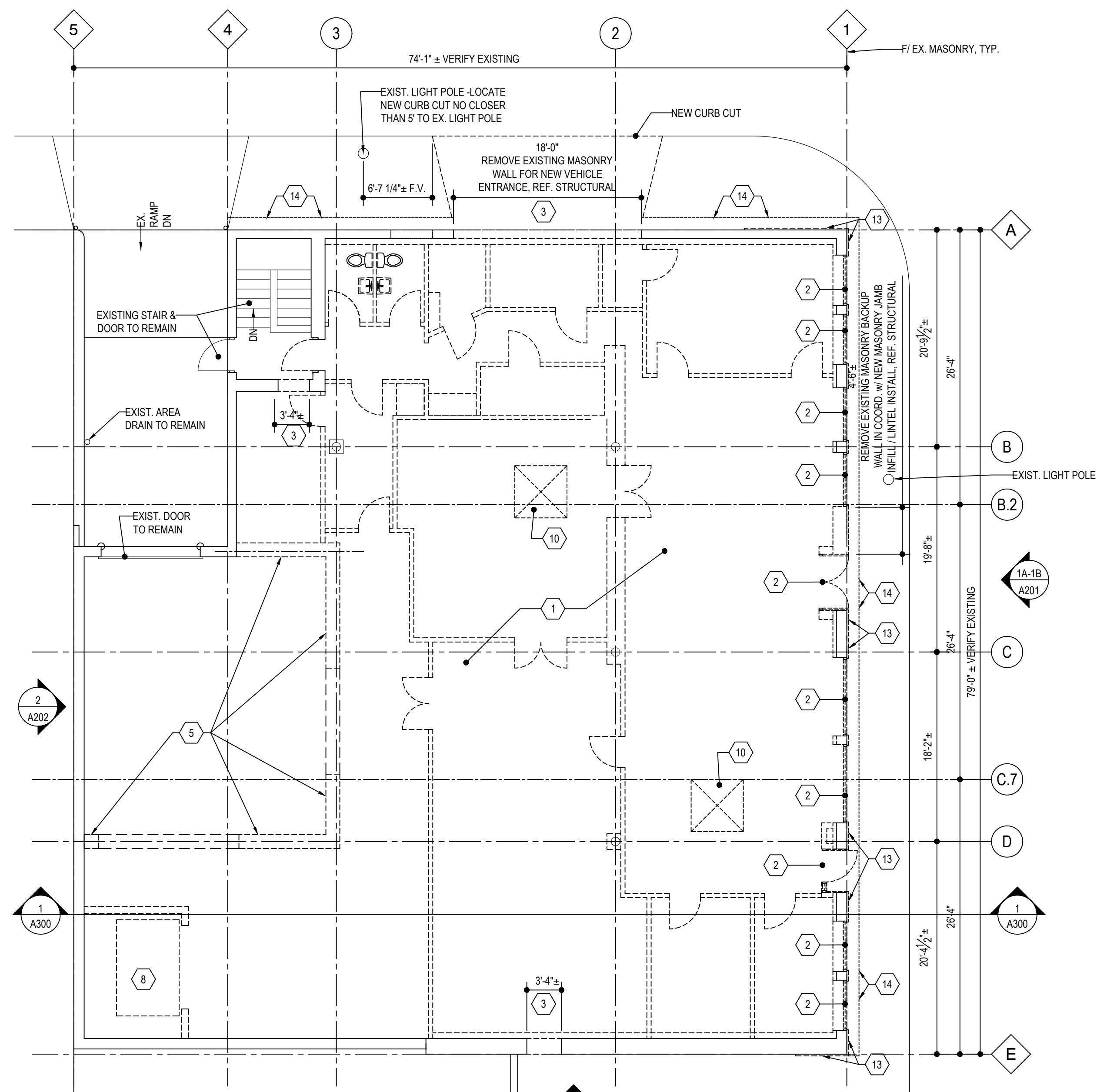
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COMMISSION NO.	P-706.1

**FIRST FLOOR
BASEMENT
DEMOLITION PLANS**

D101



**BASEMENT
DEMOLITION PLAN**
SCALE: 1/8" = 1'-0"

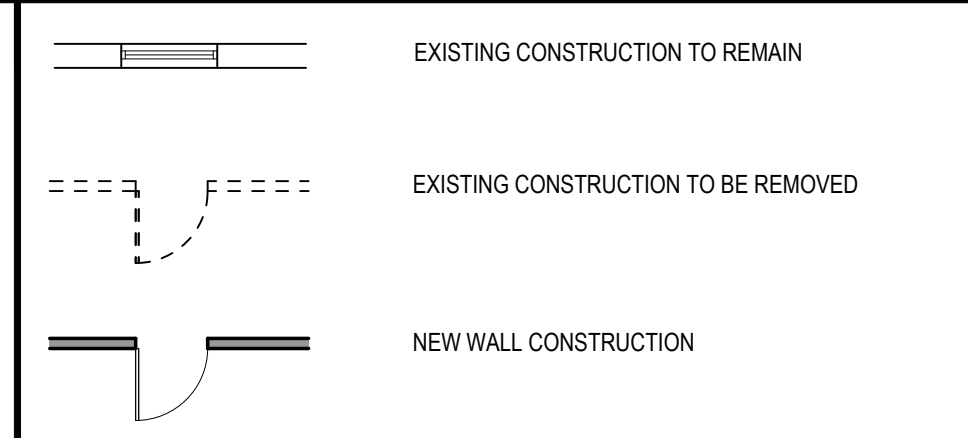


**FIRST FLOOR
DEMOLITION PLAN**
SCALE: 1/8" = 1'-0"

GENERAL NOTES

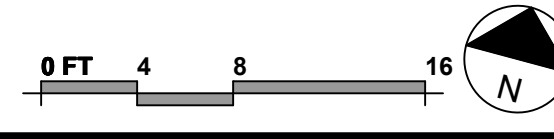
- | | |
|--|---|
| <p>A) VERIFY EXISTING CONDITIONS TO EXTENT REQUIRED FOR NEW WORK</p> <p>B) COORDINATE BUILDING ACCESS, SECURITY, CONSTRUCTION STAGING, STAIR / ELEVATOR USAGE & WORK RESTRICTIONS WITH OWNER AND APPLICABLE PHASING</p> <p>C) PROVIDE TEMPORARY PARTITIONS WITH EGRESS / ACCESS DOORS AS INDICATED AND/OR REQUIRED BY A.H.J. COORDINATE WITH OWNER AND APPLICABLE PHASING</p> <p>D) REFERENCE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR APPLICABLE DEMOLITION OF SERVICES / FIXTURES</p> <p>E) REMOVE EXISTING CEILINGS WHERE ADJACENT TO PARTITIONS INDICATED TO BE REMOVED U.N.O.</p> <p>F) DISPOSE DEMOLITION MATERIAL IN ACCORDANCE WITH OWNER REQUIREMENTS</p> <p>G) REMOVE EXISTING APPLIED FINISHES, SIGNAGE, WALL ACCESSORIES, MIRRORS, MARKER BOARDS, CHALKBOARDS, CABINETRY, ETC., U.N.O.</p> <p>H) PROTECT EXISTING STRUCTURE, PARTITIONS, FINISHES & ITEMS TO REMAIN. PATCH / REPAIR AND/OR REPLACE DAMAGED ITEMS TO MATCH EXISTING CONDITIONS.</p> <p>I) REMOVE ALL ABANDONED CONDUIT, PIPING, LIGHTING, MECHANICAL EQUIPMENT, ETC. COORDINATE WITH MECH. / PLUMBING / ELECT.</p> <p>J) REMOVE CORROSION, OIL, DIRT, ETC. FROM EXISTING ITEMS TO REMAIN & THOROUGHLY CLEAN / PREPARE TO RECEIVE NEW FINISHES WHERE INDICATED</p> | <p>K) REFERENCE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR COORDINATION</p> <p>L) DIMENSIONS ARE TO FACE OF EXIST. FINISH / NEW FRAMING / COL. C.L. U.N.O.</p> <p>M) COORDINATE ALL WORK WITH OWNER'S PHASING PLANS / SEQUENCES AND OTHER REQUIREMENTS</p> <p>N) PATCH / REPAIR ALL EXISTING FINISH SURFACES WHERE EXPOSED TO VIEW</p> <p>O) PATCH / INFILL ALL ABANDONED OPENINGS TO MATCH EXISTING ADJACENT CONSTRUCTION U.N.O.</p> |
|--|---|

PLAN LEGEND



DEMOLITION PLAN CODED NOTES

1. GENERAL DEMOLITION: REMOVE INTERIOR PARTITIONS, CASEWORK, FLOORING, CEILINGS, ACCESSORIES, DOORS & FINISHES, INCLUDING ASSOCIATED MECHANICAL, PLUMBING & ELECTRICAL ITEMS. INFILL ABANDONED FLOOR / CEILING PENETRATIONS WITH CONST. TO MATCH EXISTING U.N.O. PREPARE FOR NEW WORK AS INDICATED AND REF. MEP DRAWINGS.
2. REMOVE EXISTING GLAZED STOREFRONT FRAMING / ENTRANCE DOORS & SILL ASSEMBLY CONSTRUCTION DOWN TO FLOOR
3. REMOVE PORTION OF EXISTING CONSTRUCTION TO EXTENT REQUIRED FOR NEW CONSTRUCTION INCLUDING DOORS & WINDOWS WHERE OCCURS PER NEW PLANS
4. REMOVE EXISTING DOOR AND FRAME
5. MECHANICAL AREAS: COORDINATE REQUIRED SIZE / ROUTING WITH DESIGN-BUILD PLANS BY RESPONSIBLE DISCIPLINE CONTRACTORS. CUT / CORE NEW FLOOR OPENING(S), REF. STRUCTURAL FOR NEW OPENING REQUIREMENTS.
6. REMOVE EXISTING BEARING WALLS - SEE STRUCTURAL FOR EX. LINTEL / NEW COL. WORK
7. CUT EXISTING ROOF STRUCTURE TO EXTENTS REQUIRED FOR NEW STAIR OPENING - SEE STRUCTURAL
8. REMOVE EXISTING FREIGHT ELEVATOR & ASSOCIATED EQUIPMENT
9. CUT / PATCH EXIST. SLAB FOR NEW COLUMN / FOUNDATION WORK - SEE STRUCTURAL
10. REMOVE EXISTING SKYLIGHTS & ROOFTOP EQUIPMENT
11. REMOVE EXISTING ROOF MEMBRANE / INSULATION TO EXTENTS REQUIRED FOR NEW WORK
12. REMOVE EXISTING PARAPET WALL COPING
13. REMOVE EXISTING EIFS CLADDING - EXISTING MASONRY BACKUP WALL TO REMAIN
14. CUT / PATCH EXIST. CONC. SIDEWALK PAVING FOR INSTALLING NEW CONC. BRICK HAUNCH ONTO EXIST. FOUNDATION / BASEMENT WALL



#	ISSUE	DATE
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**415 PLUM TOWNHOMES
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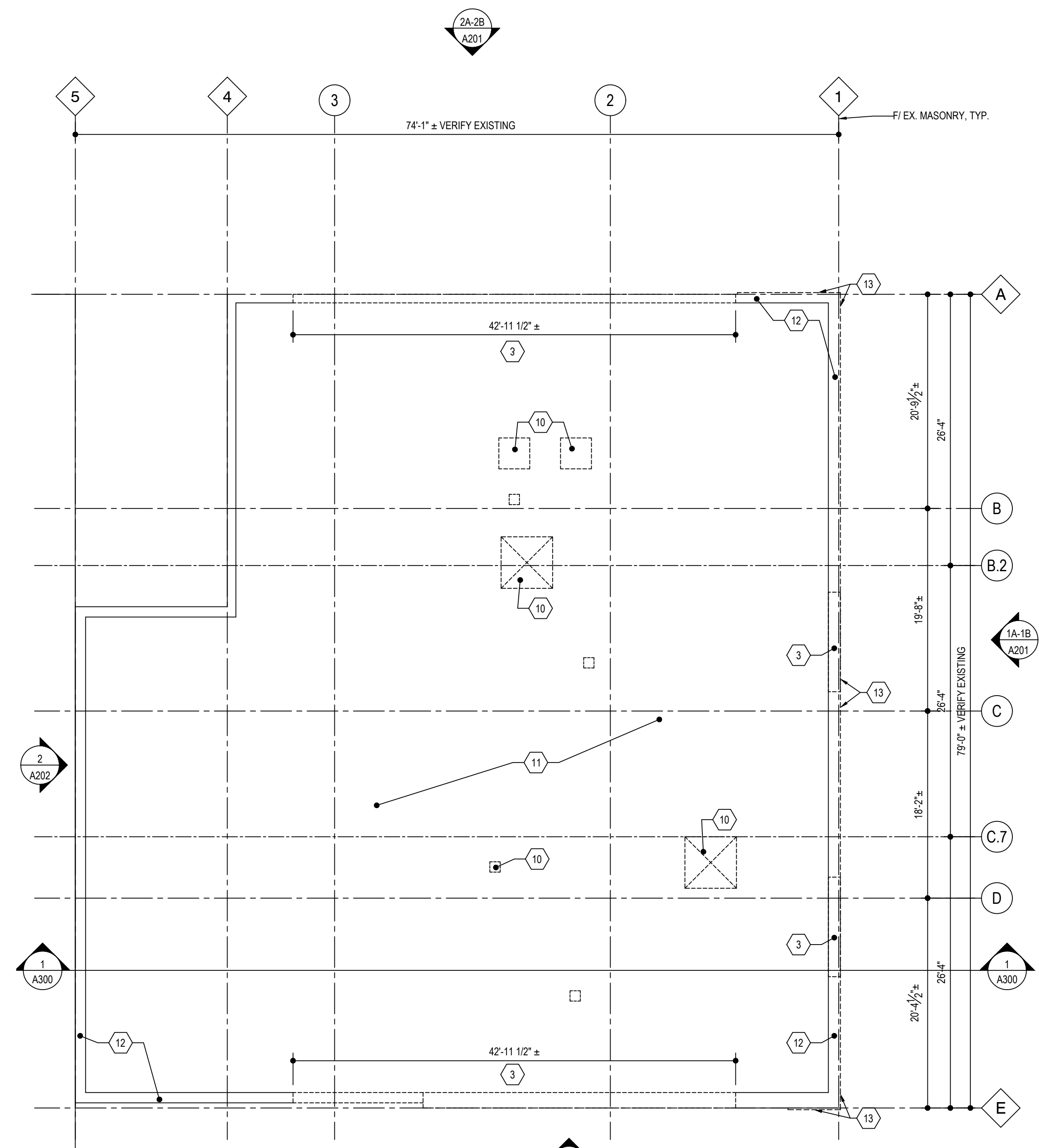
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**ROOF
DEMOLITION PLAN**

D102



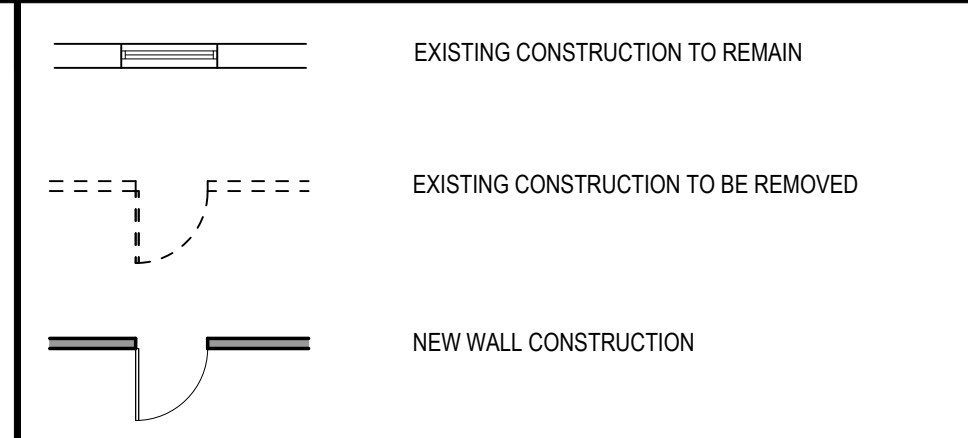
**ROOF
DEMOLITION PLAN**
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- A) VERIFY EXISTING CONDITIONS TO EXTENT REQUIRED FOR NEW WORK
- B) COORDINATE BUILDING ACCESS, SECURITY, CONSTRUCTION STAGING, STAIR / ELEVATOR USAGE & WORK RESTRICTIONS WITH OWNER AND APPLICABLE PHASING
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- J) REMOVE CORROSION, OIL, DIRT, ETC. FROM EXISTING ITEMS TO REMAIN & THOROUGHLY CLEAN / PREPARE TO RECEIVE NEW FINISHES WHERE INDICATED

- K) REFERENCE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR COORDINATION
- L) DIMENSIONS ARE TO FACE OF EXIST. FINISH / NEW FRAMING / COL. C.L. U.N.O.
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- N) PATCH / REPAIR ALL EXISTING FINISH SURFACES WHERE EXPOSED TO VIEW
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PLAN LEGEND



