

HISTORIC CONSERVATION BOARD AGENDA

5th Floor Conference Room
805 Central Ave, II Centennial

Monday, July 25, 2016 at 3:00 pm

CALL TO ORDER

DISCUSSION ITEMS:

-
- | | | |
|----------------|---------------------------------------|--|
| Item 1. | 215 Wade Street

Staff: Johnson | The applicant requests a Certificate of Appropriateness to rehabilitate an existing structure; to construct new decks; and, to erect a privacy fence in the Over-the-Rhine Historic District.

Owner/ Applicant: Custom Carving Source LLC |
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- | | | |
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| Item 2. | 221 Kemp Alley

Staff: Johnson | The applicant requests a Certificate of Appropriateness to construct a new second story deck and privacy fence in the rear yard and to introduce a new garage opening in the Kemp Alley façade in the Over-the-Rhine Historic District.

Owner/ Applicant: Custom Carving Source LLC |
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- | | | |
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| Item 3. | 1725 Vine St

Staff: Johnson | The applicant requests a Certificate of Appropriateness to rehabilitate an existing structure and to construct a multi-story rear addition in the Over-the-Rhine Historic District.

Owner/ Applicant: Kauffman Vine LLC |
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- | | | |
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| Item 4. | 1826 Race Street

Staff: Johnson | The applicant requests Zoning Relief to satisfy off-street parking requirements with a lease agreement in the Over-the-Rhine Historic District.

Owner/ Applicant: 1826 Race Street LLC |
|----------------|--|---|
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- | | | |
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| Item 5. | 1105 Elm Street

Staff: Owen | The applicant requests a Certificate of Appropriateness for an exterior projecting sign and Zoning Relief for the sign size and location in the Over-the-Rhine Historic District.

Applicant: Triumph Signage Owner: YMCA of Greater Cincinnati |
|----------------|------------------------------------|--|
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- | | | |
|----------------|---|--|
| Item 6. | 1131 Broadway Street

Staff: Owen | The applicant requests Zoning Relief to satisfy off-street parking requirements with a lease agreement in the Over-the-Rhine Historic District.

Owner/ Applicant: 1131 Broadway LLC |
|----------------|---|--|
-

Item 7. 1526 Elm Street

Staff: Owen

The applicant requests a Certificate of Appropriateness to demolish a rear addition; to construct a new rear addition; and, Zoning concerning a fence in the Over-the-Rhine Historic District.

Owner/ Applicant: Kristen Myers & Chris Heckman

~~**Item 8.** 719 and 721 Main Street~~

~~Staff: Johnson~~

Postponed until August 8th at the request of the Applicant.

~~Owner/ Applicant: Elka Real Estate Co. LTD~~

OTHER BUSINESS

ADJOURN

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

APPLICATION #: _____
APPLICANT: Custom Carving Source LLC
OWNER: Custom Carving Source LLC
ADDRESS: **215 Wade Street, Cincinnati Ohio 45202**
PARCELS: 081-0002-0153
ZONING: CC-A Community Commercial- Auto
OVERLAYS: Over-the-Rhine Historic District
COMMUNITY: Over-the-Rhine
REPORT DATE: July 7, 2011
HEARING DATE: June 15, 2016
STAFF REVIEW: Beth Johnson, Urban Conservator

Nature of Request:

The applicant is requesting a Certificate of Appropriateness (COA) for a four level rear deck addition, a 4 level side/rear deck addition, the conversion of a window on the 2nd, 3rd, and 4th floor to a door on the rear and side for access to the decks, new windows and a privacy fence.

Existing Conditions:

The property at 215 Wade Street is currently an 8 unit residential building. It is a 4 story brick unpainted Italianate building with an attic level that was built in 1900. The property sits mid-block on Wade Street between Central Parkway and Elm Street. It currently has vacant parcels on either side of the building.

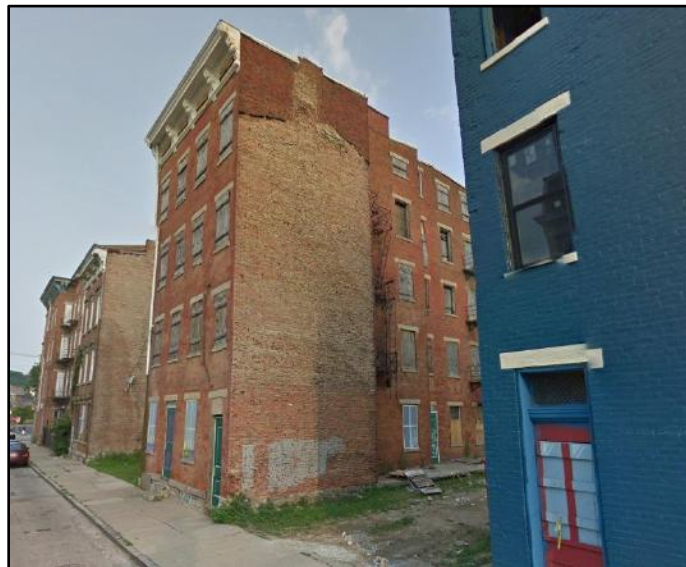


Figure 1: 215 Wade Street. Picture provided by Google Street Views



Figure 2: Map provided by Cagis Maps

Proposed Conditions:

The applicant is proposing to construct a new 17' x 10' deck on the rear of the building. It will extend the entire width of the rear portion of the building. The deck will be on the second, third and fourth floors. Another set of decks will be built on the side of the building. It will be approximately 14' by 8'. At each deck a window will be converted to a door to access the deck. The decks will be built of wood with a custom wood picket railing. All wood will be stained.

The applicant is proposing a 6 foot wood privacy fence around the side and rear yard. The fence will be stained wood with horizontal slats.

The applicant is proposing aluminum clad wood replacement windows throughout the building and the installation of new 4 panel exterior wood doors.

Previous Reviews: N/A

Applicable Zoning Code Sections:

Zoning District:	Section 1409	CC-A
Overlays:	Section 1435	Historic Preservation
Historic District/Reg:	Over the Rhine Historic District	
COA Standard:	Section 1435-09-2	Certificate of Appropriateness; Standard of Review

Details of Zoning Relief Required:

The applicant and/or owner(s) are not requesting any Zoning Relief. The proposed deck additions and fence meet the zoning code requirements for height and setbacks.

Certificate of Appropriateness Review:

A Certificate of Appropriateness is required for the construction of a new rear and side decks, the conversion of the windows to doors and the installation of a fence.

Applicable Guidelines

SITE IMPROVEMENTS

B. SPECIFIC GUIDELINES

4. DECKS: Wood decks should be stained or painted. Rooftop decks should not be highly visible from the principal façade. Metal balconies should not be discouraged.

The proposed rear and side decks will not detract from the character of the building. The rear deck will not be visible at all from the street and the side deck will be slightly visible from the street as the adjacent lot is vacant, however it will not be visible when in front of the building at the primary street frontage. The decks will not cover any architectural details. It will be compatible with the building and constructed of wood with custom designed wood railings and pickets.

3. Fences and Walls: Wrought-iron or cast-iron fences are encouraged along the sidewalks of vacant lots or where buildings are setback from the sidewalk. Fencing may be set between wrought iron and cast-iron posts, natural stone posts or pre-cast concrete posts. Fencing may also be set on a concrete curb or on top of a retaining wall. Landscaping in front of a fence is encouraged. Plain board fences (vertical boards nailed side-by-side on horizontal stringers) or wire fences are appropriate at the rear of the property or along the side of the property. Wood fences should be painted or stained but not left to weather naturally. Chain link, stockade, shadow board, basket weave and lattice designs are not appropriate. Masonry privacy walls are not encouraged.

The applicant is proposing to install a horizontal board wood fence that will be stained. The fence will be a 6 foot high fence. Horizontal board wood fences have been approved in rear and side yards throughout Over-The-Rhine.

REHABILITATION

B. SPECIFIC GUIDELINES

2. Door and Window Openings: Among the most important features of any building are its openings — its windows and doors. The size and location of openings are an essential part of the overall design and an important element in the building's architecture. Don't alter or fill-in original openings. Roll down shutters and metal bar systems installed on the exterior of the building that cover door and window openings are not appropriate.

The applicant is proposing to convert 6 window openings to doors to provide access to the decks. 3 openings are on the rear façade and 3 openings are on the side façade.

The applicant is using existing openings and is not widening the openings. The windows that are being altered are either not visible from the street or are not highly visible, in the case of the side deck. In the Intent and General Guidelines, it allows for flexibility and creative design approaches when reusing historic buildings. Being able to provide exterior space and ease of access to the decks is a desirable amenity for urban living. By using existing openings and not expanding the width of the openings, the rhythm of the fenestration is kept intact.

3. DOOR AND WINDOW SASH: Repair original doors and window sashes rather than replace whenever possible. If replacement is necessary, the new door or window sash should match the original in material, size and style as closely as possible. Synthetic replacement windows are generally discouraged. Consult with the Historic Conservation Office about acceptable replacement windows.

The applicant is proposing replacing all windows with “Sunclad Easy Tilt Aluminum Clad wood windows” This type of window manufacture by Sunclad is similar to other types of windows that have been previously approved on projects and complies with the specific guidelines for the Over-the-Rhine Historic District.

The applicant is proposing to install 4 panel exterior wood doors. Existing doors are either missing or deteriorated. The proposed doors are appropriate in size and material to the historic district.

Other Considerations:

- The wood deck and wood fence should be stained or painted.

Prehearing Results: N/A

Comments Provided to Staff: N/A

Consistency with *Plan Cincinnati (2012)*:
“Sustain” Initiative Area “Preserve our built history”

Recommendation:

Staff recommends the Historic Conservation Board take the following actions:

CERTIFICATE OF APPROPRIATENESS

1. **APPROVE** a Certificate of Appropriateness for 215 Wade Street per plans submitted by Karvato dated 7/13/2016, including any revisions submitted for permit subject to staff review and approval with the following conditions.
 - a. All wood decking and fencing should be stained or painted.
 - b. The building permits must be issued within two years of the decision date or the Certificate of Appropriateness shall expire.

2. **FINDING:** The Board makes this determination per Section 1435-09-2:
 - i. That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

Drawing Index

- A0.0 COVER SHEET
- A0.1 SITE CONTEXT
- A1.0 EXISTING DEMO PLANS
- A1.1 PROPOSED FLOOR PLANS
- A1.2 PROPOSED FLOOR PLANS
- A2.0 BUILDING ELEVATIONS
- A3.0 DOOR SCHEDULE AND GUARDRAIL ELEVATION
- A4.0 MATERIALS

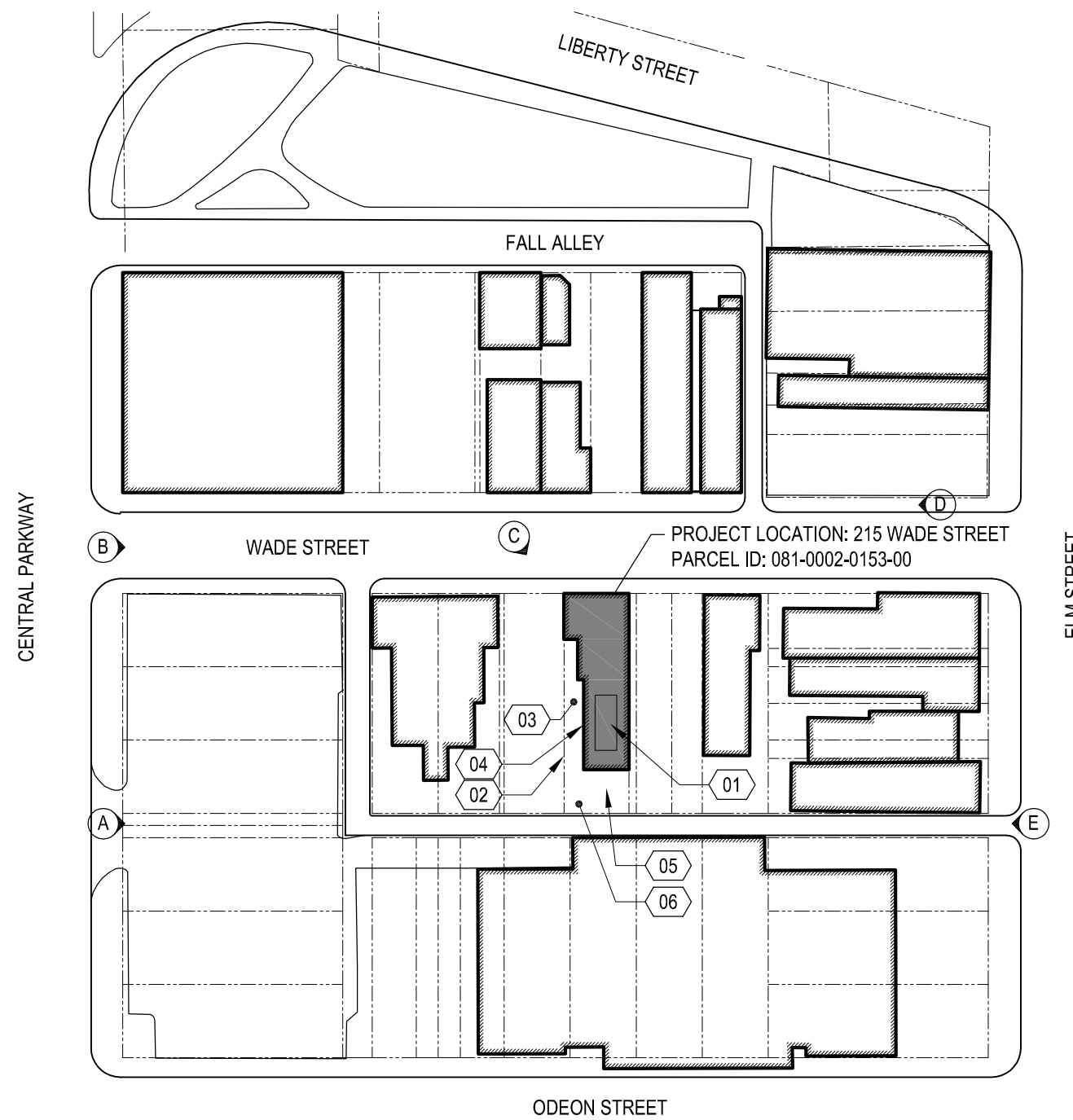
Project Description

RENOVATION OF AN EXISTING 4-STORY, 8-UNIT RESIDENTIAL BUILDING (CURRENTLY VACANT) INTO AN 8-UNIT APARTMENT BUILDING. WORK WILL INCLUDE STRUCTURAL IMPROVEMENTS, NEW INTERIOR PARTITIONS, NEW KITCHENS AND BATHROOMS, NEW MEP. THE PROJECT DOES NOT SEEK ANY PUBLIC SUBSIDY, AND WILL SEEK MARKET-RATE TENANTS.

Building Area

BASEMENT	1255 S.F.
FIRST FLOOR	1215 S.F.
SECOND FLOOR	1338 S.F.
THIRD FLOOR	1338 S.F.
FOURTH FLOOR	1338 S.F.
UNOCCUPIED ATTIC	N/A

Site Aerial



01 SITE CONTEXT

N.T.S.

Drawing Notes

1. HVAC CONDENSER LOCATION @ REAR-FACING ROOF
2. WOOD PRIVACY FENCE. REFER TO MATERIALS SHEET A4.0 FOR DETAILS.
3. NEW HARDSCAPE. REFER TO MATERIALS SHEET A4.0 FOR DETAILS.
4. EXISTING FIRE ESCAPE TO REMAIN
5. PARKING PAD
6. TRASH / RECYCLING AREA

NOTE:
THIS SITE PLAN IS FOR DESIGN AND PERMIT PURPOSES ONLY AND IS NOT INTENDED TO BE CONSTRUED AS AN ACTUAL SITE SURVEY AS PREPARED BY A CIVIL ENGINEER OR REGISTERED SURVEYOR.

THE INFORMATION PRESENTED HERE IS COMPILED FROM A CAGIS MAP OBTAINED THROUGH HAMILTON COUNTY, OHIO AND FIELD OBSERVATIONS.



A TIFFIN ALLEY / CENTRAL PKWY



B WADE / CENTRAL PKWY



D WADE ST. / ELM ST.



E TIFFIN AL. / ELM ST.

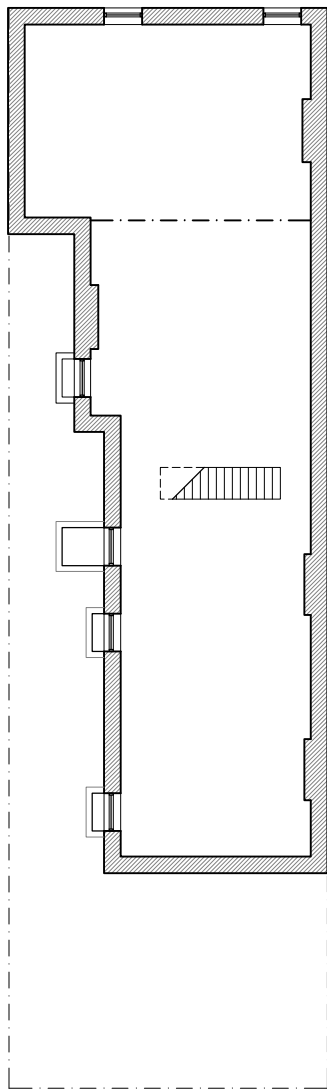


C WADE ST. PRIMARY FACADE

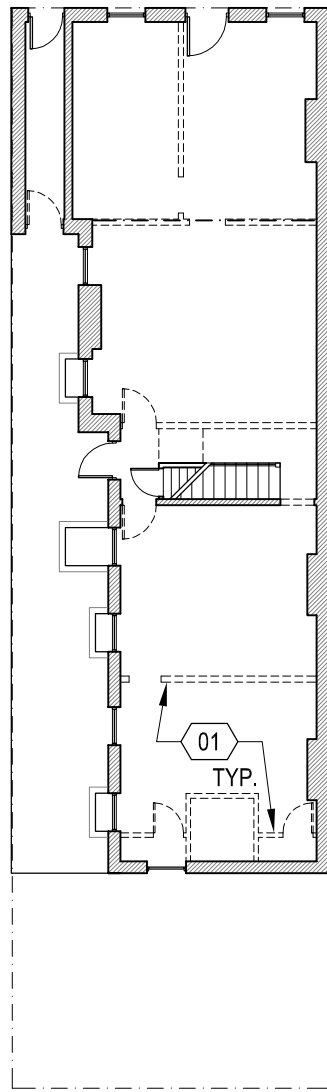
General Demo Notes

1. REMOVE ALL NON-LOAD BEARING INTERIOR WALLS AND PARTITIONS.
2. REMOVE ALL EXISTING MILLWORK, BUILT-INS AND EQUIPMENT.
3. RETAIN EXISTING HISTORIC WOOD TRIM AND TRANSOMS WHERE POSSIBLE.
4. EXISTING FIRE ESCAPE TO REMAIN
5. ALL EXISTING CHIMNEYS TO REMAIN
6. SELECTIVE DEMO OF CEILING @ FOURTH FLOOR
7. EXISTING ROOF HATCH TO REMAIN.
8. REMOVE EXISTING WINDOW AND SELECTIVELY REMOVE BRICK BELOW OPENING. PREPARE OPENING FOR NEW DOOR.
9. CUT NEW OPENING IN MASONRY WALL FOR PROPOSED DOOR. COORDINATE NEW OPENING WITH EXISTING WINDOW LOCATION ABOVE.

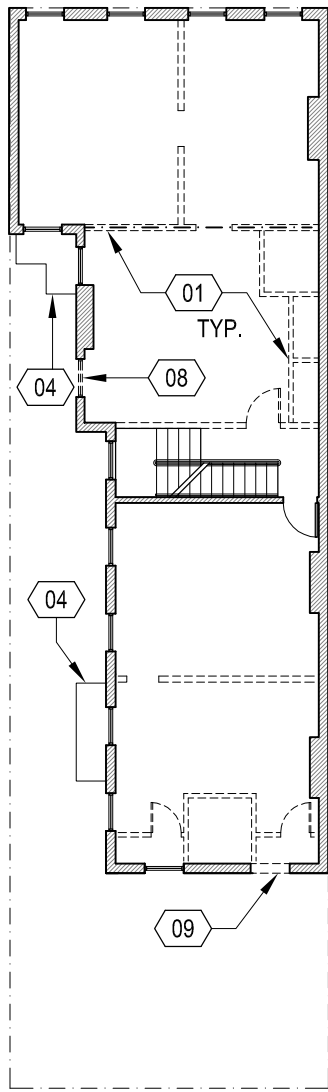
WADE STREET



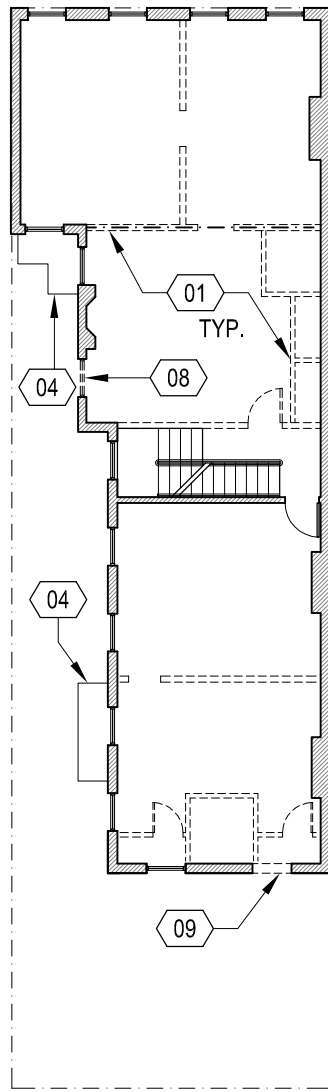
A. BASEMENT



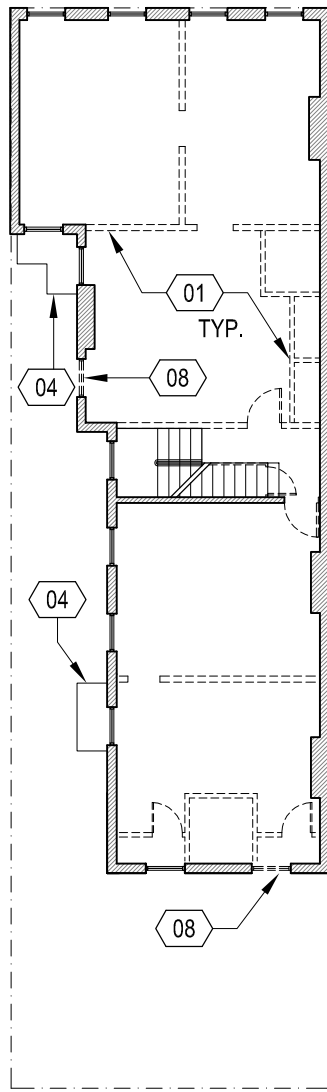
B. FIRST FLOOR



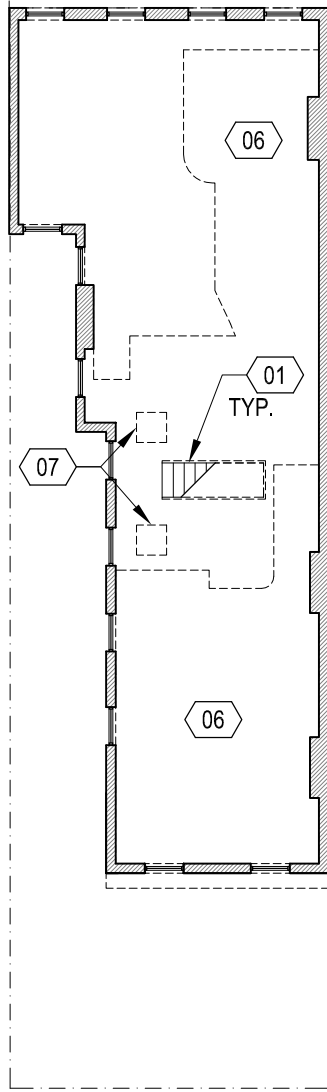
C. SECOND FLOOR



D. THIRD FLOOR



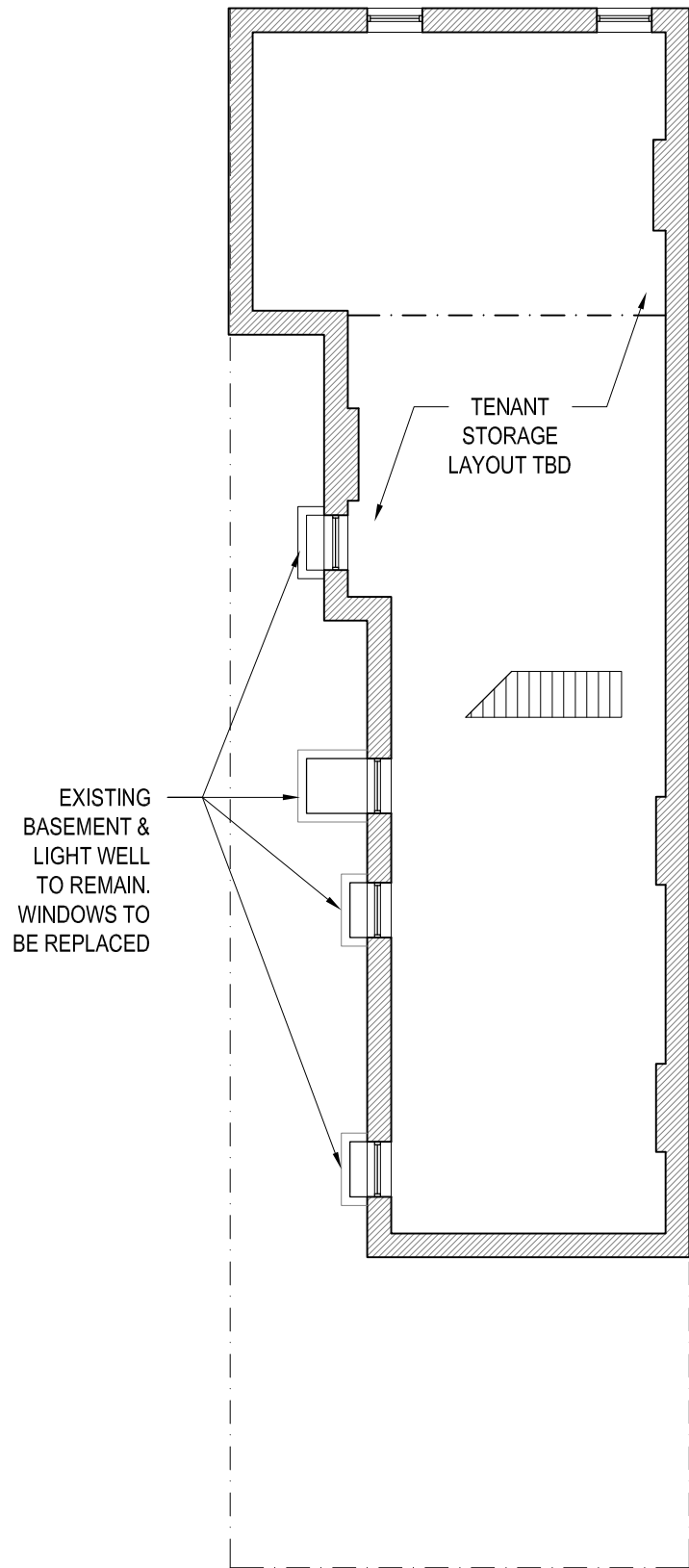
E. FOURTH FLOOR



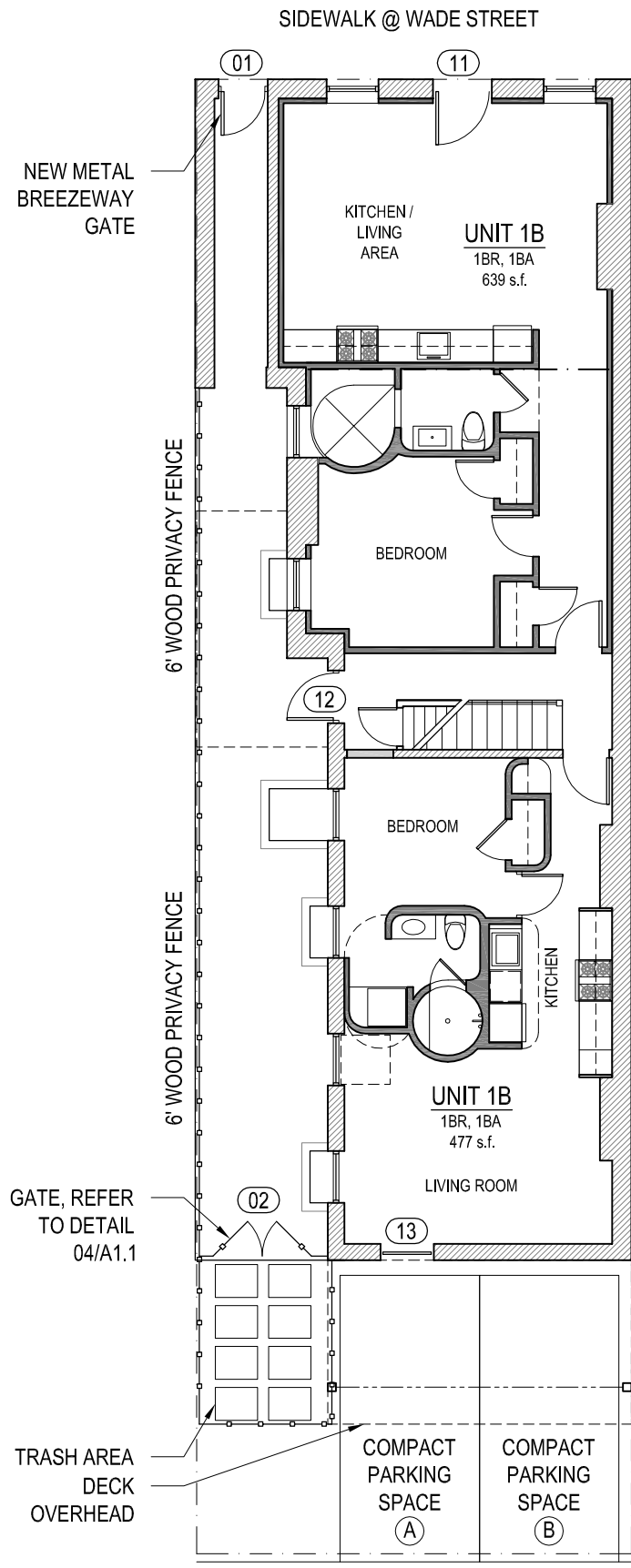
F. ATTIC

TIFFIN ALLEY

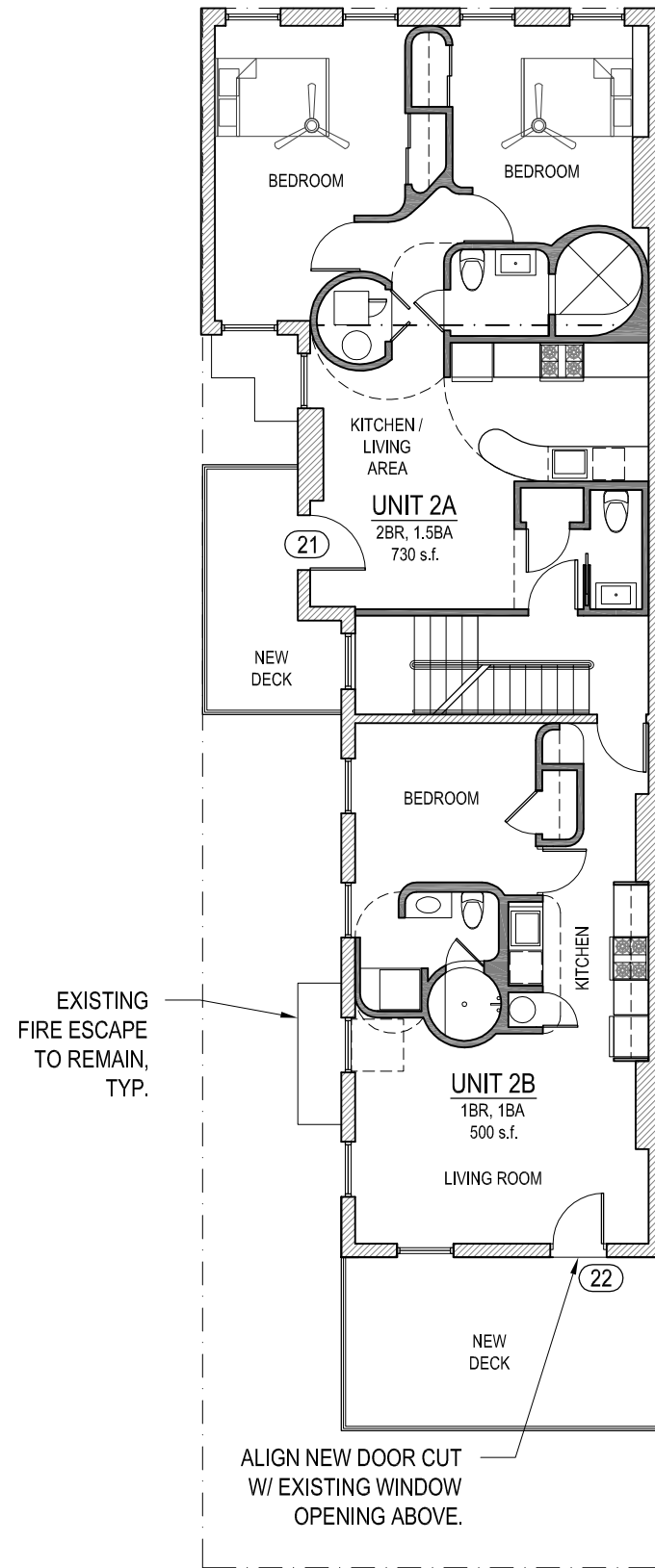
01 DEMOLITION PLANS
 1/16" = 1'-0" 0 4' 8' 16' 24' 1



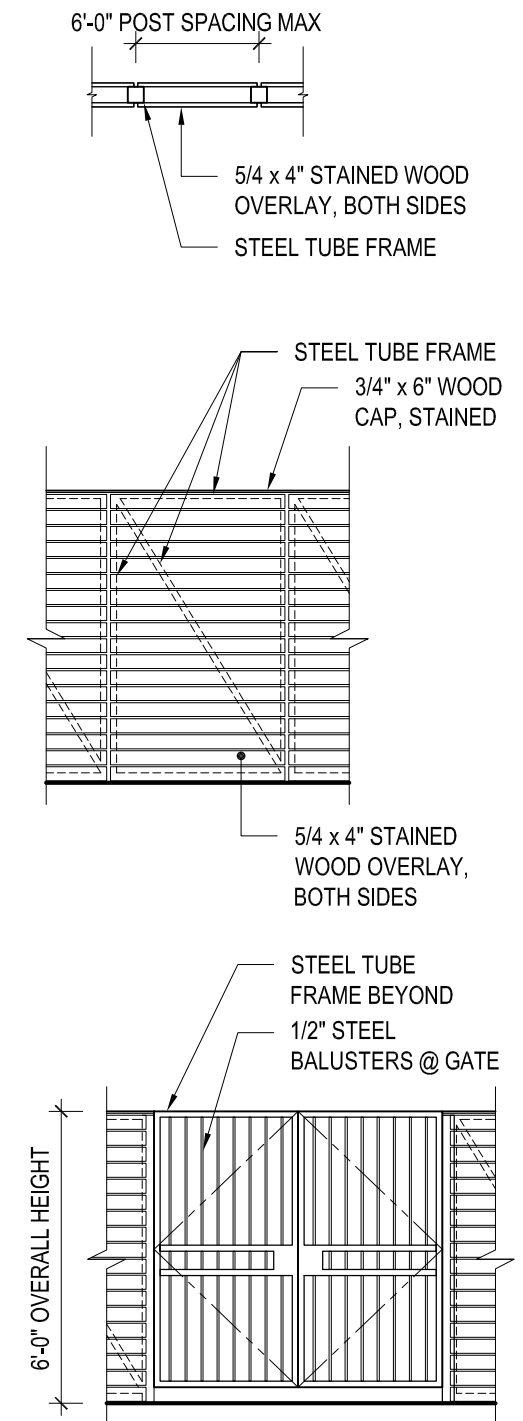
01 BASEMENT LEVEL
 3/32" = 1'-0" 0 4' 8' 16'



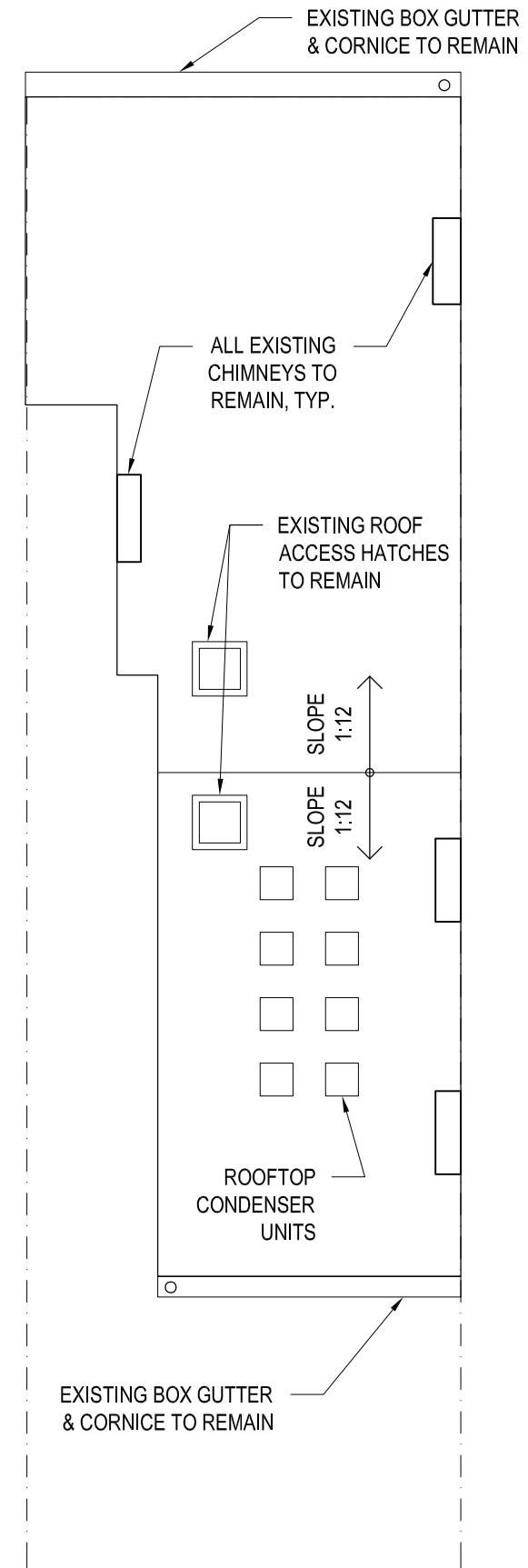
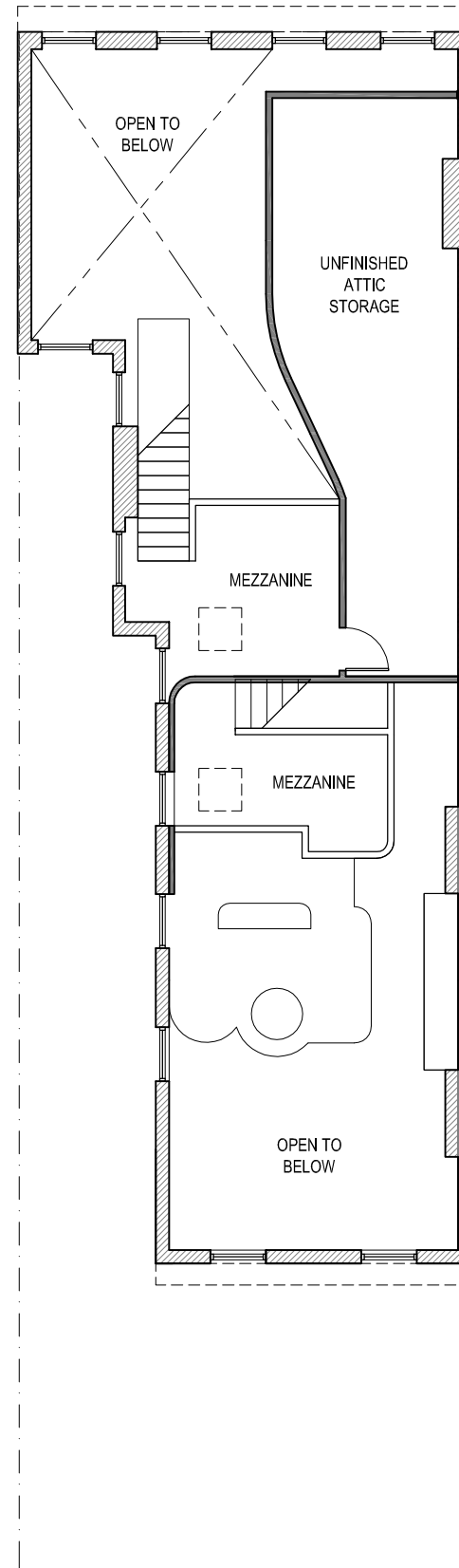
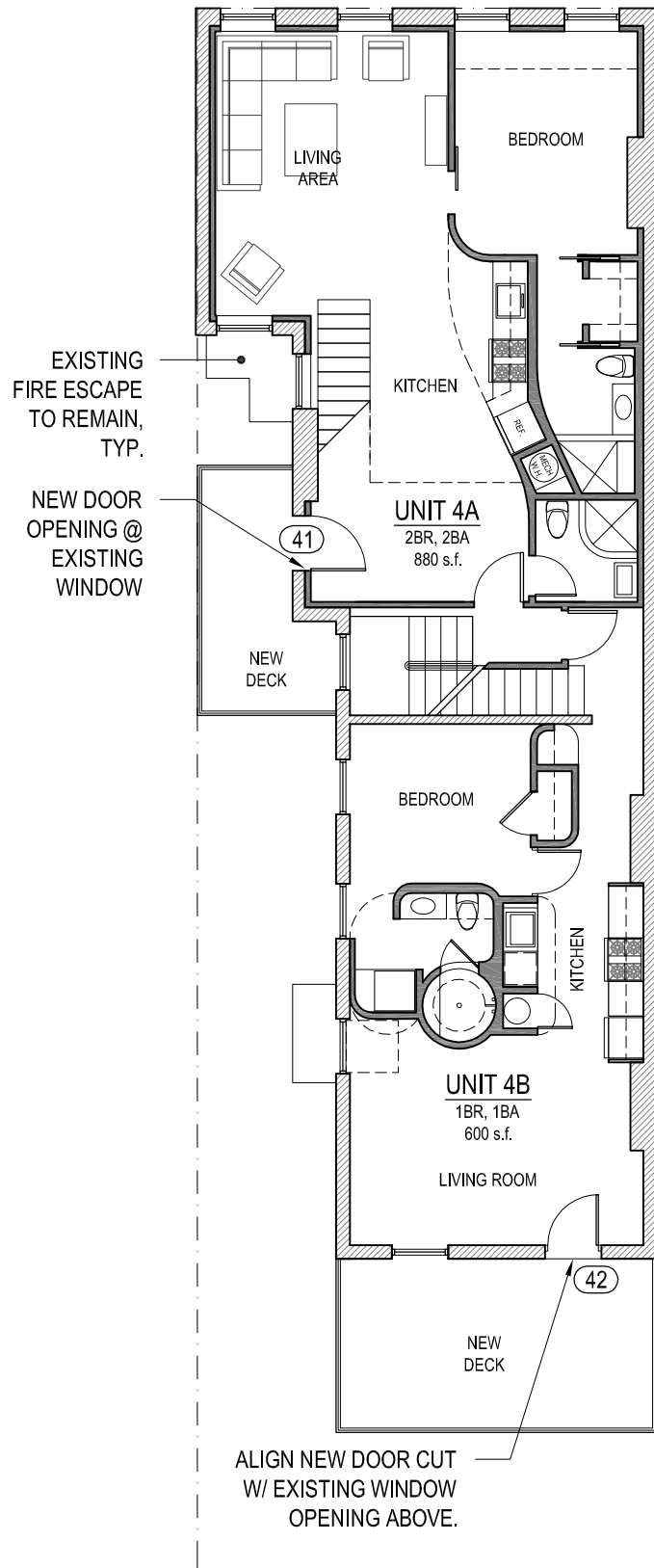
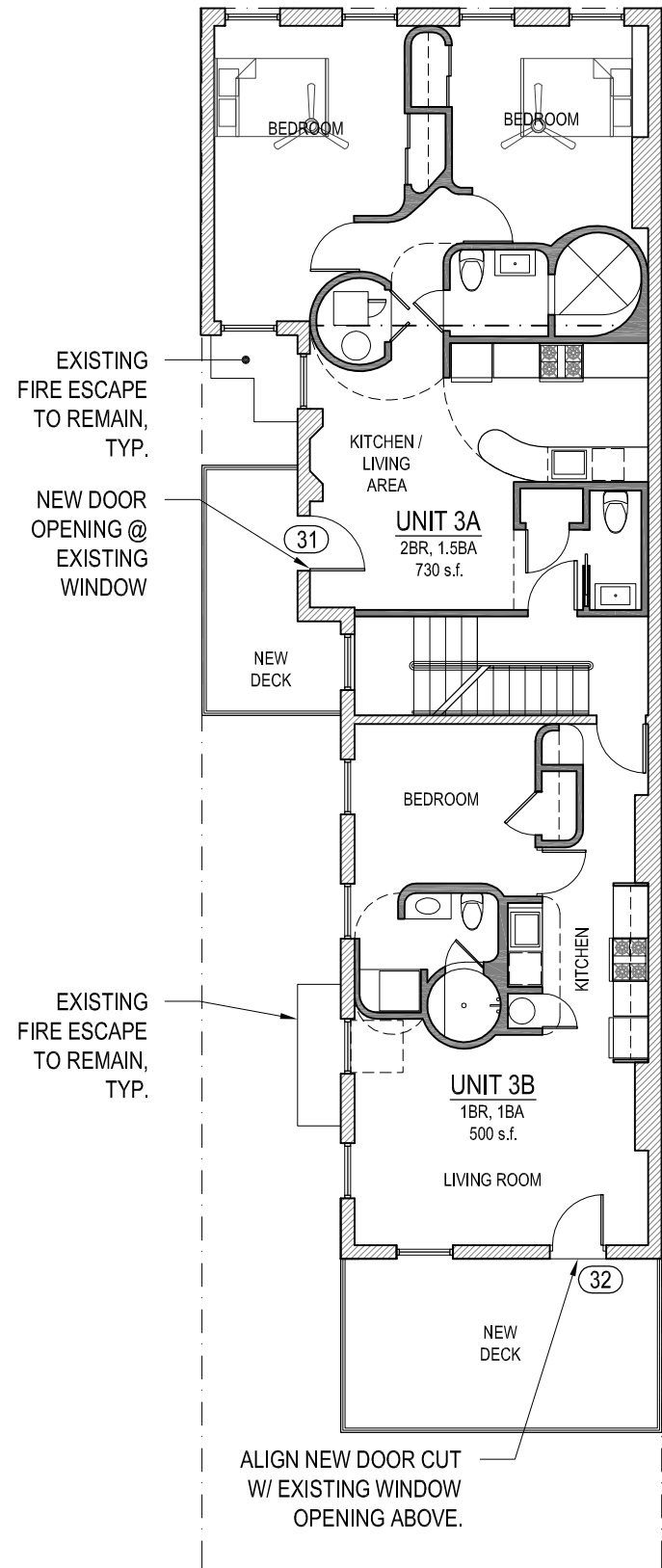
02 FIRST FLOOR
 3/32" = 1'-0" 0 4' 8' 16'



03 SECOND FLOOR
 3/32" = 1'-0" 0 4' 8' 16'



04 FENCE DETAILS
 0 1' 2' 4' 6'
 1/4" = 1'-0"

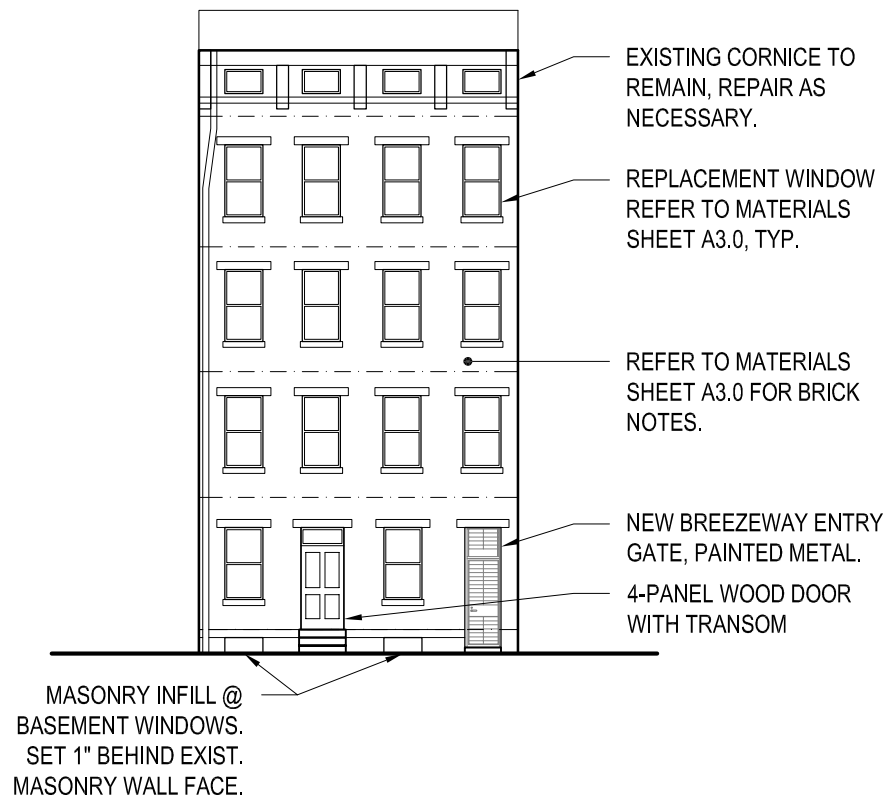


01 THIRD FLOOR
3/32" = 1'-0" 0 4' 8' 16'

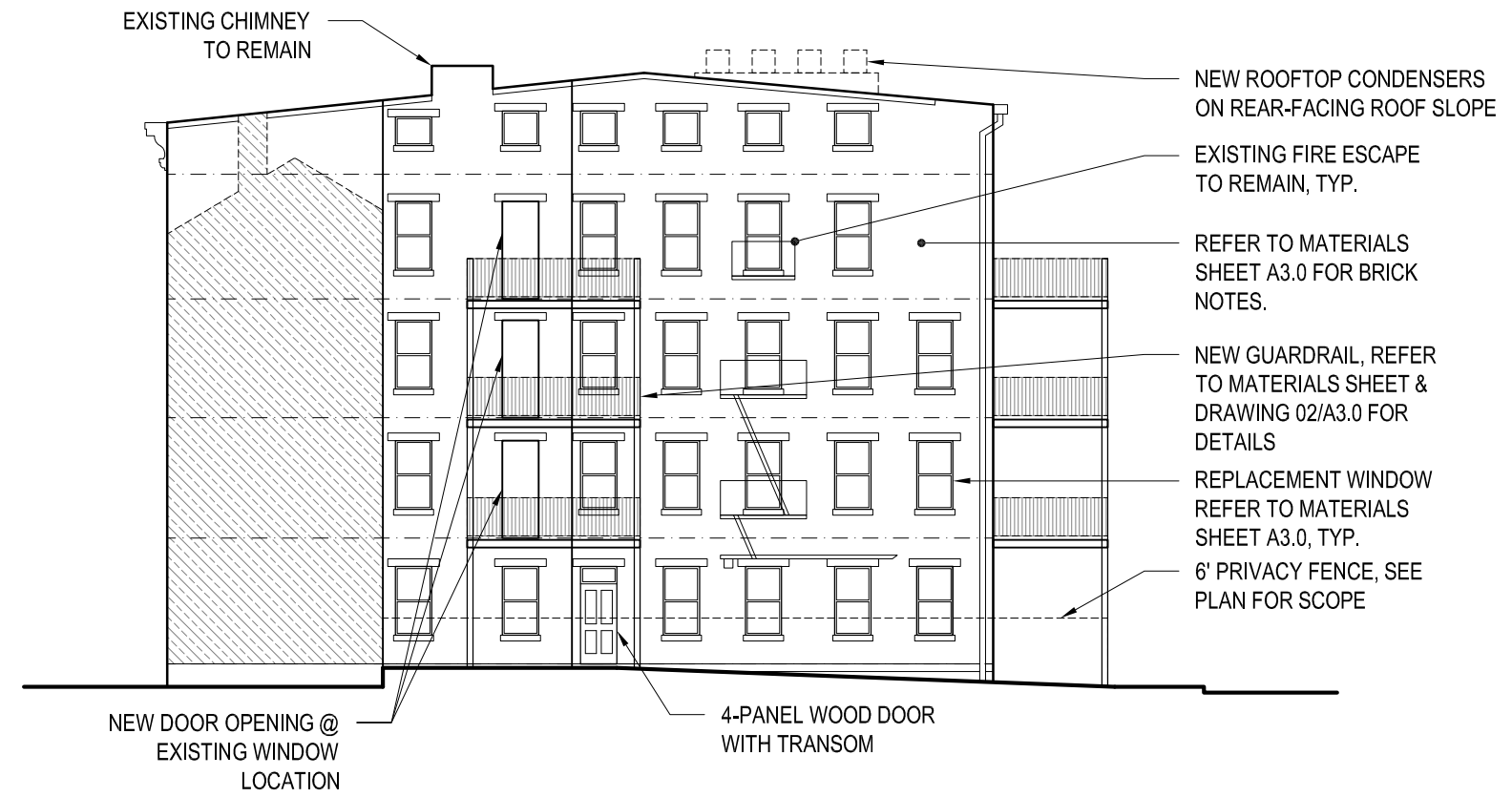
02 FOURTH FLOOR
3/32" = 1'-0" 0 4' 8' 16'

03 ATTIC LEVEL
3/32" = 1'-0" 0 4' 8' 16'

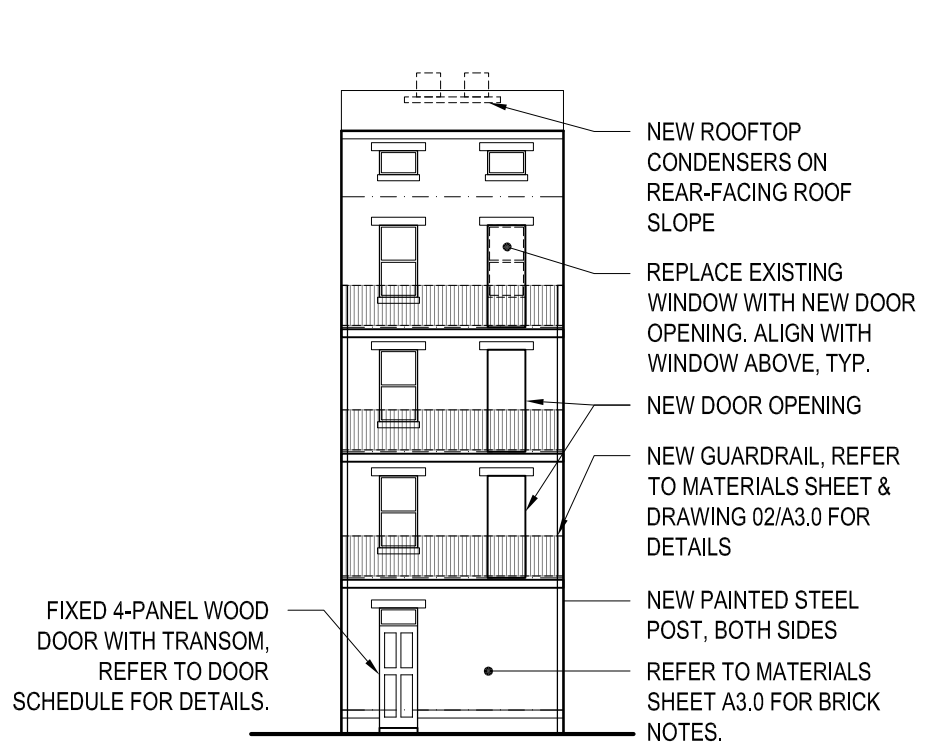
04 ROOF LEVEL
3/32" = 1'-0" 0 4' 8' 16'



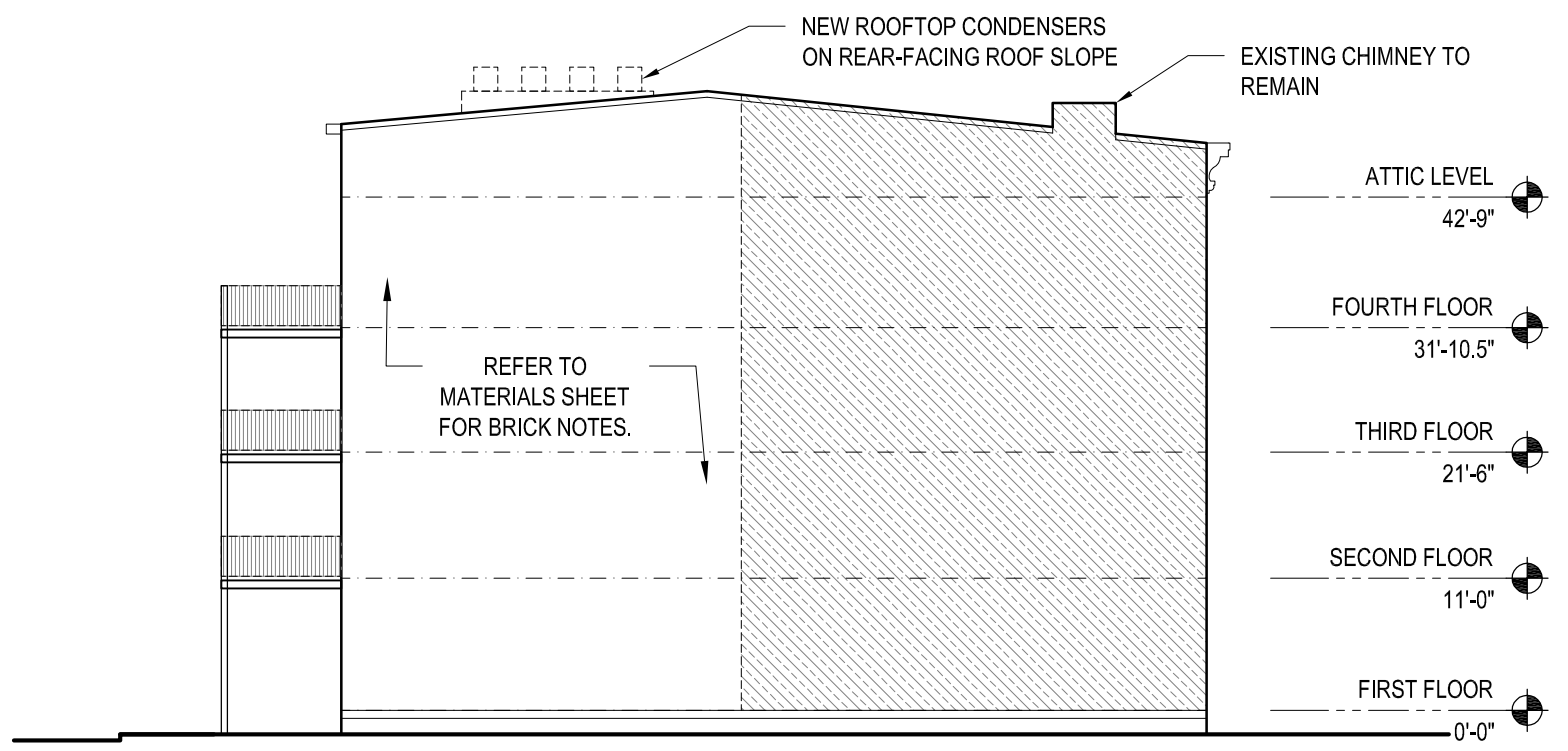
01 NORTH ELEVATION
 1/16" = 1'-0" 0 4' 8' 16' 24'



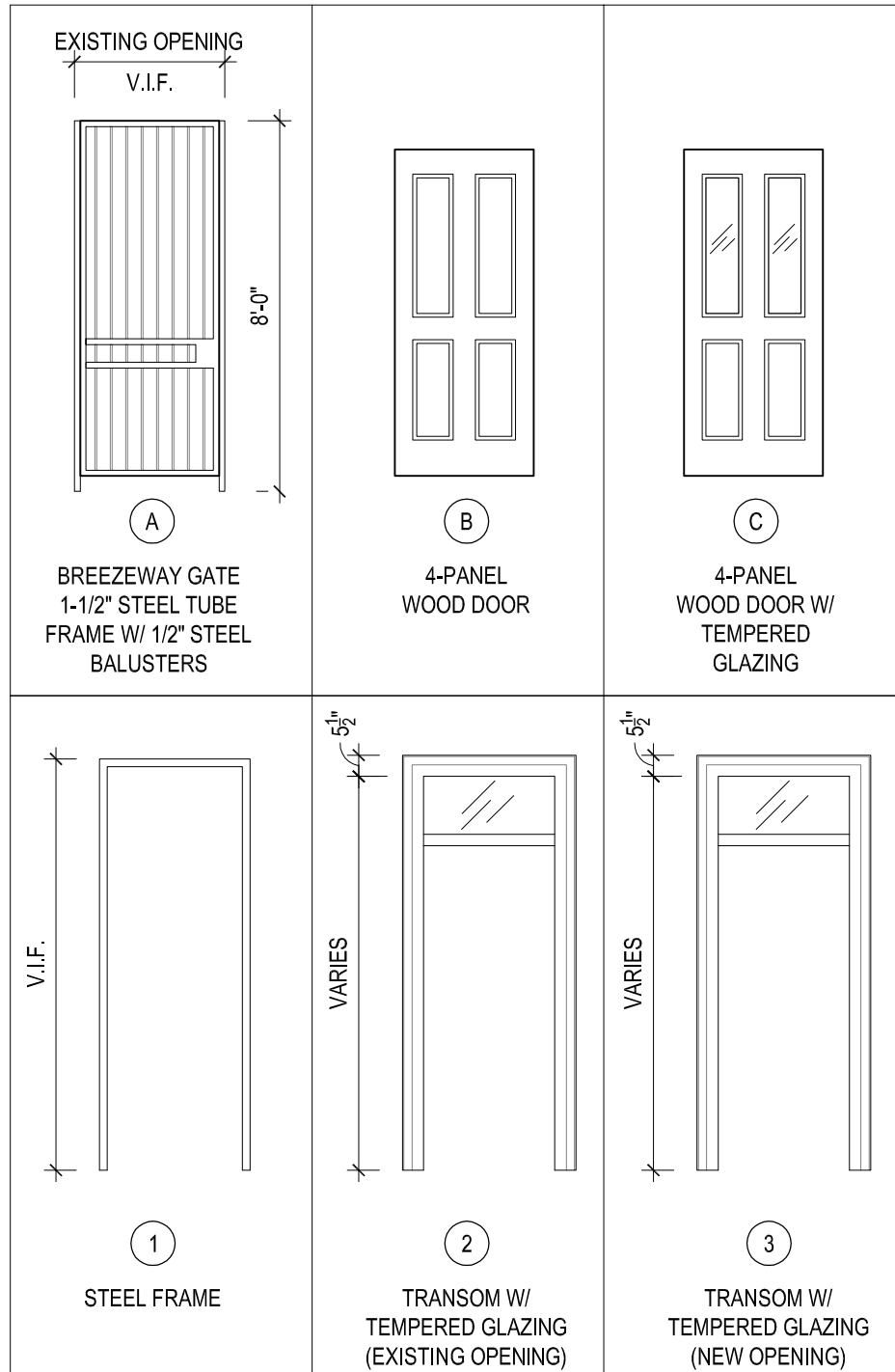
02 WEST ELEVATION
 1/16" = 1'-0" 0 4' 8' 16' 24'



03 SOUTH ELEVATION
 1/16" = 1'-0" 0 4' 8' 16' 24'



04 EAST ELEVATION
 1/16" = 1'-0" 0 4' 8' 16' 24'



01 DOOR & FRAME STYLES
N.T.S.

Door Schedule

DOOR ID	DESCRIPTION	DOOR			FRAME			HARDWARE	REMARKS
		MATERIAL	FINISH	TYPE	MATERIAL	FINISH	TYPE		
01	BREEZEWAY GATE	SL	PT	A	SL	PT	1	HW-1a	1, 2
02	TRASH GATE	SL / WD	PT / ST	A**	SL	PT	1	HW-1b	-
11	FRONT DOOR	IM	PT	B	IM	PT	2	HW-2	2, 3, 4, 7
12	BUILDING ENTRY	IM	PT	B	IM	PT	2	HW-2	1, 2, 3, 4, 7
13	REAR DOOR	IM	PT	B	IM	PT	2	HW-2	5, 7
21	NEW PATIO DOOR	IM	PT	C	IM	PT	3	HW-2	2
22	NEW PATIO DOOR	IM	PT	C	IM	PT	3	HW-2	2
31	NEW PATIO DOOR	IM	PT	C	IM	PT	3	HW-2	2
32	NEW PATIO DOOR	IM	PT	C	IM	PT	3	HW-2	2
41	NEW PATIO DOOR	IM	PT	C	IM	PT	3	HW-2	2
42	NEW PATIO DOOR	IM	PT	C	IM	PT	3	HW-2	2

** NOTE: 6'H TRASH GATE INTEGRATED INTO PRIVACY FENCE. MODIFIED VERSION OF BREEZEWAY GATE. REFER TO FENCE DETAILS O4/A1.1.

