

HISTORIC CONSERVATION BOARD AGENDA

5th Floor Conference Room
805 Central Ave, II Centennial

Monday, July 11, 2016 at 3:00 pm

CALL TO ORDER

DISCUSSION ITEMS:

Item 1. 1420 Elm Street The applicant requests a Certificate of Appropriateness for the rehabilitation of existing structure, and the construction of a roof top addition in the Over -the-Rhine Historic District.

Owner/ Applicant: OTR Holdings, Inc.

Item 2. 3741 Morris Place The applicant requests a Certificate of Appropriateness for the construction of a rear addition, and expansion of a rear deck in the Columbia Tusculum Historic District.

Owner: Matthew Cornell

Applicant: Matthew Yauch

Item 3. 1947 Auburn Ave The applicant requests the demolition of a rear addition in the Mt. Auburn Historic District.

Owner/ Applicant: Bobby Freisberg & Howard Jerrad

Item 4. 724 Lafayette Ave The applicant requests a Certificate of Appropriateness to construct an addition to the existing condominium building at Unit #5 in Sacred Heart /Mt. Storm Historic District.

Owner/ Applicant: Jack Sherman

OTHER BUSINESS

ADJOURN

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

APPLICATION #: _____
APPLICANT: RDA Group Architects
OWNER: OTR Holding Inc.
ADDRESS: **1420 Elm Street**
PARCELS: 081-0002-0366
ZONING: RM-1.2
OVERLAYS: Over-the-Rhine Historic District
COMMUNITY: Over the Rhine
REPORT DATE: June 21, 2016
HEARING DATE: June 15, 2015 pre-hearing
STAFF REVIEW: Beth Johnson, Urban Conservator

Nature of Request:

The applicant is requesting a Certificate of Appropriateness (COA) for a rear roof addition and façade changes on the south and east facades.

Existing Conditions:

The property at 1420 Elm Street 4 story brick with smooth stone veneer Italianate residence located on the east of Elm Street mid-block between 14th and 15th Street. The building features a stone foundation, brick-bearing walls, window openings with carved stone lintel details on the front and a mix of original, glass block and missing windows throughout the building. The rear of the building backs up to Osborne Alley and has a vacant paved lot to the north.



Figure 1: 1420 Elm Street facing east. Staff photo



Figure 2: Map of 1420 Elm Street. Map provided from Cagis Maps.

Proposed Conditions:

The applicant is proposing to rehabilitate the building into 8 condominiums. The façade will be restored and new Pella aluminum clad wood one over one windows will be installed throughout. Select windows on the south façade will be filled in with brick due to the need for fire rated openings on the fire escape and within 10 feet from the fire-escape. These infilled openings are not visible from the street.

The applicant is also proposing a roof addition in the rear. The addition will not be highly visible from the Primary Street. The addition will be sided in fiber cement siding and painted. The addition will have a flat roof and will have fixed aluminum clad wood windows on the east and south facades.

Previous Reviews: N/A

Applicable Zoning Code Sections:

Zoning District:	Section 1405	RM-1.2 District
HCB authority:	Section 1435-05-4	
Overlays:	Section 1435	Historic Preservation
Historic District/Reg:	Over the Rhine Historic District	
COA Standard:	Section 1435-09-2	Certificate of Appropriateness; Standard of Review

Zoning Review

The building is currently a vacant 8 unit residential building and will be turned back into an 8 residential unit building. As the use is not changing parking will not be required, however the owner has the paved parking lot just to the north of the subject property under contract and will be providing parking spaces for the units on this lot. There is currently a curb cut on the street into this lot and a parking lot was permitted in this location in 2001. The applicant will be submitting for parking lot improvements under a separate permit.

Certificate of Appropriateness Review:

A Certificate of Appropriateness is required for the roof top addition, new windows, and bricked in windows on the south façade.

Staff feels the proposed rehabilitation and addition is generally appropriate in the Over-the-Rhine Historic District and substantially conforms to the applicable conservation guidelines.

Comments on Applicable Guidelines

Additions

Intent and General Guidelines

1. Additions are allowed and should follow new construction guidelines. They should be compatible in character with the original. They should be sympathetic but not imitative in design.
2. Additions should be designed to relate architecturally to adjacent buildings in general and to the building they are a part of in particular.
3. Additions should not overpower the original building.
4. The appropriateness of design solutions will be based on balancing the program needs of the applicant with 1) how well the proposed design relates to the original building and neighboring buildings and 2) how closely the proposal meets the intent of these general guidelines and the specific guidelines for new construction.

The new roof top addition follows the "Intent and General Guidelines" section on Additions in Over-the-Rhine Historic Conservation Guidelines. The addition will be sympathetic to the building and the district by using compatible materials and will differentiate itself by using a lap siding material rather than a brick material and fixed windows rather than double hung windows. The addition will not over power the original building as it is not visible from the Primary Street in front of the building. Due to two vacant parcels north of the property, it will be visible from north on Elm Street but it does not detract from the architecture and does not overpower the building.

Rehabilitation

2. Door and Window Openings: Among the most important features of any building are its openings — its windows and doors. The size and location of openings are an essential part of the overall design and an important element in the building's architecture. Don't alter or fill-in original openings. Roll down shutters and metal bar systems installed on the exterior of the building that cover door and window openings are not appropriate.

The applicant also proposes to brick up 7 openings on the south façade. 3 of the windows are missing, 2 of the window openings have been enlarged, and, the remaining 2 windows do not have the original windows as one is a single pane fixed light and the other is glass block. The 7 proposed openings also have an OBC requirement to be fire rated due to their location on a fire escape or their distance within 10 feet of the fire escape. None of the windows are visible from the Primary Street and the bricked in treatment will be recessed 1 inch from the façade to show where the original opening was.

On the front of the building the applicant is proposing restoration of the historic wood front door and transom. The door will be fixed in place. The Guidelines do not require that the door be operable.

In the “Intent and General Guidelines” section in Rehabilitation it also states

4. Completely new features and materials should be compatible with the building in design, color, detailing, texture, size and shape. By their nature adaptively reused buildings may require more flexible and creative design approaches.

Staff feels that flexibility in allowing these windows to be bricked in is acceptable in this case and in their proposed treatment. This flexibility allows for the applicant to meet the OBC requirements. As the openings are not visible from the street and since the windows are either missing or the openings have been altered this treatment does not affect the architectural integrity of the building.

3. Door and Window Sash: Repair original doors and window sashes rather than replace whenever possible. If replacement is necessary, the new door or window sash should match the original in material, size and style as closely as possible. Synthetic replacement windows are generally discouraged. Consult with the Historic Conservation Office about acceptable replacement windows.

The applicant also proposes to replace all of the original double-hung wood sash with replacement windows. There is currently a mix of boarded up/missing windows, historic windows and glass block windows. The applicant has proposed Pella Architectural Series aluminum clad wood windows.

There are two arched openings on the rear that the applicant is proposing to put in paired double hung windows in each arched opening. As one window has a

replacement window currently in it and the other one does not have a window, the applicant is proposing to use windows that fill the width and use the current height but that do not have an arched top. As these windows are odd shapes compared to the rest of the windows on the building, staff feels that this treatment is acceptable as this façade is not visible from the primary street face and provides a more useful window for the units.

Other Considerations:

N/A

Prehearing Results: A Prehearing was held on June 15, 2016. The applicant was in attendance and a neighbor was in attendance.

Comments Provided to Staff: One letter was provided to staff and the letter is provided in the packet.

In response to some of the comments not addressed in the above review.

1. **Front Door:** The letter states that the floor plans should be rearranged to make the door operable. The applicant is restoring the historic front door. This work is permitted by right. The Guidelines do not require that the front door be operable but they do encourage restoration
2. **Parking:** Parking is not required for this project as the project is grandfathered in. The applicant, however, is providing parking on the adjacent lot. The parking lot was permitted in 2001 and the applicants will submit site improvements and changes in a separate permit.
3. **Secured Access:** The applicant has verbally stated they will provide these in replacement of the existing chain link fences. The Guidelines would not require that they provide secured access but whatever they do install will have to obtain a Certificate of Appropriateness and would have to comply with the Historic Conservation Guidelines.

Consistency with *Plan Cincinnati (2012)*:
“Sustain” Initiative Area “Preserve our built history”

Recommendation:

Staff recommends the Historic Conservation Board take the following actions:

I. CERTIFICATE OF APPROPRIATENESS

- A. **APPROVE** a Certificate of Appropriateness for 1420 Elm Street submitted by RDA Group Architect LLC, dated 5/26/2016 including any revisions submitted for permit subject to staff review and approval. With the following conditions:
 1. A permit should be issued for changes to the parking lot on the adjacent lot showing appropriate screening and appropriate fencing materials.

2. The building permits must be issued within two years of the decision date or the Certificate of Appropriateness shall expire.
- B. **FINDING:** The Board makes this determination per Section 1435-09-2:
1. That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.



CERTIFICATE OF APPROPRIATENESS

APPLICATION BUILDING ADDRESS: 1420 ELM ST.

DISTRICT NAME: OVER-THE-RHINE H.D. (if applicable)

OWNER NAME: OTR HOLDINGS INC

ADDRESS: 1203 WALNUT ST CINCINNATI OH 45202 PHONE NO: 513-621-4400

EMAIL: dlipson@3CDC.org

CONTRACTOR NAME: ES REMODELING PHONE NO: 513-505-5551

ADDRESS: 4814 BEVERLY HILL CINCINNATI OH 45226

EMAIL: ean.siemer@gmail.com

ARCHITECT NAME: RDA GROUP ARCHITECTS PHONE NO: 937-610-3440

ADDRESS: 7945 WASHINGTON WOODS DR DAYTON OH 45459

EMAIL: jos@rda-group.com

HC B USE ONLY DATE RECEIVED BY HCB: PERMIT/APD NO: APP. COMPLETION DATE:

IT IS YOUR RESPONSIBILITY TO NOTIFY THE URBAN CONSERVATOR IF ANY OF THIS INFORMATION CHANGES DURING THE PENDING REVIEW OF YOUR

WORK PROPOSED: (Describe type of work, existing conditions, and methods to be used, materials proposed)

HC B USE ONLY MINOR ALTERATION NEW CONSTRUCTION ADDITION DEMOLITION REHABILITATION OTHER

REHABILITATION OF VACANT 4-STORY MASONRY BUILDING INTO 8 RESIDENTIAL CONDO UNITS. EXTERIOR WORK INCLUDES MASONRY RESTORATION, NEW ALUMINUM CLAD WOOD WINDOWS IN EXISTING OPENINGS, AND MODIFICATIONS TO ROOF. ROOF WILL BE RAISED AT REAR PORTION OF 4TH FLOOR TO FULLY UTILIZE SPACE FOR OCCUPANCY. NEW

ROOF WILL BE FLAT SUPPORTED BY FIBER CEMENT CLAD WALLS SET INSIDE ORIGINAL MASONRY SUCH THAT ORIGINAL ROOF PROFILE REMAINS INTACT

IN ORDER TO EXPEDITE HCB ACTION, PLEASE ATTACH ADDITIONAL INFORMATION, IF AVAILABLE, AS MAY BE APPROPRIATE. LIST ANY INFORMATION ATTACHED: (Elevations, site plans, specifications, photos, material samples, additional drawings or written matter)

REFER TO ATTACHED DOCUMENTATION FOR ADDITIONAL INFORMATION

Attach a letter explaining the justification for the issuance of the desired Certificate of Appropriateness. Be advised that the burden of proof is on the applicant.

March 26, 2016

Historic Conservation Board
805 Central Avenue Suite 500
Two Centennial Plaza
Cincinnati Ohio 45202

RE: Certificate of Appropriateness
1420 Elm Street

Dear members of the Historic Conservation Board,

Thank you for your review of the proposed rehabilitation at 1420 Elm Street. The existing structure is a 4-story masonry building that is currently vacant. It is proposed to be utilized solely for residential use, with (8) units proposed. The exterior modifications and rehabilitation proposed include replacing all existing non-original windows with new appropriate windows in the existing openings, masonry restoration, and roof modifications to enable the rear portion of the 4th floor to be fully utilized.

Existing Building

The existing structure is a 4 stories with a full basement. The exterior walls are solid masonry of varying thickness, with wood floor, roof, and partition wall framing. The building has a stacked stone foundation. It is located on the east side of Elm Street approximately mid-block. Osborne Alley is to the rear. The footprint is approximately 100' deep x 19' wide and is 1,916 Square feet. The total square footage of the building is 9,580 square feet. The primary (west) façade is on Elm Street, and is Italianate in style. The painted stone façade is distinguished by a large decorative cornice at the roof line. The remaining elevations are painted brick. No original windows are present. There is an existing metal fire escape on the south façade. The flat roof slopes monolithically from Elm Street toward the alley at the rear (west to east). There are six existing chimneys.

General Project Information

The building is currently under contract to be purchased from the current owner, OTR Holdings, by our client, ES Remodeling. Refer to attached documentation. The scope of the project involves the creation of (8) one-bedroom residential condos. No commercial use is planned. No variances are being requested. Construction activities are anticipated to commence at closing in mid-July and last 9 months. Rehabilitation of the project is expected to cost \$890,000.

Parking

The adjacent parcel, containing an existing parking lot, is under contract to be purchased by our client, ES remodeling. The (8) parking spaces will be dedicated to the (8) condo units in the building. Any future site improvements to that parcel will be addressed under separate permit or as a plan change to the building permit.

Windows

All existing non-original windows will be removed back to the original wood frames. New custom sized factory finished aluminum clad double windows will be installed throughout. New windows will be one-over-one sashes with double pane clear glass. The finish color is TBD. The new window will fit into the existing opening with no modification. Pella Windows Architectural Series windows are the basis of design. See attached for product information. A limited number of window openings on the south façade will be infilled with brick. The new brick will be recessed 1" from the face of the original. Three door openings on the south façade will be converted to windows. The lower portion will be infilled with brick to match the adjacent window sill height. The existing stone lintels will remain. On the east (rear) and north façade, new windows will be installed in the existing openings.

Masonry

The existing masonry will be repointed as required to provide a weathertight condition. Loose paint will be removed. The building will be repainted with a historically appropriate color palate with a breathable paint.

Roof Modifications

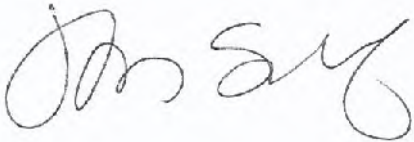
The existing roof system will be removed to the original wood deck. A new white TPO roof system will be installed. The existing roof framing will be removed at the rear of the building starting at the inside face of the rear wall and extending 33' +/- toward the front. New walls will be framed inside the existing masonry to support a new raised roof area bearing 15'-0" above the 4th floor. The new walls will be clad in fiber cement siding and painted. Refer to attached product information. The new roof will be flat with a membrane over tapered insulation draining to a new square gutter on the south. The raised roof will allow the 4th floor to be fully utilized as a residential unit, and will permit views to the east and south via new windows installed in the new walls. The profile of the original roof line will be maintained on both the north and south facades, as the new wall will be inset approximately 12" from the edge of the roof. All existing trim will be retained. The existing box gutter and overhang will be maintained at the east (alley) façade. Three chimneys will be removed.

Mechanical Equipment

New condensing units will be located on the roof, near the center. A composite plank railing system will provide a screen for the equipment. Refer to attached A/C unit basis of design product information.

Please also find enclosed plans, exterior elevations, site line studies and photos to document the proposed design and the buildings context. If you have any questions or comments, or require additional information, please feel free to contact me.