DEMOLITION PLAN CODED NOTES

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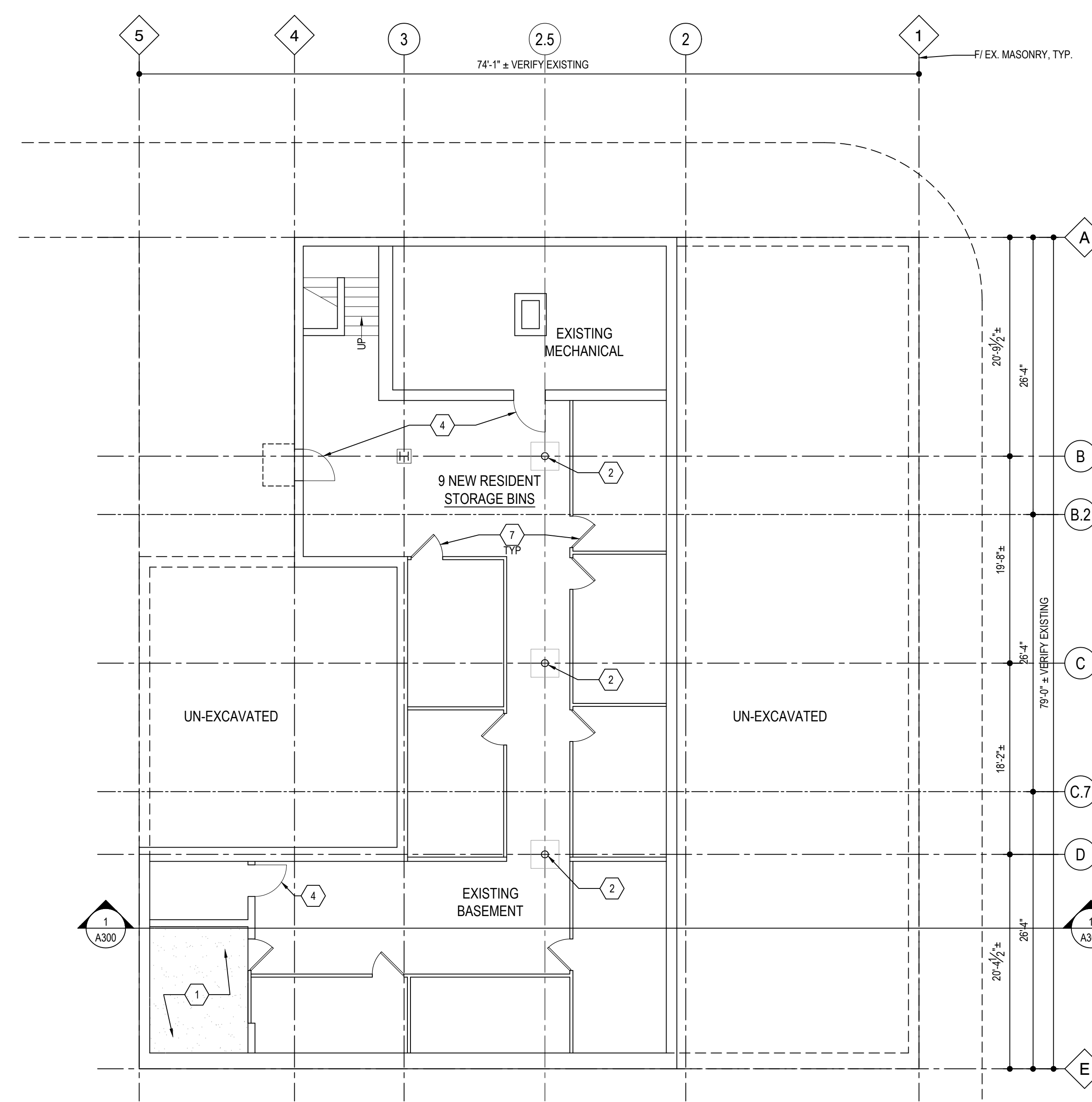
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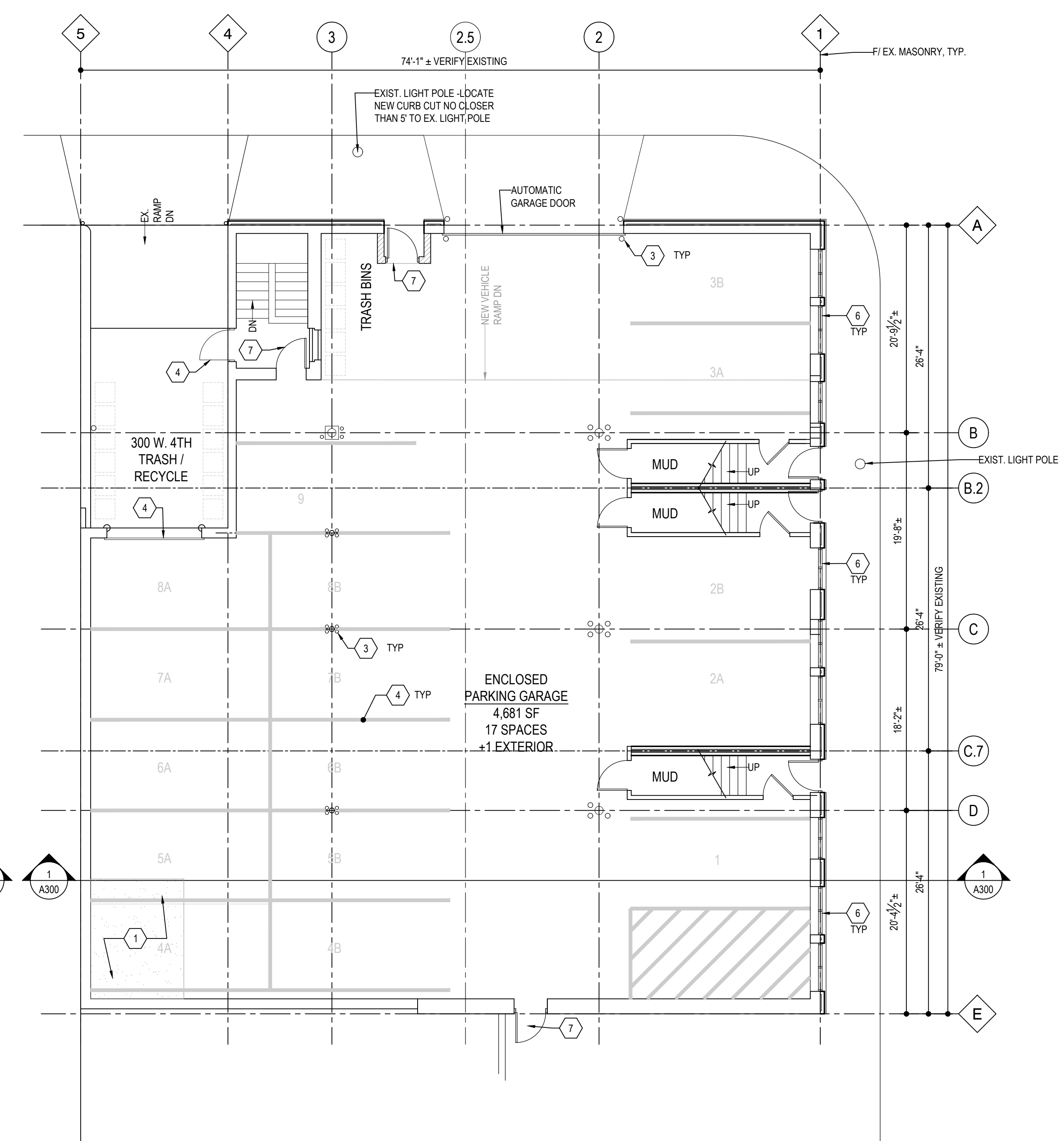
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FIRST FLOOR
BASEMENT
FLOOR PLANS

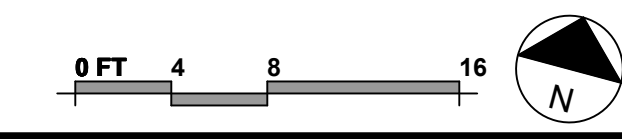
A101



BASEMENT PLAN
SCALE: 1/8" = 1'-0"
A101



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"
A101

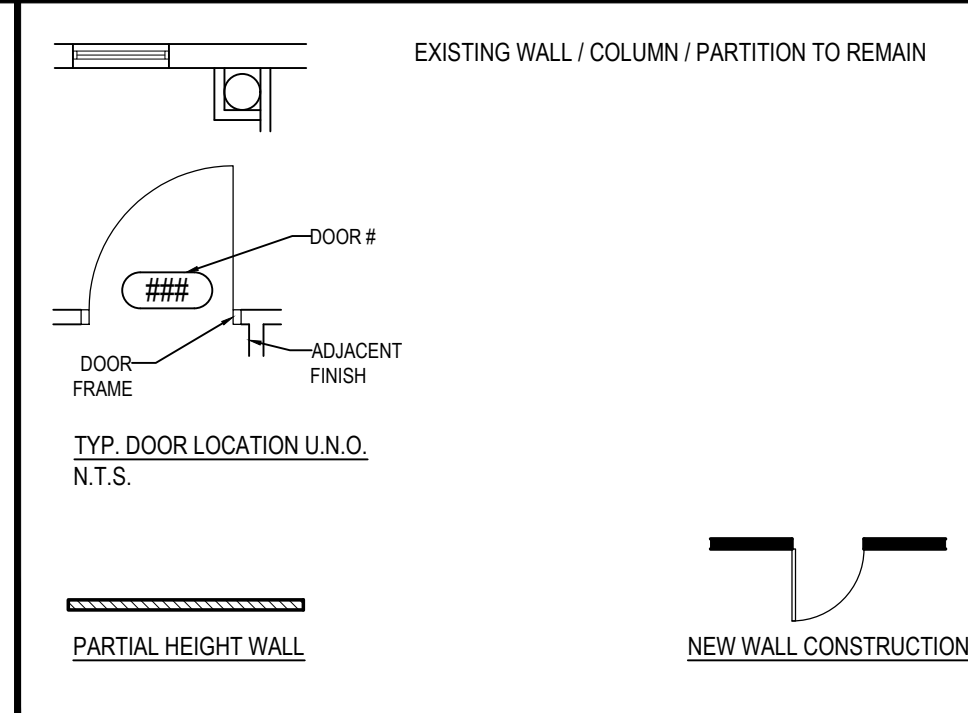


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PLAN LEGEND



FLOOR PLAN CODED NOTES

1. INFILL EXISTING ELEVATOR SHAFT OPENING w/ NEW FLOOR SLAB -SEE STRUCTURAL
2. NEW STRUCTURAL COLUMN / BEAMS ABOVE w/ NEW SLAB PATCH FOR FOUNDATION INSTALLATION
3. NEW CONC.-FILLED 4" DIA. STL. BOLLARD(S) @ EXISTING / NEW STL. COLUMNS, PAINTED SAFETY YELLOW
4. EXISTING DOOR / FRAME, PAINTED
5. 4" PARKING STRIPE PAINT
6. NEW ALUM. STOREFRONT IN EXISTING / MODIFIED AND/OR NEW OPENING AS SCHEDULED
7. NEW DOOR / FRAME IN EXISTING / MODIFIED AND/OR NEW OPENING AS SCHEDULED
8. M.E.P. SHAFT / CHASE SPACE: COORDINATE REQUIRED SIZE / ROUTING WITH DESIGN-BUILD PLANS BY RESPONSIBLE DISCIPLINE CONTRACTORS
9. INSULATED BOX PLANTER BASIS-OF-DESIGN: VERADEK METALLIC ALUM. BLACK FINISH; CUSTOM SIZE: 9'-0" L x 18" W x 36" H

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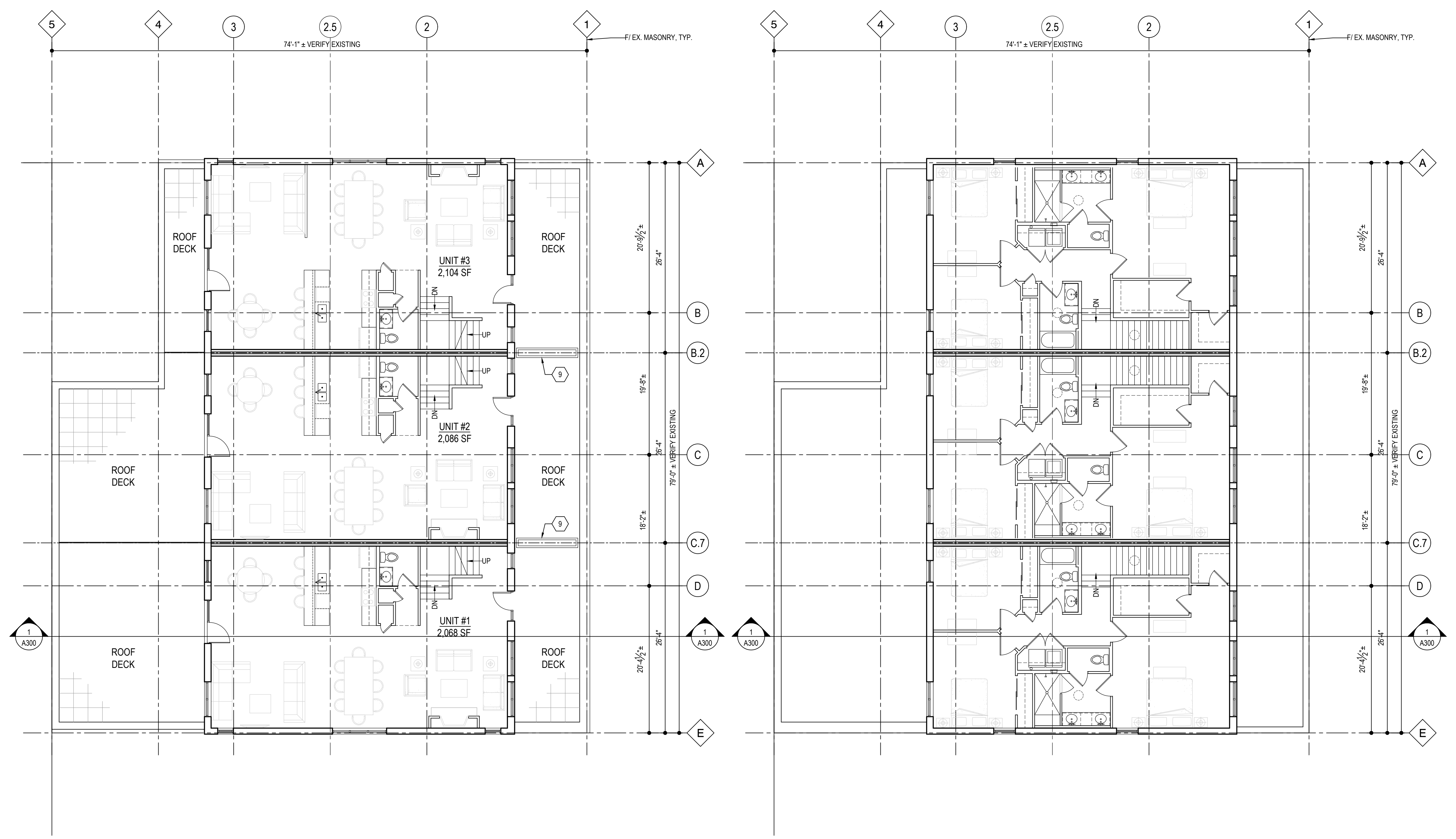
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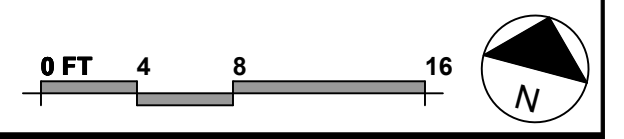
SECOND THIRD FLOOR PLANS

A102



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"
2
A102

THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"
1
A102

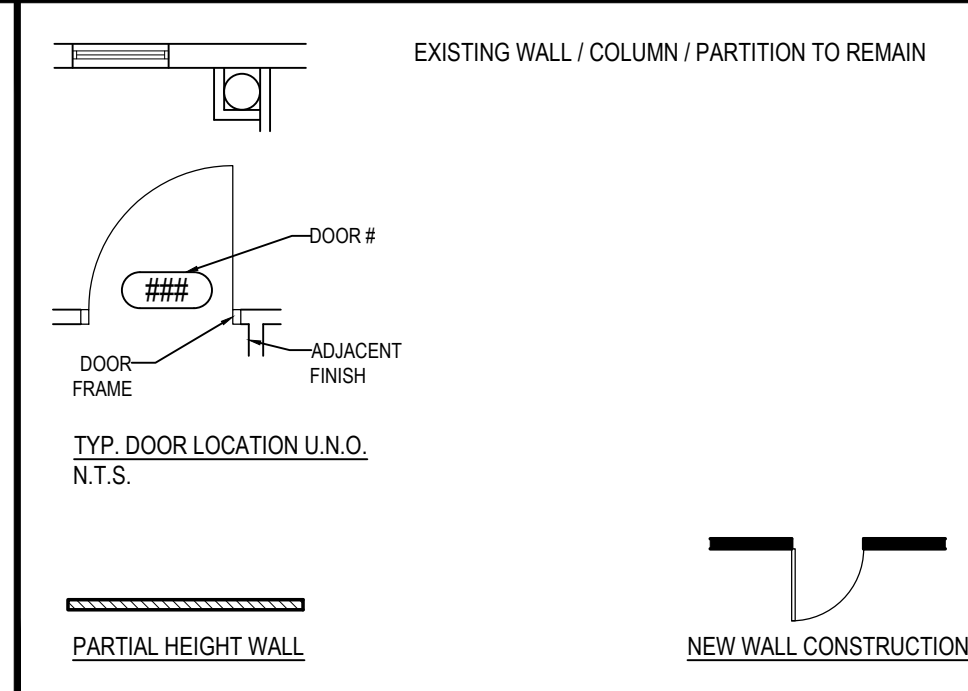


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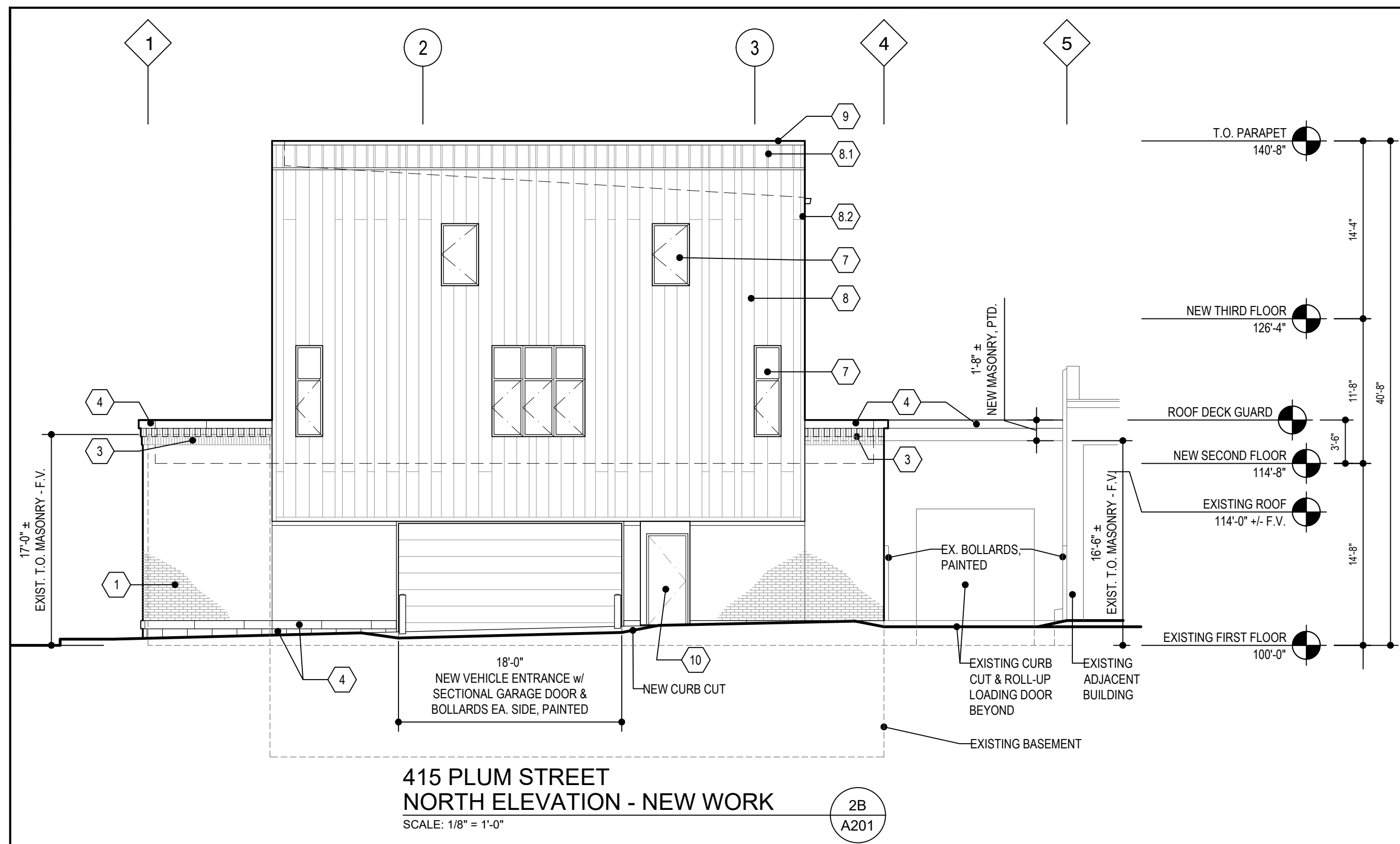
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PLAN LEGEND