DOOR SCHEDULE GENERAL NOTES

- A. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- B. ALL GLAZING IN DOORS SHALL BE TEMPERED
- C. ALL NEW DOOR OPENINGS SHALL MATCH EXISTING DOOR HEIGHTS AND STYLES
- D. ALL DOORS TO BE PAINTED OR STAINED WOOD, INCLUDING TOPS AND BOTTOMS
- E. GC / DOOR SUPPLIER TO VERIFY DOOR OPENING SIZES IN ALL DOOR FRAMES / DOOR OPENINGS TO RECEIVE NEW DOORS
- F. ABBREVIATIONS: SL STEEL
IM INSULATED METAL
PT PAINTED

REMARKS:

1. DOOR SHALL PROVIDE 32" CLEAR OPENING BETWEEN THE FACE OF THE DOOR AND THE LATCH SIDE DOOR STOP WHEN OPENED 90 DEGREES
2. FIELD VERIFY EXISTING OPENING
3. EXISTING DOOR FRAME AND HARDWARE TO REMAIN, REFURBISH HARDWARE AS REQUIRED. SALVAGE WHEREVER POSSIBLE.
4. TRANSOM ABOVE DOOR. REPAIR AS REQUIRED.
5. EXISTING DOOR TO BE SALVAGED AND REPAIRED AND INSTALLED AS A FIXED IN PLACE DOOR.
6. NOT USED.
7. RETAIN EXISTING BRICK MOLD. REPAIR AS REQUIRED.

Hardware Schedule

HW-1a: BREEZEWAY GATE SET

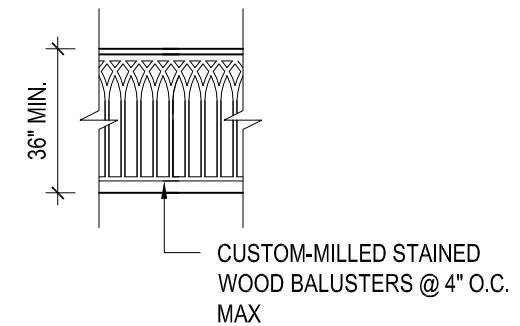
- DEADBOLT BY KEY OUTSIDE, THUMB TURN INSIDE WITH PASSAGE FUNCTION, LEVER HANDLE. ELECTRONIC CONTROL BY INDIVIDUAL APARTMENTS
- WEATHERSTRIPPING
- ALUMINUM THRESHOLD
- DOORSTOP
- CLOSER

HW-1b: TRASH GATE SET

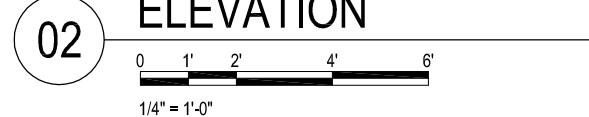
- DEADBOLT BY KEY OUTSIDE, LEVER HANDLE
- DOORSTOP
- CLOSER

HW-2: BUILDING ENTRANCE / PATIO DOOR SET

- DEADBOLT BY KEY OUTSIDE, THUMB TURN INSIDE WITH PASSAGE FUNCTION, LEVER HANDLE
- WEATHERSTRIPPING
- ALUMINUM THRESHOLD
- DOORSTOP
- CLOSER



PARTIAL GUARDRAIL ELEVATION



02



A REPLACEMENT WINDOWS

SUNCLAD BRAND ALUMINUM CLAD WOOD DOUBLE HUNG WINDOWS



B EXPOSED BRICK

RE-POINT & REPAIR BRICK AS REQUIRED. NO PAINT PROPOSED DUE TO GENERALLY GOOD QUALITY OF EXISTING BRICK.



C LANDSCAPING

REPRESENTATIVE SAMPLE, NOT ACTUAL CONSTRUCTION. DESIGN INTENT: LOW MAINTENANCE FINISHES (PEA GRAVEL WITH EDGING STRIP, NATIVE GRASSES, AND PAVER STEPS)



D WOOD PRIVACY FENCE

REPRESENTATIVE SAMPLE, NOT ACTUAL CONSTRUCTION. DESIGN INTENT: HORIZONTAL SLATS OF STAINED WOOD WITH MINIMAL AESTHETIC



E DECK / GUARDRAIL

CUSTOM STAINED WOOD GUARDRAIL



APPLICATION FOR CERTIFICATE OF APPROPRIATENESS HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

APPLICATION #:
APPLICANT: Custom Carving Source LLC
OWNER: Custom Carving Source LLC
ADDRESS: **221 Kemp Alley, Cincinnati Ohio 45202**
PARCELS: 081-0001-0071
ZONING: CC-A Community Commercial- Auto
OVERLAYS: Over-the-Rhine Historic District
COMMUNITY: Over-the-Rhine
REPORT DATE: July 7, 2011
HEARING DATE: June 15, 2016
STAFF REVIEW: Beth Johnson, Urban Conservator

Nature of Request:

The applicant is requesting a Certificate of Appropriateness (COA) for a front façade alteration for a garage door, a three level rear deck addition, and the conversion of a window on the 2nd and 3rd floors to a door on the rear

Existing Conditions:

The property at 221 Kemp Alley is currently a 3 unit residential building. It is a 3 story brick building that was built before 1887 and was used as the Hillman Stair Building and lumber yard as indicated on the 1887 Sanborn Maps. The property sits mid-block on Kemp Alley between Central Parkway and Fall Alley. It currently has vacant parcels the west side and a one story shed that has been previously approved for demo.

The property is listed as a non-contributing building in the OTR Historic Conservation Guidelines and is also listed and shown on a map as a non-contributing building in the National Register Nomination. The list of non-contributing buildings for the local district was based on the National Register Nomination.



Figure 1: 221 Kemp Street. Picture provided by staff



Figure 2: Map provided by Cagis Maps

Proposed Conditions:

The applicant is proposing to construct a new 25' x 6' deck on the rear of the building. It will extend the entire width of the rear portion of the building. The deck will be on the second and third floors. At each deck a window will be converted to a door to access the deck. The decks will be built of wood with a custom designed wood picket railing. Both will be stained.

The applicant is proposing to alter the front façade of the building by adding a garage door. The garage door is a wood, carriage style garage door. The door will extend the height from the ground to the existing lintels line and will be as wide as the current two center windows.

The applicant is proposing a 6 foot wood privacy fence around the side and rear yard. The fence will be stained wood with horizontal slats.

The applicant is proposing aluminum clad wood replacement windows throughout the building and the installation of new 4 panel exterior wood doors.

Previous Reviews:

August 24, 2015- Preliminary Review. All comments were concentrated on infill construction on adjacent lots.

October 26, 2015- Conditional Use as a single family house and painting of façade approved. Garage door denied, new deck and changes to openings not addressed.

Applicable Zoning Code Sections:

Zoning District: Section 1409 CC-A
Overlays: [Section 1435](#) Historic Preservation
Historic District/Reg: [Over the Rhine Historic District](#)
COA Standard: [Section 1435-09-2](#) Certificate of Appropriateness;
Standard of Review

Details of Zoning Relief Required:

The applicant and/or owner(s) are not requesting any Zoning Relief. The proposed deck additions and fence meet the zoning code requirements for height and setbacks.

Certificate of Appropriateness Review:

A Certificate of Appropriateness is required for the construction of a rear decks, the conversion of the windows to doors, and the installation of a garage door on the front of the building.

Non-Contributing Buildings

B. Specific Guidelines

1. Rehabilitation: The rehabilitation of non-contributing buildings should comply with the guidelines for rehabilitation, as outlined in the "Rehabilitation" section of this document. These rehabilitation guidelines provide a framework for maintaining a building's basic architectural character; they do not suggest that a building be redesigned or altered to appear older than it is. Alterations to a newer building should be compatible with the original architectural character of that structure or should help the building to relate better architecturally to the surrounding historic district. The rehabilitation of an older, altered structure should restore elements of the building's historic character, whenever possible, based on remaining physical evidence, historic documentation, or similar buildings nearby. Alterations to non-contributing buildings should not create a false sense of history. In many cases it is preferable to rehabilitate and reuse a non-contributing building than to have a vacant parcel or parking lot.

It is important to note that while the building is from the period of significance for the district, it is listed as a non-contributing building. The applicant is requesting to make changes, specifically the addition of a garage door on the front facade that would otherwise not be recommended for contributing buildings. The guidelines encourage the reuse of non-contributing buildings rather than having a vacant parcel or parking lot, which also allows for the introduction of flexibility in how and when changes are permitted on non-contributing buildings.

Applicable Guidelines

REHABILITATION

B. SPECIFIC GUIDELINES

2. Door and Window Openings: Among the most important features of any building are its openings — its windows and doors. The size and location of openings are an essential part of the overall design and an important element in the building's architecture. Don't alter or fill-in original openings. Roll down shutters and metal bar systems installed on the exterior of the building that cover door and window openings are not appropriate.

The applicant is proposing to cut a garage door in the front of the building. The selected garage door is a wood garage door with a design that is historically appropriate. The building is on an alley-facing, non-contributing building. Previously, the HCB has permitted a garage door on an alley facing contributing building at 1804 Race Street. Similar to that situation, this allowance would permit the building to provide parking for the tenant.

This façade is more visible than the location at 1804 Race Street from a Primary Street, Liberty Street, but it does not directly front onto that street. It is screened by the park and tree vegetation and it does not have much historic context as the majority of the its block face to the alley is vacant and there has been approved new construction for 3 new single family residential units all with alley facing garage door openings. As the building is on an alley, there would not be easy street parking available for this unit and staff understands parking is a premium in OTR and this proposed garage door opening, while not optimal, is an acceptable alternative to providing no parking.

The applicant is proposing to convert 3 rear window openings to doors to provide access to the decks. The applicant is using existing openings and is not widening the openings. The windows that are being altered are either not visible from the street. In the Intent and General Guidelines, it allows for flexibility and creative design approaches when reusing historic buildings. Being able to provide exterior space and ease of access to the decks is a desirable amenity for urban living. By using existing openings and not expanding the width of the openings, the rhythm of the fenestration is kept intact.

3. DOOR AND WINDOW SASH: Repair original doors and window sashes rather than replace whenever possible. If replacement is necessary, the new door or window sash should match the original in material, size and style as closely as possible. Synthetic replacement windows are generally discouraged. Consult with the Historic Conservation Office about acceptable replacement windows.

The applicant is proposing replacing all windows with “Sunclad Easy Tilt Aluminum Clad wood windows” This type of window manufacture by Sunclad is similar to other types of windows that have been previously approved on projects and complies with the specific guidelines for the Over-the-Rhine Historic District.

The applicant is proposing to install 4 panel exterior wood doors. Existing doors are either missing or deteriorated. The proposed doors are appropriate in size and material to the historic district.

SITE IMPROVEMENTS

B. SPECIFIC GUIDELINES

4. DECKS: Wood decks should be stained or painted. Rooftop decks should not be highly visible from the principal façade. Metal balconies should not be discouraged.

The proposed rear deck will not detract from the character of the building. The rear decks will not be visible from the street. The decks will not cover any architectural details. It will be compatible with the building and constructed of wood with custom designed wood railings and pickets.

3. Fences and Walls: Wrought-iron or cast-iron fences are encouraged along the sidewalks of vacant lots or where buildings are setback from the sidewalk. Fencing may be set between wrought iron and cast-iron posts, natural stone posts or pre-cast concrete posts. Fencing may also be set on a concrete curb or on top of a retaining wall. Landscaping in front of a fence is encouraged. Plain board fences (vertical boards nailed side-by-side on horizontal stringers) or wire fences are appropriate at the rear of the property or along the side of the property. Wood fences should be painted or stained but not left to weather naturally. Chain link, stockade, shadow board, basket weave and lattice designs are not appropriate. Masonry privacy walls are not encouraged.

The applicant is proposing to install a horizontal board wood fence that will be stained. The fence will be a 6 foot high fence. Horizontal board wood fences have been approved in rear and side yards throughout Over-The-Rhine.

Other Considerations:

- The wood deck and wood fence should be stained or painted.

Prehearing Results: N/A

Comments Provided to Staff: N/A

Consistency with *Plan Cincinnati (2012)*:
“Sustain” Initiative Area “Preserve our built history”

Recommendation:
Staff recommends the Historic Conservation Board take the following actions:

CERTIFICATE OF APPROPRIATENESS

1. **APPROVE** a Certificate of Appropriateness for 221 Kemp Alley per plans submitted by Karvato dated 7/13/2016, including any revisions submitted for permit subject to staff review and approval with the following conditions.
 - a. All wood decking and fencing should be stained or painted.
 - b. The applicant must get Department of Transportation and Engineering approval for all curb cuts along Kemp Alley.
 - c. The building permits must be issued within two years of the decision date or the Certificate of Appropriateness shall expire.

2. **FINDING:** The Board makes this determination per Section 1435-09-2:
 - i. That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

Drawing Index

- A0.0 COVER SHEET
- A0.1 SITE CONTEXT
- A1.0 EXISTING DEMO PLANS
- A1.1 PROPOSED FLOOR PLANS
- A1.2 PROPOSED FLOOR PLANS
- A2.0 BUILDING ELEVATIONS
- A3.0 MATERIALS
- A4.0 NEIGHBORHOOD GARAGES
- A4.1 NEIGHBORHOOD GARAGES
- A4.2 NEIGHBORHOOD GARAGES

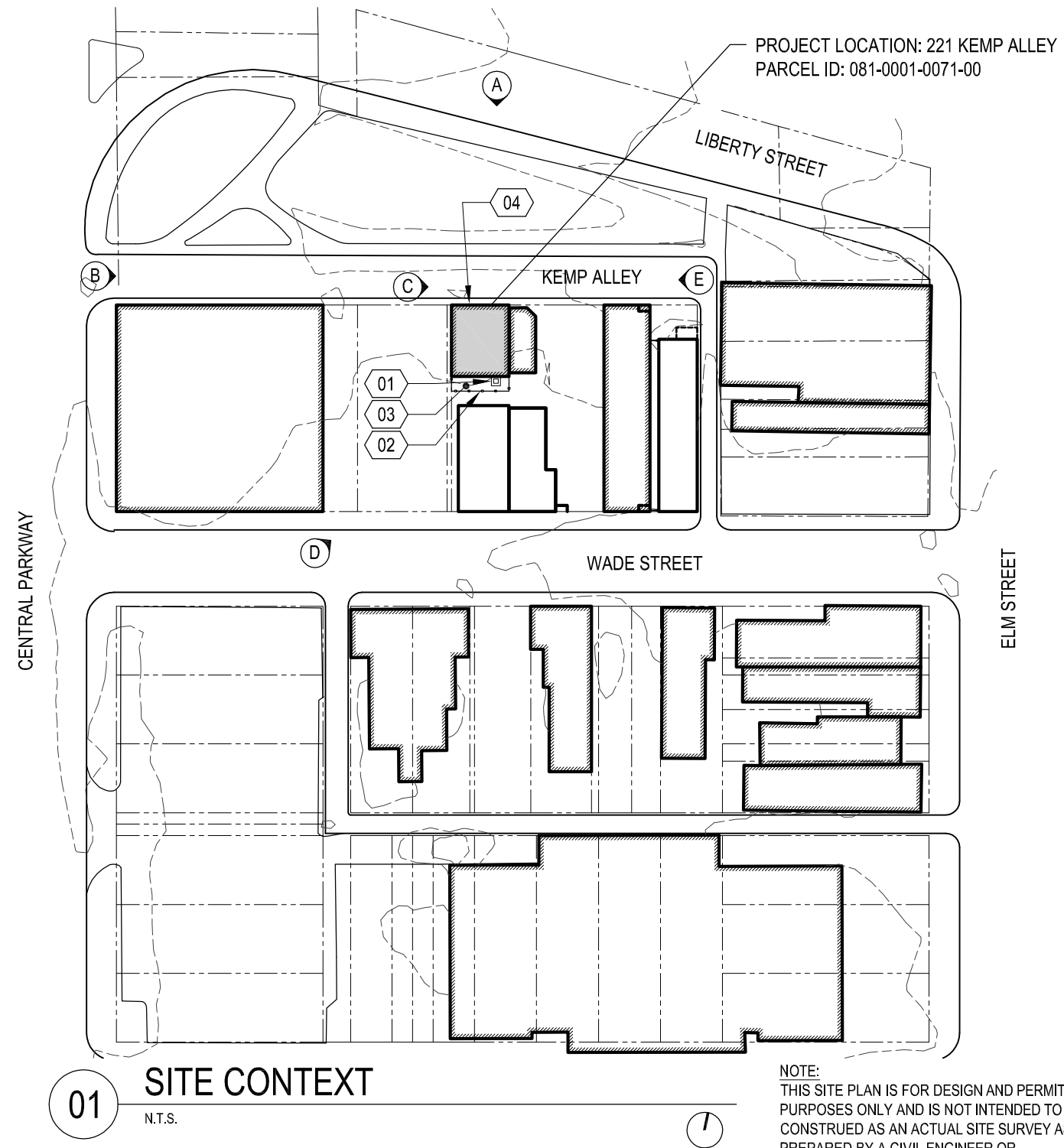
Project Description

RENOVATION OF AN EXISTING 3-STORY RESIDENTIAL BUILDING (CURRENTLY VACANT) INTO A SINGLE FAMILY RESIDENTIAL. WORK WILL INCLUDE STRUCTURAL IMPROVEMENTS, NEW INTERIOR PARTITIONS, NEW KITCHENS AND BATHROOMS, NEW MEP. THE PROJECT DOES NOT SEEK ANY PUBLIC SUBSIDY, AND WILL SEEK MARKET-RATE TENANTS.

Building Area

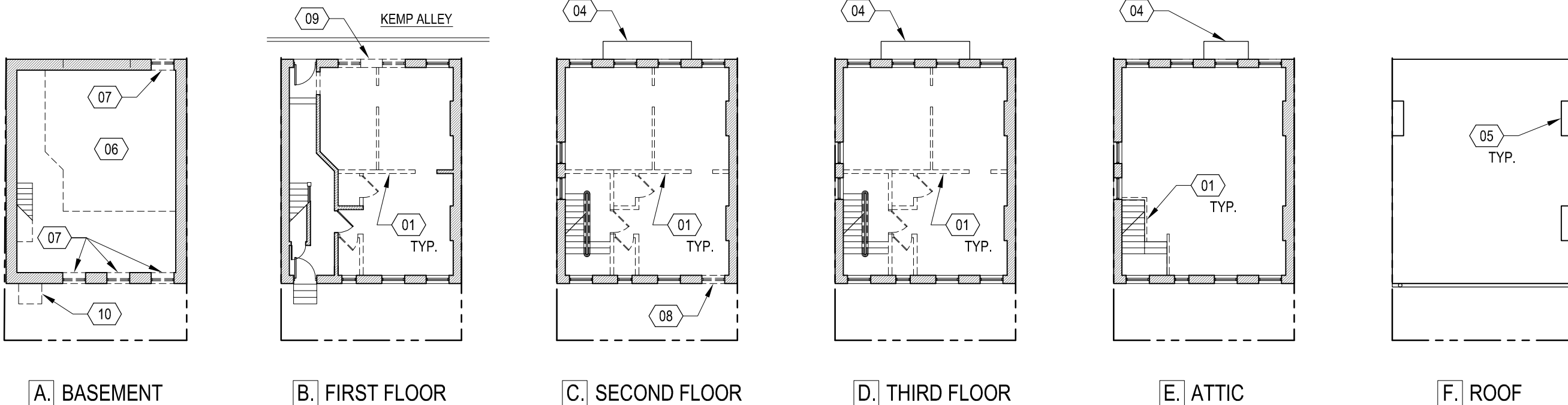
BASEMENT	622 S.F.
FIRST FLOOR	653 S.F.
SECOND FLOOR	630 S.F.
THIRD FLOOR	630 S.F.
UNOCCUPIED ATTIC	630 S.F.

Site Aerial



Drawing Notes

1. HVAC CONDENSER LOCATION
2. 6' WOOD PRIVACY FENCE. REFER TO MATERIALS SHEET A4.0 FOR DETAILS.
3. NEW HARDSCAPE. REFER TO MATERIALS SHEET A4.0 FOR DETAILS.
4. EXISTING FIRE ESCAPE TO REMAIN



A. BASEMENT

B. FIRST FLOOR

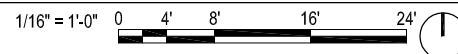
C. SECOND FLOOR

D. THIRD FLOOR

E. ATTIC

F. ROOF

01 DEMOLITION PLANS



General Demo Notes

1. REMOVE ALL NON-LOAD BEARING INTERIOR WALLS AND PARTITIONS.
2. REMOVE ALL EXISTING MILLWORK, BUILT-INS AND EQUIPMENT.
3. RETAIN EXISTING HISTORIC WOOD TRIM AND TRANSOMS WHERE POSSIBLE.
4. EXISTING FIRE ESCAPE TO REMAIN
5. ALL EXISTING CHIMNEYS TO REMAIN
6. REBUILD FLOOR @ GARAGE ABOVE.
7. REMOVE BASEMENT WINDOW, REPLACE WITH CMU INFILL ANCHORED TO EXISTING MASONRY AS REQUIRED.
8. REMOVE EXISTING WINDOW AND SELECTIVELY REMOVE BRICK BELOW OPENING. PREPARE OPENING FOR NEW DOOR.
9. CUT NEW OPENING IN MASONRY WALL FOR PROPOSED DOOR. COORDINATE NEW OPENING WITH EXISTING WINDOW LOCATION ABOVE.
10. ON GRADE STAIR ABOVE, SHOWN FOR REFERENCE.

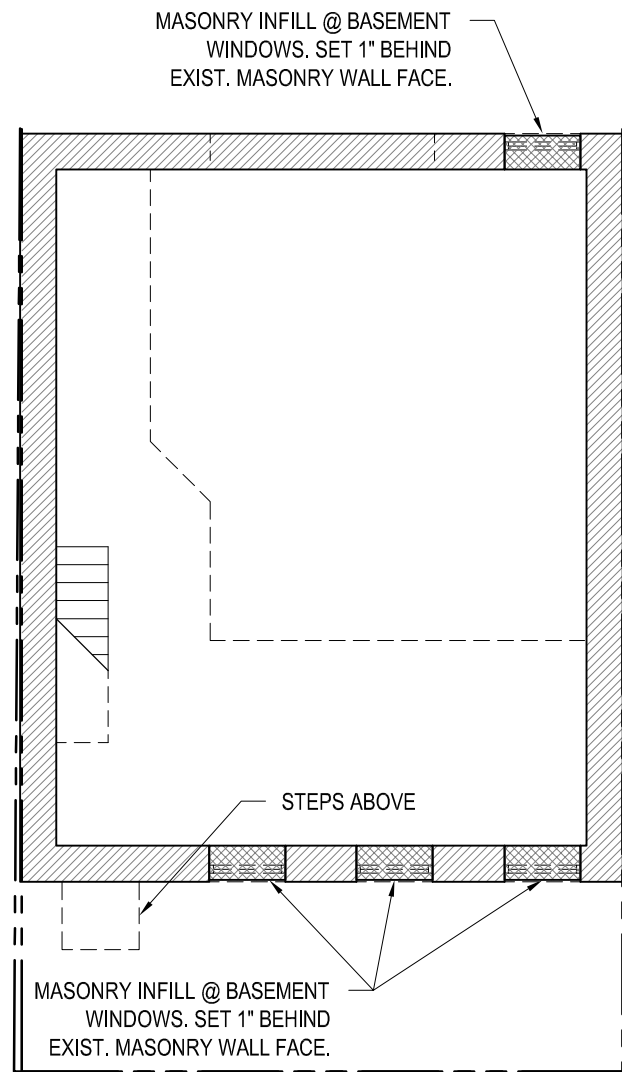


KEMP ALLEY RESIDENCE
 221 KEMP ALLEY
 CINCINNATI, OH 45202

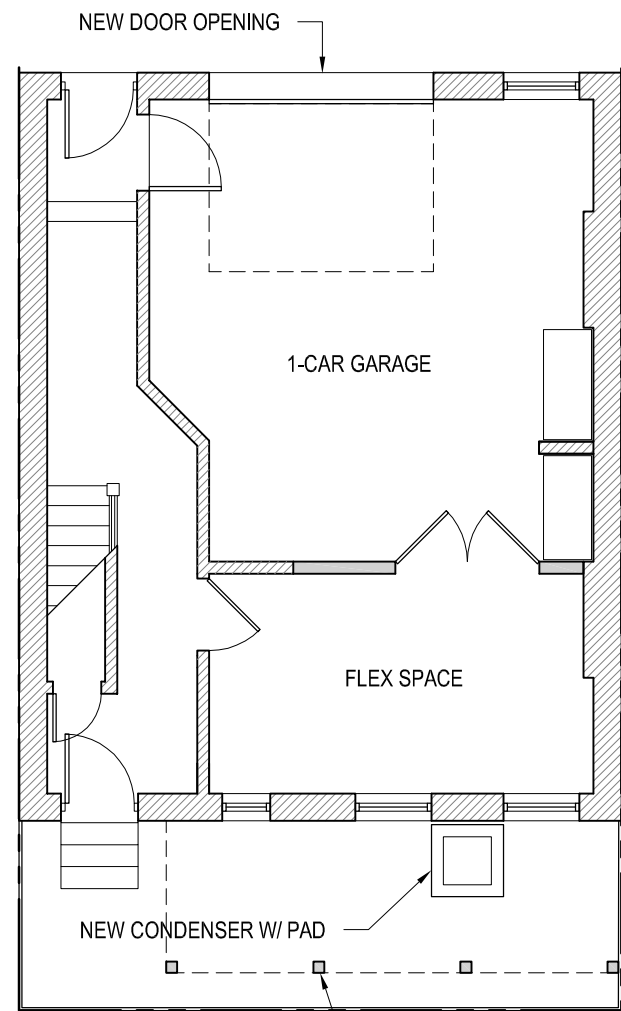
ISSUED FOR CERTIFICATE OF APPROPRIATENESS
 07/13/2016

EXISTING DEMO PLANS

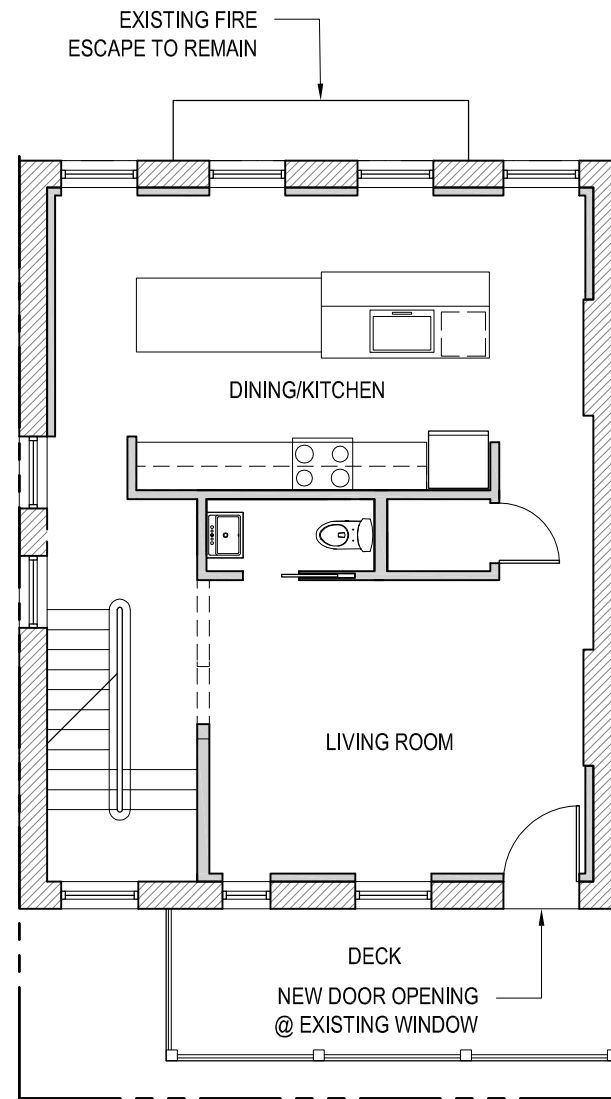
A1.0



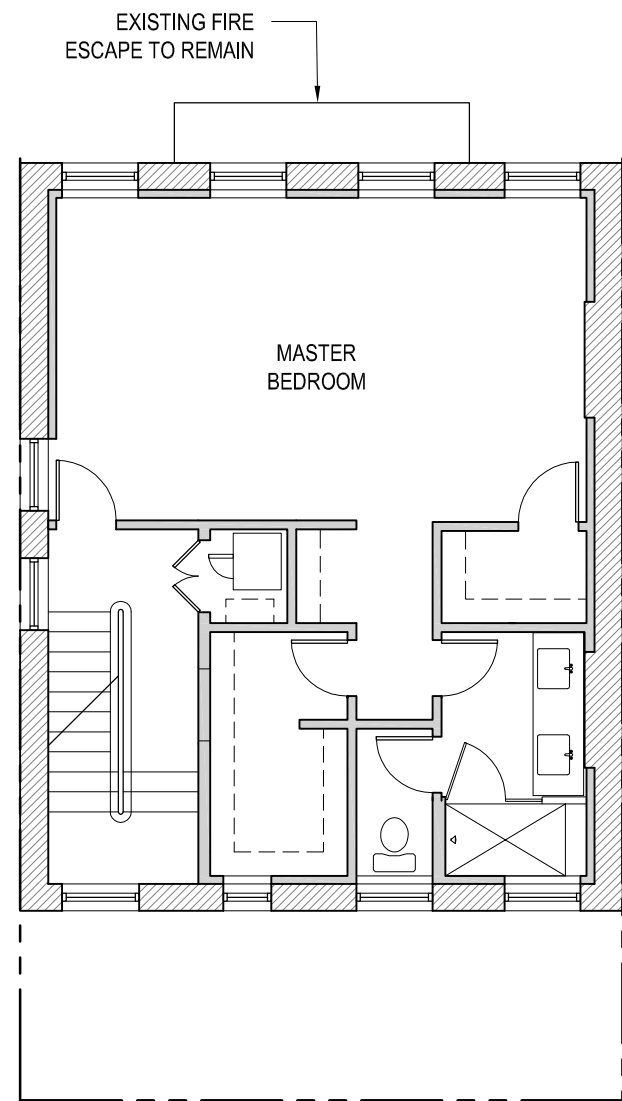
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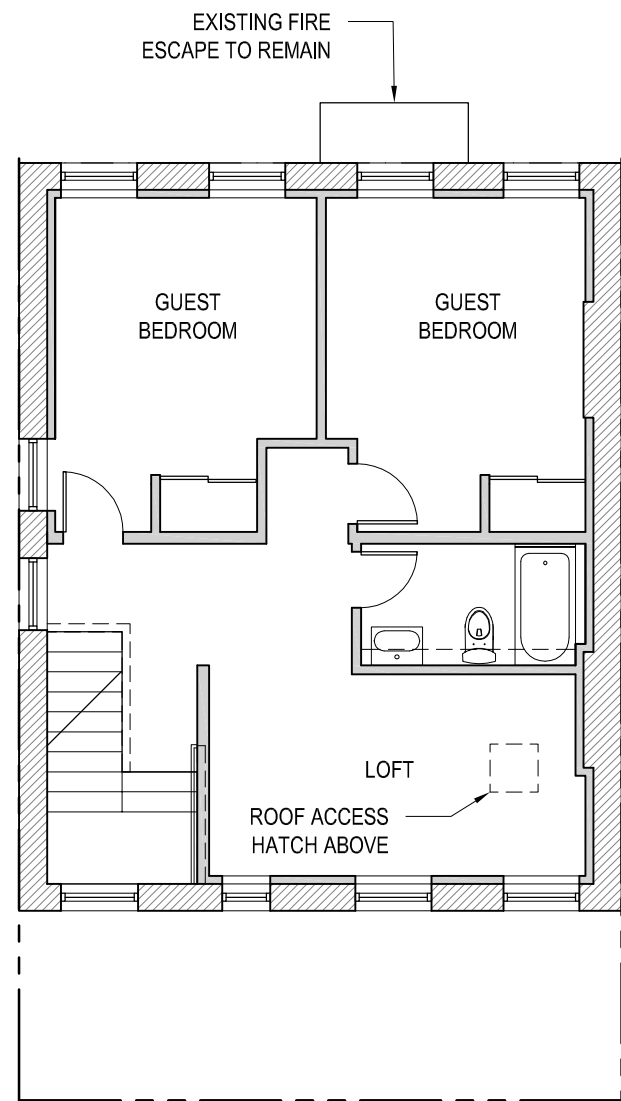
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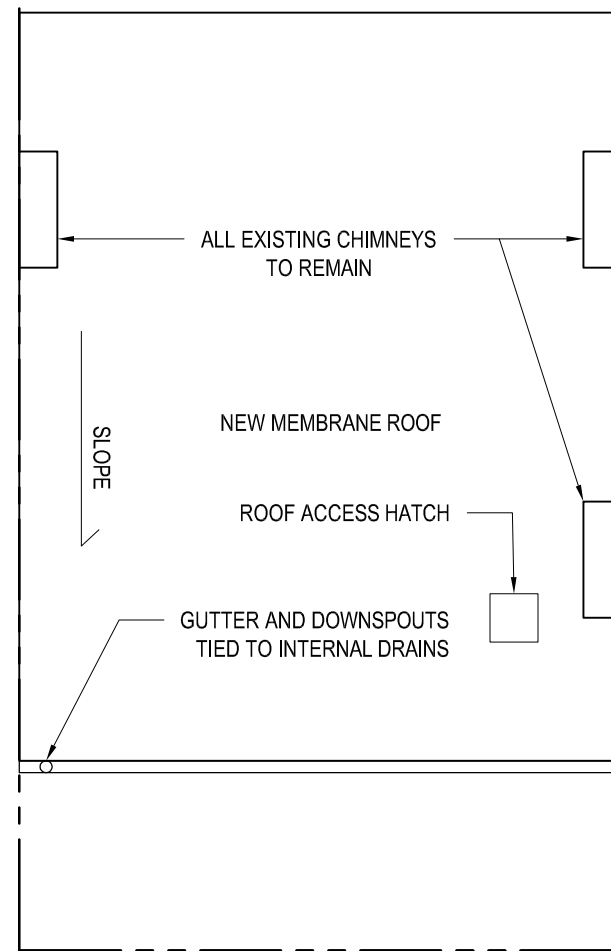
03 SECOND FLOOR
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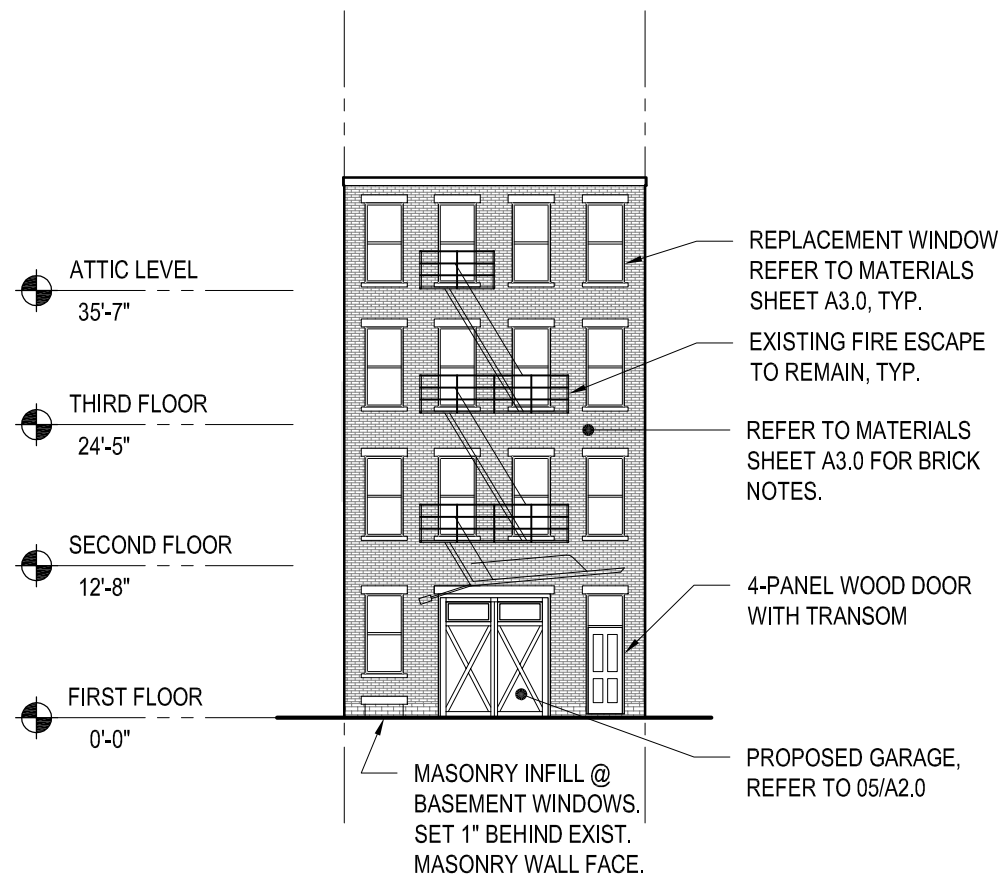
01 THIRD FLOOR
 1/8" = 1'-0" 0 2' 4' 8' 12' 1



02 ATTIC LEVEL
 1/8" = 1'-0" 0 2' 4' 8' 12' 1

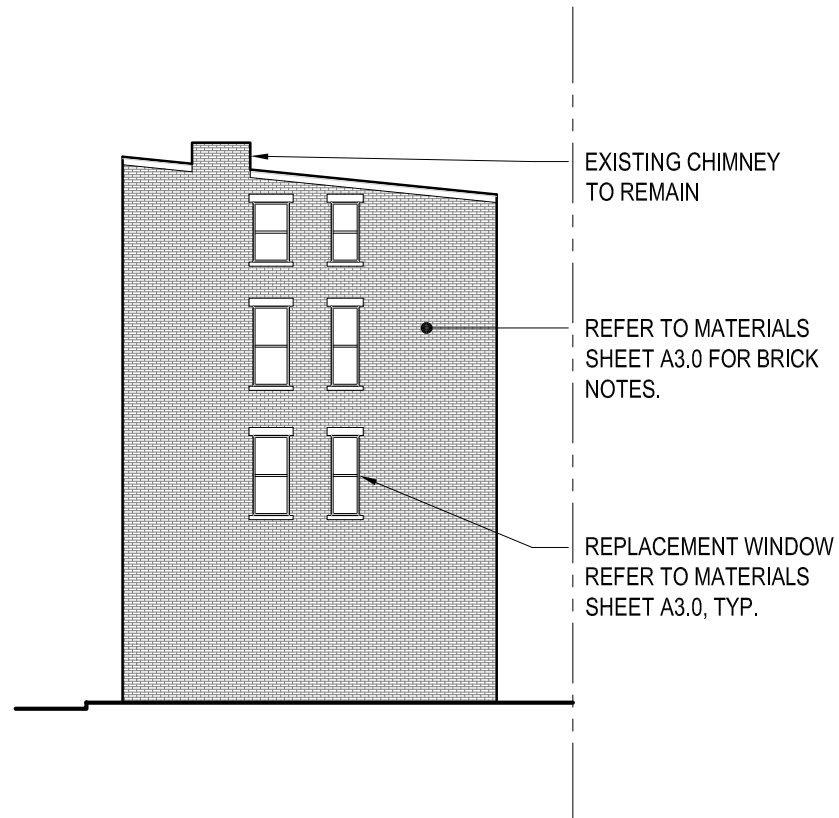


03 ROOF PLAN
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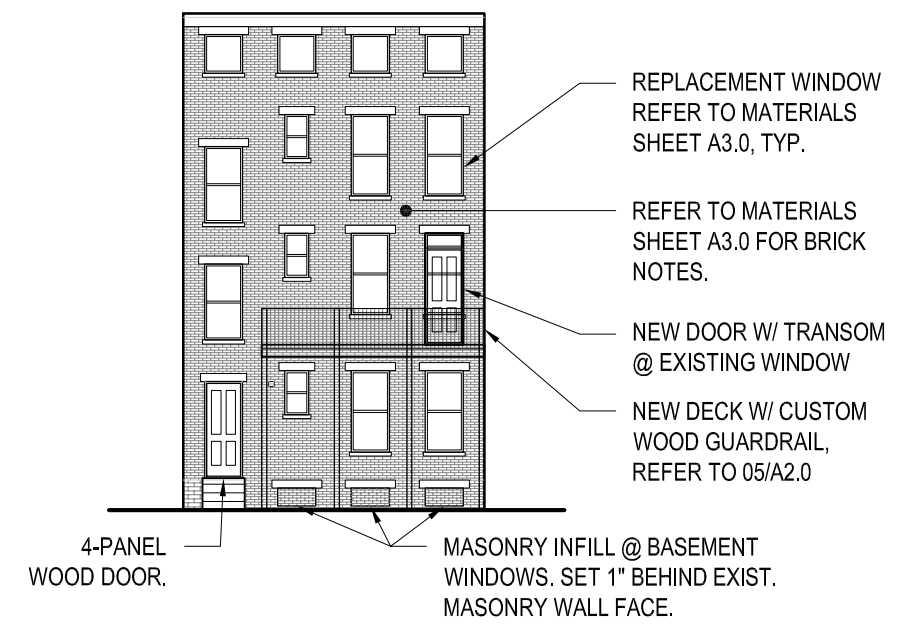
01 NORTH ELEVATION

1/16" = 1'-0" 0 4' 8' 16' 24'



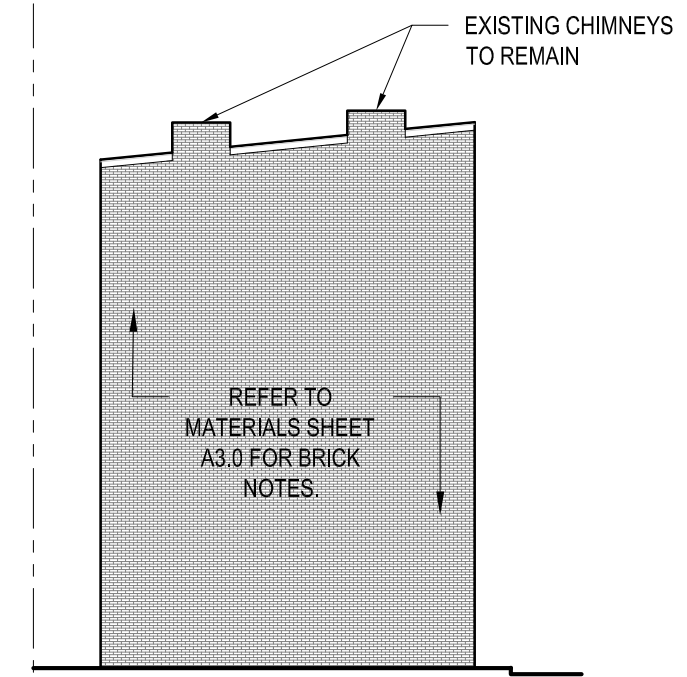
02 WEST ELEVATION

1/16" = 1'-0" 0 4' 8' 16' 24'



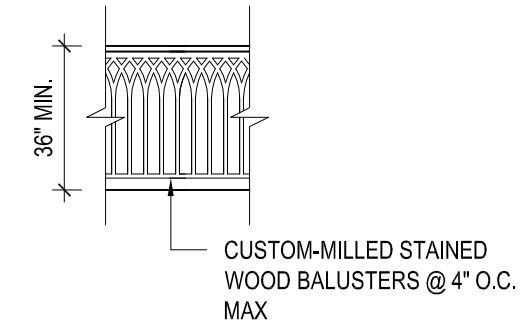
03 SOUTH ELEVATION

1/16" = 1'-0" 0 4' 8' 16' 24'

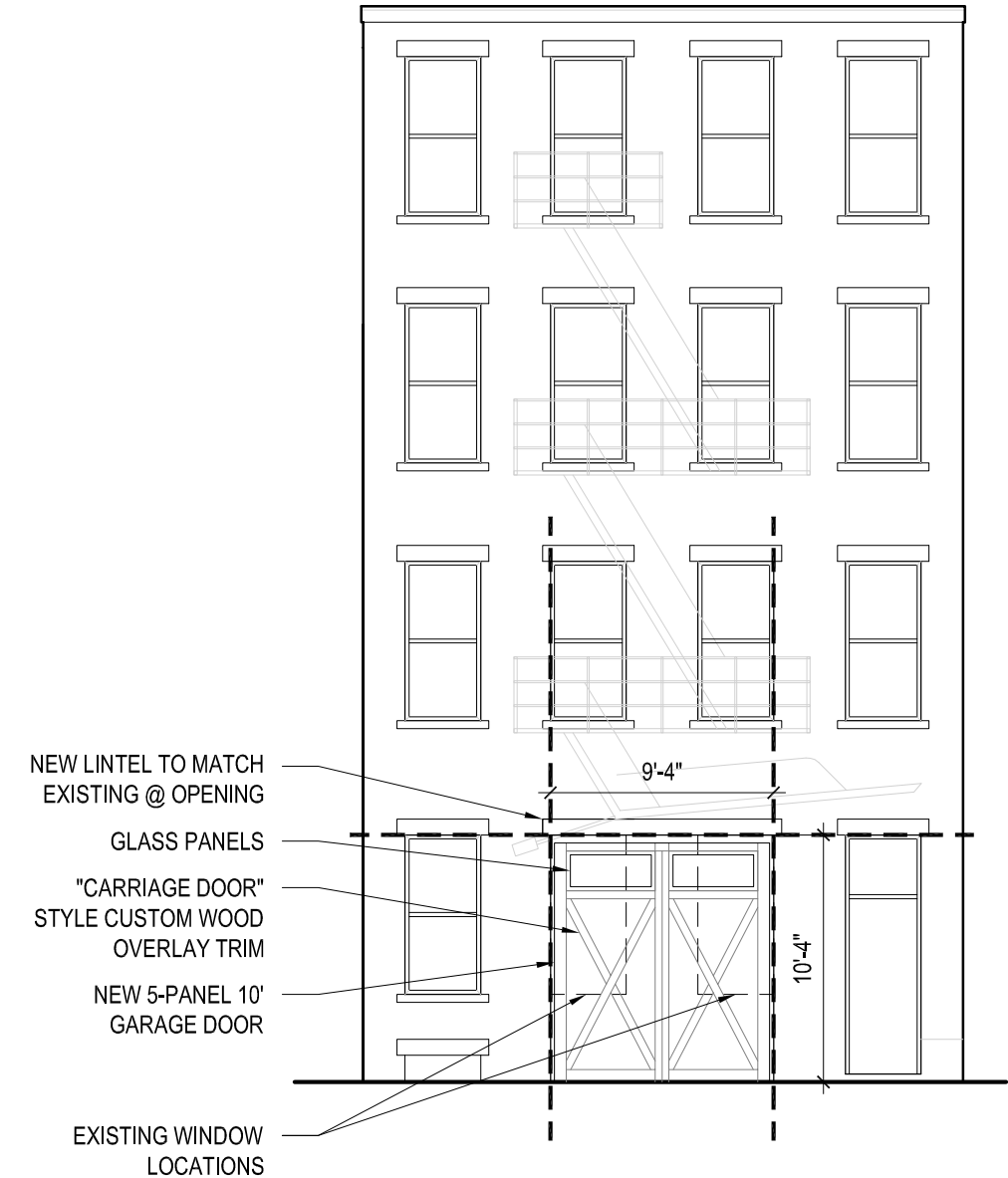


04 EAST ELEVATION

1/16" = 1'-0" 0 4' 8' 16' 24'



05 PARTIAL GUARDRAIL ELEVATION



06 ELEVATION @ PROPOSED DOOR

1/8" = 1'-0" 0 2' 4' 8' 12'



A REPLACEMENT WINDOWS

SUNCLAD BRAND ALUMINUM CLAD WOOD DOUBLE HUNG WINDOWS



B PAINTED BRICK

RE-POINT & REPAIR BRICK AS REQUIRED. FINAL COLOR TBD.



C LANDSCAPING

REPRESENTATIVE SAMPLE, NOT ACTUAL CONSTRUCTION. DESIGN INTENT: LOW MAINTENANCE FINISHES (PEA GRAVEL WITH EDGING STRIP, NATIVE GRASSES, AND PAVER STEPS)



D WOOD PRIVACY FENCE

REPRESENTATIVE SAMPLE, NOT ACTUAL CONSTRUCTION. DESIGN INTENT: HORIZONTAL SLATS OF STAINED WOOD WITH MINIMAL AESTHETIC

Neighborhood Garages



1410 REPUBLIC ST.



1331 VINE ST



120 E 13TH ST.



1425 REPUBLIC ST.



1332 REPUBLIC ST.

Neighborhood Garages



1325 SPRING ST.



1319-1325 SPRING ST.



1329-1339 PENDLETON ST.



1319 SPRING ST

Neighborhood Garages



1712 CAMPBELL ST.



1737 ELM (REAR), AT CAMPBELL ST.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

APPLICATION #:
APPLICANT: Wichman Gunther
OWNER: Kauffman Vine LLC
ADDRESS: **1725 Vine Street Cincinnati 45202**
PARCELS: 094-0008-0237
ZONING: CC-P
OVERLAYS: Over-the-Rhine Historic District
COMMUNITY: Over-the-Rhine
REPORT DATE: July 10, 2016
HEARING DATE: June 29, 2016 Pre-hearing
STAFF REVIEW: Beth Johnson, Urban Conservator

Nature of Request:

The applicant is requesting a Certificate of Appropriateness (COA) for a rear four story addition to a Historic brewery building that faces onto Vine Street but also has a rear frontage onto Republic Street.

Existing Conditions:

The property at 1725 Vine Street is the Historic Kauffman Brewery Building. It is a brick 4-story Italianate building built in 1876 for the Kauffman Brewing Company, which was ranked at the city's fourth-largest brewing operation in 1871. The rear portion of the building has been demolished and a new rear wall of concrete block has been constructed as part of the building stabilization.

The lot has a dual frontage with the main façade on Vine Street. The rear of the building fronts onto Republic Street. 1725 Vine Street is mid-block between Green Street and Elder. The south of the building borders on an alley and then there are 2 story residential buildings facing Republic Street. North of the property facing Republic Street are vacant parcels or buildings that just have a main frontage on Vine Street. Across the street is the Over-the-Rhine Community Center.



Figure 1: 1725 Vine Street. Picture from Google Street Views.

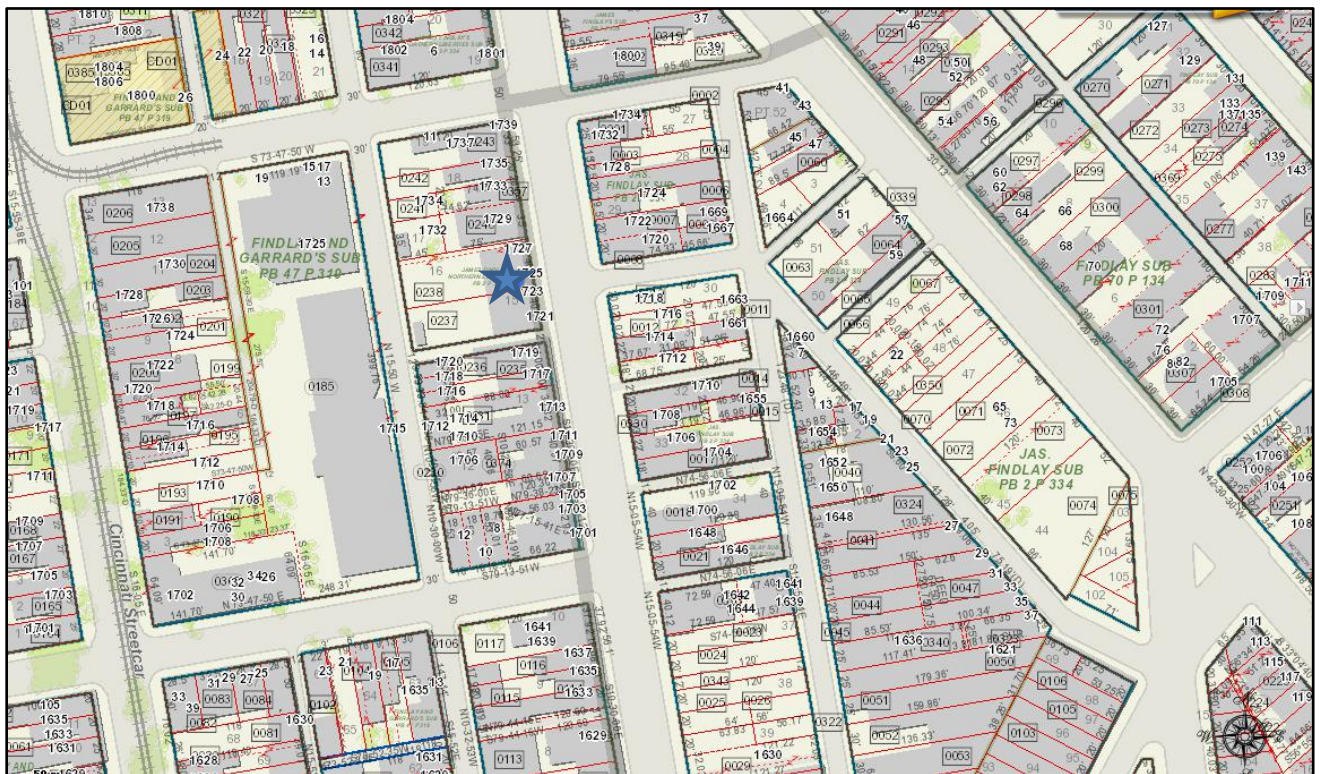


Figure 2: Map from Cagis Maps.

Proposed Conditions:

The applicant is proposing to erect a 4-story addition on the rear of the property to turn the building into mixed use building with commercial on the first floor fronting Vine Street and 12 apartments on the upper floors. The project will be restoring the front façade including historically appropriate storefront system and rebuilding missing pediment elements at the cornice line.

The 4 story addition will front onto Republic Street while the historic building fronts onto Vine Street.

- The additions will be approximately the width of the original building on the first floor.
- The upper 3 floors will be 3/4ths the width of the historic building.
- On the bay of the historic building that will not be covered by the addition, new openings will be cut into the wall for French doors and balconies.
- The addition will be sided in a combination of brick and nichiha panels. The brick and nichiha panels will be set in a bay pattern with the brick slightly projected in front of the nichiha panels. The windows on the brick bay will be a double hung one over one window and the windows in the nichiha panels will be a more modern style paired window that are the same height as the double hung windows.
- There will be French doors and balconies on the north face of the addition on the top three stories.
- The addition will be topped by with a simple cornice line.
- The first floor will be a parking garage and will have a storefront appearance with a base, a strong lintel and openings. One opening will be the entrance, two openings will be a glass window system and two opening will be a black grate.

This project is receiving Historic Rehabilitation Tax Credits. While the tax credits are only eligible for the work on the historic building, the new addition still is under review by the Department of the Interior for compatibility to the existing building. This project, including the addition, has been reviewed and the Part II has been approved.

Previous Reviews: N/A

Applicable Zoning Code Sections:

Zoning District:	Section 1409	Community Commercial- Pedestrian
Overlays:	Section 1435	Historic Preservation
Historic District/Reg:	Over the Rhine Historic District	
COA Standard:	Section 1435-09-2	Certificate of Appropriateness; Standard of Review

Certificate of Appropriateness Review:

A Certificate of Appropriateness is required for the 4 story rear addition. While this project is an addition, it also should be reviewed in context of the new construction guidelines because it also fronts onto Republic Street. Republic Street on the 1700

Block does have some buildings that front onto the Republic Street south of the property. Across the street from the Republic Street side of the property is the Over the Rhine Community Center, which is a non-historic building and it is a largely blank brick wall.