Sincerely,



Jonathan Schaaf
RA | LEED AP | RRO
Principal
RDA Group Architects





Vicinity Map



Existing West [Elm Street] Elevation



Existing South Elevation



Existing East [Osborne Alley] Elevation



Existing North Elevation



Elm Street Streetscape



View South from Intersection of 15th Street and Osborne Alley



CINCINNATI
CENTER CITY
DEVELOPMENT
CORPORATION

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www.3cdc.org

May 24, 2016

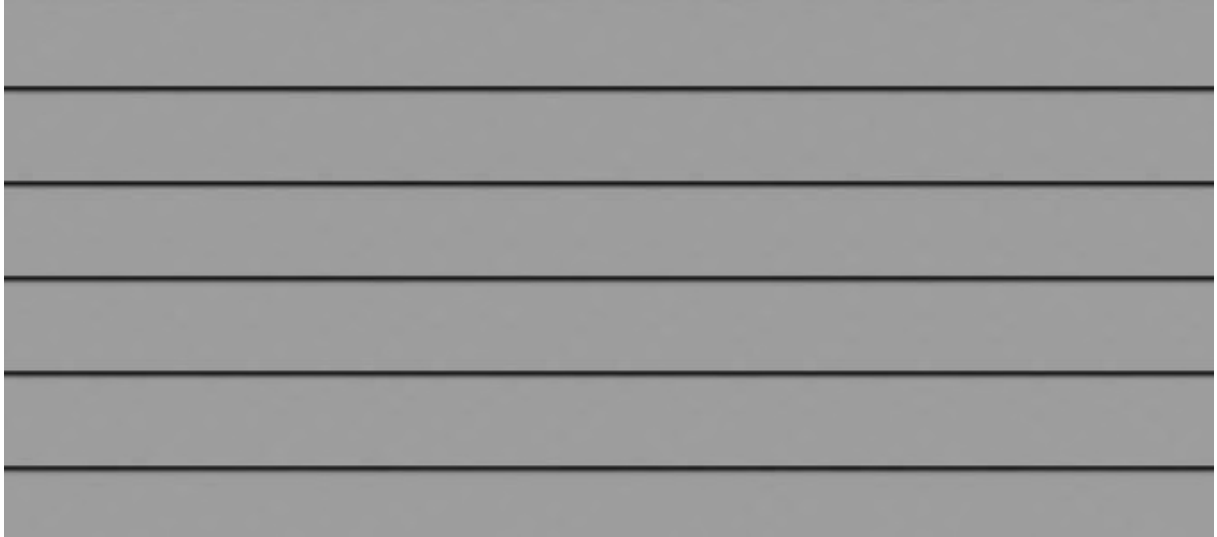
To whom it may concern,

OTR Holdings, Inc is currently the fee simple owner of 1420 Elm Street, parcel ID 081-0002-0366-00. This property is currently under option contract to be purchased by ES Remodeling [Documentation attached]. While no construction activities would commence until after closing, ES Remodeling has our permission to access the property and pursue the necessary permits to accomplish their redevelopment plans in the meantime.

Regards,

A handwritten signature in black ink, appearing to read 'DLipson', with a long horizontal flourish extending to the right.

Daniel Lipson
Vice President Development



Fiber Cement Lap Siding

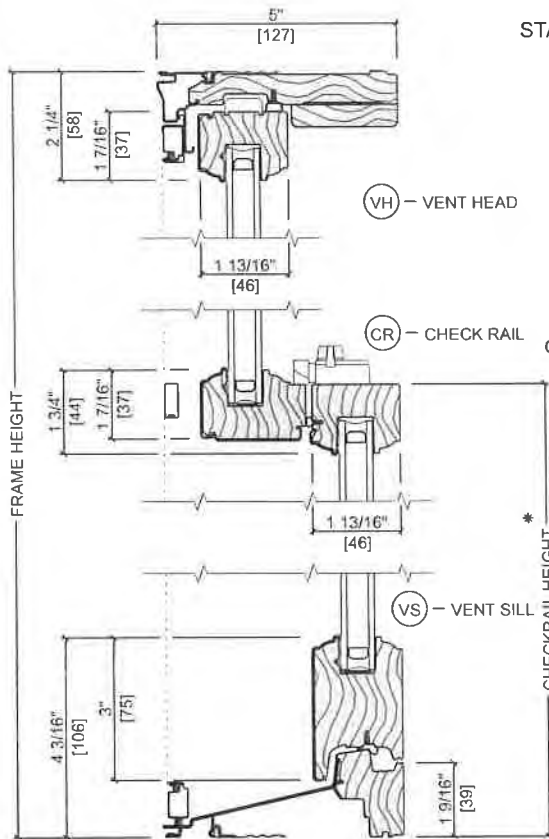
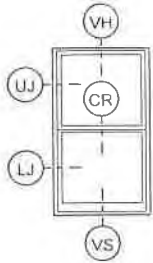


Composite Board Screening

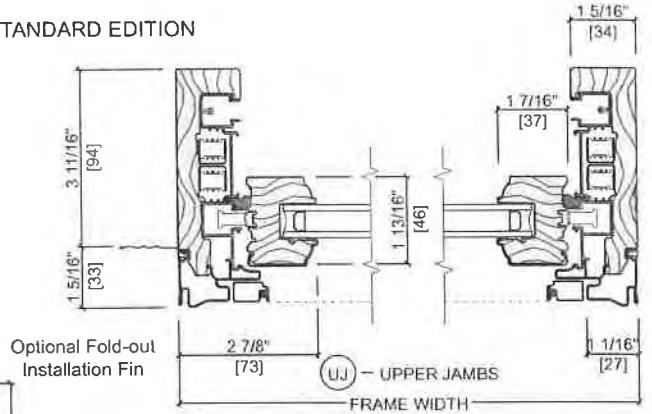


DOUBLE-HUNG

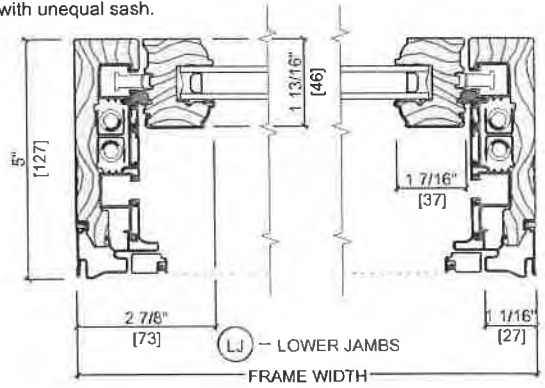
UNIT SECTIONS
Aluminum-Clad Exterior
SE Double-Hung



STANDARD EDITION

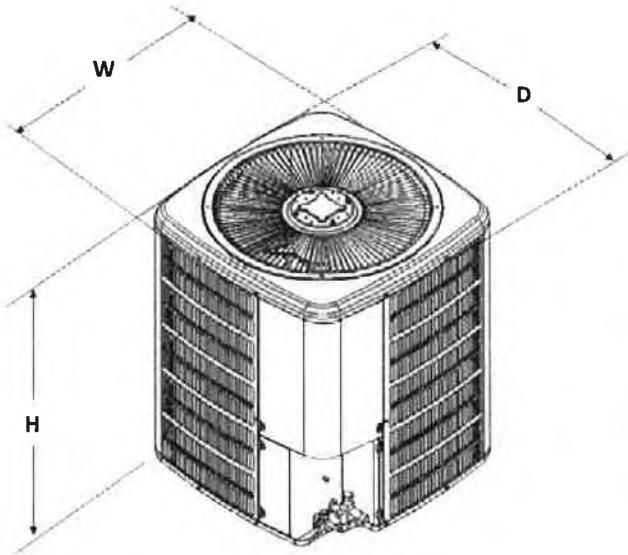


* Dimension required for ordering units with unequal sash.



Scale 3" = 1' 0"
All dimensions are approximate

DIMENSIONS



MODEL	DIMENSIONS		
	W"	D"	H"
GSZ130181**	26	26	32¼
GSZ130241**	26	26	32¼
GSZ130301**	26	26	32¼
GSZ130361**	29	29	32¼
GSZ130421**	29	29	38¼
GSZ130481**	29	29	34¼
GSZ130601**	35½	35½	34¼

ACCESSORIES

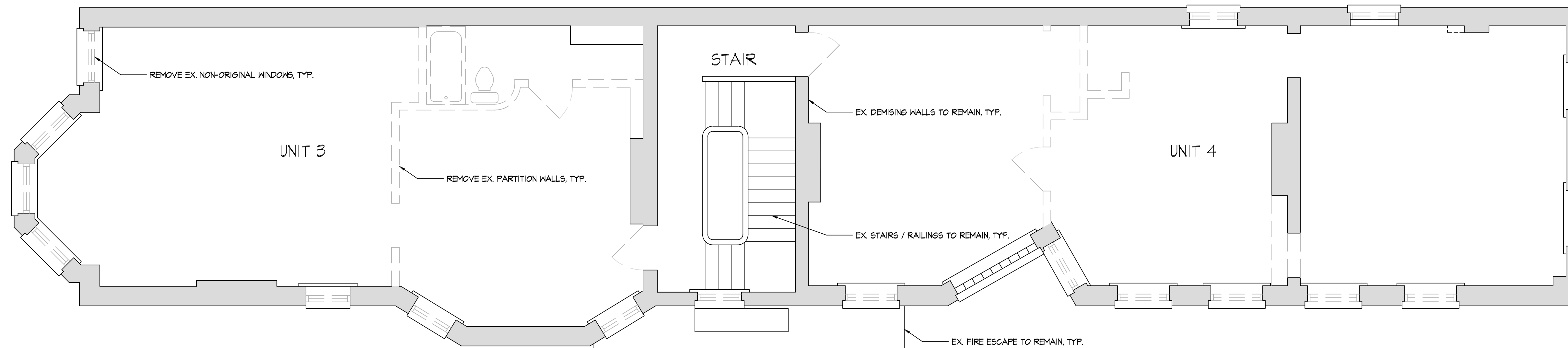
MODEL #	DESCRIPTION	GSZ13 018	GSZ13 024	GSZ13 030	GSZ13 036	GSZ13 042	GSZ13 048	GSZ13 060
0130R00000S	Low-pressure Switch Kit	X	X	X	X	X	X	X
ABK-20	Anchor Bracket Kit ⁰	X	X	X	X	X	X	X
ASC-01	Anti-Short Cycle Kit	X	X	X	X	X	X	X
AFE18-60A	All-fuel Kit	X	X	X	X	X	X	X
CSR-U-1	Hard-start Kit	X	X	X	X	X	X	X
FSK01A ¹	Freeze Protection Kit	X	X	X	X	X	X	X
OT18-60A ²	Outdoor Thermostat	X	X	X	X	X	X	X
OT/EHR18-60	Emergency Heat Relay kit	X	X	X	X	X	X	X
TX2N4 ³	TXV Kit	X						
TX2N4A ³	TXV Kit	X	X					
TX3N4 ³	TXV Kit			X	X			
TX5N4 ³	TXV Kit					X	X	X

⁰ Contains 20 brackets; four brackets needed to anchor unit to pad

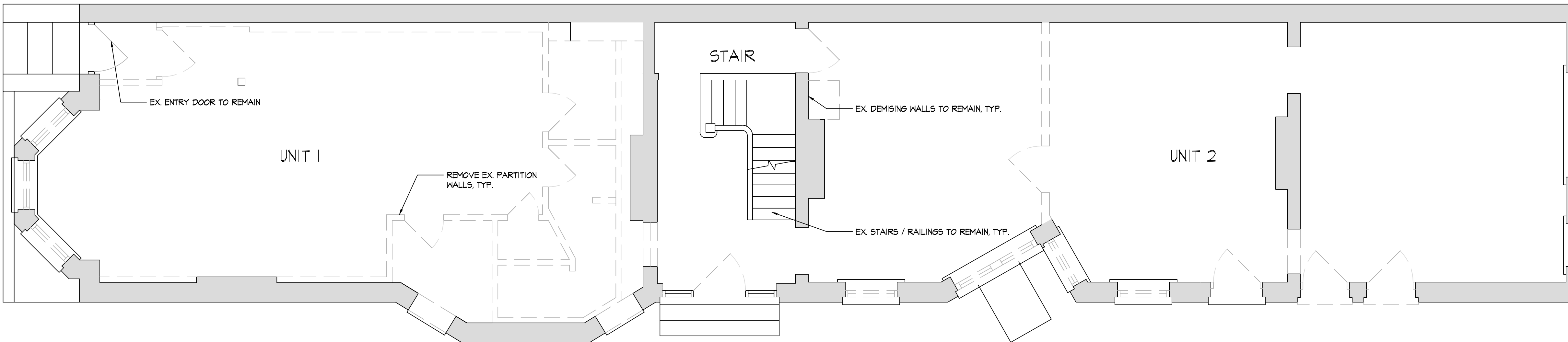
¹ Installed on indoor coil

² Required for heat pump applications where ambient temperatures fall below 0°F with 50% or higher relative humidity.

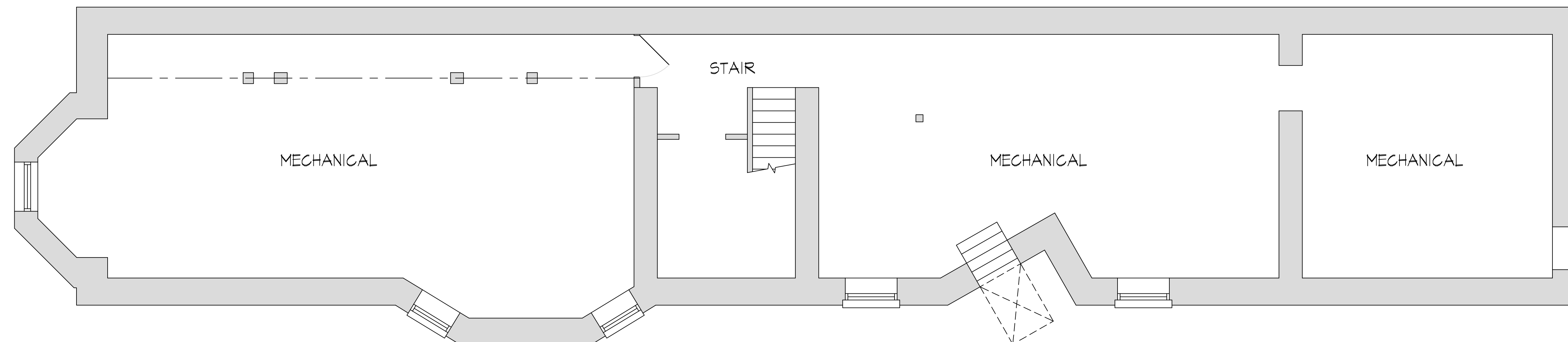
³ Condensing units and heat pumps with reciprocating compressors require the use of start-assist components when used in conjunction with an indoor coil using a non-bleed thermal expansion valve refrigerant metering device or liquid line solenoid kit. The TXV should always be sized based on the tonnage of the outdoor unit.



C EXISTING/DEMOLITION SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 0 2 4 8 NORTH



B EXISTING/DEMOLITION FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 0 2 4 8 NORTH



A EXISTING/DEMOLITION BASEMENT PLAN
 SCALE: 1/4" = 1'-0"
 0 2 4 8 NORTH

DEMOLITION GENERAL NOTES

1. PROVIDE ALL DEMOLITION REQUIRED BY WORK.
2. REMOVE ALL MATERIALS AND FINISHES REQUIRED TO PERFORM SCHEDULED WORK INCLUDING ANY ANCILLARY ITEMS.
3. SALVAGE ALL ITEMS AS DIRECTED BY TENANT/OWNER OR AS NOTED IN THE DRAWINGS. COORDINATE ALL REQUIREMENTS FOR REINSTALLATION OF SALVAGED ITEMS. PROVIDE REPLACEMENT PARTS/COMPONENTS TO ALLOW COMPLETE INSTALLATION.
4. PROTECT ALL FINISHES AND MATERIALS SCHEDULED TO REMAIN FROM DAMAGE DURING CONSTRUCTION. CONTRACTOR SHALL REPAIR ANY DAMAGED FINISHES TO LIKE NEW CONDITION.
5. PROVIDE ALL NECESSARY TEMPORARY BRACING AND SHORING DURING DEMOLITION AND CONSTRUCTION WORK.
6. REMOVE ALL MISCELLANEOUS ITEMS, CONDUITS, WIRES, ETC. FROM SURFACES AND WALL CAVITIES AS REQUIRED TO PERFORM WORK.
7. PROVIDE ALL PREP WORK FOR NEW FINISHES AND PROPOSED WORK.
8. COORDINATE WITH P/E DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS. PROPERLY TERMINATE/CAP EXISTING UTILITIES BACK TO NEAREST BRANCH AS APPLICABLE.
9. MODIFY EX. FIRE ALARM SYSTEM AS REQUIRED BY WORK.
10. CONTRACTOR TO FOLLOW ALL APPLICABLE EPA REQUIREMENTS RELATED TO LEAD BASED PAINT FOR RENOVATION, REPAIR, AND PAINTING. MAINTAIN ALL REQUIRED CERTIFICATIONS.