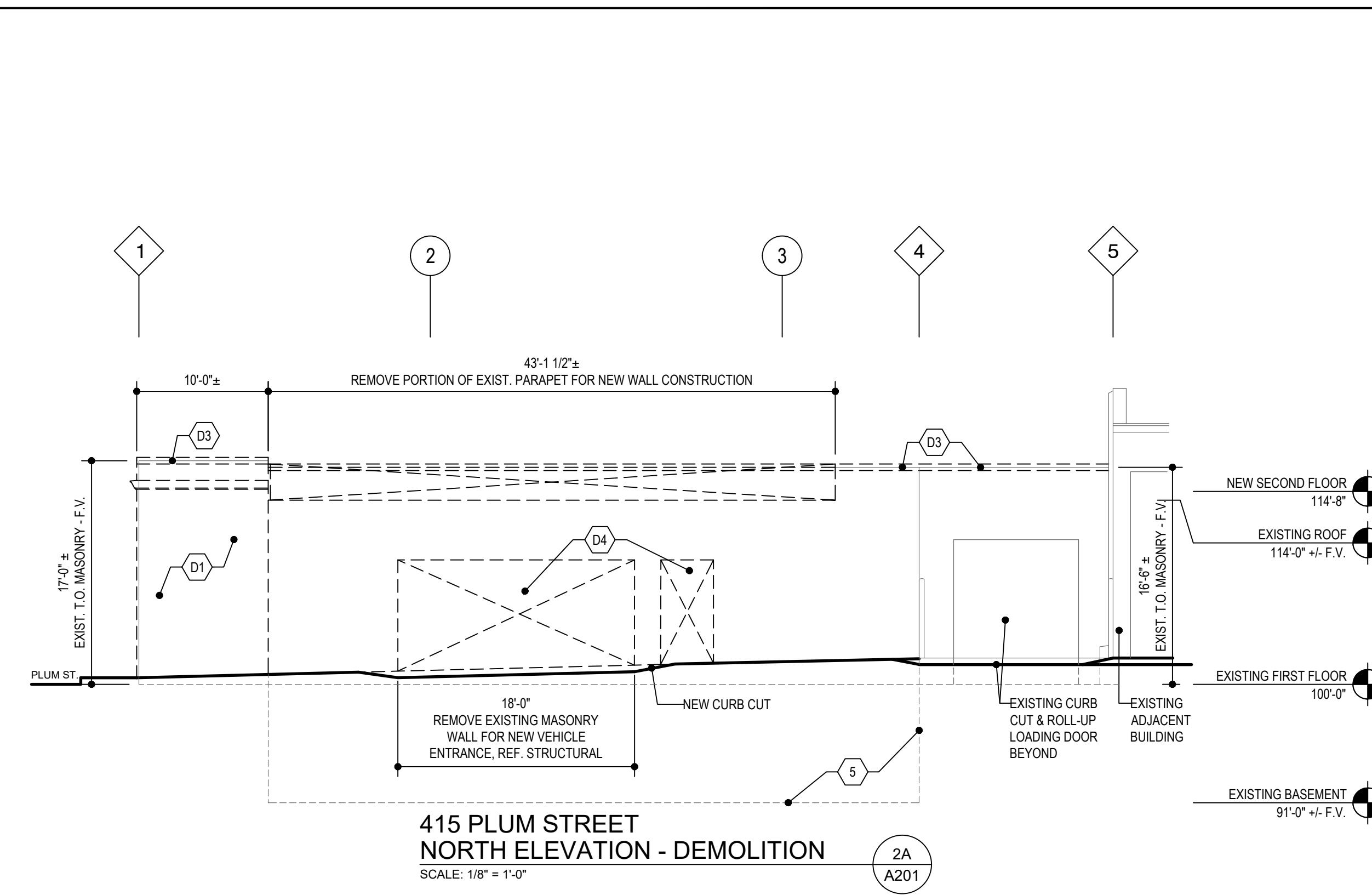
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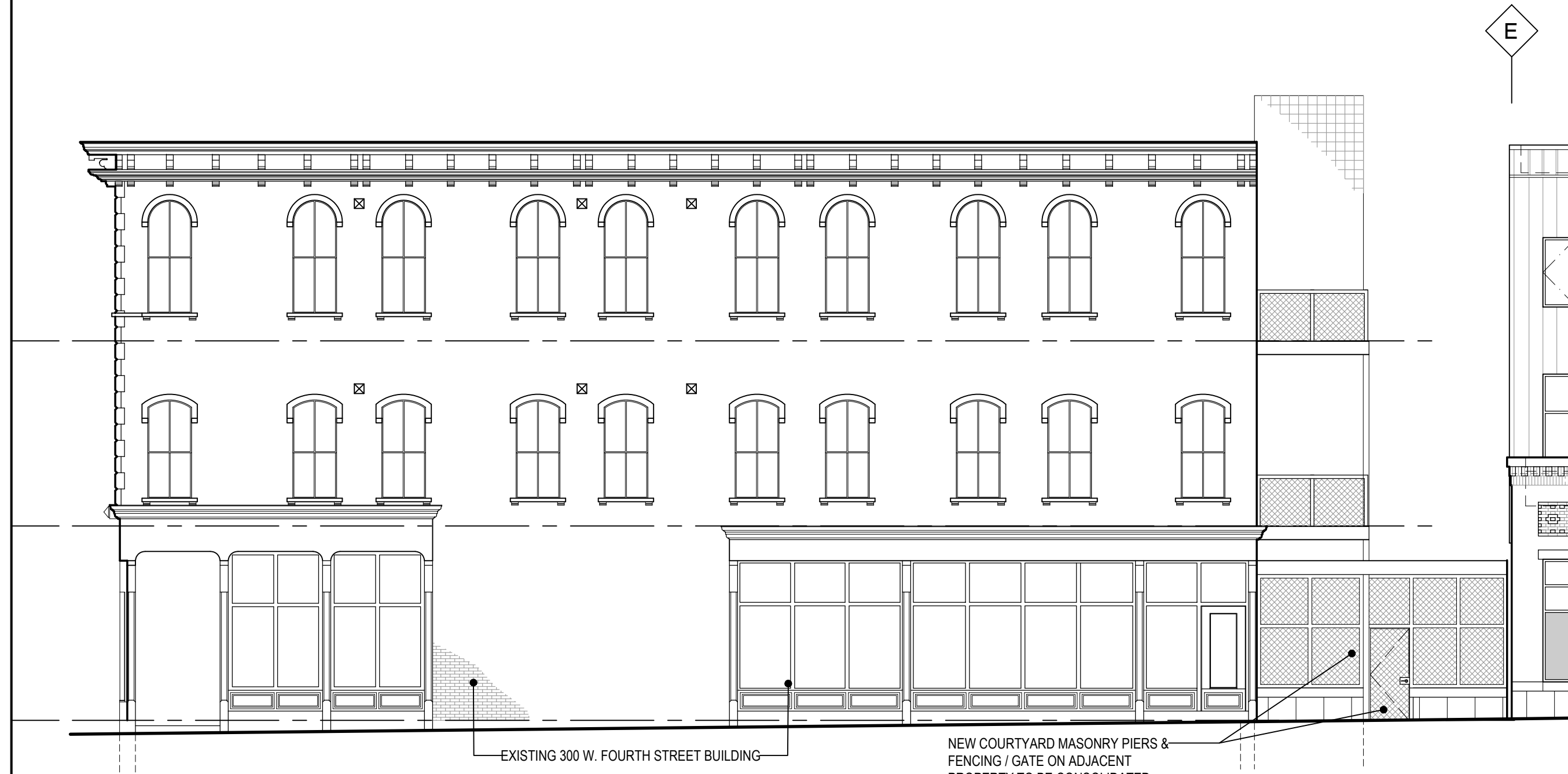
415 PLUM STREET
NORTH ELEVATION - NEW WORK
SCALE: 1/8" = 1'-0"

2B
A201



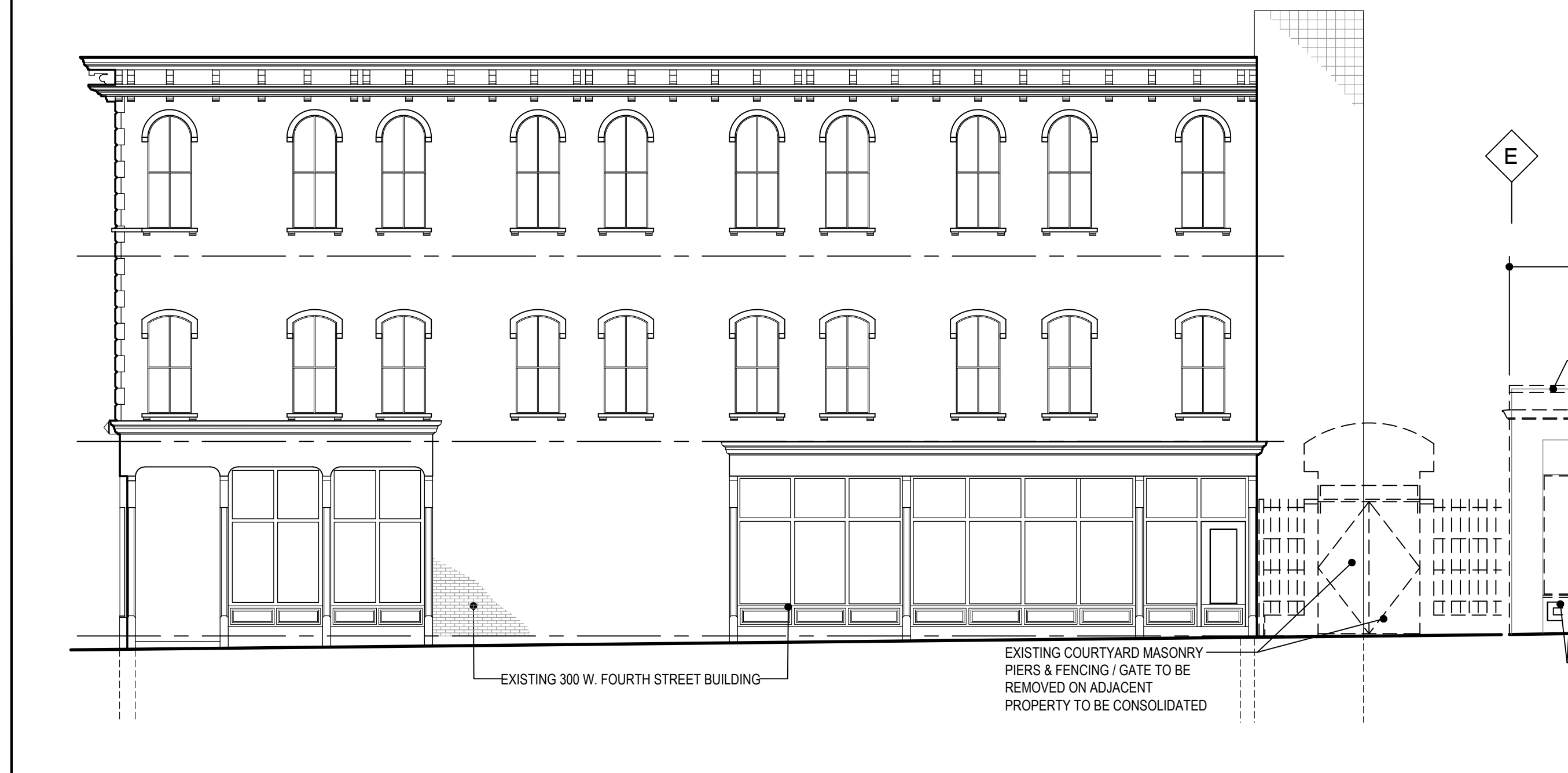
415 PLUM STREET
NORTH ELEVATION - DEMOLITION
SCALE: 1/8" = 1'-0"

2A
A201



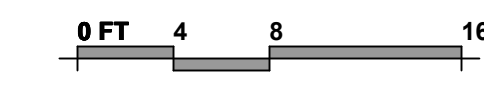
415 PLUM STREET
EAST ELEVATION - NEW WORK
SCALE: 1/8" = 1'-0"

1B
A201



415 PLUM STREET
EAST ELEVATION - DEMOLITION
SCALE: 1/8" = 1'-0"

1A
A201



GENERAL NOTES		DATE
1.	EXTERIOR DIMENSIONS ARE TO COL. C.L. / FACE OF FINISH U.N.O.	03/31/2017
2.	DIFFERENT EXTERIOR WALL CONSTRUCTION THAT SUPPORTS THE SAME EXTERIOR BUILDING FINISH IN THE SAME PLANE SHALL BE CONSTRUCTED SO THAT FINISH FACES OF THE SAME MATERIAL ALIGN, U.N.O. SEE ALSO SECTION DETAILS.	04/11/2017
3.	DISCREPANCIES FOUND IN THE FIELD SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND OWNER.	05/05/2017
		05/10/2017

# ELEVATION CODED NOTES		#	ISSUE
D1.	REMOVE EXISTING EIFS CLADDING / CORNICE PROFILE - EXISTING MASONRY BACKUP WALL TO REMAIN		
D2.	REMOVE EXISTING STOREFRONT / ENTRANCE DOORS & SILL ASSEMBLY, TYP.		
D3.	REMOVE EXISTING COPING / BLOCKING		
D4.	CUT OPENING IN EXISTING MASONRY WALL FOR NEW DOOR		

1. NEW FACE BRICK VENEER OVER EXISTING MASONRY BACKUP WALL
2. RECESSED BRICK INLAY PATTERN
3. BRICK CORBEL SOLDER COURSES
4. CAST STONE BASE CLADDING / BAND / LINTEL
5. LINE OF EXISTING / NEW BASEMENT / FOUNDATIONS SHOWN DASHED
6. ALUMINUM STOREFRONT SYSTEM / ENTRANCE DOOR
7. ALUMINUM-CLAD WOOD WINDOW, OPERABLE AS INDICATED / SCHEDULED
8. VERTICAL FLUSH METAL WALL PANEL CLADDING
- 8.1. VERTICAL REVEAL METAL WALL PANEL CLADDING
- 8.2. CORNER TRIM
9. METAL COPING
10. HOLLOW METAL DOOR / FRAME - PAINTED
11. EXTERIOR SCOFF LIGHT FIXTURE

LEGEND	
CLASS TYPES	REF. GLAZING SCHEDULE
CLEAR	
TRANSLUCENT	

EXTERIOR FINISHES	
MASONRY	
BRICK (BASIS-OF-DESIGN)	ENDICOTT
MANUFACTURER:	ENDICOTT
COLOR / TEXTURE:	MANGANESE BROWN / VELOUR TEXTURE
SIZE:	STD. MODULAR 2-1/4" x 3-5/8" x 7-5/8"
MORTAR COLOR:	MATCH CAST STONE COLOR
CAST STONE	
COLOR / TEXTURE:	AS SELECTED
SIZE:	VARIES PER DETAILS
MORTAR COLOR:	MATCH CAST STONE COLOR

GLAZED OPENINGS / LOUVERS	
ALUMINUM STOREFRONT SYSTEM	
FINISH:	ANODIZED ALUMINUM
COLOR:	BRONZE
SEALANT COLOR:	MATCH ALUMINUM FINISH
ALUMINUM-CLAD WOOD DOORS / WINDOWS	
BASIS-OF-DESIGN:	PELLA
FINISH:	PAINTED ALUMINUM
COLOR:	BRONZE
SEALANT COLOR:	MATCH ALUMINUM FINISH

METAL DOORS / FRAMES	
DOORS / FRAMES	
FINISH:	FACTORY-GALVANIZED/PRIMED / FIELD-PAINTED
COLOR:	AS SELECTED TO MATCH BRICK

METAL PANEL CLADDING	
VERTICAL FLUSH WALL PANEL CLADDING	
BASIS-OF-DESIGN:	PAC-CLAD FLUSH WALL PANELS
MATERIAL:	D40 ALUMINUM - FACTORY PAINTED
COLOR:	AGED COPPER
FACE EXPOSURE:	VARIES / T.B.D. - 7", 11", 12" BLEND
VERTICAL REVEAL WALL PANEL CLADDING	
BASIS-OF-DESIGN:	PAC-CLAD 1.5" REVEAL WALL PANELS
MATERIAL:	D40 ALUMINUM - FACTORY PAINTED
COLOR:	AGED COPPER
FACE EXPOSURE:	VARIES / T.B.D. - 7", 11", 12" BLEND