Applicable Guidelines

New Construction

A. Intent and General Guidelines

1. New construction is allowed on vacant sites in Over-the-Rhine, because gaps due to demolition weaken the streetscape and the overall character of the district. New construction can improve both the physical quality and economic vitality of the neighborhood.
2. New construction should be well-designed but should not replicate the existing buildings. The exceptional quality of the existing buildings in the district provides an outstanding framework for new construction.
3. The Historic Conservation Board's review of new construction will focus on the design compatibility with the surrounding contributing structures. The appropriateness of design solutions will be based on balancing the programmatic needs of the applicant with how well the design relates to the neighboring buildings and to the intent of these guidelines. New design proposals should pay particular attention to composition, materials, openings, rhythm, scale, proportion and height.
4. The new construction guidelines for this district will be used to judge the compatibility of new work. The specific site and programmatic needs of each project will be taken into consideration.

B. Specific Guidelines

1. Composition: New buildings should respond to the traditional subdivisions found on historic property: a base, a middle and a top. Most buildings in Over-the-Rhine are built of brick with the principal facade parallel to the street it faces. The most important features of buildings in Over-the-Rhine are the arrangement of openings on the principal facade and an overall vertical emphasis of the whole design. Each building provides its own variations, but collectively they share many basic features.

Base: New buildings should have a well-defined base. Within the district most buildings have a base that is distinguishable from the rest of the building. This is accomplished through a change of materials, a change of scale, and/or a lintel or other type of horizontal banding. In larger buildings the original base may include more than the first floor.

The building has a strong base that fronts onto Republic with the use of a pre-cast concrete watertable and a storefront look. This frontage provides the entrance to the parking and while typically entrances to parking facilities are not encouraged on street frontages, this property does not have an alley and the primary face of the building is on Vine Street. The design puts the entrance to the parking as one opening in a series of similar openings with a strong lintel as a top of each opening.

Middle: Details on new buildings should relate to the detailing of adjacent or nearby buildings. Buildings in the district often incorporate architectural details such as changes in plane or changes in materials on their upper floors. Decorative, horizontal bands indicating the floor lines, sill heights or lintel heights should not overpower the vertical emphasis of the design.

The middle is defined as the three stories above first floor. The middle has both brick and nichiha set in a bay pattern. The brick bays incorporate a double hung window which is seen on adjacent buildings. The change in materials between brick and the nichiha panels provides a strong vertical emphasis while the lintels and sills on the double hung windows provide a reference to the floors. In the bays with the nichiha panels a more modern paired window is used.

Top: New construction must employ a strong element that terminates the uppermost part of the building. Distinctive elements in the architecture of Over-the-Rhine are elaborate projecting cornices, decorative parapets and the expressive use of materials.

The addition provides a simple top and cornice. The brick bays are slightly higher than the nichiha bays and each bay has a cast concrete simple cornice line/top. This is an appropriate treatment for Republic Street as the adjacent houses to the south of the addition all have simple, non-bracketed cornice lines.

2. Roofs: Roofs for new construction should be similar to roofs of adjacent and nearby buildings of similar size and use. In the district, buildings of three or more stories generally have low-pitched shed roofs that are not visible above the principal facade. Smaller buildings in the district typically have simple gable roofs on which the gables are perpendicular to the principal facade. Institutional buildings in Over-the-Rhine have a variety of roof shapes, including dormers, multiple gables, hip roofs and towers. Roofs in this district have little or no overhang.

The roof on the addition is a flat roof and there is not an overhang. This roof shape is appropriate as the principal building also has a flat roof and the roof cannot be seen from the street frontage.

3. Window Openings: Window openings are extremely important in this district. The openings of new buildings should be related to the size and placement of openings found on historic structures of similar use in the district. In residential buildings, window openings are typically found individually rather than in pairs or grouped. The openings are taller and wide (typically in a proportion of 2:1), window sash are set back from the wall surface, and openings have some form of definition, such as lintels, sills or decorative surrounds. Window openings, which are typically aligned vertically, usually occupy between 20% and 50% of the principal facade. In commercial, industrial and institutional buildings, windows are often grouped within a single opening. These building types may also use a combination of window sash, including double-hung, awning and hopper. If muntins are used in new window sash, they must provide true divided lights. Within the individual opening, window sash are usually divided into two or more lights. In all cases the glass must be clear; tinted or reflective glass is not acceptable. Also, roll down shutters and metal bar systems installed on the exterior of the building that cover door and window openings are not appropriate.

The windows on the upper floors are traditional double hung aluminum clad wood on the brick bays. They are a 2:1 ratio and are taller than they are wide. The windows are punched in individual openings. In the bays with niches panels there are paired windows. The windows have a division on the windows and the top is a fixed window and the bottom is a hopper style window. These windows are the same height as the double hung windows and are taller than they are wide. As this is a mixed use building and as the principal building has paired windows, this treatment is appropriate.

4. Storefronts: New storefronts should relate to the characteristics of existing storefronts on historic buildings. Storefronts in the district are typically taller than individual upper floors; framed by piers and/or columns and have a lintel separating them from the upper floors; are divided into bays which increases their verticality and provides a pedestrian

scale and proportion; and have large, fixed expanses of clear (not tinted or reflective) glass. As with rehabilitated original storefronts, roll down shutters and metal bar systems installed on the exterior of the building are not appropriate elements for new storefronts. The storefront lintels are 12 to 18 feet above grade; the window sill height is between 18 inches and 3 feet above grade; and storefront windows are set back from the structural elements approximately 12 inches.

On the first floor are storefront type openings. One of the openings is the entrance to the garage while the other two will have traditional glazing. One the one story portion, there will be openings with a lintel but they will have grates in the openings rather than glazing. The lintels on the first floor at 14 feet above grade and the precast concrete panels are 4 feet above grade. While Republic Street has mostly residential uses just south of this property, the storefront treatment is an appropriate treatment as this façade faces an institutional building and is an addition on a mixed-use building.

5. Setback: Setback is an important issue in a dense urban area such as Over-the-Rhine. The setback for new construction should be consistent with the buildings of similar use on adjacent and nearby sites. In Over-the-Rhine, most commercial buildings are built up to the property line. Some residential property, especially detached buildings, have shallow setbacks but retain an "edge" at the property line with a fence. Some larger institutional buildings such as schools, churches and public buildings are setback from the street to provide public space and to add to their monumentality. In most cases new construction on corner sites should be built up to the edge of both outside property lines.

The addition has a zero lot line setback along Republic Street. This is similar to other buildings along the street and is an appropriate treatment.

The cut out of the second to fourth floors on the northern most bay is an appropriate treatment in order to provide balconies and an outdoor space for each apartment. Providing the first floor that goes all

6. Rhythm: New buildings should incorporate design features, such as window groupings, articulation of wall surfaces, and decorative elements such as columns or piers in an effort to maintain the rhythm that already exists in the district. New construction should avoid creating long unrelieved expanses of wall along the street by maintaining the rhythm of bays found on the district. Most buildings in Over-the-Rhine are relatively narrow, 25 to 50 feet in width. A building facade typically displays vertical subdivisions that establish a visual rhythm. In dense commercial areas such as Vine Street, there are no setbacks, creating a solid wall along the street. This wall is

articulated by the individual buildings, which in turn are divided by window groupings, changes in wall planes and decorative elements such as pilasters, columns or piers.

There is a regular rhythm to the building that is seen in the change of materials between brick and the nichiha panels. This rhythm is also seen in the regular fenestration. All new walls have window and doore openings that are in the same vertical orientation and create a consistent pattern over each faced. As this is a wide lot at 80 feet, the change in materials helps to break up the long wall.

7. Emphasis: New residential and mixed-use construction should have a vertical emphasis, because in Over-the-Rhine buildings are taller than they are wide, window openings are tall and narrow, and storefronts have slender columns, which emphasize verticality. Commercial and industrial buildings, which may have an overall horizontal emphasis, often incorporate vertical elements, such as pilasters or vertically oriented openings

The building has many elements that provide a strong vertical emphasis. The windows are taller than they are wide, stacking the windows in each floor in a line, and the change in materials creating the bay rhythm all are used to create a strong vertical emphasis.

8. Height: The height of new construction should not vary more than one story from adjacent contributing buildings. Most buildings in Over-the-Rhine are between two- and five-stories.

As this is an addition, it is important that the height relate to the addition. The main principal building is 4 stories tall and the addition is a similar 4 stories tall. This is an appropriate and expected height for an addition for this building.

9. Materials: New construction should use materials that are found on the historic buildings in Over-the-Rhine. Clearly the dominant material in Over-the-Rhine is brick, but other materials such as limestone, sandstone, cast-iron, slate, wood and sheet metal are important as well. Materials such as stucco, synthetic stucco and plastic are not appropriate and should not be considered as exposed finish materials for new construction in this district.

Proposed materials include brick, precast concrete and nichiha panels. Brick and pre-cast concrete are materials that are common in the district. The nichiha panels have been approved for infill buildings in Over-the-Rhine and are an acceptable material for on new construction to distinguish the new from the old.

Additions

Intent and General Guidelines

1. Additions are allowed and should follow new construction guidelines. They should be compatible in character with the original. They should be sympathetic but not imitative in design.
2. Additions should be designed to relate architecturally to adjacent buildings in general and to the building they are a part of in particular.
3. Additions should not overpower the original building.
4. The appropriateness of design solutions will be based on balancing the program needs of the applicant with 1) how well the proposed design relates to the original building and neighboring buildings and 2) how closely the proposal meets the intent of these general guidelines and the specific guidelines for new construction.

The addition is compatible in character with the original building as it is a similar height and scale. By using brick and similar sized windows as the original building it provides a design that relates to the original building as well as adjacent buildings. The addition does not over power the original building and is not visible from the Vine Street side of the property.

Other Considerations:

Prehearing Results: A prehearing was held on June 29, 2016.

Comments Provided to Staff: N/A

Consistency with *Plan Cincinnati (2012)*:

“Sustain” Initiative Area “Preserve our built history”

Other: The applicant is also proposing

- New Double Hung Windows (no windows currently exist)
- New Awning windows at the attic level (no windows currently exist)
- New anodized aluminum storefront system with wood bulkheads.(no windows currently exist)
- Restoration of the façade including new pediment features (replicating based on historic photos and documentation.

All of this work is consistent with the Over-the-Rhine Historic District Conservation Guidelines.

Recommendation:

Staff recommends the Historic Conservation Board take the following actions:

CERTIFICATE OF APPROPRIATENESS

1. **APPROVE** a Certificate of Appropriateness for 1725 Vine Street per plans submitted by Wichman Gunther 5/4/2016 including any revisions submitted for permit subject to staff review and approval with the following conditions:
 - a. The lintel above the garage entrance be the same thickness as all of the other lintels
 - b. The building permits must be issued within two years of the decision date or the Certificate of Appropriateness shall expire.

- a) **FINDING:** The Board makes this determination per Section 1435-09-2:
 - (a) That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

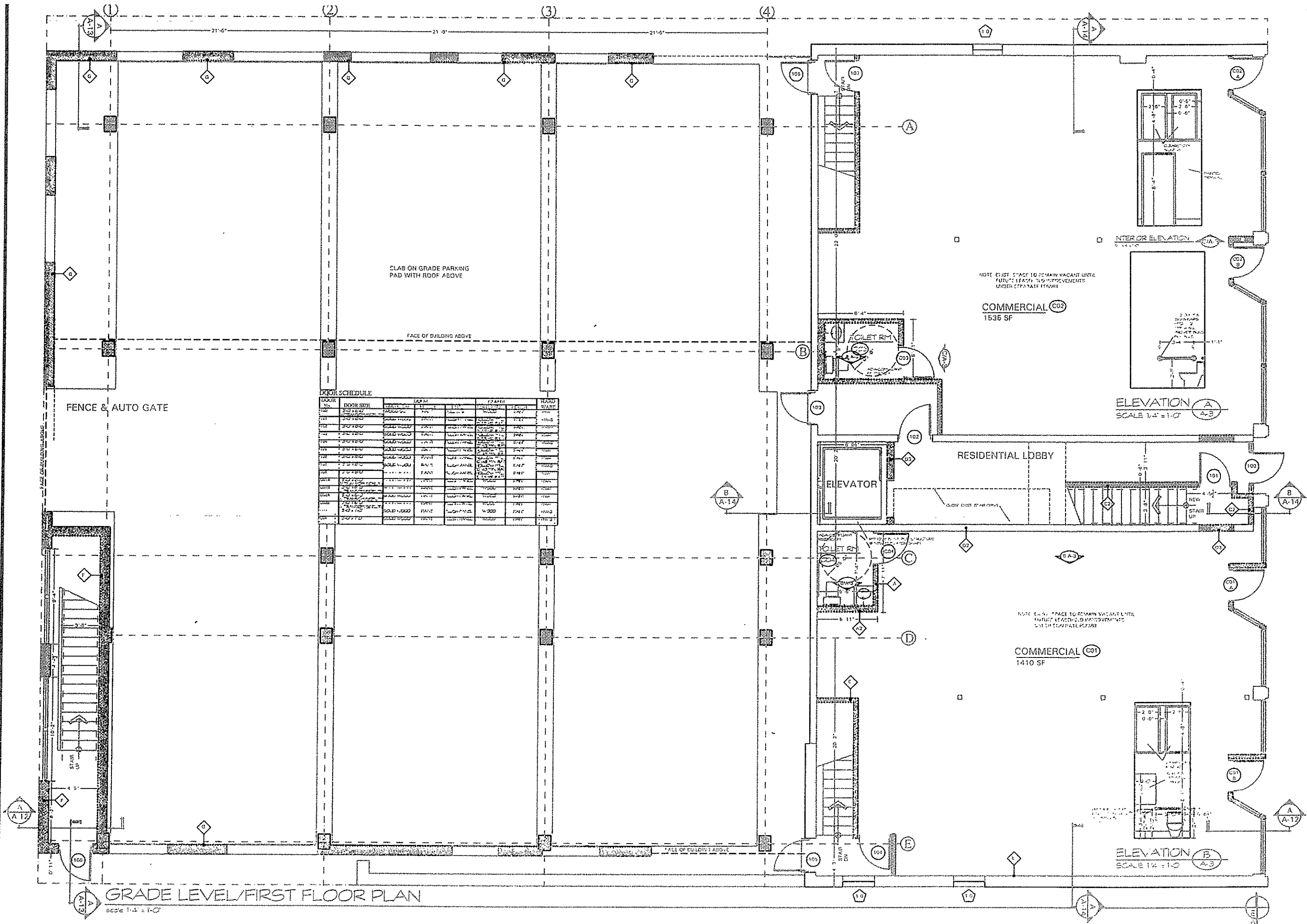


REVISION	DATE

WICHMAN GUNTER ARCHITECTS, INC.
 810 FLUM STREET / CINCINNATI, OHIO 45202 / (513) 241-9933

Apartment Renovation & Addition at
 1725 Vine Street aka Kauffman Building
 Cincinnati, Ohio 45202

J15-1000
A-3

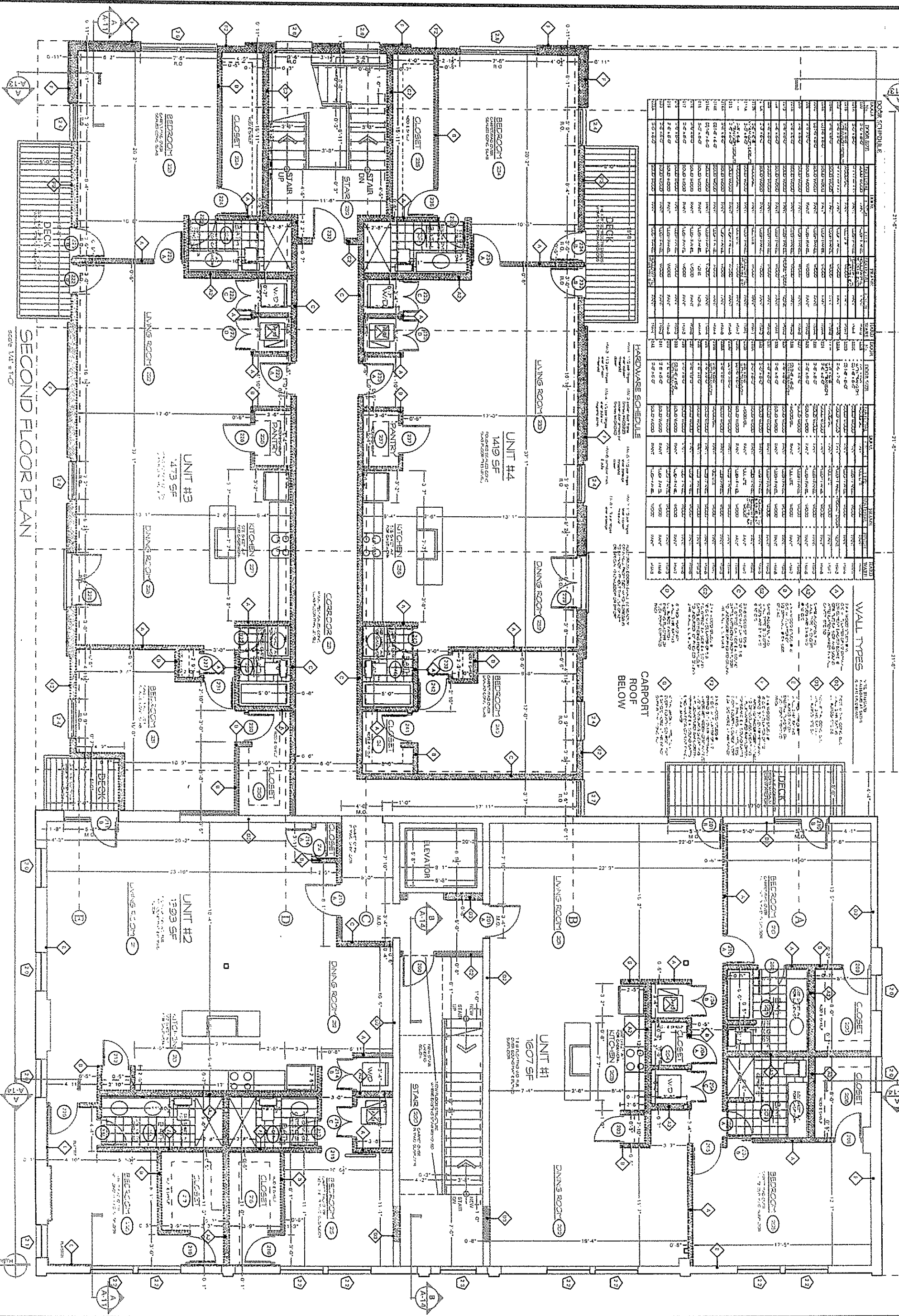


FLOOR SCHEDULE

ROOM	NO.	DOOR	FINISH	WALL	FLOOR	CEILING	STAIRS	ROOF
101	101	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
102	102	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
103	103	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
104	104	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
105	105	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
106	106	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
107	107	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
108	108	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
109	109	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
110	110	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
111	111	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
112	112	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
113	113	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
114	114	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
115	115	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
116	116	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
117	117	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
118	118	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
119	119	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
120	120	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
121	121	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
122	122	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
123	123	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
124	124	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
125	125	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
126	126	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
127	127	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
128	128	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
129	129	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
130	130	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
131	131	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
132	132	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
133	133	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
134	134	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
135	135	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
136	136	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
137	137	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
138	138	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
139	139	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
140	140	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
141	141	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
142	142	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
143	143	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
144	144	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
145	145	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
146	146	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
147	147	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
148	148	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
149	149	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
150	150	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
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152	152	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
153	153	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
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155	155	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
156	156	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
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158	158	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
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160	160	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
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163	163	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
164	164	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
165	165	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
166	166	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
167	167	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
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175	175	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
176	176	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
177	177	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
178	178	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
179	179	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
180	180	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
181	181	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
182	182	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
183	183	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
184	184	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
185	185	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
186	186	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
187	187	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
188	188	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
189	189	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
190	190	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
191	191	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
192	192	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
193	193	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
194	194	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
195	195	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
196	196	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
197	197	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
198	198	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
199	199	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD
200	200	WOOD	PAINT	PAINT	WOOD	PAINT	WOOD	WOOD

GRADE LEVEL/FIRST FLOOR PLAN
 scale 1/4" = 1'-0"

DO NOT SCALE DRAWINGS



DOOR SCHEDULE

NO.	TYPE	FINISH	LOCATION
1	SWING	WOOD	UNIT 101
2	SWING	WOOD	UNIT 102
3	SWING	WOOD	UNIT 103
4	SWING	WOOD	UNIT 104
5	SWING	WOOD	UNIT 105
6	SWING	WOOD	UNIT 106
7	SWING	WOOD	UNIT 107
8	SWING	WOOD	UNIT 108
9	SWING	WOOD	UNIT 109
10	SWING	WOOD	UNIT 110
11	SWING	WOOD	UNIT 111
12	SWING	WOOD	UNIT 112
13	SWING	WOOD	UNIT 113
14	SWING	WOOD	UNIT 114
15	SWING	WOOD	UNIT 115
16	SWING	WOOD	UNIT 116
17	SWING	WOOD	UNIT 117
18	SWING	WOOD	UNIT 118
19	SWING	WOOD	UNIT 119
20	SWING	WOOD	UNIT 120
21	SWING	WOOD	UNIT 121
22	SWING	WOOD	UNIT 122
23	SWING	WOOD	UNIT 123
24	SWING	WOOD	UNIT 124
25	SWING	WOOD	UNIT 125
26	SWING	WOOD	UNIT 126
27	SWING	WOOD	UNIT 127
28	SWING	WOOD	UNIT 128
29	SWING	WOOD	UNIT 129
30	SWING	WOOD	UNIT 130
31	SWING	WOOD	UNIT 131
32	SWING	WOOD	UNIT 132
33	SWING	WOOD	UNIT 133
34	SWING	WOOD	UNIT 134
35	SWING	WOOD	UNIT 135
36	SWING	WOOD	UNIT 136
37	SWING	WOOD	UNIT 137
38	SWING	WOOD	UNIT 138
39	SWING	WOOD	UNIT 139
40	SWING	WOOD	UNIT 140
41	SWING	WOOD	UNIT 141
42	SWING	WOOD	UNIT 142
43	SWING	WOOD	UNIT 143
44	SWING	WOOD	UNIT 144
45	SWING	WOOD	UNIT 145
46	SWING	WOOD	UNIT 146
47	SWING	WOOD	UNIT 147
48	SWING	WOOD	UNIT 148
49	SWING	WOOD	UNIT 149
50	SWING	WOOD	UNIT 150

WALL TYPES

NO.	DESCRIPTION	LOCATION
1	1/2" GYPSUM BOARD	UNIT 101
2	1/2" GYPSUM BOARD	UNIT 102
3	1/2" GYPSUM BOARD	UNIT 103
4	1/2" GYPSUM BOARD	UNIT 104
5	1/2" GYPSUM BOARD	UNIT 105
6	1/2" GYPSUM BOARD	UNIT 106
7	1/2" GYPSUM BOARD	UNIT 107
8	1/2" GYPSUM BOARD	UNIT 108
9	1/2" GYPSUM BOARD	UNIT 109
10	1/2" GYPSUM BOARD	UNIT 110
11	1/2" GYPSUM BOARD	UNIT 111
12	1/2" GYPSUM BOARD	UNIT 112
13	1/2" GYPSUM BOARD	UNIT 113
14	1/2" GYPSUM BOARD	UNIT 114
15	1/2" GYPSUM BOARD	UNIT 115
16	1/2" GYPSUM BOARD	UNIT 116
17	1/2" GYPSUM BOARD	UNIT 117
18	1/2" GYPSUM BOARD	UNIT 118
19	1/2" GYPSUM BOARD	UNIT 119
20	1/2" GYPSUM BOARD	UNIT 120
21	1/2" GYPSUM BOARD	UNIT 121
22	1/2" GYPSUM BOARD	UNIT 122
23	1/2" GYPSUM BOARD	UNIT 123
24	1/2" GYPSUM BOARD	UNIT 124
25	1/2" GYPSUM BOARD	UNIT 125
26	1/2" GYPSUM BOARD	UNIT 126
27	1/2" GYPSUM BOARD	UNIT 127
28	1/2" GYPSUM BOARD	UNIT 128
29	1/2" GYPSUM BOARD	UNIT 129
30	1/2" GYPSUM BOARD	UNIT 130
31	1/2" GYPSUM BOARD	UNIT 131
32	1/2" GYPSUM BOARD	UNIT 132
33	1/2" GYPSUM BOARD	UNIT 133
34	1/2" GYPSUM BOARD	UNIT 134
35	1/2" GYPSUM BOARD	UNIT 135
36	1/2" GYPSUM BOARD	UNIT 136
37	1/2" GYPSUM BOARD	UNIT 137
38	1/2" GYPSUM BOARD	UNIT 138
39	1/2" GYPSUM BOARD	UNIT 139
40	1/2" GYPSUM BOARD	UNIT 140
41	1/2" GYPSUM BOARD	UNIT 141
42	1/2" GYPSUM BOARD	UNIT 142
43	1/2" GYPSUM BOARD	UNIT 143
44	1/2" GYPSUM BOARD	UNIT 144
45	1/2" GYPSUM BOARD	UNIT 145
46	1/2" GYPSUM BOARD	UNIT 146
47	1/2" GYPSUM BOARD	UNIT 147
48	1/2" GYPSUM BOARD	UNIT 148
49	1/2" GYPSUM BOARD	UNIT 149
50	1/2" GYPSUM BOARD	UNIT 150

HARDWARE SCHEDULE

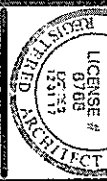
NO.	DESCRIPTION	LOCATION
1	1" DIA. BRASS DOOR KNOB	UNIT 101
2	1" DIA. BRASS DOOR KNOB	UNIT 102
3	1" DIA. BRASS DOOR KNOB	UNIT 103
4	1" DIA. BRASS DOOR KNOB	UNIT 104
5	1" DIA. BRASS DOOR KNOB	UNIT 105
6	1" DIA. BRASS DOOR KNOB	UNIT 106
7	1" DIA. BRASS DOOR KNOB	UNIT 107
8	1" DIA. BRASS DOOR KNOB	UNIT 108
9	1" DIA. BRASS DOOR KNOB	UNIT 109
10	1" DIA. BRASS DOOR KNOB	UNIT 110
11	1" DIA. BRASS DOOR KNOB	UNIT 111
12	1" DIA. BRASS DOOR KNOB	UNIT 112
13	1" DIA. BRASS DOOR KNOB	UNIT 113
14	1" DIA. BRASS DOOR KNOB	UNIT 114
15	1" DIA. BRASS DOOR KNOB	UNIT 115
16	1" DIA. BRASS DOOR KNOB	UNIT 116
17	1" DIA. BRASS DOOR KNOB	UNIT 117
18	1" DIA. BRASS DOOR KNOB	UNIT 118
19	1" DIA. BRASS DOOR KNOB	UNIT 119
20	1" DIA. BRASS DOOR KNOB	UNIT 120
21	1" DIA. BRASS DOOR KNOB	UNIT 121
22	1" DIA. BRASS DOOR KNOB	UNIT 122
23	1" DIA. BRASS DOOR KNOB	UNIT 123
24	1" DIA. BRASS DOOR KNOB	UNIT 124
25	1" DIA. BRASS DOOR KNOB	UNIT 125
26	1" DIA. BRASS DOOR KNOB	UNIT 126
27	1" DIA. BRASS DOOR KNOB	UNIT 127
28	1" DIA. BRASS DOOR KNOB	UNIT 128
29	1" DIA. BRASS DOOR KNOB	UNIT 129
30	1" DIA. BRASS DOOR KNOB	UNIT 130
31	1" DIA. BRASS DOOR KNOB	UNIT 131
32	1" DIA. BRASS DOOR KNOB	UNIT 132
33	1" DIA. BRASS DOOR KNOB	UNIT 133
34	1" DIA. BRASS DOOR KNOB	UNIT 134
35	1" DIA. BRASS DOOR KNOB	UNIT 135
36	1" DIA. BRASS DOOR KNOB	UNIT 136
37	1" DIA. BRASS DOOR KNOB	UNIT 137
38	1" DIA. BRASS DOOR KNOB	UNIT 138
39	1" DIA. BRASS DOOR KNOB	UNIT 139
40	1" DIA. BRASS DOOR KNOB	UNIT 140
41	1" DIA. BRASS DOOR KNOB	UNIT 141
42	1" DIA. BRASS DOOR KNOB	UNIT 142
43	1" DIA. BRASS DOOR KNOB	UNIT 143
44	1" DIA. BRASS DOOR KNOB	UNIT 144
45	1" DIA. BRASS DOOR KNOB	UNIT 145
46	1" DIA. BRASS DOOR KNOB	UNIT 146
47	1" DIA. BRASS DOOR KNOB	UNIT 147
48	1" DIA. BRASS DOOR KNOB	UNIT 148
49	1" DIA. BRASS DOOR KNOB	UNIT 149
50	1" DIA. BRASS DOOR KNOB	UNIT 150

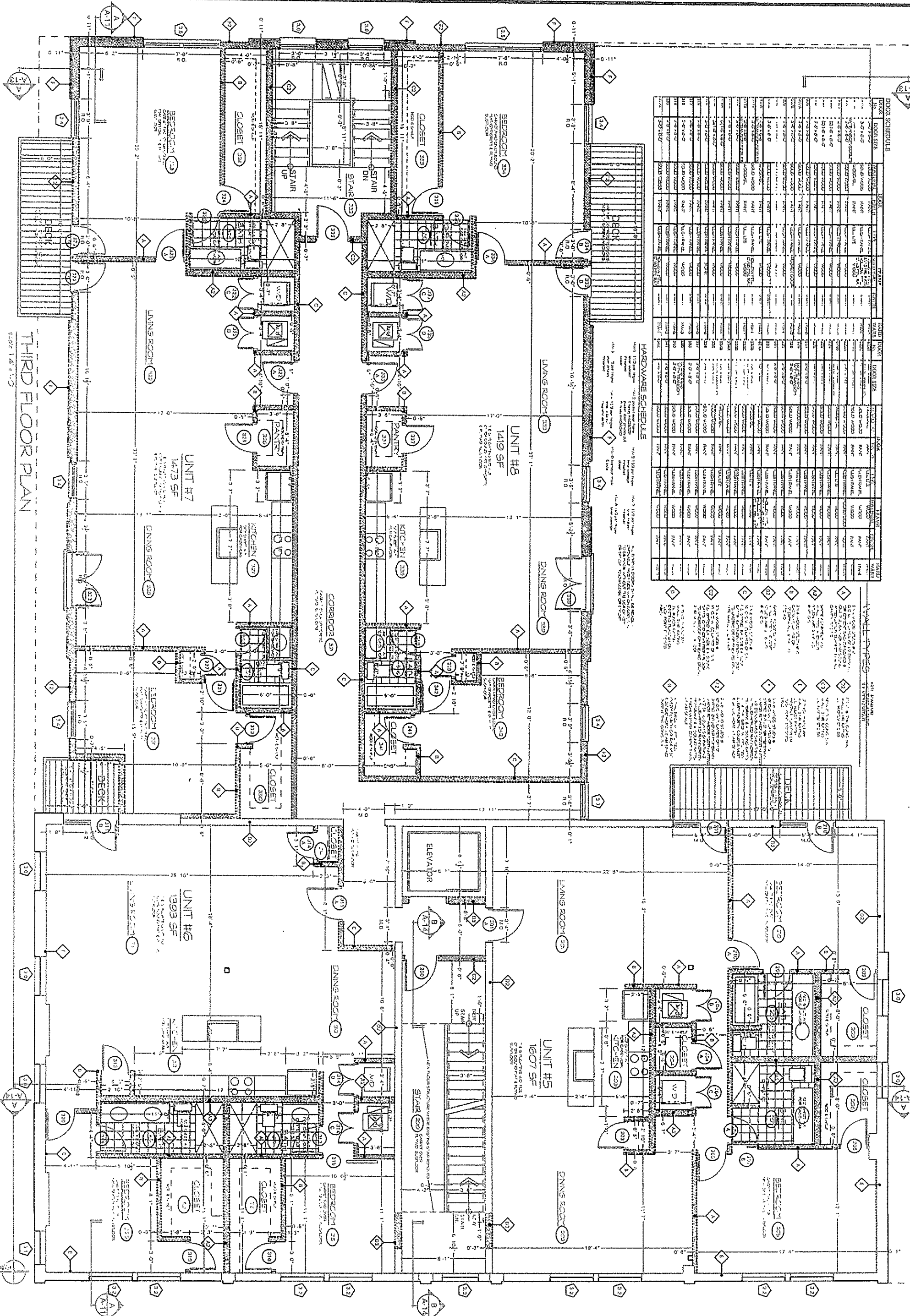
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

Apartment Renovation & Addition at
1725 Vine Street aka Kauffman Building
Cincinnati, Ohio 45202

WICHMAN ■ GUNTHER
ARCHITECTS, INC.
810 PLUM STREET / CINCINNATI, OHIO 45202 / (513) 241-9933

REVISION	DATE





DOOR	DOOR SIZE	DOOR	DOOR SIZE	DOOR	DOOR SIZE	DOOR	DOOR SIZE
101	3'-0" x 7'-0"	102	3'-0" x 7'-0"	103	3'-0" x 7'-0"	104	3'-0" x 7'-0"
105	3'-0" x 7'-0"	106	3'-0" x 7'-0"	107	3'-0" x 7'-0"	108	3'-0" x 7'-0"
109	3'-0" x 7'-0"	110	3'-0" x 7'-0"	111	3'-0" x 7'-0"	112	3'-0" x 7'-0"
113	3'-0" x 7'-0"	114	3'-0" x 7'-0"	115	3'-0" x 7'-0"	116	3'-0" x 7'-0"
117	3'-0" x 7'-0"	118	3'-0" x 7'-0"	119	3'-0" x 7'-0"	120	3'-0" x 7'-0"
121	3'-0" x 7'-0"	122	3'-0" x 7'-0"	123	3'-0" x 7'-0"	124	3'-0" x 7'-0"
125	3'-0" x 7'-0"	126	3'-0" x 7'-0"	127	3'-0" x 7'-0"	128	3'-0" x 7'-0"
129	3'-0" x 7'-0"	130	3'-0" x 7'-0"	131	3'-0" x 7'-0"	132	3'-0" x 7'-0"
133	3'-0" x 7'-0"	134	3'-0" x 7'-0"	135	3'-0" x 7'-0"	136	3'-0" x 7'-0"
137	3'-0" x 7'-0"	138	3'-0" x 7'-0"	139	3'-0" x 7'-0"	140	3'-0" x 7'-0"
141	3'-0" x 7'-0"	142	3'-0" x 7'-0"	143	3'-0" x 7'-0"	144	3'-0" x 7'-0"
145	3'-0" x 7'-0"	146	3'-0" x 7'-0"	147	3'-0" x 7'-0"	148	3'-0" x 7'-0"
149	3'-0" x 7'-0"	150	3'-0" x 7'-0"	151	3'-0" x 7'-0"	152	3'-0" x 7'-0"
153	3'-0" x 7'-0"	154	3'-0" x 7'-0"	155	3'-0" x 7'-0"	156	3'-0" x 7'-0"
157	3'-0" x 7'-0"	158	3'-0" x 7'-0"	159	3'-0" x 7'-0"	160	3'-0" x 7'-0"
161	3'-0" x 7'-0"	162	3'-0" x 7'-0"	163	3'-0" x 7'-0"	164	3'-0" x 7'-0"
165	3'-0" x 7'-0"	166	3'-0" x 7'-0"	167	3'-0" x 7'-0"	168	3'-0" x 7'-0"
169	3'-0" x 7'-0"	170	3'-0" x 7'-0"	171	3'-0" x 7'-0"	172	3'-0" x 7'-0"
173	3'-0" x 7'-0"	174	3'-0" x 7'-0"	175	3'-0" x 7'-0"	176	3'-0" x 7'-0"
177	3'-0" x 7'-0"	178	3'-0" x 7'-0"	179	3'-0" x 7'-0"	180	3'-0" x 7'-0"
181	3'-0" x 7'-0"	182	3'-0" x 7'-0"	183	3'-0" x 7'-0"	184	3'-0" x 7'-0"
185	3'-0" x 7'-0"	186	3'-0" x 7'-0"	187	3'-0" x 7'-0"	188	3'-0" x 7'-0"
189	3'-0" x 7'-0"	190	3'-0" x 7'-0"	191	3'-0" x 7'-0"	192	3'-0" x 7'-0"
193	3'-0" x 7'-0"	194	3'-0" x 7'-0"	195	3'-0" x 7'-0"	196	3'-0" x 7'-0"
197	3'-0" x 7'-0"	198	3'-0" x 7'-0"	199	3'-0" x 7'-0"	200	3'-0" x 7'-0"
201	3'-0" x 7'-0"	202	3'-0" x 7'-0"	203	3'-0" x 7'-0"	204	3'-0" x 7'-0"
205	3'-0" x 7'-0"	206	3'-0" x 7'-0"	207	3'-0" x 7'-0"	208	3'-0" x 7'-0"
209	3'-0" x 7'-0"	210	3'-0" x 7'-0"	211	3'-0" x 7'-0"	212	3'-0" x 7'-0"
213	3'-0" x 7'-0"	214	3'-0" x 7'-0"	215	3'-0" x 7'-0"	216	3'-0" x 7'-0"
217	3'-0" x 7'-0"	218	3'-0" x 7'-0"	219	3'-0" x 7'-0"	220	3'-0" x 7'-0"
221	3'-0" x 7'-0"	222	3'-0" x 7'-0"	223	3'-0" x 7'-0"	224	3'-0" x 7'-0"
225	3'-0" x 7'-0"	226	3'-0" x 7'-0"	227	3'-0" x 7'-0"	228	3'-0" x 7'-0"
229	3'-0" x 7'-0"	230	3'-0" x 7'-0"	231	3'-0" x 7'-0"	232	3'-0" x 7'-0"
233	3'-0" x 7'-0"	234	3'-0" x 7'-0"	235	3'-0" x 7'-0"	236	3'-0" x 7'-0"
237	3'-0" x 7'-0"	238	3'-0" x 7'-0"	239	3'-0" x 7'-0"	240	3'-0" x 7'-0"
241	3'-0" x 7'-0"	242	3'-0" x 7'-0"	243	3'-0" x 7'-0"	244	3'-0" x 7'-0"
245	3'-0" x 7'-0"	246	3'-0" x 7'-0"	247	3'-0" x 7'-0"	248	3'-0" x 7'-0"
249	3'-0" x 7'-0"	250	3'-0" x 7'-0"	251	3'-0" x 7'-0"	252	3'-0" x 7'-0"
253	3'-0" x 7'-0"	254	3'-0" x 7'-0"	255	3'-0" x 7'-0"	256	3'-0" x 7'-0"
257	3'-0" x 7'-0"	258	3'-0" x 7'-0"	259	3'-0" x 7'-0"	260	3'-0" x 7'-0"
261	3'-0" x 7'-0"	262	3'-0" x 7'-0"	263	3'-0" x 7'-0"	264	3'-0" x 7'-0"
265	3'-0" x 7'-0"	266	3'-0" x 7'-0"	267	3'-0" x 7'-0"	268	3'-0" x 7'-0"
269	3'-0" x 7'-0"	270	3'-0" x 7'-0"	271	3'-0" x 7'-0"	272	3'-0" x 7'-0"
273	3'-0" x 7'-0"	274	3'-0" x 7'-0"	275	3'-0" x 7'-0"	276	3'-0" x 7'-0"
277	3'-0" x 7'-0"	278	3'-0" x 7'-0"	279	3'-0" x 7'-0"	280	3'-0" x 7'-0"
281	3'-0" x 7'-0"	282	3'-0" x 7'-0"	283	3'-0" x 7'-0"	284	3'-0" x 7'-0"
285	3'-0" x 7'-0"	286	3'-0" x 7'-0"	287	3'-0" x 7'-0"	288	3'-0" x 7'-0"
289	3'-0" x 7'-0"	290	3'-0" x 7'-0"	291	3'-0" x 7'-0"	292	3'-0" x 7'-0"
293	3'-0" x 7'-0"	294	3'-0" x 7'-0"	295	3'-0" x 7'-0"	296	3'-0" x 7'-0"
297	3'-0" x 7'-0"	298	3'-0" x 7'-0"	299	3'-0" x 7'-0"	300	3'-0" x 7'-0"
301	3'-0" x 7'-0"	302	3'-0" x 7'-0"	303	3'-0" x 7'-0"	304	3'-0" x 7'-0"
305	3'-0" x 7'-0"	306	3'-0" x 7'-0"	307	3'-0" x 7'-0"	308	3'-0" x 7'-0"
309	3'-0" x 7'-0"	310	3'-0" x 7'-0"	311	3'-0" x 7'-0"	312	3'-0" x 7'-0"
313	3'-0" x 7'-0"	314	3'-0" x 7'-0"	315	3'-0" x 7'-0"	316	3'-0" x 7'-0"
317	3'-0" x 7'-0"	318	3'-0" x 7'-0"	319	3'-0" x 7'-0"	320	3'-0" x 7'-0"
321	3'-0" x 7'-0"	322	3'-0" x 7'-0"	323	3'-0" x 7'-0"	324	3'-0" x 7'-0"
325	3'-0" x 7'-0"	326	3'-0" x 7'-0"	327	3'-0" x 7'-0"	328	3'-0" x 7'-0"
329	3'-0" x 7'-0"	330	3'-0" x 7'-0"	331	3'-0" x 7'-0"	332	3'-0" x 7'-0"
333	3'-0" x 7'-0"	334	3'-0" x 7'-0"	335	3'-0" x 7'-0"	336	3'-0" x 7'-0"
337	3'-0" x 7'-0"	338	3'-0" x 7'-0"	339	3'-0" x 7'-0"	340	3'-0" x 7'-0"
341	3'-0" x 7'-0"	342	3'-0" x 7'-0"	343	3'-0" x 7'-0"	344	3'-0" x 7'-0"
345	3'-0" x 7'-0"	346	3'-0" x 7'-0"	347	3'-0" x 7'-0"	348	3'-0" x 7'-0"
349	3'-0" x 7'-0"	350	3'-0" x 7'-0"	351	3'-0" x 7'-0"	352	3'-0" x 7'-0"
353	3'-0" x 7'-0"	354	3'-0" x 7'-0"	355	3'-0" x 7'-0"	356	3'-0" x 7'-0"
357	3'-0" x 7'-0"	358	3'-0" x 7'-0"	359	3'-0" x 7'-0"	360	3'-0" x 7'-0"
361	3'-0" x 7'-0"	362	3'-0" x 7'-0"	363	3'-0" x 7'-0"	364	3'-0" x 7'-0"
365	3'-0" x 7'-0"	366	3'-0" x 7'-0"	367	3'-0" x 7'-0"	368	3'-0" x 7'-0"
369	3'-0" x 7'-0"	370	3'-0" x 7'-0"	371	3'-0" x 7'-0"	372	3'-0" x 7'-0"
373	3'-0" x 7'-0"	374	3'-0" x 7'-0"	375	3'-0" x 7'-0"	376	3'-0" x 7'-0"
377	3'-0" x 7'-0"	378	3'-0" x 7'-0"	379	3'-0" x 7'-0"	380	3'-0" x 7'-0"
381	3'-0" x 7'-0"	382	3'-0" x 7'-0"	383	3'-0" x 7'-0"	384	3'-0" x 7'-0"
385	3'-0" x 7'-0"	386	3'-0" x 7'-0"	387	3'-0" x 7'-0"	388	3'-0" x 7'-0"
389	3'-0" x 7'-0"	390	3'-0" x 7'-0"	391	3'-0" x 7'-0"	392	3'-0" x 7'-0"
393	3'-0" x 7'-0"	394	3'-0" x 7'-0"	395	3'-0" x 7'-0"	396	3'-0" x 7'-0"
397	3'-0" x 7'-0"	398	3'-0" x 7'-0"	399	3'-0" x 7'-0"	400	3'-0" x 7'-0"

WALL TYPES

W1 - 1/2" Gypsum Board on Metal Studs
 W2 - 1/2" Gypsum Board on Concrete Block
 W3 - 1/2" Gypsum Board on Brick
 W4 - 1/2" Gypsum Board on CMU
 W5 - 1/2" Gypsum Board on Concrete
 W6 - 1/2" Gypsum Board on Masonry
 W7 - 1/2" Gypsum Board on Steel Deck
 W8 - 1/2" Gypsum Board on Wood Joist
 W9 - 1/2" Gypsum Board on Wood Stud
 W10 - 1/2" Gypsum Board on Wood Lath
 W11 - 1/2" Gypsum Board on Wood Slat
 W12 - 1/2" Gypsum Board on Wood Board
 W13 - 1/2" Gypsum Board on Wood Plank
 W14 - 1/2" Gypsum Board on Wood Shingle
 W15 - 1/2" Gypsum Board on Wood Shake
 W16 - 1/2" Gypsum Board on Wood Slate
 W17 - 1/2" Gypsum Board on Wood Tile
 W18 - 1/2" Gypsum Board on Wood Panel
 W19 - 1/2" Gypsum Board on Wood Veneer
 W20 - 1/2" Gypsum Board on Wood Trim
 W21 - 1/2" Gypsum Board on Wood Molding
 W22 - 1/2" Gypsum Board on Wood Baseboard
 W23 - 1/2" Gypsum Board on Wood Crown Molding
 W24 - 1/2" Gypsum Board on Wood Chair Rail
 W25 - 1/2" Gypsum Board on Wood Balustrade
 W26 - 1/2" Gypsum Board on Wood Handrail
 W27 - 1/2" Gypsum Board on Wood Newel Post
 W28 - 1/2" Gypsum Board on Wood Spindle
 W29 - 1/2" Gypsum Board on Wood Bannister
 W30 - 1/2" Gypsum Board on Wood Staircase
 W31 - 1/2" Gypsum Board on Wood Landing
 W32 - 1/2" Gypsum Board on Wood Balcony
 W33 - 1/2" Gypsum Board on Wood Deck
 W34 - 1/2" Gypsum Board on Wood Porch
 W35 - 1/2" Gypsum Board on Wood Terrace
 W36 - 1/2" Gypsum Board on Wood Walkway
 W37 - 1/2" Gypsum Board on Wood Pathway
 W38 - 1/2" Gypsum Board on Wood Driveway
 W39 - 1/2" Gypsum Board on Wood Garage
 W40 - 1/2" Gypsum Board on Wood Basement
 W41 - 1/2" Gypsum Board on Wood Attic
 W42 - 1/2" Gypsum Board on Wood Roof
 W43 - 1/2" Gypsum Board on Wood Ceiling
 W44 - 1/2" Gypsum Board on Wood Floor
 W45 - 1/2" Gypsum Board on Wood Wall
 W46 - 1/2" Gypsum Board on Wood Partition
 W47 - 1/2" Gypsum Board on Wood Screen
 W48 - 1/2" Gypsum Board on Wood Glass
 W49 - 1/2" Gypsum Board on Wood Mirror
 W50 - 1/2" Gypsum Board on Wood Picture
 W51 - 1/2" Gypsum Board on Wood Shelf
 W52 - 1/2" Gypsum Board on Wood Cabinet
 W53 - 1/2" Gypsum Board on Wood Counter
 W54 - 1/2" Gypsum Board on Wood Island
 W55 - 1/2" Gypsum Board on Wood Peninsula
 W56 - 1/2" Gypsum Board on Wood Booth
 W57 - 1/2" Gypsum Board on Wood Nook
 W58 - 1/2" Gypsum Board on Wood Alcove
 W59 - 1/2" Gypsum Board on Wood Staircase
 W60 - 1/2" Gypsum Board on Wood Landing
 W61 - 1/2" Gypsum Board on Wood Balcony
 W62 - 1/2" Gypsum Board on Wood Deck
 W63 - 1/2" Gypsum Board on Wood Porch
 W64 - 1/2" Gypsum Board on Wood Terrace
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 W66 - 1/2" Gypsum Board on Wood Pathway
 W67 - 1/2" Gypsum Board on Wood Driveway
 W68 - 1/2" Gypsum Board on Wood Garage
 W69 - 1/2" Gypsum Board on Wood Basement
 W70 - 1/2" Gypsum Board on Wood Attic
 W71 - 1/2" Gypsum Board on Wood Roof
 W72 - 1/2" Gypsum Board on Wood Ceiling
 W73 - 1/2" Gypsum Board on Wood Floor
 W74 - 1/2" Gypsum Board on Wood Wall
 W75 - 1/2" Gypsum Board on Wood Partition
 W76 - 1/2" Gypsum Board on Wood Screen
 W77 - 1/2" Gypsum Board on Wood Glass
 W78 - 1/2" Gypsum Board on Wood Mirror
 W79 - 1/2" Gypsum Board on Wood Shelf
 W80 - 1/2" Gypsum Board on Wood Cabinet
 W81 - 1/2" Gypsum Board on Wood Counter
 W82 - 1/2" Gypsum Board on Wood Island
 W83 - 1/2" Gypsum Board on Wood Peninsula
 W84 - 1/2" Gypsum Board on Wood Booth
 W85 - 1/2" Gypsum Board on Wood Nook
 W86 - 1/2" Gypsum Board on Wood Alcove
 W87 - 1/2" Gypsum Board on Wood Staircase
 W88 - 1/2" Gypsum Board on Wood Landing
 W89 - 1/2" Gypsum Board on Wood Balcony
 W90 - 1/2" Gypsum Board on Wood Deck
 W91 - 1/2" Gypsum Board on Wood Porch
 W92 - 1/2" Gypsum Board on Wood Terrace
 W93 - 1/2" Gypsum Board on Wood Walkway
 W94 - 1/2" Gypsum Board on Wood Pathway
 W95 - 1/2" Gypsum Board on Wood Driveway
 W96 - 1/2" Gypsum Board on Wood Garage
 W97 - 1/2" Gypsum Board on Wood Basement
 W98 - 1/2" Gypsum Board on Wood Attic
 W99 - 1/2" Gypsum Board on Wood Roof
 W100 - 1/2" Gypsum Board on Wood Ceiling

DATE

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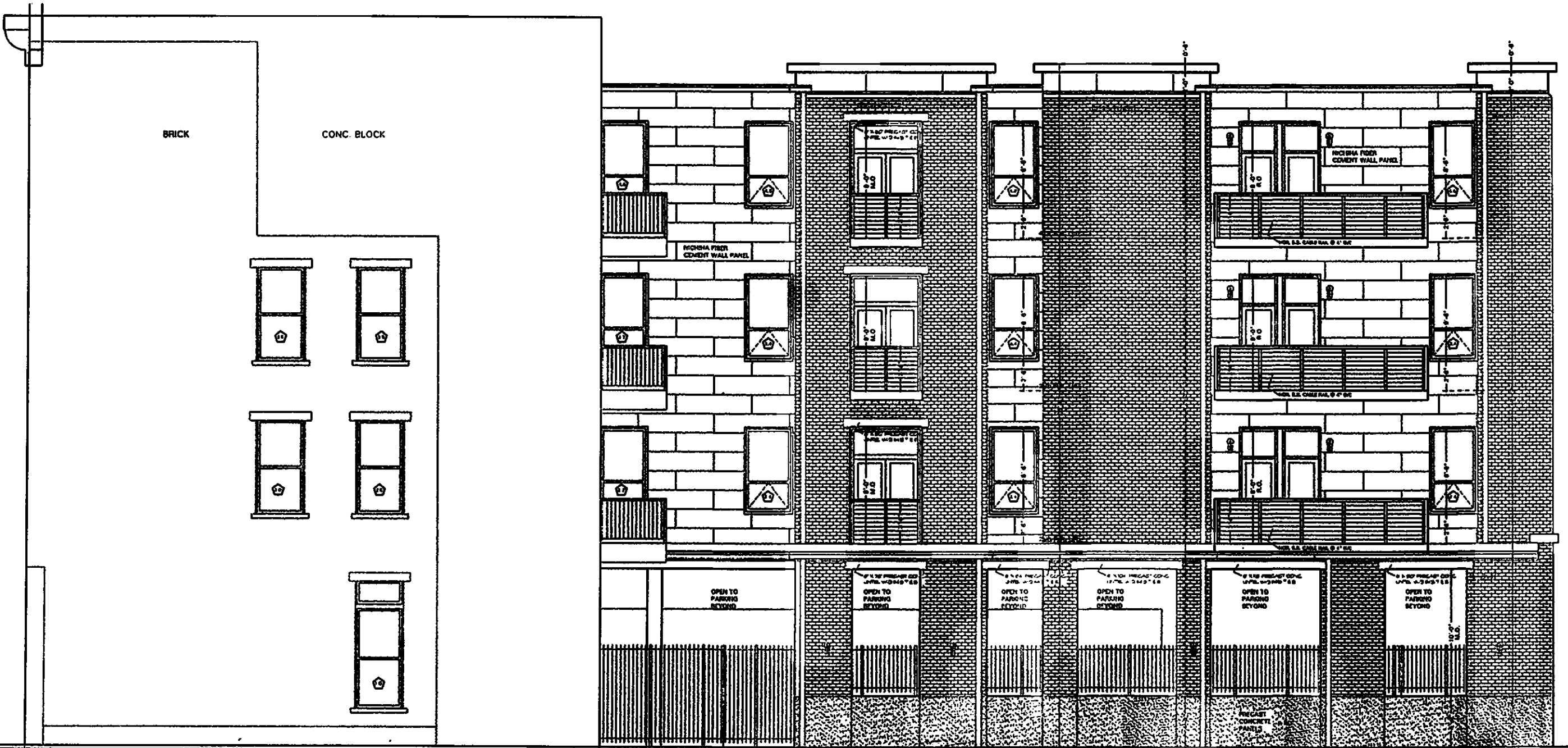
WICHMAN ■ GUNTHER
 ARCHITECTS, INC.
 810 FLUM STREET / CINCINNATI, OHIO 45202 / (513) 241-0933

Apartment Renovation & Addition at
 1725 Vine Street aka Kauffman Building
 Cincinnati, Ohio 45202

J15-1000

A-8

DO NOT SCALE DRAWING



NORTH ELEVATION



SOUTH ELEVATION

SCALE 1/4" = 1'-0"

No	TYPE	MAT'L	SIZE	SASH	GLAZ'G	NOTES
W-16	SINGLE HUNG	CLAD WOOD	3'-6" x 3'-0"	ONE / ONE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-20	DOUBLE HUNG	CLAD WOOD	3'-6" x 3'-0"	ONE / ONE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-21	DOUBLE HUNG	CLAD WOOD	2'-11" x 3'-4"	ONE / ONE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-22	DOUBLE HUNG	CLAD WOOD	3'-11" x 3'-4"	ONE / ONE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-23	DOUBLE HUNG	CLAD WOOD	3'-9" x 3'-4"	ONE / ONE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-24	FIXED WINDOW	CLAD WOOD	3'-6" x 3'-0"	SINGLE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-25	FIXED WINDOW	CLAD WOOD	3'-6" x 3'-0"	SINGLE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-26	FIXED WINDOW	CLAD WOOD	3'-6" x 3'-0"	SINGLE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-27	FIXED WINDOW	CLAD WOOD	3'-6" x 3'-0"	SINGLE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-28	FIXED WINDOW	CLAD WOOD	3'-6" x 3'-0"	SINGLE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-29	FIXED WINDOW	CLAD WOOD	3'-6" x 3'-0"	SINGLE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-30	FIXED WINDOW	CLAD WOOD	3'-6" x 3'-0"	SINGLE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-31	FIXED WINDOW	CLAD WOOD	3'-6" x 3'-0"	SINGLE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-32	FIXED WINDOW	CLAD WOOD	3'-6" x 3'-0"	SINGLE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-33	FIXED WINDOW	CLAD WOOD	3'-6" x 3'-0"	SINGLE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-34	FIXED WINDOW	CLAD WOOD	3'-6" x 3'-0"	SINGLE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-35	FIXED WINDOW	CLAD WOOD	3'-6" x 3'-0"	SINGLE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-36	FIXED WINDOW	CLAD WOOD	3'-6" x 3'-0"	SINGLE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-37	FIXED WINDOW	CLAD WOOD	3'-6" x 3'-0"	SINGLE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-38	FIXED WINDOW	CLAD WOOD	3'-6" x 3'-0"	SINGLE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-39	FIXED WINDOW	CLAD WOOD	3'-6" x 3'-0"	SINGLE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-40	FIXED WINDOW	CLAD WOOD	3'-6" x 3'-0"	SINGLE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-41	FIXED WINDOW	CLAD WOOD	3'-6" x 3'-0"	SINGLE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-42	FIXED WINDOW	CLAD WOOD	3'-6" x 3'-0"	SINGLE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-43	FIXED WINDOW	CLAD WOOD	3'-6" x 3'-0"	SINGLE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-44	FIXED WINDOW	CLAD WOOD	3'-6" x 3'-0"	SINGLE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-45	FIXED WINDOW	CLAD WOOD	3'-6" x 3'-0"	SINGLE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-46	FIXED WINDOW	CLAD WOOD	3'-6" x 3'-0"	SINGLE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-47	FIXED WINDOW	CLAD WOOD	3'-6" x 3'-0"	SINGLE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-48	FIXED WINDOW	CLAD WOOD	3'-6" x 3'-0"	SINGLE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-49	FIXED WINDOW	CLAD WOOD	3'-6" x 3'-0"	SINGLE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.
W-50	FIXED WINDOW	CLAD WOOD	3'-6" x 3'-0"	SINGLE	CLEAR	10" MIN. INSULATION WITH 1/2" AIR SPACE. MASONRY FINISHES WITHOUT FILLERS.

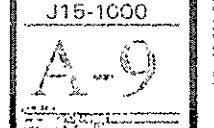
NOTE: PROVIDE NEW FLASHING AND PROVIDE NEW BRICK MOLD. ALL GLAZING TO BE INSTALLED. LOW E SECURITY FILM AT GRADE LEVEL OPERATIONS.