RDA GROUP ARCHITECTS
 7945 Washington Woods Drive
 Dayton, Ohio 45459
 O: 937.610.3440
 F: 937.610.3441

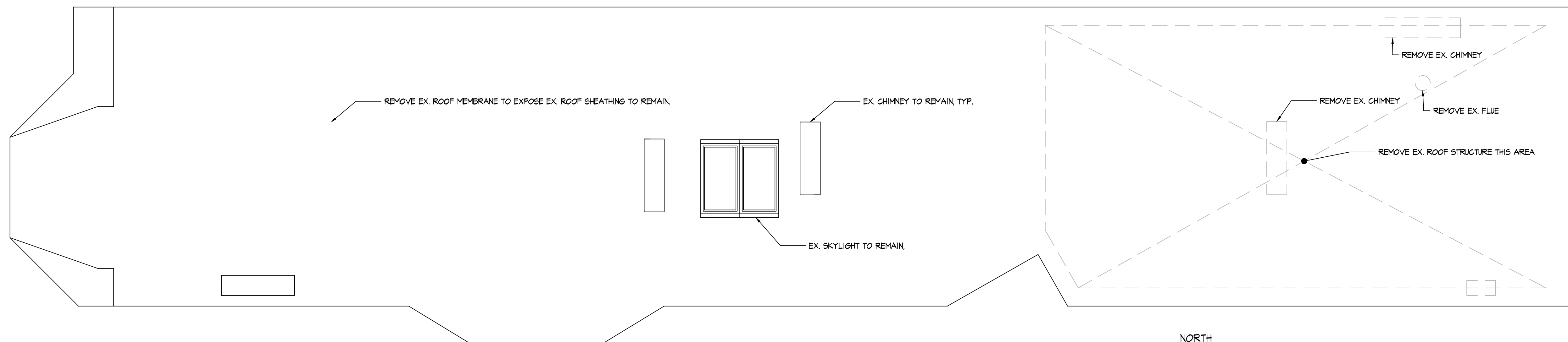
STATE OF OHIO
 JONATHAN ROBERT SCHAAF
 14503
 REGISTERED ARCHITECT

Jonathan Robert SchAAF #14503
 Expiration Date 12/31/2017

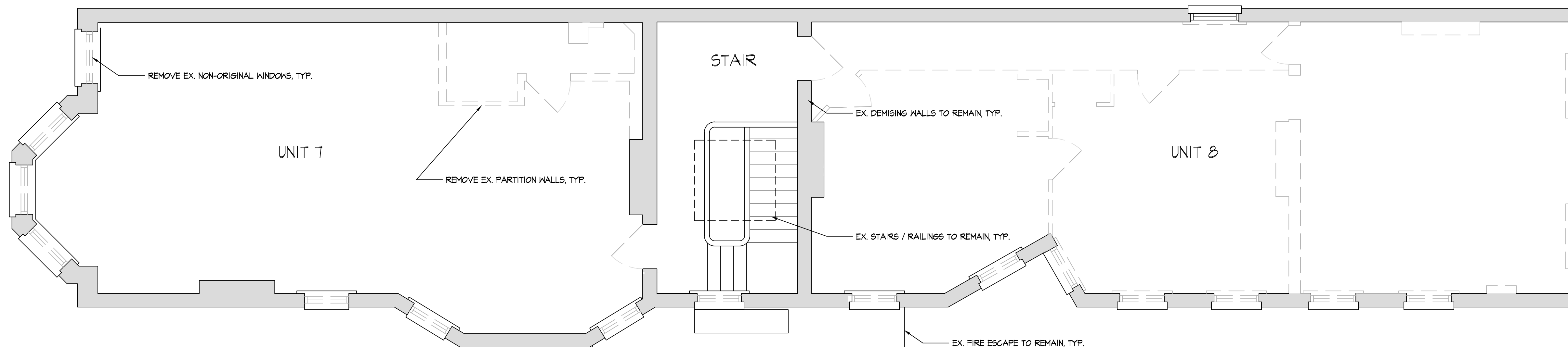
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RENOVATIONS TO
1420 ELM STREET
 CINCINNATI, OHIO 45202
 PREPARED FOR E|S REMODELING

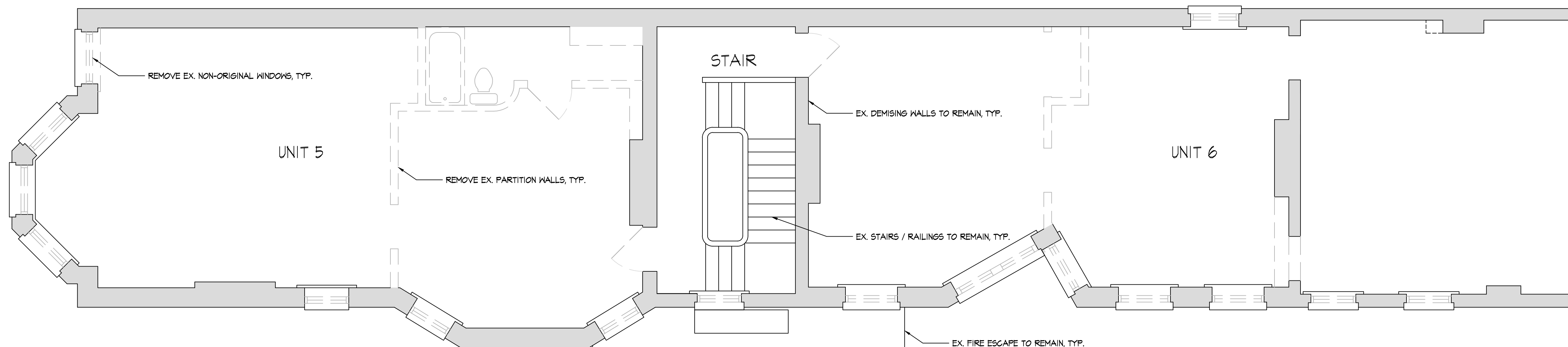
Print Record
05/26/16 HCB / COA APPLICATION
Project Number
2016-50
Date
MAY 26, 2016
Sheet Title
EXISTING/DEMOLITION FLOOR PLANS
Sheet Number
A1.1



C EXISTING/DEMOLITION ROOF PLAN
SCALE: 1/4" = 1'-0"



B EXISTING/DEMOLITION FOURTH FLOOR PLAN
SCALE: 1/4" = 1'-0"



A EXISTING/DEMOLITION THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

DEMOLITION GENERAL NOTES

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4. PROTECT ALL FINISHES AND MATERIALS SCHEDULED TO REMAIN FROM DAMAGE DURING CONSTRUCTION. CONTRACTOR SHALL REPAIR ANY DAMAGED FINISHES TO LIKE NEW CONDITION.
5. PROVIDE ALL NECESSARY TEMPORARY BRACING AND SHORING DURING DEMOLITION AND CONSTRUCTION WORK.
6. REMOVE ALL MISCELLANEOUS ITEMS, CONDUITS, WIRES, ETC. FROM SURFACES AND WALL CAVITIES AS REQUIRED TO PERFORM WORK.
7. PROVIDE ALL PREP WORK FOR NEW FINISHES AND PROPOSED WORK.
8. COORDINATE WITH P/M/E DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS. PROPERLY TERMINATE/CAP EXISTING UTILITIES BACK TO NEAREST BRANCH AS APPLICABLE.
9. MODIFY EX. FIRE ALARM SYSTEM AS REQUIRED BY WORK.
10. CONTRACTOR TO FOLLOW ALL APPLICABLE EPA REQUIREMENTS RELATED TO LEAD BASED PAINT FOR RENOVATION, REPAIR, AND PAINTING. MAINTAIN ALL REQUIRED CERTIFICATIONS.

RDA GROUP ARCHITECTS
7945 Washington Woods Drive
Dayton, Ohio 45459
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F: 937.610.3441

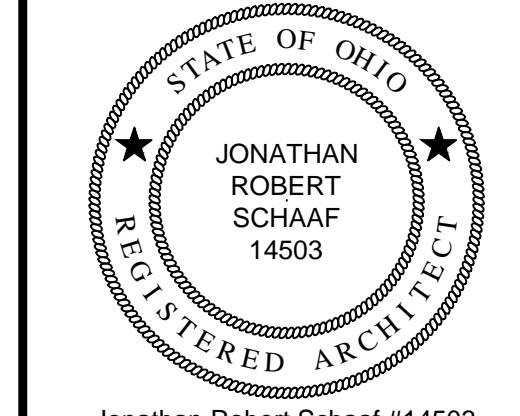
STATE OF OHIO
REGISTERED ARCHITECT
JONATHAN ROBERT SCHAAF
14503

Jonathan Robert SchAAF #14503
Expiration Date 12/31/2017

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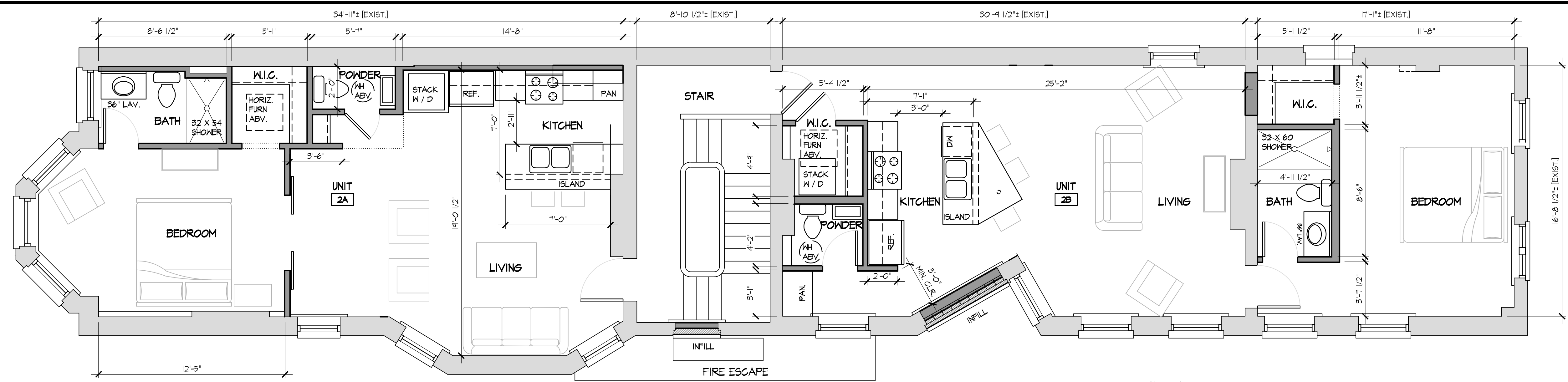
RENOVATIONS TO
1420 ELM STREET
CINCINNATI, OHIO 45202
PREPARED FOR E|S REMODELING

Print Record	05/26/16 HCB / COA APPLICATION
Project Number	2016-50
Date	MAY 26, 2016
Sheet Title	EXISTING/DEMOLITION FLOOR PLANS
Sheet Number	A1.2

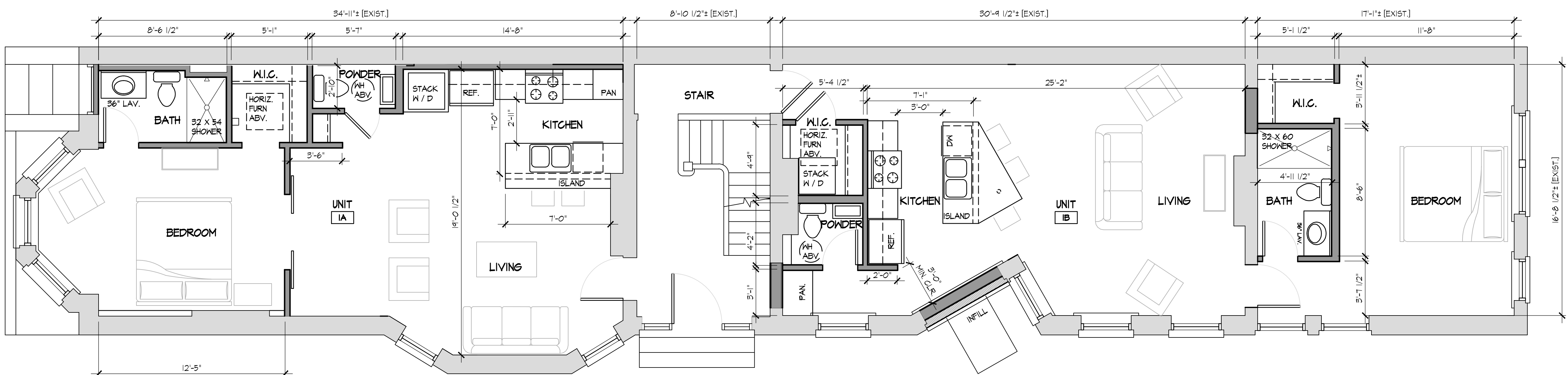


Jonathan Robert SchAAF #14503
Expiration Date 12/31/2017

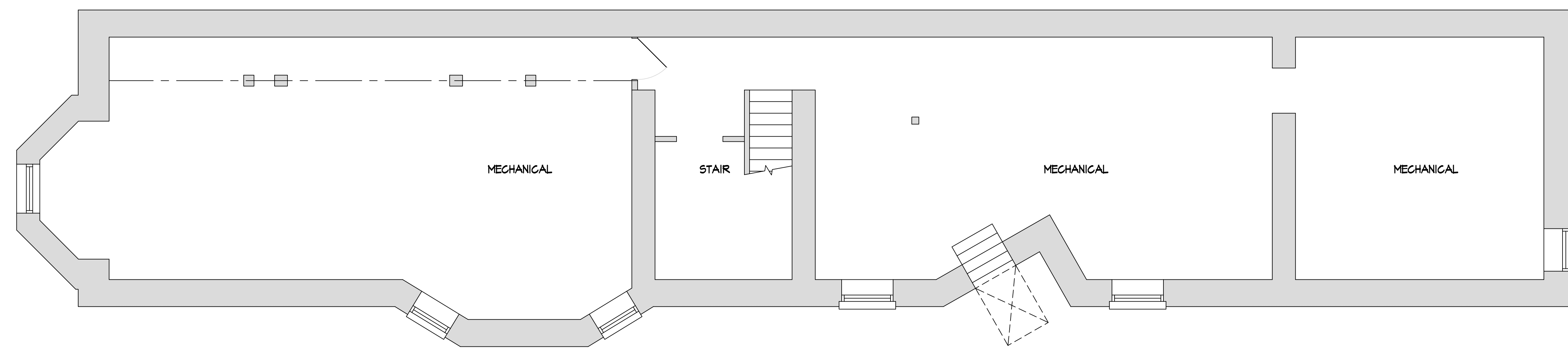
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C PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
0 2 4 8



B PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
0 2 4 8



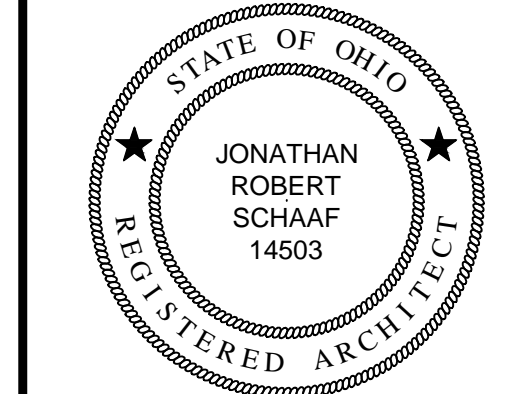
A PROPOSED BASEMENT PLAN
SCALE: 1/4" = 1'-0"
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RENOVATIONS TO
1420 ELM STREET
CINCINNATI, OHIO 45202
PREPARED FOR E|S REMODELING

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05/26/16 HCB / COA APPLICATION

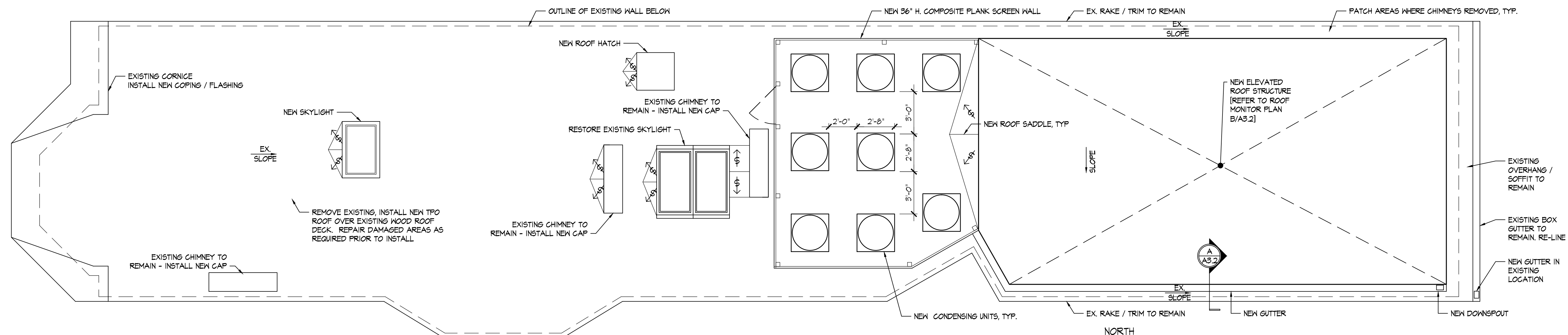
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Date
MAY 26, 2016
Sheet Title
PROPOSED FLOOR PLANS

Sheet Number
A1.3

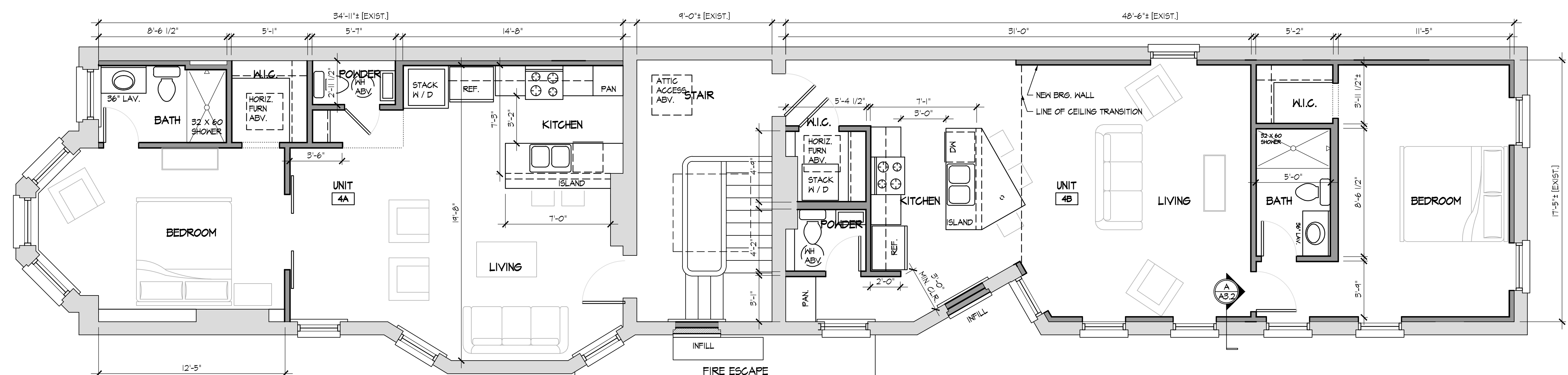


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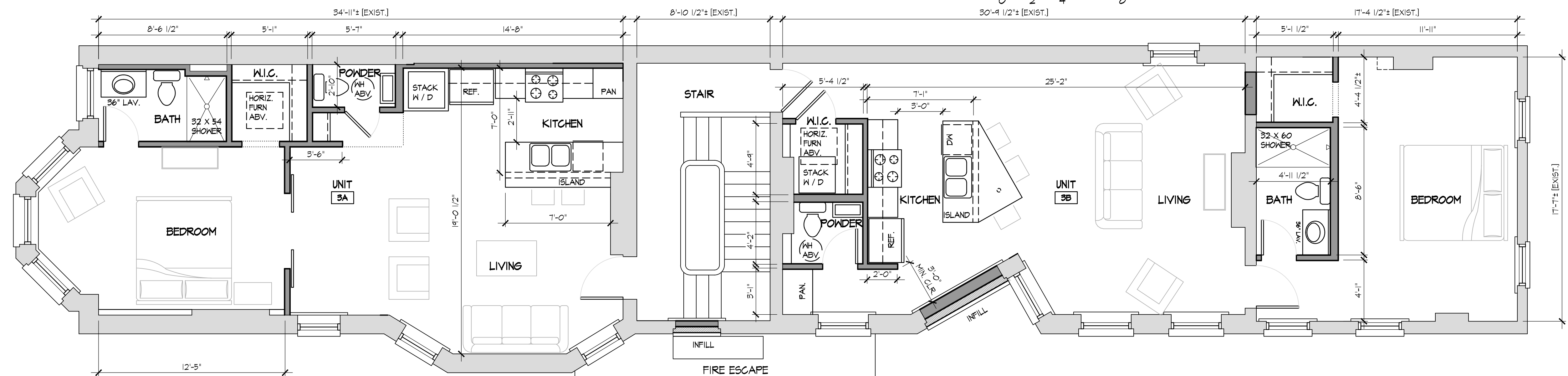
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C PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"
NORTH



B PROPOSED FOURTH FLOOR PLAN
SCALE: 1/4" = 1'-0"
NORTH



A PROPOSED THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"
NORTH

RENOVATIONS TO
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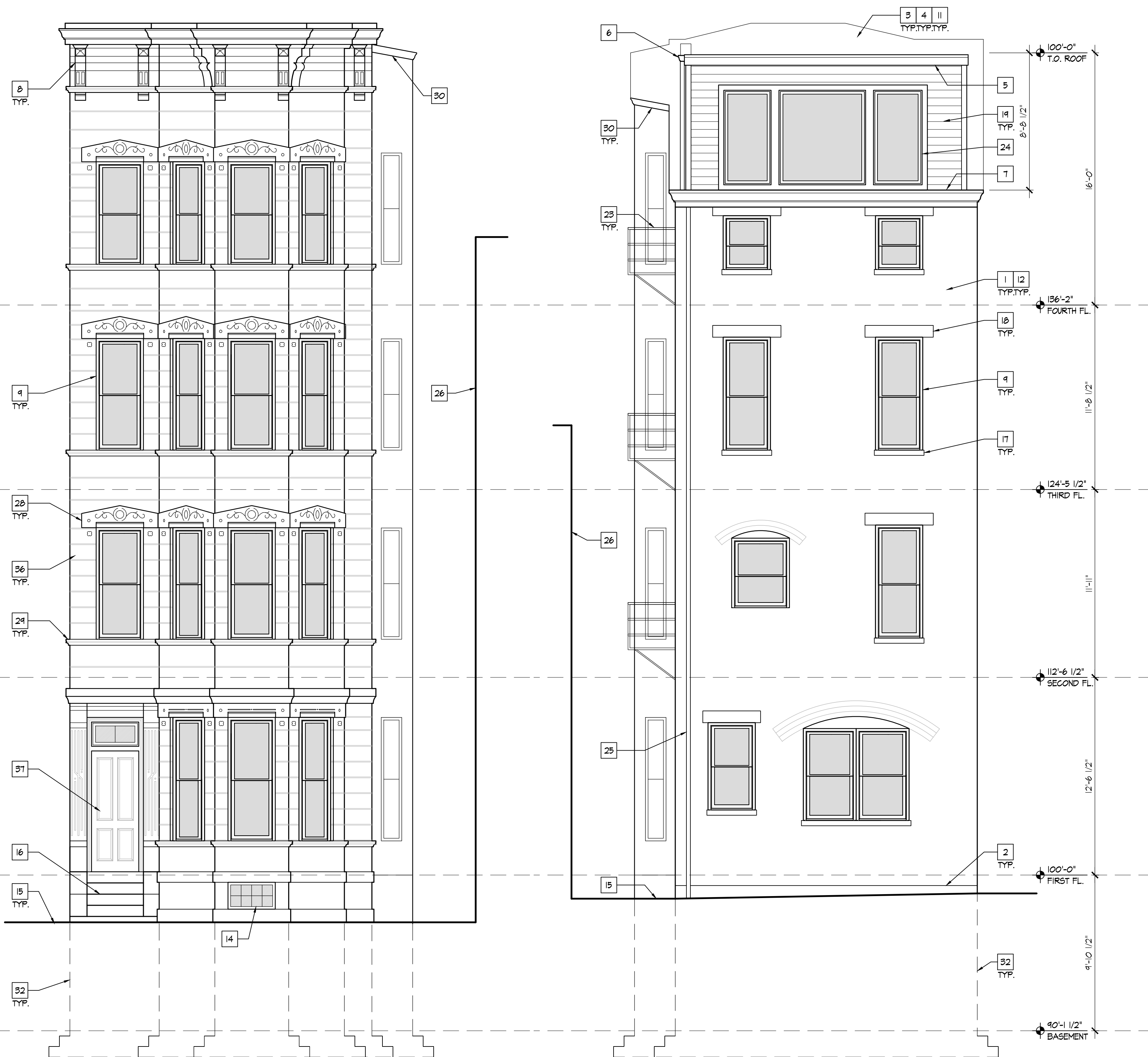
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RENOVATIONS TO
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Date
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Sheet Title
EXTERIOR ELEVATIONS

Sheet Number
A2.1



GENERAL NOTES

TYPICAL ALL ELEVATIONS

- UNPAINTED BRICK/STONE IS TO REMAIN UNPAINTED. CLEAN BRICK AND STONE WITH NON ABRASIVE CLEANING METHODS. CLEANING SHALL BE DONE WITH SURE-KLEAN "ENVIROKLEAN" OR EQUAL.
- REPOINT MASONRY WITH MORTAR MATCHING EXISTING COLOR, CONTENT, TEXTURE AND TOOLING AS REQUIRED. REPLACE DETERIORATED BRICKS IN LIKE KIND WITH SALVAGED BRICK FROM AREAS OF REMOVAL. AREAS OF MASONRY INFILL SHALL BE TOOTHED-IN UNLESS NOTED OTHERWISE.
- EXISTING WOOD COMPONENTS (CORNICHE, TRIM, ETC.) TO BE PREPPED AND PAINTED. PAINT SCHEME TO BE SELECTED FROM HISTORICALLY APPROPRIATE COLOR PALETTE (DIFFERING FROM THAT OF ADJACENT STRUCTURE).
- RETAIN AND REPAIR WOOD TRIMWORK AS REQ'D. REPLACEMENT COMPONENTS SHALL MATCH ORIGINAL IN SIZE, SHAPE, PROFILE, AND DETAIL.
- INSTALL NEW SEALANT AT ALL APPLICABLE JOINTS IN EXTERIOR ENVELOPE. SEAL ALL PENETRATIONS OF ELECTRICAL/PLUMBING/MECHANICAL ITEMS, ETC.
- FLASH ALL WINDOW AND DOOR OPENINGS AND INSTALL SEALANT AS APPLICABLE AGAINST ADJACENT BUILDING JOINTS.
- PATCH HOLES IN FOUNDATION AT ABANDONED LINESETS, CONDUITS, ETC.
- PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING AS APPLICABLE.
- REMOVE ALL EX. PHONE, DATA, CABLE, ETC. WIRING FROM FACE OF BUILDING.
- PREP AND PAINT ALL MISC. EXTERIOR BUILDING COMPONENTS REQUIRING PAINT (ELECTRICAL, GAS PIPING, BOXES, ETC.).
- PREP AND PAINT ALL EX. PAINTED BRICK / STONE
- EX. WINDOWS TO BE REMOVED AND REPLACED WITH NEW ALUMINUM CLAD WOOD WINDOWS. EX. WOOD FRAME AND TRIM TO REMAIN.

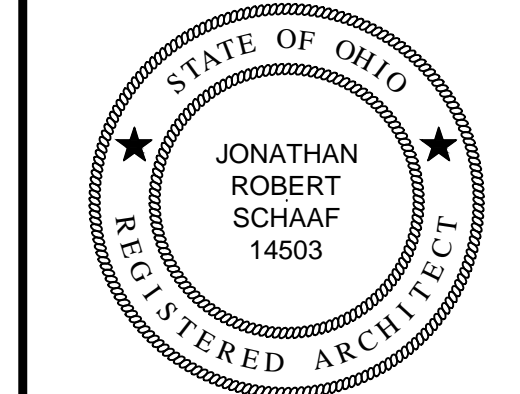
KEY NOTES

TYPICAL ALL ELEVATIONS

- EXISTING BRICK TO REMAIN. CLEAN AND TUCKPOINT WHERE REQUIRED. REPLACE DETERIORATED BRICK IN LIKE KIND WITH SALVAGED BRICK. PAINT
- EXISTING STONE FOUNDATION TO REMAIN.
- PAINT ALL ROOF PENETRATIONS TO MATCH ROOF COLOR-COORDINATE WITH PME FOR LOCATIONS.
- NEW WHITE TPO ROOF
- NEW 6" FIBER CEMENT FASCIA.
- NEW PRE-FINISHED CONTINUOUS 5" ALUM. GUTTER AND 3" GALVANIZED ROUND DOWNSPOUT. DOWNSPOUT TO DISCHARGE TO EX. BOX GUTTER.
- EX. BOX GUTTER CONCEALED IN EX. CORNICHE. RELINE EX. BOX GUTTER TO CREATE WATER-TIGHT CONDITION. INSTALL NEW ROOF FLASHING AND DRIP EDGES.
- EX. DECORATIVE CORNICHE AND BRACKETS. PREP AND PAINT ALL TRIM, BRACKETS, AND PANELS. REPAIR AND REPLACE DAMAGED COMPONENTS IN LIKE KIND AS REQ'D.
- REMOVE EXISTING NON-ORIGINAL WINDOWS / PLYWOOD / FLEXIGLASS, INSTALL NEW ALUMINUM CLAD WOOD WINDOWS. EX. CONCRETE STEPS.
- EX. ROOF STRUCTURE TO REMAIN. REPLACE DETERIORATED FRAMING IN LIKE KIND AS REQ'D. INSTALL BLOCKING AS REQ'D TO FULLY SUPPORT NEW EX. SOFFITS/RAKES/TRIM.
- REMOVE EXISTING THRU WALL PENETRATIONS. INFILL EXISTING OPENING WITH WITH SALVAGED BRICK TO MATCH. TOOTH MASONRY INTO EXISTING.
- NEW CONDENSING UNIT ON ROOF - CONCEAL BEHIND NEW COMPOSITE FLANK SCREEN WALL
- EX. BASEMENT WINDOW TO REMAIN
- FINISH GRADE.
- EXISTING STOOP TO REMAIN.
- EXISTING STONE SILL TO REMAIN-PREP AND PAINT.
- EXISTING STONE LINTEL TO REMAIN-PREP AND PAINT.
- NEW FIBER CEMENT SIDING AND TRIM AT EXTERIOR FACE OF NEW EXTERIOR WALL. 6" EXPOSURE / 4" TRIM
- INFILL EXISTING OPENINGS. NEW MASONRY INFILL RECESSED 1" FROM FACE OF ORIGINAL.
- INFILL EXISTING OPENINGS TO MATCH ADJACENT MASONRY FOR NEW WINDOW INSTALLATION - TOOTH-IN SALVAGED BRICK. INSTALL NEW / SALVAGED STONE SILL. EXISTING LINTEL TO REMAIN.
- REMOVE VINES FROM FACE OF BUILDING. TYP. USING GENTLEST METHODS POSSIBLE.
- EX. METAL FIRE ESCAPE PLATFORM, LADDERS, SUPPORTS TO REMAIN. REPAIR AS REQ'D - PREP AND PAINT
- NEW ALUMINUM CLAD FIXED WOOD WINDOW
- INSTALL NEW ROUND GALVANIZED DOWNSPOUT IN EX. LOCATION.
- ADJACENT BUILDING PROFILE-PROTECT FROM DAMAGE DURING CONSTRUCTION.
- EX. CHIMNEY TO REMAIN. PREP AND PAINT. INSTALL NEW METAL CHIMNEY CAP.
- EX. DECORATIVE STONEMWORK TO REMAIN. TYP.
- EX. STONE WATERTABLE TO REMAIN. TYP.
- EXISTING RAKE BOARD/TRIM TO REMAIN-PAINT.
- NOT USED.
- EX. FOUNDATION SHOWN DASHED
- RESTORE ORIGINAL WOOD DOOR FRAME, TRANSOM WINDOWS & SIDELIGHTS. INSTALL NEW 4 PANEL WOOD DOOR.
- REMOVE EXISTING BRICK INFILL FROM ORIGINAL OPENING. INSTALL NEW ALUMINUM CLAD WOOD DOUBLE HUNG WINDOW.
- RESTORE EXISTING SKYLIGHT
- EXISTING STONE VENEER TO REMAIN. CLEAN AND TUCKPOINT WHERE REQUIRED. PAINT
- RESTORE EXISTING WOOD DOOR & TRANSOM - FIX IN PLACE