METAL TRIM / FLASHING	
MATERIAL:	ALUMINUM
COLOR:	MATCH PANEL FINISH

METAL COPING / FLASHING / TRIM	
COPING / GUTTERS / DOWNSPOUTS	
MATERIAL:	ALUMINUM
COLOR:	MATCH METAL PANEL FINISH

EXPOSED WINDOW PANNING / FLASHING	
MATERIAL:	ALUMINUM
COLOR:	MATCH WINDOW FINISH

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 CINCINNATI, OH 45202

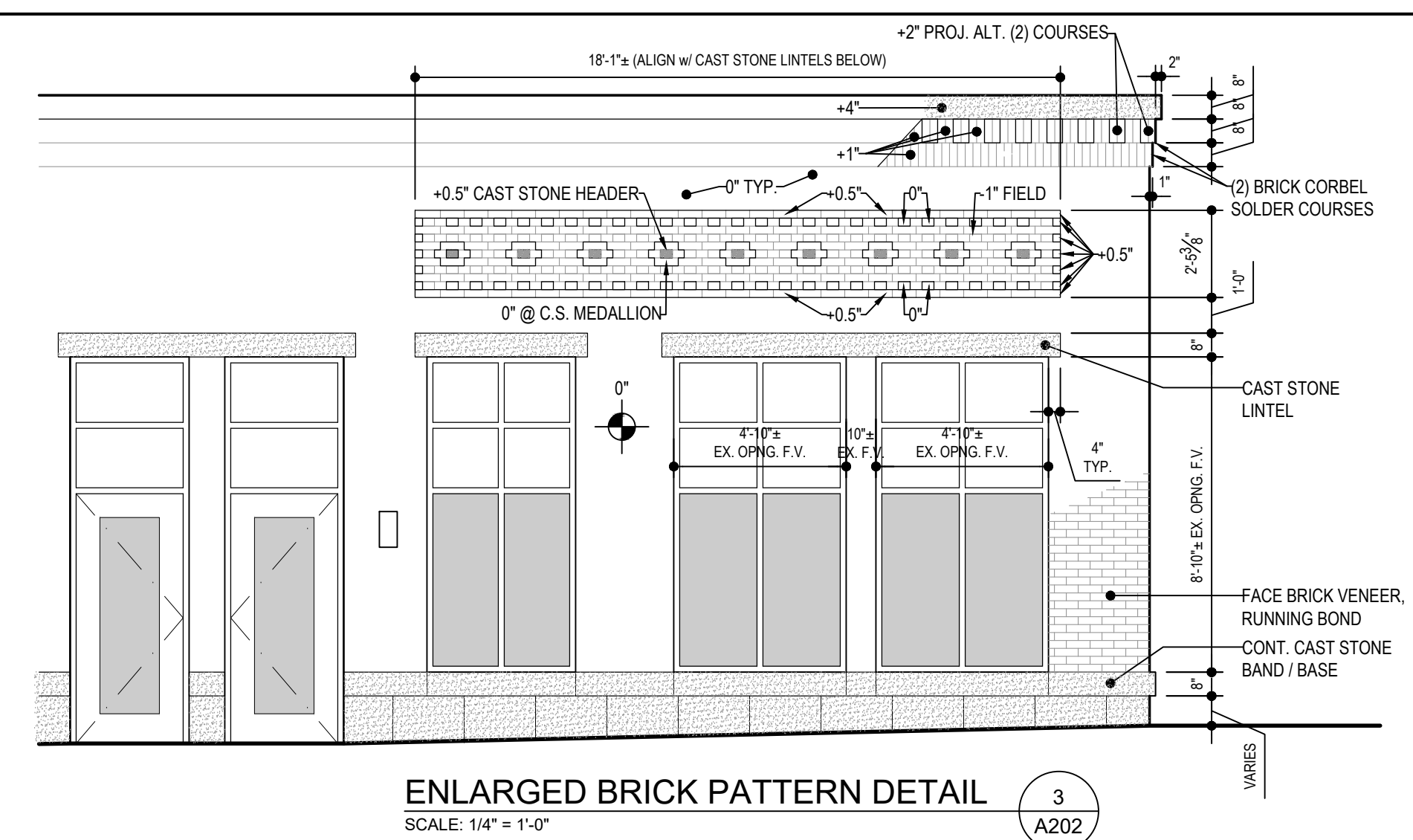


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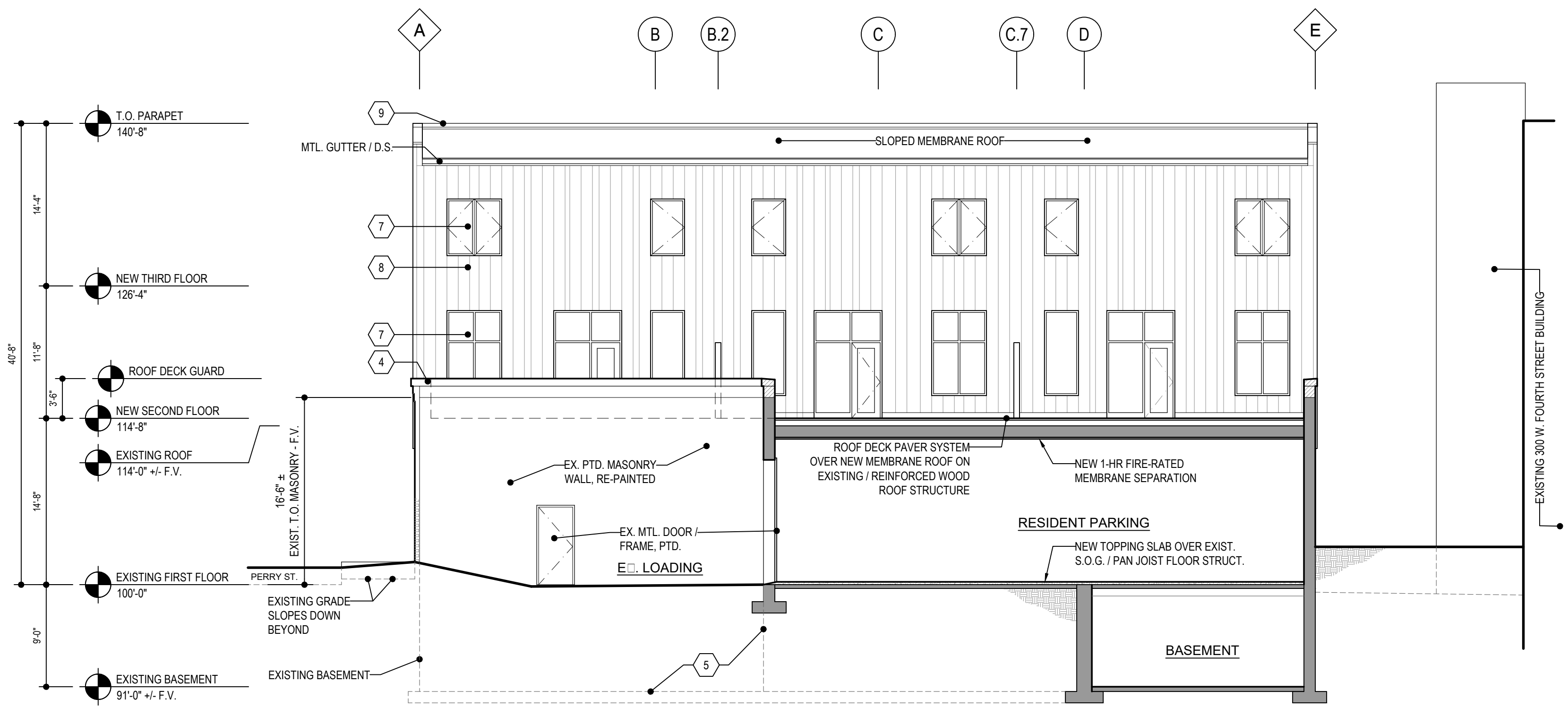
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EXTERIOR ELEVATIONS

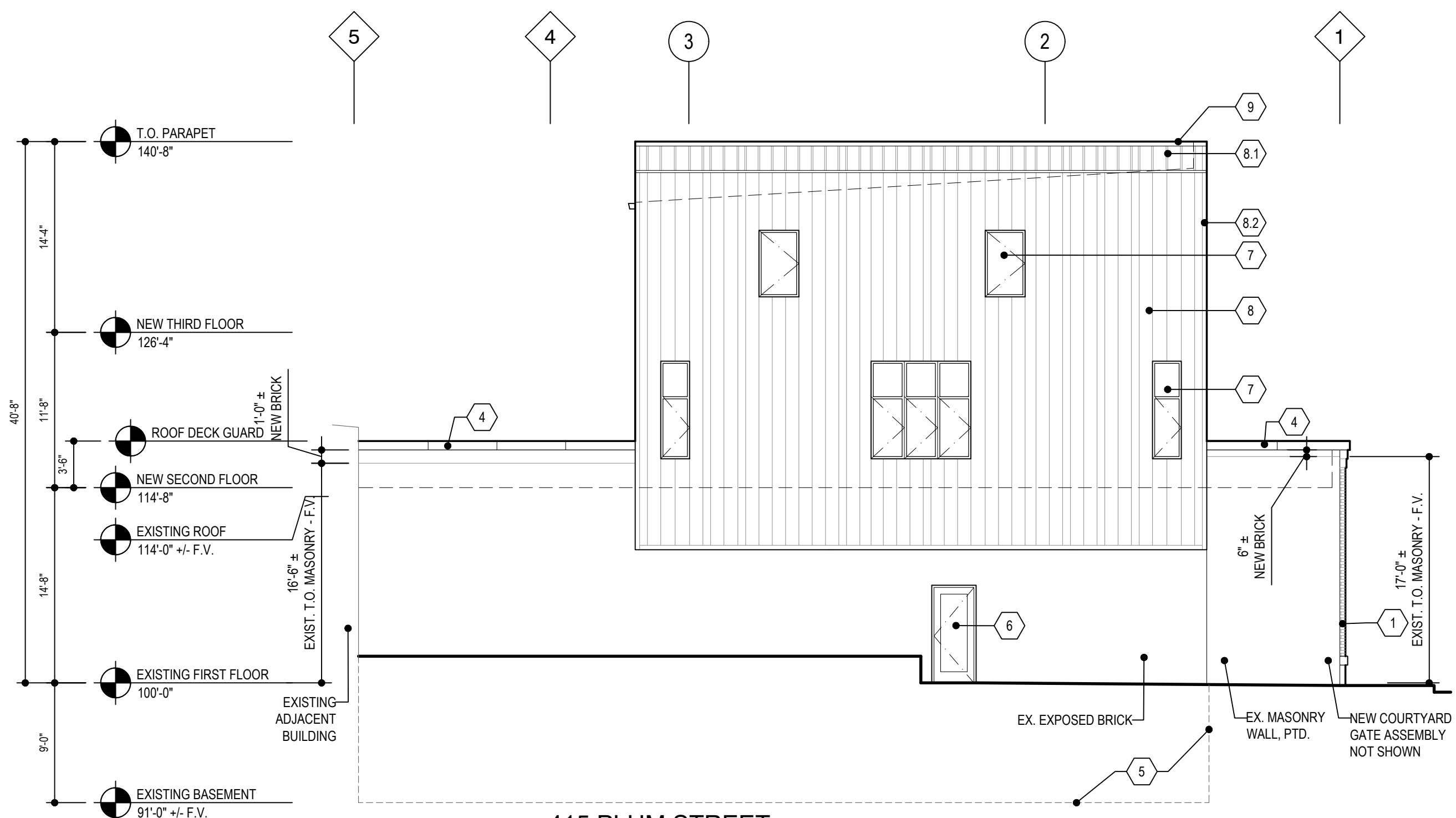
A201



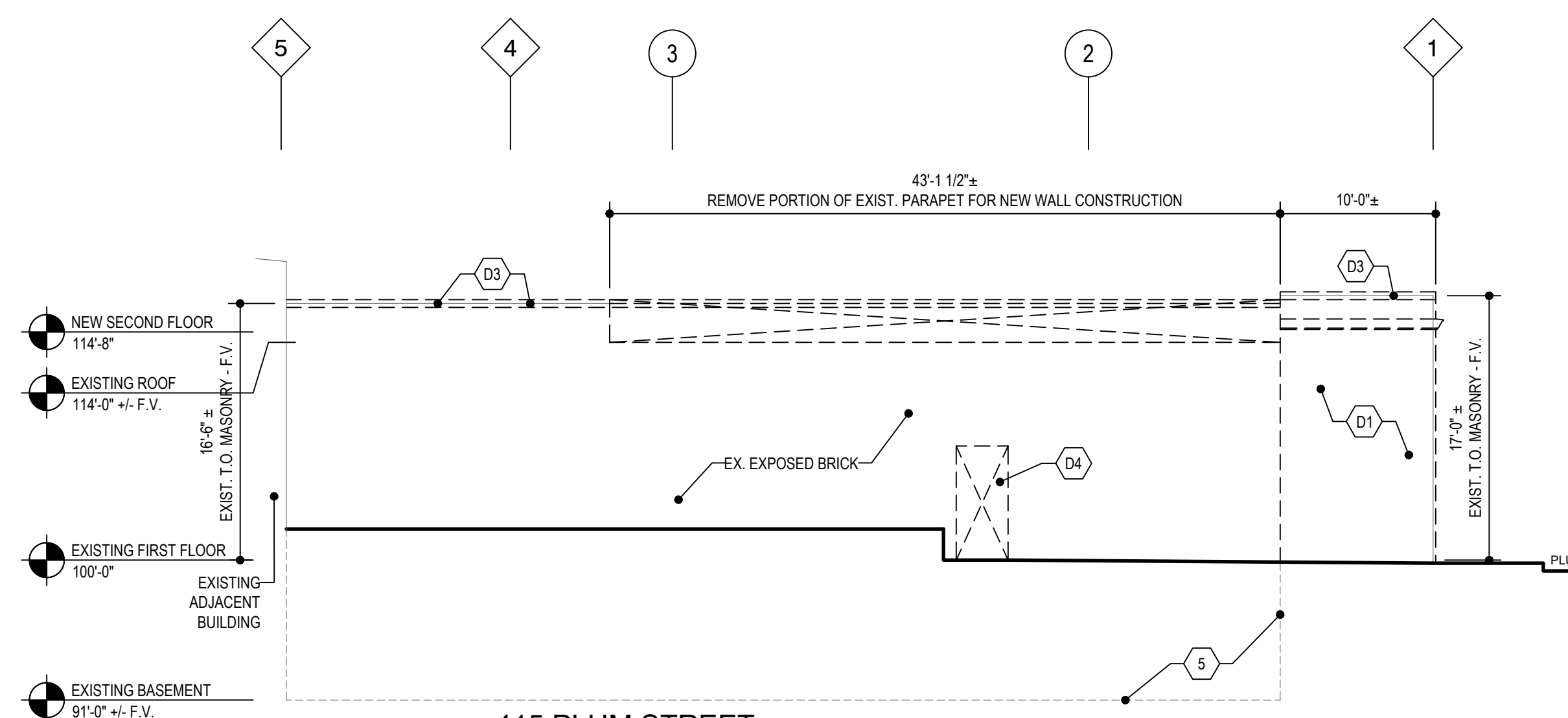
ENLARGED BRICK PATTERN DETAIL
SCALE: 1/4" = 1'-0"
3 A202



415 PLUM STREET WEST ELEVATION - NEW WORK
SCALE: 1/8" = 1'-0"
2 A202



415 PLUM STREET SOUTH ELEVATION - NEW WORK
SCALE: 1/8" = 1'-0"
1B A202



415 PLUM STREET SOUTH ELEVATION - DEMOLITION
SCALE: 1/8" = 1'-0"
1A A202

GENERAL NOTES	
1.	EXTERIOR DIMENSIONS ARE TO COL. C.L. / FACE OF FINISH U.N.O.
2.	DIFFERENT EXTERIOR WALL CONSTRUCTION THAT SUPPORTS THE SAME EXTERIOR BUILDING FINISH IN THE SAME PLANE SHALL BE CONSTRUCTED SO THAT FINISH FACES OF THE SAME MATERIAL ALIGN. U.N.O. SEE ALSO SECTION DETAILS.
3.	DISCREPANCIES FOUND IN THE FIELD SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND OWNER.

# ELEVATION CODED NOTES	
D1.	REMOVE EXISTING EIFS CLADDING / CORNICE PROFILE - EXISTING MASONRY BACKUP WALL TO REMAIN
D2.	REMOVE EXISTING STOREFRONT / ENTRANCE DOORS & SILL ASSEMBLY, TYP.
D3.	REMOVE EXISTING COPING / BLOCKING
D4.	CUT OPENING IN EXISTING MASONRY WALL FOR NEW DOOR

1.	NEW FACE BRICK VENEER OVER EXISTING MASONRY BACKUP WALL
2.	RECESSED BRICK INLAY PATTERN
3.	BRICK CORBEL SOLDER COURSES
4.	CAST STONE BASE CLADDING / SILL / BAND / LINTEL
5.	LINE OF EXISTING / NEW BASEMENT / FOUNDATIONS SHOWN DASHED
6.	ALUMINUM STOREFRONT SYSTEM / ENTRANCE DOOR
7.	ALUMINUM-CLAD WOOD WINDOW, OPERABLE AS INDICATED / SCHEDULED
8.	VERTICAL FLUSH METAL WALL PANEL CLADDING
8.1.	VERTICAL REVEAL METAL WALL PANEL CLADDING
8.2.	CORNER TRIM
9.	METAL COPING
10.	HOLLOW METAL DOOR / FRAME - PAINTED
11.	EXTERIOR SCONCE LIGHT FIXTURE

LEGEND	
GLASS TYPES	REF. GLAZING SCHEDULE
CLEAR	[Symbol]
TRANSLUCENT	[Symbol]

EXTERIOR FINISHES	
MASONRY	
BRICK (BASIS-OF-DESIGN)	ENDICOTT
MANUFACTURER:	ENDICOTT
COLOR / TEXTURE:	MANGANESE BROWN / VELOUR TEXTURE
SIZE:	STD. MODULAR 2-1/4" x 3-5/8" x 7-5/8"
MORTAR COLOR:	MATCH CAST STONE COLOR
CAST STONE	
COLOR / TEXTURE:	AS SELECTED
SIZE:	VARIES PER DETAILS
MORTAR COLOR:	MATCH CAST STONE COLOR

GLAZED OPENINGS □ LOUVERS	
ALUMINUM STOREFRONT SYSTEM	
FINISH:	ANNOZIZED ALUMINUM
COLOR:	BRONZE
SEALANT COLOR:	MATCH ALUMINUM FINISH
ALUMINUM-CLAD WOOD DOORS / WINDOWS	
BASIS-OF-DESIGN:	PELLA
FINISH:	PAINTED ALUMINUM
COLOR:	BRONZE
SEALANT COLOR:	MATCH ALUMINUM FINISH

METAL DOORS / FRAMES	
DOORS / FRAMES	
FINISH:	FACTORY-GALVANIZED/PRIMED / FIELD-PAINTED
COLOR:	AS SELECTED TO MATCH BRICK

METAL PANEL CLADDING	
VERTICAL FLUSH WALL PANEL CLADDING	
BASIS-OF-DESIGN:	PAC-CLAD FLUSH WALL PANELS
MATERIAL:	040 ALUMINUM - FACTORY PAINTED
COLOR:	AGED COPPER
FACE EXPOSURE:	VARIES / T.B.D. - 7", 11", 12" BLEND
VERTICAL REVEAL WALL PANEL CLADDING	
BASIS-OF-DESIGN:	PAC-CLAD 1.5" REVEAL WALL PANELS
MATERIAL:	040 ALUMINUM - FACTORY PAINTED
COLOR:	AGED COPPER
FACE EXPOSURE:	VARIES / T.B.D. - 7", 11", 12" BLEND

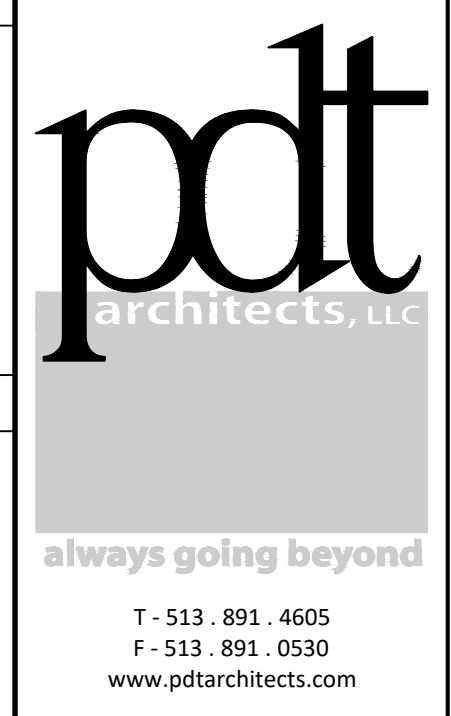
METAL TRIM / FLASHING	
MATERIAL:	ALUMINUM
COLOR:	MATCH PANEL FINISH

METAL COPING / FLASHING / TRIM	
COPING / GUTTERS / DOWNSPOUTS	
MATERIAL:	ALUMINUM
COLOR:	MATCH METAL PANEL FINISH

EXPOSED WINDOW PANNING / FLASHING	
MATERIAL:	ALUMINUM
COLOR:	MATCH WINDOW FINISH

DATE	ISSUE
03/31/2017	HISTORIC CB APPLICATION
04/11/2017	PREDEVELOPMENT MEETING
05/05/2017	DD PRING
05/10/2017	HCB FINAL

415 PLUM TOWNHOMES
RESIDENTIAL CONVERSION
ASHLEY COMMERCIAL GROUP
415 PLUM STREET
CINCINNATI, OH 45202



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EXTERIOR ELEVATIONS

A202

#	ISSUE	DATE
	HISTORIC CB APPLICATION	03/31/2017
	PREDEVELOPMENT MEETING	04/11/2017
	DD PRICING	05/05/2017
	HCB FINAL	05/10/2017