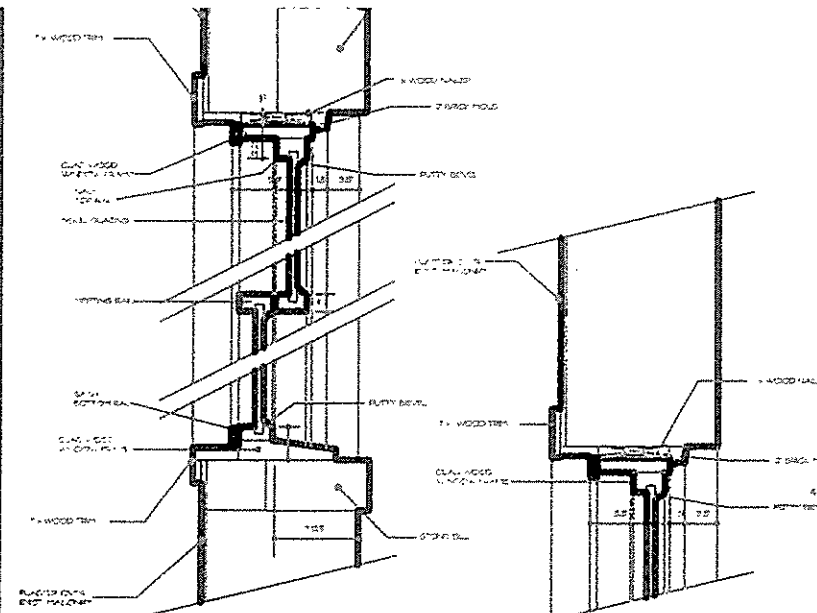
REVISION	DATE
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WICHMAN GUNTHER ARCHITECTS, INC.
 810 PLUM STREET / CINCINNATI, OHIO 45202 / (513) 241-9953

Apartment Renovation & Addition at
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 Cincinnati, Ohio 45202

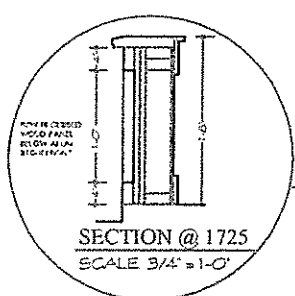


DO NOT SCALE DRAWINGS

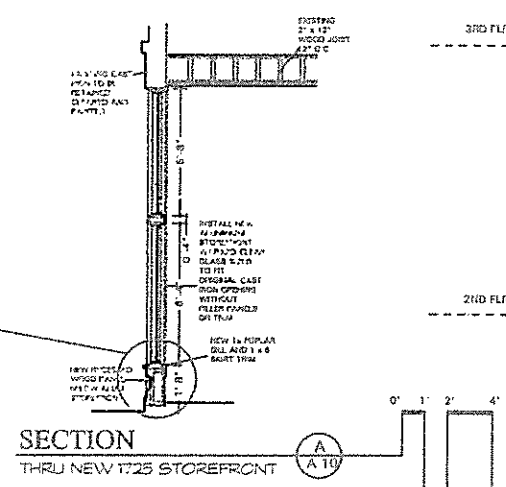


CLAD WOOD WINDOW HEAD and SILL DETAIL
SCALE 1/2" = 1'-0"

CLAD WOOD WINDOW JAMB DETAIL
SCALE 1/2" = 1'-0"



SECTION @ 1725
SCALE 3/4" = 1'-0"



SECTION THRU NEW 1725 STOREFRONT
SCALE 1/4" = 1'-0"



EAST ELEVATION
SCALE 1/4" = 1'-0"

No.	TYPE	MATL	SIZE	SASH	GLAZ'G	NOTES
W110	SINGLE HUNG	CLAD WOOD	3'-0" x 7'-10"	ONE / ONE	CLEAR	BY REPLACEMENT WINDOW TO ORIGINAL MASONRY OPENING WITHOUT FILLERS
W120	DOUBLE HUNG	CLAD WOOD	3'-0" x 7'-4"	ONE / ONE	CLEAR	BY REPLACEMENT WINDOW TO ORIGINAL MASONRY OPENING WITHOUT FILLERS
W121	DOUBLE HUNG	CLAD WOOD	3'-11" x 7'-4"	ONE / ONE	CLEAR	BY REPLACEMENT WINDOW TO ORIGINAL MASONRY OPENING WITHOUT FILLERS
W122	DOUBLE HUNG	CLAD WOOD	3'-11" x 7'-4"	ONE / ONE	CLEAR	BY REPLACEMENT WINDOW TO ORIGINAL MASONRY OPENING WITHOUT FILLERS
W123	DOUBLE HUNG	CLAD WOOD	3'-3" x 7'-4"	ONE / ONE	CLEAR	BY REPLACEMENT WINDOW TO ORIGINAL MASONRY OPENING WITHOUT FILLERS
W124	FIXED WINDOW	CLAD WOOD	3'-0" x 8'-0"	SINGLE	CLEAR	2'-0" ANCHOR 2'-0" SILL
W125	FIXED WINDOW	CLAD WOOD	3'-0" x 8'-0"	SINGLE	CLEAR	2'-0" ANCHOR 2'-0" SILL
W126	DOUBLE HUNG	CLAD WOOD	3'-0" x 8'-0"	ONE / ONE	CLEAR	2'-0" ANCHOR 2'-0" SILL
W127	DOUBLE HUNG	CLAD WOOD	3'-0" x 8'-0"	ONE / ONE	CLEAR	2'-0" ANCHOR 2'-0" SILL
W128	DOUBLE HUNG	CLAD WOOD	3'-0" x 8'-0"	ONE / ONE	CLEAR	2'-0" ANCHOR 2'-0" SILL
W129	DOUBLE HUNG	CLAD WOOD	3'-0" x 8'-0"	ONE / ONE	CLEAR	2'-0" ANCHOR 2'-0" SILL
W130	DOUBLE HUNG	CLAD WOOD	3'-0" x 7'-4"	ONE / ONE	CLEAR	BY REPLACEMENT WINDOW TO ORIGINAL MASONRY OPENING WITHOUT FILLERS
W131	DOUBLE HUNG	CLAD WOOD	3'-11" x 7'-4"	ONE / ONE	CLEAR	BY REPLACEMENT WINDOW TO ORIGINAL MASONRY OPENING WITHOUT FILLERS
W132	DOUBLE HUNG	CLAD WOOD	3'-11" x 7'-4"	ONE / ONE	CLEAR	BY REPLACEMENT WINDOW TO ORIGINAL MASONRY OPENING WITHOUT FILLERS
W133	SINGLE HUNG	CLAD WOOD	3'-0" x 8'-0"	ONE / ONE	CLEAR	BY REPLACEMENT WINDOW TO ORIGINAL MASONRY OPENING WITHOUT FILLERS
W134	FIXED WINDOW	CLAD WOOD	3'-0" x 8'-0"	SINGLE	CLEAR	2'-0" ANCHOR 2'-0" SILL
W135	FIXED WINDOW	CLAD WOOD	3'-0" x 8'-0"	SINGLE	CLEAR	2'-0" ANCHOR 2'-0" SILL
W136	DOUBLE HUNG	CLAD WOOD	3'-0" x 8'-0"	ONE / ONE	CLEAR	2'-0" ANCHOR 2'-0" SILL
W137	DOUBLE HUNG	CLAD WOOD	3'-0" x 8'-0"	ONE / ONE	CLEAR	2'-0" ANCHOR 2'-0" SILL
W138	DOUBLE HUNG	CLAD WOOD	3'-0" x 8'-0"	ONE / ONE	CLEAR	2'-0" ANCHOR 2'-0" SILL
W139	DOUBLE HUNG	CLAD WOOD	3'-0" x 8'-0"	ONE / ONE	CLEAR	2'-0" ANCHOR 2'-0" SILL
W140	DOUBLE HUNG	CLAD WOOD	3'-0" x 8'-0"	ONE / ONE	CLEAR	2'-0" ANCHOR 2'-0" SILL
W141	FIXED	CLAD WOOD	3'-11" x 7'-10"	SINGLE	CLEAR	BY REPLACEMENT WINDOW TO ORIGINAL MASONRY OPENING WITHOUT FILLERS
W142	DOUBLE HUNG	CLAD WOOD	3'-11" x 8'-11"	ONE / ONE	CLEAR	BY REPLACEMENT WINDOW TO ORIGINAL MASONRY OPENING WITHOUT FILLERS
W143	DOUBLE HUNG	CLAD WOOD	3'-11" x 8'-11"	ONE / ONE	CLEAR	BY REPLACEMENT WINDOW TO ORIGINAL MASONRY OPENING WITHOUT FILLERS
W144	DOUBLE HUNG	CLAD WOOD	3'-0" x 8'-11"	ONE / ONE	CLEAR	BY REPLACEMENT WINDOW TO ORIGINAL MASONRY OPENING WITHOUT FILLERS
W145	FIXED	CLAD WOOD	3'-11" x 8'-11"	SINGLE	CLEAR	BY REPLACEMENT WINDOW TO ORIGINAL MASONRY OPENING WITHOUT FILLERS
W146	FIXED WINDOW	CLAD WOOD	3'-0" x 8'-0"	SINGLE	CLEAR	2'-0" ANCHOR 2'-0" SILL
W147	FIXED WINDOW	CLAD WOOD	3'-0" x 8'-0"	SINGLE	CLEAR	2'-0" ANCHOR 2'-0" SILL
W148	DOUBLE HUNG	CLAD WOOD	3'-0" x 8'-0"	ONE / ONE	CLEAR	2'-0" ANCHOR 2'-0" SILL
W149	DOUBLE HUNG	CLAD WOOD	3'-0" x 8'-0"	ONE / ONE	CLEAR	2'-0" ANCHOR 2'-0" SILL

NOTE: PROVIDE NEW HEAD/SILL FLASHING, PROVIDE NEW BRICKMOLD
ALL GLAZING TO BE INSULATED, LOW 'E' W/ SECURITY FILM AT GRADE LEVEL OPENINGS



DATE	
REVISION	

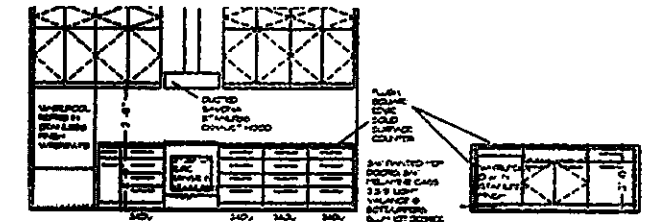
WICHMAN ■ GUNTHER
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810 PLUM STREET / CINCINNATI, OHIO 45202 / (513) 241-9933

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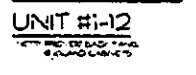
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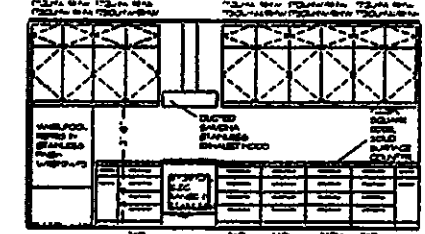
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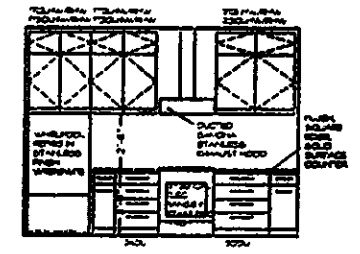
UNIT #3/4/7/8/11/12



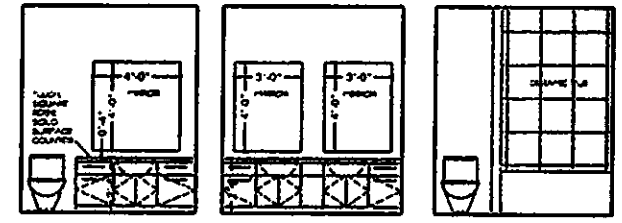
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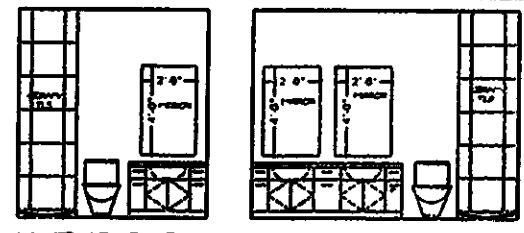
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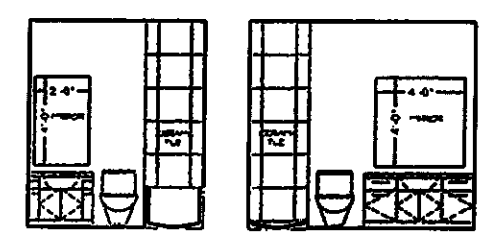
UNIT #1/5/9



UNIT #1/5/9



UNIT #2/6/10



UNIT #3/4/7/8/11/12



WEST ELEVATION

SCALE 1/4" = 1'-0"

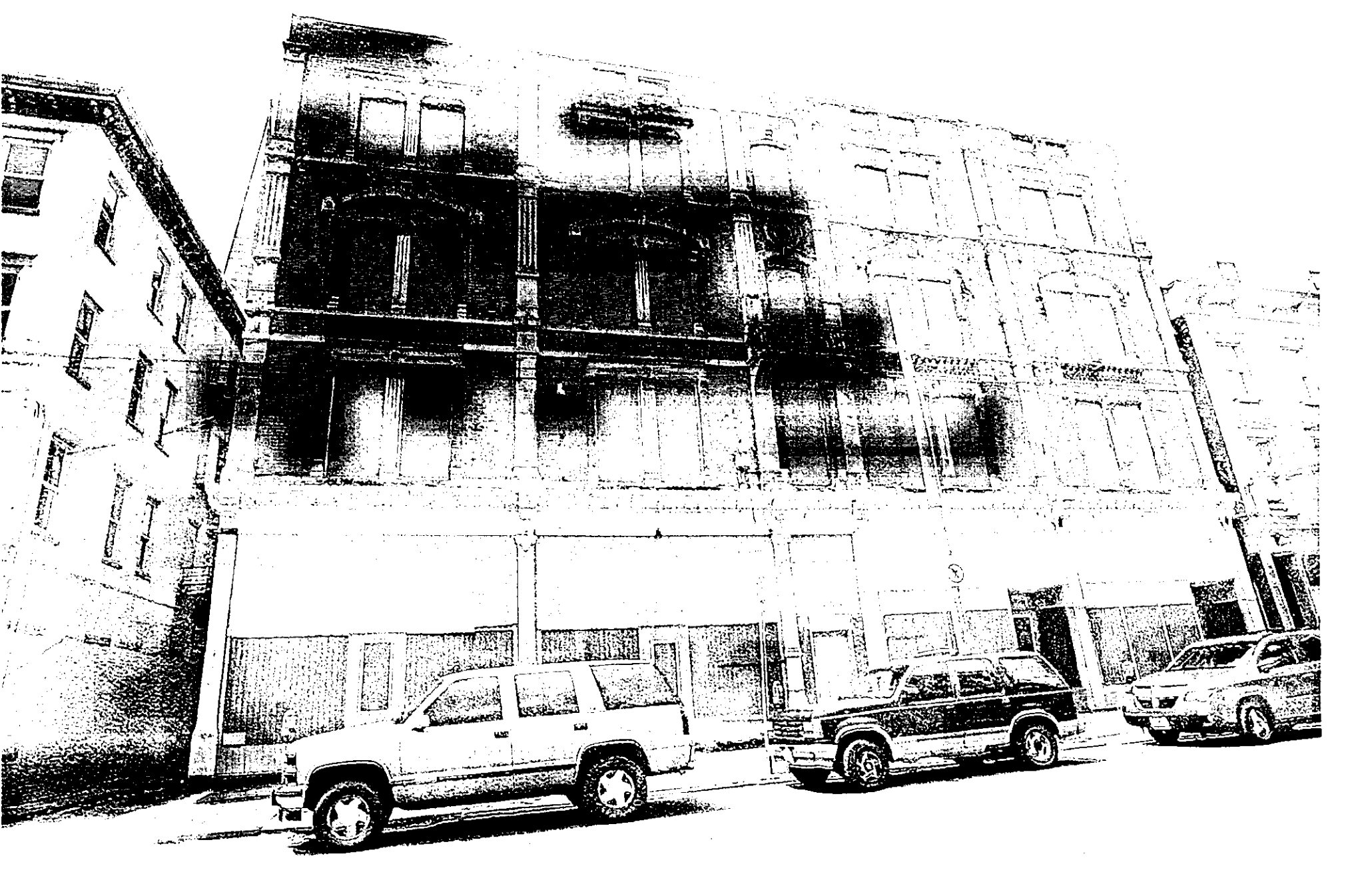
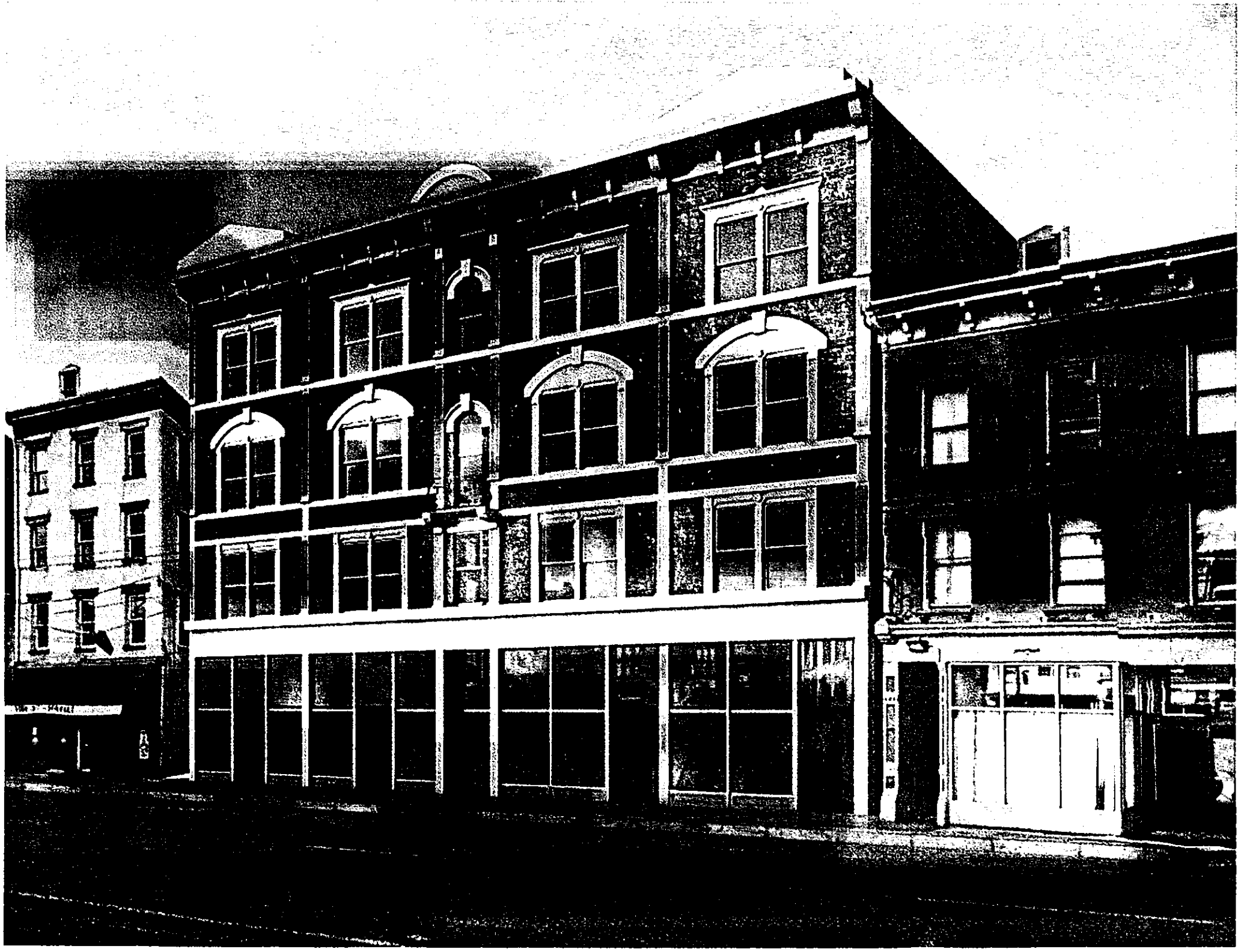
WINDOW SCHEDULE

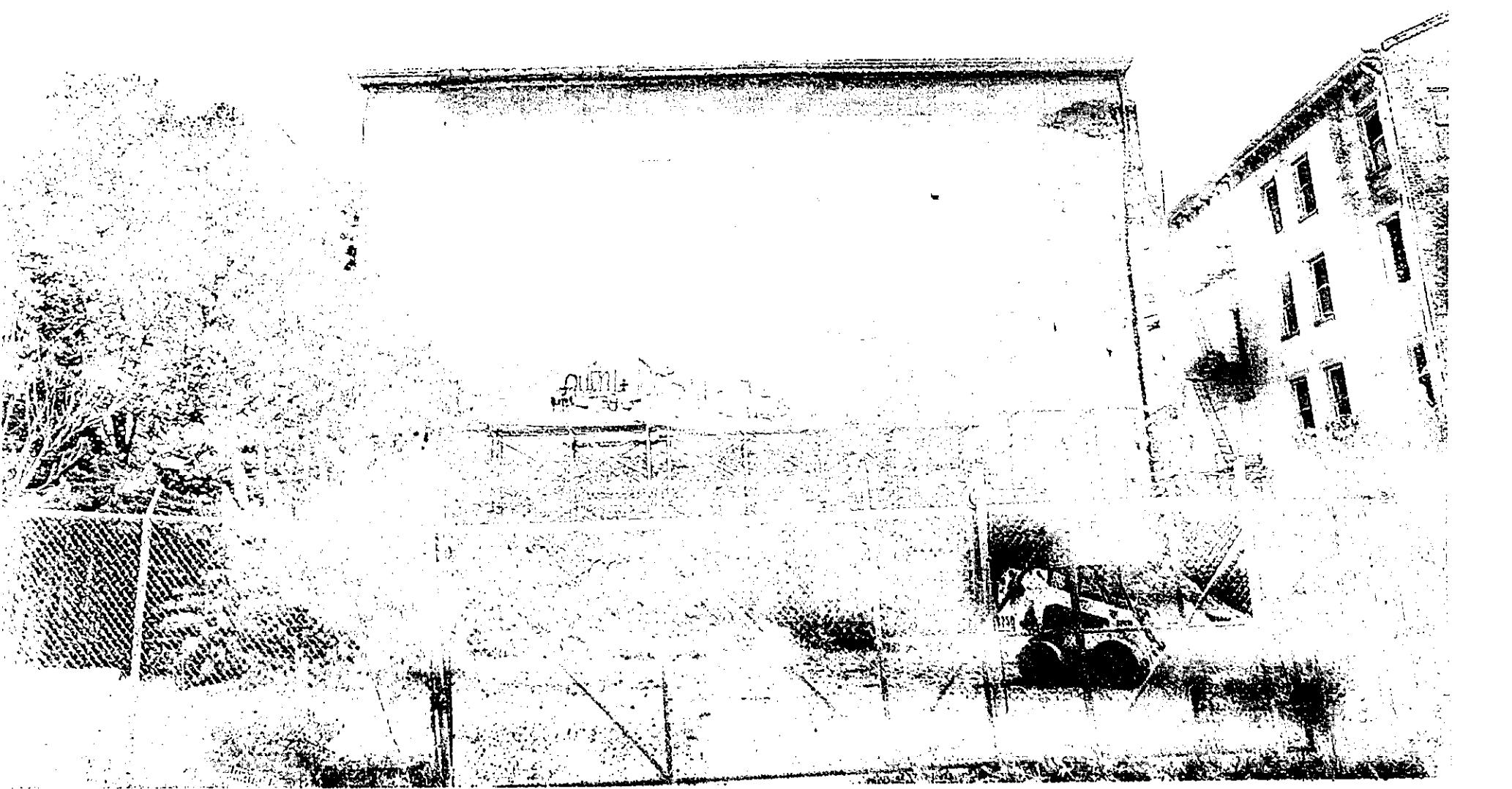
No.	TYPE	MAT'L	SIZE	SASH	GLAZO	NOTES
W-110	DOUBLE HUNG	GLAZ WOOD	3'0" x 3'0"	ONE / ONE	CLEAR	1 1/2" REINFORCED CONCRETE LINTEL TO GENERAL MAINTENANCE OPENING WITHOUT FLANGE
W-111	DOUBLE HUNG	GLAZ WOOD	3'0" x 3'0"	ONE / ONE	CLEAR	1 1/2" REINFORCED CONCRETE LINTEL TO GENERAL MAINTENANCE OPENING WITHOUT FLANGE
W-112	DOUBLE HUNG	GLAZ WOOD	3'0" x 3'0"	ONE / ONE	CLEAR	1 1/2" REINFORCED CONCRETE LINTEL TO GENERAL MAINTENANCE OPENING WITHOUT FLANGE
W-113	DOUBLE HUNG	GLAZ WOOD	3'0" x 3'0"	ONE / ONE	CLEAR	1 1/2" REINFORCED CONCRETE LINTEL TO GENERAL MAINTENANCE OPENING WITHOUT FLANGE
W-114	DOUBLE HUNG	GLAZ WOOD	3'0" x 3'0"	ONE / ONE	CLEAR	1 1/2" REINFORCED CONCRETE LINTEL TO GENERAL MAINTENANCE OPENING WITHOUT FLANGE
W-115	DOUBLE HUNG	GLAZ WOOD	3'0" x 3'0"	ONE / ONE	CLEAR	1 1/2" REINFORCED CONCRETE LINTEL TO GENERAL MAINTENANCE OPENING WITHOUT FLANGE
W-116	DOUBLE HUNG	GLAZ WOOD	3'0" x 3'0"	ONE / ONE	CLEAR	1 1/2" REINFORCED CONCRETE LINTEL TO GENERAL MAINTENANCE OPENING WITHOUT FLANGE
W-117	DOUBLE HUNG	GLAZ WOOD	3'0" x 3'0"	ONE / ONE	CLEAR	1 1/2" REINFORCED CONCRETE LINTEL TO GENERAL MAINTENANCE OPENING WITHOUT FLANGE
W-118	DOUBLE HUNG	GLAZ WOOD	3'0" x 3'0"	ONE / ONE	CLEAR	1 1/2" REINFORCED CONCRETE LINTEL TO GENERAL MAINTENANCE OPENING WITHOUT FLANGE
W-119	DOUBLE HUNG	GLAZ WOOD	3'0" x 3'0"	ONE / ONE	CLEAR	1 1/2" REINFORCED CONCRETE LINTEL TO GENERAL MAINTENANCE OPENING WITHOUT FLANGE
W-120	DOUBLE HUNG	GLAZ WOOD	3'0" x 3'0"	ONE / ONE	CLEAR	1 1/2" REINFORCED CONCRETE LINTEL TO GENERAL MAINTENANCE OPENING WITHOUT FLANGE

NOTE: PROVIDE NEW HEAD/SILL FLASHING. PROVIDE NEW BRICKMOLD.
 ALL GLAZING TO BE INSULATED, LOW 'E' W/ SECURITY FILM AT GRADE LEVEL OPENINGS

No.	TYPE	MAT'L	SIZE	SASH	GLAZO	NOTES
W-121	DOUBLE HUNG	GLAZ WOOD	3'0" x 3'0"	ONE / ONE	CLEAR	1 1/2" REINFORCED CONCRETE LINTEL TO GENERAL MAINTENANCE OPENING WITHOUT FLANGE
W-122	DOUBLE HUNG	GLAZ WOOD	3'0" x 3'0"	ONE / ONE	CLEAR	1 1/2" REINFORCED CONCRETE LINTEL TO GENERAL MAINTENANCE OPENING WITHOUT FLANGE
W-123	DOUBLE HUNG	GLAZ WOOD	3'0" x 3'0"	ONE / ONE	CLEAR	1 1/2" REINFORCED CONCRETE LINTEL TO GENERAL MAINTENANCE OPENING WITHOUT FLANGE
W-124	DOUBLE HUNG	GLAZ WOOD	3'0" x 3'0"	ONE / ONE	CLEAR	1 1/2" REINFORCED CONCRETE LINTEL TO GENERAL MAINTENANCE OPENING WITHOUT FLANGE
W-125	DOUBLE HUNG	GLAZ WOOD	3'0" x 3'0"	ONE / ONE	CLEAR	1 1/2" REINFORCED CONCRETE LINTEL TO GENERAL MAINTENANCE OPENING WITHOUT FLANGE
W-126	DOUBLE HUNG	GLAZ WOOD	3'0" x 3'0"	ONE / ONE	CLEAR	1 1/2" REINFORCED CONCRETE LINTEL TO GENERAL MAINTENANCE OPENING WITHOUT FLANGE
W-127	DOUBLE HUNG	GLAZ WOOD	3'0" x 3'0"	ONE / ONE	CLEAR	1 1/2" REINFORCED CONCRETE LINTEL TO GENERAL MAINTENANCE OPENING WITHOUT FLANGE
W-128	DOUBLE HUNG	GLAZ WOOD	3'0" x 3'0"	ONE / ONE	CLEAR	1 1/2" REINFORCED CONCRETE LINTEL TO GENERAL MAINTENANCE OPENING WITHOUT FLANGE
W-129	DOUBLE HUNG	GLAZ WOOD	3'0" x 3'0"	ONE / ONE	CLEAR	1 1/2" REINFORCED CONCRETE LINTEL TO GENERAL MAINTENANCE OPENING WITHOUT FLANGE
W-130	DOUBLE HUNG	GLAZ WOOD	3'0" x 3'0"	ONE / ONE	CLEAR	1 1/2" REINFORCED CONCRETE LINTEL TO GENERAL MAINTENANCE OPENING WITHOUT FLANGE

DO NOT SCALE DRAWING





APPLICATION FOR SPECIAL EXCEPTION HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

APPLICATION #: ZH20160101
APPLICANT: Platte architecture + design
OWNER: 1826 Race, LLC
ADDRESS: **1826 Race Street**
PARCELS: 094-008-0319-00
ZONING: CC-P
OVERLAYS: Over-the-Rhine Historic District
COMMUNITY: Over-the-Rhine
REPORT DATE: July 18, 2016
HEARING DATE: July 25, 2016
STAFF REVIEW: Matthew Shad, Zoning Administrator

Nature of Request:

The applicant is requesting Zoning Relief for a Special Exception for the terms of the covenant arrangement for off-site parking per Section 1425-15(c). Off-site parking will be provided within 600 feet of the subject property through a long-term lease at the Findlay Market parking facility to be in effect for the life of the establishment. A Special Exception is required to replace the required covenant with a long-term lease. The applicant has also requested a 50% parking reduction from the Zoning Administrator per Section 1425-23(a).

Existing Conditions:

The subject property is situated on the east side of Race Street south of the intersection with Findlay Street. The property is just north of Findlay Market and west of the Findlay Recreation Area and sits along the streetcar line. The four-story building is a ca. 1920 mixed-use commercial building with a stone foundation, brick bearing walls, window openings with replacement sash and a hipped roof.

Proposed Conditions:

The applicant is proposing a long-term lease for the required parking for the project for the life of the establishment, rather than the required covenant, easement or off premise ownership requirement. The applicant has two principle zoning uses within the building necessitating an off-site parking requirement

- 16,655 sq. ft. of office use on the upper 4 floors requiring 18 spaces
- 4,720 sq. ft. of retail/eating & drinking establishment on ground floor requiring 9 spaces

Applicant is proposing to provide off-street parking spaces at one or more Parking Facilities within 700 feet of the Principle Structure. Per Section 1425-19, 36 parking spaces are required for the use on floors 2-5. A 50% reduction in required parking has been granted by the Zoning Administrator per Section 1425-23(a), resulting in 18 required parking spaces. As retail or eating/drinking uses are likely to be proposed on

the first floor, additional parking spaces will be required. 18 parking spaces are required for the most intense potential use. A 50% reduction in required parking has been granted by the Zoning Administrator per Section 1425-23(a), resulting in 9 required parking spaces.

Previous Reviews: Exterior work was approved at a staff level on October 23, 2015 and included new historically appropriate storefronts, aluminum clad wood window replacements and other rehabilitation work.

Applicable Zoning Code Sections:

Zoning District:	Section 1405	CC-P District
Variance Request:	Section 1425-15	Location of Parking
Variance Authority:	Section 1445-07	HCB authority: Section 1435-05-4
Variance Standard:	Section 1445-13 Section 1445-15	General Standards: Public Interest Standards for Variances
Overlays:	Section 1435	Historic Preservation
Historic District/Reg:	Over the Rhine Historic District	
COA Standard:	Section 1435-09-2	Certificate of Appropriateness; Standard of Review

Details of Zoning Relief Required:

The applicant and/or owner(s) are requesting a **Special Exception** to Section 1425-15(c)(3) regarding how required off-site parking shall be established and maintained.

- The project is in violation of **Section 1425-15(c)(3)** of Cincinnati Zoning Code, which requires a covenant or reciprocal easement for off-site parking.
- The applicant requires a Special Exception to allow for the following parking solution as conditioned below:
 - Property owner shall control the rights to at least **27** parking spaces within 600 feet of the property during normal working hours for the life of the project.
 - Property Owner shall initially demonstrate control for a period of at least 15 years and maintain documentation of such rights in a form approved by the City Solicitor. Said documentation shall be provided to the City of Cincinnati at any time within 3 business days of being requested to do so.
 - Such control shall be established prior to issuance of the first Certificate of Occupancy.
 - Termination or substitution of control shall be upon the prior written consent of the City. Such consent would not be withheld if an equivalency of parking spaces is provided or subsequent legislative actions reduce or eliminate the parking requirement.

The applicant is requesting a **Special Exception** to Section **1425-15(c)(1)** to allow off-site parking to be located 700 ft. from the principle structure.

Zoning Analysis:

The applicant is proposing to provide up to 27 parking spaces in the Findlay Market parking facilities between 6am and 6pm on Monday through Friday. A parking analysis

with Joseph Hansbauer of the Findlay Market Corporation and Jason Chamlee of Model Group determined that parking in the three Findlay Market lots is as follows:

- North Lot
 - 166 spaces
 - 37 monthly permit holders
 - 50 spaces (on average) available at any given time during weekdays

- South Lot
 - 61 spaces
 - 22 monthly permit holders
 - 40 spaces (on average) available at any given time during weekdays

- West Lot
 - 83 spaces
 - 8 monthly permit holders
 - 50 spaces (on average) available at any given time during weekdays

In a letter from Joseph Hansbauer to Bobby Maly of the Model Group, dated September 22, 2015, it is noted that the Findlay Market Corporation would prefer to keep the North Lot open to Market patrons and is willing to allocate up to 40 parking spaces in the South Lot (approximately 490 ft.) or West Lot (approximately 700 ft.) to the proposed project. Additionally, Findlay Market has been in discussion with the applicant and has agreed to expand leasing capacity to 47 spaces. This would allow for the applicant to seek a future similar request for 1818 Race as well.

Below is analysis of the consideration factors for all of the requested zoning actions, utilizing Section 1445-13, General Standards; Public Interest.

- a. **Zoning.** The proposed work conforms to the underlying zone district regulations and is in harmony with the general purposes and intent of the Cincinnati Zoning Code.
The underlying zoning is CC-P. The proposed use of the subject property conforms to the underlying zone district regulations and is in harmony with the general intent of the Zoning Code.

- b. **Guidelines.** The proposed work conforms to any guidelines adopted or approved by Council for the district in which the proposed work is located.
The proposed work conforms to the guidelines for the district.

- c. **Plans.** The proposed work conforms to a comprehensive plan, any applicable urban design or other plan officially adopted by Council, and any applicable community plan approved by the City Planning Commission.
This project conforms to the Over the Rhine Comprehensive Plan.

- d. **Traffic.** Streets or other means of access to the proposed development are suitable and adequate to carry anticipated traffic and will not overload the adjacent streets and the internal circulation system is properly designed.

Traffic will not be impacted by the proposed project. Providing 18 off-street parking spaces will help to remove cars from the street during operating hours of the establishment.

- e. **Buffering.** Appropriate buffering is provided to protect adjacent uses or properties from light, noise and visual impacts.

Not applicable to this request.

- f. **Landscaping.** Landscaping meets the requirements of Chapter 1423, Landscaping and Buffer Yards.

Not applicable to this request.

- g. **Hours of Operation.** Operating hours are compatible with adjacent land uses.

Hours of operation are compatible with adjacent land uses.

- h. **Neighborhood Compatibility.** The proposed work is compatible with the predominant or prevailing land use, building and structure patterns of the neighborhood surrounding the proposed development and will not have a material net cumulative adverse impact on the neighborhood.

The proposed parking arrangement is compatible with the use and patterns of the neighborhood and will not have an adverse impact on the neighborhood.

- i. **Proposed Zoning Amendments.** The proposed work is consistent with any proposed amendment to the zoning code then under consideration by the City Planning Commission or Council.

Though there has been discussion on implementation of Parking Overlays and other parking management strategies, to date there are no proposed amendments under consideration that would impact this proposed project.

- j. **Adverse Effects.** Any adverse effect on the access to the property by fire, police, or other public services; access to light and air from adjoining properties; traffic conditions; or the development, usefulness or value of neighboring land and buildings.

There are no adverse impacts anticipated as off-street parking will be provided for a larger than average use. It should be noted though that Zoning Administration shall be conscious of the amount of parking committed within the Findlay Market parking facilities.

- k. **Blight.** The elimination or avoidance of blight.

Providing off-street parking will allow the project to move forward, returning a vacant blighted building into productive office use. Office is a preferred use here as it balances day/night activity and doesn't compete for parking on the weekends.

- l. **Economic Benefits.** The promotion of the Cincinnati economy.

The proposed parking arrangement is necessary for the establishment of the proposed business as no parking is available on-site. The use will increase property taxes of this parcel and nearby properties. It will also

provide a consistent revenue stream for the Findlay Market non-profit corporation.

- m. **Job Creation.** The creation of jobs both permanently and during construction.
Not applicable to this request.
- n. **Tax Valuation.** Any increase in the real property tax duplicate.
The proposed parking arrangement is necessary for the establishment of the proposed business as no parking is available on-site. Property tax values will increase by adding a viable use to a vacant space.
- o. **Private Benefits.** The economic and other private benefits to the owner or applicant.
The owner has an economic benefit to the proposed establishment.
- p. **Public Benefits.** The public peace, health, safety or general welfare.
There is no measurable detriment to public peace, health, safety or welfare as a result of the proposed work.

Standards for Special Exceptions and Conditional Uses per Section 1435-05-4

- (a) Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the Historic District of Historic Asset; or

The proposed work will not have an adverse effect on the historic architecture or aesthetic integrity of the Historic District. Work to the physical building at 1826 Race has been previously approved at the Staff level and the present request is only for the off-site parking arrangement. Maximizing utilization of existing parking facilities reduces the threat to seek demolition of existing historic structures for new Parking Facilities.

- (b) Is necessary where the denial thereof would result in a deprivation of all economically viable uses of the property as viewed in its entirety. In making such a determination, the Historic Conservation Board may consider the factors set forth in Section 1435-09-2 (aa) to (ff).

The denial of the requested Special Exception would deprive the property of all economically viable uses, as the rehabilitation of the long-vacant building is contingent upon providing the required number of off-street parking spaces.

Certificate of Appropriateness Review:

A Certificate of Appropriateness is not required for this project as no new work is proposed for the exterior of the property. Exterior work was approved on October 23, 2015 at the Staff level.

Other Considerations:

N/A

Prehearing Results: N/A.

Comments Provided to Staff: N/A

Consistency with *Plan Cincinnati (2012)*:
“Sustain” Initiative Area “Preserve our built history”

Recommendation:

Staff recommends the Historic Conservation Board take the following actions:

I. ZONING RELIEF

- A. **APPROVE** the **Special Exception** request **1425-15(c)(3)** regarding how required off-site parking shall be established and maintained.
1. Property owner shall control the rights to at least **27** parking spaces within 600 feet of the property during normal operating hours for the life of each of the proposed uses.
 2. Property Owner shall initially demonstrate control for a period of at least 15 years and maintain documentation of such rights in a form approved by the City Solicitor. Said documentation shall be provided to the City of Cincinnati at any time within 3 business days of being requested to do so.
 3. Such control shall be established prior to issuance of the first Certificate of Occupancy.
 4. Termination or substitution of control shall be upon the prior written consent of the City. Such consent would not be withheld if an equivalency of parking spaces is provided or subsequent legislative actions reduce or eliminate the parking requirement.
- B. **APPROVE** the **Special Exception** request to **§1425-15(c)(1)** to allow off-site parking approximately 700 ft. from the Principle Structure.
- C. **FINDING:** The Board makes this determination that per Section 1435-05-4:
1. Such relief from literal implication of the Zoning Code will not be materially detrimental to the public health, safety and welfare or injurious to property within the district or vicinity where property is located; and
 2. Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the district.

FOR OFFICE USE ONLY

File No. _____
 Date Filed _____
 Type _____
 Legal Ad _____
 Hearing Date _____
 Decision _____



APPLICATION FOR ZONING RELIEF

1. SUBJECT PROPERTY
 ADDRESS 1826 Race Street
 PARCEL ID(S) 094-008-0319-00
 BASE ZONING CLASSIFICATION CC-P ZONING OVERLAY (if applicable) OTR Historic Overlay

2. APPLICANT
 NAME PLATTE architecture + design CONTACT PERSON (if legal entity) Luke Field
 ADDRESS 202 West Elder St TELEPHONE 513.621.0750
 EMAIL luke@plattedesign.com RELATIONSHIP TO OWNER (if not owner) Architect

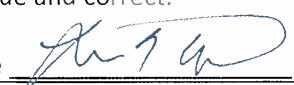
3. OWNER
 NAME 1826 Race, LLC CONTACT PERSON (if legal entity) Jason Chamlee
 ADDRESS 2170 Gilbert Ave #100 Cincinnati, OH 45206 TELEPHONE 513-559-0048
 EMAIL JChamlee@modelgroup.net

4. NATURE OF RELIEF REQUESTED (select all that apply)
 Variance Use Variance Special Exception Conditional Use
 Expansion or Substitution of Non Conforming Use Hillside Overlay District Permission
 Urban Design Overlay District Permission DD District Phased Development Approval

5. BRIEF DESCRIPTION OF PROPOSED PROJECT (You may attach a statement to this application if the space provided is insufficient to describe your proposed project)
Project is the interior tenant improvement of the upper floors of 1826 race St. Building core/shell renovation was part of previous permit#s 2015P06583 and 2016P01165. Tenant improvent to include new interior walls, fixtures and furnishings, etc. We are applying for a variance to allow parking to be provided via a long-term lease at the Findlay Market parking lot facilities across the street.

6. SUMMARY OF REASONS WHY RELIEF SHOULD BE GRANTED. You must provide a written statement explaining how the proposed project meets the standards for all relief requested. Separate instructions for preparing this statement are provided. If you fail to follow the instructions for requesting a variance, use variance, special exception, conditional use, expansion or substitution of non conforming use, hillside overlay district permission, urban design overlay district permission and/or DD district phased development approval, your application may be denied.

7. SIGNATURE. The undersigned doe herby certify that the information provided in connection with this application is, to the best of his or her knowledge, true and correct.

Print Name Luke Field Signature  Date 6 / 10 / 2016

8. ADDITIONAL DOCUMENTATION SUBMISSION REQUIREMENTS. Submit three copies of the following documentation. If you fail to complete the application and provide all information requested, your application may be denied.

<input type="checkbox"/>	The written statement required in Section 6 above.
<input type="checkbox"/>	Survey plats, site plans, or other accurate drawings showing boundaries, dimensions, areas, topography, and frontage of the property involved, as well as the location and dimensions of all structures existing and proposed from the nearest property lines. When landscaping is required by the zoning code, a landscaping plan must also be provided.
<input type="checkbox"/>	Plans, architectural drawings, photographs, elevations, specifications, and other detailed information depicting fully the exterior appearance of the existing and proposed construction, including parking and access, exterior lighting, landscaping, and signs involved in the application.
<input type="checkbox"/>	In the Hamilton County Auditor's official records do not list the applicant or owner as the owner of the property, a lease, contract to purchase, or other agreement demonstrating the applicant or owner's legal basis to seek the relief requested.
<input type="checkbox"/>	All other documents or information you intend to introduce at the hearing on this application.
<input type="checkbox"/>	A list of witnesses and expert witnesses who you expect to testify at the hearing on this application.
<input type="checkbox"/>	A non-refundable application fee. The fee must be paid with a check made payable to "City of Cincinnati." Fees are as follows: \$500 – use variances; \$300 – all other relief.

To help avoid delays, it is strongly suggested that you present your application to neighboring property owners and any interested neighborhood community groups prior to the hearing on your application. This will give you a prior opportunity to address your neighbors' concerns or objections and can facilitate the approval of your application.

**REMEMBER: YOU MUST PAY THE REQUIRED FEE AT THE TIME YOU SUBMIT YOUR APPLICATION.
(\$500-USE VARIANCES; \$300-ALL OTHER RELIEF)**

PLATTE

architecture + design

202 W. ELDER STREET 4TH FLOOR | CINCINNATI, OH 45202
WWW.PLATTEDESIGN.COM T: 513.871.1850 | F: 513.871.1829

June 10, 2016

Re: Zoning Variance Application

1826 Race Street

Model Group Offices - Tenant Improvement Plan

To the Members of the Historic Conservation Board:

Thank you for taking time to look at our proposed project at 1826 Race street. For this project we are requesting a Zoning Relief (specifically a Special Exception) regarding parking, to allow the tenant to lease parking spaces in nearby public parking lots that are controlled by Corporation for Findlay Market association (please see the attached letter from Joe Hansbauer indicating parking availability). Specifically, we are requesting the following:

To allow the tenant to lease, as opposed to own, 18 parking spaces within 600 feet of the property during normal working hours for the life of the project. Property Owner shall initially demonstrate control for a period of at least 15 years and maintain documentation of such rights in a form approved by the City Solicitor and that can be provided to the City of Cincinnati at any time within 3 business days of being requested to do so. Such control shall be established prior to issuance of the first Certificate of Occupancy. Termination or substitution of control shall be upon the prior written consent of the City. Such consent would not be withheld if an equivalency of parking spaces is provided or subsequent legislative actions reduce or eliminate the parking requirement.

The specifics of the parking location (which of the three lots controlled by Findlay Market) as well as the specifics of the leases will be worked out with the Zoning Administrator prior to the hearing. We have also included in this application an aerial image showing the proximity of the parking lots in question, as well as several pages from the Permit Drawing set for the overall building renovation, which indicate the change of use and include the civil/site drawings.

We believe that this Special Exception would be in the public interest per 1445-13. The continued redevelopment of the Findlay Market commercial district will help to fight blight, improve Job Creation, and is in general an economic Benefit to the area. We also believe that the development of this property is consistent with the overall redevelopment goals of the City of Cincinnati. Finally, the building is located within the Over the Rhine Historic District, and the project is receiving Historic Preservation Tax Credits. We believe that this parking variance is a key step to a successful redevelopment of this historic building.

We look forward to discussing the redevelopment further, and we are happy to provide any supporting documentation you might require.

Many thanks,



Luke Field - Project Manager

PLATTE

architecture + design

202 W. ELDER STREET 4TH FLOOR | CINCINNATI, OH 45202
WWW.PLATTEDESIGN.COM T: 513.871.1850 | F: 513.871.1829

June 10, 2016

Re: Zoning Variance Application

1826 Race Street

Model Group Offices - Tenant Improvement Plan

List of Witnesses to Testify on Behalf of Project:

Luke Field	Project Designer, Platte Design, LLC
Kurt Platte	Project Architect, Platte Design, LLC
Jason Chamlee	Model Group Development
Bobby Maly	Model Group Development
Joe Hansbauer	The Corporation for Findlay Market

September 22, 2015

Bobby Maly
The Model Group

RE: Findlay Market / Parking Rental

Dear Bobby:

I presented your parking requests to the Board for the Corporation for Findlay Market and they requested that we obtain a parking study to determine how, and when, and if we were able to provide any spaces under any of the requested terms.

We did contact our parking facilities manager to obtain some specific detailed information on parking assignment, based upon your requests to lease parking spaces on a Monday through Friday basis.

We currently have 310 parking spaces on our North, South, and West lots. 62 of those spaces have already been leased on a monthly basis for \$45.00 each. The majority of those spaces are specifically allocated to the South and West lots, in an attempt to make the North lot most accessible to our everyday shopping traffic.

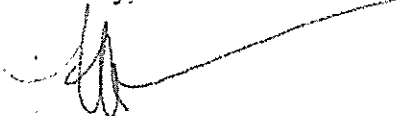
The North lot would be most convenient for your building location but that is an important lot for transient parking to support market. Based upon the information presented to us, we could allocate up to 40 additional spaces for a Monday through Friday leasing and would again allocate them to the South and West lots.

If there is continued interest at this level, we would like to continue the discussions, to determine the best method of providing these 40 spaces, the cost, the term and how you see these lease commitments moving forward after the street car begins operation. All of these issues would need to be determined before reaching a final agreement.

As I know you are aware through other discussions, the long term need for the neighborhood is structured parking. We look forward to working with you and others to find a great solution for transient, residential and office parking for the neighborhood.

Please contact me at your convenience for a follow-up.

Sincerely,

A handwritten signature in black ink, appearing to read 'Joseph Hansbauer', with a long, sweeping horizontal line extending to the right.

Joseph Hansbauer
President and CEO

July 19, 2016

Bobby Maly
The Model Group

RE: Findlay Market / Parking Rental

Dear Bobby:

This letter is a notification that we are amending our original agreement to allow for 7 additional spaces and a total of 47 parking spaces for a Monday through Friday leasing and would again allocate them to the South and West lots.

Please contact me at your convenience for a follow-up.

Sincerely,

A handwritten signature in black ink, appearing to be 'JH', written over a thin diagonal line that extends from the signature area towards the top right of the page.

Joseph Hansbauer
President and CEO

FINDLAY MARKET DEVELOPMENT OFFICE BUILDING

1826 RACE STREET
CINCINNATI, OH 45202

PLATTE
architecture + design

202 W ELDER STREET, 4TH FLOOR CINCINNATI, OH 45202
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GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND INFORMATION IN THESE DRAWINGS.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, INCLUDING SITE CONDITIONS. ALL ERRORS, OMISSIONS, AND INCONSISTENCIES ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. FAILURE TO DO SO WILL RELEASE THE ARCHITECT OF ALL RESPONSIBILITY. ANY CHANGES FROM THESE DOCUMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR. THESE DRAWINGS ARE NOT TO BE SCALED. IF INSUFFICIENT INFORMATION EXISTS, CONTACT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK. EACH CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS AS MAY EFFECT HIS OWN WORK, DESIGN/BUILD OR OTHERWISE.
- IT SHALL BE THE RESPONSIBILITY OF THE BUILDING OWNER TO SUPERVISE CONSTRUCTION AND INSURE THAT THESE DRAWINGS ARE COMPLIED WITH IN THE EVENT THAT THIS ARCHITECT IS NOT RETAINED FOR SUCH SERVICES.
- ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS, INCLUDING THE AMERICANS WITH DISABILITIES ACT, HAVING AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK, AND SHALL BE DONE TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY EACH RESPECTIVE TRADE.
- GUARANTEES SHALL BE REQUIRED OF ALL BRANCHES OF THE WORK. CONTRACTORS TO REMEDY ANY DEFECTS IN THEIR WORK AND PAY FOR ANY RESULTANT DAMAGES TO OTHER WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
- CONTRACTOR SHALL SUPERVISE THE WORK DURING PROGRESS AND SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION SAFETY. COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL AND O.S.H.A. REGULATIONS.
- CONTRACTOR AND ALL SUB-CONTRACTORS SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS. ALL WASTE MATERIAL, TOOLS, CONSTRUCTION EQUIPMENT AND SURPLUS MATERIAL SHALL BE REMOVED FROM THE SITE PRIOR TO SUBSTANTIAL COMPLETION AND FINAL ACCEPTANCE.
- CONTRACTOR SHALL PRESENT THE PROJECT TO THE OWNER FOR ACCEPTANCE. CLEAN AND READY FOR USE. ALL GLASS TO BE CLEANED, FLOORS SWEEPED BROOM CLEAN, FIXTURES WASHED AND LABELS REMOVED FROM ALL ITEMS.
- ANY CONTRACTOR OF SUBCONTRACTOR WHO PERFORMS ANY WORK KNOWING IT TO BE CONTRARY TO APPLICABLE LAWS, ORDINANCES OR REGULATION, AND WITHOUT WRITTEN NOTICE TO THE ARCHITECT SHALL ASSUME FULL RESPONSIBILITY AND SHALL BEAR ALL ATTRIBUTABLE COSTS.
- IN THE EVENT OF ANY CONFLICT BETWEEN ARCHITECTURAL DRAWINGS OR SPECIFICATIONS AND STRUCTURAL DRAWINGS OR SPECIFICATIONS, STRUCTURAL SHALL GOVERN.

GENERAL NOTES: FLOOR PLANS

- EXTERIOR DIMENSIONS ARE TAKEN FROM FACE OF FOUNDATION WALL AND FACE OF MASONRY. INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF EXISTING FINISHES OR EXISTING BRICK WHERE EXPOSED, AND FACE OF NEW FRAMING AND FURRING, UNLESS OTHERWISE NOTED.
- ALL INTERIOR PARTITIONS TO BE TYPE I (2X4'S AT 16" O.C. WITH ONE LAYER OF 1/2" GYPSUM BOARD EACH SIDE), UNLESS NOTED OTHERWISE.
- ALL FURRING AT EXTERIOR WALL TO BE 1 1/2" METAL STUDS AT 16" O.C., UNLESS OTHERWISE NOTED. TYPE 'X' GYPSUM BOARD AT ALL FIRE-RESISTANCE RATED PARTITIONS. ALL FURRING AT INTERIOR WALLS TO 1X3 WOOD AT 16" O.C.
- ALL GYPSUM BOARD AT WALLS TO BE 1/2" THICKNESS, ONE LAYER EACH SIDE OF STUDS UNLESS OTHERWISE NOTED.
- ALL GYPSUM BOARD AT FIRE RESISTANCE RATED WALLS TO BE 1/2" TYPE 'X'.
- ALL GYPSUM BOARD AT CEILINGS TO BE 1/2" THICKNESS, UNLESS OTHERWISE NOTED.
- PROVIDE BLOCKING/REINFORCING PER MANUFACTURER'S REQUIREMENTS IN WALLS TO RECEIVE EQUIPMENT BY OWNER.

GENERAL NOTES: ALL TRADES

- FURNISH ALL LABOR, MATERIAL AND APPURTENANCES NECESSARY FOR A COMPLETE AND OPERATIONAL SYSTEM AS SHOWN OR REQUIRED.
- ALL WORK SHALL CONFORM TO APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. EACH CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, TESTS AND INSPECTIONS FOR HIS OWN WORK AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- PERFORM ALL TESTS, ADJUSTMENTS, ETC. AS REQUIRED BY EQUIPMENT MANUFACTURER OR AUTHORITIES HAVING JURISDICTION.
- CONTRACTORS SHALL VISIT SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS AS MAY EFFECT HIS OWN WORK. EACH CONTRACTOR SHALL COORDINATE HIS OWN WORK WITH THAT OF OTHER TRADES.
- EACH CONTRACTOR SHALL FURNISH ALL CUTTING AND PATCHING REQUIRED FOR HIS OWN WORK. NO CUTTING SHALL BE PERFORMED WITHOUT PRIOR APPROVAL OF GENERAL CONTRACTOR.
- ALL WORK PASSING THROUGH FIRE RATED PARTITIONS OR ASSEMBLIES TO BE SEALED IN ACCORDANCE WITH NFPA STANDARDS.
- WORKMANSHIP SHALL REPRESENT THE HIGHEST STANDARD OF THE INDUSTRY. GUARANTEE ALL MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE.

GENERAL CONDITIONS

CONTRACT DOCUMENTS: INCLUDE THESE GENERAL CONDITIONS FOR CONSTRUCTION, DRAWINGS, SCHEDULES, AND SPECIFICATIONS PREPARED BY THE ARCHITECT AND CONTAINED HEREIN, AND ALL WRITTEN ADDENDA OR OTHER MODIFICATIONS ISSUED SUBSEQUENTLY BY THE ARCHITECT. THE CONTRACT DOCUMENTS SHALL NOT BE CONSTRUED TO CREATE ANY CONTRACTUAL RELATIONSHIP OF ANY KIND BETWEEN THE ARCHITECT AND THE CONTRACTOR.

CONTRACT MODIFICATIONS: THESE CONTRACT DOCUMENTS SHALL NOT BE FURTHER MODIFIED BY ANY TERMS OR CONDITIONS OTHER THAN THOSE LISTED HEREIN OR IN THE SPECIFICATIONS, OR IN ANY WRITTEN AGREEMENTS EXECUTED BY THE OWNER, CONTRACTOR AND SUBCONTRACTORS.

NOTES WRITTEN IN THE IMPERATIVE MOOD REFER TO ACTION TO BE PERFORMED BY THE CONTRACTOR. THE WORDS "THE CONTRACTOR SHALL" ARE ALWAYS IMPLIED, IF NOT STATED, UNLESS OTHERWISE NOTED. THE TERM "CONTRACTOR" SHALL ALSO APPLY TO ALL SUBCONTRACTORS OF THE CONTRACTOR.

THE CURRENT EDITION OF AIA DOCUMENT A101 SHALL BE THE FORM OF AGREEMENT TO BE SIGNED BY THE OWNER AND GENERAL CONTRACTOR, UNLESS THE OWNER AND CONTRACTOR MUTUALLY AGREE OTHERWISE. GENERAL CONDITIONS CONTAINED IN AIA DOCUMENT A201 SHALL APPLY.

DEFINITIONS:

"CONTRACTOR": THE PERSON OR ENTITY CONSTRUCTING THE DESIGNATED WORK.

"OWNER": THE PERSON OR ENTITY THAT OWNS THE BUILDING BEING RENOVATED. THE TERM "OWNER" INCLUDES HIS DESIGNATED AND AUTHORIZED AGENTS AND REPRESENTATIVES.

"WORK": THE TERM "WORK" MEANS OBLIGATIONS UNDERTAKEN BY THE CONTRACTOR PURSUANT TO THE CONTRACT DOCUMENTS. WORK INCLUDES THE FURNISHING OF ALL MATERIAL, LABOR, EQUIPMENT, SUPPLIES, TOOLS, SCAFFOLDING, SUPERVISION, TRANSPORTATION, INSURANCE, TAXES AND ALL OTHER SERVICES, INCIDENTALS AND EXPENSES NECESSARY FOR THE FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

"PROJECT": THE PROJECT IS THE TOTAL CONSTRUCTION OF WHICH THE WORK PERFORMED UNDER THE CONTRACT DOCUMENTS MAY BE THE WHOLE OR A PART.

"CONTRACT DOCUMENTS": THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS REQUIRED FOR COMPLETION OF THE WORK, INCLUDING DRAWINGS AND SPECIFICATIONS. ALTHOUGH THE CONTRACT DOCUMENTS HAVE BEEN PREPARED WITH DUE CARE AND DILIGENCE, PERFECTION CANNOT BE GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF THE VARIOUS PARTS OF THE WORK SO THAT NO PART SHALL BE IN AN UNFINISHED OR INCOMPLETE CONDITION.

DRAWINGS PREPARED BY OTHERS:

ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS SHALL BE WORKED TOGETHER, INCLUDING THE LOCATION OF DEPRESSED SLABS, SLOPES, DRAINS, REGLETS, BOLT SETTINGS, ETC. ANY DISCREPANCY SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

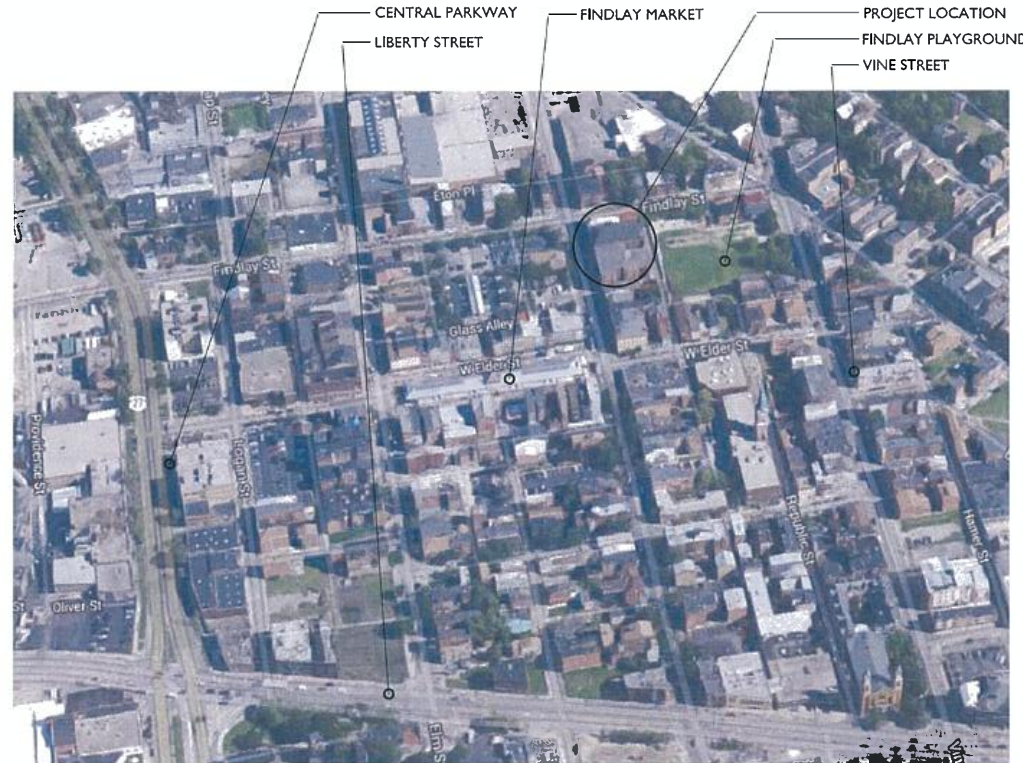
SHOP DRAWINGS PREPARED BY OTHER CONTRACTORS MAY BE REQUIRED TO SUPPLEMENT THE CONTRACT DOCUMENTS. SUCH DRAWINGS ARE FURNISHED FOR THE CONTRACTOR'S INFORMATION AND COORDINATION ONLY.