A WEST ELEVATION
SCALE: 1/4" = 1'-0"

B EAST ELEVATION
SCALE: 1/4" = 1'-0"



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Expiration Date 12/31/2017

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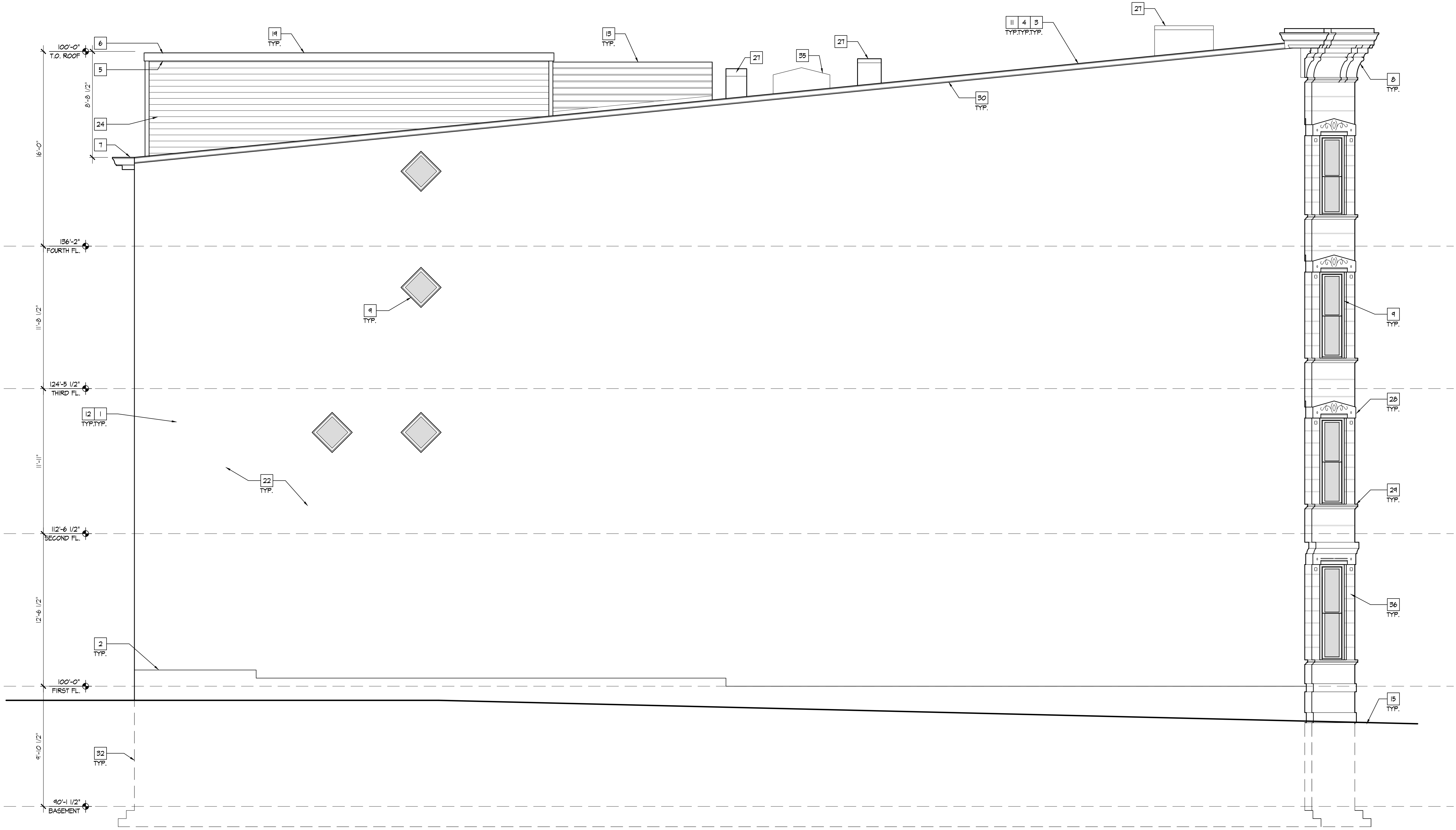
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2016-50
Date
MAY 26, 2016
Sheet Title
EXTERIOR ELEVATIONS

Sheet Number
A2.2



A SOUTH ELEVATION
SCALE: 1/4" = 1'-0"
0 2 4 8



A NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

RDA GROUP ARCHITECTS
 7945 Washington Woods Drive
 Dayton, Ohio 45459
 O: 937.610.3440
 F: 937.610.3441

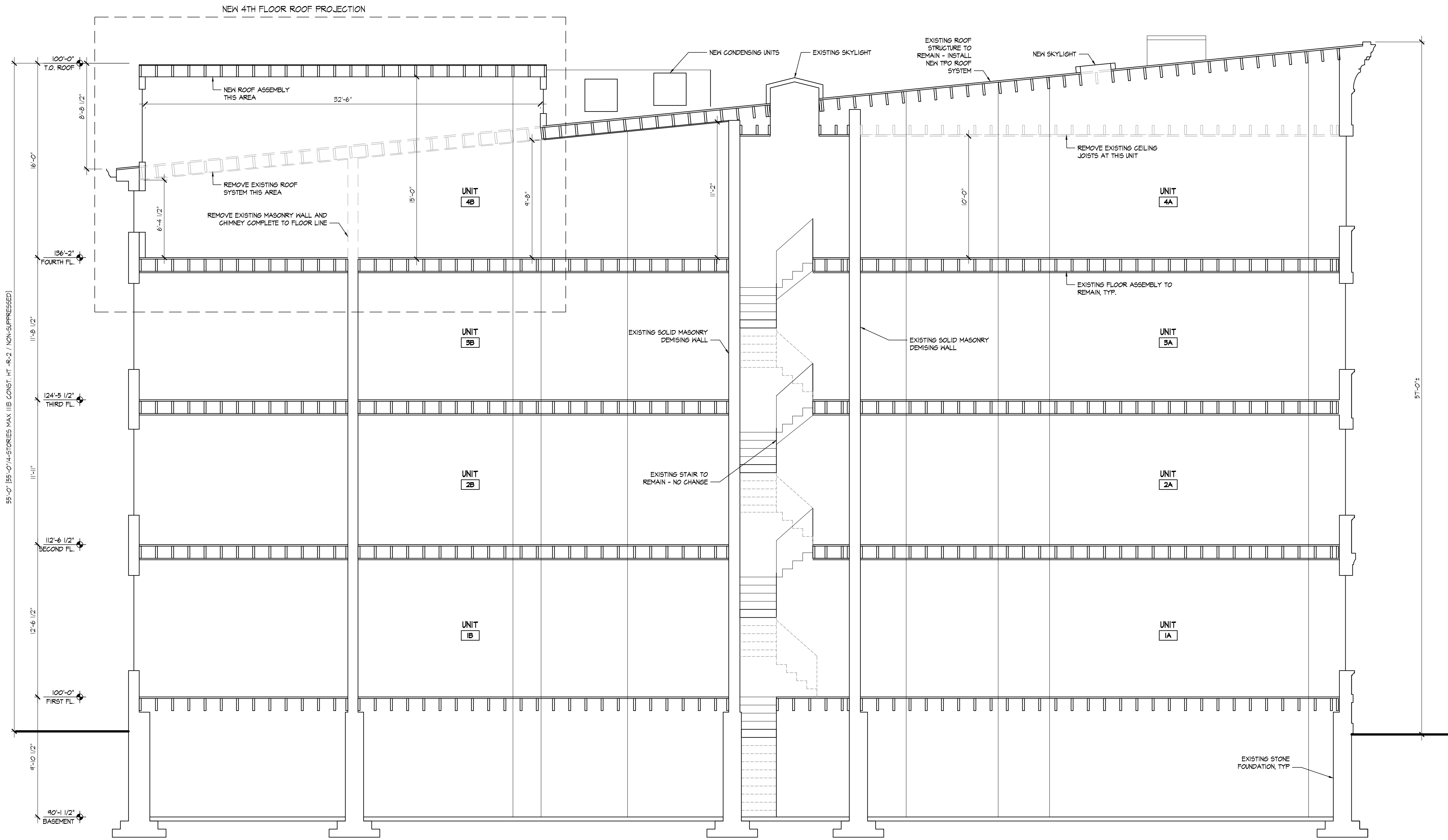
STATE OF OHIO
 JONATHAN ROBERT SCHAAF
 14503
 REGISTERED ARCHITECT

Jonathan Robert SchAAF #14503
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MAY 26, 2016
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A2.3



A BUILDING SECTION
 SCALE: 1/4" = 1'-0"
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RDA GROUP ARCHITECTS
 7945 Washington Woods Drive
 Dayton, Ohio 45459
 O: 937.610.3440
 F: 937.610.3441