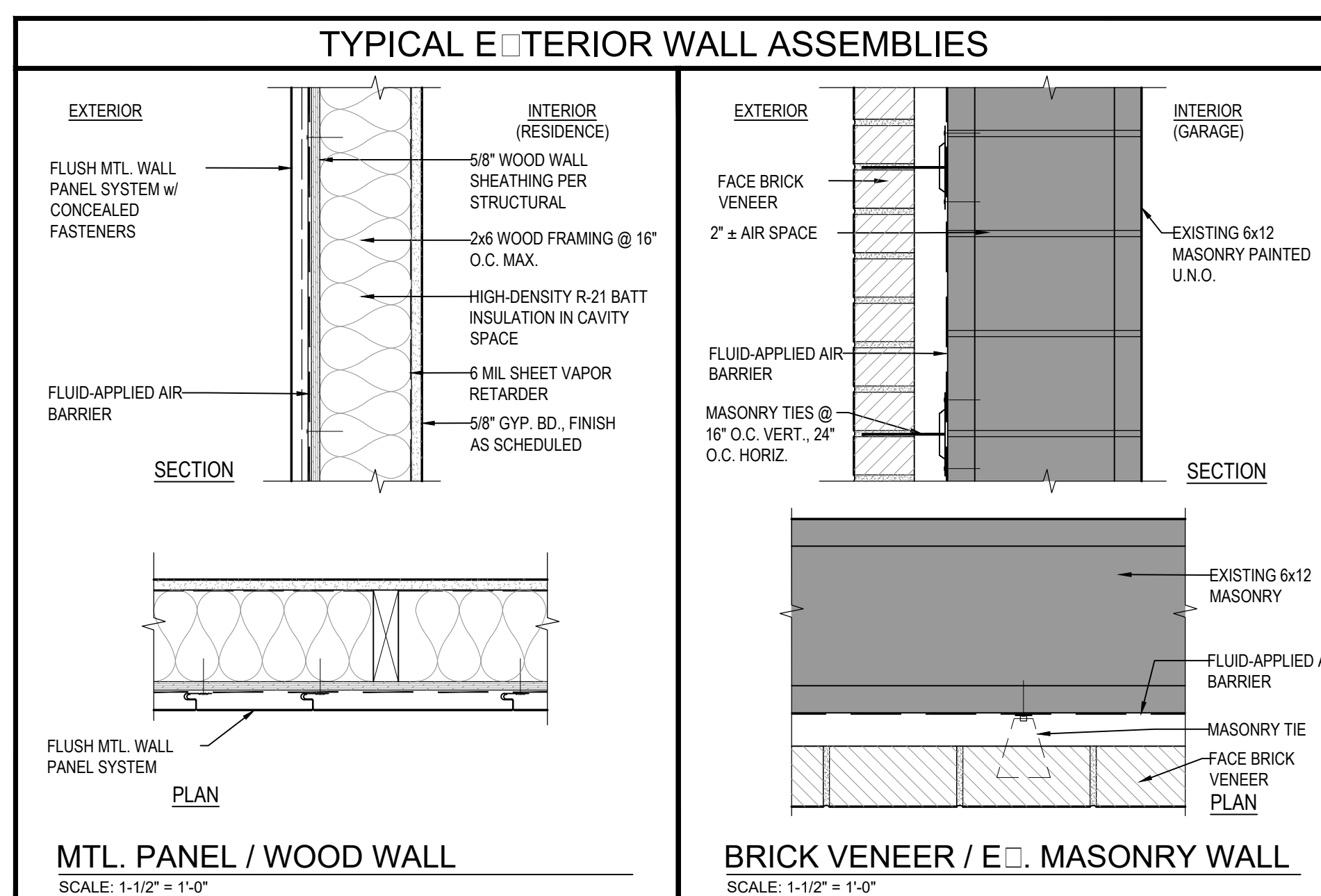
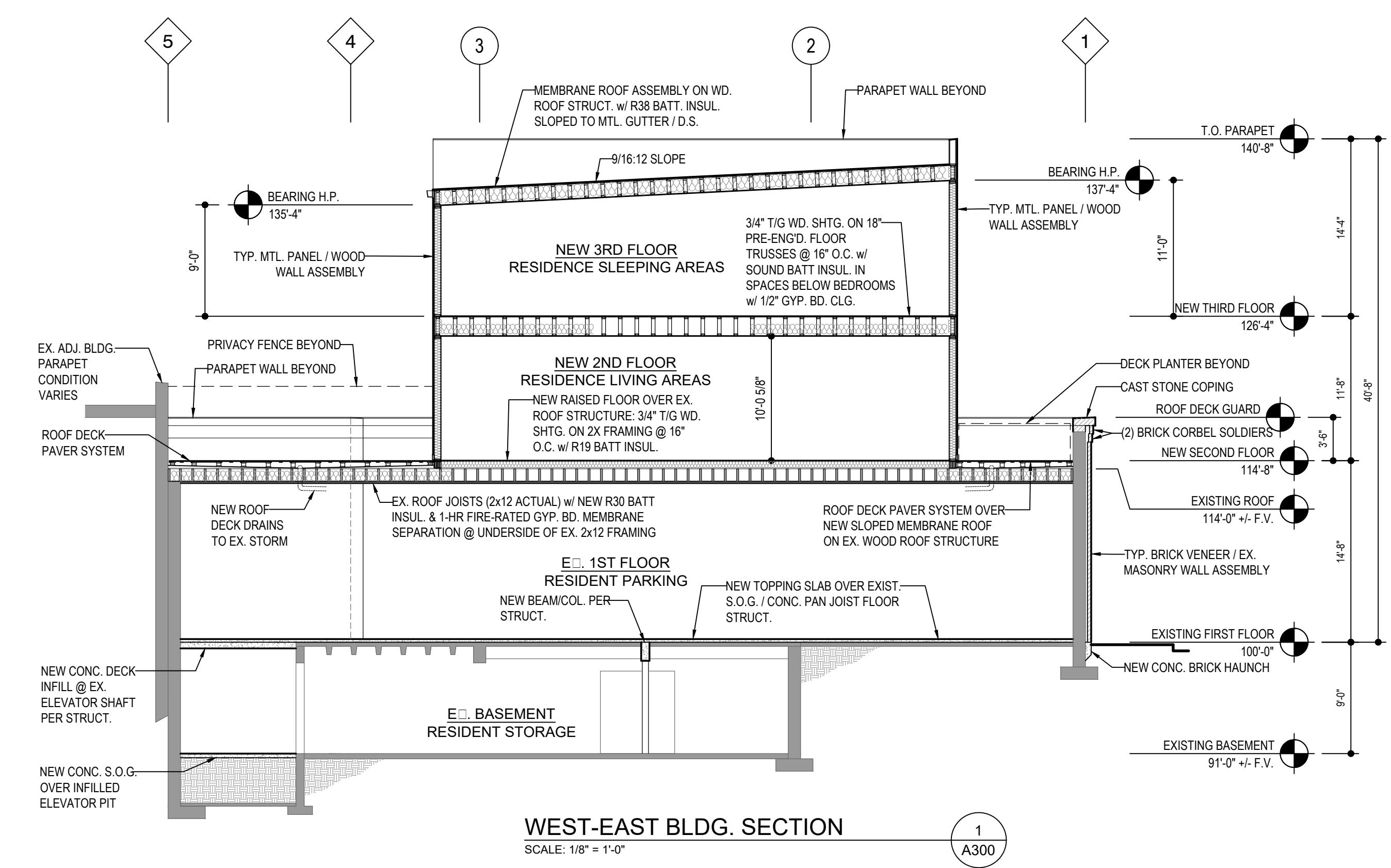
**415 PLUM TOWNHOMES
RESIDENTIAL CONVERSION
ASHLEY COMMERCIAL GROUP**

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CINCINNATI, OH 45202

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- GENERAL NOTES**
- FIRST FLOOR ELEVATION 100'-0" = EXISTING FLOOR ELEVATION
 - MASONRY COURSING DATUM START AT LEVEL 1 U.N.O.
 - SEE REFLECTED CEILING PLANS FOR INTERIOR CEILING TYPES / HEIGHTS
 - ALL EXTERIOR WALL STEEL TO BE GALVANIZED & PAINTED U.N.O.
 - ALL EXPOSED CONCRETE TO BE SMOOTH-FORM FINISH U.N.O.
 - SEE STRUCTURAL FOR LOAD-BEARING WALL REQUIREMENTS

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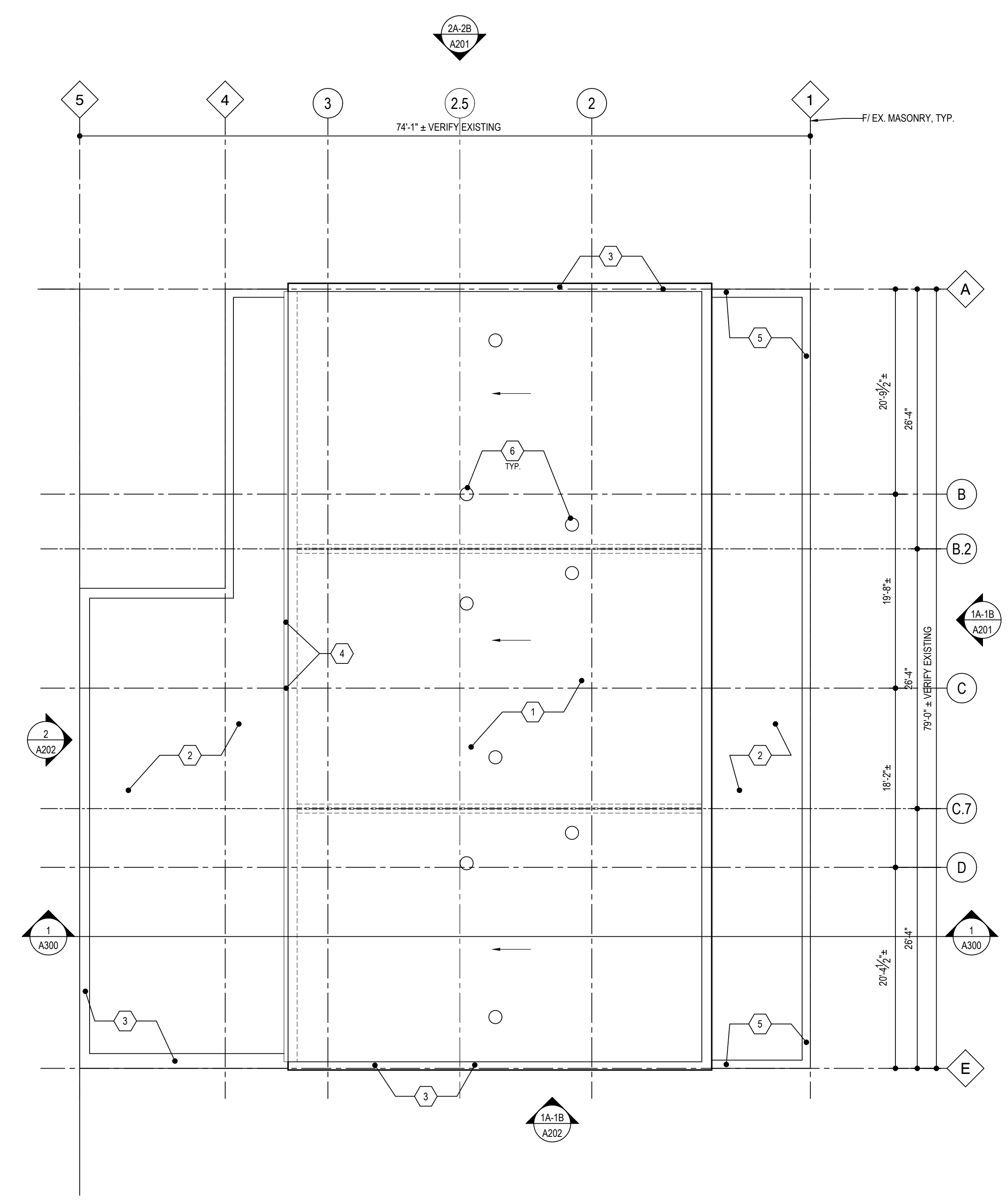
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ROOF PLAN

A800



ROOF PLAN
SCALE: 1/8" = 1'-0"

ROOF PLAN GENERAL NOTES

- A. VERIFY SUBSTRATE CONDITIONS PRIOR TO INSTALLING ROOF SYSTEMS.
- B. PROVIDE POSITIVE DRAINAGE OF 1/4" PER FOOT TO ROOF DRAINS. PONDING IS NOT ACCEPTABLE. CRICKET ROOF INSULATION 1/2" PER FOOT AT ALL ROOF ITEMS WITH CURBS AND WHERE INDICATED FOR UNOBSTRUCTED SLOPE TO ROOF DRAINS.
- C. HVAC EQUIPMENT SHOWN FOR REFERENCE ONLY - COORDINATE ROOFTOP EQUIPMENT AND PENETRATIONS WITH HVAC.
- D. PROVIDE ROOF WALKWAY PROTECTION PAD WHERE INDICATED AND AROUND ALL HVAC ROOFTOP EQUIPMENT.
- E. PROVIDE 1.5" MIN. THICK ROOF INSULATION AT ROOF DRAIN SUMPS, SCUPPERS, LOW POINTS, ETC.
- F. REFERENCE TYPICAL ROOF DETAIL SHEET(S) FOR BASIS-OF-DESIGN DETAILS. COORDINATE SPECIFIED ROOF TYPE(S) & CONDITIONS WITH MANUFACTURER'S DETAILS & PROJECT-SPECIFIC NON-TYPICAL DETAILS TO PROVIDE ROOF SYSTEM WARRANTY AS SPECIFIED.

PLAN LEGEND

→ ROOF SLOPE

--- LINE OF BUILDING / OPENING BELOW

--- PROPERTY LINE / R.O.W.

ROOF PLAN CODED NOTES

1. MEMBRANE ROOF ASSEMBLY / 0-HOUR FIRE RATED: 60-MIL EPDM ROOF MEMBRANE - FULLY ADHERED, SET IN LOW RISE POLYURETHANE OVER 1/2" DENSDECK PRIME DECK BOARD ON 19/32" APA-RATED WOOD ROOF SHEATHING OVER PRE-ENGINEERED ROOF TRUSSES 24" O.C. SLOPED TO DRAIN w/ R38 BATT INSULATION
2. ROOF PAVER ASSEMBLY / 0-HOUR FIRE RATED: IPE WOOD OR COMPOSITE DECKING PAVING PEDESTAL SYSTEM OVER 60 MIL EPDM ROOF MEMBRANE - FULLY ADHERED, SET IN LOW RISE POLYURETHANE OVER 100 PSI TAPERED INSULATION BOARD ON EXISTING WOOD ROOF DECK / STRUCTURE
3. METAL COPING / PARAPET WALL
4. GUTTER / DOWNSPOUT - PROVIDE ROOF PROTECTION MAT WHERE D.S. OPENS ONTO ROOFS BELOW
5. CAST STONE COPING / PARAPET WALL
6. TUBULAR DAYLIGHT SYSTEM - BASIS-OF-DESIGN: SOLATUBE SOLAMASTER 14" DIA.

**APPLICATION FOR
ZONING RELIEF AND
CERTIFICATE OF APPROPRIATENESS
HISTORIC CONSERVATION BOARD PUBLIC HEARING
STAFF REPORT**

APPLICATION #: COA2016038/ ZH20160079
APPLICANT: Heather Curless, Greenerstock
OWNER: Chris Lacey
ADDRESS: **1745-1755 Sycamore Street**
PARCELS: 094-0006-0001; 0003, 00004, 00005, 0006
ZONING: RM 0.7
OVERLAYS: Over the Rhine Historic District and Hillside District
COMMUNITY: Over the Rhine
REPORT DATE: May 12, 2017, 2017
HEARING DATE: Prehearing May 3, 2017
STAFF REVIEW: Beth Johnson, Urban Conservator

Nature of Request:

The applicant is requesting a Certificate of Appropriateness for the construction of 6 new single family townhouses that would face Mulberry and Seitz with a frontage on Sycamore.

Details of Zoning Relief Required:

1. §1405-07: Lot area/dwelling unit for RM 0.7 is 2000 sf for exterior rowhouses in 1500sf for interior row houses in RM. 4 of the 6 new lots will need zoning relief for lot size. Please refer to the chart below.
2. §1433-19 and §1405-07: Hillside Base Development Regulations for an RM 0.7. There are front, rear and height variances for the proposed development as is outlined in Table 1 below.

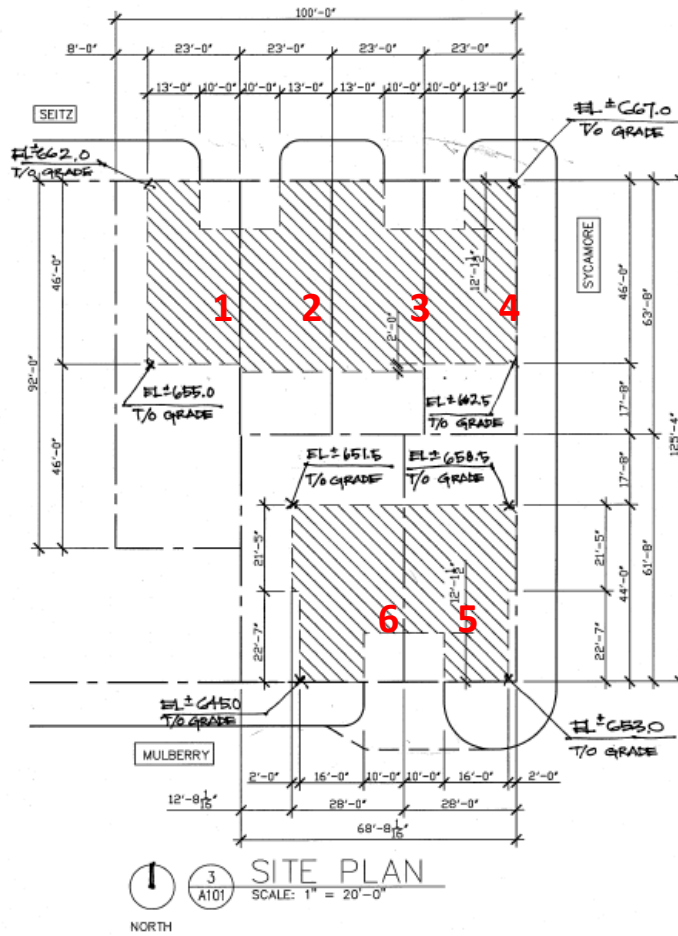


Figure 1: Unit/Property subdivision

	Front Yard Variance	Rear Yard Variance	Side Yard Variance	Height in Rear Variance	Lot Size Variance
Unit 1	5 ft.	NA	NA	3 feet 6 ¼ in	NA
Unit 2	5 ft.	12ft 4 in	NA	3 feet 6 ¼ in	33.75 sf
Unit 3	5 ft.	12ft 4 in	NA	3 feet 6 ¼ in	33.75 sf
Unit 4	5 ft.	12ft 4 in	5 ft.	3 feet 6 ¼ in	533.75sf
Unit 5	5 ft.	12ft 4 in	5 ft.	NA	271 sf
Unit 6	2ft 6 in	12ft 4 in	NA	NA	NA

Table 1: Proposed variances

Existing Conditions:

1745-1755 Sycamore Street are vacant lots in a hillside district. Currently the lots are oriented to Sycamore Street.

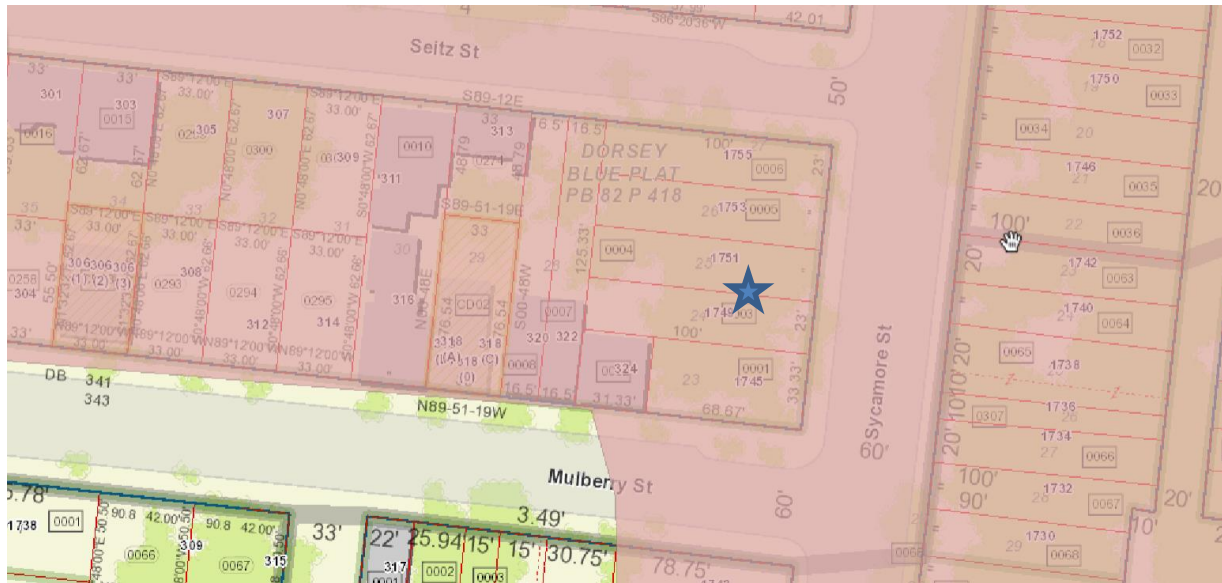


Figure 2: Map of 1745-1755 Sycamore Street. Map provided by Cagis Maps

Proposed Conditions:

The proposal at 1745-1755 Sycamore Street

1. Replat the lots to orient the lots along Mulberry and Seitz
2. Construct 6 new single family townhouses with 4 along Seitz and 2 along Mulberry
 1. The new buildings will be sided in a dark gray brick, metal panel and precast masonry.
 2. A portion of the buildings will be set at the property line and then they will step back for a front facing garage door.
 3. The buildings along Mulberry will have a two floor frontage with a roof deck
 4. The buildings along Seitz will have a three story frontage with a rear deck.
 5. The buildings along Sycamore will have a zero lot line frontage.
 6. Optional rear first floor decks made out of wood and set at the rear.