ARCHITECT
PLATTE DESIGN
202 W ELDER ST, 4TH FLOOR
CINCINNATI, OH 45202
(513) 871-1850

STRUCTURAL ENGINEER
ADVANTAGE GROUP
660 LINCOLN AVE, STE. 305
CINCINNATI, OH 45206
(513) 396-8900

CIVIL ENGINEER
BAYER/BECKER
1404 RACE STREET STE. 204
CINCINNATI, OH 45202
(513) 834-6151

MEP&S ENGINEER
ENGINEERED BUILDING SYSTEMS
515 MONMOUTH STREET, STE. 204
NEWPORT, KY 41071
(859) 801-2628



AERIAL IMAGE
NOT TO SCALE

GRAPHIC KEY

	FE = WALL MOUNTED FIRE EXTINGUISHER		STOREFRONT DESIGNATION, SEE SHEET !!!
	SMOKE DETECTOR		EXIT SIGN WITH EMERGENCY LIGHTS
	PARTITION TYPE, SEE SHEET A4-91		NEW STRUCTURAL MEMBERS - SEE STRUCTURAL DWGS. (NOTE: FR INDICATES FIRE-RATED MEMBER, SEE BEAM/COLUMN RATINGS ON SHEET)
	KEYNOTE		REVISION CLOUD WITH REVISION TAG.
	ACCESS TO MEANS OF EGRESS		CENTER LINE TAG
	EXISTING WALL		ELEVATION (FLOOR ELEVATION OR CEILING HEIGHT, AS INDICATED)
	NEW PARTITION WALL		STRUCTURAL MASONRY WALL TO BE DEMOLISHED WHERE MASONRY IS TO REMAIN EXPOSED, KEY IN AND TOOTH OUT SO NO CONCRETE SURFACE IS EXPOSED.
	EXISTING PARTITION WALLS TO BE DEMOLISHED		1HR FIRE RATING
	EXISTING AREA OF FLOOR (BELOW) TO BE REMOVED		2HR FIRE RATING
	NEW DROPPED CEILING/SOFFIT - SEE RCP FOR ELEVATION/INFO.		DOOR DESIGNATION, SEE SHEET !!!
	DOOR HARDWARE		WINDOW DESIGNATION, SEE SHEET !!!
	SG SAFETY GLAZING		MATERIAL TAG
	WC WATER CURTAIN SPRINKLER HEAD		SECTION CUT TAG
			DETAIL CALLOUT

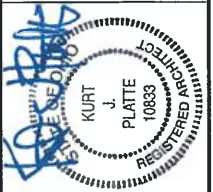
ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	H.M.	HOLLOW METAL
ALT.	ALTERNATE	HORIZ	HORIZONTAL
ALUM.	ALUMINUM	HVAC	HEATING, VENTILATION & AIR CONDITIONING
APPROX.	APPROXIMATE (LY)		
BD	BOARD	INCL.	INCLUDE(D) (ING)
BLDG	BUILDING	INSUL	INSULATE(D) (ION)
BRD.	BLOCK	INT.	INTERIOR
BRK.	BRICK	L.M.	LIVE LOAD
C/C	CENTER TO CENTER		
C.L.	CENTER LINE	MATL	MATERIAL
C.J.	CONTROL JOINT	MAS.	MASONRY
CLG.	CEILING		
COL.	COLUMN	N.I.C.	NOT IN CONTRACT
CONC.	CONCRETE	NTS	NOT TO SCALE
CONT.	CONTINUOUS		
CONTR.	CONTRACTOR	O.C.	ON CENTER
CRS.	COURSE(S)	OPP.	OPPOSITE
D.F.	DRINKING FOUNTAIN	PLWD.	PLYWOOD
DIAG.	DIAGONAL		
DIAM.	DIAMETER	R.D.	ROUGH OPENING
D.L.	DEAD LOAD	REV.	REVISE(D)
D.S.	DOWNSPOUT	R.O.	ROUGH OPENING
DWG.(S)	DRAWING(S)		
EXP.	EXPANSION	SECT	SECTION
EJ.	EXPANSION JOINT	SIM.	SIMILAR
EQ.	EQUAL	SPEC.	SPECIFICATION
EXT'G	EXISTING		
EXT.	EXTERIOR	T.J.	TOP OF
		TYP.	TYPICAL
FDN.	FOUNDATION		
F.E.	FIRE EXTINGUISHER	U.N.O.	UNLESS NOTED OTHERWISE
F.F.E.	FINISHED FLOOR ELEVATION		
FTG.	FOOTING	V.B.	VAPOR BARRIER
G.C.	GENERAL CONTRACTOR	VERT	VERTICAL
GYP.	GYPSUM	WIN	WINDOW

SHEET LIST

PROJECT INFORMATION	A0.00 COVER SHEET	ARCHITECTURAL DETAILS	A4.1 DOOR SCHEDULE AND DETAILS
A0.01 CODE ANALYSIS	A0.02 EGRESS DIAGRAMS	A4.2 FIRE RATED PARTITIONS AND FLOOR-CEILING ASSEMBLIES	A4.3 DETAILS
CIVIL DRAWINGS	C1.0 CIVIL SITE SURVEY	A4.4 WINDOW DETAILS	A4.5 STOREFRONT DETAILS
ARCHITECTURAL PLANS	A1.01 ARCHITECTURAL SITE PLAN	A7.00 SPECIFICATIONS	A7.01 SPECIFICATIONS
A1.10 SUB-BASEMENT DEMOLITION PLAN	A1.11 BASEMENT DEMOLITION PLAN	A7.02 SPECIFICATIONS	A7.03 SPECIFICATIONS
A1.12 FIRST FLOOR DEMOLITION PLAN	A1.13 SECOND FLOOR DEMOLITION PLAN	STRUCTURAL PLANS	S501 NOTES
A1.14 THIRD FLOOR DEMOLITION PLAN	A1.15 FOURTH FLOOR DEMOLITION PLAN	S100 BASEMENT/FOUNDATION PLAN	S110 FIRST FLOOR FRAMING PLAN
A1.16 EXISTING INTERMEDIARY PLAN	A1.17 ATTIC DEMOLITION PLAN	S120 SECOND FLOOR FRAMING PLAN	S130 THIRD FLOOR FRAMING PLAN
A1.18 ROOF DEMOLITION PLAN		S140 FOURTH FLOOR FRAMING PLAN	S150 ATTIC FRAMING PLAN
A1.20 SUB-BASEMENT NEW WORK PLAN	A1.21 BASEMENT NEW WORK PLAN	S320 SECTION DETAILS	S350 SECTION DETAILS
A1.22 FIRST FLOOR NEW WORK PLAN	A1.23 SECOND FLOOR NEW WORK PLAN	MECHANICAL PLANS	M1.21 BASEMENT PLAN
A1.24 THIRD FLOOR NEW WORK PLAN	A1.25 FOURTH FLOOR NEW WORK PLAN	M1.22 FIRST FLOOR PLAN	M1.23 SECOND FLOOR PLAN
A1.26 NOT USED (FLOOR TO BE REMOVED)	A1.27 ATTIC NEW WORK PLAN	M1.24 THIRD FLOOR PLAN	M1.25 FOURTH FLOOR PLAN
A1.28 ROOF NEW WORK PLAN		M1.27 ATTIC PLAN	M2.00 SCHEDULES
ARCHITECTURAL ELEVATIONS	A2.00 EXISTING ELEVATIONS		
A2.01 EXISTING ELEVATIONS	A2.02 EXISTING ELEVATIONS		
A2.03 EXISTING ELEVATIONS			
A2.10 PROPOSED ELEVATIONS	A2.11 PROPOSED ELEVATIONS		
A2.12 PROPOSED ELEVATIONS	A2.13 PROPOSED ELEVATIONS		
ARCHITECTURAL SECTIONS	A3.00 SECTION DRAWING		
A3.01 SECTION DRAWING	A3.02 SECTION DRAWING		
A3.03 SECTION DRAWING	A3.04 SECTION DRAWING		
A3.05 ROOF DECK SECTION DETAILS			

NOTE: ALL DRAWINGS ARE SCALED FOR 24" X 36" SHEETS. WHEN PRESENTED ON 11" X 17" SHEETS, SCALE IS HALF THAT WHICH IS NOTED.



KURT PLATTE 10893
EXP DATE 12.31.16

Progress Dates
07.31.2015 BLDG PERMIT
01.07.2015 BID SET
03.16.2016 PROGRESS SET
03.28.2016 PROGRESS SET

Revisions
PERMIT REVISION 1 - 09.18.2015
PERMIT REVISION 2 - 10.14.2015
PERMIT REVISION 3 - 10.20.2015
ENG. CHANGE - 02.04.2016
ENG. CHG. REVISION - 02.26.2016

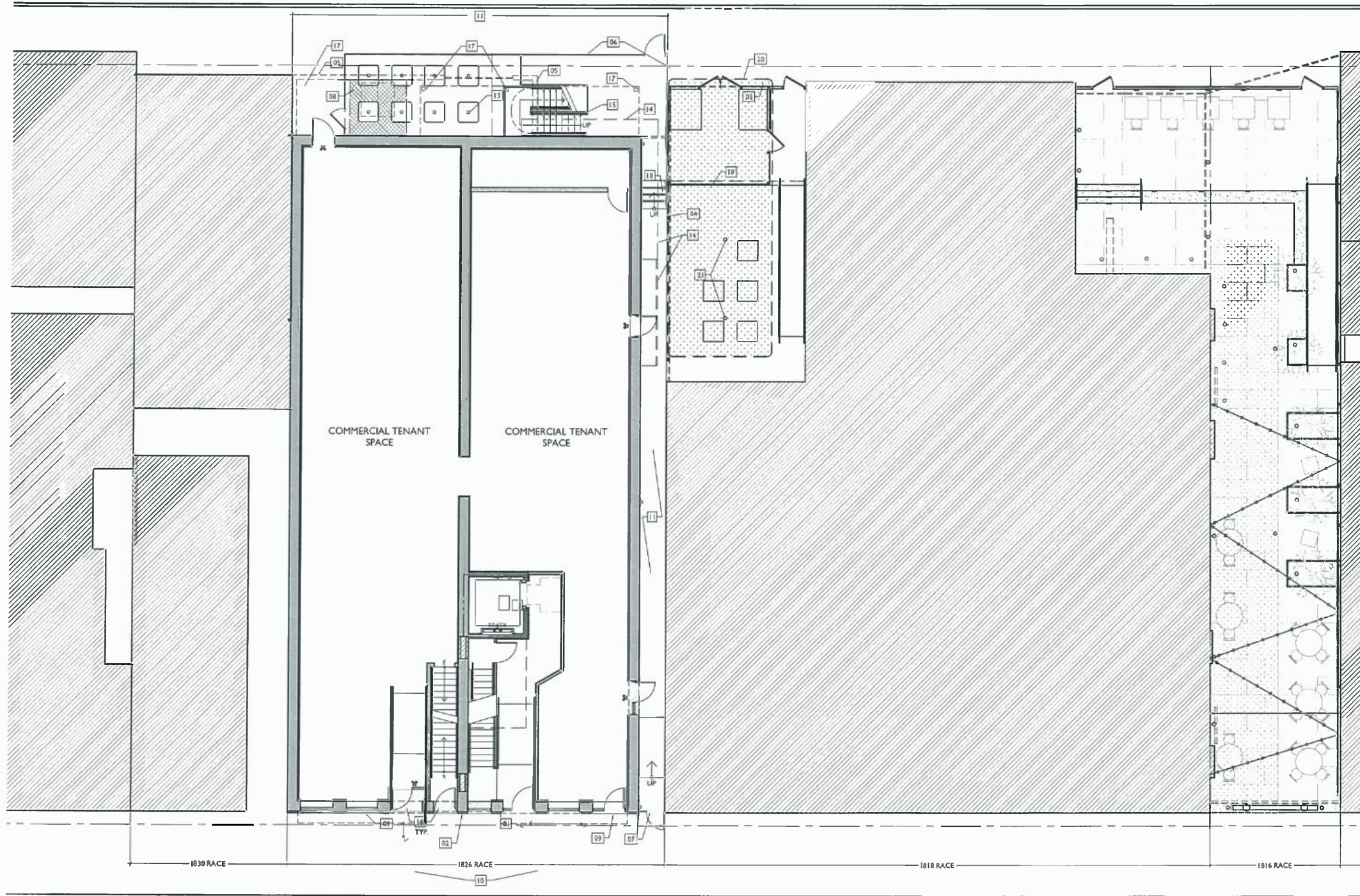
Design Team
LF, EB
Drawn By
LF, EB

4.15.2016
FOR CONSTRUCTION SET

PROPOSED PROJECT:
1826 RACE STREET
CINCINNATI, OH 45202

A0.00

GOOSE ALLEY



RACE STREET



ARCHITECTURAL SITE PLAN

scale: 1/8" = 1'-0"

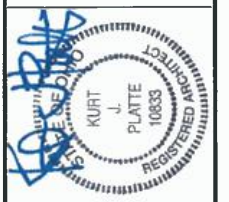
SITE PLAN GENERAL NOTES	
A.	CONTRACTOR TO INSPECT ALL EXISTING UTILITY CONNECTIONS AND VERIFY VIABILITY OF SERVICE. CONTACT ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES WITH PLANS ARE FOUND.
B.	COORDINATE SITE DRAINAGE WITH ARCHITECTURAL AND CIVIL PLANS AND SITE CONDITIONS. FINAL GRADING TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
C.	CONTRACTOR TO COORDINATE ANY SIDEWALK/STREET VAULT WORK/REPAIR WITH CITY OF CINCINNATI DOT, INCLUDING FUTURE STREETSCAPE WORK.
D.	NOTE: PROJECT IS A HISTORIC TAX CREDIT PROJECT. ALL WORK MUST BE IN ACCORDANCE WITH APPROVED PART 2 AND PART 2 AMENDMENT DOCUMENTATION. NO HISTORIC ELEMENTS ARE TO BE REMOVED/WOOFED UNLESS SPECIFICALLY ADDRESSED IN ARCHITECTURAL PLANS.
E.	COORDINATE WORK WITH CIVIL AND LANDSCAPING DRAWINGS.
F.	PROVIDE EASEMENT AS REQUIRED FOR NEW AC UNITS.

SITE PLAN KEYED NOTES	
01	NEW SLOPED WALKWAY. SEE NEW WORK PLANS AND DETAILS.
02	ACCESS CONTROL KEYCARD (ELECTRONIC STRIKE. SEE NEW WORK PLANS AND HARDWARE SCHEDULE).
03	WOOD TRASH ENCLOSURE. PART OF 1818 RACE SCOPE.
04	EXISTING FENCE TO BE REMOVED.
05	EXISTING CHU ENCLOSURE TO BE REMOVED ENTIRELY.
06	NEW WOOD SLAT FENCE. SEE NEW WORK PLANS AND ELEVATIONS FOR MORE DETAILS.
07	NEW METAL GATE TO MATCH NEW FENCE IN REAR. SEE NEW WORK PLANS AND SCHEDULE FOR MORE DETAILS.
08	EXISTING SHAFT TO BASEMENT AND SUB-BASEMENT TO REMAIN. REPAIR AS REQUIRED. ADD NEW LOCKING HATCH DOORS.
09	EXISTING CONCRETE THRESHOLD TO REMAIN. REPAIR AS REQUIRED.
10	REPAIR/REPLACE ANY CONCRETE SIDEWALK THAT IS DETEIORATED, OR THAT IS DAMAGED DURING CONSTRUCTION.
11	NEW CONCRETE SLAB TO DRAIN AWAY FROM BUILDING.
12	EXISTING DOWNSPOUT AND STORM LEADERS TO REMAIN. REPAIR AS REQUIRED.
13	NEW MECHANICAL UNITS. SEE M.E.P. DRAWINGS FOR SPECS AND DETAILS.
14	EXISTING FIRE ESCAPE ABOVE. TO BE COMPLETELY REMOVED. SEE DEMO PLANS AND ELEVATIONS.
15	NEW METAL STAIR TOWER. SEE NEW WORK PLANS AND ELEVATIONS FOR DETAILS.
16	NEW INFILL STOREFRONT GLAZING IN EXISTING HISTORIC OPENING BETWEEN COLUMNS. SEE NEW WORK PLANS, ELEVATIONS, AND SCHEDULE FOR DETAILS.
17	NEW STEEL COLUMNS AT NEW EXTERIOR EGRESS STAIR.
18	EXISTING STEPS TO REMAIN.
19	NEW CONCRETE SITE WALL. PART OF 1818 RACE SCOPE.
20	EASEMENT ON PROPERTY OF 1818 RACE. 16 AC UNITS TO BE LOCATED IN FENCED ENCLOSURE.
21	SURFACE DRAINS UNDER SCOPE OF 1818 RACE. TO BE USED AS DRAINAGE SOURCE FOR NEW SLAB IN BREEZEWAY.

SITE PLAN LEGEND	
	PROPERTY LINE. REFER TO CIVIL DRAWINGS.
	EXISTING OR PROPOSED PAVER AREA
	NEW CONCRETE
	EASEMENT AREA

PLATTE
architecture + design

202 W EDLER STREET, 4TH FLOOR CINCINNATI, OH 45202
WWW.PLATTEDESIGN.COM T: 513.871.1850 | F: 513.871.1829



KURT PLATTE 10833
EXP DATE 12.31.16

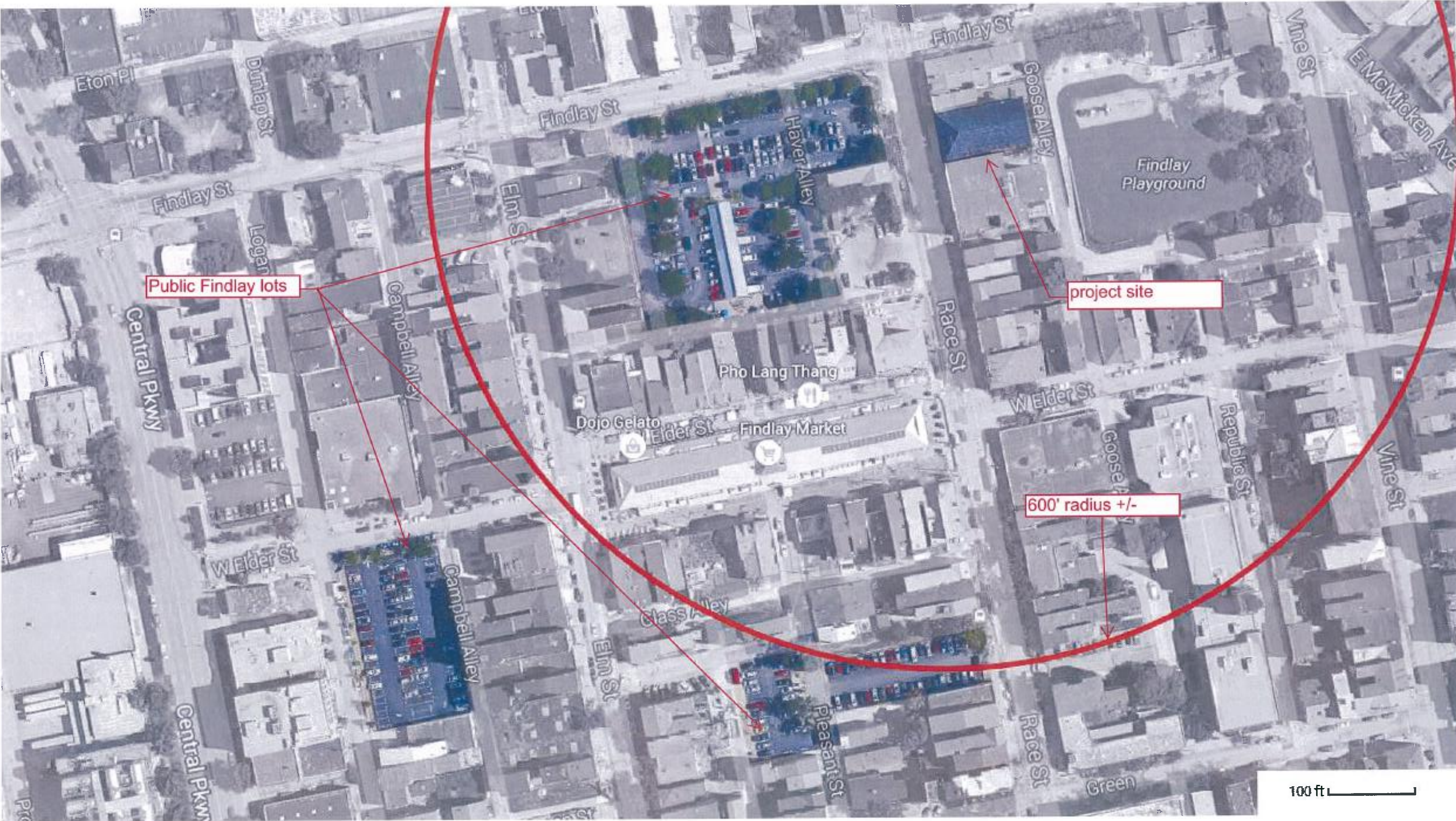
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△ ENG. CHANGE - 02.04.2016
△ ENG. CHG. REVISION - 02.26.2016

Design Team:
LF, EB
Drawn by:
LF, EB

PROPOSED PROJECT:
RENOVATIONS TO
1826 RACE STREET
CINCINNATI, OH 45202

AI.01



Public Findlay lots

project site

600' radius +/-

100 ft

**APPLICATION FOR
CERTIFICATE OF APPROPRIATENESS
AND DIMENSIONAL/ LOCATIONAL VARIANCES
HISTORIC CONSERVATION BOARD PUBLIC HEARING
STAFF REPORT**

APPLICATION #: ZH20160105
APPLICANT: Triumph Signs
OWNER: YMCA of Greater Cincinnati
ADDRESS: **1105 Elm Street**
PARCELS: 076-0001-0164-00
ZONING: DD-C
OVERLAYS: Over-the-Rhine Historic District
COMMUNITY: Over-the-Rhine
REPORT DATE: July 1, 2016
HEARING DATE: July 25, 2016
STAFF REVIEW: Douglas Owen, Zoning Plan Examiner

Nature of Request:

The applicant is requesting a Certificate of Appropriateness (COA) and Zoning Relief for a Dimensional Variance and Locational Variance to allow for a new projecting sign on the southeast corner of the existing YMCA Building on the corner of Elm Street and Central Parkway. The proposed sign will utilize the existing mounting brackets that supported the previous neon projecting sign that was removed during renovation. A new projecting support arm will be installed to match the existing.

Per Section 1411-39 of the Cincinnati Zoning Code, projecting signs are limited to 3.5 feet in width and 8 feet in height and must be placed below the third story of a building unless located in a Historic District and approved by the Historic Conservation Board. The proposed sign will be located above the third story of the building and will be 5 feet in height and 4.5 feet in width.

Existing Conditions:

The property at 1105 Elm Street is a ca. 1917, nine-story Renaissance Revival building (Figure 1). The building is undergoing a major renovation utilizing Federal and State Historic Tax Credits. The renovation includes a new two-story fitness center, YMCA offices, and affordable senior housing. The building featured a projecting sign with the YMCA branding extending off the southeast corner of the fourth floor. The previous sign was likely erected in the 1950s and included neon lighting. The legal nonconforming sign was larger than the current zoning regulations and Historic Conservation guidelines permit. It was recently removed during renovations as the sign was nonfunctioning and deteriorating. The existing projecting support pole was left in place.



Figure 1. View of 1105 Elm Street showing previous sign, facing southwest. Photo courtesy of Google.

The building is situated on the northwest corner of Elm Street and Central Parkway on the southwestern edge of the Over-the-Rhine Historic District (Figure 2).

Proposed Conditions:

The applicant is proposing to erect a new projecting sign on the southeast corner of the building. The sign will utilize the existing mounting brackets with a replacement projecting support arm and will be in the same location as the previous neon projecting sign. The proposed sign will be smaller in size than the previous sign, at 5 feet wide by 4.5 feet high (compared to 5 feet wide by 5.5 feet high). The proposed sign will consist of an aluminum constructed cabinet with a brushed aluminum finished face. The lettering, reading “the YMCA” will consist of clear acrylic push-through lettering with a perforated black vinyl surface. The larger “Y” logo will consist of an aluminum constructed channel letter with a perforated black vinyl applied surface. The perforation will allow lighting to shine through the lettering at night, illuminating the lettering in addition to providing halo lighting. The entire structure will extend approximately 6 feet from the building. The former 1950s neon projecting sign will be stored until funds are available for restoration. Once restored, the YMCA plans to display the historic sign inside the existing building.

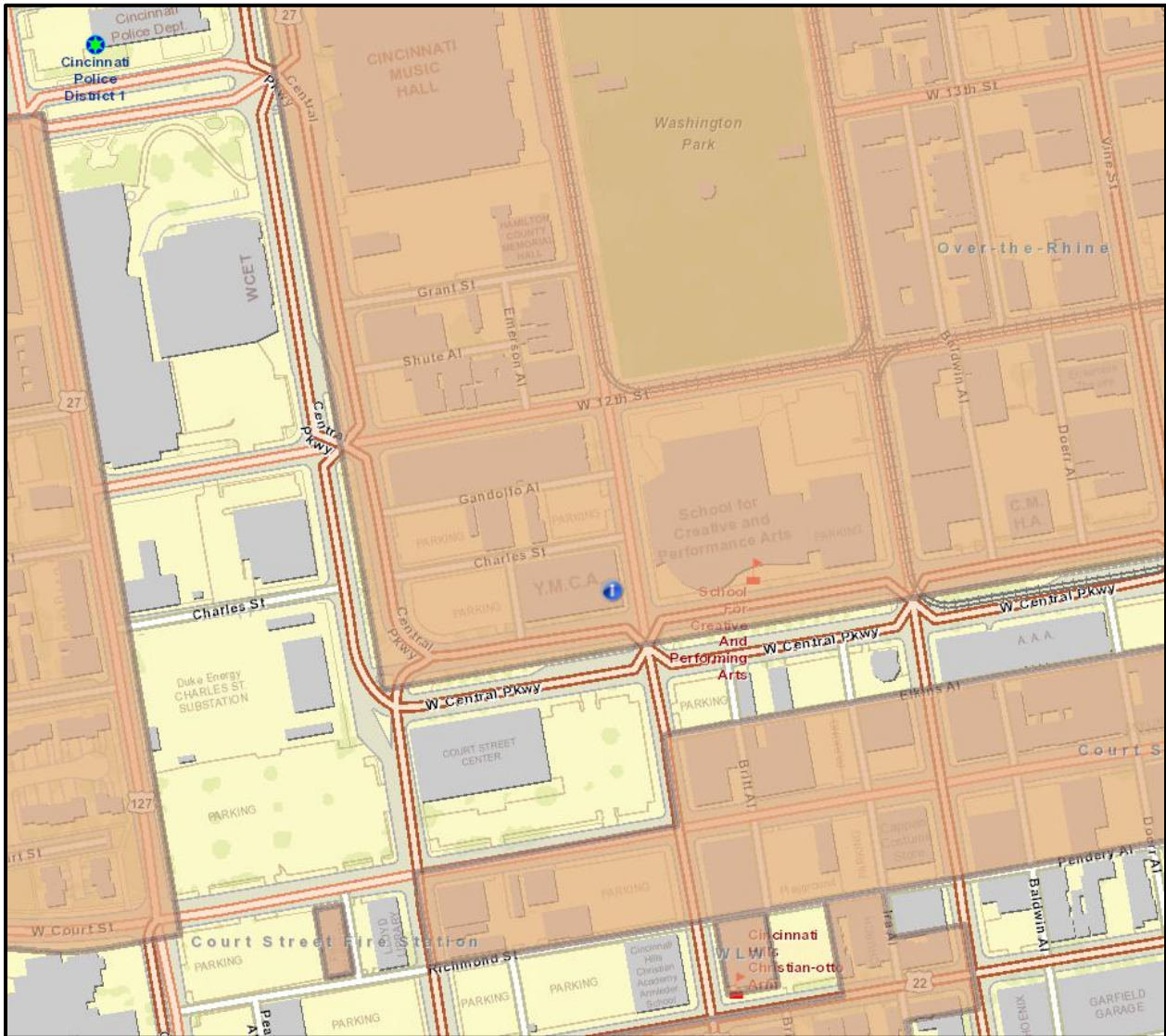


Figure 2. Location of 1105 Elm Street in the Over-the-Rhine Historic District. Photo courtesy of CAGIS.

Previous Reviews: N/A

Applicable Zoning Code Sections:

Zoning District:	Section 1411	Downtown Development
Variance Request:	Section 1411-39	Development Regulations
Variance Authority:	Section 1445-07	HCB authority: Section 1435-05-4
Variance Standard:	Section 1445-13	General Standards: Public Interest
	Section 1445-15	Standards for Variances
Overlays:	Section 1435	Historic Preservation
Historic District/Reg:	Over the Rhine Historic District	
COA Standard:	Section 1435-09-2	Certificate of Appropriateness; Standard of Review

Details of Zoning Relief Required:

The applicant and/or owner(s) are requesting a **Dimensional Variance** to allow a projecting sign of 5 feet wide by 4.5 feet high.

- The project is in violation of **Section 1411-39** of Cincinnati Zoning Code.
- Per Section 1411-39, projecting signs are limited to 3.5 feet wide by 8 feet high.
 - A Dimensional Variance of 1.5 feet is required to allow a projecting sign of that is 5 feet in width.

The applicant and/or owner(s) are requesting a **Locational Variance** to allow a projecting sign above the third floor.

- The project is in violation of **Section 1411-39** of the Cincinnati Zoning Code.
- Per Section 1411-39, projecting signs must be placed below the third story of a building façade.
 - A Locational Variance is required to allow a projecting sign at the level of the fourth floor.

Zoning Analysis:

Below is analysis of the consideration factors for the proposed Dimensional Variance for a 9 foot total rear yard setback, utilizing Section 1445-13, General Standards; Public Interest.

- a. **Zoning.** The proposed work conforms to the underlying zone district regulations and is in harmony with the general purposes and intent of the Cincinnati Zoning Code.

The underlying zoning is DD-C. The proposed work on the subject property is in harmony with the general intent of the Zoning Code.
- b. **Guidelines.** The proposed work conforms to any guidelines adopted or approved by Council for the district in which the proposed work is located.

The proposed work substantially conforms to the guidelines for the district.
- c. **Plans.** The proposed work conforms to a comprehensive plan, any applicable urban design or other plan officially adopted by Council, and any applicable community plan approved by the City Planning Commission.

This project conforms to the Over the Rhine Comprehensive Plan.
- d. **Traffic.** Streets or other means of access to the proposed development are suitable and adequate to carry anticipated traffic and will not overload the adjacent streets and the internal circulation system is properly designed.

Traffic will not be adversely impacted by the proposed project.
- e. **Buffering.** Appropriate buffering is provided to protect adjacent uses or properties from light, noise and visual impacts.

No buffering is required. No adverse impacts due to light, noise, and visual elements are anticipated.
- f. **Landscaping.** Landscaping meets the requirements of Chapter 1423, Landscaping and Buffer Yards.

This is not applicable.

- g. **Hours of Operation.** Operating hours are compatible with adjacent land uses.

This is not applicable.

- h. **Neighborhood Compatibility.** The proposed work is compatible with the predominant or prevailing land use, building and structure patterns of the neighborhood surrounding the proposed development and will not have a material net cumulative adverse impact on the neighborhood.

The proposed work is compatible with the use and patterns of the neighborhood and will not have an adverse impact on the neighborhood.

- i. **Proposed Zoning Amendments.** The proposed work is consistent with any proposed amendment to the zoning code then under consideration by the City Planning Commission or Council.

There are no proposed amendments under consideration that would impact this proposed project.

- j. **Adverse Effects.** Any adverse effect on the access to the property by fire, police, or other public services; access to light and air from adjoining properties; traffic conditions; or the development, usefulness or value of neighboring land and buildings.

There are no adverse impacts anticipated.

- k. **Blight.** The elimination or avoidance of blight.

This is not applicable.

- l. **Economic Benefits.** The promotion of the Cincinnati economy.

The proposed work may increase visibility of the YMCA and draw additional patrons from the community.

- m. **Job Creation.** The creation of jobs both permanently and during construction.

The proposed project may create temporary construction jobs.

- n. **Tax Valuation.** Any increase in the real property tax duplicate.

Property tax values may increase by making improvements to the property.

- o. **Private Benefits.** The economic and other private benefits to the owner or applicant.

The owner has an economic benefit to the proposed improvements.

- p. **Public Benefits.** The public peace, health, safety or general welfare.

There is no measurable detriment to public peace, health, safety or welfare as a result of this proposed project.

Standards for Variances per Section 1435-05-4

- (a) Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the Historic District of Historic Asset; or

The proposed projecting sign will not have an adverse effect on the historic architecture or aesthetic integrity of the Historic District. The sign will be placed in the same location as the previous sign, which was in existence since the 1950s.

- (b) Is necessary where the denial thereof would result in a deprivation of all economically viable uses of the property as viewed in its entirety. In making such a determination, the Historic Conservation Board may consider the factors set forth in Section 1435-09-2 (aa) to (ff).

While the denial of the requested variance would not deprive the property of all economically viable uses, the granting of the variance would increase the economic viability of the property by increasing visibility. It should be noted that very little additional signage will be located on the building, which is substantial in size.

Certificate of Appropriateness Review:

A Certificate of Appropriateness is required for the erection of a new projecting sign on a property in the Over-the-Rhine Historic District.

Based on the Conservation Guidelines outlined below, staff feels the proposed rehabilitation is generally appropriate in the Over-the-Rhine Historic District and substantially conforms to the applicable conservation guidelines.

Applicable Guidelines

REHABILITATION

B. SPECIFIC GUIDELINES

13. SIGNS: Signs should be designed for clarity, legibility and compatibility with the building or property on which they are located. Signs should be located above the storefront, on the storefront windows or on awnings and should not cover any architectural features. Signs should capitalize on the special character of the building and reflect the nature of the business.

Wall and projecting signs should be located above the storefront or first story and below the second story sills... Projecting signs should be no larger than 3 feet, 6 inches in width or height. Small projecting signs such as symbol signs are appropriate. Billboards and internally illuminated signs are not permitted. Neon signs may be approved on a case-by-case basis.

The proposed projecting sign will not detract from the character of the building, as it will be placed on the building corner and will not cover any architectural features. While the sign does not strictly comply with the guidelines in its location at the level of the fourth floor, the YMCA building has historically had signs at a higher level. Historic photographs from the 1920s show the original projecting sign at the level of the third floor. The original sign was larger than the newly proposed sign, and was lit with incandescent bulbs along the triangle and lettering (Figure 3).



Figure 3. Elm Street north of the Canal, facing south ca. 1920. Photo courtesy of UC Libraries.

The projecting sign that replaced the original sign was installed in the 1950s and included neon lighting and was placed at the location of the proposed projecting sign on the southeast corner of the building at the fourth floor (see Figure 2).

The proposed location is appropriate to the existing building. The YMCA building occupies an entire block in the Over-the-Rhine Historic District and was built on a grand scale. The larger size of the projecting sign is appropriate to the scale of the building and is historically accurate as the previous two projecting signs were larger than the newly proposed sign.

The proposed projecting sign will include brushed aluminum face with channel letters with acrylic faces. The acrylic will have small pinholes that will allow the lighting to shine through the face during night illuminating the letters as well as providing halo lighting. While the sign is more modern in design than the previous signs, it includes the current YMCA branding, and the brushed aluminum plays off the materials of the adjacent School for Creative and Performing Arts.

Staff feels the proposed sign is appropriate to the massing of the YMCA building and generally conforms to the conservation guidelines. While the location is higher on the façade than the guidelines recommend, the previous projecting signs were also located above the second story. Additionally, consultation with OHPO and NPS regarding historic tax credits necessitated the placement at the same location as the previous sign. While the size of the sign is generally larger than the guidelines recommend (5' H x 4.5' W compared to the recommended 3.5' H x 3.5' W), it is smaller than the previous signs, bringing it into greater compliance, and its location higher up on a building with substantial mass necessitates a slightly larger sign for better visibility.

Other Considerations:

Prehearing Results: A prehearing was held on June 29, 2016.

Comments Provided to Staff: N/A

Consistency with *Plan Cincinnati (2012)*:
“Sustain” Initiative Area “Preserve our built history”

Recommendation:

Staff recommends the Historic Conservation Board take the following actions:

I. ZONING RELIEF

- A. **APPROVE** the **Dimensional Variance** of 1.5 feet for a total of a 5 foot wide projecting sign as per plans submitted by Triumph Signs and Consulting and dated 5/30/2016 to allow:
 - a. A projecting sign 5' wide by 4.5' high.

- B. **APPROVE** the **Locational Variance** for a sign at the level of the fourth floor as per plans submitted by Triumph Signs and Consulting and dated 5/30/2016 to allow:
 - a. A projecting sign at the fourth floor on the SE corner of the building.

- C. **FINDING:** The Board makes this determination that per Section 1435-05-4:
 - (a) Such relief from literal implication of the Zoning Code will not be materially detrimental to the public health, safety and welfare or injurious to property within the district or vicinity where property is located; and
 - (b) Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the district.

II. CERTIFICATE OF APPROPRIATENESS

- 1. **APPROVE** a Certificate of Appropriateness for 1105 Elm Street per plans submitted by Triumph Signs and Consulting and dated 5/30/2016 including any revisions submitted for permit subject to staff review and approval.

- a) **FINDING:** The Board makes this determination per Section 1435-09-2:
 - (a) That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

APPLICATION FOR ZONING RELIEF

1. SUBJECT PROPERTY
 ADDRESS 1105 Elm Street Cincinnati OH 45202
 AUDITOR'S PARCEL ID(S) 007600010164
 BASE ZONING CLASSIFICATION DD-C
 ZONING OVERLAY (if applicable) _____

2. APPLICANT
 NAME Triumph Signs CONTACT PERSON (if legal entity) _____
 ADDRESS 490 Milford Parkway Milford OH 45150
 EMAIL lsumme@triumphsigns.com
 TELEPHONE 513-576-8090 RELATIONSHIP TO OWNER _____

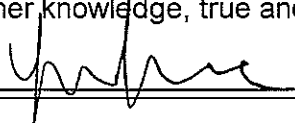
3. OWNER
 NAME Ymca of Greater Cincinnati CONTACT PERSON (if legal entity) _____
 ADDRESS 1105 Elm Street Cincinnati, OH 45202
 EMAIL klehr@cincinnatiymca.org
 TELEPHONE 513-362-2009

4. NATURE OF RELIEF REQUESTED (select all that apply)
 Variance
 Use Variance
 Special Exception
 Conditional Use
 Use Permit
 Expansion or Substitution of Nonconforming Use
 Hillside Overlay District Permission
 Urban Design Overlay District Permission
 DD District Phased Development Approval

5. BRIEF DESCRIPTION OF RELIEF REQUESTED (You may attach a statement to this application if the space provided is insufficient) see attached

6. SUMMARY OF REASONS WHY RELIEF SHOULD BE GRANTED. You must provide a written statement explaining how your project meets the standards for all relief requested. Separate instruction forms for preparing this statement are provided. If you fail to follow the instructions for requesting a variance, use variance, special exception, conditional use, use permit, certificate of appropriateness, expansion or substitution of nonconforming use, hillside overlay district permission, urban design overlay district permission, and/or DD district phased development approval, your application may be denied. see attached

7. SIGNATURE. The undersigned does hereby certify that the information provided in connection with this application is, to the best of his or her knowledge, true and correct.

Print Name Larren Summe Signature  Date 6/9/16

8. ADDITIONAL DOCUMENTATION SUBMISSION REQUIREMENTS. Submit three copies of the following documentation. If you fail to complete the application and provide all information requested, your application may be denied.

<input checked="" type="checkbox"/>	The written statement required in Section 6 above.
<input checked="" type="checkbox"/>	Survey plats, site plans, or other accurate drawings showing boundaries, dimensions, area, topography, and frontage of the property involved, as well as the location and dimensions of all structures existing and proposed from the nearest property lines. When landscaping is required by the zoning code, a landscaping plan must also be provided.
<input checked="" type="checkbox"/>	Plans, architectural drawings, photographs, elevations, specifications, and other detailed information depicting fully the exterior appearance of the existing and proposed construction, including parking and access, exterior lighting, landscaping, and signs involved in the application.
<input type="checkbox"/> NA	If the Hamilton County Auditor's official records do not list the applicant or owner as the owner of the property, a lease, contract to purchase, or other agreement demonstrating the applicant or owner's legal basis to seek the relief requested.
<input checked="" type="checkbox"/>	All other documents or information you intend to introduce at the hearing on this application.
<input checked="" type="checkbox"/>	A list of witnesses and expert witnesses who you expect to testify at the hearing on this application.
<input checked="" type="checkbox"/> J	A non-refundable application fee. The fee must be paid with a check made payable to "City of Cincinnati." Fees are as follows: \$500-use variances; \$300-all other relief.

To help avoid delays, it is strongly suggested that you present your application to neighboring property owners and any interested neighborhood community groups prior to the hearing on your application. This will give you a prior opportunity to address your neighbors' concerns or objections and can facilitate the approval of your application.

REMEMBER: YOU MUST PAY THE REQUIRED FEE AT THE TIME YOU SUBMIT YOUR APPLICATION. (\$500-USE VARIANCES; \$300-ALL OTHER RELIEF)

APPLICATION

HCB

HISTORIC
CONSERVATION
BOARD

CERTIFICATE OF APPROPRIATENESS

APPLICATION

BUILDING ADDRESS: 1165 Elm Street

DISTRICT NAME: DD-C
(if applicable)

OWNER NAME: Kathy Lehr

ADDRESS: 1105 Elm Street

EMAIL: klehr@cincinnatiymca.org

CONTRACTOR NAME: Triumph Signs

ADDRESS: 480 Milford Parkway, Milford

EMAIL: lsunome@triumphsigns.com

ARCHITECT NAME: Matthew Murcha

ADDRESS: 600 Vine Street

EMAIL: m.murcha@cr-architects.com

HCB USE ONLY

DATE RECEIVED BY HCB: _____

PERMIT/APD NO: _____

APP. COMPLETION DATE: _____

PHONE NO: 513-362-2009

PHONE NO: 513-576-8090

PHONE NO: 513-721-8080

IT IS YOUR RESPONSIBILITY TO NOTIFY THE URBAN CONSERVATOR IF ANY OF THIS INFORMATION CHANGES DURING THE PENDING REVIEW OF YOUR

WORK PROPOSED: (Describe type of work, existing conditions, and methods to be used, materials proposed)

<u>HCB USE ONLY</u>	
<input type="checkbox"/>	MINOR ALTERATION
<input type="checkbox"/>	NEW CONSTRUCTION
<input type="checkbox"/>	ADDITION
<input type="checkbox"/>	DEMOLITION
<input type="checkbox"/>	REHABILITATION
<input type="checkbox"/>	OTHER _____

The proposed sign is 4'6" x 5'0" - The Ymca logo sign that existed prior to the renovation was 5'0" x 5'5". The proposed sign will go in the same spot as the sign that existed prior to construction. The same mounting brackets will be used but a new mounting arm will replace the existing in the same location. See attach renderings for dimensions, materials & mounting details.

IN ORDER TO EXPEDITE HCB ACTION, PLEASE ATTACH ADDITIONAL INFORMATION, IF AVAILABLE, AS MAY BE APPROPRIATE. LIST ANY INFORMATION ATTACHED: (Elevations, site plans, specifications, photos, material samples, additional drawings or written matter)

See attach renderings

Attach a letter explaining the justification for the issuance of the desired Certificate of Appropriateness. Be advised that the burden of proof is on the applicant.

***INSTRUCTIONS FOR APPLICATIONS REQUESTING A
CONDITIONAL USE APPROVAL***

Applicants requesting a conditional use approval must demonstrate through credible testimony, documentary evidence or written statements how their proposed project meets the standards outlined in Cincinnati Municipal Code 1445-13 AND Cincinnati Municipal Code 1445-05 and 1445-21. Applications that are not supported by testimony, documentary evidence or written statements are subject to disapproval.

As required by Section 6 of the Zoning Hearing Examiner Application, applicants must provide a written statement explaining how their proposed project meets the following standards for a conditional use approval:

1. To meet the standard outlined in Cincinnati Municipal Code 1445-13, an applicant must show that the proposed project “is in the public interest.” A list of factors considered by the Zoning Hearing Examiner to determine whether the proposed project “is in the public interest” is found in Cincinnati Municipal Code 1445-13.

AND

2. To meet the standard outlined in Cincinnati Municipal Code 1445-05 and 1445-21, an applicant must show:
 - a. the conditional use is specifically listed in the applicable zoning district use regulations;
 - b. the project meets any limitations specifically listed in the applicable zoning district use regulations; and
 - c. the project’s location, design, configuration and special impact on the area will prevent or limit potential adverse effects on the immediate neighborhood.

Brief Description of Relief Requested

The YMCA of Greater Cincinnati is requesting size and location relief for the proposed exterior, internally illuminated building sign. The proposed sign will go in the same location on the building, located at 1105 Elm Street, as the previous building sign and smaller in size than the previous sign. The previous sign was removed during building renovation.

Summary of Reasons Why Relief Should Be Granted

The dimensions of the previous building sign are 5'0" W x 5'6" H. The proposed building sign is 4'6" H x 5'0" W. The previous internally illuminated building sign required lighting maintenance at the time of removal. The proposed sign will require less maintenance than the existing sign. The proposed LED lighting in the sign will decrease maintenance (and maintenance cost) and increase energy efficiency versus the neon lighting in the previous sign. The proposed sign aesthetically correlates with the YMCA building, the YMCA brand and the surrounding urban neighborhood. The previous sign is not appropriate for the new renovation or neighborhood because of its face deterioration and the neon was not operating. Triumph Signs provided the YMCA with a quote to repair the damaged neon and restore the sign. This quote was significantly higher than the quote to manufacture the proposed sign. Should the YMCA have moved forward with the maintenance and restoration of the existing sign, it would have been required that this sign be removed from site for the re-face.

List of Witnesses and Expert Witnesses

Elizabeth Thieme: Triumph Signs and Consulting, INC.

Lauren Summe: Triumph Signs and Consulting, INC.

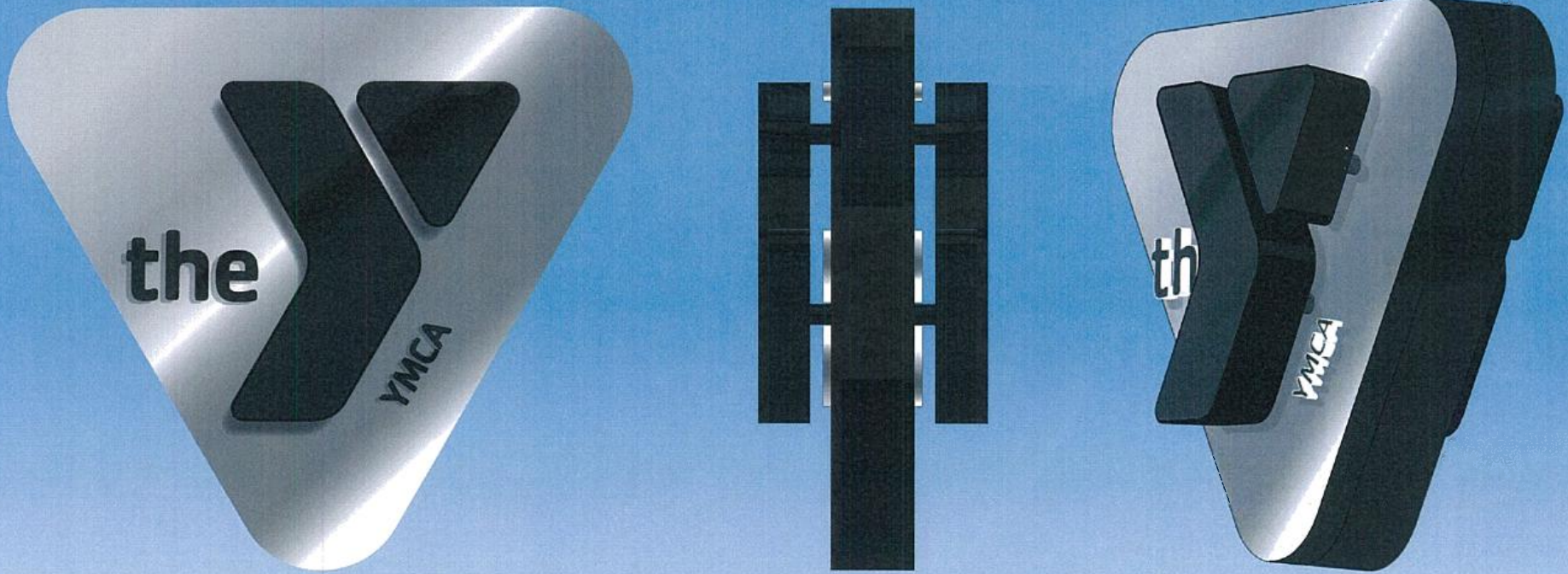
Joe Smallwood: Triumph Signs and Consulting, INC.

Kathy Lehr: YMCA of Greater Cincinnati

Matt Murtha: CR Architects

Brandy Delfavero: 3CDC

- ALUMINUM CONSTRUCTED CABINET, "SHOE-BOX" STYLE BRUSHED ALUMINUM FINISHED FACE W/1" FLUSH RETURNS
- 3/4" (1/2" EXPOSURE) CLEAR ACRYLIC PUSH THRU LETTERING PERFERATED BLACK VINYL APPLIED FIRST SURFACE ("YMCA", "THE")
- "Y" IS ALUMINUM CONSTRUCTED CHANNEL LETTERS W/ ACRYLIC FACES PERFERATED BLACK VINYL APPLIED FIRST SURFACE




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START DATE: 5/30/16 SCALE: proportional

DESIGNED BY: PO APPROVED BY: _____

REVISION DATES:

1. _____	4. _____
2. _____	5. _____
3. _____	6. _____

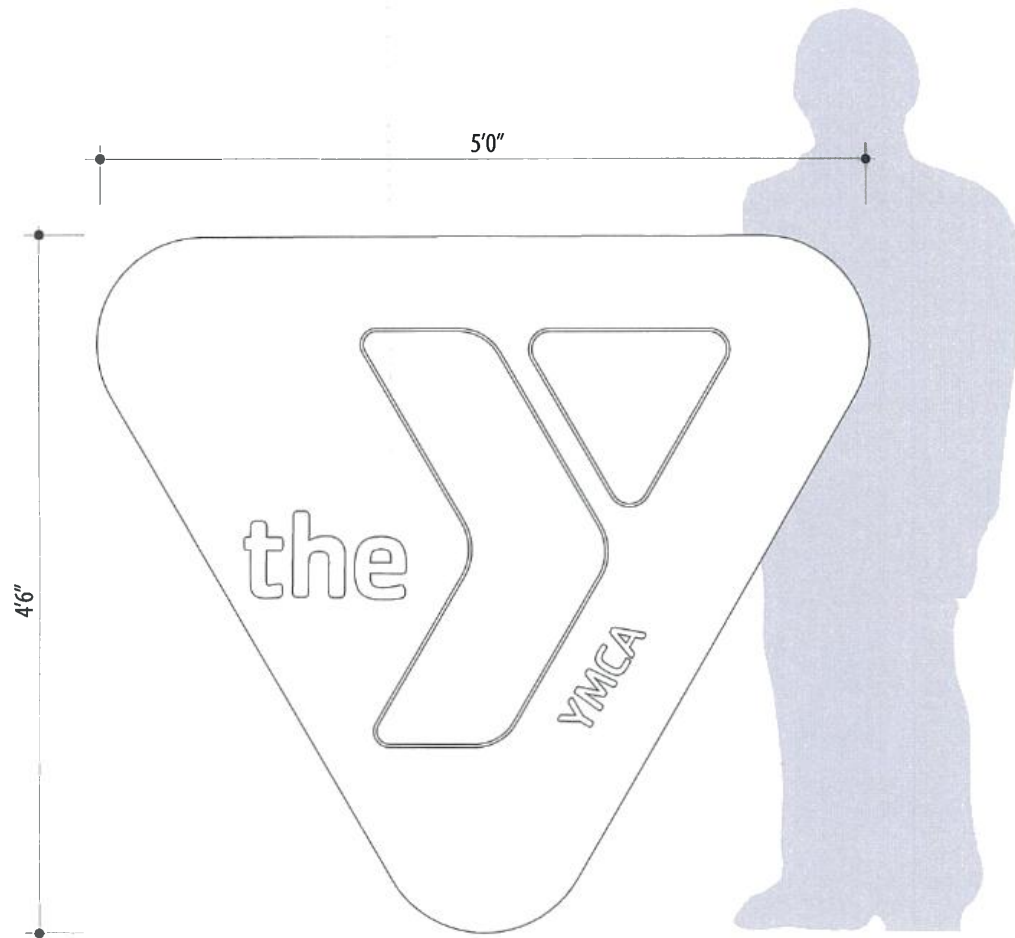
PERMITTING

COMPANY NAME: YMCA Central PKWY.

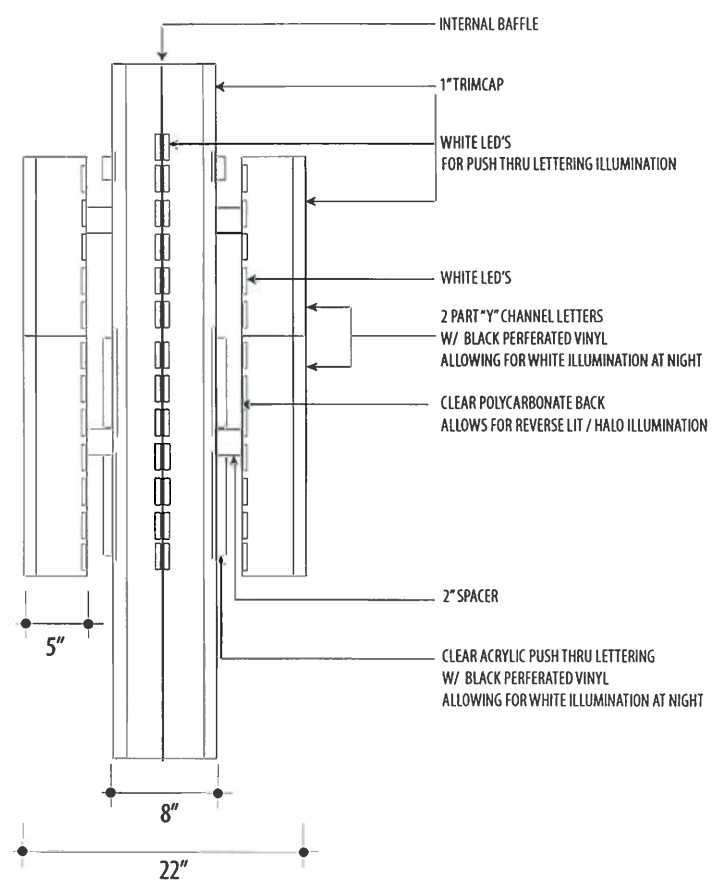
ADDRESS: 1105 Elm Street, Cincinnati, OH 45202

CONTACT INFO: _____

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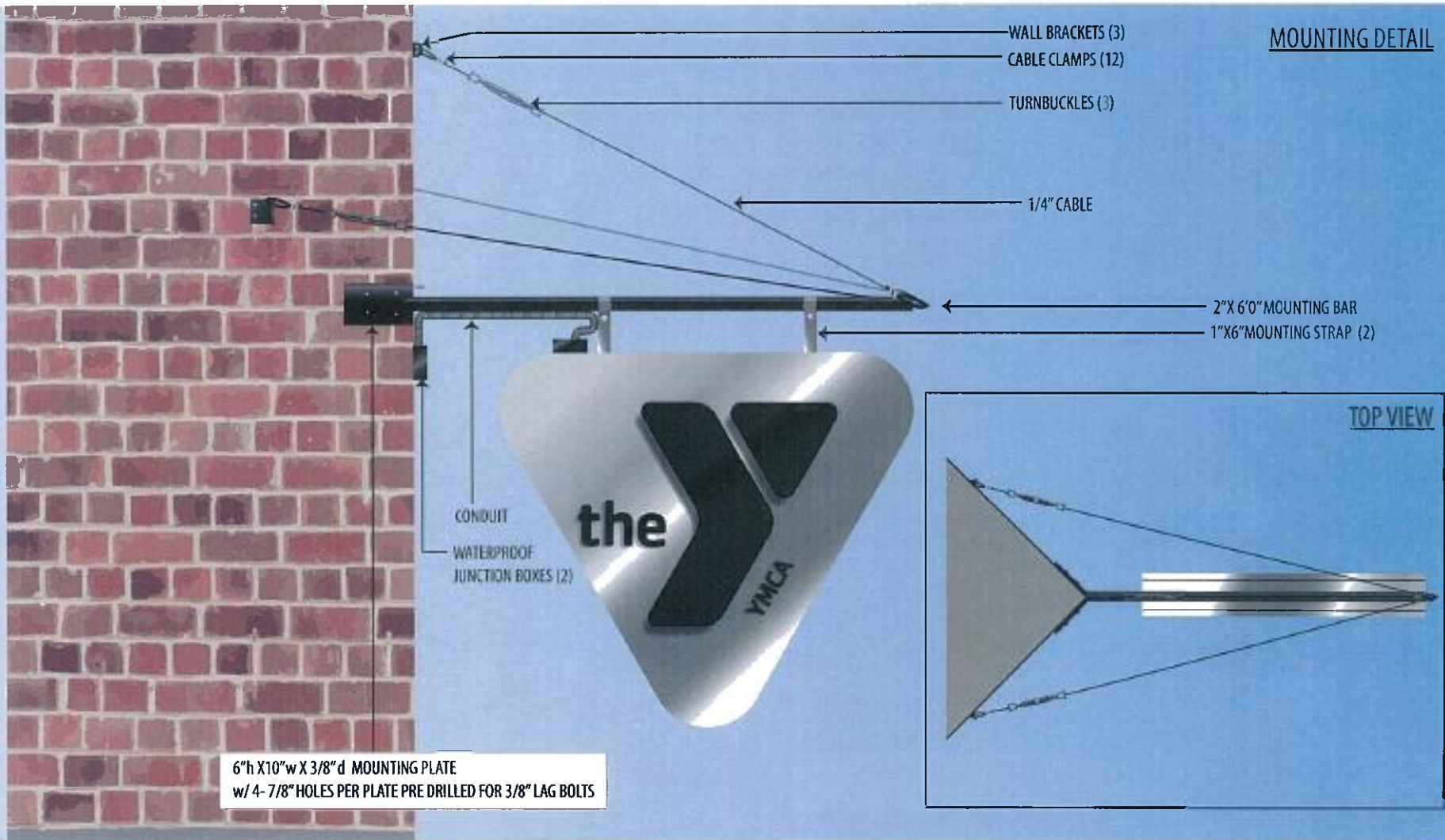
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ADDRESS: 1105 Elm Street, Cincinnati, OH 45202

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MOUNTING DETAIL



WALL BRACKETS (3)

CABLE CLAMPS (12)

TURNBUCKLES (3)

1/4" CABLE

2" X 6" 0" MOUNTING BAR

1" X 6" MOUNTING STRAP (2)

CONDUIT
WATERPROOF
JUNCTION BOXES (2)

TOP VIEW

6" h X 10" w X 3/8" d MOUNTING PLATE
w/ 4- 7/8" HOLES PER PLATE PRE DRILLED FOR 3/8" LAG BOLTS



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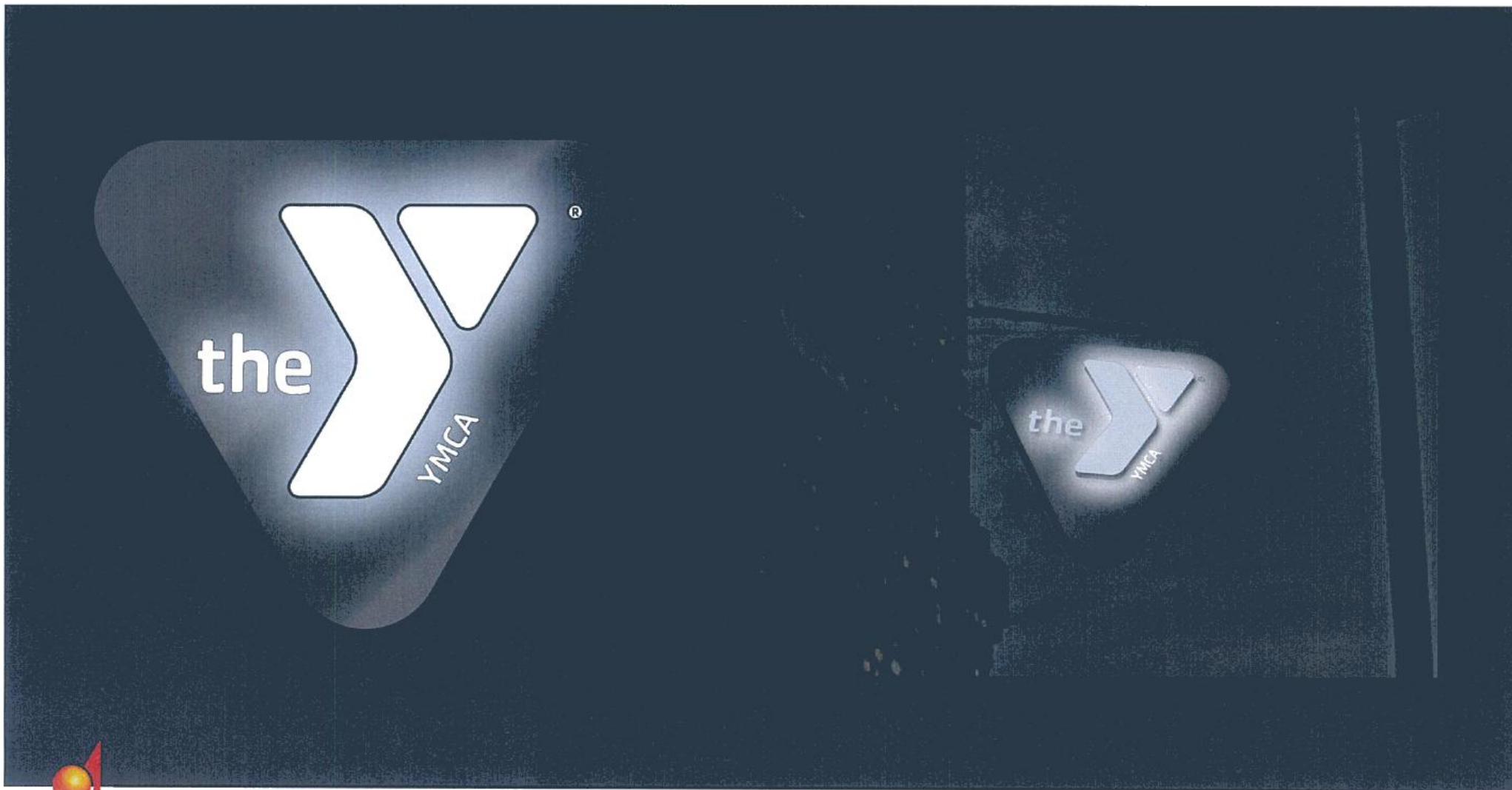
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REVISION DATES:

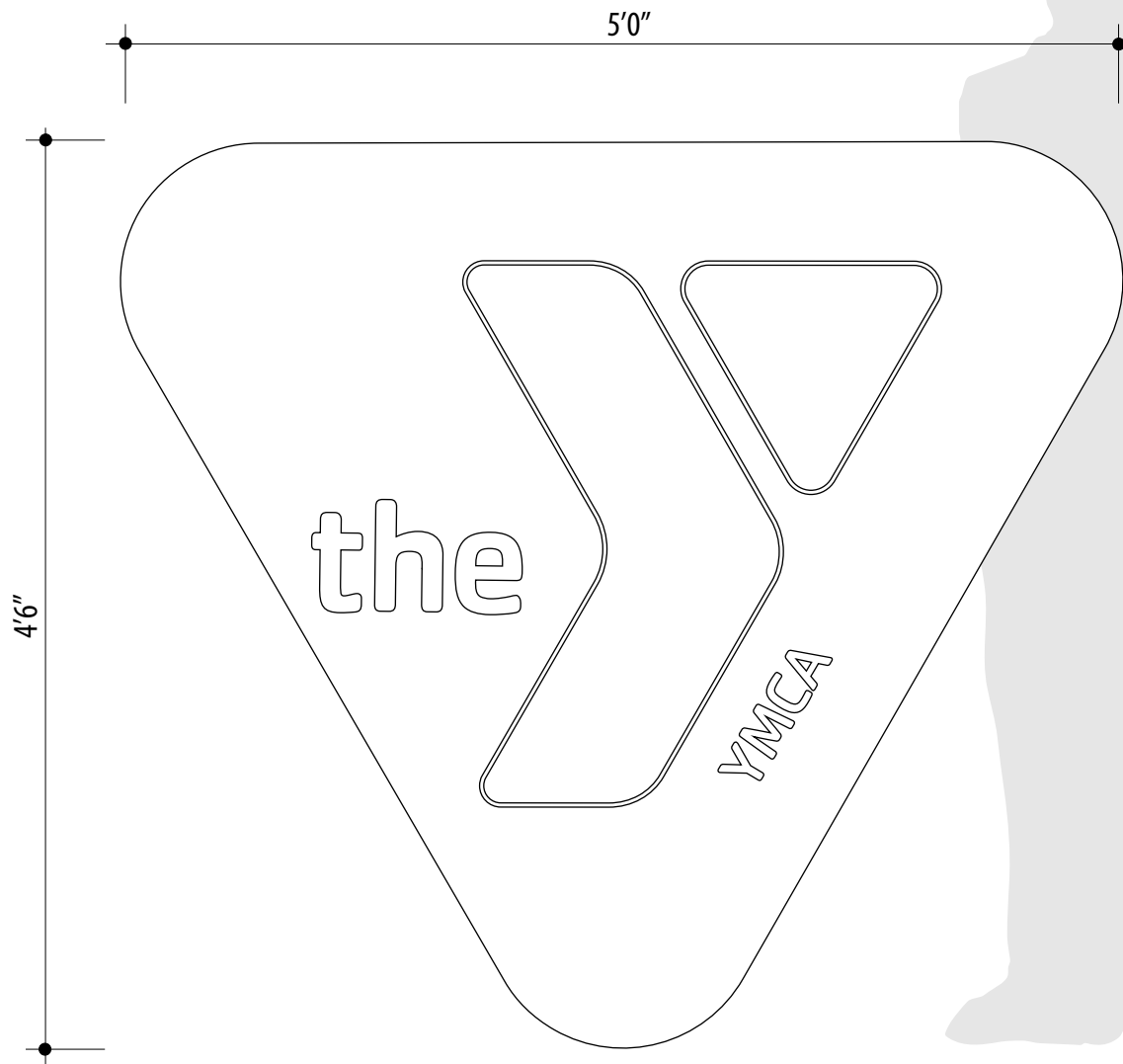
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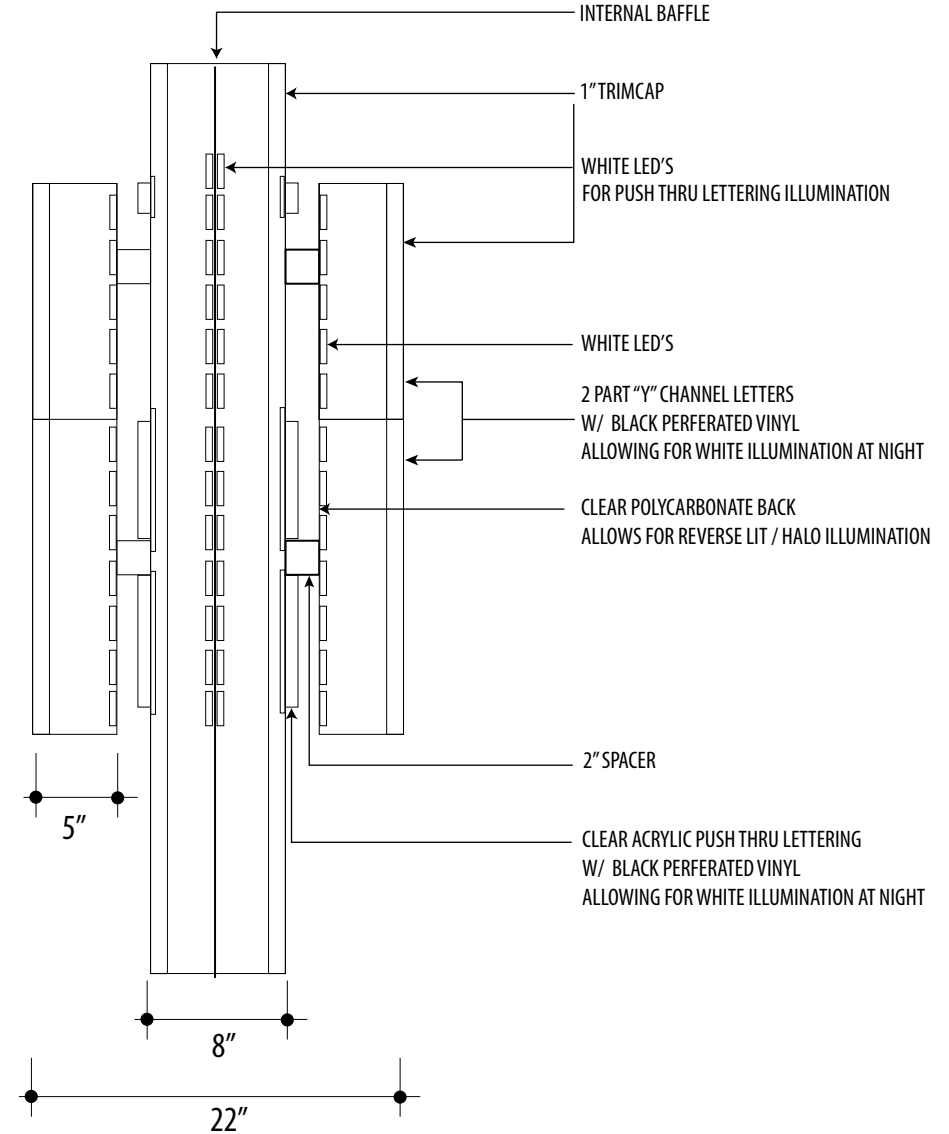
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CONTACT INFO: _____



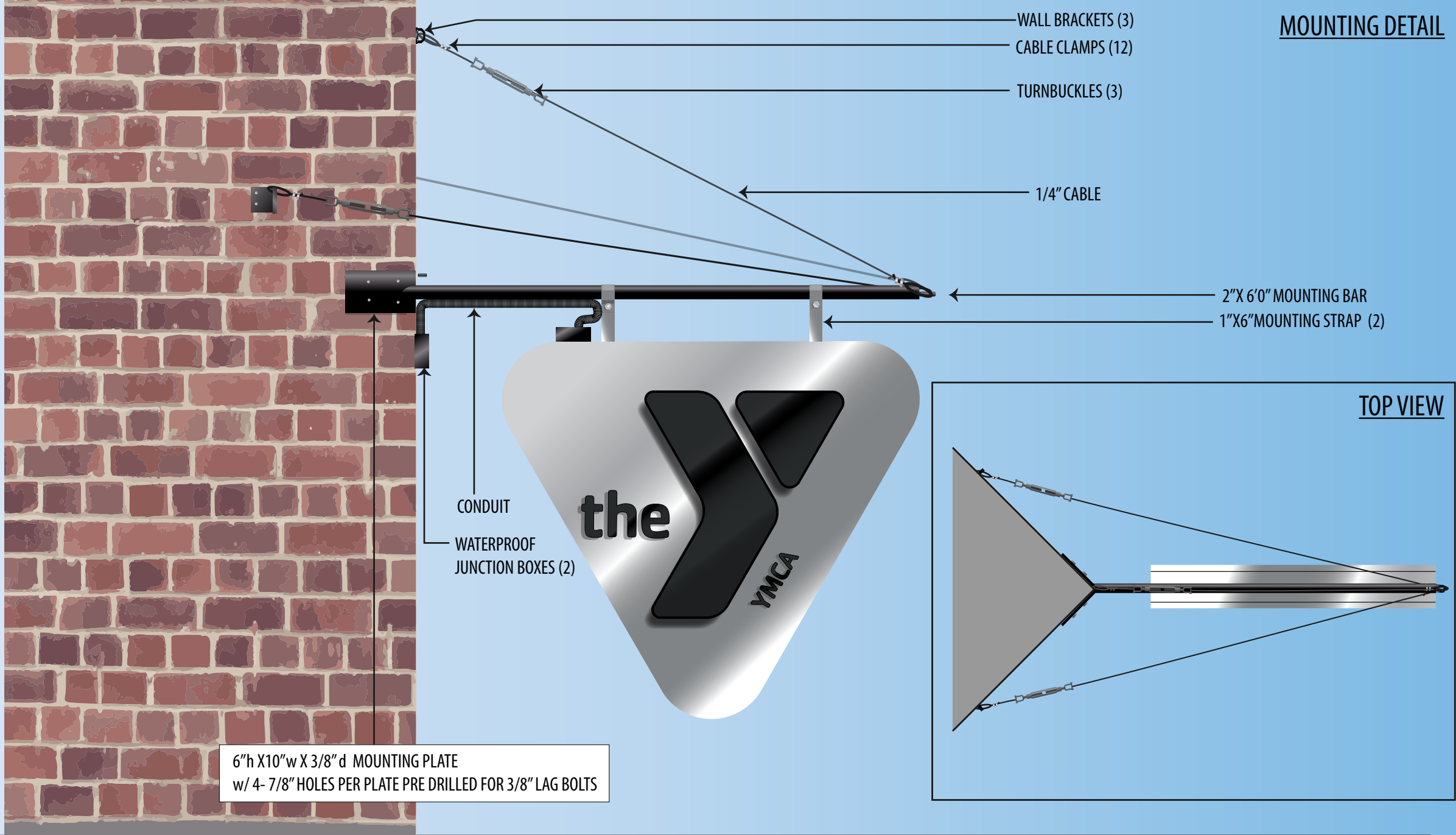
FACE HALO LIT OPTION



REVISION DATES:	
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PERMITTING

MOUNTING DETAIL



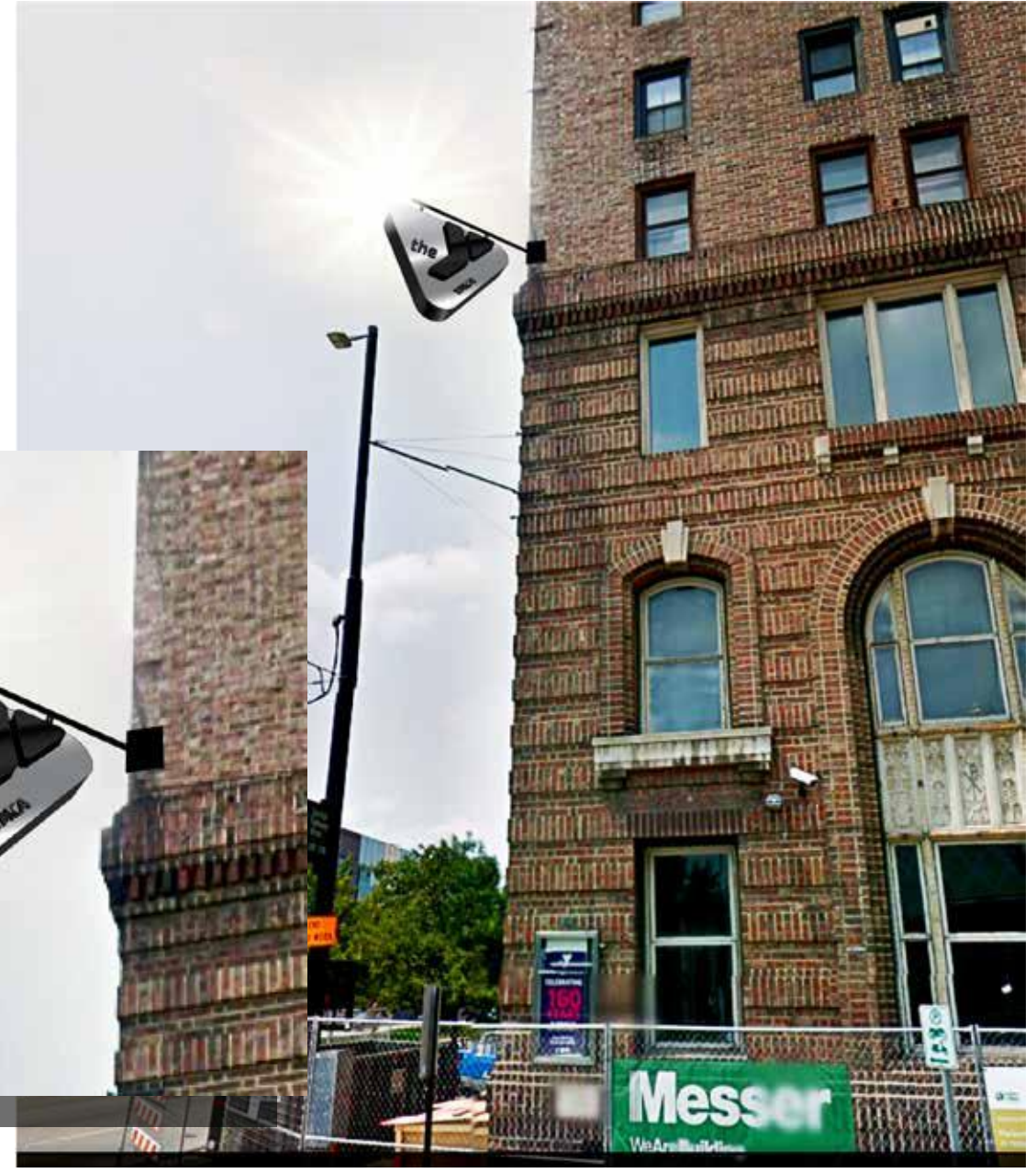
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PERMITTING

COMPANY NAME: YMCA Central PKWY.

ADDRESS: 1105 Elm Street, Cincinnati, OH 45202

CONTACT INFO: _____

**APPLICATION FOR SPECIAL EXCEPTION
HISTORIC CONSERVATION BOARD PUBLIC HEARING
STAFF REPORT**

APPLICATION #: ZH20160090
APPLICANT: Platte Design
OWNER: 1131 Broadway LLC
ADDRESS: **1131 Broadway Street**
PARCELS: 075-0001-0233-00
ZONING: CC-P
OVERLAYS: Over-the-Rhine Historic District
COMMUNITY: Pendleton
REPORT DATE: July 11, 2016
HEARING DATE: July 25, 2016
STAFF REVIEW: Douglas Owen, Zoning Plan Examiner

Nature of Request:

The applicant is requesting Zoning Relief for a Special Exception for the terms of the covenant arrangement for off-site parking per Section 1425-15(c). Off-site parking will be provided within 600 feet of the subject property through a long-term lease to be in effect for the life of the establishment. A Special Exception is required to replace the required covenant with a long-term lease. The applicant has also requested a 50% parking reduction from the Zoning Administrator per Section 1425-23(a).

Existing Conditions:

The subject property is situated on the southwest corner of Broadway and E. 12th Street. There is a combination of vacant land and historic buildings in the area. The one story building is a ca. 1902 commercial garage building with a stone foundation, brick bearing walls, and a parapet roof. The property received approval for a Certificate of Appropriateness for alterations to the building and Approval for conditional use for outdoor dining and entertainment on February 22, 2016 (ZH20160010). The approval was conditioned upon the "recording of a covenant for off-street parking for 20 parking spaces upon the owner's adjacent parking facility meeting the requirements of Section 1425-25(c) prior to the issuance of any building permits." A 50% reduction in the parking requirement was not originally requested.

Proposed Conditions:

The applicant is proposing a long-term lease for the life of the establishment, rather than the required covenant. The applicant is proposing to provide 12 off-street parking spaces at a lot within 600 feet of the establishment. Per Section 1425-19, 23 parking spaces are required. A 50% reduction in required parking has been granted by the Zoning Administrator per Section 1425-23(a), resulting in 12 required parking spaces.

Previous Reviews: February 22, 2016 (ZH20160010)

Applicable Zoning Code Sections:

Zoning District: [Section 1405](#) CC-P District
Variance Request: [Section 1425-15](#) Location of Parking
Variance Authority: [Section 1445-07](#) HCB authority: [Section 1435-05-4](#)
Variance Standard: [Section 1445-13](#) General Standards: Public Interest
[Section 1445-15](#) Standards for Variances
Overlays: [Section 1435](#) Historic Preservation
Historic District/Reg: [Over the Rhine Historic District](#)
COA Standard: [Section 1435-09-2](#) Certificate of Appropriateness;
Standard of Review

Details of Zoning Relief Required:

The applicant and/or owner(s) are requesting a **Special Exception** to Section 1425-15(c)(3) regarding how required off-site parking shall be established and maintained.

- The project is in violation of **Section 1425-15(c)(3)** of Cincinnati Zoning Code, which requires a covenant or reciprocal easement for off-site parking.
- The applicant requires a Special Exception to allow for the following parking solution as conditioned below:
 - Property owner shall control the rights to at least **12** parking spaces within 600 feet of the property during normal working hours for the life of the project.
 - Property Owner shall initially demonstrate control for a period of at least 15 years and maintain documentation of such rights in a form approved by the City Solicitor. Said documentation shall be provided to the City of Cincinnati at any time within 3 business days of being requested to do so.
 - Such control shall be established prior to issuance of the first Certificate of Occupancy.
 - Termination or substitution of control shall be upon the prior written consent of the City. Such consent would not be withheld if an equivalency of parking spaces is provided or subsequent legislative actions reduce or eliminate the parking requirement.

Zoning Analysis:

Below is analysis of the consideration factors for all of the requested zoning actions, utilizing Section 1445-13, General Standards; Public Interest.

- a. **Zoning.** The proposed work conforms to the underlying zone district regulations and is in harmony with the general purposes and intent of the Cincinnati Zoning Code.
The underlying zoning is CC-P. The proposed use of the subject property conforms to the underlying zone district regulations and is in harmony with the general intent of the Zoning Code.
- b. **Guidelines.** The proposed work conforms to any guidelines adopted or approved by Council for the district in which the proposed work is located.
The proposed work conforms to the guidelines for the district.

- c. **Plans.** The proposed work conforms to a comprehensive plan, any applicable urban design or other plan officially adopted by Council, and any applicable community plan approved by the City Planning Commission.
This project conforms to the Over the Rhine Comprehensive Plan.
- d. **Traffic.** Streets or other means of access to the proposed development are suitable and adequate to carry anticipated traffic and will not overload the adjacent streets and the internal circulation system is properly designed.
Traffic will not be impacted by the proposed project. Providing 12 off-street parking spaces will help to remove cars from the street during operating hours of the establishment.
- e. **Buffering.** Appropriate buffering is provided to protect adjacent uses or properties from light, noise and visual impacts.
Not applicable to this request.
- f. **Landscaping.** Landscaping meets the requirements of Chapter 1423, Landscaping and Buffer Yards.
Not applicable to this request.
- g. **Hours of Operation.** Operating hours are compatible with adjacent land uses.
Hours of operation are compatible with adjacent land uses.
- h. **Neighborhood Compatibility.** The proposed work is compatible with the predominant or prevailing land use, building and structure patterns of the neighborhood surrounding the proposed development and will not have a material net cumulative adverse impact on the neighborhood.
The proposed parking arrangement is compatible with the use and patterns of the neighborhood and will not have an adverse impact on the neighborhood.
- i. **Proposed Zoning Amendments.** The proposed work is consistent with any proposed amendment to the zoning code then under consideration by the City Planning Commission or Council.
There are no proposed amendments under consideration that would impact this proposed project.
- j. **Adverse Effects.** Any adverse effect on the access to the property by fire, police, or other public services; access to light and air from adjoining properties; traffic conditions; or the development, usefulness or value of neighboring land and buildings.
There are no adverse impacts anticipated as off-street parking will be provided.
- k. **Blight.** The elimination or avoidance of blight.
Not applicable to this request.
- l. **Economic Benefits.** The promotion of the Cincinnati economy.
The proposed parking arrangement is necessary for the establishment of the proposed business as no parking is available on-site. The restaurant will increase property taxes of this parcel and nearby properties.

- m. **Job Creation.** The creation of jobs both permanently and during construction.
Not applicable to this request.
- n. **Tax Valuation.** Any increase in the real property tax duplicate.
The proposed parking arrangement is necessary for the establishment of the proposed business as no parking is available on-site. Property tax values will increase by adding a viable business to a vacant space.
- o. **Private Benefits.** The economic and other private benefits to the owner or applicant.
The owner has an economic benefit to the proposed establishment.
- p. **Public Benefits.** The public peace, health, safety or general welfare.
There is no measurable detriment to public peace, health, safety or welfare as a result of the proposed work.

Standards for Special Exceptions and Conditional Uses per Section 1435-05-4

- (a) Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the Historic District of Historic Asset; or

The proposed work will not have an adverse effect on the historic architecture or aesthetic integrity of the Historic District. Work to the physical building at 1131 Broadway has been previously approved by the Historic Conservation Board (see ZH20160010) and the present request is only for the off-site parking arrangement.

- (b) Is necessary where the denial thereof would result in a deprivation of all economically viable uses of the property as viewed in its entirety. In making such a determination, the Historic Conservation Board may consider the factors set forth in Section 1435-09-2 (aa) to (ff).

The denial of the requested Special Exception would deprive the property of all economically viable uses, as the conversion of the long-vacant building to an eating/drinking establishment is contingent upon providing the required number of off-street parking spaces.

Certificate of Appropriateness Review:

A Certificate of Appropriateness is not required for this project as no new work is proposed for the exterior of the property. Exterior work was approved on February 22, 2016 under ZH20160010.

Other Considerations:

N/A

Prehearing Results: A Prehearing was held on June 29, 2016.

Comments Provided to Staff: N/A

Consistency with *Plan Cincinnati (2012)*:
“Sustain” Initiative Area “Preserve our built history”

Recommendation:

Staff recommends the Historic Conservation Board take the following actions:

I. ZONING RELIEF

- A. **APPROVE** the **Special Exception** request regarding how required off-site parking shall be established and maintained.
 - a. Property owner shall control the rights to at least **12** parking spaces within 600 feet of the property during normal working hours for the life of the project.
 - b. Property Owner shall initially demonstrate control for a period of at least 15 years and maintain documentation of such rights in a form approved by the City Solicitor. Said documentation shall be provided to the City of Cincinnati at any time within 3 business days of being requested to do so.
 - c. Such control shall be established prior to issuance of the first Certificate of Occupancy.
 - d. Termination or substitution of control shall be upon the prior written consent of the City. Such consent would not be withheld if an equivalency of parking spaces is provided or subsequent legislative actions reduce or eliminate the parking requirement.

- B. **FINDING:** The Board makes this determination that per Section 1435-05-4:
 - a. Such relief from literal implication of the Zoning Code will not be materially detrimental to the public health, safety and welfare or injurious to property within the district or vicinity where property is located; and
 - b. Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the district.

Pendleton

142515(c) - SE
1425-07

APPLICATION FOR ZONING RELIEF

1. SUBJECT PROPERTY
 ADDRESS 1131 BROADWAY ST.
 AUDITOR'S PARCEL ID(S) 075-0001-0233-00
 BASE ZONING CLASSIFICATION CC-P
 ZONING OVERLAY (if applicable) ~~MMHA~~ OTR HISTORIC DISTRICT

2. APPLICANT
 NAME PLATTE DESIGN CONTACT PERSON (if legal entity) AMY LYNCH
 ADDRESS 202 W. ELDER CINTI, OH 45202
 EMAIL AMY@PLATTEDESIGN.COM
 TELEPHONE (513) 871-1850 x1009 RELATIONSHIP TO OWNER DESIGNER


3. OWNER
 NAME 1131 BROADWAY LLC CONTACT PERSON (if legal entity) JOE LEVINE
 ADDRESS 324 READING RD CINTI, OH 45202
 EMAIL LEVINEJRL@HOTMAIL.COM
 TELEPHONE 513-348-7251

4. NATURE OF RELIEF REQUESTED (select all that apply)
 Variance Use Variance Special Exception Conditional Use Use Permit
 Expansion or Substitution of Nonconforming Use Hillside Overlay District Permission
 Urban Design Overlay District Permission DD District Phased Development Approval

5. BRIEF DESCRIPTION OF RELIEF REQUESTED (You may attach a statement to this application if the space provided is insufficient)
PARKING VARIANCE... REDUCTION OF TIME FRAME REQ.
FOR PARKING FROM "PERMANENT COVENANT" TO "LEASE
FOR PARKING SPACES W/TERM EQUAL TO LIFE OF THE BUSINESS".

6. SUMMARY OF REASONS WHY RELIEF SHOULD BE GRANTED. You must provide a written statement explaining how your project meets the standards for all relief requested. Separate instruction forms for preparing this statement are provided. If you fail to follow the instructions for requesting a variance, use variance, special exception, conditional use, use permit, certificate of appropriateness, expansion or substitution of nonconforming use, hillside overlay district permission, urban design overlay district permission, and/or DD district phased development approval, your application may be denied.

7. SIGNATURE. The undersigned does hereby certify that the information provided in connection with this application is, to the best of his or her knowledge, true and correct.

Print Name AMY LYNCH Signature  Date 5/19/16

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WWW.PLATTEDESIGN.COM T: 513.871.1850 | F: 513.871.1829

May 19, 2016

Re: Zoning Variance - Parking

1131 Broadway Street

Lucius Q BBQ Restaurant

To the Members of the Historic Conservation Board of Cincinnati:

Thank you for taking time to look at our proposed project at 1131 Broadway Street. For this project we are requesting a zoning variance for the required parking.

1425-19. - Off-Street Parking and Loading Requirements:

...Off-street parking and loading facilities must be made permanently available to the use served...

Commercial uses located in Commercial, Office, and Manufacturing zoning districts are entitled to an exemption from the parking requirements as follows:

- (a) Commercial Uses in the CN-P and CC-P Zoning Districts. The first 2,000 square feet of gross floor area of existing and new commercial uses are exempted from the off-street parking requirements.

Schedule 1425-19-A: Off-Street Parking and Loading Requirements:

Use Classification: *Restaurants, full service*

Required Parking: *1 for every 150 sq. ft.*

1425-23. - Reduced Parking.

The Zoning Administrator may grant a reduction in the number of spaces to less than that specified in Schedule 1425-19-A for the following:

Proximity to Public Parking Facilities. In the O, C, UM, and M Districts, where a use is located within 600 feet of a public parking facility, either publicly or privately owned and operated and the facility could provide 50 percent or more of the parking spaces required for the use, the director may approve a 50 percent reduction in the parking requirements for the use.

The gross square footage of this development is 5501 sf. Therefore, we are required to provide 12 parking spaces with the 50% reduction.

The zoning code requires that these parking spaces be provided with a covenant which dedicates these spaces forever.

We are requesting zoning relief from this requirement which would reduce it from an eternal covenant, to a temporary lease which would last for the life of the business. The proposed lease language is included herein.

We do not request a reduction in the number of spaces beyond the 50% reduction presently allowed in the code.

Per 1445-16 of the Cinti. Municipal Code, we propose that this variance be granted because:

- The granting of the variance will not adversely affect the rights of adjacent property owners or residents;
- The granting of the variance will not adversely affect the community character, public health, safety or general welfare;
- The variance will be consistent with the general spirit and intent of the Zoning Code or the Land Development Code, as applicable; and
- The variance sought is the minimum that will afford relief to the applicant.

Thank you for your time and consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'Amy Lynch', with a long horizontal line extending to the right.

Amy Lynch, Project Manager

PARKING LOT LEASE AGREEMENT

THIS PARKING LOT LEASE AGREEMENT ("Agreement") is entered into effective as of the ____ day of May, 2016 between **OWNER** a ***** limited liability company, having an address of 324 Reading Road, Cincinnati, Ohio 45202 ("Landlord"), and **TENANT**, an **Ohio** limited liability company, with an address of ADDRESS ("Tenant"), under the following circumstances:

A. Landlord is the owner of certain real property more particularly described in Exhibit A attached hereto and made a part hereof which consists of a surface parking lot (the "Parking Lot").

B. Tenant is contemporaneously herewith leasing certain real property from Landlord certain real property more particularly described in Exhibit B attached hereto and made a part hereof which consists of a commercial building (the "Restaurant Property").

C. Tenant desires to commence an eating and drinking establishment use (the "Tenant's Use") on the Restaurant Property for which the City of Cincinnati Department of Buildings and Inspections requires off-site parking before the City of Cincinnati will grant the necessary permits and approvals to commence the Tenant's Use.

D. Landlord is willing to lease the Parking Lot to Tenant on the terms and conditions contained in this Agreement in order for Tenant to obtain the necessary permits and approvals from the City of Cincinnati for the Restaurant Property and Tenant's Use.

NOW, THEREFORE, in consideration of the preceding premises, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Landlord and Tenant hereby agree as follows:

1. Grant of Lease. Landlord hereby leases to Tenant the Parking Lot for the purposes of (i) parking within the parking stalls now or hereafter constructed on the Parking Lot, and (ii) vehicular and pedestrian ingress and egress over the Restaurant Property to and from the public right-of-way known as *****Street for purposes of accessing the parking stalls. The lease rights granted herein shall be for the exclusive use of not fewer than ***** (**) parking stalls in the Parking Lot, which parking stalls shall be designated by Landlord and may be changed by Landlord at any time in Landlord's sole discretion, provided that Tenant shall always have exclusive use to at least ***** (**) parking stalls.

2. Term. The term of this Agreement will begin on _____ and shall end on _____ (the "Term").

3. Rent. Commencing on _____, and continuing on the first day of each calendar month thereafter during the Term, Tenant shall pay monthly rent in the amount of _____.

4. Use. Tenant shall use the premises solely for the purposes of a parking lot subject to the provisions of applicable law. In using the Parking Lot, Tenant shall comply with all applicable laws; shall commit no waste; shall not unreasonably interfere with the operations of Landlord or neighboring owners or tenants. Tenant shall not assign or sublet the Parking Lot in whole or in part without Landlord's prior written consent.

5. Compliance with Governmental Regulations. Tenant shall, at its sole cost and expense, comply with all of the requirements of all municipal, state and federal authorities now in force, or which may hereafter be in force, pertaining to the Parking Lot, and shall faithfully observe in the use of the Parking Lot all municipal ordinances and state and federal statutes now in force or which may hereafter be in force. The judgment of any Court of competent jurisdiction, or the admission of Tenant in any action or proceeding against Tenant, whether Landlord be a party thereto or not, that Tenant has violated any such ordinance or statute pertaining to the Premises, shall be conclusive of that fact as between Landlord and Tenant.

Tenant hereby accepts the Parking Lot in the condition existing as of the date of occupancy, subject to all applicable zoning, municipal, county and state laws, ordinances, rules, regulations, orders, restrictions of record, and requirements in effect during the Term or any part of the Term hereof regulating the Parking Lot.

6. Insurance. Landlord and Tenant will each continuously maintain policies of commercial general liability insurance providing coverage against any claims arising out of or relating to their respective negligent acts or omissions in connection with the use, operation, maintenance, repair or replacement of the Parking Lot or the improvements located thereon. Such insurance will have minimum limits of \$1,000,000.00, shall be issued by insurance companies licensed to do business in the State of Ohio and shall name the other party as an additional insured with respect to this location. Landlord and Tenant will each provide the other a certificate of their liability coverage as specified herein within fifteen (15) days of the other's request, but not more than two (2) times annually, unless the insurance coverage is cancelled or expires more frequently.

7. Indemnification. Landlord and Tenant will indemnify, defend and hold each other harmless from and against all claims, liabilities, costs and expenses, including but not limited claims for property damage or injury to or death of persons, arising out of or relating to their respective negligent acts or omissions in connection with the use, operation, maintenance, repair or replacement of the Parking Lot.

8. Damage and Destruction. If the Parking Lot is damaged in whole or in substantial part by casualty, Landlord shall have the option to terminate this Agreement upon giving written notice to the Tenant. If this Agreement is so terminated, all rent shall cease as of the date of the notice of termination. If the damage is not substantial, or if the Landlord does not exercise the right to terminate this Agreement, Landlord shall promptly repair the damage and the rent shall be equitably abated until the Parking Lot or such damaged portion can be fully utilized by Tenant.

Tenant shall not commit, or suffer to be committed, any waste or nuisance upon the Parking Lot. If said waste or nuisance is not remedied to the Landlord's satisfaction within thirty (30) days of written notice, then Tenant will be in default of this Agreement. Any consequences of abating the waste will be borne by the Tenant and are in no way the responsibility of the Landlord.

9. Maintenance of Parking Lot. Landlord shall maintain the Parking Lot and the parking lot improvements installed thereon by Landlord in good working order and condition, and shall provide for the regular sealing, re-striping and re-surfacing of the same and for periodic filling of potholes, as may be reasonably required from time to time to keep the parking lot in such condition. Landlord will regularly sweep and remove debris from the parking lot and keep the parking lot free from unreasonable accumulations of ice and snow. Notwithstanding any other provision of this Agreement to the contrary, Tenant shall be responsible for any repairs or replacements necessary for the pavement or other improvements located on the Restaurant Property damaged as a result of the negligent or extraordinary use of the Parking Lot by Tenant or its contractors, agents, employees or invitees.

10. Reservation of Landlord Rights. Landlord reserves all other rights accruing from the ownership of the Parking Lot, including the right to engage in and permit or invite others to engage in all uses of the Parking Lot that are not inconsistent with the purposes of this Agreement. Specifically, Landlord shall have the right to use the Parking Lot and the parking stalls not designated for use by Tenant by virtue of the Easement. Except for the rights granted under this Agreement, the Tenant shall not use any other portion of the Parking Lot for any purpose, including but not limited to those parking stalls not designated for use by Tenant pursuant to this Agreement. Nothing contained in this Agreement shall be construed as a dedication of the portion of the Parking Lot subject hereto to public use.

11. Default. If any payment provided in this Agreement should become in arrears, or there is any breach or violation of any term hereof by Tenant [include cross-default with restaurant lease, description to be added], at Landlord's sole discretion, without notice, Tenant will be declared in default of this Agreement. In such event, Landlord may take possession of the Parking Lot pursuant to law, evict the Tenant, perform any necessary repairs to the Parking Lot, re-rent the Parking Lot, and take other reasonable actions deemed appropriate by Landlord. Tenant will be responsible for all Landlord's damages suffered due to Tenant's default of this

Agreement, including, but not limited to, lost rent, costs of collection, reasonable costs of repairs and cleaning, attorney's fees and court costs arising from the enforcement.

12. Condemnation. If the Parking Lot is taken in whole or in part by condemnation or voluntary conveyance in lieu of condemnation, this Lease shall terminate at the option of either party. Tenant waives all rights in any condemnation award with respect to the Parking Lot or this Agreement, except for any separate award to which Tenant may be entitled for trade fixtures, moving expenses or the like.

13. Termination. This Agreement shall automatically terminate and be of no further force and effect with respect to the Landlord's Property and the Tenant's Property upon the abandonment of Tenant's Use or termination of the [Restaurant Lease], provided that this Agreement shall otherwise be irrevocable without the prior written consent of the City of Cincinnati for so long as the Tenant's Use continues. The use of the Parking Lot for off-site parking shall in no way be deemed to be a nonconforming use for so long as this Agreement is in effect.

14. Miscellaneous. This Agreement shall be construed in accordance with Ohio law.

[SIGNATURE PAGE FOLLOWS]

IN WITNESS WHEREOF, Landlord and Tenant have caused this Agreement to be executed as of the date first written above.

LANDLORD:

ENTITY,
a ***** limited liability company

By: _____

STATE OF OHIO)
) :ss
COUNTY OF HAMILTON)

The foregoing instrument was acknowledged before me, a notary public, this ____ day of April, 2016, by Owner member, the OWNER, a ***** limited liability company, on behalf of such limited liability company.

Notary Public

TENANT:

ENTITY,
a **** limited liability company

By: _____
OWNER, Manager

STATE OF OHIO)
) :ss
COUNTY OF HAMILTON)

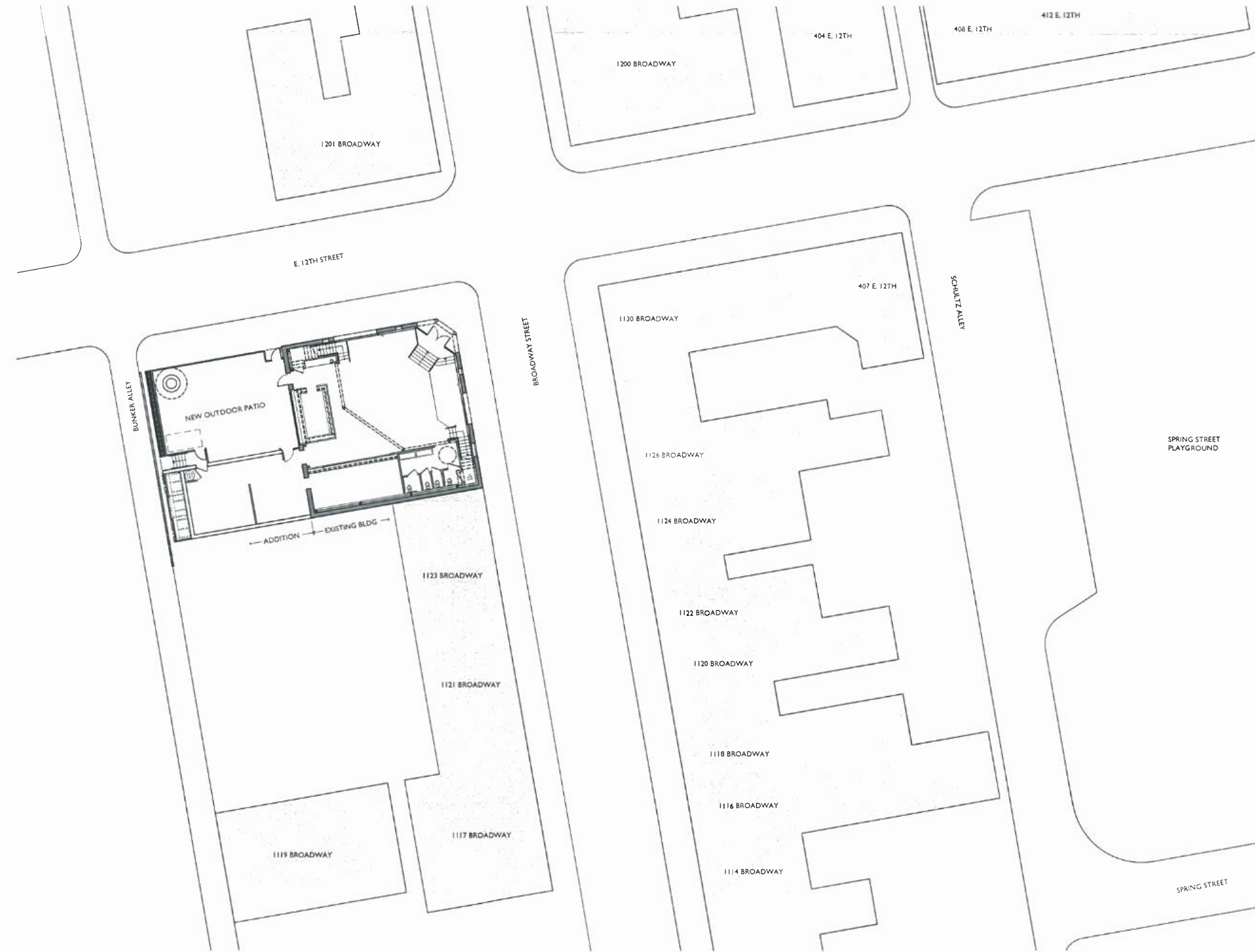
The foregoing instrument was acknowledged before me, a notary public, this ____ day of April, 2016, by OWNER, the Manager of ENTITY, an Ohio limited liability company, on behalf of such limited liability company.

Notary Public

Approved as to Form:

Marion E. Haynes, III, Chief Counsel - Land Use & Planning

This Instrument Prepared By:

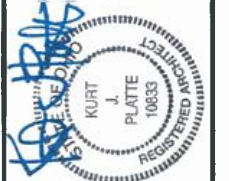


PROPOSED SITE PLAN

SCALE: 1/16" = 1'-0"

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KURT PLATTE 10833
EXP. DATE 12.31.17
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Progress Dates
PRELIM BID SET 04.15.2016

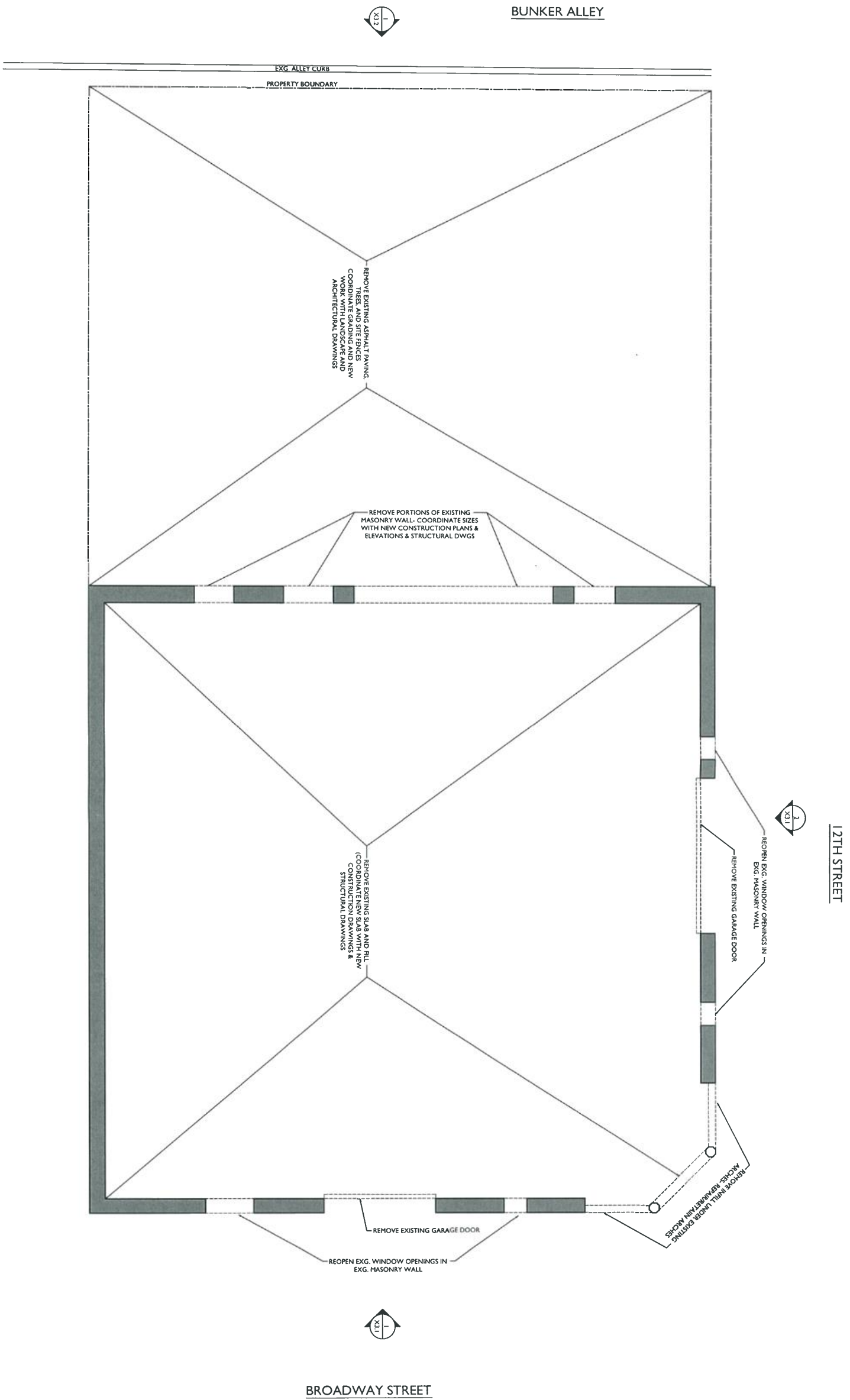
Revisions

Design Team: ASL
Drawn by: ASL, POLO, MKS

RENOVATIONS & ADDITION FOR:
LUCIUS Q BBQ RESTAURANT
1131 BROADWAY ST
CINCINNATI, OHIO 45202

05.10.2016

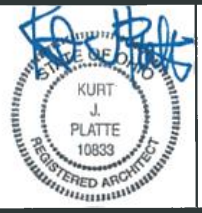
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1 EXISTING GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

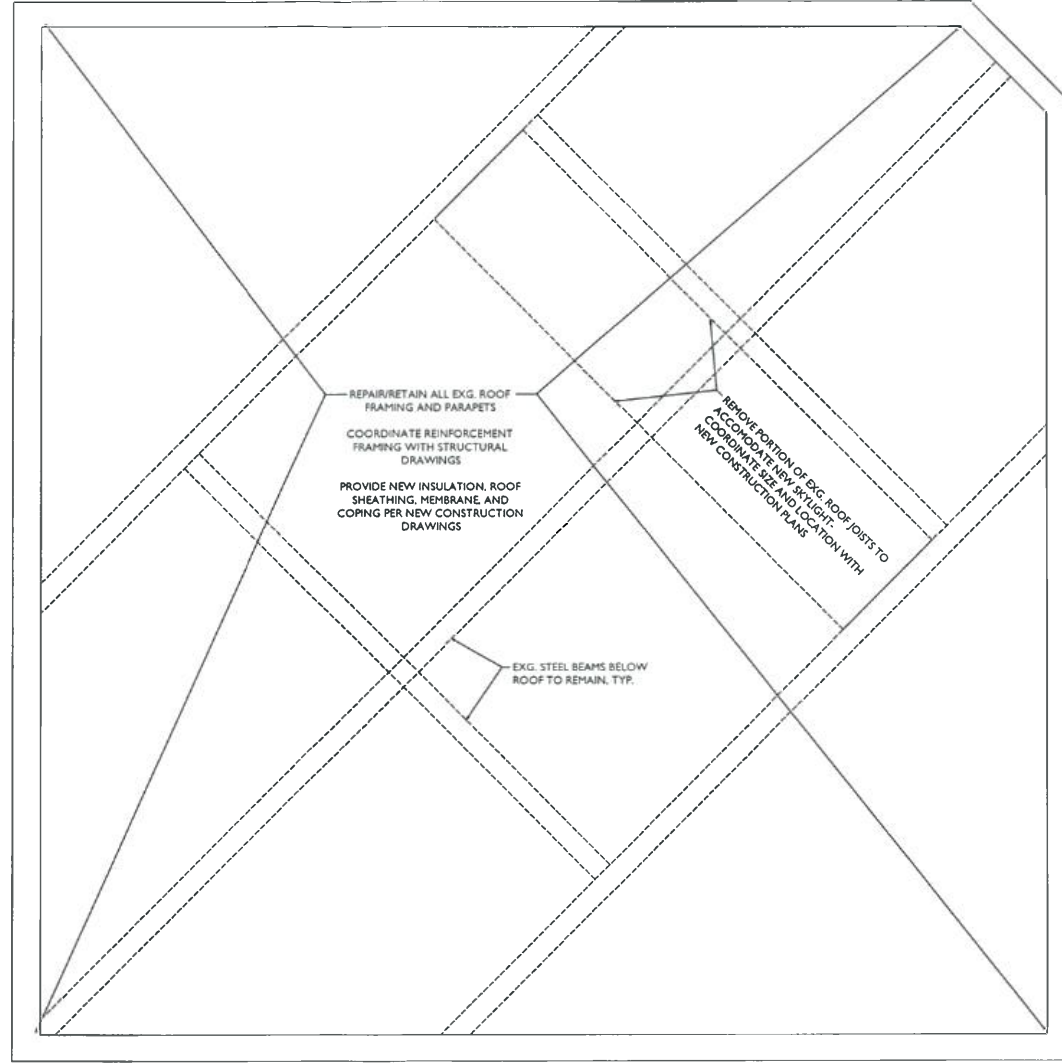
RENOVATIONS & ADDITION FOR:
LUCIUS Q BBQ RESTAURANT
1131 BROADWAY ST
CINCINNATI, OHIO 45202

Design Team: ASL
Drawn by: ASL, POLLO, MKS
Residence
Project Date: 04.15.2016
PRELIM BID SET



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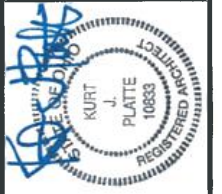


EXISTING ROOF PLAN

SCALE: 1/4" = 1'-0"

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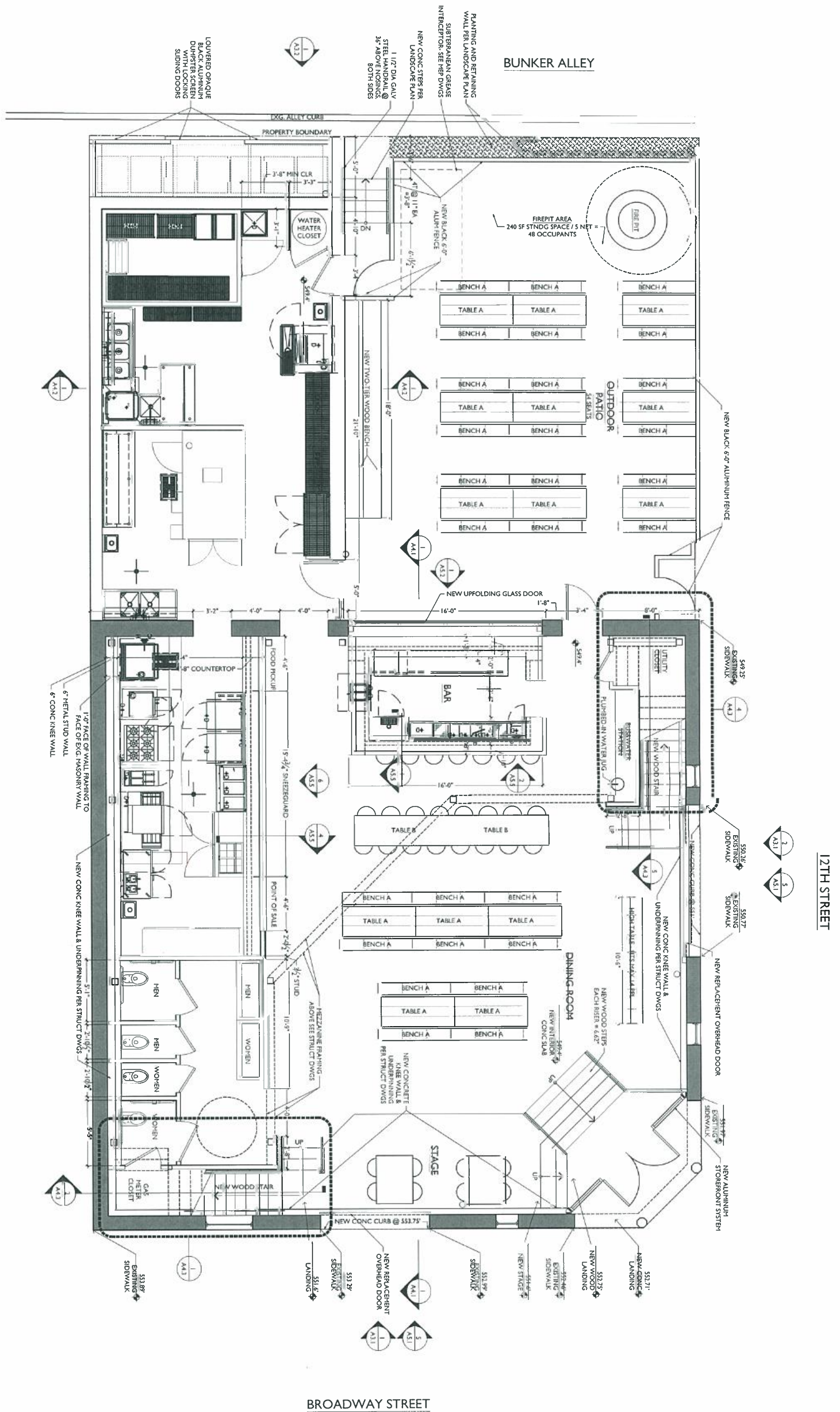
Revisions

Design Team: ASL
Drawn by: ASL, POLO, MKS

RENOVATIONS & ADDITION FOR:
LUCIUS Q BBQ RESTAURANT
1131 BROADWAY ST
CINCINNATI, OHIO 45202

05.10.2016

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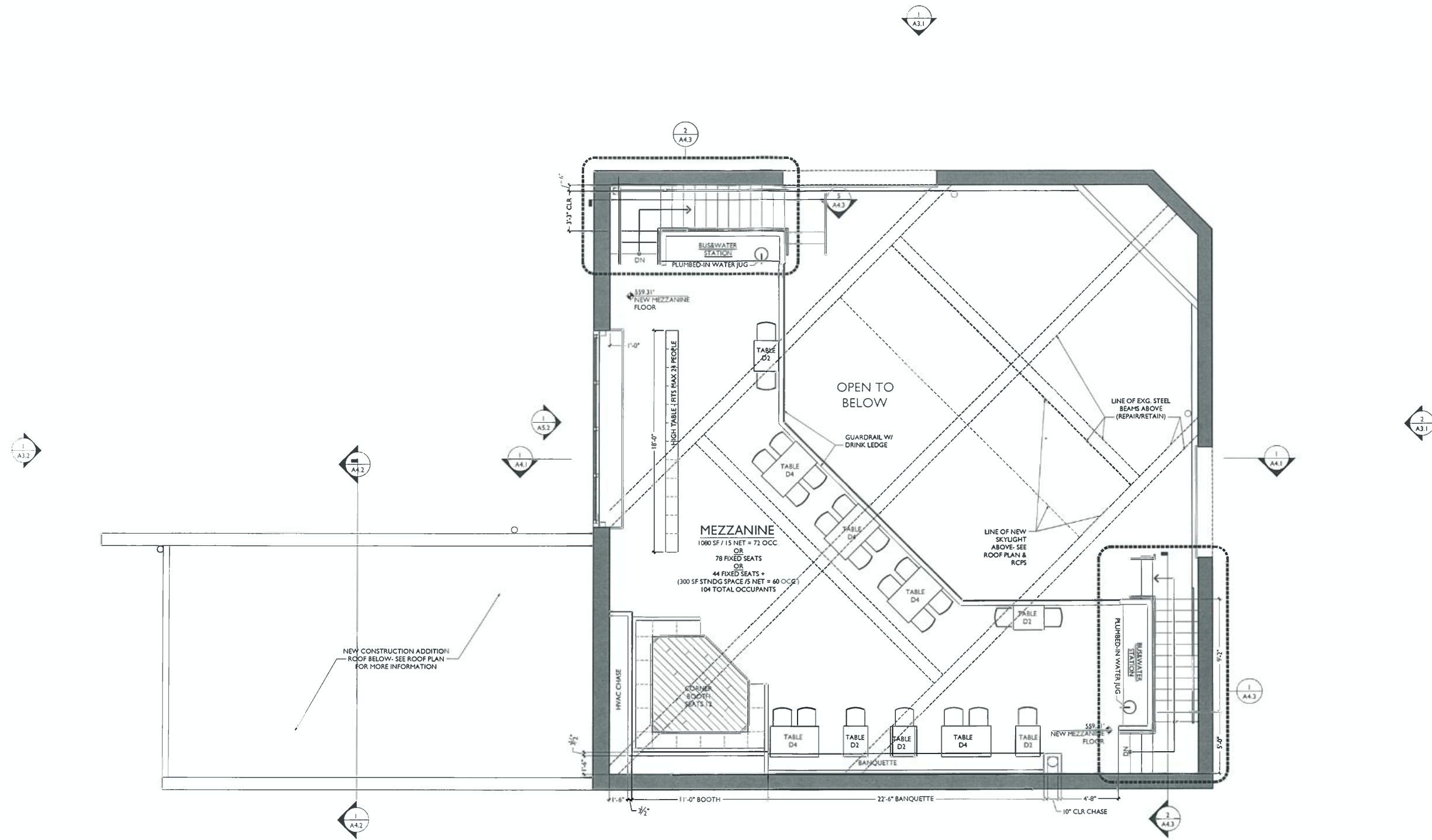
PROPOSED GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

RENOVATIONS & ADDITION FOR:
LUCIUS Q BBQ RESTAURANT
 05.10.2016
 1131 BROADWAY ST
 CINCINNATI, OHIO 45202

Design Team: ASL
 Drawn By: ASL, POLO, MMS
 Project Dates: 04.15.2016
 PRELIM BID SET



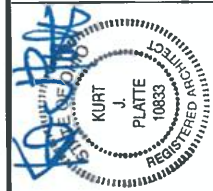
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NEW CONSTRUCTION ADDITION
ROOF BELOW- SEE ROOF PLAN
FOR MORE INFORMATION

PROPOSED MEZZANINE PLAN
SCALE: 1/4" = 1'-0"