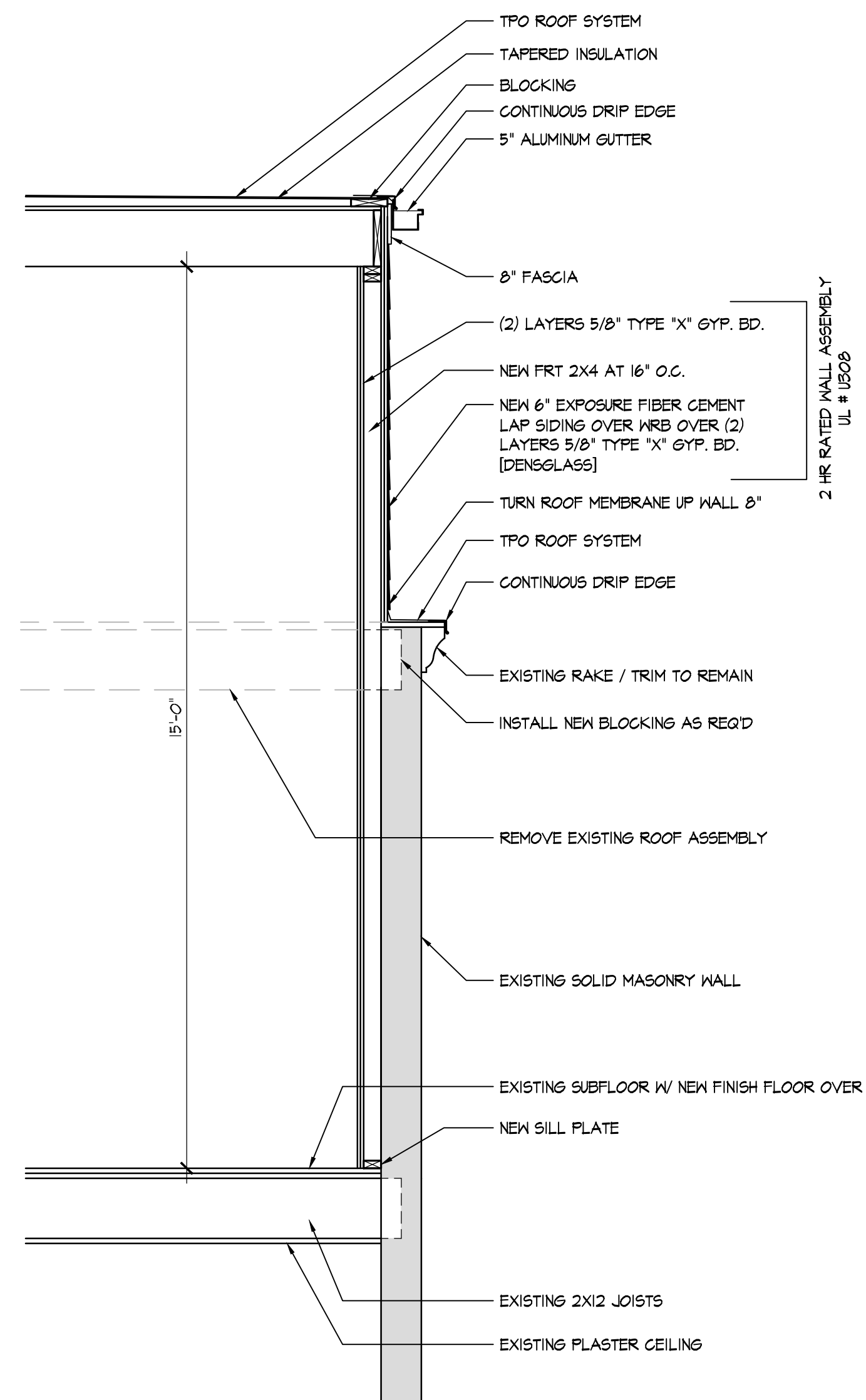
STATE OF OHIO
 JONATHAN ROBERT SCHAAF
 14503
 REGISTERED ARCHITECT

Jonathan Robert SchAAF #14503
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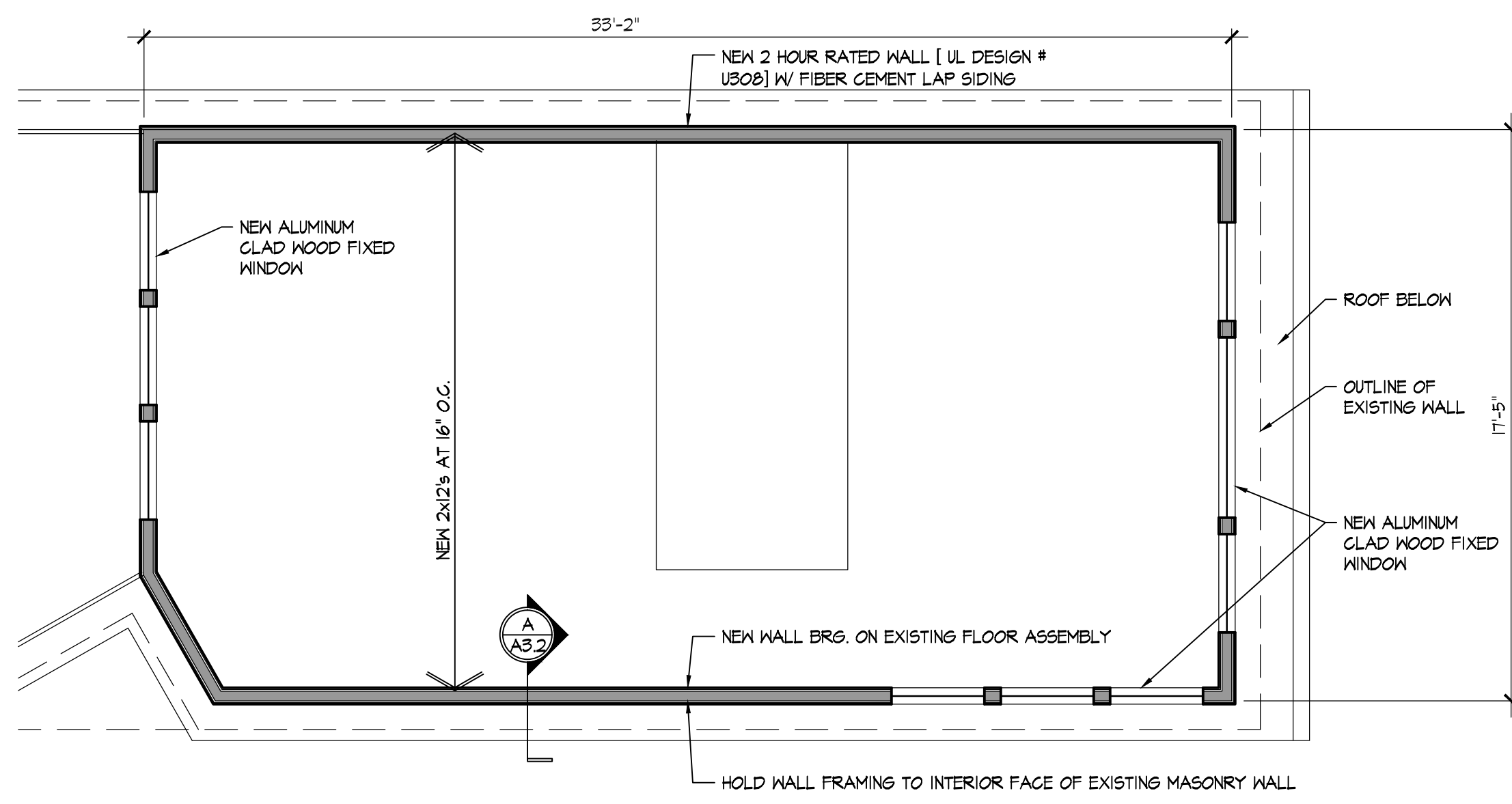
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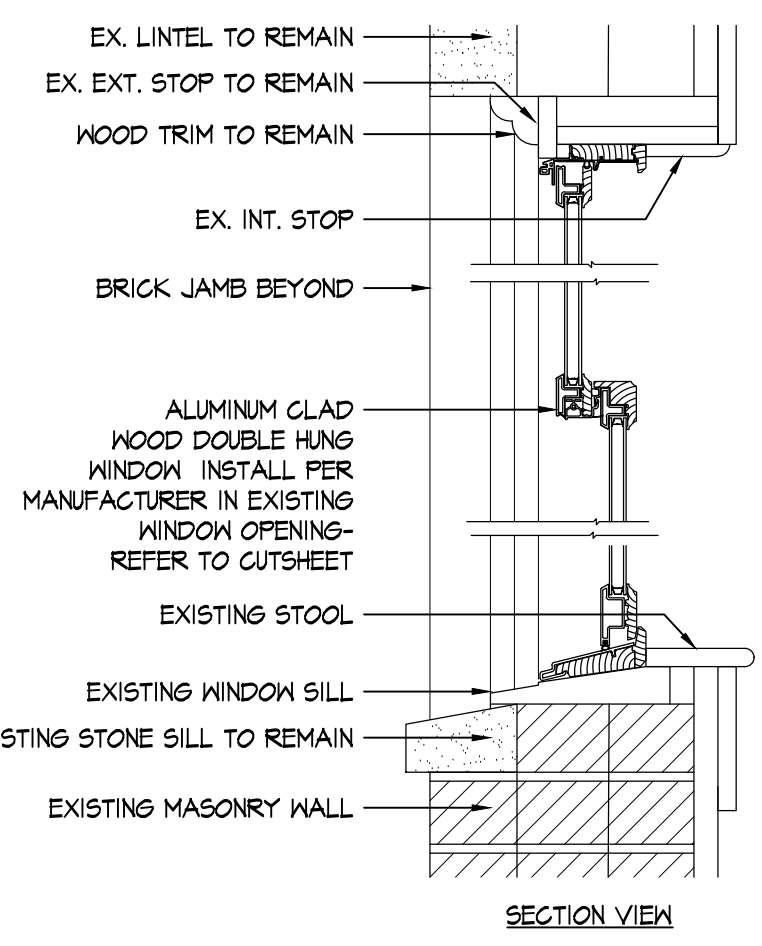
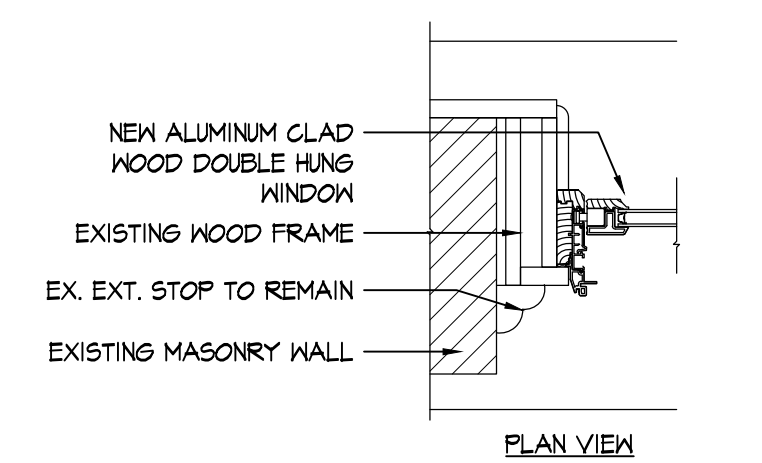
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SECTION
Sheet Number
A3.1



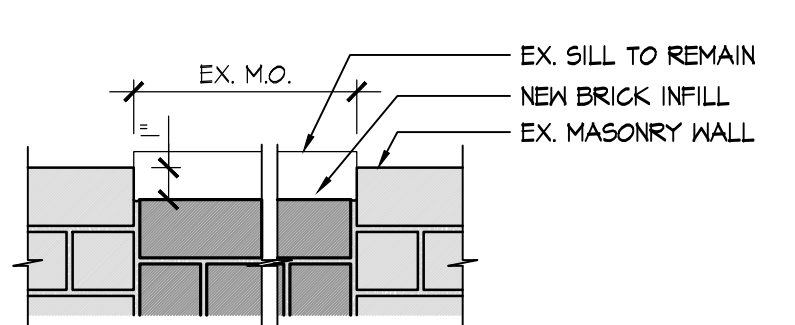
A WALL SECTION
SCALE: 1/2" = 1'-0"
0 1 2 4



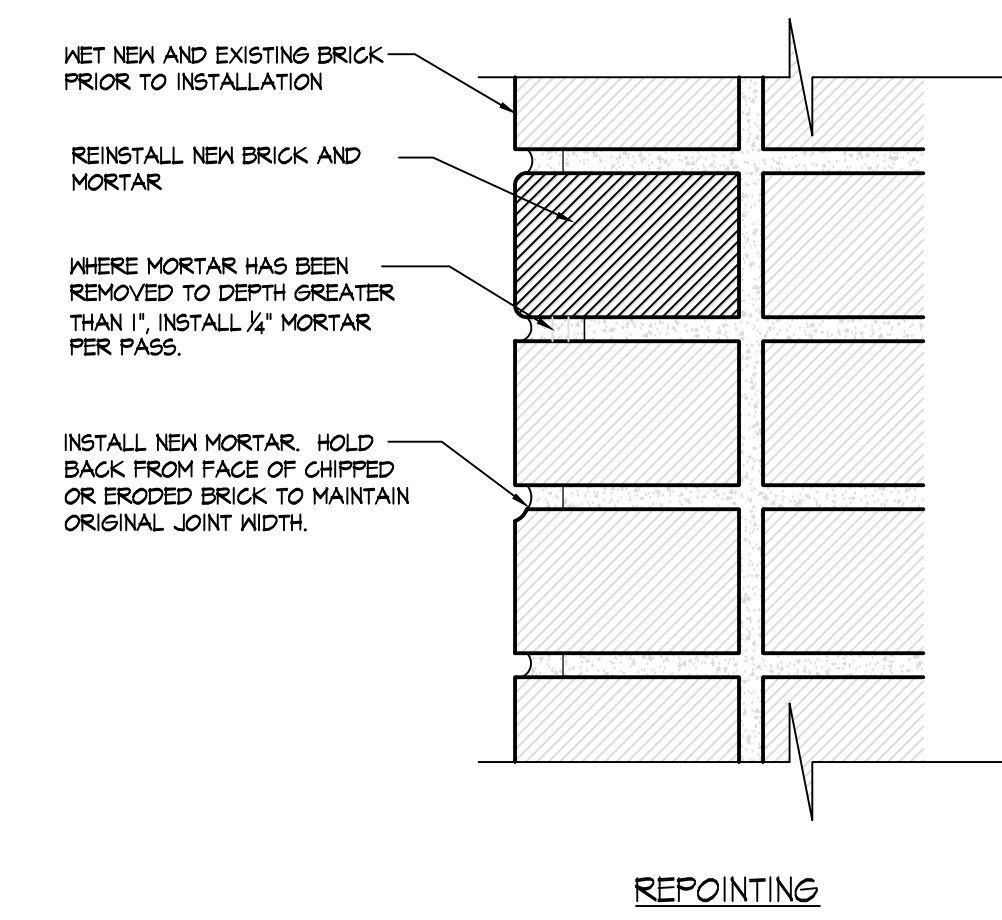
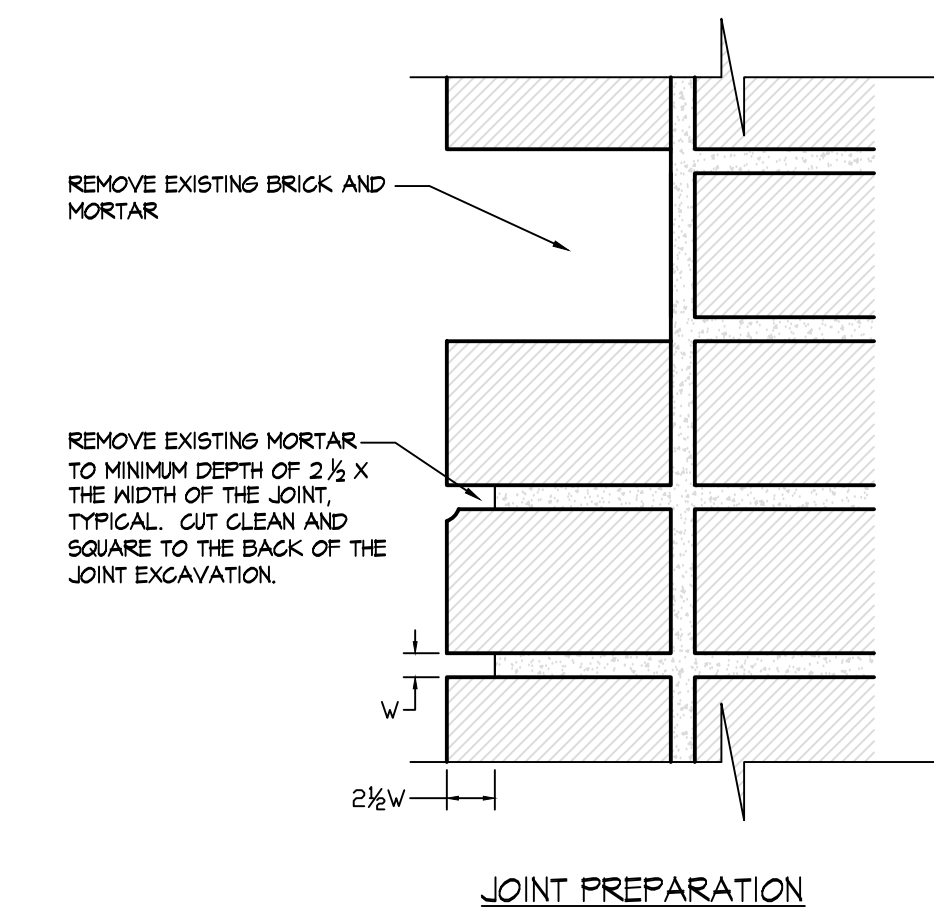
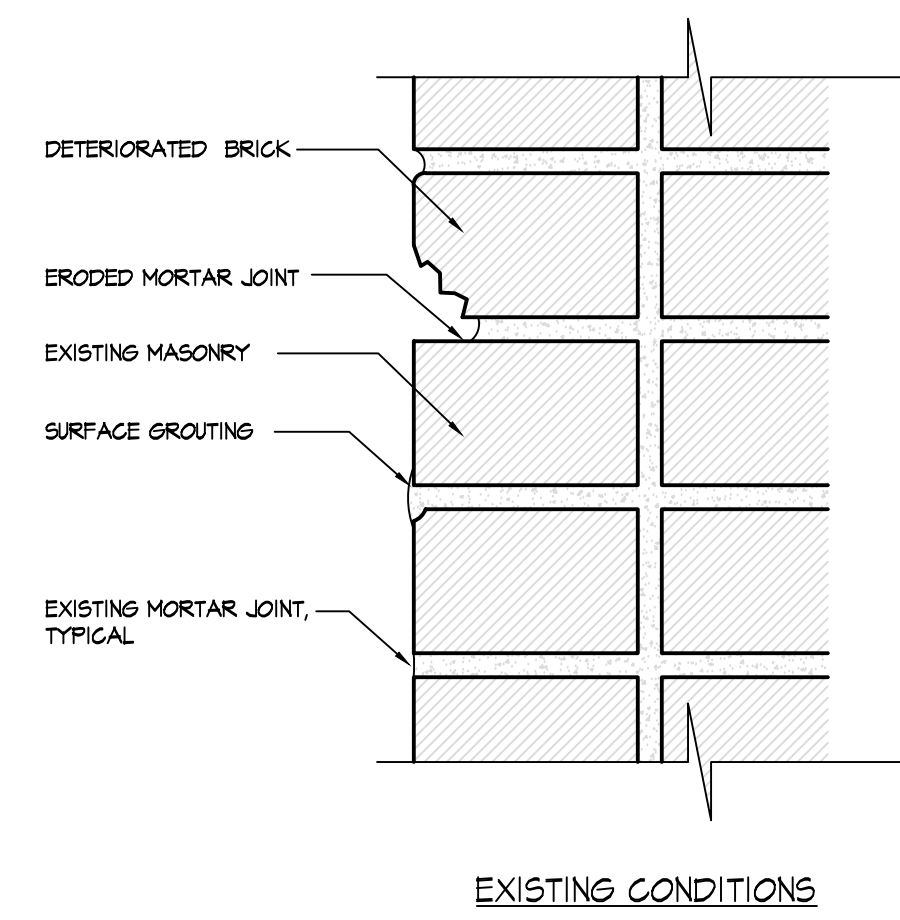
B ROOF MONITOR PLAN
SCALE: 1/4" = 1'-0"
0 2 4 8



C WINDOW DETAIL
SCALE: N.T.S.