Previous Review: NA

Applicable Zoning Code Sections:

Zoning District:	Section 1405	Residential
Variance Requests:	Section 1405	Development Standards
	Section 1433	Hillside District
Variance Authority:	Section 1445-07	
HCB authority:	Section 1435-05-4	
Variance Standard:	Section 1445-13	General Standards: Public Interest
	Section 1445-15	Standards for Variances
Overlays:	Section 1435	Historic Preservation

Historic District/Reg: Over the Rhine Historic District
COA Standard: [Section 1435-09-2](#) COA; Standard of Review

Zoning Analysis:

Below is analysis of the consideration factors for all of the requested zoning actions, utilizing Section 1445-13, General Standards; Public Interest. Staff is supportive of the requests for variances.

- The setback requests are for setbacks that are similar to neighboring properties and other properties in the vicinity as well as help the proposal meet the Historic District Standards.
 - The height variances are minor and the street level height is within the permitted height and due to the hillside the rear is taller than the permitted height. This height does not infringe on views from other properties.
 - The minimum lot size requested is also similar to other lot sizes along the street.
- a. **Zoning.** The proposed work conforms to the underlying zone district regulations and is in harmony with the general purposes and intent of the Cincinnati Zoning Code.
The underlying zoning is RM 0.7. The proposed use of the subject property does not conform to the permitted uses within the zone. The setbacks, lot size and heights do not conform.
- b. **Guidelines.** The proposed work conforms to any guidelines adopted or approved by Council for the district in which the proposed work is located.
The proposed work does substantially conform to the guidelines for the Over-the-Rhine Conservation District. (Refer to Certificate of Appropriateness review below)
- c. **Plans.** The proposed work conforms to a comprehensive plan, any applicable urban design or other plan officially adopted by Council, and any applicable community plan approved by the City Planning Commission.
This project conforms to the Over the Rhine Comprehensive Plan through creating increased home ownership opportunities.
The Comprehensive Plan also calls for developments within Historic Districts to support the historic conservation efforts and as in staff's review the new infill is contextually sensitive and does not detract from the district.
- d. **Traffic.** Streets or other means of access to the proposed development are suitable and adequate to carry anticipated traffic and will not overload the adjacent streets and the internal circulation system is properly designed.
Traffic will be impacted as it will be creating a use on currently vacant parcels but the project is providing off street parking and will not increase the on street parking demand.

- e. **Buffering.** Appropriate buffering is provided to protect adjacent uses or properties from light, noise and visual impacts.
This is not applicable.
- f. **Landscaping.** Landscaping meets the requirements of Chapter 1423, Landscaping and Buffer Yards.
This is not applicable.
- g. **Hours of Operation.** Operating hours are compatible with adjacent land uses.
This is not applicable.
- h. **Neighborhood Compatibility.** The proposed work is compatible with the predominant or prevailing land use, building and structure patterns of the neighborhood surrounding the proposed development and will not have a material net cumulative adverse impact on the neighborhood.
The proposed use of a single family townhouse development is an appropriate use within a residential area of the neighborhood.
- i. **Proposed Zoning Amendments.** The proposed work is consistent with any proposed amendment to the zoning code then under consideration by the City Planning Commission or Council.
There are no proposed amendments under consideration that would impact this proposed project.
- j. **Adverse Effects.** Any adverse effect on the access to the property by fire, police, or other public services; access to light and air from adjoining properties; traffic conditions; or the development, usefulness or value of neighboring land and buildings.
There is no anticipated adverse effect
- k. **Blight.** The elimination or avoidance of blight.
This will provide a new use to a currently vacant and unimproved lot.
- l. **Economic Benefits.** The promotion of the Cincinnati economy.
The proposed work will increase the property value of the subject parcels.
- m. **Job Creation.** The creation of jobs both permanently and during construction.
The proposed project will create temporary jobs during construction and will provide permanent jobs at the restaurant on the first floor and with the property management of the apartments.
- n. **Tax Valuation.** Any increase in the real property tax duplicate.
Property taxes will increase due to the improved value of the significantly larger structure on the property.
- o. **Private Benefits.** The economic and other private benefits to the owner or applicant.
The owner has an economic benefit to the proposed project.
- p. **Public Benefits.** The public peace, health, safety or general welfare.
 - *There is no anticipated detriment to the public peace health, safety or general welfare of the public or neighbors.*

Standards for Variances per Section 1435-05-4

- (a) Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the Historic District of Historic Asset; or

The proposed work is compatible with the historic district and will provide an example of development that is contemporary in style while compatible with the historic district is scale, massing, and materials.

- (b) Is necessary where the denial thereof would result in a deprivation of all economically viable uses of the property as viewed in its entirety. In making such a determination, the Historic Conservation Board may consider the factors set forth in Section 1435-09-2 (aa) to (ff).

The denial will not result in the deprivation of all economically viable uses.

Certificate of Appropriateness Review

Staff is supportive of the design and feels that the design substantially conforms to the Historic Conservation District Guidelines. The applicant has worked with staff over the last year addressing concerns voiced by Historic Conservation, Zoning and DOTE staff as well as representatives of the OTR Infill Committee and neighbors. The applicant and architect revised the plans over the last year to take these concerns into account in the design and layout of the buildings and lots. This project is a good example of an applicant incorporating recommendations and creating a project that staff feels is a good example of infill on a difficult lot due to hillside.

Staff is also supportive of the replatting of the lots to orient toward Mulberry and Seitz. As these are residential buildings orienting the houses with access off of secondary streets is appropriate. Also the lots across from the properties on Sycamore are vacant and orienting houses to face each other on Mulberry and Seitz is a natural solution.

Below the discussion talks about the design of the project as a whole while there are 6 individual houses being built.

NEW CONSTRUCTION

Staff comments on the Specific Guidelines for New Construction:

A. Intent and General Guidelines

1. New construction is allowed on vacant sites in Over-the-Rhine, because gaps due to demolition weaken the streetscape and the overall character of the district. New construction can improve both the physical quality and economic vitality of the neighborhood.

The lots are currently vacant and unimproved lots.

2. New construction should be well-designed but should not replicate the existing buildings. The exceptional quality of the existing buildings in the district provides an outstanding framework for new construction.

This infill development does not replicate the existing buildings, but uses materials, massing and rhythm to influence the design choices.

3. The Historic Conservation Board's review of new construction will focus on the design compatibility with the surrounding contributing structures. The appropriateness of design solutions will be based on balancing the programmatic needs of the applicant with how well the design relates to the neighboring buildings and to the intent of these guidelines. New design proposals should pay particular attention to composition, materials, openings, rhythm, scale, proportion and height.

Staff details the compatibility of the project with the guidelines and surrounding buildings below in the specific guidelines.

4. The new construction guidelines for this district will be used to judge the compatibility of new work. The specific site and programmatic needs of each project will be taken into consideration.

Staff details the compatibility of the project with the guidelines and surrounding buildings below in the specific guidelines

B. Specific Guidelines

1. **Composition:** New buildings should respond to the traditional subdivisions found on historic property: a base, a middle and a top. Most buildings in Over-the-Rhine are built of brick with the principal facade parallel to the street it faces. The most important features of buildings in Over-the-Rhine are the arrangement of openings on the principal facade and an overall vertical emphasis of the whole design. Each building provides its own variations, but collectively they share many basic features.

Base: New buildings should have a well-defined base. Within the district most buildings have a base that is distinguishable from the rest of the building. This is accomplished through a change of materials, a change of scale, and/or a lintel or other type of horizontal banding. In larger buildings the original base may include more than the first floor.

The buildings have a strong base using a cast masonry treatment at the bottom, due to the hill and the need to provide both a base on Sycamore and along Mulberry, the base along Mulberry is higher than the bases along Sycamore and Seitz and other surrounding buildings. In the hillside area there are many instances of very tall foundations and base lines due to the topography and slope of the land.

The design also varies the height of the base along Seitz to provide some variation between the units

While setback from the façade line, the garage doors also provide a strong base element.

Middle: Details on new buildings should relate to the detailing of adjacent or nearby buildings. Buildings in the district often incorporate architectural details such as changes in plane or changes in materials on their upper floors. Decorative, horizontal bands indicating the floor lines, sill heights or lintel heights should not overpower the vertical emphasis of the design.

On Mulberry and Seitz the middle is defined brick on the sections at the property line and by metal panels on the sections that are set back from the street.

Top: New construction must employ a strong element that terminates the uppermost part of the building. Distinctive elements in the architecture of Over-the-Rhine are elaborate projecting cornices, decorative parapets and the expressive use of materials.

On Mulberry the top of the portions set at the property line is defined by a glass railing. As these townhouses are only two stories at the property line the railing adds height and a mass to the top to emphasis the vertical of the building.

On Seitz the top of the building is defined by a simple coping line. The change in material, while subtle provides a terminus. The metal sections also provide a terminus with both the use of coping as well as a seam line.

2. Roofs: Roofs for new construction should be similar to roofs of adjacent and nearby buildings of similar size and use. In the district, buildings of three or more stories generally have low-pitched shed roofs that are not visible above the principal facade. Smaller buildings in the district typically have simple gable roofs on which the gables are perpendicular to the principal facade. Institutional buildings in Over-the-Rhine have a variety of roof shapes, including dormers, multiple gables, hip roofs and towers. Roofs in this district have little or no overhang.

The roofs are flat roofs, which are appropriate for roofs on buildings that are three stories tall along Seitz.

The roofs on Mulberry are flat as well, however the buildings are only two stories at the property line. Staff still feels that this is an appropriate treatment for this property and the programmatic elements of the design in order to take advantage of the views. Allowing a front facing deck and not building a three story building with a deck on top, helps to keep the height of the entire project in scale with the

neighborhood and not take away or interrupt views from other properties up the hill.

3. Window Openings: Window openings are extremely important in this district. The openings of new buildings should be related to the size and placement of openings found on historic structures of similar use in the district. In residential buildings, window openings are typically found individually rather than in pairs or grouped. The openings are taller and wide (typically in a proportion of 2:1), window sash are set back from the wall surface, and openings have some form of definition, such as lintels, sills or decorative surrounds. Window openings, which are typically aligned vertically, usually occupy between 20% and 50% of the principal facade. In commercial, industrial and institutional buildings, windows are often grouped within a single opening. These building types may also use a combination of window sash, including double-hung, awning and hopper. If muntins are used in new window sash, they must provide true divided lights. Within the individual opening, window sash are usually divided into two or more lights. In all cases the glass must be clear; tinted or reflective glass is not acceptable. Also, roll down shutters and metal bar systems installed on the exterior of the building that cover door and window openings are not appropriate.

- 1. The property has a mixture of groups and individual punched openings.*
- 2. The grouped openings have strong dividers between the windows creating a 2:1 proportion*
- 3. The window's individual openings have a 2:1 proportion as well.*
- 4. The windows are all aligned vertically over the facades.*

4. Storefronts: New storefronts should relate to the characteristics of existing storefronts on historic buildings. Storefronts in the district are typically taller than individual upper floors; framed by piers and/or columns and have a lintel separating them from the upper floors; are divided into bays which increases their verticality and provides a pedestrian scale and proportion; and have large, fixed expanses of clear (not tinted or reflective) glass. As with rehabilitated original storefronts, roll down shutters and metal bar systems installed on the exterior of the building are not appropriate elements for new storefronts. The storefront lintels are 12 to 18 feet above grade; the window sill height is between 18 inches and 3 feet above grade; and storefront windows are set back from the structural elements approximately 12 inches.

- 1. Not applicable as this is a residential development*

5. Setback: Setback is an important issue in a dense urban area such as Over-the-Rhine. The setback for new construction should be consistent with the buildings of similar use on adjacent and nearby sites. In Over-the-Rhine, most commercial buildings are built up to the property line. Some residential property, especially detached buildings, has shallow setbacks but retain an "edge" at the property line with a fence. Some larger institutional buildings such as schools, churches and public buildings are setback from the street to provide public space and to add to their monumentality. In most cases new construction on corner sites should be built up to the edge of both outside property lines.

The setback along Sycamore is appropriate as it is at the property line

The setbacks along Mulberry and Seitz have a portion of the property at the property line and a section set back. Staff feels that this treatment is appropriate to provide separation between the buildings and also make the garage portion of the site less visible.

6. Rhythm: New buildings should incorporate design features, such as window groupings, articulation of wall surfaces, and decorative elements such as columns or piers in an effort to maintain the rhythm that already exists in the district. New construction should avoid creating long unrelieved expanses of wall along the street by maintaining the rhythm of bays found on the district. Most buildings in Over-the-Rhine are relatively narrow, 25 to 50 feet in width. A building facade typically displays vertical subdivisions that establish a visual rhythm. In dense commercial areas such as Vine Street, there are no setbacks, creating a solid wall along the street. This wall is articulated by the individual buildings, which in turn are divided by window groupings, changes in wall planes and decorative elements such as pilasters, columns or piers.

The lots and buildings are between 23 feet wide along Seitz and 28 feet side on Mulberry. The building frontage on Seitz is 13 feet and along Mulberry is 16 feet. The buildings widths are appropriate; however the frontage at the property line is narrower than a typical property.

For this location, staff does not feel that the narrow nature of the property line frontage is inappropriate or inconsistent. There is not tons of context around the immediate site. A lot of the surrounding land has been cleared or was never developed. Also the lot is right at the edge of the historic district. This allows for more flexibility in design.

As this is not a dense commercial area, but a residential area, providing some relief at the street line is appropriate.

Within the façade the windows provide a regular rhythm along Mulberry and Seitz as they are evenly spaced and vertically oriented. The design also incorporates a regular fenestration along Sycamore to create interest and a strong rhythm along the street.

7. Emphasis: New residential and mixed-use construction should have a vertical emphasis, because in Over-the-Rhine buildings are taller than they are wide, window openings are tall and narrow, and storefronts have slender columns, which emphasize verticality. Commercial and industrial buildings, which may have an overall horizontal emphasis, often incorporate vertical elements, such as pilasters or vertically oriented openings.

The facades along Seitz have a strong vertical orientation as the buildings are taller they are wide.

Along Sycamore the vertical emphasis is found through the window alignment and that all segments of the façade that stair step are taller than they are wide. The only exception to this is the southernmost portion of the façade, however staff does not find that this is inappropriate due to the programmatic elements of having a roof deck and that the overall façade reads taller than wide. As this is on a hillside the need to stair step the buildings down along Sycamore to be within allowable heights as well as to not interfere with neighboring views needs to be addressed and this does compromise the height at the corner of Mulberry and Sycamore.

On Mulberry the buildings do not have as strong of a vertical emphasis but the buildings are taller than they are wide and the added railing on the top helps to add height to emphasize vertically of the building.

Throughout all building the use of gray metal panels with seams that are vertical also help to emphasize the vertical nature of the building.

8. Height: The height of new construction should not vary more than one story from adjacent contributing buildings. Most buildings in Over-the-Rhine are between two- and five-stories.

The height is appropriate to the site and the area. As the buildings are between 2-3 stories they are within one story of neighboring adjacent contributing buildings.

9. Materials: New construction should use materials that are found on the historic buildings in Over-the-Rhine. Clearly the dominant material in Over-the-Rhine is brick, but other materials such as limestone, sandstone, cast-iron, slate, wood and sheet metal are important as well. Materials such as stucco, synthetic stucco and plastic are not appropriate and should not be considered as exposed finish materials for new construction in this district.

The main building materials are modular gray brick, cast stone lintels and cast stone masonry in a varied pattern at the base. These materials are all appropriate.

A secondary material on the façade is gray metal panels with vertical seams. The material is a neutral tone and will not have a reflective finish. As it is set to the background and the brick and stone are the materials that front onto the property lines, staff feels that the material is appropriate.

Other Considerations:

Prehearing Results

May 3, 2017- Neighbors, the applicant and OTR infill committee members were present.

Comments Provided to Staff: NA

Recommendation:

I. ZONING VARIANCE

A. APPROVE the application for Zoning Relief for a 6 residential townhomes at 1745-1755 Sycamore per the drawings submitted by Heather Curless dated 3.24.2017. The zoning relief includes the following per unit numbers outlines in Figure 1

1. Unit 1. Front yard setback variance of 5 feet, a rear height variances of 3 feet 6 ¼ inches.
2. Unit 2. Front yard setback variance of 5 feet, rear yard setback of 12ft 4 in, a rear height variance of 3 feet 6 ¼ inches, lot size variance of 33.74 sf.
3. Unit 3. Front yard setback variance of 5 feet, rear yard setback of 12ft 4 in, a rear height variance of 3 feet 6 ¼ inches, lot size variance of 33.74 sf.
4. Unit 4. Front yard setback variance of 5 feet, rear yard setback of 12ft 4 in, side yard setback of 5 feet, a rear height variance of 3 feet 6 ¼ inches, lot size variance of 533.74 sf.
5. Unit 5. Front yard setback variance of 5 feet, rear yard setback of 12ft 4 in, side yard setback of 5 feet, lot size variance of 271 sf.
6. Unit 6. Front yard setback variance of 2 feet 6 inches, rear yard setback of 12ft 4 in.
7. The above variances are recommended approval with the following condition:
 - a. The property is subdivided per the proposed property lines submitted with this application.

B. FINDING: The Board makes this determination that per Section 1435-05-4:

1. Such relief from literal implication of the Zoning Code will be not materially detrimental to the public health, safety and welfare or injurious to property within the district or vicinity where property is located.

II. CERTIFICATE OF APPROPRIATENESS

A. Approve the application for Certificate of Appropriateness for a 6 residential townhomes at 1745-1755 Sycamore per the drawings submitted by Heather Curless dated 3.24.2017 with the following conditions

1. The property is subdivided per the proposed property lines submitted with this application.
2. DOTE approves the curb cuts and access to the property.
3. The building permits must be issued within two years of the decision date or the Certificate of Appropriateness shall expire.

B. FINDING: The Board makes this determination per Section 1435-09-2

1. That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.



Since 1947, Reusing Rock Inc. has manufactured innovative, high-quality masonry products and is currently one of the country's largest cast stone producers. Our architectural stone product, RockCast, is a ground-breaking cast stone masonry product offering great versatility in application for use with exterior or interior masonry walls, as a veneer or as architectural features, trim, or facing for buildings. With a classic look and texture, our products offer the structural integrity of natural limestone, sandstone, and granite and can withstand extreme weather conditions.

ROCKCAST ADVANTAGES

- DESIGN OPTIONS**
All castles are produced from a similar mix design, ensuring the uniformity and color consistency you want in your design.
- READY, FLEX, PLUS, MERIT & QUICK SET**
Products that provide flexibility in meeting the styling and budget needs of your project.
- BACKED BY EXPERIENCE**
Created with pride by knowledgeable and experienced professionals. Our associates are dedicated to your project and are capable of assisting you at every stage of your project.
- NPCA PLANT CERTIFICATION**
Reusing Rock is certified by the NPCA for meeting the highest standards for plant facilities, production and quality control procedures.
- CAST STONE INSTITUTE**
A member of the CSI, Reusing Rock meets rigorous explanation of product quality, safety, coating and finishes, project packaging.
- LIFETIME WARRANTY**
Please see the Reusing Rock Terms and Conditions of Sale.

PRODUCT OVERVIEW

12 STANDARD COLORS

Colors available in all textures -- see an associate for details

BINDLE	BUCKSKIN	BUFFSTONE	COMMONWEALTH
CHENE BUFF	CRYSTALWHITE	FLAX	RIESELING
SEANNAH	SLATE	SMOKE GRAY	WHEATSTONE

Standard Colors of "Mudstone" Color

ASHLAR SERIES

BINDLE	OLD OHIO	SANDSTONE	STONE GREEN
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PRAIRIE STONE

Available in dr. sealed and smooth.

ASH	BAMBOO	CLAY ORCHARD
GRIS	STONE	SUNSET

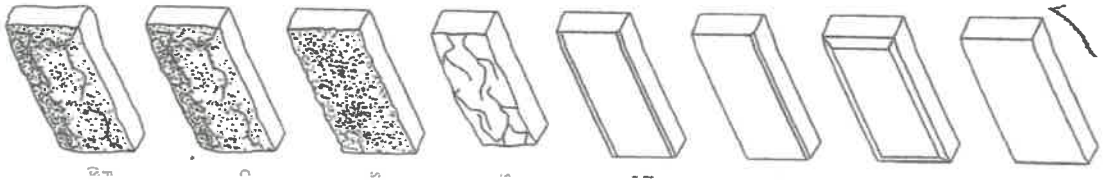
CUSTOM CAPABILITIES

Reusing Rock specializes in creating custom colors and is experienced in matching our RockCast architectural stone products to complementary existing materials on site. Our manufacturing capabilities provide customer's with unlimited color solutions that are sure to meet any design requirements.