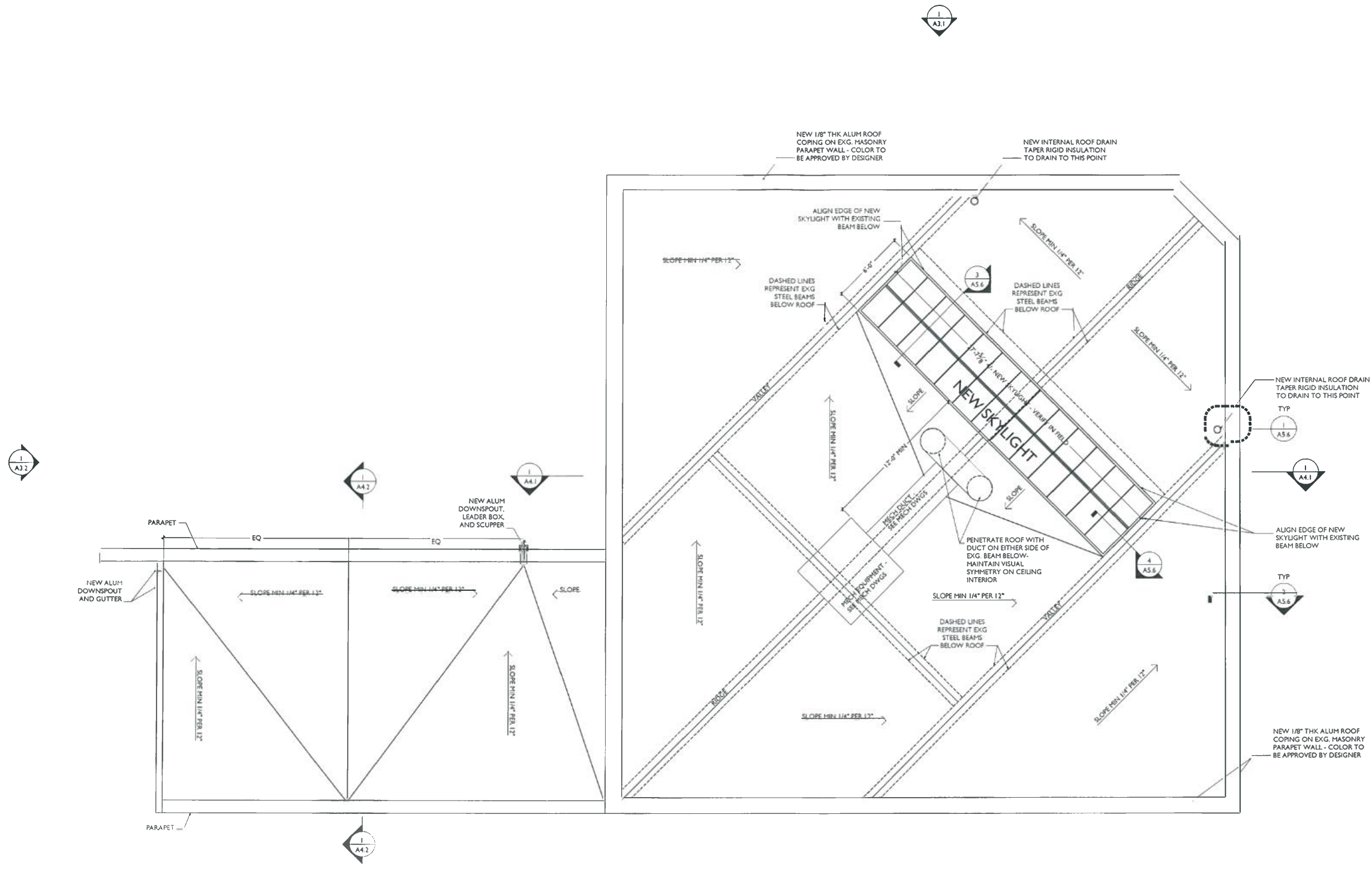
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Design Team: ASL
Drawn by: ASL, PO, O, MKS

RENOVATIONS & ADDITION FOR:
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1131 BROADWAY ST
CINCINNATI, OHIO 45202

05.10.2016
A1.2





PROPOSED ROOF PLAN
 SCALE 1/4" = 1'-0"

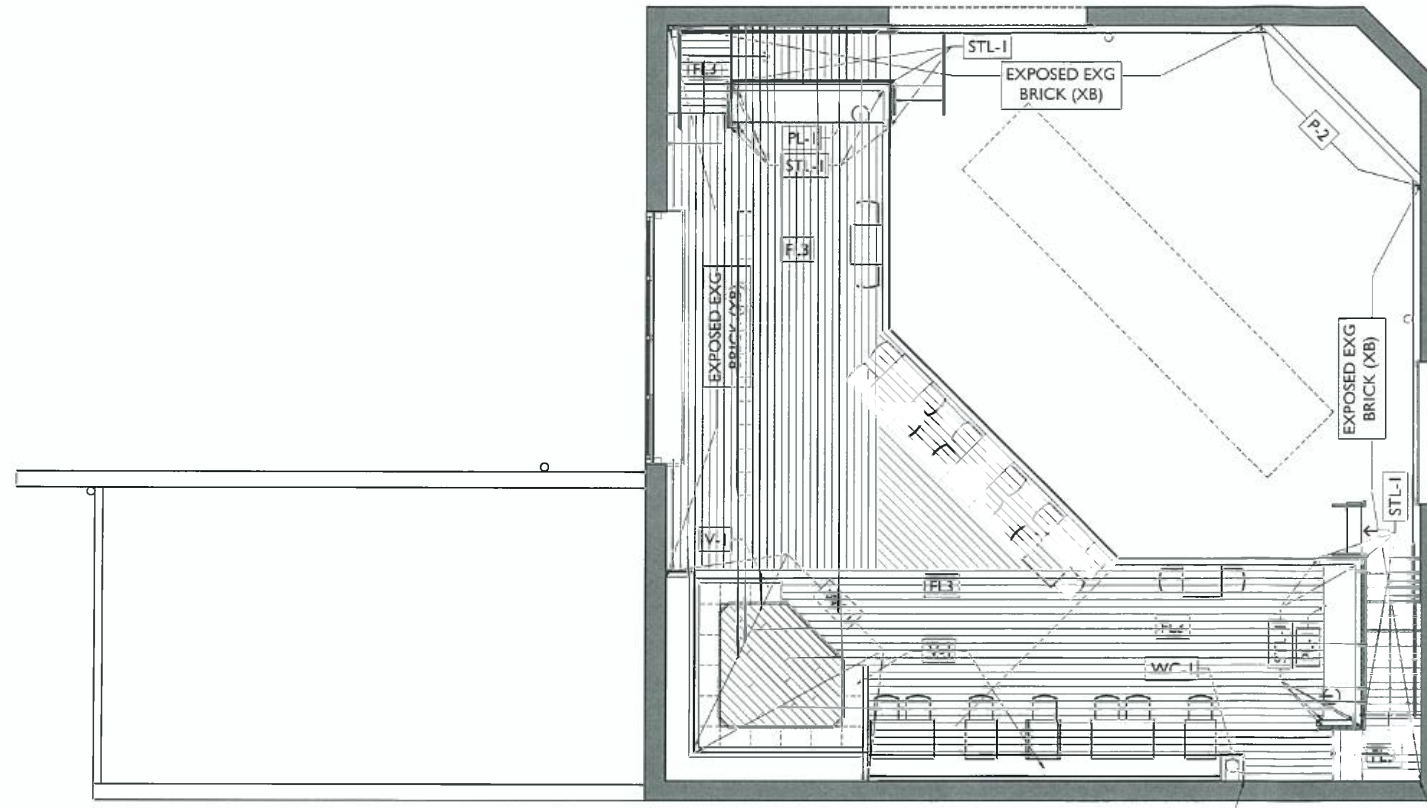


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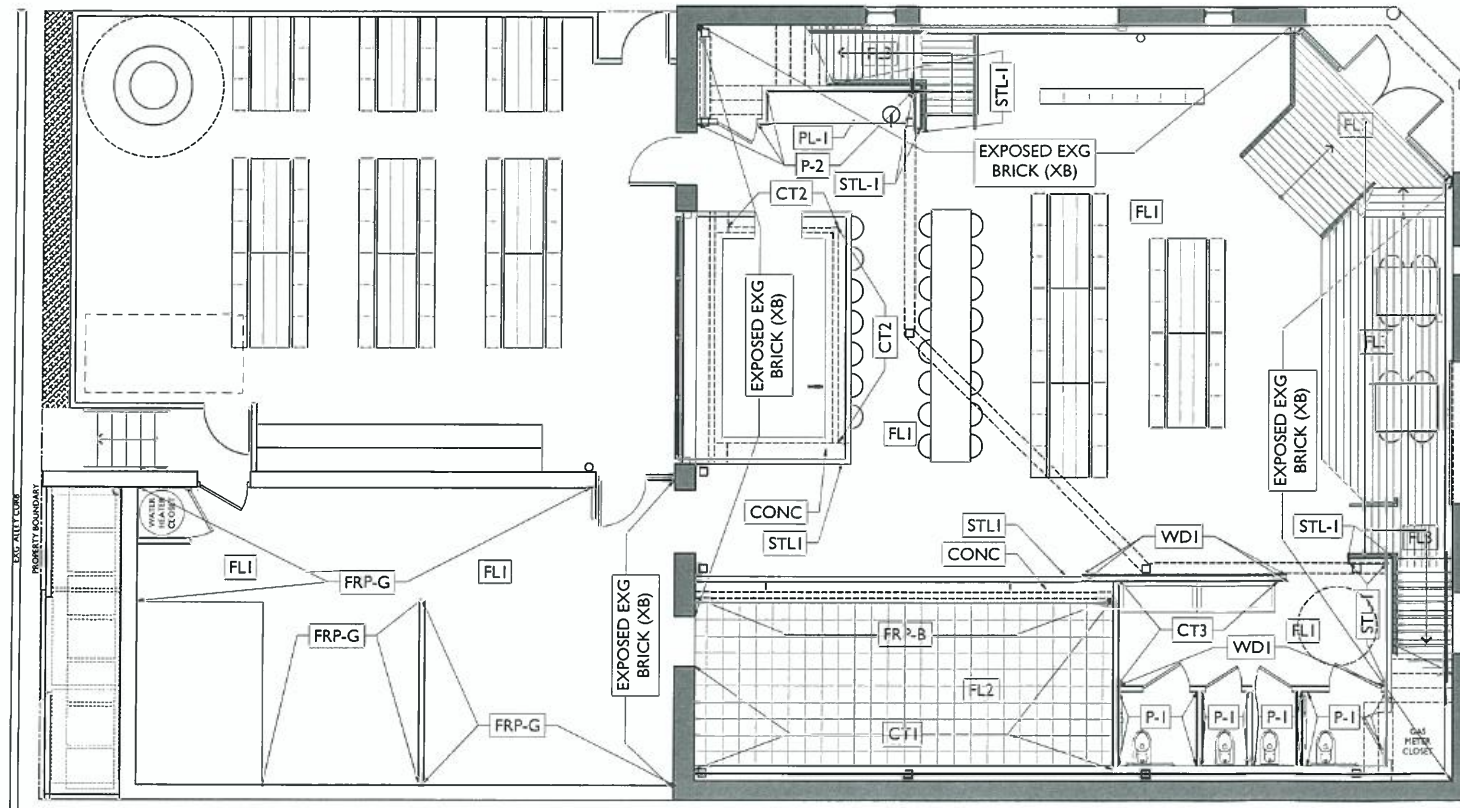
Progress Dates
PRELIM BID SET 04 15 2016

Revisions

Design Team: ASL
Drawn by: ASL, POLO, MKS



MEZZANINE PLAN- FINISHES
SCALE: 3/16" = 1'-0"



GROUND FLOOR PLAN- FINISHES
SCALE: 3/16" = 1'-0"

FINISH SCHEDULE

CODE	MATERIAL	LOCATIONS	SPECIFICATION
------	----------	-----------	---------------

FLOOR FINISHES

FL1	EXPOSED CONC SLAB (SEE STRUCT)	MAIN DINING AREA- GROUND LEVEL BATHROOMS - GROUND LEVEL OUTDOOR TERRACE	
FL2	QUARRY TILE	KITCHEN AREAS	TBD
FL3	T&G WOOD, RECLAIMED NATURAL FINISH	MEZZANINE ALL STAIRS & LANDINGS STAGE FLOOR	TBD

MILLWORK FINISHES & MISC.

STL1	BLACKENED STEEL PANEL 1/16" THK, RUSTED, PAINTED BLK CONTACT DESIGNER FOR SOURCING INFO	NEW WALLS NEAR STAIRS EDGES OF BAR & COUNTER- SEE DETAILS	CONTACT DESIGNER
CONC	CAST-IN-PLACE CONCRETE	BATHROOM SINKS BAR TOP - SEE DETAILS COUNTERTOP AT KITCHEN- SEE DETAILS	
PL-1	PLASTIC LAMINATE, BLACK	BUS & WATER COUNTERTOP & BACKSPLASH	TBD
WD2	WOOD PLANKS, RECLAIMED WHITE DISTRESSED FINISH	ALL TABLES AND BENCHES	TBD
V-1	VINYL (COLOR TBD)	BANQUETTE & BOOTH SEATING	ANZEA VINTAGE GLAZE

WALL FINISHES

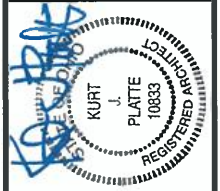
XB	EXPOSED EXG. BRICK CLEAN & SEAL w/ MATTE CLEAR COAT	THROUGHOUT U.O.N.	
WD1	WOOD PLANKS, RECLAIMED WHITE DISTRESSED FINISH	BATHROOM WALL	
FRP-B	FIBERGLASS REINFORCED PANELS, BLACK	INSIDE OF KITCHEN COUNTER - SEE DETAILS INSIDE OF BAR- SEE DETAILS	TBD- SUBMIT FOR APPROVAL
FRP-G	FIBERGLASS REINFORCED PANELS, GREY	DISH AREA, SMOKER AREA	TBD- SUBMIT FOR APPROVAL
CT1	CERAMIC TILE (TBD)	REAR & SIDE KITCHEN WALLS (COOKLINE)	TBD
CT2	CERAMIC TILE (TBD)	FACE OF BAR	TBD
CT3	CERAMIC TILE (TBD)	BATHROOM WET WALL	TBD
WC1	VINYL WALL COVERING (TBD)	FURRED-OUT WALLS AT MEZZANINE	TBD
WC2	VINYL WALL COVERING (TBD)	BATHROOM	TBD
P-1	PAINTED GYP BD	INSIDE OF BATHROOM STALLS	COLOR TBD
P-2	PAINTED GYP BD (BLACK)	MISC LOCATIONS (SEE PLANS)	BLACK - TBD

CEILING FINISHES

XW1	EXPOSED EXG. FRAMING CLEAN & SEAL w/ MATTE CLEAR COAT	THROUGHOUT U.O.N.	
XW2	EXPOSED NEW FRAMING	UNDER MEZZANINE	
ACT-1	ACOUSTIC CEILING TILE	KITCHEN ADDITION	TBD
P-C	PAINTED GYP BD (COLOR TBD)	BATHROOM CEILING	COLOR TBD

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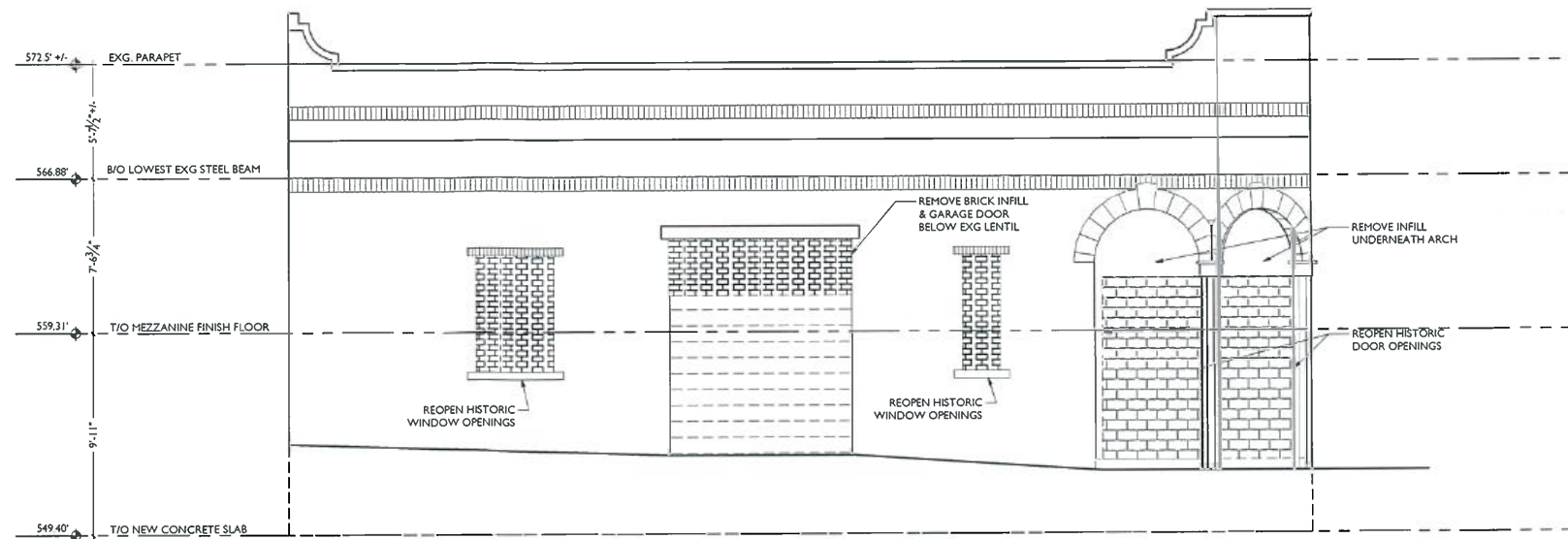
Progress Dates
PRELIM BID SET 04.15.2016

Revisions

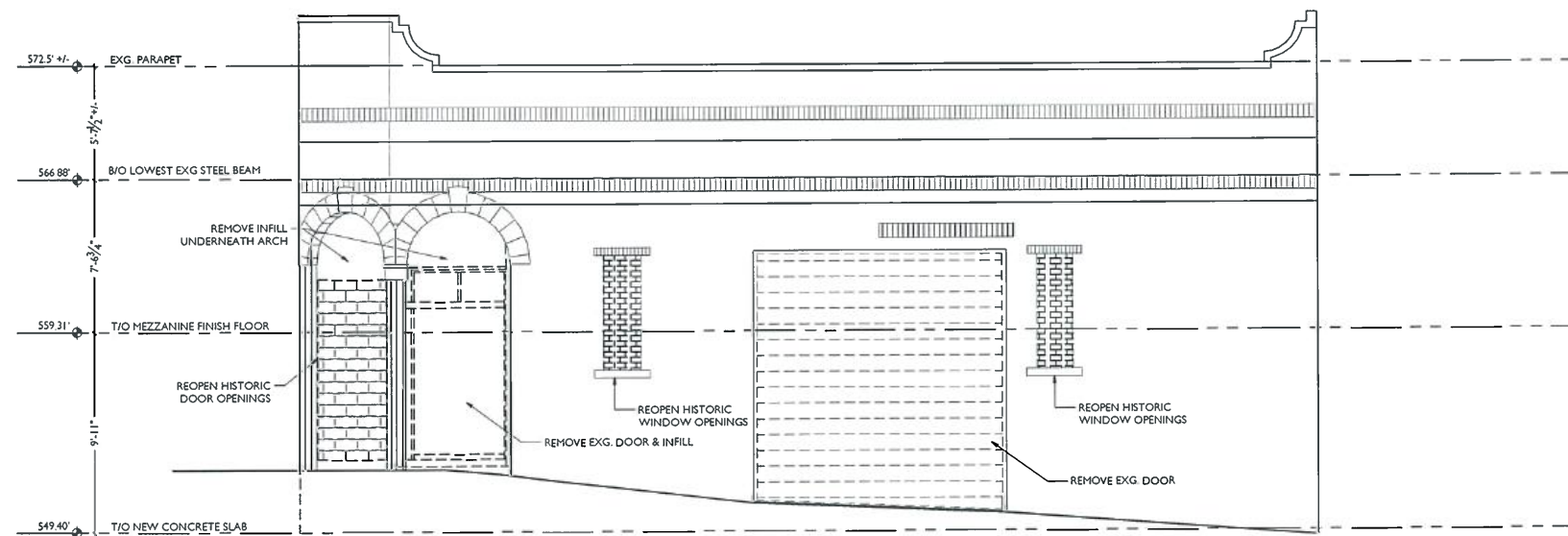
Design Team: ASL
Drawn by: ASL, POLO, MKS

RENOVATIONS & ADDITION FOR:
LUCIUS Q BBQ RESTAURANT
113 I BROADWAY ST
CINCINNATI, OHIO 45202

05.10.2016
A1.4



2 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"

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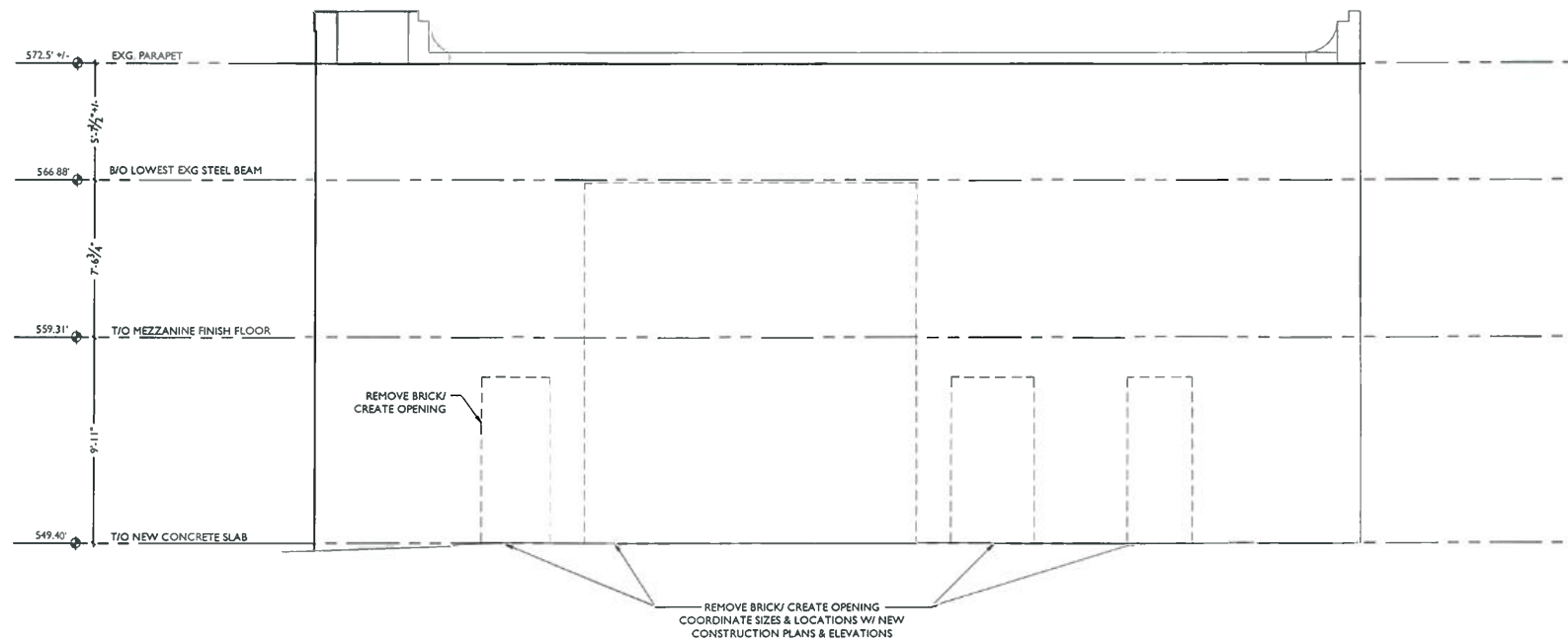
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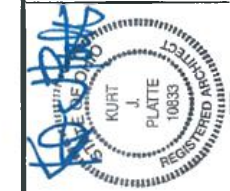
Design Team ASL
Drawn by ASL, POLO, MKS

RENOVATIONS & ADDITION FOR:
LUCIUS Q BBQ RESTAURANT
1131 BROADWAY ST
CINCINNATI, OHIO 45202
05.10.2016
X3.1



1 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"

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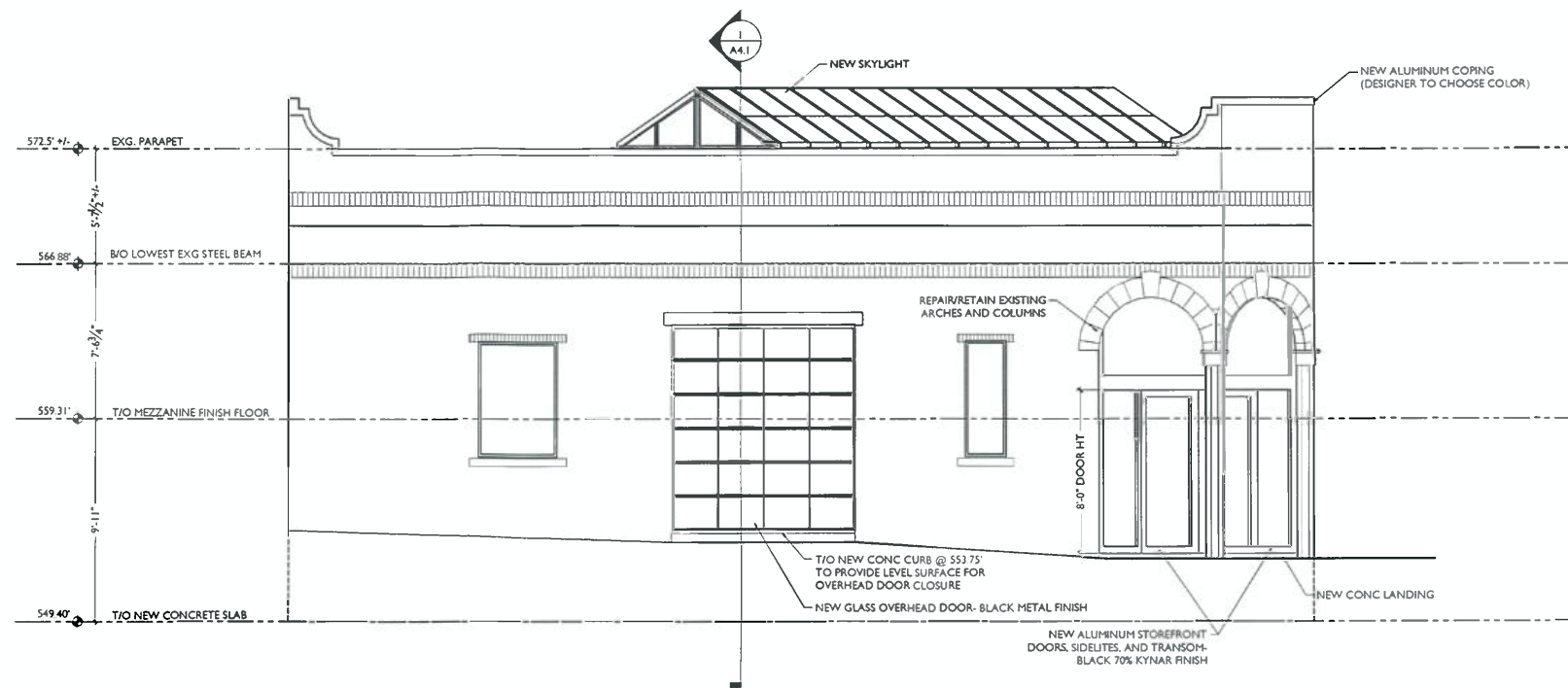
Progress Dates
PRELIM BID SET 04.15.2016

Revisions

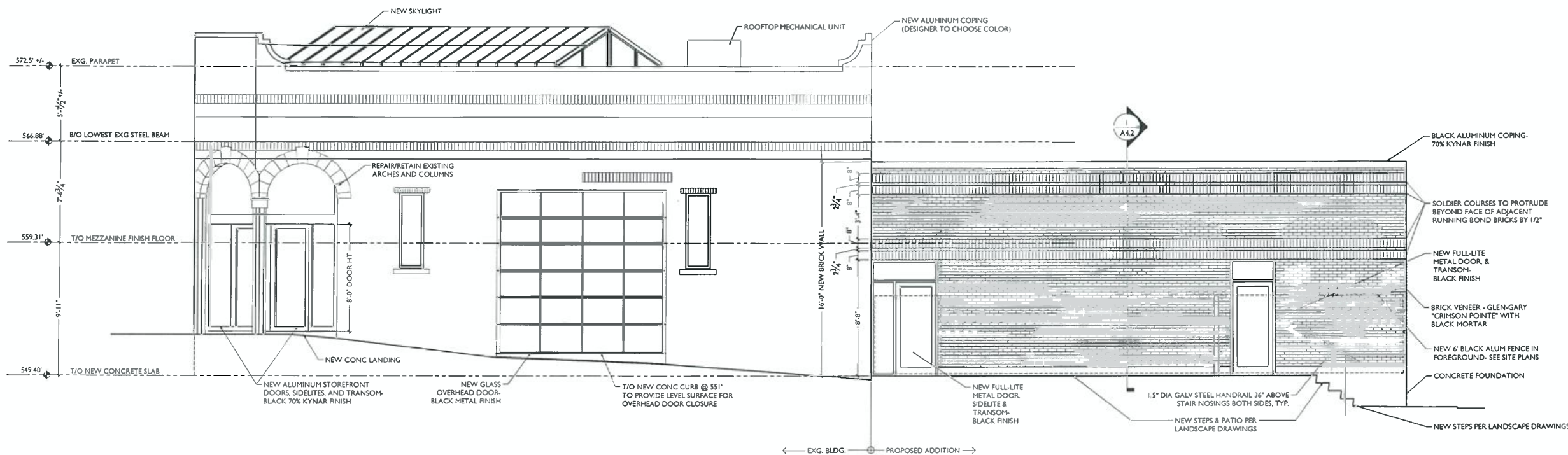
Design Team: ASL
Drawn by: ASL, POLO, MKS

RENOVATIONS & ADDITION FOR:
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05.10.2016
X3.2



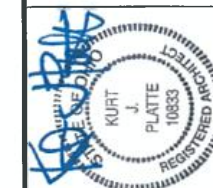
2 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

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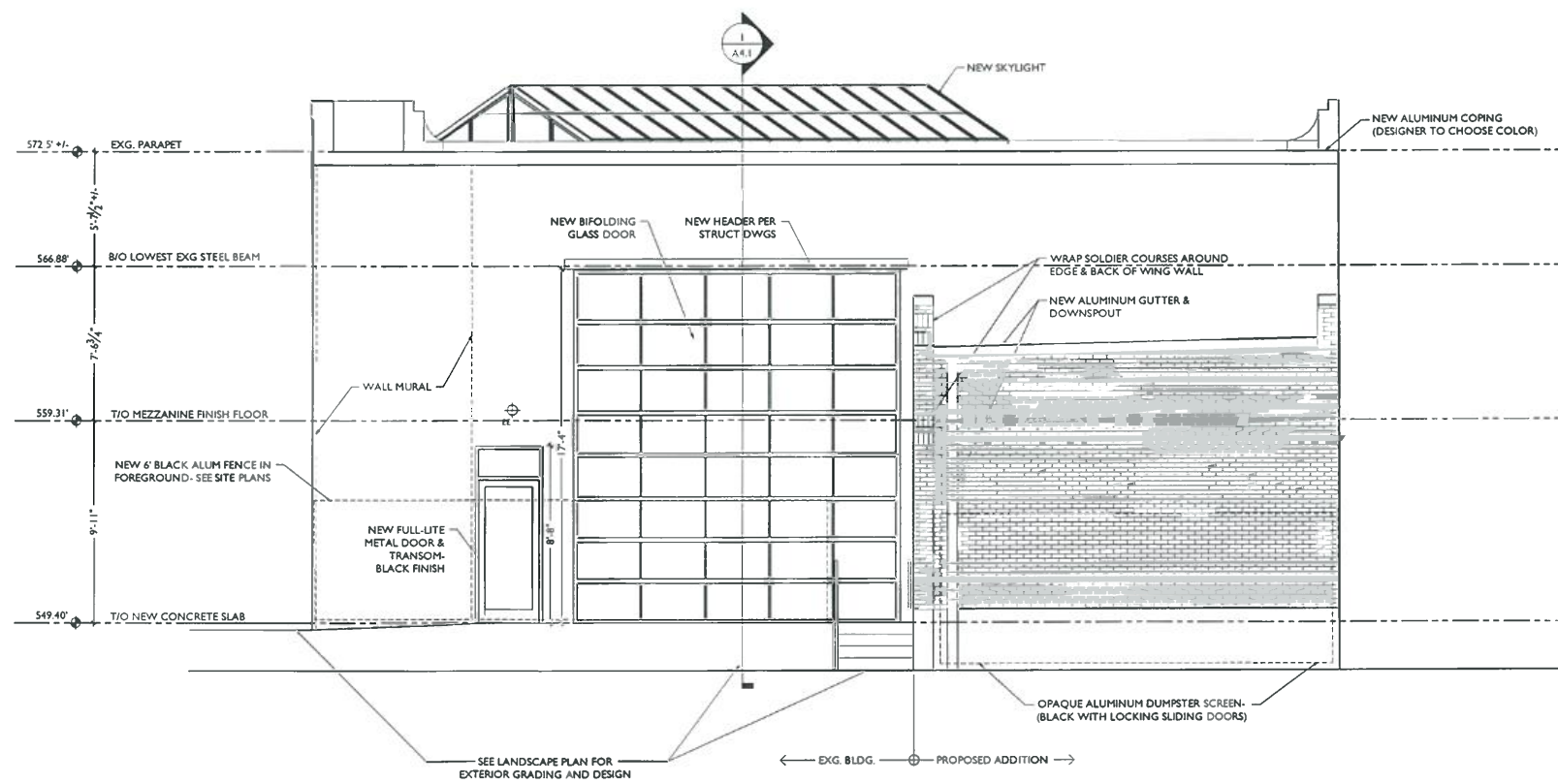
Revisions

Design Team: ASL
Drawn by: ASL, POLO, HKS

RENOVATIONS & ADDITION FOR:
LUCIUS Q BBQ RESTAURANT
1131 BROADWAY ST
CINCINNATI, OHIO 45202

05.10.2016

A3.1



1 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



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**APPLICATION FOR
DIMENSIONAL VARIANCE AND
CERTIFICATE OF APPROPRIATENESS
HISTORIC CONSERVATION BOARD PUBLIC HEARING
STAFF REPORT**

APPLICATION #: ZH20160106
APPLICANT: Sanyog Rathod
OWNER: Kristen Myers & Chris Heckman
ADDRESS: **1526 Elm Street, Cincinnati OH 45202**
PARCELS: 081-0002-0469-00
ZONING: RM-1.2
OVERLAYS: Over-the-Rhine Historic District
COMMUNITY: Over-the-Rhine
REPORT DATE: July 14, 2016
HEARING DATE: July 25, 2016
STAFF REVIEW: Douglas Owen, Zoning Plan Examiner

Nature of Request:

The applicant is requesting a Certificate of Appropriateness (COA) for renovation and addition to the existing structure at 1526 Elm Street and Zoning Relief for a dimensional variance to allow for a 7-foot fence in the rear yard of the subject property. Per CZC 1421-33, fences and walls in rear yards of residential zoning districts are limited to 6' in height and may be 100% opaque.

Existing Conditions:

The subject property at 1526 Elm Street is located on the east side of Elm Street, between W. 15th Street and W. Liberty Street (Figure 1). The structure is a ca. 1870, two-and-one-half story Italianate building with a stone foundation, brick bearing walls and a relatively flat roof with a slight slope to the west. The building features deteriorated wood windows on the second floor and boarded window openings that have been partially infilled to allow for the smaller-sized replacement sash on the ground level. The window openings feature segmental arches and stone surrounds topped with decorative acroteria. The building also features a decorative cornice with arched frieze windows and medallions (Figure 2).

The rear portion of the original building forms an "el" with the southern wall recessed from the main building by approximately 4 feet. A noncontributing addition is located to the rear of the original building and is a one-story wood-frame addition with a shed roof and plywood walls. A 7-foot masonry wall topped with barbed wire runs along the south, north and former east property lines (prior to consolidation). The parcel fronting Elm Street has been consolidated with the parcel to the east fronting Pleasant Street to form a double-frontage lot.



Figure 1. Location of 1526 Elm Street. Image courtesy of CAGIS.

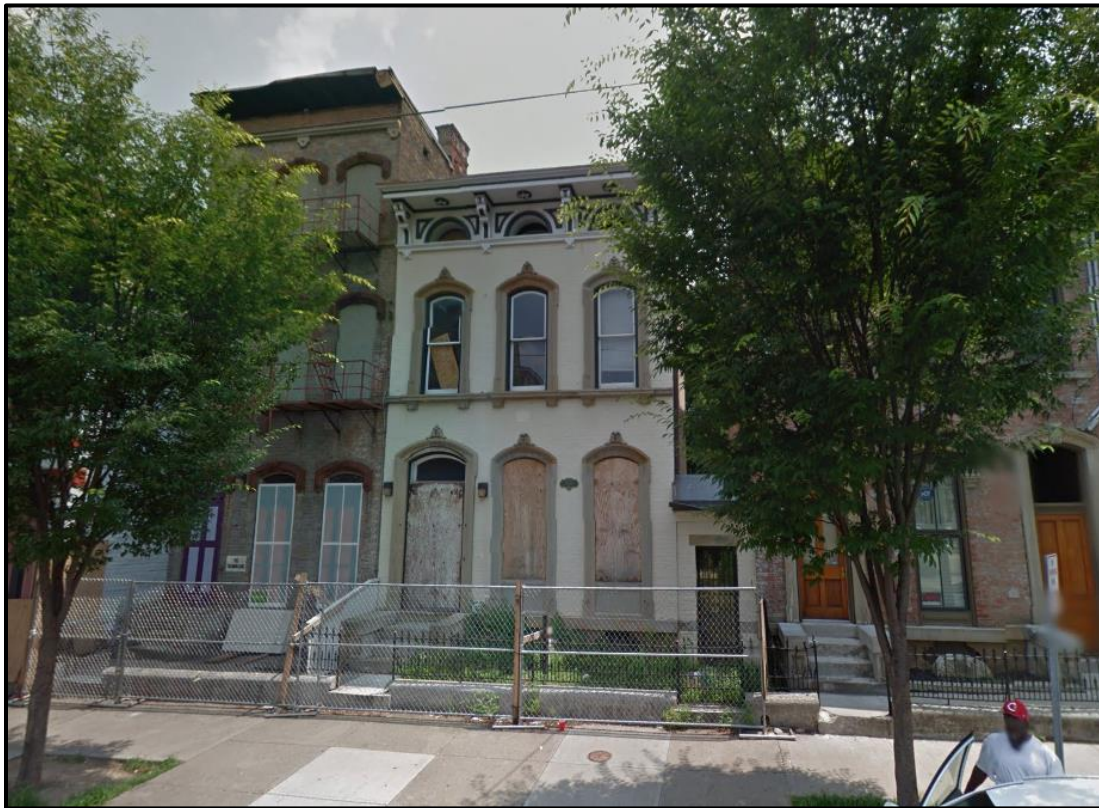


Figure 2. Existing condition of 1526 Elm Street. Image courtesy of Google.

Proposed Conditions:

The applicant is proposing to demolish the noncontributing one-story addition on the rear of the building and replace it with a new three-story rear addition clad in standing-seam metal siding on the upper two floors and a horizontal wood rainscreen cladding on the lower level. The lower level extends out beyond the upper levels of the addition and a rear rooftop terrace will be placed above the first floor protrusion. The rear (east) façade will be entirely clad in the wood rainscreen cladding.

Additionally, the applicant proposes to raise the level of the roof by approximately 4 feet on the original building in order to provide additional living space on the current half-floor. The raised portion will also be clad in standing-seam metal siding and will be setback from the front (west) façade, so as not to be visible from Elm Street. The roof will feature a rooftop deck on the west facing Elm Street. The raised roofline and rooftop deck will not be visible from directly in front of the building on Elm Street. It may be very minimally visible from a small area to the southwest.

Additionally, the applicant is proposing replacing the existing deteriorated windows throughout the building with new windows that will fill the existing openings. The windows will be custom double-hung two-over-two wood windows with aluminum cladding manufactured by Pella, Marvin or Lincoln. A new entry door containing a fiberglass 4-panel door with a transom will be placed in the primary entry on the west façade. A “Nanawall” folding glass wall system will be installed at the ground level on the east elevation of the rear addition and folding glass window systems will be installed at both rooftop decks. Aluminum frame windows will be installed in the stairwell on the south façade of the addition.

Site work will include the restoration of the existing paving materials in the front yard, and side courtyard as well as the restoration of the existing metal gate accessing the side yard. New permeable pavers will be placed to the side of the building and to the rear to provide for a walkway and driveway. The existing 7-foot high brick wall topped with barbed wire on the south property line will be removed and replaced with a 7-foot high wood fence with horizontal boards. The fence will wrap around the rear of the structure to enclose the house and the parking area.

The proposed work also includes a standing-seam metal roof and new paint.

Previous Reviews: N/A

Applicable Zoning Code Sections:

Zoning District:	Section 1405	Residential Multi-Family Districts
Variance Request:	Section 1421-33	Fences and Walls
Variance Authority:	Section 1445-07	HCB authority: Section 1435-05-4
Variance Standard:	Section 1445-13 Section 1445-15	General Standards: Public Interest Standards for Variances
Overlays:	Section 1435	Historic Preservation
Historic District/Reg:	Over the Rhine Historic District	

COA Standard: [Section 1435-09-2](#) Certificate of Appropriateness; Standard of Review

Details of Zoning Relief Required:

The applicant and/or owner(s) are requesting a dimensional variance to allow a 7-foot fence in the side yard of the subject property.

- The project is in violation of the **Section 1421-33** of Cincinnati Zoning Code.
- Per Section 1421-33: fences and walls are limited to 6' in height.
- **A dimensional variance of 1 foot** is sought **to allow a 7-foot fence** in the side yard of the subject property.

Zoning Analysis:

Below is analysis of the consideration factors for all of the requested zoning actions, utilizing Section 1445-13, General Standards; Public Interest.

- Zoning.** The proposed work conforms to the underlying zone district regulations and is in harmony with the general purposes and intent of the Cincinnati Zoning Code.
The underlying zoning is RM-1.2. The proposed use of the subject property conforms to the underlying zone district regulations. The proposal does not conform to CZC 1421-33, regulating fences and walls. The proposed fence is one foot higher than the allowable fence height requirements.
- Guidelines.** The proposed work conforms to any guidelines adopted or approved by Council for the district in which the proposed work is located.
The proposed work conforms to the guidelines for the district.
- Plans.** The proposed work conforms to a comprehensive plan, any applicable urban design or other plan officially adopted by Council, and any applicable community plan approved by the City Planning Commission.
This project conforms to the Over the Rhine Comprehensive Plan.
- Traffic.** Streets or other means of access to the proposed development are suitable and adequate to carry anticipated traffic and will not overload the adjacent streets and the internal circulation system is properly designed.
Traffic will not be impacted by the construction of the fence.
- Buffering.** Appropriate buffering is provided to protect adjacent uses or properties from light, noise and visual impacts.
This is not applicable.
- Landscaping.** Landscaping meets the requirements of Chapter 1423, Landscaping and Buffer Yards.
This is not applicable.
- Hours of Operation.** Operating hours are compatible with adjacent land uses.
This is not applicable.

- h. **Neighborhood Compatibility.** The proposed work is compatible with the predominant or prevailing land use, building and structure patterns of the neighborhood surrounding the proposed development and will not have a material net cumulative adverse impact on the neighborhood.
The proposed work will not have an adverse impact on the neighborhood. The fence will be on the interior of the property and, as designed, will be of high aesthetic quality.
- i. **Proposed Zoning Amendments.** The proposed work is consistent with any proposed amendment to the zoning code then under consideration by the City Planning Commission or Council.
There are no proposed amendments under consideration that would impact this proposed project.
- j. **Adverse Effects.** Any adverse effect on the access to the property by fire, police, or other public services; access to light and air from adjoining properties; traffic conditions; or the development, usefulness or value of neighboring land and buildings.
There are no adverse impacts anticipated. The proposed fence will not block more light, air, or access than the existing masonry and barbed wire wall. The improved aesthetics may improve the value of neighboring land.
- k. **Blight.** The elimination or avoidance of blight.
The proposed work will improve the aesthetic appeal of the property.
- l. **Economic Benefits.** The promotion of the Cincinnati economy.
The proposed fence will have no economic impact.
- m. **Job Creation.** The creation of jobs both permanently and during construction.
The proposed project may have a minor job creation effect during construction. It does not appear likely to create permanent jobs.
- n. **Tax Valuation.** Any increase in the real property tax duplicate.
The project as a whole will increase the taxable value of the property.
- o. **Private Benefits.** The economic and other private benefits to the owner or applicant.
The owner has an economic benefit to the proposed work.
- p. **Public Benefits.** The public peace, health, safety or general welfare.
There is no measurable detriment to public peace, health, safety or welfare as a result of this proposed project.

Standards for Variances per Section 1435-05-4

- (a) Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the Historic District of Historic Asset; or

The replacement of the existing 7-foot brick wall and 1-foot of barbed wire (8-foot total height) with a 7-foot wood fence will not adversely affect the historic architectural or aesthetic integrity of the Historic Asset. The fence is located in

the side yard and rear yard of the subject property and will not be visible from the principal façade. It will currently be visible from Pleasant Street to the east, but the expectation is that new development will eventually occur on the vacant lot that will largely screen the fence from view. The additional one foot of height over the allowable limit will allow the fence to meet the existing 7-foot masonry wall.

- (b) Is necessary where the denial thereof would result in a deprivation of all economically viable uses of the property as viewed in its entirety. In making such a determination, the Historic Conservation Board may consider the factors set forth in Section 1435-09-2 (aa) to (ff).

Adding the wood fence to the subject property will allow the owner to fully develop the property and provide privacy and protection for the single-family residence. Furthermore, the fence will screen the rear yard parking space from view from Pleasant Street. While the property may remain economically viable without the proposed fence, the fence will provide a needed privacy and security buffer from the adjacent vacant lots.

Certificate of Appropriateness Review:

A Certificate of Appropriateness is required for demolition of the noncontributing addition, the third-story addition, rear addition and replacement windows and doors. The rehabilitation retains the existing structure with the exception of the noncontributing rear addition and reintroduces replacement wood sash that will fill the existing window openings. The windows will be double-hung wood sash clad with aluminum, custom manufactured by Pella, Marvin or Lincoln which have been utilized in previously approved projects. Character-defining architectural features including the decorative cornice and window surrounds will be retained.

The rear addition, while utilizing modern materials, will not be visible from the primary street. It will be visible from Pleasant Street until addition infill development occurs along this frontage. Per the Over-the-Rhine Conservation Guidelines, additions should be evaluated through the guidelines on New Construction.

Applicable Guidelines

Demolition

4. The demolition request is for an inappropriate addition or a non-significant portion of a building and the demolition will not adversely affect those parts of the building which are significant as determined by the Historic Conservation Board.

The rear addition of the subject property is a noncontributing feature. The addition features painted plywood wall cladding and door and window sash that date to a later period of construction. The demolition of the addition will not adversely affect those parts of the building which are significant.

New Construction

A. Intent and General Guidelines

1. New construction is allowed on vacant sites in Over-the-Rhine, because gaps due to demolition weaken the streetscape and the overall character of the district. New construction can improve both the physical quality and economic vitality of the neighborhood.
2. New construction should be well-designed but should not replicate the existing buildings. The exceptional quality of the existing buildings in the district provides an outstanding framework for new construction.
3. The Historic Conservation Board's review of new construction will focus on the design compatibility with the surrounding contributing structures. The appropriateness of design solutions will be based on balancing the programmatic needs of the applicant with how well the design relates to the neighboring buildings and to the intent of these guidelines. New design proposals should pay particular attention to composition, materials, openings, rhythm, scale, proportion and height.
4. The new construction guidelines for this district will be used to judge the compatibility of new work. The specific site and programmatic needs of each project will be taken into consideration.

B. Specific Guidelines

1. **Composition:** New buildings should respond to the traditional subdivisions found on historic property: a base, a middle and a top. Most buildings in Over-the-Rhine are built of brick with the principal facade parallel to the street it faces. The most important features of buildings in Over-the-Rhine are the arrangement of openings on the principal facade and an overall vertical emphasis of the whole design. Each building provides its own variations, but collectively they share many basic features.

Base: New buildings should have a well-defined base. Within the district most buildings have a base that is distinguishable from the rest of the building. This is accomplished through a change of materials, a change of scale, and/or a lintel or other type of horizontal banding. In larger buildings the original base may include more than the first floor.

Middle: Details on new buildings should relate to the detailing of adjacent or nearby buildings. Buildings in the district often incorporate architectural details such as changes in plane or changes in materials on their upper floors. Decorative, horizontal bands indicating the floor lines, sill heights or lintel heights should not overpower the vertical emphasis of the design.

Top: New construction must employ a strong element that terminates the uppermost part of the building. Distinctive elements in the architecture of Over-

the-Rhine are elaborate projecting cornices, decorative parapets and the expressive use of materials.

The proposed addition does not feature a strong division between the base, middle and top, however this is consistent with many rear building additions found in the district, especially those constructed of wood framing. The proposed divisions are achieved primarily through a change in materials and plane with an extension to the east on the ground level as the base and a slight overhang of the standing-seam metal roof as the top. The primary subdivisions in the district occur on the principal façades. The proposed addition will be entirely on the rear of the property with the exception of the expanded third story, which will be clad in standing-seam metal, mimicking the appearance of the roof, which fits within the defined “top” subdivision. The 4-foot tall third-story addition will also be recessed from the primary façade and will not be highly visible from Elm Street. This composition is appropriate for a non-principal addition.

2. **Roofs:** Roofs for new construction should be similar to roofs of adjacent and nearby buildings of similar size and use. In the district, buildings of three or more stories generally have low-pitched shed roofs that are not visible above the principal facade. Smaller buildings in the district typically have simple gable roofs on which the gables are perpendicular to the principal facade. Institutional buildings in Over-the-Rhine have a variety of roof shapes, including dormers, multiple gables, hip roofs and towers. Roofs in this district have little or no overhang.

The roof on the third story addition of the main structure is a flat roof with a slight slope to the west, maintaining the slope of the original roof. The roof of the rear ell and the rear addition slope to the south, matching the original. This roof shape is appropriate as it matches the original roof of the principal building with no overhang and the roof cannot be seen from the primary street frontage.

3. **Window Openings:** Window openings are extremely important in this district. The openings of new buildings should be related to the size and placement of openings found on historic structures of similar use in the district. In residential buildings, window openings are typically found individually rather than in pairs or grouped. The openings are taller and wide (typically in a proportion of 2:1), window sash are set back from the wall surface, and openings have some form of definition, such as lintels, sills or decorative surrounds. Window openings, which are typically aligned vertically, usually occupy between 20% and 50% of the principal facade. In commercial, industrial and institutional buildings, windows are often grouped within a single opening. These building types may also use a combination of window sash, including double-hung, awning and hopper. If muntins are used in new window sash, they must provide true divided lights. Within the individual opening, window sash are usually divided into two or more lights. In all cases the glass must be clear; tinted or reflective glass is not acceptable. Also, roll down shutters and metal bar systems installed on the exterior of the building that cover door and window openings are not appropriate.

The windows proposed for the upper floors of the east elevation are traditional double hung aluminum clad wood of a 2:1 ratio and are taller than they are wide. These will be the most visible of the new window openings. New windows on the south elevation include creating larger openings on the existing third story. The existing lintels and sills will remain and new openings will be created in the standing-seam metal addition immediately above the existing windows, creating a 2:1 ratio that is taller than wide. New window openings in the rear addition include a vertical band of aluminum framed stairhall windows and two fixed windows on the ground level with a strong vertical emphasis. Windows on the south elevation will not be highly visible from any direction. Other new openings include a "Nanawall" folding wall system on the ground level of the east elevation and a folding window system on the rooftop deck. None of these systems will be highly visible from any street.

4. **Storefronts:** New storefronts should relate to the characteristics of existing storefronts on historic buildings. Storefronts in the district are typically taller than individual upper floors; framed by piers and/or columns and have a lintel separating them from the upper floors; are divided into bays which increases their verticality and provides a pedestrian scale and proportion; and have large, fixed expanses of clear (not tinted or reflective) glass. As with rehabilitated original storefronts, roll down shutters and metal bar systems installed on the exterior of the building are not appropriate elements for new storefronts. The storefront lintels are 12 to 18 feet above grade; the window sill height is between 18 inches and 3 feet above grade; and storefront windows are set back from the structural elements approximately 12 inches.

The subject property is a residence and will not have a storefront.

5. **Setback:** Setback is an important issue in a dense urban area such as Over-the-Rhine. The setback for new construction should be consistent with the buildings of similar use on adjacent and nearby sites. In Over-the-Rhine, most commercial buildings are built up to the property line. Some residential property, especially detached buildings, have shallow setbacks but retain an "edge" at the property line with a fence. Some larger institutional buildings such as schools, churches and public buildings are setback from the street to provide public space and to add to their monumentality. In most cases new construction on corner sites should be built up to the edge of both outside property lines.

The proposed work will not alter the front or side setbacks of the property. The rear setback will remain approximately the same as the existing, is appropriate to the district and will be comparable with nearby sites.

6. **Rhythm:** New buildings should incorporate design features, such as window groupings, articulation of wall surfaces, and decorative elements such as columns or piers in an effort to maintain the rhythm that already exists in the district. New construction should avoid creating long unrelieved expanses of wall along the street by maintaining the rhythm of bays found on the district. Most buildings in Over-the-Rhine are relatively narrow, 25 to 50 feet in width. A

building facade typically displays vertical subdivisions that establish a visual rhythm. In dense commercial areas such as Vine Street, there are no setbacks, creating a solid wall along the street. This wall is articulated by the individual buildings, which in turn are divided by window groupings, changes in wall planes and decorative elements such as pilasters, columns or piers.

The rhythm of the primary façade will not be altered along Elm Street. When viewed from the rear, the narrow rear addition will maintain an appropriate rhythm with window placement on the second and third floors.

7. **Emphasis:** New residential and mixed-use construction should have a vertical emphasis, because in Over-the-Rhine buildings are taller than they are wide, window openings are tall and narrow, and storefronts have slender columns, which emphasize verticality. Commercial and industrial buildings, which may have an overall horizontal emphasis, often incorporate vertical elements, such as pilasters or vertically oriented openings

The rear addition will continue to provide a strong vertical emphasis. The addition itself is taller than it is wide, as are the windows. On the south elevation, which will not be highly visible from any direction, the standing-seam metal siding and the stairwell windows provide vertical emphasis.

8. **Height:** The height of new construction should not vary more than one story from adjacent contributing buildings. Most buildings in Over-the-Rhine are between two- and five-stories.

The existing principal building is two-and-one-half stories high and the proposed addition will be three-stories high. This is compatible with the adjacent property to the north, as well as many other properties in the vicinity.

9. **Materials:** New construction should use materials that are found on the historic buildings in Over-the-Rhine. Clearly the dominant material in Over-the-Rhine is brick, but other materials such as limestone, sandstone, cast-iron, slate, wood and sheet metal are important as well. Materials such as stucco, synthetic stucco and plastic are not appropriate and should not be considered as exposed finish materials for new construction in this district.

Proposed materials include wood rainscreen cladding and standing-seam metal. While the wood rainscreen would not be appropriate on a principal façade, the proposed cladding on the ground level of the rear addition, as well as all levels of the east elevation is appropriate. Many buildings in Over-the-Rhine, especially residential buildings, feature wood-frame additions on the rear of the property. The cladding will not be lap siding, however the gap between boards will be minimal and will not be visible from Pleasant Street (see Sheet A3.3). The standing-seam metal siding on the north and south elevations continue the cladding of the roof onto the side walls. While this would not be an appropriate treatment on a highly visible façade, the north and south elevations will not be

visible from any point on Elm Street and may be minimally visible from portions of Pleasant Street until additional infill development occurs.

Additions

Intent and General Guidelines

1. Additions are allowed and should follow new construction guidelines. They should be compatible in character with the original. They should be sympathetic but not imitative in design.
2. Additions should be designed to relate architecturally to adjacent buildings in general and to the building they are a part of in particular.
3. Additions should not overpower the original building.
4. The appropriateness of design solutions will be based on balancing the program needs of the applicant with 1) how well the proposed design relates to the original building and neighboring buildings and 2) how closely the proposal meets the intent of these general guidelines and the specific guidelines for new construction.

The addition is compatible in character with the original building as it is a similar height and scale. The massing and similar sized windows as the original building provide a design that relates to the original building as well as adjacent buildings. The addition does not over power the original building and is not visible from the Elm Street side of the property. While the proposed materials of wood and standing-seam metal siding are not commonly found on primary façades in the district, wood is a common material on rear addition and standing seam metal is a common roofing material. The metal cladding will only be placed on the upper levels of the north and south elevations and will not be visible at all from Elm Street and only minimally visible from Pleasant Street. Once more infill development occurs along the vacant lots on Pleasant Street, the metal cladding will not be visible.

Site Improvements

B. SPECIFIC GUIDELINES

3. FENCES AND WALLS: Plain board fences (vertical boards nailed side-by-side on horizontal stringers) or wire fences are appropriate at the rear of the property or along the side of the property. Wood fences should be painted or stained but not left to weather naturally. Chain link, stockade, shadow board, basket weave and lattice designs are not appropriate. Masonry privacy walls are not encouraged.

The proposed fence will not detract from the character of the building, as it will only be visible from the Pleasant Street side when directly in behind the building. The fence will be composed of plain horizontal wood boards that will be stained, an appropriate material for the district. The fence will enclose a larger portion of the rear yard than the masonry wall, which will be partially removed to expand the lawn area. The 7-foot wood fence will connect to the 7-foot masonry wall on the north and south property lines. Removing portions of the masonry wall will bring the property into greater conformance with the guidelines which state that masonry privacy walls are not encouraged.

4. DECKS: Wood decks should be stained or painted. Rooftop decks should not be highly visible from the principal façade. Metal balconies should not be discouraged.

The proposed rooftop decks are appropriate as they will not detract from the character of the building and will not be highly visible from street level. The existing roofline of the building is not currently visible from the street and is not a character defining feature. The proposed third story addition will extend the roof up approximately 4 feet and allow access to the western rooftop deck. The new roofline has been pushed back from the façade and will not be highly visible from Elm Street (see site line drawing on Sheet 3.1). The parapet formed by the cornice will be tall enough to not require an additional railing. The deck will not be visible from Elm Street. The rear roof deck on the one-story portion of the eastern addition will be partially visible from Pleasant Street, but will be screened by trees. It is expected that the deck will be further screened by future infill development along Pleasant Street.

Other Considerations:

The applicant and owners worked with the Over-the-Rhine Infill Committee on the design of the proposed rear addition to the property. In consultation with the committee, the rear addition was scaled back to conform to and extend the wall line of the historic rear “ell” structure. The Infill Committee approves of the design and is expected to submit a letter in support of the project.

Prehearing Results: A prehearing was held on June 29, 2016.

Comments Provided to Staff: N/A

Consistency with *Plan Cincinnati (2012)*:
“Sustain” Initiative Area “Preserve our built history”

Other: The applicant is also proposing:

- New aluminum-clad wood double-hung windows manufacture by Pella, Marvin or Lincoln.
- A new fiberglass four-panel front door.
- Restoration of the façade including cleaning and tuckpointing.

All of this work is consistent with the Over-the-Rhine Historic District Conservation Guidelines.

Recommendation:

Staff recommends the Historic Conservation Board take the following actions:

I. ZONING VARIANCE

A. DIMENSIONAL VARIANCE

1. **APPROVE** the requested 1-foot variance for a total of a 7-foot high fence in the side and rear yards of the subject property.

B. FINDING: The Board makes this determination that per Section 1435-05-4:

1. Such relief from literal implication of the Zoning Code will not be materially detrimental to the public health, safety and welfare or injurious to property within the district or vicinity where property is located; and
2. Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the district.

II. CERTIFICATE OF APPROPRIATENESS

A. APPROVE a Certificate of Appropriateness for 1526 Elm Street submitted by Sol design + consulting dated 6/10/2016 including any revisions submitted for permit subject to staff review and approval with the following conditions:

1. The front door shall be constructed of wood or fiberglass and not metal.
2. The building permits must be issued within two years of the decision date or the Certificate of Appropriateness shall expire.

B. FINDING: The Board makes this determination per Section 1435-09-2:

2. That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

June 10, 2016

Beth Johnson

City Urban Conservator, Historic Conservation Office
Department of City Planning and Buildings
Two Centennial Plaza - Suite 500, 805 Central Avenue, City of Cincinnati, Ohio 45202
Phone: 513.352.4848; Cell: 513.352.2378
Email: beth.johnson@cincinnati-oh.gov

Subject: Certificate of Appropriateness for 1526 Elm Street Renovation and Addition

Dear Beth,

By way of reference, Sol design + consulting is the Architect for proposed renovation and addition of an existing property at 1526 Elm Street, Cincinnati, OH 45202. The existing use of the property is Residential Single Family and the property is currently vacant. Existing home comprises a historic 3-story front on Elm street, with a non-contributing single-story addition at the back. The gross area of the existing building is approximately 3,000 sf.

The Owner of the property would like to renovate the property as their primary residence thus continue the Residential Single-family use of the property. The intent of proposed renovation and addition is to meet the architectural needs of the homeowner. The proposed design horizontally expands the total area by 500 sf. with a 3-story addition at the back; and vertically extends the existing third floor by approximately 4 feet in height to make it more usable. The existing historic street front and the entire building will be the preserved and exterior renovation work will maintain historic features of the building.

Following is a summary of how the proposed expansion complies with the Conservation Guidelines for Over-the-Rhine Historic District:

Composition:

Proposed expansion is compatible in character of existing and the context in terms of its height, and massing. The proposed expansion does not impede with the existing principle façade of the building. The vertical extension of the third floor is intentionally set back from the principle façade not to impact any elements of the historic façade.

The proposed three-story addition at the back does not replicate or overpower the existing; and maintains the vertical emphasis, characteristic of the existing historic building and Over-the-Rhine at large. The width of the addition aligns with the existing building; and the height is within the range of adjacent context. The rear addition extends into the rear yard less than the existing non-contributing addition.