D MASONRY INFILL DETAIL
SCALE: N.T.S.



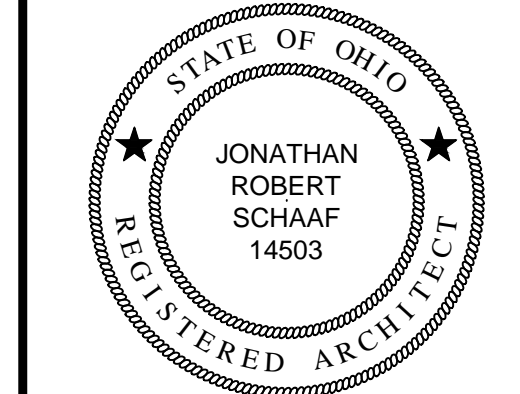
E MASONRY RESTORATION DETAILS
SCALE: N.T.S.

RENOVATIONS TO
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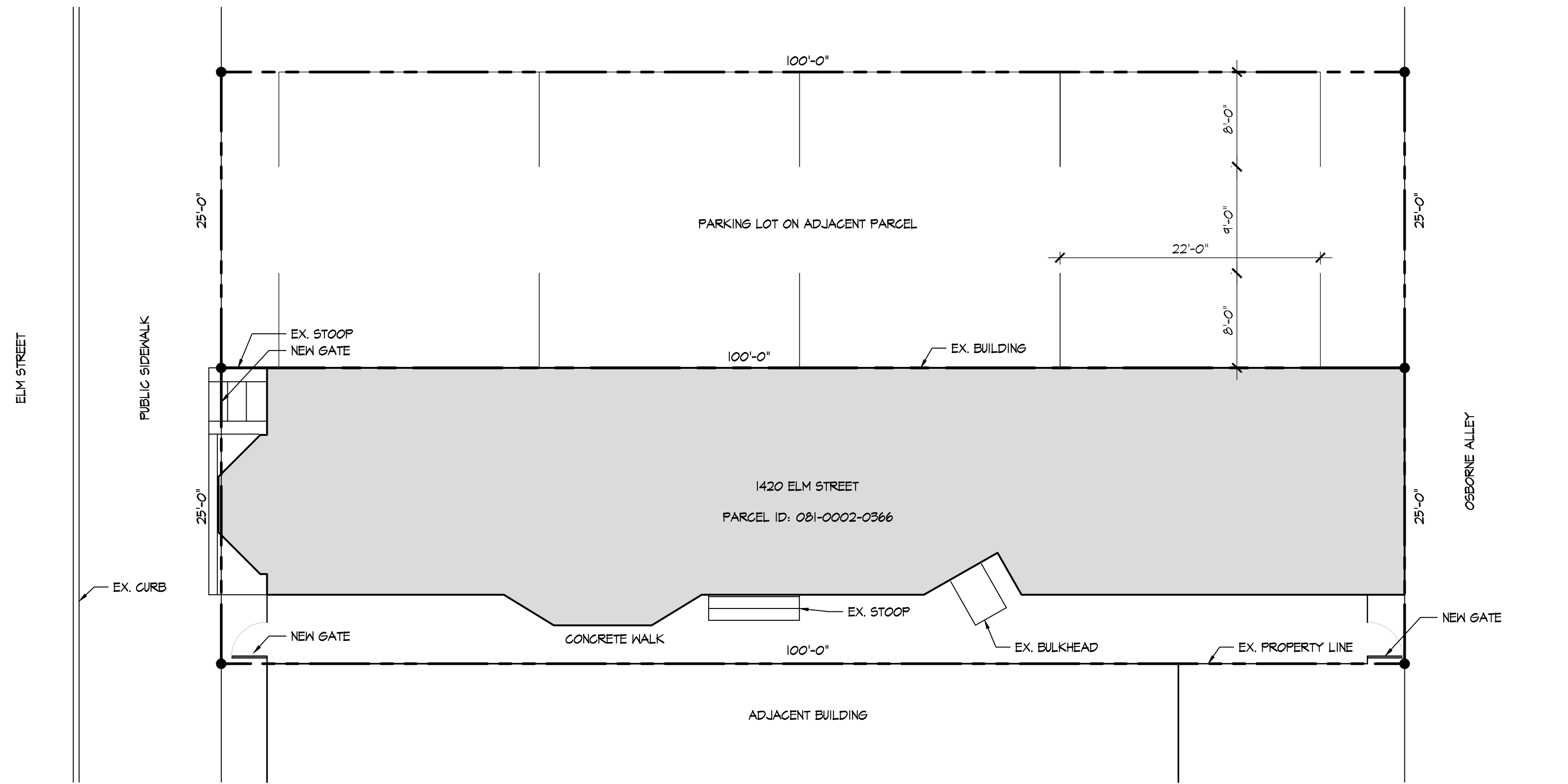
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SECTIONS

Sheet Number
A3.2



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B SITE PLAN
SCALE: 1/8" = 1'-0"
0 4 8 16
NORTH



A SIGHT LINE STUDY
SCALE: 1/8" = 1'-0"
0 4 8 16

RENOVATIONS TO
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CINCINNATI, OHIO 45202
PREPARED FOR E|S REMODELING

Print Record
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Project Number
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Date
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Sheet Title
SITE PLAN SIGHT LINES
Sheet Number

A4.1

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

APPLICATION #:
APPLICANT: Matthew Cornell
OWNER: Janette Yauch
ADDRESS: **3741 Morris Place**
PARCELS: 027-0003-0066
ZONING: SF-4 Single Family District
OVERLAYS: Columbia Tusculum
COMMUNITY: Columbia Tusculum
REPORT DATE: June 20, 2016
HEARING DATE: June 15, 2016 Prehearing
STAFF REVIEW: Beth Johnson, Urban Conservator

Nature of Request:

The applicant is requesting a Certificate of Appropriateness (COA) to remove the existing deck and screened in porch on the rear of the property and to build an addition and larger deck on the rear of the property.

Existing Conditions:

The property at 3741 Morris Place is a ca. 1884, two-and-one-half-story Queen Anne Frame building that is at the corner of Donham Avenue and Morris Place. The building currently has a wood rear deck and a screened in porch. Neither are visible from Morris Place and the deck is visible from Donham Avenue.



Figure 1: 3741 Morris Place, facing southwest. Image provide from Google Streetviews

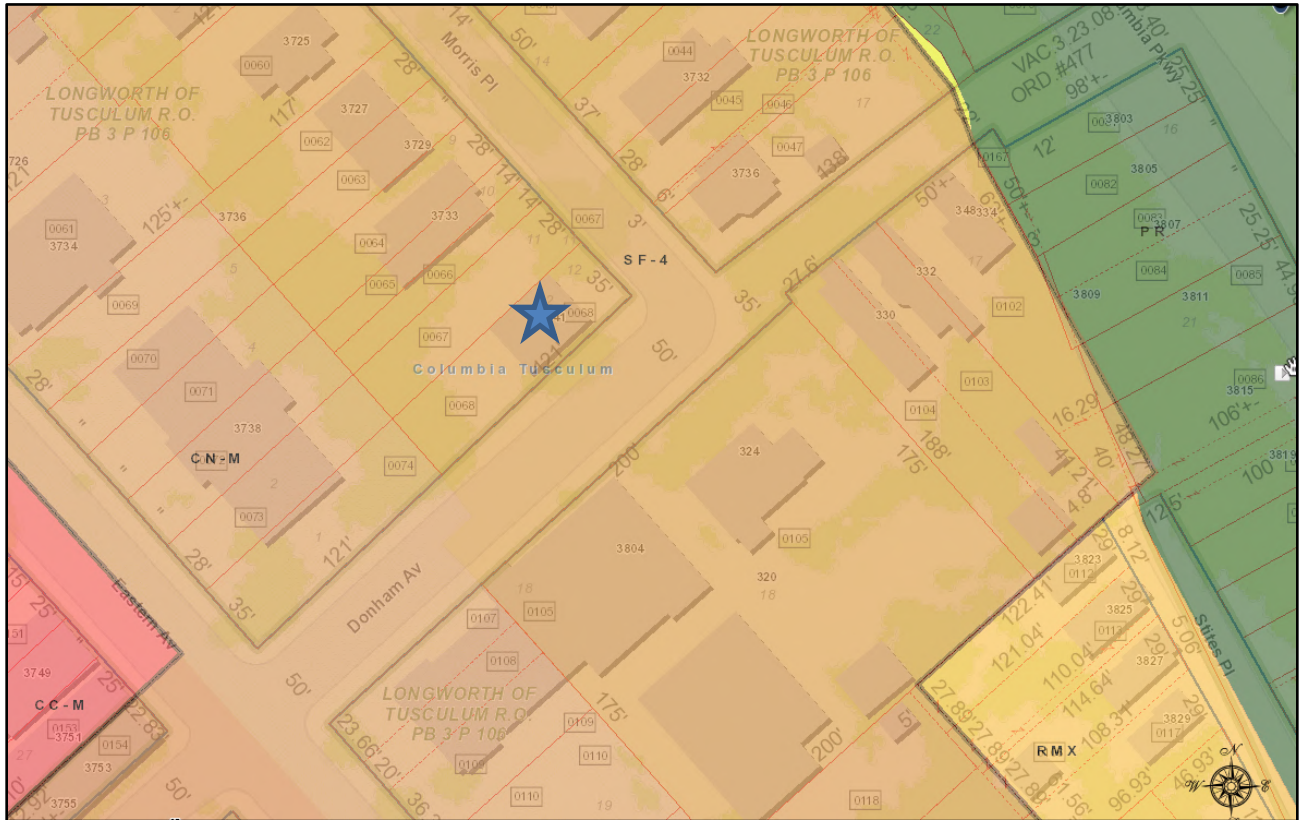


Figure 2: Map of 3741 Morris Place. Map provided by Cagis Maps

Proposed Conditions:

The applicant is proposing to construct a new rear addition at the south west corner of the building. The addition will fill the inset space currently on the building. It will be a one story addition with a shed roof that will align with the current one story portion on the rear of the building. The addition will be frame and will have wood lap siding to match. The windows will be casement windows with trim to match the existing trim work on the other windows. The top of the windows will all be aligned with the existing windows and a third double hung window will be installed where a door is currently on the existing one story rear portion of the house.

The applicant is also proposing a new deck and pergola. The existing deck will be removed and a new composite deck with a staircase on the eastern and western side. The railing will be a turned post in wood and the bottom of the deck will be covered in wood lattice.

Previous Reviews: N/A

Applicable Zoning Code Sections:

Zoning District:	Section 1403	Single Family Districts
\Overlays:	Section 1435	Historic Preservation

Historic District/Reg: [Columbia Tusculum](#)
COA Standard: [Section 1435-09-2](#) Certificate of Appropriateness;
Standard of Review

Certificate of Appropriateness Review:

A Certificate of Appropriateness is required for the construction of a new rear deck with a pergola and a one story rear addition.

Based on the Conservation Guidelines outlined below, staff feels the proposed rehabilitation and addition is generally appropriate in the Columbia Tusculum Historic District and substantially conforms to the applicable conservation guidelines.

Applicable Guidelines

BUILDING REHABILITATION AND ALTERATION

- 12) DECKS: LOCATE THEM WHERE THEY ARE LEAST OBTRUSIVE: Decks are not permitted on the front or street facades of buildings. They may not obscure or require the removal or alteration of the building's significant architectural details. If a deck will be visible from the public right-of-way, it should be designed to fit the general character of the building and should not have a bare-wood finish. In most cases, decks should not extend more than ten (10) feet from the wall of the building. Generally, multi-story decks are inappropriate. Rooftop decks are not permitted, unless they are cut into the roof structure or will not result in a change in the roofline or the loss of architectural details.

The deck is located on the rear of the structure; however as this is a corner property it is visible from Donham Avenue. The design of the deck is consistent with the current design of the deck in its detailing of the railings and lattice work. This detailing is sympathetic to the Queen Anne style building. The deck does extend out more than 10 feet to 15 feet, however the current stairs of the deck extend out to 12 feet from the wall. A pergola will be added to the deck in the southwest corner. This is the furthest corner of the deck from the street. The pergola will be 8 feet in height. The larger deck does not overpower the building or the yard as the deck still allows for a large side yard and a rear yard with a lawn and driveway.

The deck railings and the pergola will be painted and will not be left bare wood. As the floor of the deck is trex it will not need to be painted.

ADDITIONS

- 1) **COMPATIBILITY: CONSIDER THE ADDITION AS NEW CONSTRUCTION** In general, additions should follow the guidelines for new construction in terms of materials, form, scale, height, detailing and siting.
 - a. *Materials: The materials used on the addition match the materials that are on the existing building, this includes wood siding, EPDM rubber roof, wood trim, aluminum clad windows, a wood door and wood railings. They will be using Trex material instead of pressure treated wood, however staff feels that this is an appropriate material as it has a similar look and dimension to pressure treated wood, but is more durable.*
 - b. *Scale and Massing: The addition is matching current one story second on the rear of the building. It is in scale and appropriate to the building. The deck is replacing an existing deck and is enlarging it. The size of the deck does not overpower the building and is similar to other decks in the district.*
 - c. *Height: the addition is a one story addition and matches the height on the existing rear section of the building. The rear deck is only at the first floor.*
 - d. *Detailing: The window trim and width of the windows is the same on the building. They are reusing an existing door and will be installing wood siding to match the existing building. The rear deck is using a turned post style railing, which was found on Queen Anne homes. The railing is a different dimension than a traditional turned posts, however the deck is a new deck and should be distinctive of its time.*
 - e. *Siting: The addition is on the back of the building and is within the setbacks already established by the existing building. The deck is within all required zoning setbacks.*

- 2) **DESIGN: REFER TO THE ARCHITECTURE OF THE ORIGINAL BUILDING** The design of an addition should refer specifically to the architecture of the original building. While the addition should be sympathetic to and compatible with the existing building, it should not try to duplicate its style or appear to have been built at the same time as the original building. The design should also be compatible, in a more general way, with adjacent buildings.

The addition refers to the architecture of the existing building through the use of similar trim work and windows of a similar width, however it doesn't duplicate the exact style and makes the new portion distinctive through the use of casement windows that are shorter than the double hung wood windows. The shorter windows are also necessary for the internal use of a bathroom. Further Queen Anne architecture often has windows of differing heights throughout the building. The east façade of this building is an example of this; there are 10 windows on this façade and 7 different window sizes.

- 3) **IDENTITY: DO NOT OVERPOWER THE EXISTING BUILDING** If the original building is architecturally or historically significant, the addition should take a respectful "back seat" to it and not overpower the original. An addition may be taller than the original building if site considerations and careful design still allow the older building to remain dominant.

The addition does not overpower the existing building as it fits into an existing space and is a small 1 story addition on a rear corner of the building. The only place the addition will be visible from will be on Donham Avenue, but only when past the rear corner of the existing house.

- 4) **CONNECTIONS: KEEP THEM SIMPLE** The connection of the addition to the original building should be designed so that it does not detract from either structure. Significant architectural features of the original building should not be destroyed, removed, or obscured by the addition.

The connections to the house are simple. Original features of the house will not be obscured as the only existing feature being removed is a French door; It is currently hidden with an screened porch and was not original to the house.