These photographs are a close representation of our actual colors. Due to photographic reproduction, variations in color may occur. Please consult with our sales associate for more information regarding a final decision.

SHAPES



COMMERCIAL (/COMMERCIAL)

RESIDENTIAL / RESIDENTIAL

Cincinnati / Dayton / NKY

Midwest

National

LR

PRODUCTS

Hardscapes & Outdoor Living
(/products/hardscapes-outdoor-living)

Tristate Tile (/products/tristate-tile)

Architectural Stone
(/products/architectural-stone)

Brick (/products/brick)

Bowerston Shale Company
(/products/brick/bowerston-shale-company)

Forterra Brick (/products/brick/forterra-brick)

Sioux City Brick (/products/brick/sioux-city-brick)

Columbus Brick (/products/brick/columbus-brick)

ReadyBrick (/products/brick/readybrick)

Thin Veneer (/products/thin-veneer)

CMU (/products/cmu)

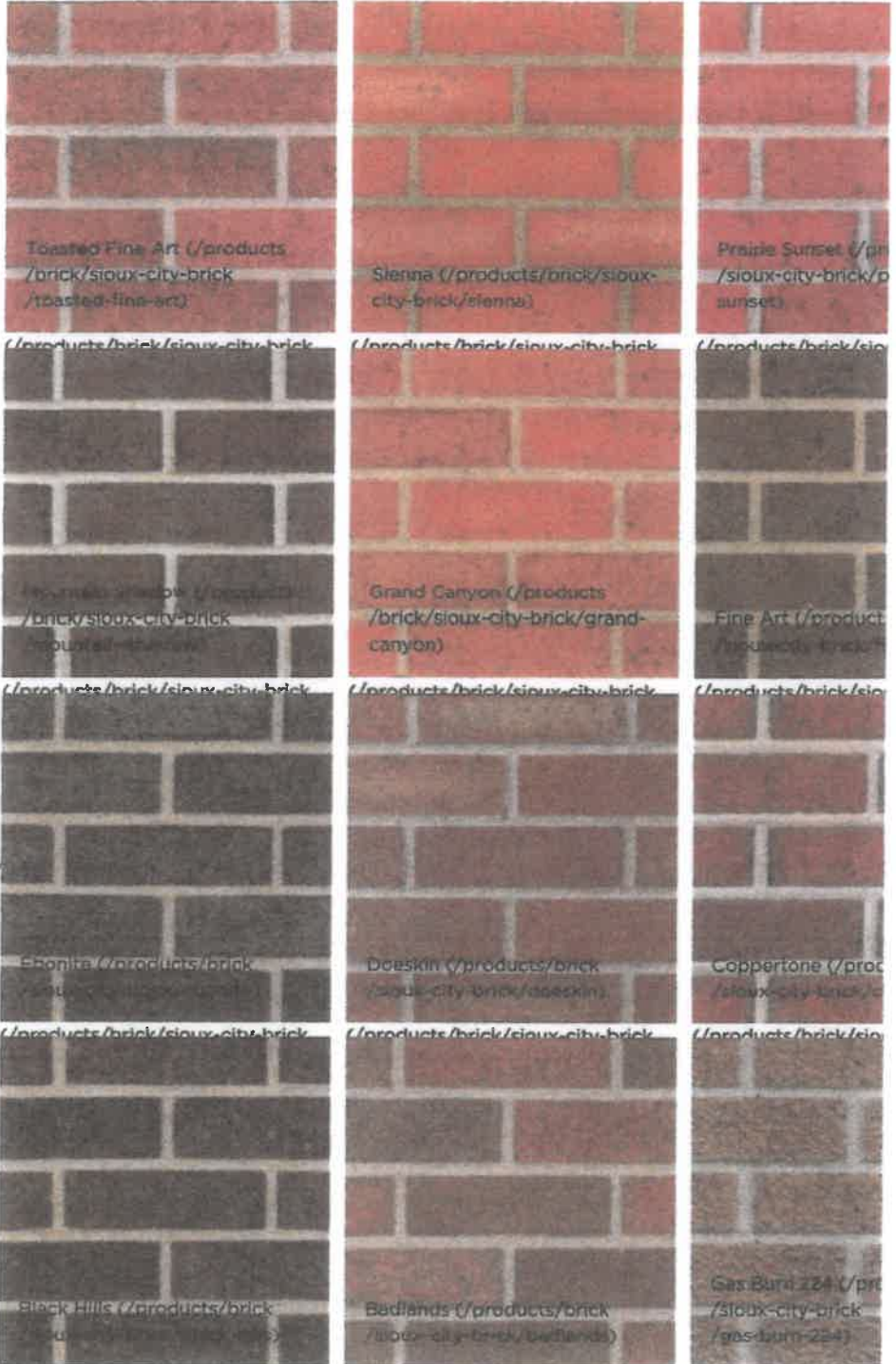
Hearth (/products/hearth)

Visit the Project Gallery



(/resources/project-gallery?term_node_tid_depth=56&tid_3=All&tid=All)

Sioux City Brick



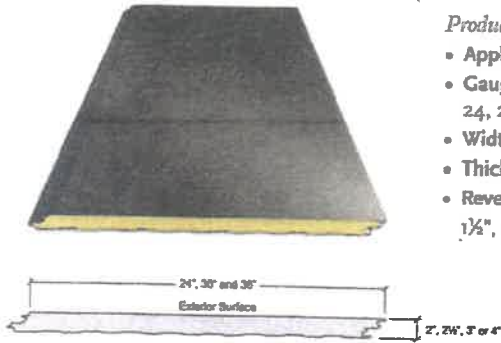
(/products/brick/sioux-city-brick/black-hills)

(/products/brick/sioux-city-brick/badlands)

(/products/brick/sioux-city-brick/gas-burn-224)

ECO-FICIENT® GRAND V

The Grand V wall panel employs a flat appearance providing a monolithic look that is great for high-profile architectural applications. The Grand V panel is available in widths of 24", 30" and 36".

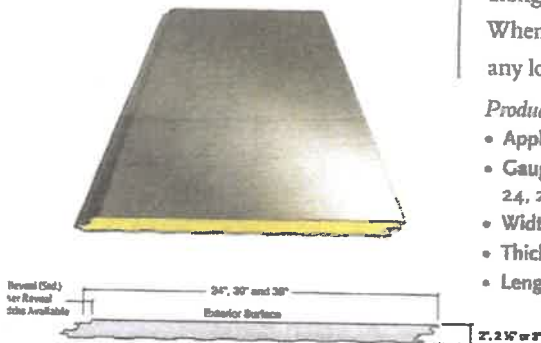


Product Specifications

- **Application:** Wall
- **Gauges:** Exterior: 22 | Interior: 26 (standard); 24, 22 (optional)
- **Widths:** 24", 30" and 36"
- **Thicknesses:** 2", 2½", 3" and 4"
- **Reveal Options:** 1/8" (standard), ¼", ½", ¾", 1", 1½", 2", 2½" and 3"
- **Length:** Recommended maximum of 32'
- **Panel Attachment:** Concealed Fastening System
- **Coatings:** Galvanized/Galvalume Plus®, Signature® 200, Signature® 300, Signature® 300 Metallic, Applied Finishes, Igloo White

ECO-FICIENT® GRAND H

The ECO-FICIENT® Grand H series is manufactured for horizontal applications. It has a flush appearance that provides a monolithic look. The Grand H Series allows for designers to mix multiple panel widths and colors on the same wall. It also allows flexibility for continuous corners along with a complete line of aluminum extrusions and accessories to complete the wall system. When desired, these panels can also be mixed with vertical ECO-FICIENT® panels to achieve most any look a design requires.

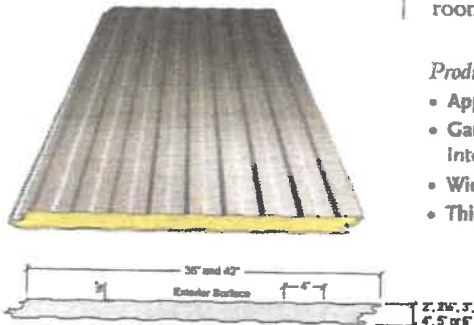


Product Specifications

- **Application:** Wall
- **Gauges:** Exterior: 22 | Interior: 26 (standard); 24, 22 (optional)
- **Widths:** 24", 30" and 36"
- **Thicknesses:** 2", 2½", 3" and 4"
- **Length:** Recommended maximum of 32'
- **Panel Attachment:** Concealed Fastening System
- **Reveal Options:** 1/8", ¼", ½", ¾", 1", 1½", 2", 2½" or 3"
- **Coatings:** Galvanized/Galvalume Plus®, Signature® 200, Signature® 300, Signature® 300 Metallic, Applied Finishes, Igloo White

ECO-FICIENT® ROYAL

The Royal panel is designed for interior wall partitions, interior ceilings and exterior wall applications. The appealing flat exterior and interior skins have a Light Mesa profile. The versatility of this panel allows for a uniform appearance from outside to inside and from room to room in partition applications.



Product Specifications

- **Application:** Wall
- **Gauges:** Exterior: 26, 24 and 22 | Interior: 26 (standard); 24 and 22 (optional)
- **Widths:** 36" and 42"
- **Thicknesses:** 2", 2½", 3", 4", 5" and 6"
- **Length:** Recommended maximum of 50'
- **Panel Attachment:** Concealed Fastening System
- **Coatings:** Galvanized/Galvalume Plus®, Signature® 200, Signature® 300, Signature® 300 Metallic, Applied Finishes, Igloo White



Auralast® Wood protects against wood rot for as long as you own and occupy your home. Guaranteed.

Guaranteed Protection Against Wood Rot

Most wood rot occurs from moisture and sun exposure. Auralast Wood is a water-based acrylic preservative that penetrates deep into the wood fibers to protect against rot and decay. It's the most effective wood preservative available. Auralast Wood is available in two formulas: Auralast Wood (for exterior use) and Auralast Wood (for interior use). Auralast Wood is available in two formulas: Auralast Wood (for exterior use) and Auralast Wood (for interior use).

Surface-to-Core Protection

Auralast Wood provides a fully penetrating, protective barrier. Other manufacturers use surface treatments, which only protect the outer surface of the wood.

Working With Auralast Wood Is Easy

Auralast offers the strength and beauty of real wood because it is real wood. Not a composite. Auralast Wood is eco-friendly, reliable and durable.



Visually, your Auralast Wood protection.

Auralast products made from pine Auralast Wood will not rot.

Auralast Is Safe

Auralast Wood is made by using a water-based solution to seal the exterior surface of the wood. Traditional preservatives use a solvent-based chemical base. Using Auralast Wood, you can enjoy the natural beauty of your wood without the use of harsh chemicals. Auralast Wood is safe for you, your family and your pets.



Auralast Excludes

Auralast Wood is not intended for use on treated wood. Auralast Wood is not intended for use on treated wood.

Protects Against Water Saturation
Auralast Wood's water-resistant sealant protects against water saturation, which protects against rotting that causes windows and doors to fail.

Protects Against Termites
Auralast Wood's water-resistant sealant protects against termites, which can cause structural damage to your home.

Visit www.auralast.com for more information on Auralast Wood and Terminate Damage.

The JELD-WEN® website is your ultimate resource for learning about our reliable windows and doors. It has all the product information and design advice you need. Visit us at jeld-wen.com today.



THE JELD-WEN PROMISE

JELD-WEN products create lasting value for your home. We are so confident that you will be pleased with our JELD-WEN Clad-Wood Windows, that each one carries our red, all-risk, 3-year warranty. Here are the highlights of our warranty:

The Window & Patio Door Limited Warranty Includes:

- A lifetime limited warranty on Auralast® Wood, protects against wood rot for as long as you own and occupy your home.
- 3-year limited warranty against defects in materials or workmanship for most JELD-WEN products, such as structural glass, metal and wood components.
- 2-year warranty on glass (if applicable). Dependent on whether the product is a fixed or operable window.
- 1-year limited warranty on hardware for 3 years.

Visit www.auralast.com for more information on Auralast Wood and Terminate Damage.



Visit www.auralast.com for more information on Auralast Wood and Terminate Damage. Auralast Wood is made from pine. Auralast Wood will not rot.



JELD-WEN

W-2500

Clad-Wood Window Features

STYLES, LITES, COLORS & GLASS

Window Styles

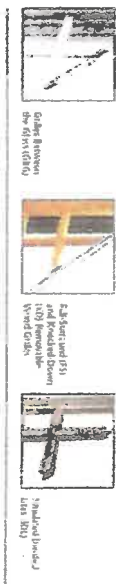


Standard Prefinished Interiors*

1. Frame
2. Pullout W/ills
3. Awning
4. Bevel Sash
5. Clear Casement
6. White
7. C. Clear
8. Fruitwood
9. Cordovan
10. White



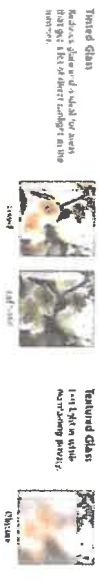
Divided Lites



Grid Colors*

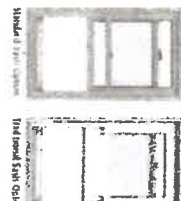


Decorative Glass Options

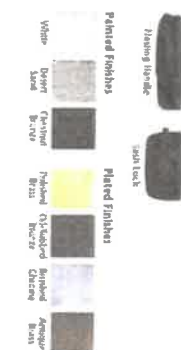


HARDWARE & SCREEN OPTIONS

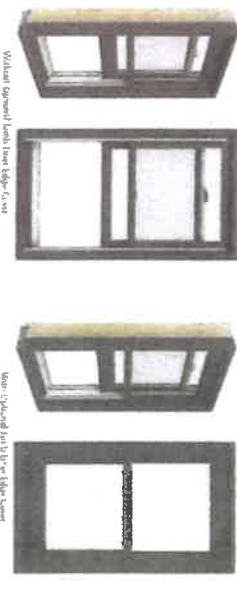
Double-Hung Sash Options



Window Hardware



Double-Hung Jamb Liner Options



Screen Options*



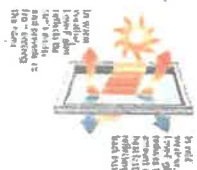
PERFORMANCE GLASS OPTIONS

Low-E, Low-E366 and Low-E EC Insulating Glass

High-performance low-E insulating glass comes standard to help lower energy costs, allow homes to stay cooler in the summer and warmer in the winter, increase the range of interior furnishings, and increase condensation. It also offers greater visible light transmission than leaded glass. We also offer vinyl and lead-free glass, which includes more than just the glass itself but also the sash and frame. For more information, visit www.pella.com/energyefficiency.

Look for windows and patio doors with Low-E glass are ENERGY STAR®-qualified. ENERGY STAR products help reduce energy costs, save money, and reduce their carbon footprints. ENERGY STAR ratings for windows are based on the U-value and SHGC (solar heat gain coefficient) and energy efficiency. For a more detailed description, visit www.energystar.gov.

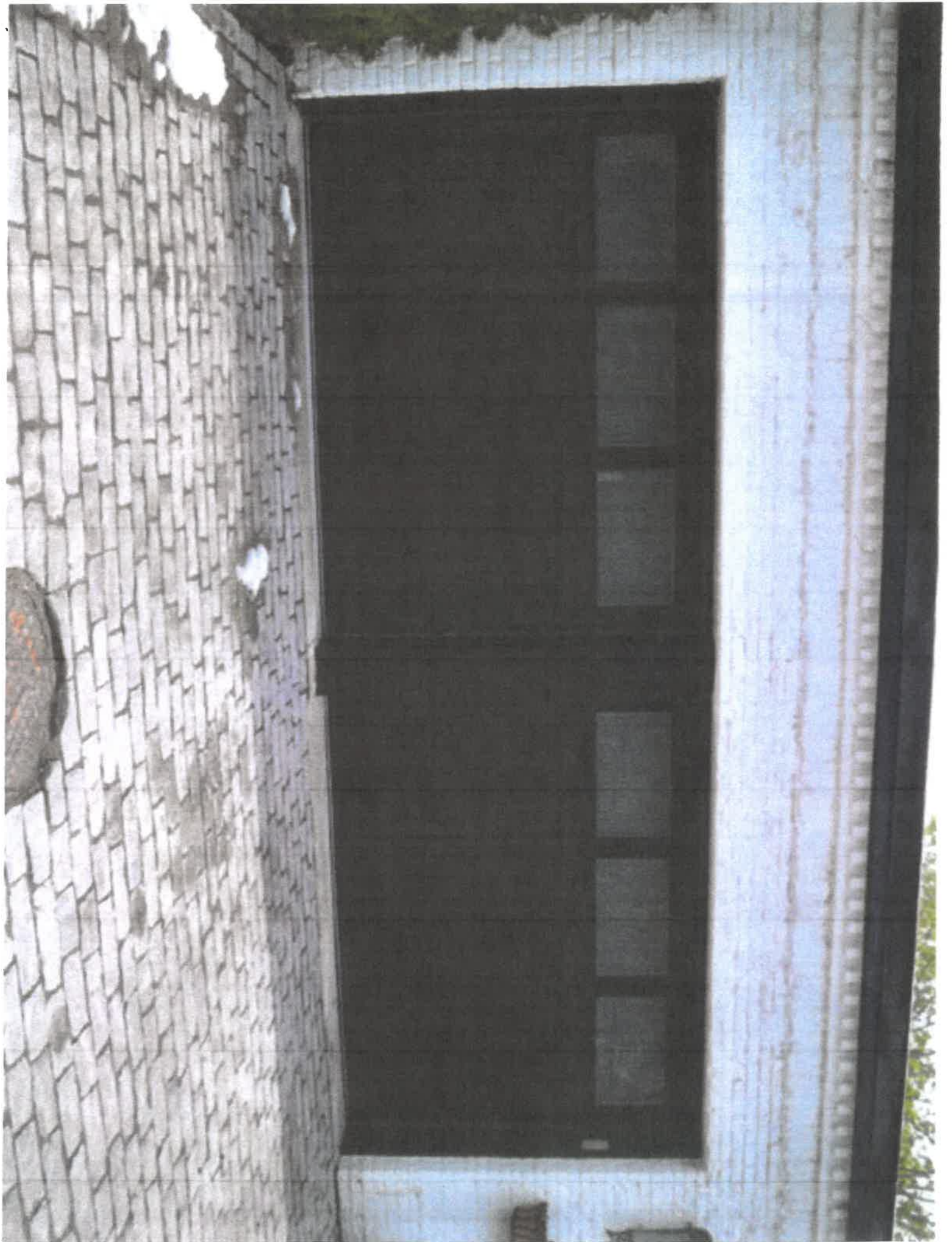
Multi-pane windows that are ENERGY STAR-qualified for your climate zone are the best choice for energy efficiency. Choose Low-E EC for all "warm climates" and Low-E366 for "moderate climates." Choose Low-E366 for "cool climates." For more information, visit www.pella.com/energyefficiency.