The new addition has a distinct 'base' characterized by a change in plane and material; the second and third floors constitute the 'middle' body; and the 'top' is characterized by a roof overhang projection. The roof slope of proposed addition is the same as existing building and compatible with adjacent buildings.

Setbacks:

The vertical height extension of the third floor is set back 10 feet from the front property line to comply with the zoning ordinance. The width of the third-floor ceiling extension is the same as the existing building.

The width of the rear addition also aligns with the existing building; and the height is within the range of adjacent context.

The rear addition extends into the rear yard less than the existing non-contributing addition.

Materials:

The existing brick exterior is entirely preserved on the principle façade and the two long sides of the building. The back of the existing brick building which abuts against the new addition will be marginally altered to gain access to the new addition.

The choice of wood and metal exterior of the addition is intended not to be imitative and to highlight the existing brick exterior.

Window & Door openings:

All windows and doors openings on the principle façade and majority of the side elevation will remain intact. One door on the side elevation will be converted to a window. This alteration will be reversible in nature, and reuse an existing window from the back elevation. The back of the existing brick building which abuts against the new addition will be marginally altered to gain access to the new addition.

New windows on the side elevation align vertically with existing openings on the lower floors. New window on rear elevation follow the narrow proportion of existing building and OTR at large. The glazing in all windows shall be clear (not tinted), and the muntins shall follow the 2-over-2 configuration where applicable.

Ornamentation:

All ornamentation on the principle façade and on the side elevation will remain intact. The back of the existing brick building which abuts against the new addition will be marginally altered to gain access to the new addition.

Roofs:

Proposed material for new roof is standing seam metal roof. The roof slope is the same as the existing building and compatible with adjacent buildings. Existing chimneys visible from the street will be preserved and incorporated as a feature in the proposed exterior design.

Exterior Restoration:

Any exterior restoration work such as cleaning, tuck-pointing, painting, etc. shall be in compliance with the Conservation Guidelines for Over-the-Rhine Historic District.

Site Improvements:

Historic elements of the side entrance, such as entrance arch, gate, and pavement shall be restored. The rear yard shall be newly landscaped with plantings and stone pavement. Existing masonry wall fencing will remain intact. Areas where new fencing is proposed, fence shall be of wood and metal material compatible with the proposed design and adjacent context.

We respectfully request you to review abovementioned summary and enclosed design drawings and grant us the Certificate of Appropriateness for us to proceed.

Please feel free to contact me should you have any further questions.

Sincerely,



Sanyog B. Rathod, AIA, NCARB, LEED AP
President, Sol Developments LLC
1128 Main Street, Cincinnati, OH-45202
Mobile: 513-939-8400, Fax: 513-455-8227
Email: sanyogr@solconsults.com

Beth Johnson

June 10, 2016

City Urban Conservator, Historic Conservation Office
Department of City Planning and Buildings
Two Centennial Plaza - Suite 500, 805 Central Avenue, City of Cincinnati, Ohio 45202
Phone: 513.352.4848; Cell: 513.352.2378
Email: beth.johnson@cincinnati-oh.gov

Subject: Certificate of Appropriateness for 1526 Elm Street Renovation and Addition

Dear Beth,

Following is additional information requested regarding proposed renovation and addition of an existing property at 1526 Elm Street, Cincinnati, OH 45202.

Applicant: Sanyog Rathod, Architect representing Owner

Type of Work: Renovation of residence with new roof deck; and rear addition.

Background: The scope of renovation includes:

1. Renovation and restoration of existing historic building.
2. Partial demolition of a small, non-contributing rear portion to facilitate new rear addition.
3. All existing window and door openings, transoms, and ornamentation will be maintained.
4. New windows will be aluminum-clad wood windows by Pella, Marvin or Lincoln. Windows on the existing historic building will 2/2 configuration. New doors will be insulated metal with panel design to match historic character.
5. Proposed material for new roof is standing seam metal roof. The roof slope is the same as the existing building and compatible with adjacent buildings. Existing chimneys visible from the street will be preserved and incorporated as a feature in the proposed exterior design.
6. Roof drainage will be maintained at rear of the building. The new deck in front will have a main drain and an overflow drain.
7. Historic elements of the side entrance, such as entrance arch, gate, and pavement shall be restored. The rear yard shall be newly landscaped with plantings and stone pavement.
8. Existing masonry wall fencing will remain intact. Areas where new fencing is proposed, fence shall be of wood and metal material compatible with the proposed design and adjacent context.
9. Existing tree shall remain unless health is detrimental as confirmed by an Arborist.
10. Estimated total project budget is \$450,000
11. The project is scheduled to start construction in Fall on 2016 and completed in Spring of 2017.
12. Applicants Witness – Kristen Myers, Chris Heckman, Sanyog Rathod

Following is requested documentation for partial demolition of small rear non-contributing portion:

1. The amount paid for the property, the date of purchase and the party from whom purchased, including a description of the relationship, if any, between the owner and the person from whom the property was purchased:
\$1,597.34; 11/22/2013; 9487 Dry Fork RD LLC; no relationship
2. The condition of the property when purchased:
The building was partially usable with broken windows in some rooms. The finishes had exceeded their useful life needed significant repair or replacement.
3. The value of significant interior and exterior improvements made after purchase:
\$10,000 estimated value of general maintenance by Owner towards general up-keep and preservation of primary façade, windows, and building security.
4. The assessed value of the land and improvements thereon according to the two (2) most recent assessments:
8/26/2014 – Land - \$18,450; Improvements - \$176,550; Total - \$195,000
4/12/2012 – Land - \$14,300; Improvements - \$72,630; Total - \$86,930
5. Real estate taxes for the previous two (2) years:
2/1/15 – \$3,206.79
2/2/14 – \$749.86
6. Annual debt service, if any, for the previous two (2) years:
None
7. All appraisals obtained within the previous two (2) years by the owner or applicant in connection with his purchase, financing or ownership of the property:
None
8. Any listing of the property for sale or rent, price asked and offers received if any:
None
9. Any consideration by the owner as to profitable adaptive uses for the property:
Originally 1-3 family dwelling conversion to a single-family owner occupied home
10. An itemized statement of the annual costs of all insurance on the property:
None
11. A statement of potential return on investment based on existing or new uses, including costs of rehabilitation of existing supplementary new construction, and using fair market value for the property, a "reasonable" rate of return on investment, and prevailing rehabilitation and rental rates in the area. (Including floor area per floor and total):
None

12. All available reports, if any, on the structural condition of the property:

None. Property is in sounds structural condition.

13. Annual gross (pre-tax minus maintenance and other costs) income from the property for the previous two (2) years:

None

14. Whether or not the property was occupied when purchased, and any income from the property at the time it was purchased immediately or prior thereto:

The building was vacant when purchased. No record of income immediately prior thereto.

15. Itemized operating and maintenance expenses for the previous two (2) years:

Taxes, Utility Bills

16. Annual cash flow, if any, for the previous two (2) years:

None

17. For vacant, semi-vacant and under-utilized buildings, or buildings in need of rehabilitation, owner is required to submit a statement of potential return on investment based on existing or new uses, including costs of rehabilitation, and supplementary new construction, and using fair market value for the property, a "reasonable" rate of return on investment, and prevailing rehabilitation and rental rates in the area:

N/A

18. Owner required stating anticipated income from the property after the demolition of the structure or structures:

Proposed use is owner-occupied Single-Family home; it will not be an income generating property.

Please feel free to contact me should you have any further questions.

Sincerely,



Sanyog B. Rathod, AIA, NCARB, LEED AP
President, Sol Developments LLC
1128 Main Street, Cincinnati, OH-45202
Mobile: 513-939-8400, Fax: 513-455-8227
Email: sanyogr@solconsults.com

APPLICATION



CERTIFICATE OF APPROPRIATENESS

APPLICATION

BUILDING ADDRESS: 1526 Elm St

DISTRICT NAME: Over the Rhine Historic District
(if applicable)

OWNER NAME: Chris Heckman and Kristen Myers

ADDRESS: 1306 Main St, Unit 4, Cincinnati, OH 45202

EMAIL: kmyers@beckman-weil.com

CONTRACTOR NAME: CWD Restoration LLC (Jim Martin)

ADDRESS: 2905 Ziegler Ave, Cincinnati, OH 45208

EMAIL: cwdigger10@yahoo.com

ARCHITECT NAME: Sanyog Rathod

ADDRESS: 1128 Main Street, Suite 201

EMAIL: SanyogR@solconsults.com

HC B USE ONLY

DATE RECEIVED BY HCB: _____

PERMIT/APD NO: _____

APP. COMPLETION DATE: _____

PHONE NO: 513-305-6852

PHONE NO: 513-668-3829

PHONE NO: 513-455-8228

IT IS YOUR RESPONSIBILITY TO NOTIFY THE URBAN CONSERVATOR IF ANY OF THIS INFORMATION CHANGES DURING THE PENDING REVIEW OF YOUR APPLICATION.

WORK PROPOSED: (Describe type of work, existing conditions, and methods to be used, materials proposed)

HC B USE ONLY

- MINOR ALTERATION
- NEW CONSTRUCTION
- ADDITION
- DEMOLITION
- REHABILITATION
- OTHER _____

The project comprises renovation of and a three story addition to an existing home. The existing site has a historic 3,000 sq ft building with a minor 285 sq ft non-contributing addition. The 285 sq ft addition would be removed to allow room for the new addition. The proposed materials are a wood rain screen, with a standing seam metal roof. The existing home would remain with the historic brick.

Refer to attached letter.

IN ORDER TO EXPEDITE HCB ACTION, PLEASE ATTACH ADDITIONAL INFORMATION, IF AVAILABLE, AS MAY BE APPROPRIATE. LIST ANY INFORMATION ATTACHED: (Elevations, site plans, specifications, photos, material samples, additional drawings or written matter)

Existing photos, existing elevations, existing floor plans, existing site plan, proposed elevation with dimensions, proposed rendered elevations, proposed floor plans, proposed site plan, materials- standing seam metal, materials- wood rain screen

Attach a letter explaining the justification for the issuance of the desired Certificate of Appropriateness. Be advised that the burden of proof is on the applicant.

MYERS HECKMAN RESIDENCE

Cincinnati, OH

Sol
design + consulting
1128 Main Street, Suite 201 Cincinnati, OH 45202
Ph 513.455.8228 Fx 513.455.1336
sanyogr@solconsults.com

ARCHITECTURAL
Sol design + consulting

Contact: Sanyog B. Rathod, AIA, LEED AP
Phone: 513.455.8228
Email: sanyogr@solconsults.com

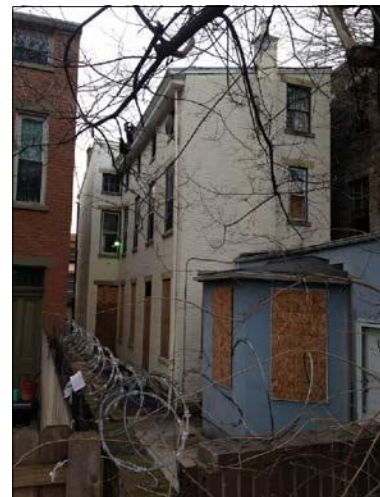
Myers Heckman
Residence
1526 Elm Street, Cincinnati, Ohio 45202

- T1 Title Sheet, Context photos & Site Plan
- T2 Site Plan & Fence Detail
- A2.1 Basement and First Floor Plans
- A2.2 Second, and Third Floor Plans
- A3.1 Building Elevations
- A3.2 Views & Rendering
- A3.3 Materials

Project No. 13060
Issued For: _____ Date _____
No. Description
01 COA SUBMITTAL SET 06/10/2016



ELM STREET FRONT (WEST FACING)

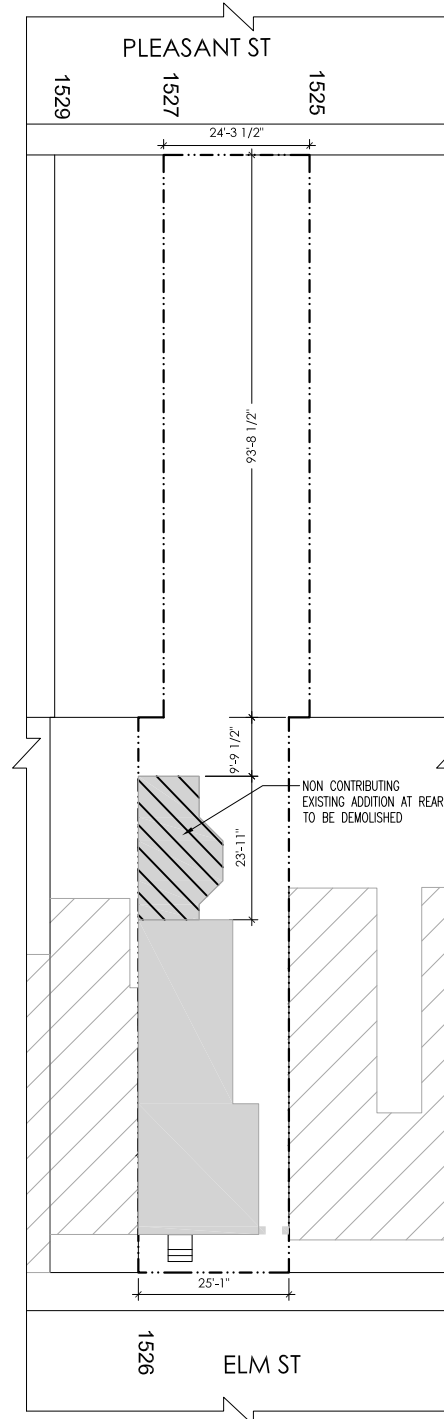


REAR (EAST FACING)

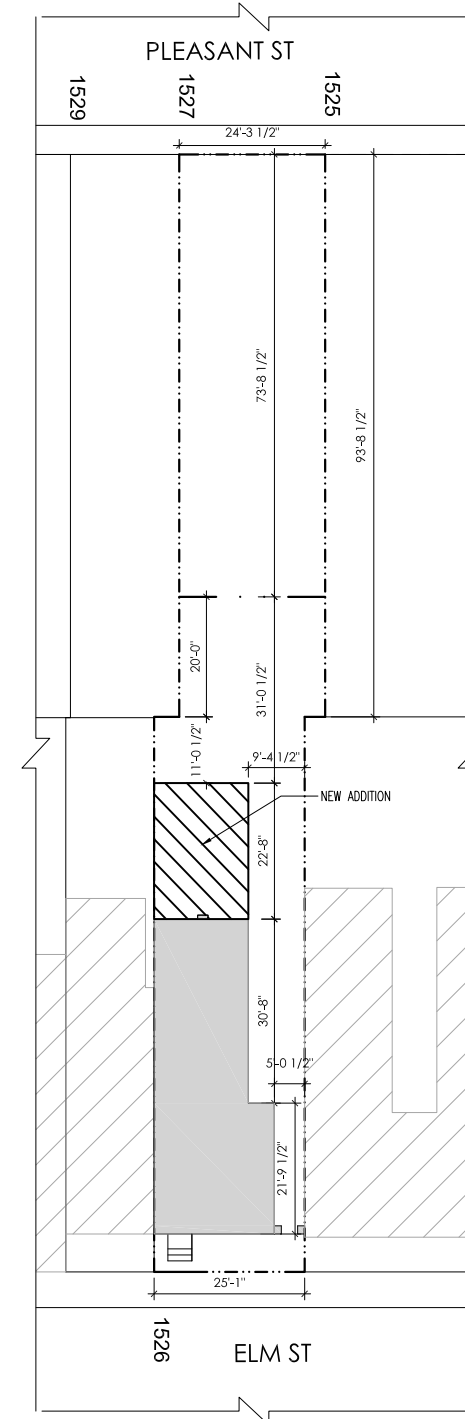


NON-CONTRIBUTING EXISTING ADDITION

1
T1 CONTEXT PHOTOS
SCALE: NO SCALE



2
T1 CONTEXT MAP (EXISTING)
SCALE: 1/32"=1'-0"
N



3
T1 CONTEXT MAP (PROPOSED)
SCALE: 1/32"=1'-0"
N

Drawn by: xxx
Checked by: xxx
File: xxxxxx.dwg

TITLE SHEET,
LEED NOTES,
AND SITE PLAN

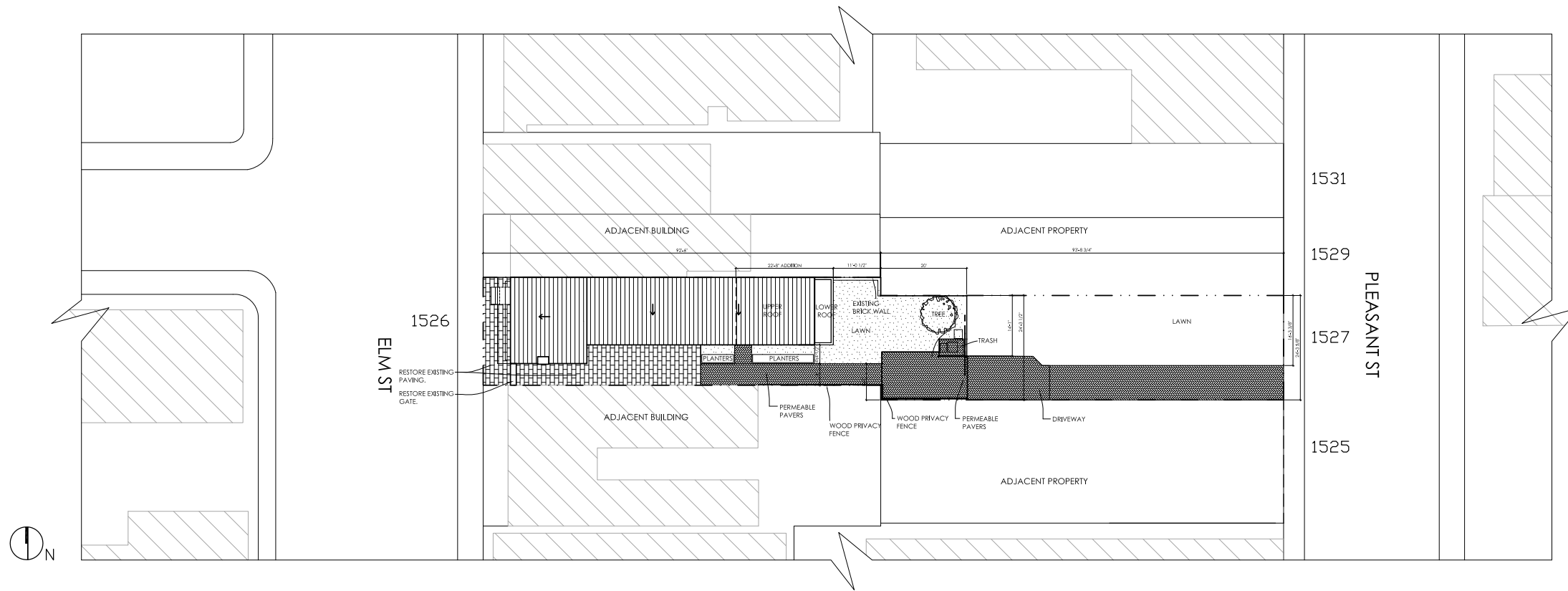
T1

**Myers Heckman
Residence**

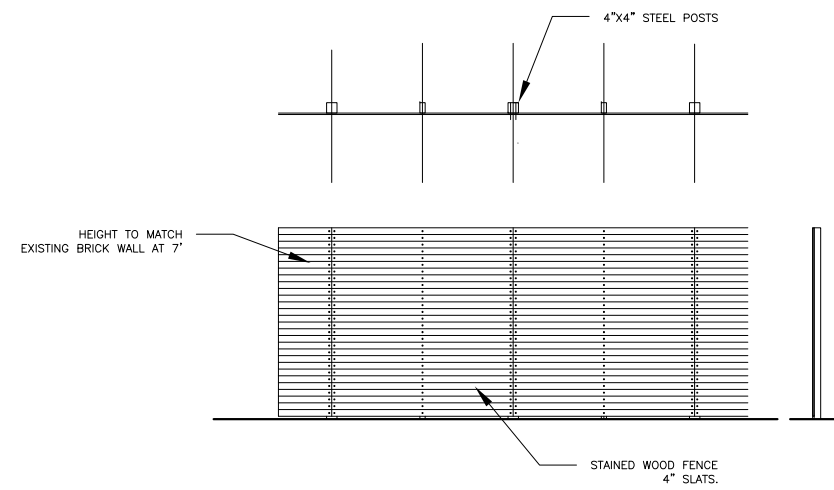
1526 Elm Street, Cincinnati, Ohio 45202

Project No. 13060

Issued For: _____ Date _____
No. Description
01 COA SUBMITTAL SET 06/10/2016



1 SITE PLAN
SCALE: 1/8"=1'-0"



SAMPLE FENCE

2 FENCE DETAIL
SCALE: 3/8"=1'-0"

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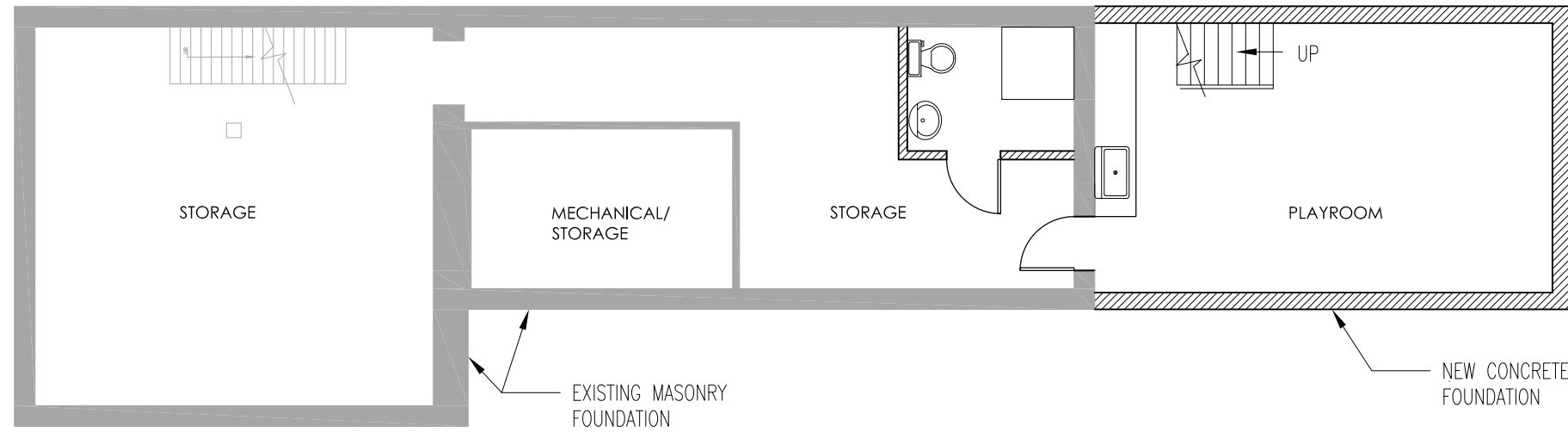
SITE PLAN AND
FENCE DETAIL

**Myers Heckman
Residence**

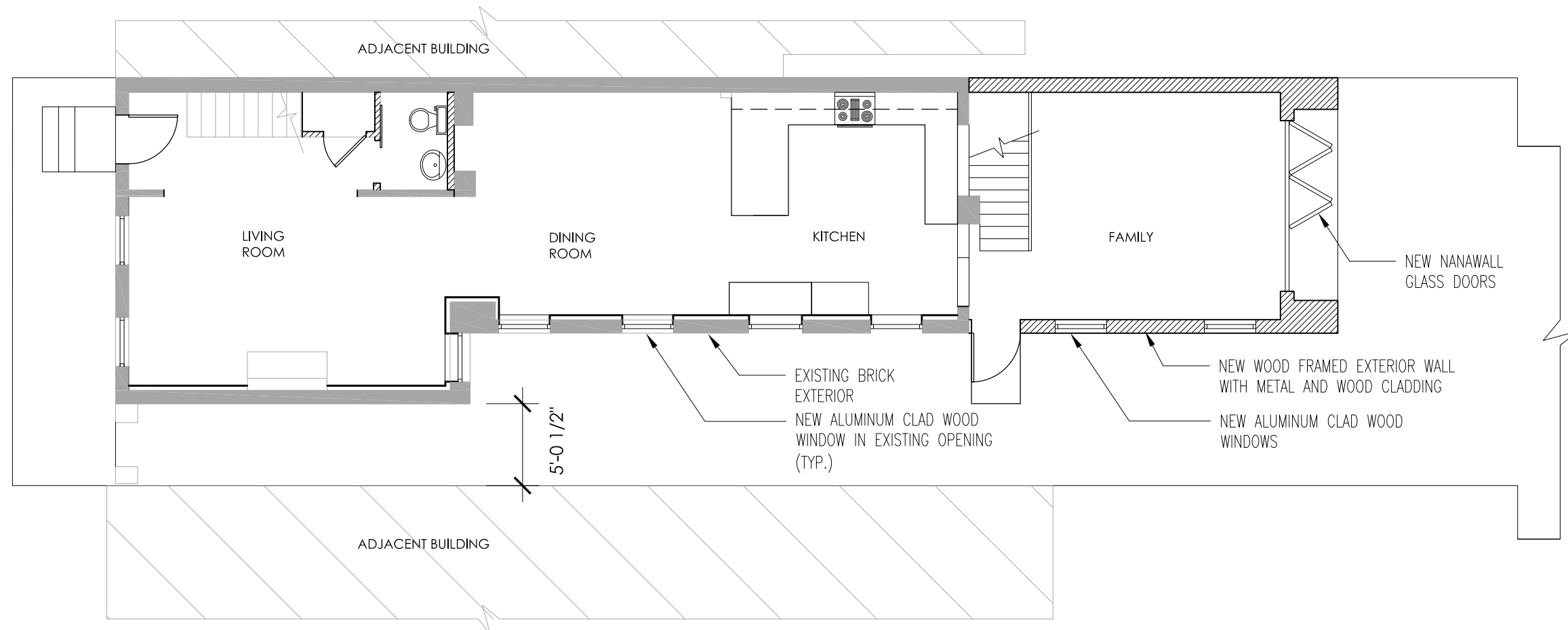
1526 Elm Street, Cincinnati, Ohio 45202

Project No. 13060

Issued For:	Date
No. Description	
01 COA SUBMITTAL SET	06/10/2016



1
A2.1 LOWER LEVEL PLAN
SCALE: 1/8"=1'-0"



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File: xxxxx.dwg

LOWER LEVEL PLAN
& GROUND FLOOR PLAN

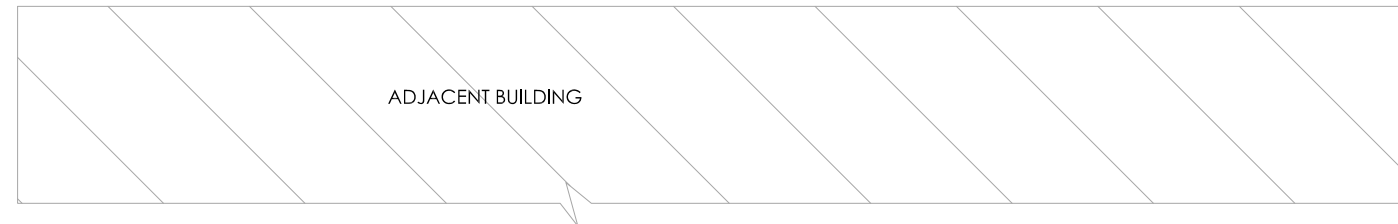
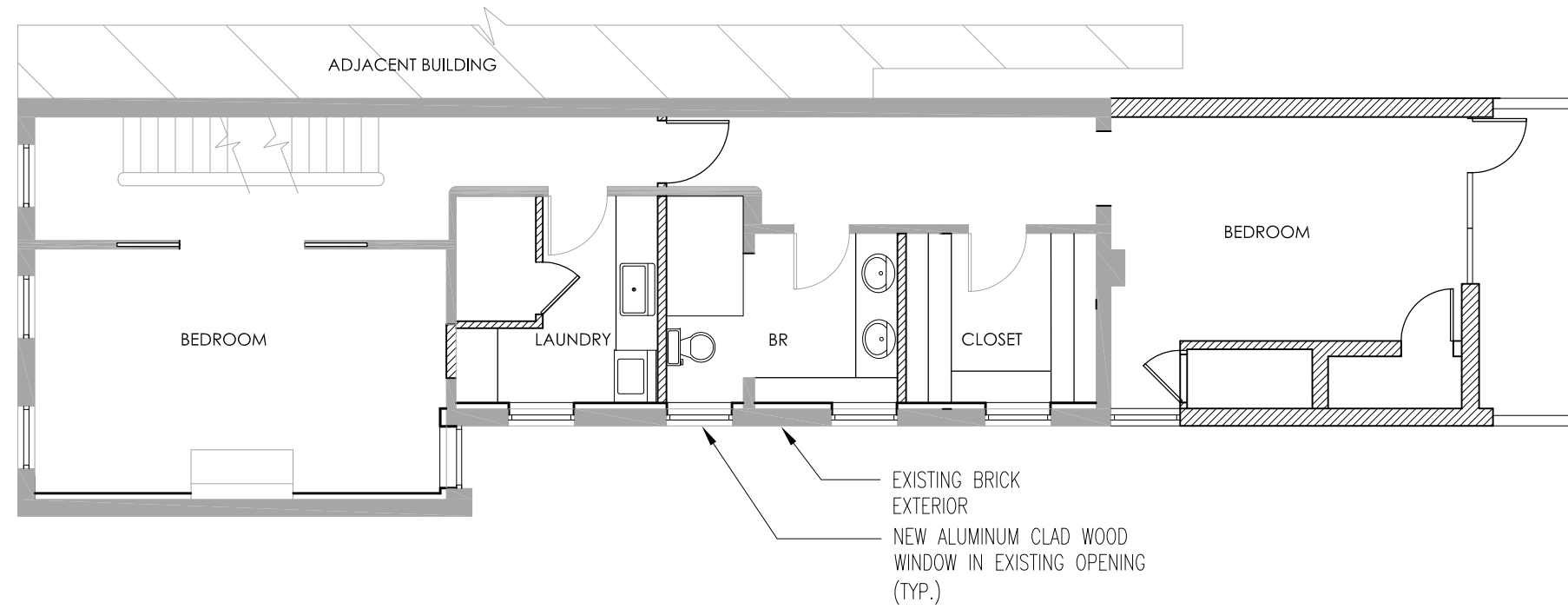
1
A2.1 GROUND FLOOR PLAN
SCALE: 1/8"=1'-0"

Myers Heckman Residence

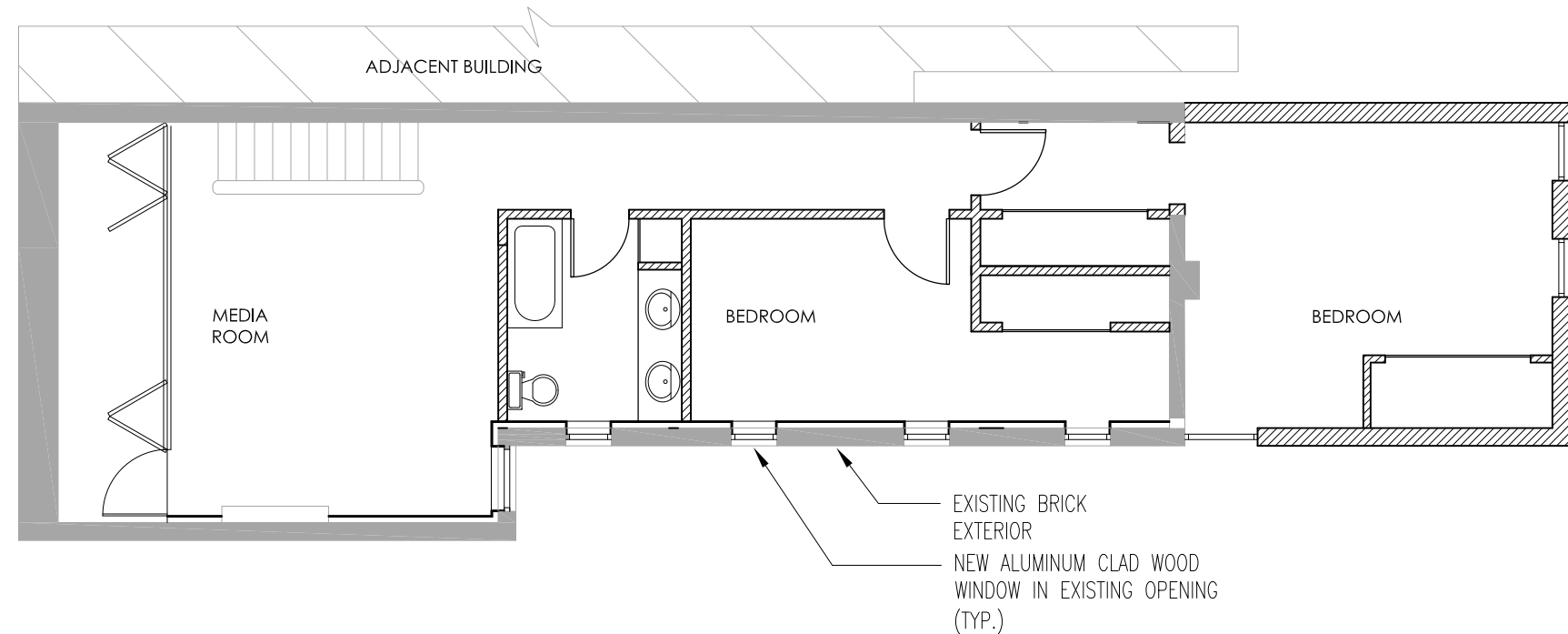
1526 Elm Street, Cincinnati, Ohio 45202

Project No. 13060

Issued For:	Date
No. Description	
01 COA SUBMITTAL SET	06/10/2016



1 SECOND FLOOR PLAN
 A2.1 SCALE: 1/8"=1'-0"



1 THIRD FLOOR PLAN
 A2.1 SCALE: 1/8"=1'-0"

Drawn by: xxx
 Checked by: xxx
 File: xxxxx.dwg

SECOND FLOOR PLAN & THIRD FLOOR PLAN



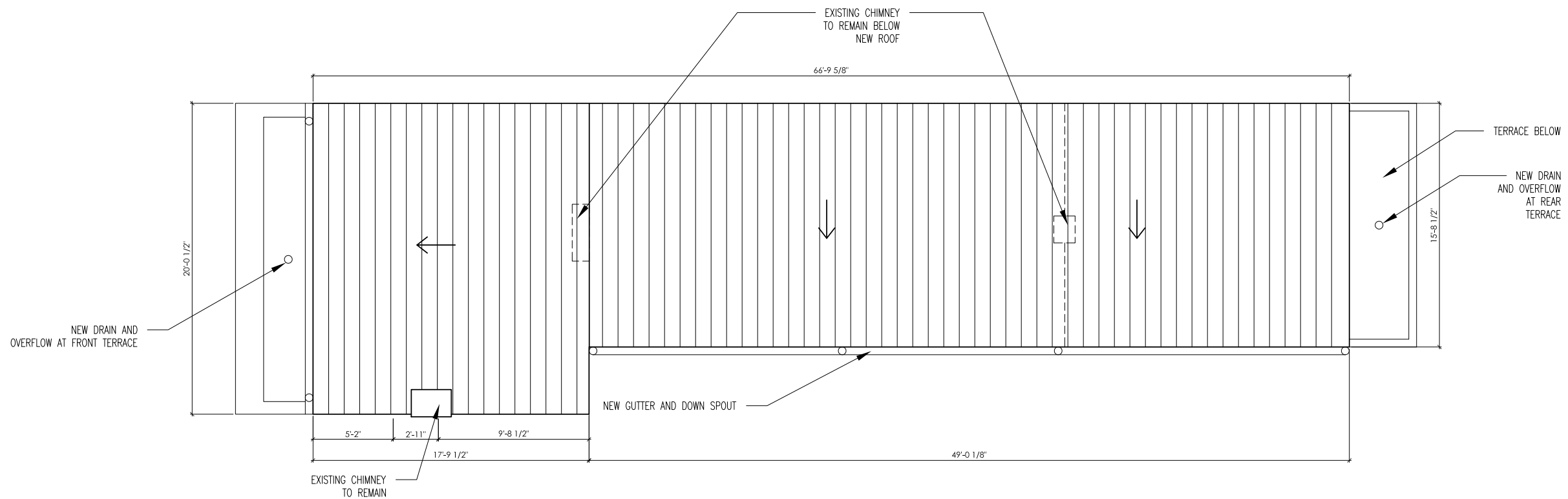
1128 Main Street, Suite 201 Cincinnati,
OH 45202
Ph 513.455.8228 Fx 513.455.1336
sanyogr@solconsults.com

Myers Heckman Residence

1526 Elm Street, Cincinnati, Ohio 45202

Project No. 13060

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No.	Description	
01	COA SUBMITTAL SET	06/10/2016



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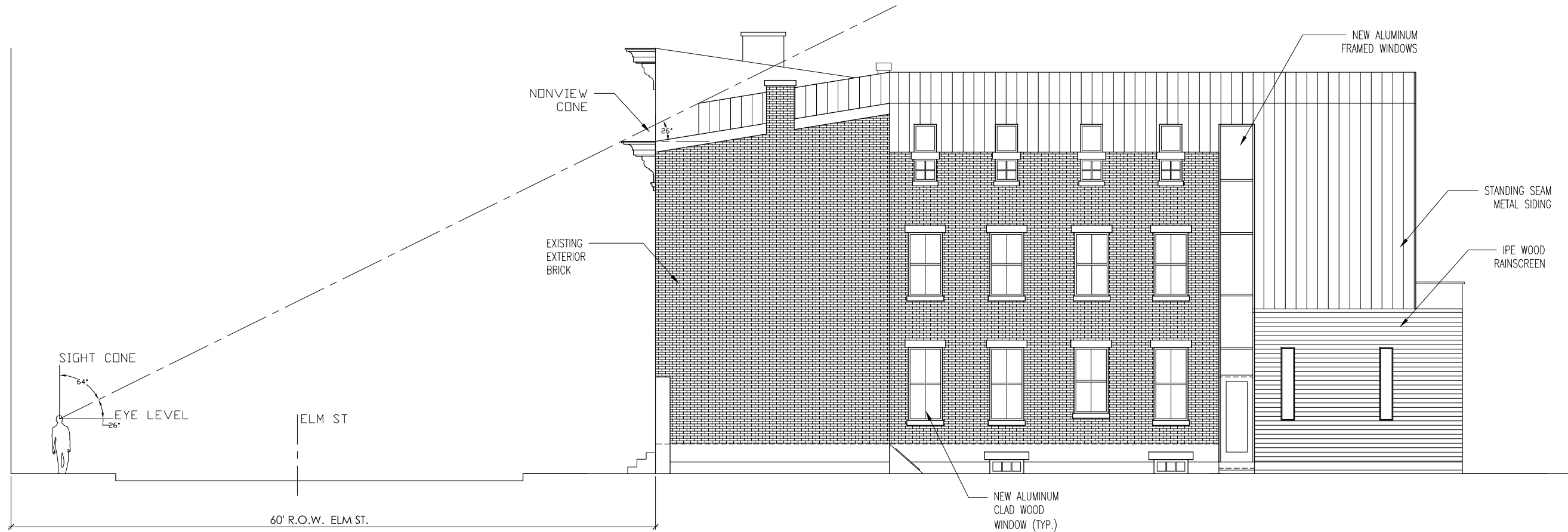
ROOF PLAN

Myers Heckman Residence

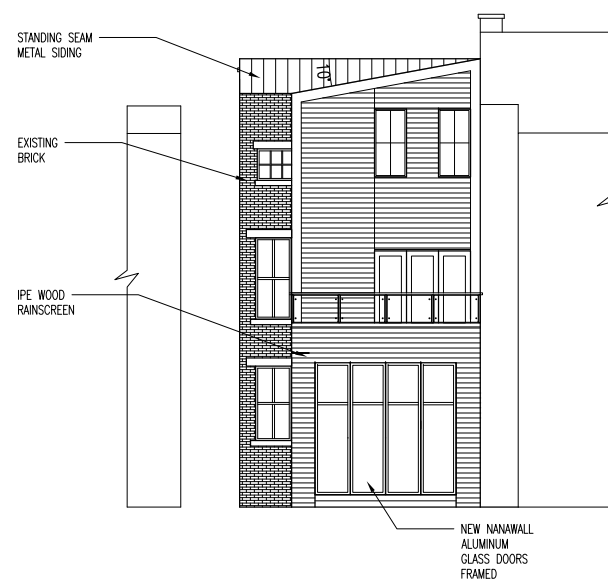
1526 Elm Street, Cincinnati, Ohio 45202

Project No. 13060

Issued For:	Date
No. Description	
01 COA SUBMITTAL SET	06/10/2016



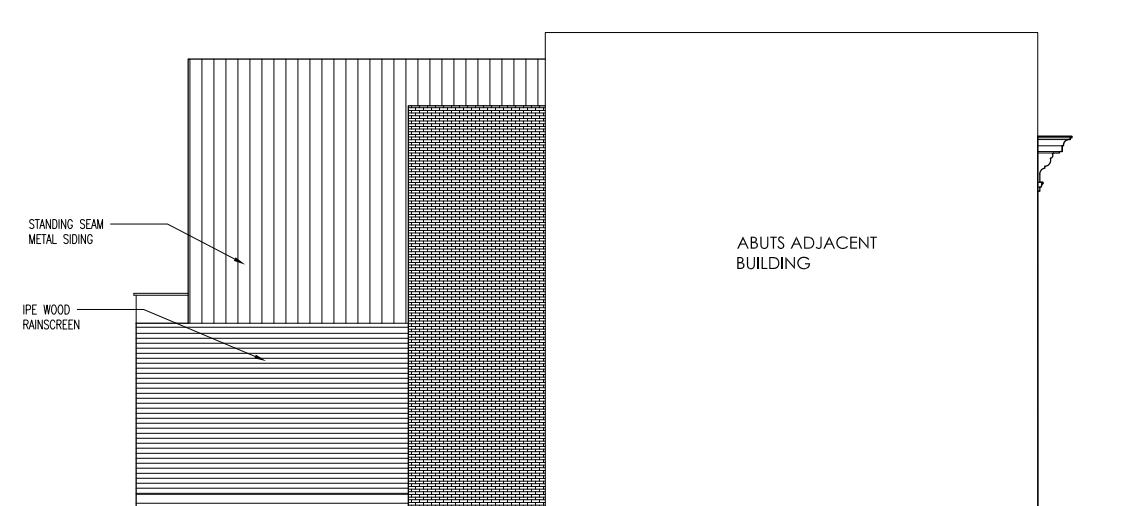
1 SOUTH/SIDE ELEVATION
SCALE: 3/32"=1'-0"



2 EAST/REAR ELEVATION
SCALE: 1/16"=1'-0"



3 WEST/FRONT ELEVATION
SCALE: 1/16"=1'-0"



4 NORTH/SIDE ELEVATION
SCALE: 1/16"=1'-0"

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Checked by: xxx
File: xxxxxx.dwg

ELEVATIONS

RENDERINGS



WEST/ FRONT, AERIAL



EAST, BACK

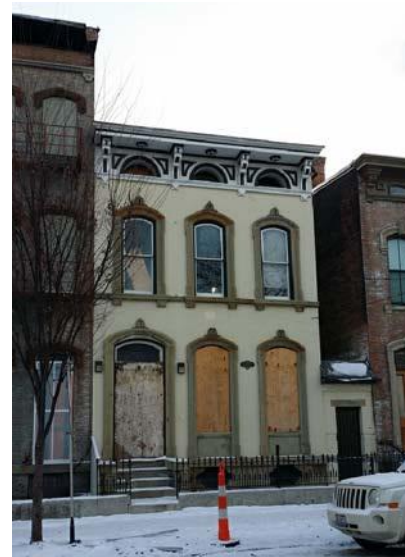


EAST, BACK (PROPOSED FENCE & TREE)

Project No. 13060

Issued For:	Date
No. Description	
01 COA SUBMITTAL SET	06/10/2016

EXISTING CONTEXT PHOTOS



WEST/ FRONT



WEST/ FRONT

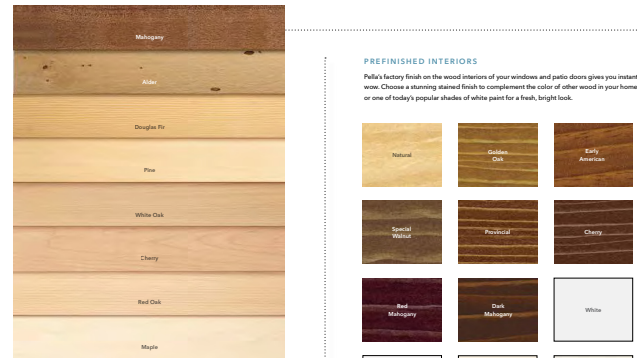
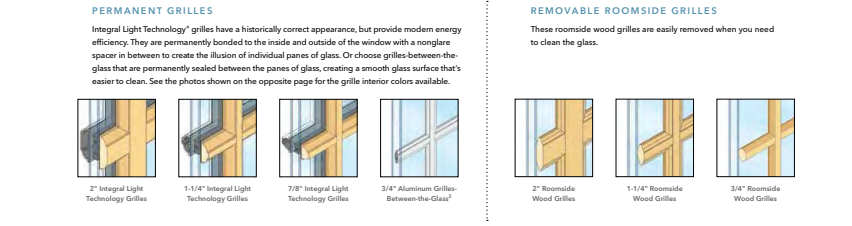
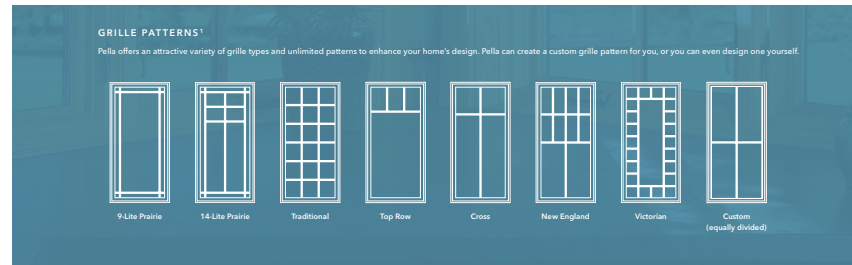


EAST/ BACK

Drawn by: xxx
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IEWS & RENDERINGS

EXTERIOR MATERIALS



WOOD TYPES
Mahogany, Alder, Douglas Fir, Pine, White Oak, Cherry, Red Oak or Maple Interiors: Your Architect Series® window or patio door can be made from your choice of today's most desirable woods - so it will tastefully complement your home's other interior finishes.



1128 Main Street, Suite 201 Cincinnati, OH 45202
Ph 513.455.8228 Fx 513.455.1336
sanyogr@solconsults.com

Myers Heckman Residence

1526 Elm Street, Cincinnati, Ohio 45202

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Issued For: _____ Date: _____
No. Description
01 COA SUBMITTAL SET 06/10/2016

1 PROPOSED PELLA WINDOWS 3.3 SCALE: NO SCALE

Ipê RAINSCREEN WOOD CLADDING

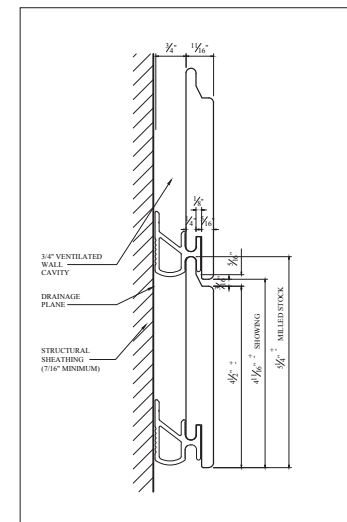
TABEUBIA SPP
Ipê, often called Brazilian walnut, is a beautiful exotic wood from South America. Typically used for decking and other outdoor applications, ipê structures are hard, strong, and naturally resistant to rot, abrasion and weather. It is almost twice as dense as most woods and up to five times harder. It is dark brown in color.

Fire Resistance

Material	Flame Spread Index (10 min)	Flame Spread Index (30 min)	Smoke Developed Value (10 min)	NFPA Class*	UBC Class**
Ipê	0	5	3	A	1

**NFPA is the National Fire Protection
**UBC is the Uniform Building Code
Density and Buoyancy
Ipê Janka® rating - 3680
Average weight is 72 lbs./cu. ft. Specific gravity is .92 so it barely floats.
*The Janka rating is a measure of the amount of force required to push a .444" diameter steel ball half way into a piece of wood.

Drying and Shrinkage
It dries extremely well with little checking, twisting, or bow.
Workability
Ipê can be difficult to work with, especially with hand tools. It can have a blunting effect on cutting edges, so pre-drilling for nails and screws is recommended. It comes in good long lengths with limited warp. Planes do not bend well, but the wood finishes and sands quite smoothly, with no splintering.

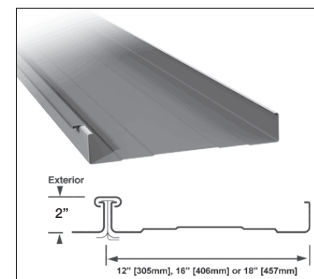
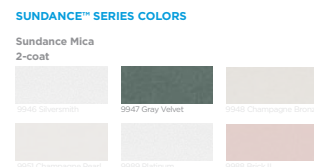


IPÊ RAINSCREEN PROFILE



IPÊ WOOD CLADDING

COLORS



STANDING SEAM METAL



STANDING SEAM METAL CLADDING

SRS® Structural Standing Seam Roof Systems

Featuring clean, unbroken lines and offering outstanding performance, CENTRIA's classic structural standing seam roof system makes dynamic, inspiring aesthetics possible.

- FEATURES & BENEFITS**
- Long panel lengths eliminate transition flashing, enhance weather resistance
 - Unique concealed clip and panel interlock design allows unimpeded thermal movement without damage
 - Mechanical seaming of roof panels in the field ensures weather resistance and enhances appearance
 - UL 580 Class 90 listing
 - FM 1-90 and FM-100
 - Dade County NOA
 - Low slope applications: 1/2:12 (2.40°) without endlaps, 1:12 (4.76°) with endlaps
 - Can be field roll-formed, eliminating endlaps
 - SRS 3 can be curved to various radii

DESCRIPTION
Structural standing seam roof systems
SUBSTRATES
• SRS 3 - 24-18 gage
• Batten maximum 20 gage
• G90 galvanized steel, Galvalume®, stainless steel*, and aluminum

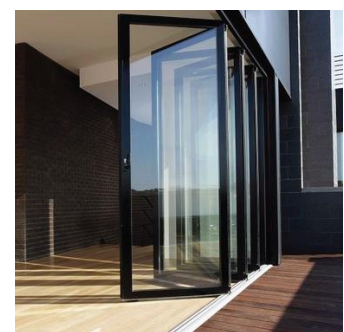
NanaWall folding glass wall

NanaWall system
Aluminum framed architectural folding doors that are thermally broken for optimal performance

PERFORMANCE VALUES



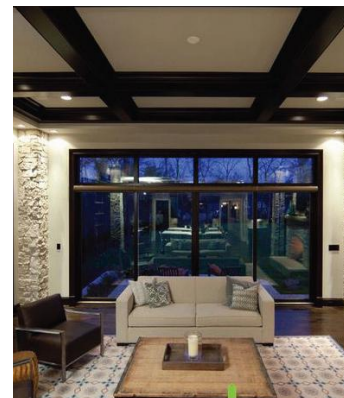
MULLION ASSEMBLY SECTION



DIAGRAMMATIC FOLDING WALL



NANAWALL SYSTEM - OPEN



NANAWALL SYSTEM - CLOSED

Drawn by: xxx
Checked by: xxx
File: xxxxxx.dwg

MATERIALS

2 PROPOSED WOOD CLADDING 3.3 SCALE: NO SCALE

3 PROPOSED METAL CLADDING 3.3 SCALE: NO SCALE

4 PROPOSED NANAWALL SYSTEM 3.3 SCALE: NO SCALE

A3.3

COUNTY AUDITOR ON-LINE

Hamilton County Auditor Dusty Rhodes

138 East Court St., Cincinnati, Ohio 45202 - (513)946-4000 - dusty.rhodes@fuse.net

Property Access

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Property

ID
02-0286-00

Address
1526 ELM ST

Index Order
Parcel Number

Tax Year
2015 Payable 2016

Payment Information

ROBERT A. GOERING, TREASURER	
Payments to:	Hamilton County Treasurer 138 E. Court Street, Room 402 Cincinnati, Ohio 45202
District:	001 - CINTI CORP-CINTI CSD
Property Owner(s)	MYERS KRISTEN & CHRIS HECKMAN
Bill Mail Address	MYERS KRISTEN & CHRIS HECKMAN 1306 MAIN ST #4 CINCINNATI OH 45202
Taxable Value	
	6,460
Improvements	40,850
	47,310

Tax Overview	
Tax Lien Pending	No
Tax Lien Sold	No
Full Rate	103.130000
Effective Rate	74.799317
Non Business Credit	0.100000
Owner Occupancy Credit	0.025000
Certified Delinquent Year	0
Delinquent Payment Plan	No
TOP (Treasurer Optional Payment)	\$0.00
<i>Note: May represent multiple parcels</i>	

Current Year Tax Detail

	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Estate			\$2,439.54		\$2,439.54	
			\$670.16		\$670.16	
Total			\$1,769.38		\$1,769.38	
Business Credit			\$176.94		\$176.94	
Owner Occupancy Credit			\$0.00		\$0.00	
Instead			\$0.00		\$0.00	
CR			\$0.00		\$0.00	
Total	\$0.00	\$0.00	\$1,592.44	\$0.00	\$1,592.44	\$0.00
Rest/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Estate Paid	\$0.00		\$1,592.44		\$1,592.44	
Estate Owed	\$0.00		\$0.00		\$0.00	
Local Assess Paid	\$0.00		\$4.90		\$0.00	
Local Assess Owed	\$0.00		\$0.00		\$0.00	
Due	\$0.00		\$1,597.34		\$1,592.44	
Paid	\$0.00		\$1,597.34		\$1,592.44	
Ad Delq Contract	\$0.00		\$0.00		\$0.00	
Owed	\$0.00		\$0.00		\$0.00	

Special Assessment Detail for 34-999 #34-999 URBAN FORESTRY CITY

	Prior Delinquent	Adj. Delinquent	1st Half	Adj. 1st Half	2nd Half	Adj. 2nd Half
Rest/Penalty	\$0.00	\$0.00	\$4.90	\$0.00	\$0.00	\$0.00
	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
	\$0.00		\$4.90		\$0.00	
	\$0.00		\$0.00		\$0.00	

Payment Information for Current And Prior Year

Date	Half	Prior	1st Half	2nd Half	Surplus
2016	1 - 2015	\$0.00	\$1,597.34	\$1,592.44	\$0.00
2015	1 - 2014	\$0.00	\$1,605.84	\$1,600.95	\$0.00
2014	2 - 2013	\$0.00	\$0.00	\$749.86	\$0.00
2014	1 - 2013	\$0.00	\$420.90	\$0.00	\$0.00
2013	1 - 2013	\$0.00	\$333.60	\$0.00	\$0.00

Information believed accurate but not guaranteed. Treasurer disclaims liability for any errors or omissions

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Parcel ID 081-0002-0286-00 **Address** 1526 ELM ST **Index Order** Parcel Number **Tax Year** 2015 Payable 2016

Property Information

Tax District 001 - CINTI CORP-CINTI CSD	School District CINCINNATI CSD	Images/Sketches 
Appraisal Area 01800 - OVER THE RHINE	Land Use 530 - THREE FAMILY DWLG	
Owner Name and Address MYERS KRISTEN & CHRIS HECKMAN 1306 MAIN ST #4 CINCINNATI OH 45202 (call 946-4015 if incorrect)	Mailing Name and Address MYERS KRISTEN & CHRIS HECKMAN 1306 MAIN ST #4 CINCINNATI OH 45202 (call 946-4800 if incorrect)	
Assessed Value 47,310	Effective Tax Rate 74.799317	Total Tax \$3,189.78
Property Description ELM ST 25 X 92.50 IRR PT O L 49 ES ELM 225 FT N TIF & CRA ABATEMENT		

Appraisal/Sales Summary

Year Built	1870
Total Rooms	11
# Bedrooms	3
# Full Bathrooms	1
# Half Bathrooms	0
Last Sale Date	11/22/2013
Last Sale Amount	\$195,000
Conveyance Number	61118
Deed Type	WD - Warranty Deed (Conv)
Deed Number	303012
# of Parcels Sold	1
Acreage	0.053
Front Footage	25.00

Tax/Credit/Value Summary

Board of Revision	No
Rental Registration	No
Homestead	No
Owner Occupancy Credit	No
Foreclosure	No
Special Assessments	Yes
Market Land Value	18,450
CAUV Value	0
Market Improvement Value	176,550
Market Total Value	195,000
TIF Value	102,280
Abated Value	59,820
Exempt Value	0
Taxes Paid	\$3,189.78
Tax as % of Total Value	2.241%

Notes

1) 3-17-09 10 YEAR CRA ABATEMENT-RENOVATION-\$238,800 MAX-BEGAN TAX YEAR 2006 THRU 2015 BACK TO TAXABLE 2016 PAYABLE 2017 1) 11-30-04 30 YEAR TIF ABATEMENT BEGAN 2003 THRU 2032

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Parcel ID	Address	Index Order	Tax Year
3 ; 4 03 33 5 03 5 ; 9 03 3 #	4859 #IOP #W#W	Sdufh dQ xp eh#	5348 #Sd de# 349 #

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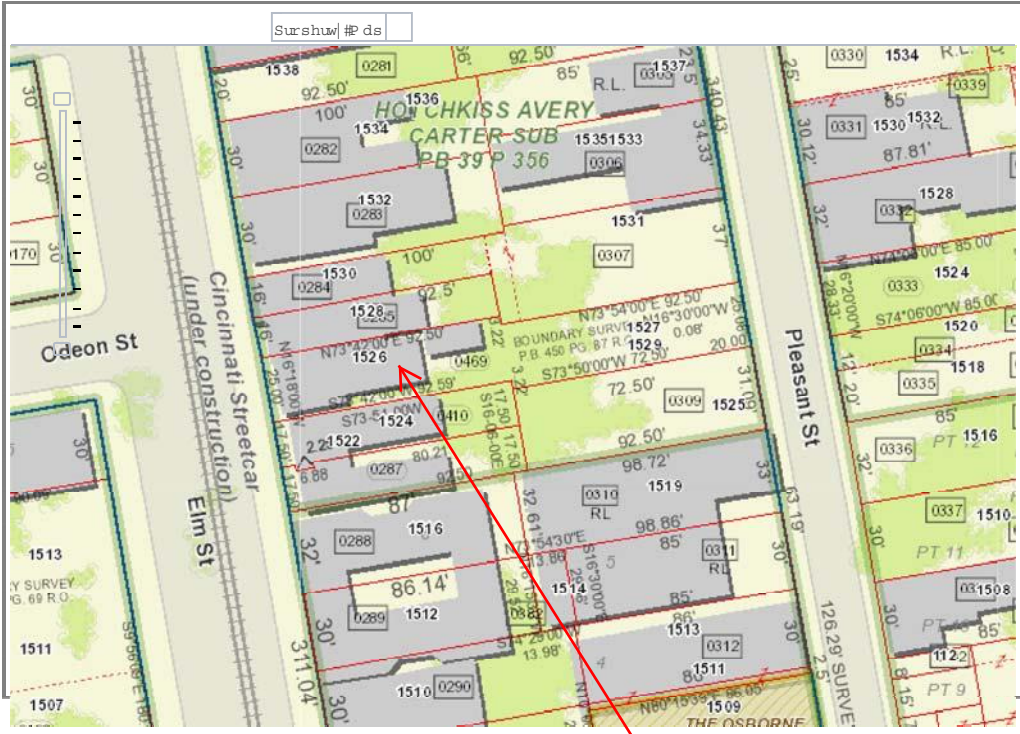
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 Hp dLhkh#Dxg lru
 Ylnz #kxh#R qdqh#Khas
 Dxg lruw#K rp h

View:

Surshw| #Vxp p du|
 Dssudlrd#qirup dwrq
 Ohy| #qirup dwrq
 Wudqvihu
 Ydoxh#K lwrul
 Erduq# #Uhyvbrq
 Sd| p hqw#G hwdlo
 Wd{ #G lwulexwbrqv
 Ip djhv
 VshflddDvvhvvp hqw2Sd| rii
 Wd{ #Olnq# #huwllfdwhv
 FDJLV #R qdqh# # dsv
 Dhukd# # djhu|
 R z qhu#Qdp hv

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 Surshw| #Uhsrw



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Cincinnati, OH 45202