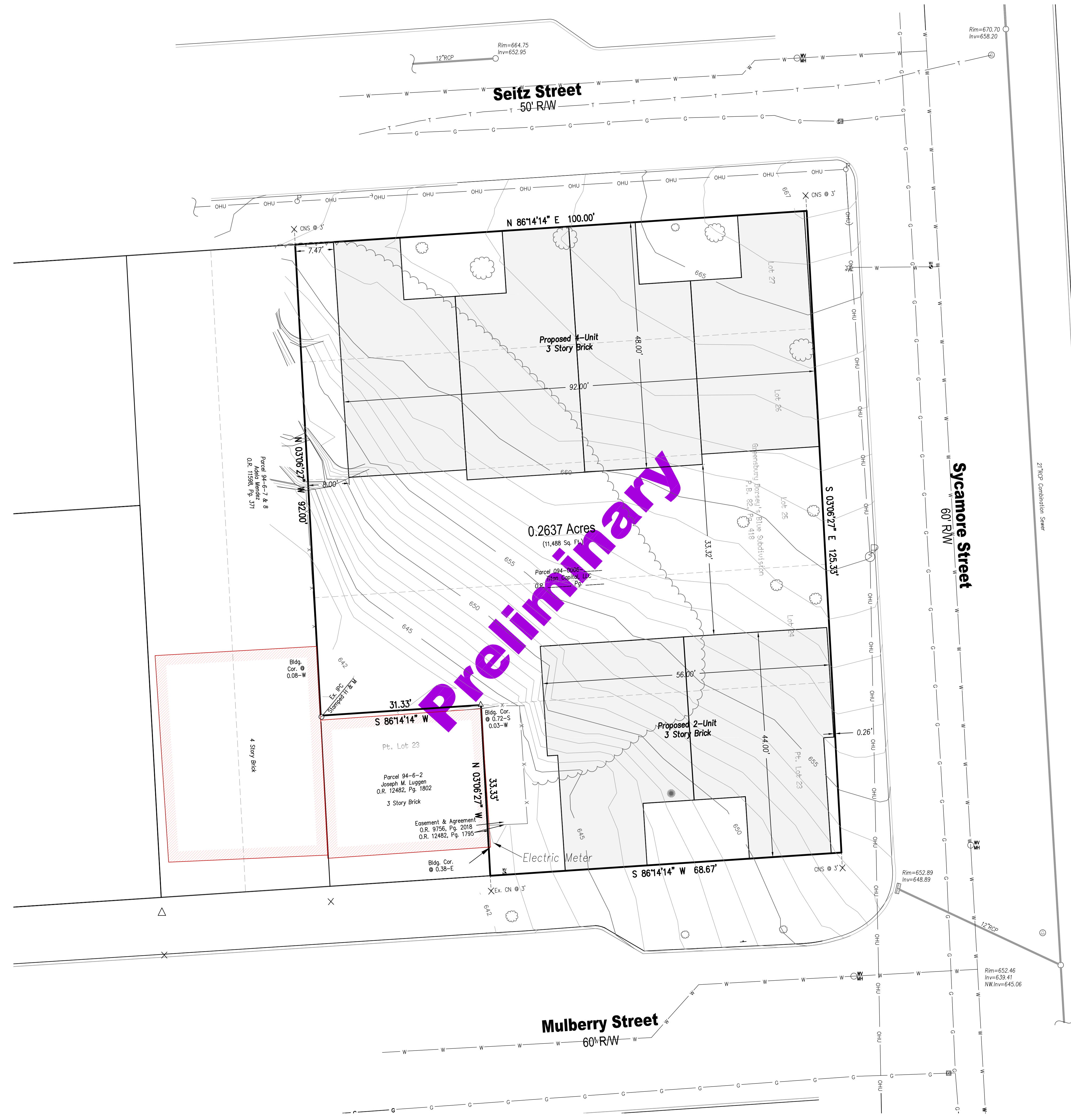
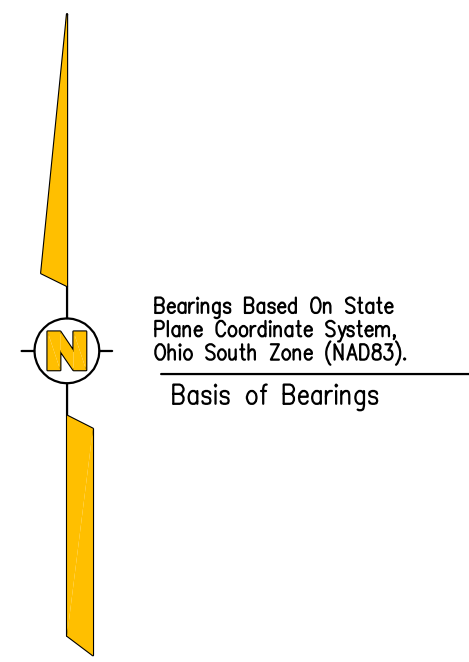
ENERGY STAR

The U.S. Environmental Protection Agency (EPA) and the U.S. Department of Energy (DOE) have established ENERGY STAR as a symbol of energy efficiency. ENERGY STAR products are designed to help reduce energy costs and reduce their carbon footprints. For more information, visit www.energystar.gov.









LEGEND

- These standard symbols will be found in the drawing.
- TREE - CONIFER
 - TREE - DECIDUOUS
 - DOUBLE GRATE INLET
 - FIRE HYDRANT
 - GAS BOX
 - POLE ANCHOR
 - POWER POLE
 - MANHOLE
 - SIGN
 - TELEPHONE MANHOLE
 - WATER VALVE
 - WATER VALVE MANHOLE
 - FENCE
 - OVERHEAD UTILITIES
 - UNDERGROUND WATER
 - UNDERGROUND GAS
 - COMBINATION SEWER
 - STORM SEWER
 - TREELINE
 - WATERLINE PER RECORD
 - DESTINATION/ORIGIN UNDETERMINED

- Monument Legend**
- CNS Indicates Set Cross Notch
 - X Indicates existing Cross Notch
 - Δ Indicates existing Mag Nail
 - Indicates existing Iron Pin and Cap

NOTES:

- 1.) SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- 2.) THE RECOMMENDED PLACEMENT OF THE PROPOSED UNITS DOES NOT CONSIDER SUB-SURFACE SOIL CONDITIONS. A GEOTECHNICAL ENGINEER WILL NEED TO BE CONSULTED REGARDING ANY UNUSUAL SUB-SURFACE CONDITIONS ENCOUNTERED.

OCCUPATION
AS SHOWN ON PLAT

Plot Plan
Survey Type

Lacy
Sycamore & Mulberry
Job Name

City of Cincinnati
Hamilton County, Ohio
Site Location

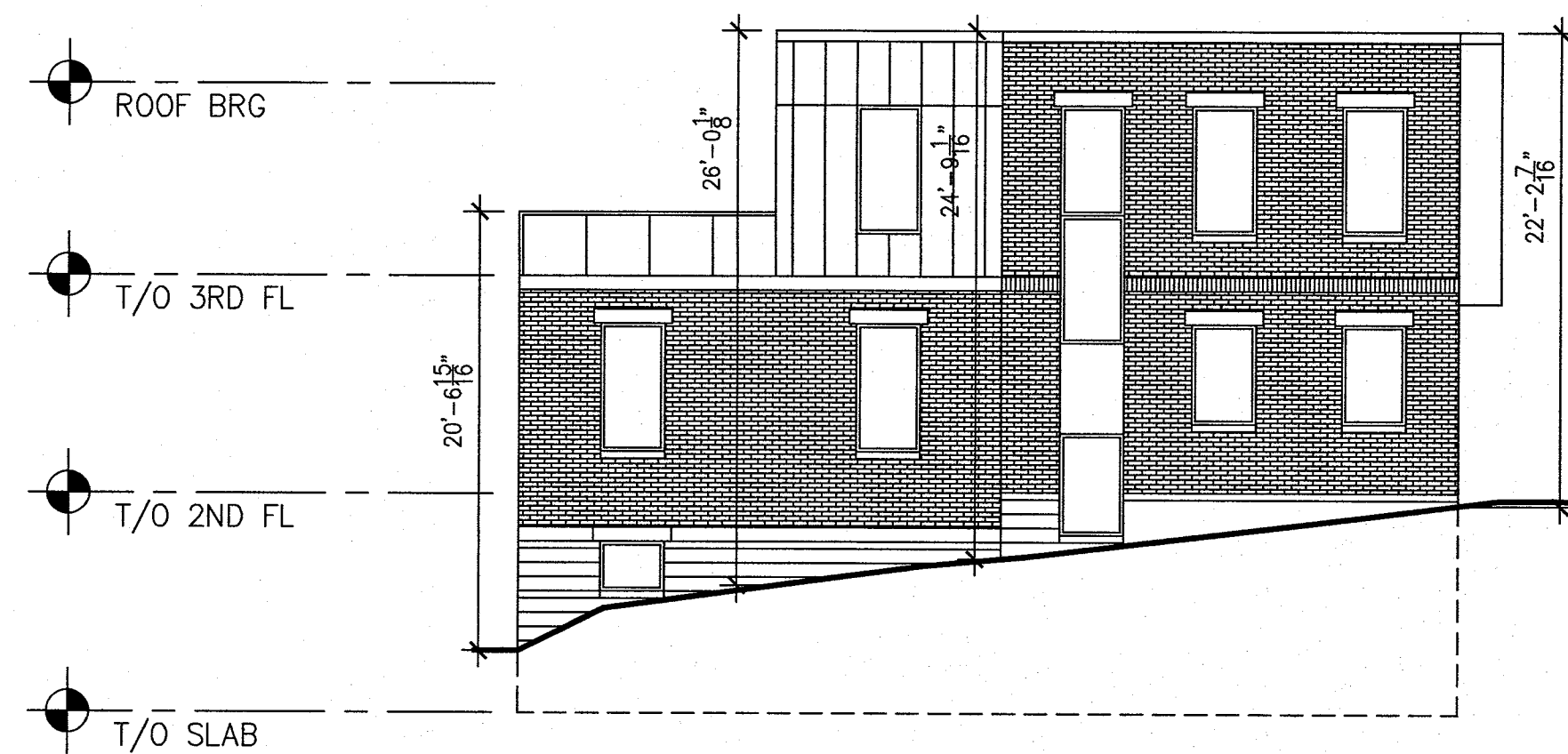
DAP | **GJB** | **1" = 10'**
Drawn By | Checked By | Drawing Scale

05/18/2016 | **16039**
Issue Date | Project Number

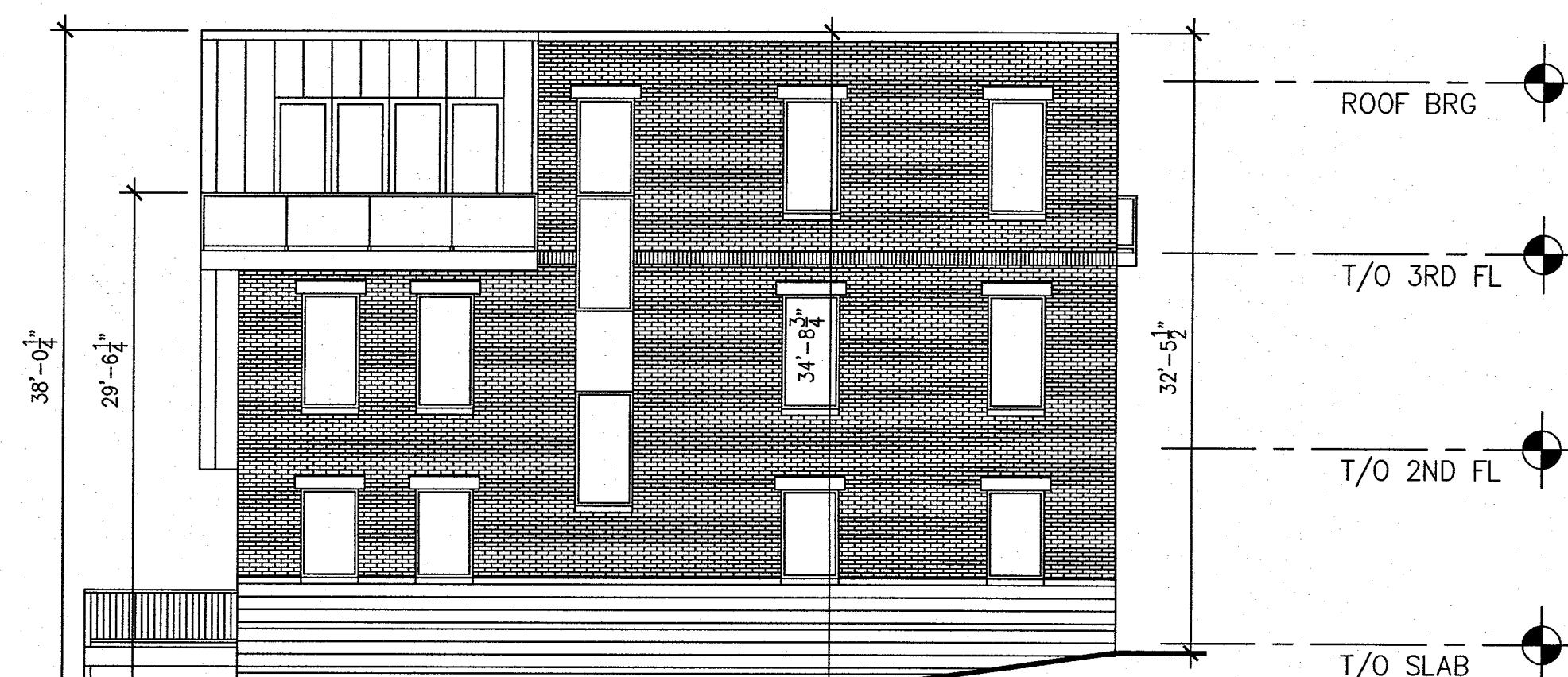
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Revisions



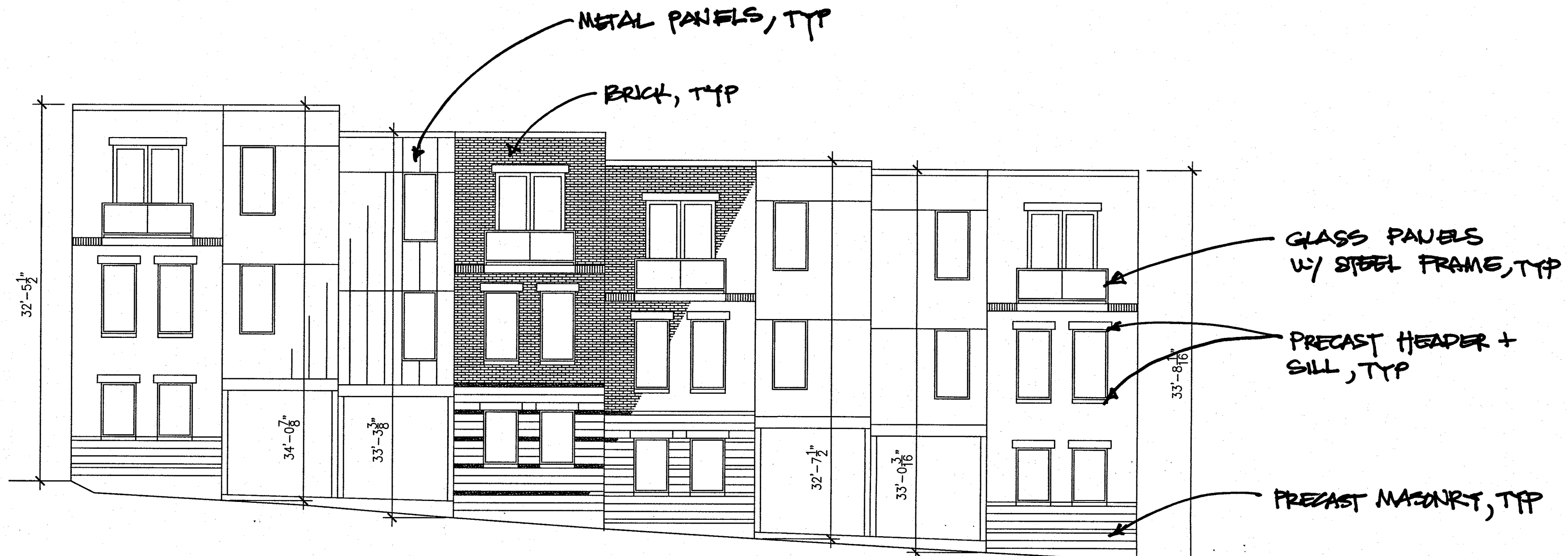
MULBERRY
 6 SIDE ELEVATION
 SCALE: 1/8"=1'-0"



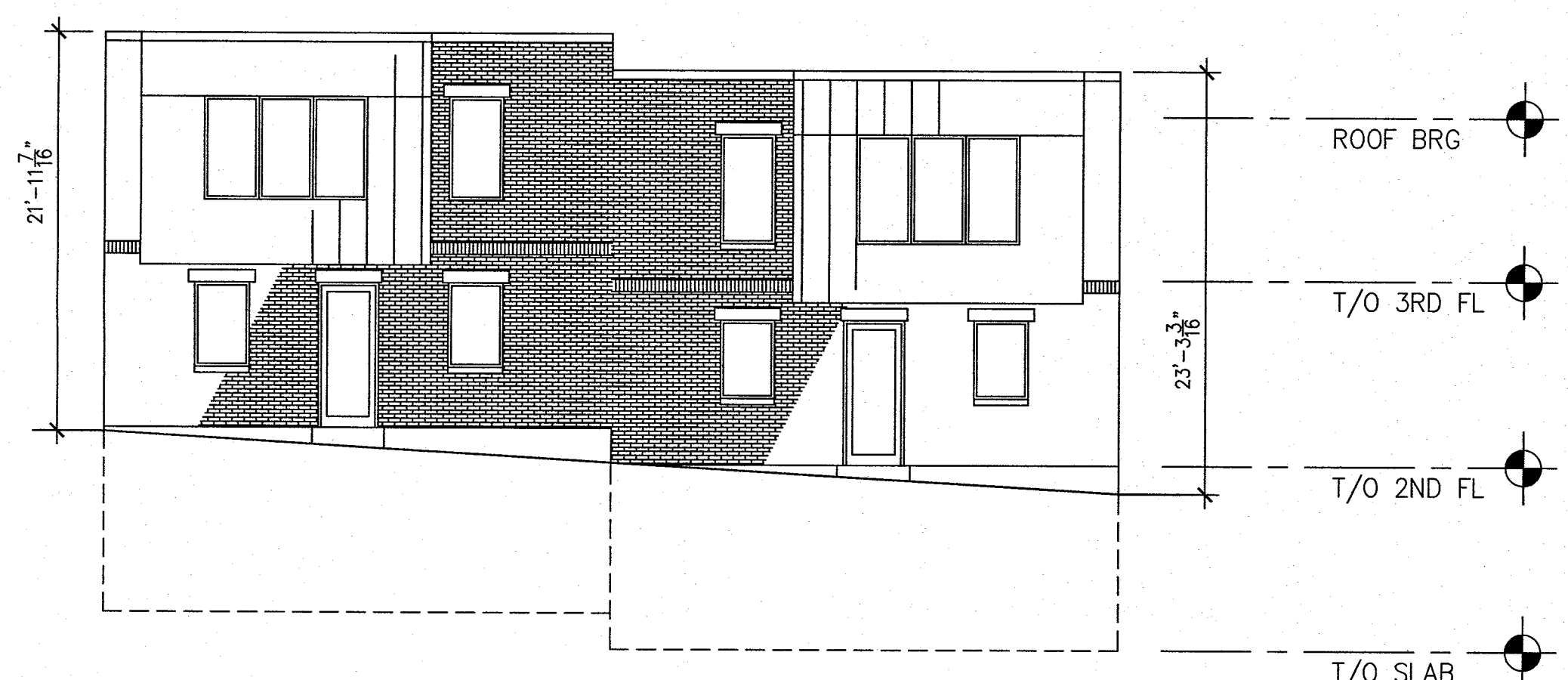
SEITZ
 5 SIDE ELEVATION
 SCALE: 1/8"=1'-0"



MULBERRY
 4 FRONT ELEVATION
 SCALE: 1/8"=1'-0"



SEITZ
 3 FRONT ELEVATION
 SCALE: 1/8"=1'-0"



MULBERRY
 2 REAR ELEVATION
 SCALE: 1/8"=1'-0"



SEITZ
 1 REAR ELEVATION
 SCALE: 1/8"=1'-0"

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PROJECT NAME
 SYCAMORE HILL
 CINCINNATI, OH

DATE 03.24.17

TITLE
 ELEVATIONS

SHEET
 A201