Other Considerations:

Prehearing Results: N/A

Comments Provided to Staff: N/A

Consistency with *Plan Cincinnati (2012)*:
"Sustain" Initiative Area "Preserve our built history"

Recommendation:

Staff recommends the Historic Conservation Board take the following actions:

CERTIFICATE OF APPROPRIATENESS

1. **APPROVE** a Certificate of Appropriateness for 3741 Morris Place per plans submitted by Matthew Cornell dated 6/6/2015 including any revisions submitted for permit subject to staff review and approval.
 - a. **FINDING:** The Board makes this determination per Section 1435-09-2:
 - i. That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

APPLICATION

16-44960



CERTIFICATE OF APPROPRIATENESS

APPLICATION BUILDING ADDRESS: 3741 Morris Pl

DISTRICT NAME: _____
(if applicable)

OWNER NAME: Yavch

ADDRESS: 3741 Morris Place

EMAIL: matyavch@gmail.com

CONTRACTOR NAME: The English Contractor

ADDRESS: 6017 Wooster Pike

EMAIL: ORice@TheEnglishcontractor.com

ARCHITECT NAME: Matthew Cornell

ADDRESS: _____

EMAIL: Matthewcornell@gmail.com

HCB USE ONLY

DATE RECEIVED BY HCB: _____

PERMIT/APD NO: _____

APP. COMPLETION DATE: _____

PHONE NO: _____

PHONE NO: 513 726 3180

PHONE NO: 513 288 8670

IT IS YOUR RESPONSIBILITY TO NOTIFY THE URBAN CONSERVATOR IF ANY OF THIS INFORMATION CHANGES DURING THE PENDING REVIEW OF YOUR

WORK PROPOSED: (Describe type of work, existing conditions, and methods to be used, materials proposed)

HCB USE ONLY	
<input type="checkbox"/>	MINOR ALTERATION
<input type="checkbox"/>	NEW CONSTRUCTION
<input type="checkbox"/>	ADDITION
<input type="checkbox"/>	DEMOLITION
<input type="checkbox"/>	REHABILITATION
<input type="checkbox"/>	OTHER _____

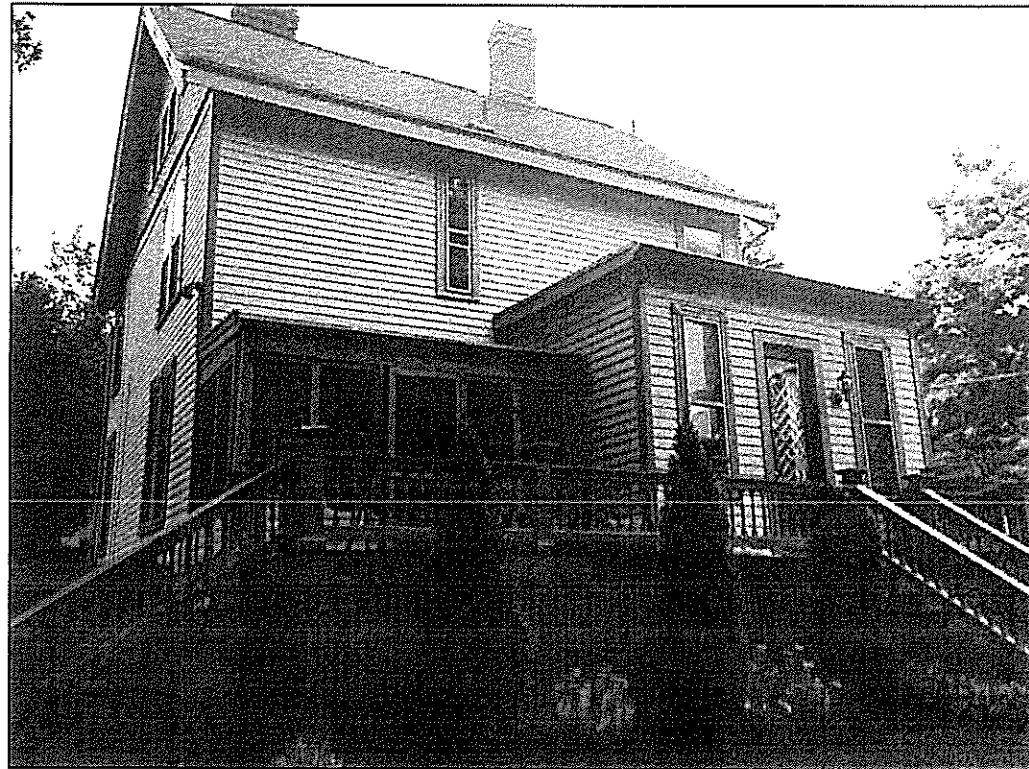
To Remove Current Deck and Screened In Porch, Replace Porch with 130 Sq Addition to Create Bathroom and Laundry Room, Rebuild Deck Using Aztec Planks Finish addition with Cedar Plank Siding to match current house look.

IN ORDER TO EXPEDITE HCB ACTION, PLEASE ATTACH ADDITIONAL INFORMATION, IF AVAILABLE, AS MAY BE APPROPRIATE. LIST ANY INFORMATION ATTACHED: (Elevations, site plans, specifications, photos, material samples, additional drawings or written matter)

Attach a letter explaining the justification for the issuance of the desired Certificate of Appropriateness. Be advised that the burden of proof is on the applicant.

Yauch Addition

3741 Morris Place
Cincinnati, Ohio 45226



SCOPE OF WORK

THIS PROJECT CONSISTS OF REMOVAL IF AN EXISTING DECK AND SCREENED PORCH AND CONSTRUCTION OF A 132 SQUARE FOOT BATHROOM/LAUNDRY ROOM ADDITION. IT ALSO INCLUDES REPLACEMENT OF THE DECK WITH A LARGER 530 SQUARE FOOT DECK.

SHEET INDEX

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A2.0	FOUNDATION PLAN
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A2.2	CONSTRUCTION PLAN
A3.0	CEILING PLAN
A4.0	INTERIOR ELEVATIONS
A5.0	SECTIONS/DETAILS
A6.0	EXTERIOR ELEVATIONS

GENERAL NOTES:

CODES AND SPECIFICATIONS

1. RESIDENTIAL CODE OF OHIO 2013 (ROC)
2. ACI 318-03- BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
3. ACI 301-72- SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.
4. N.F.O.P.A. - 82 - NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.

DESIGN LOADS

1. ROOF LIVE LOAD: GROUND SNOW = 25 PSF. X DRIFTING COEFFICIENTS. (EXPOSED RAFTERS 3:12 PITCH - L/240 MAXIMUM LIVE LOAD DEFLECTION)
2. FLOOR LIVE LOAD = 40 PSF (L/360 MAXIMUM LIVE LOAD DEFLECTION)
3. FLOOR PARTITION = 20 PSF.
4. WIND = 16 PSF. (80 MPH WIND)
5. PRESUMPTIVE ALLOWABLE SOIL BEARING PRESSURE = 3000 PSF.

FOUNDATIONS

1. FOUNDATION ELEVATIONS ARE FOR BIDDING PURPOSES AND MAY VARY TO SUIT SUB-SURFACE SOIL CONDITION.
2. FOOTINGS MAY BE PLACED WITHOUT SIDE FORMS IF EXCAVATED WALLS STAND APPROXIMATELY VERTICAL AND ARE AT LEAST 1 1/2 INCHES OUTSIDE CONCRETE LINES SHOWN ON PLANS.
3. ALL FOOTINGS SHALL BEAR ON LEVEL (WITHIN 1 IN 12) UNDISTURBED SOIL OR APPROVED ENGINEERED FILL.
4. CONTRACTOR SHALL CONTACT UTILITY COMPANIES FOR LOCATING UNDERGROUND SERVICES AND IS RESPONSIBLE FOR THEIR PROTECTION AND SUPPORT.

CONCRETE

1. MATERIALS

- A. CONCRETE UNLESS NOTED: $F_c' = 4000$ PSF., NORMAL AGGREGATE
- B. CONCRETE FOR EXTERIOR FLAT WORK, WALKS, ETC.: $F_c' = 4000$ PSI, AIR ENTRAINED.
- C. CONCRETE FOR FOOTINGS: $F_c' = 3000$ PSI.
- D. REINFORCING STEEL: ASTM A615 60 KSI YIELD OR A185, (MESH) OR A416 (PRESTRESS STEEL).

WOOD

1. MATERIALS

- A. FRAMING LUMBER: SOUTHERN PINE OR DOUGLAS FIR, S4S DRESSED, #2KD STRESS GRADE FOR JOISTS AND BEAMS, CONSTRUCTION GRADE FOR WALL STUDS. CCA OR C2C PRESSURE TREAT PIECES IN CONTACT WITH FOUNDATION.
- B. PLYWOOD 32/16 APA RATED SUBFLOOR EXPOSURE 1 AND 32/16 APA RATED ROOF SHEATHING EXPOSURE 1.
- C. CONNECTORS: H.U.D. UM-25 MANUAL OR O.B.B.C. APPENDIX C
- D. WOOD TRUSSES: ALL WORK TO CONFORM TO NFPA SPECIFICATIONS AND "DESIGN AND SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES" BY TRUSS PLATE INSTITUTE. ALL TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING LOADS. ROOF TRUSSES, 25 PSF. LIVE LOAD + 15 PSF. DEAD LOAD. FLOOR TRUSSES, LIVE LOAD INDICATED ELSEWHERE IN GENERAL NOTES + 10 PSF DEAD LOAD. SHOP DRAWINGS ARE REQUIRED AND SHALL BEAR THE DESIGNERS SEAL, SHOW ALL DESIGN AND FABRICATION DATA, TEMPORARY AND PERMANENT BRACING REQUIREMENTS AND HANDLING OR ERECTION INSTRUCTIONS.
- E. PRESSURE TREATED LUMBER TO BE AWPA, WATERBURNS (CCA) TREATED YELLOW PINE, GRADE 2 FRO ABOVE GROUND USE. ALL CONSTRUCTION GRADE WOOD IN CONTACT W/ CONCRETE OR WITHIN 8" OF GRADE TO BE PRESSURE TREATED. ALL STRUCTURAL LUMBER EXPOSED TO EXTERIOR TO BE PRESSURE TREATED OR APPROVED SPECIES. ALL METAL CONNECTORS AND FASTENERS TO BE GALVANIZED.

CONSTRUCTIONS AND SAFETY

1. CONTRACTOR SHALL BRACE ENTIRE STRUCTURE AS REQUIRED TO MAINTAIN STABILITY UNTIL COMPLETE AND FUNCTIONING AS THE DESIGNED UNIT.
2. IN ACCORDANCE WITH THE GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

317 Mount Hope Ave. | Cincinnati, OH 45204
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Cornell Design

Sheet Issue Information

Issued 2016 05-10

Revised

Project Information

Yauch
Addition

Address 3741 Morris Place

Cincinnati, Ohio 45226

513-315-5944

Project Number 00028.00

Sheet Information

Title Index
General Notes

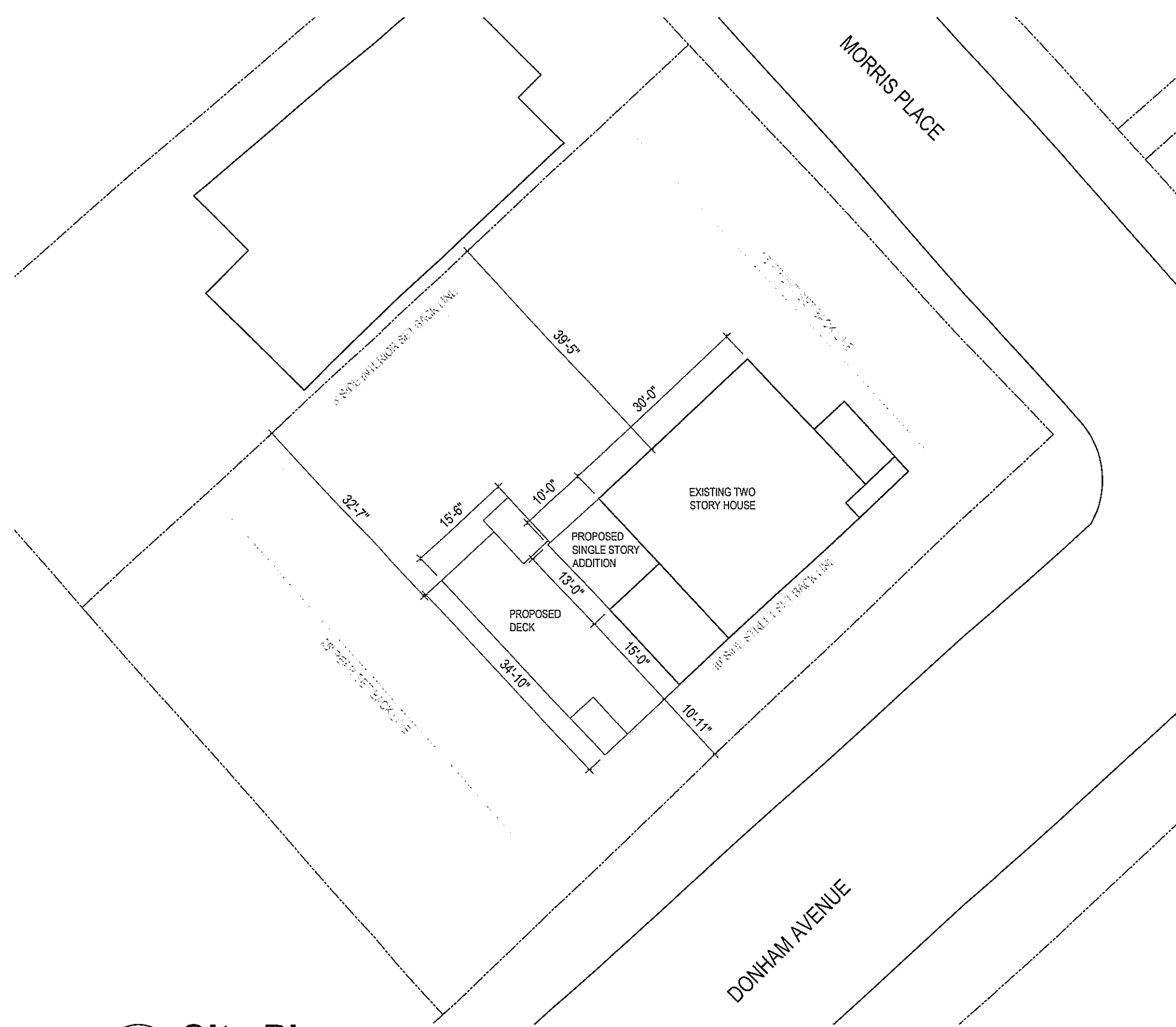
Drawn M.Cornell, S.Cornell

Reviewed

Scale NTS

Authorized for PERMIT, CONST.

Index



1
A0.0 **Site Plan**
 SCALE: 1/16"=1'-0"

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 513.288.5670 | matthew@cornell-design.com
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Sheet Issue Information

Issued	2016 05-10
Revised	

Project Information

Yauch Addition	
Address	3741 Morris Place
	Cincinnati, Ohio 45226
	513-315-5944
Project Number	00028.00

Sheet Information

Title	Site Plan
Drawn	M.Cornell, S.Cornell
Reviewed	
Scale	1/16" = 1'-0"
Authorized for	PERMIT, CONST.

A0.0

REMOVE EXISTING FRENCH DOORS AND TRIM

REMOVE EXTERIOR WALL CLADDING AND SHEATHING UP TO EXISTING PORCH ROOF

REMOVE ENCLOSED PORCH STRUCTURE

SALVAGE GUTTER AND DOWNSPOUT FOR REUSE

REMOVE EXTERIOR CLADDING AND SHEATHING

NEW OPENING FOR POCKET DOOR - REFER TO CONSTRUCTION PLAN FOR LOCATION

SALVAGE AND STORE EXISTING EXTERIOR DOOR AND ALL ASSOCIATED TRIM/HARDWARE

REMOVE EXISTING DECK AND STAIR STRUCTURES

EXTENT OF SCOPE

CARE TO BE TAKEN IN REMOVAL OF EXISTING PORCH SO AS TO PROTECT HISTORIC STRUCTURE. CONTRACTOR RESPONSIBLE FOR ANY DAMAGE TO FACADE TO REMAIN. SALVAGE EXISTING DOWNSPOUT AND GUTTER FOR REUSE.



1 Demolition Plan

A1.0 SCALE: 1/4"=1'-0"

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Sheet Issue Information

Issued	2016 05-10
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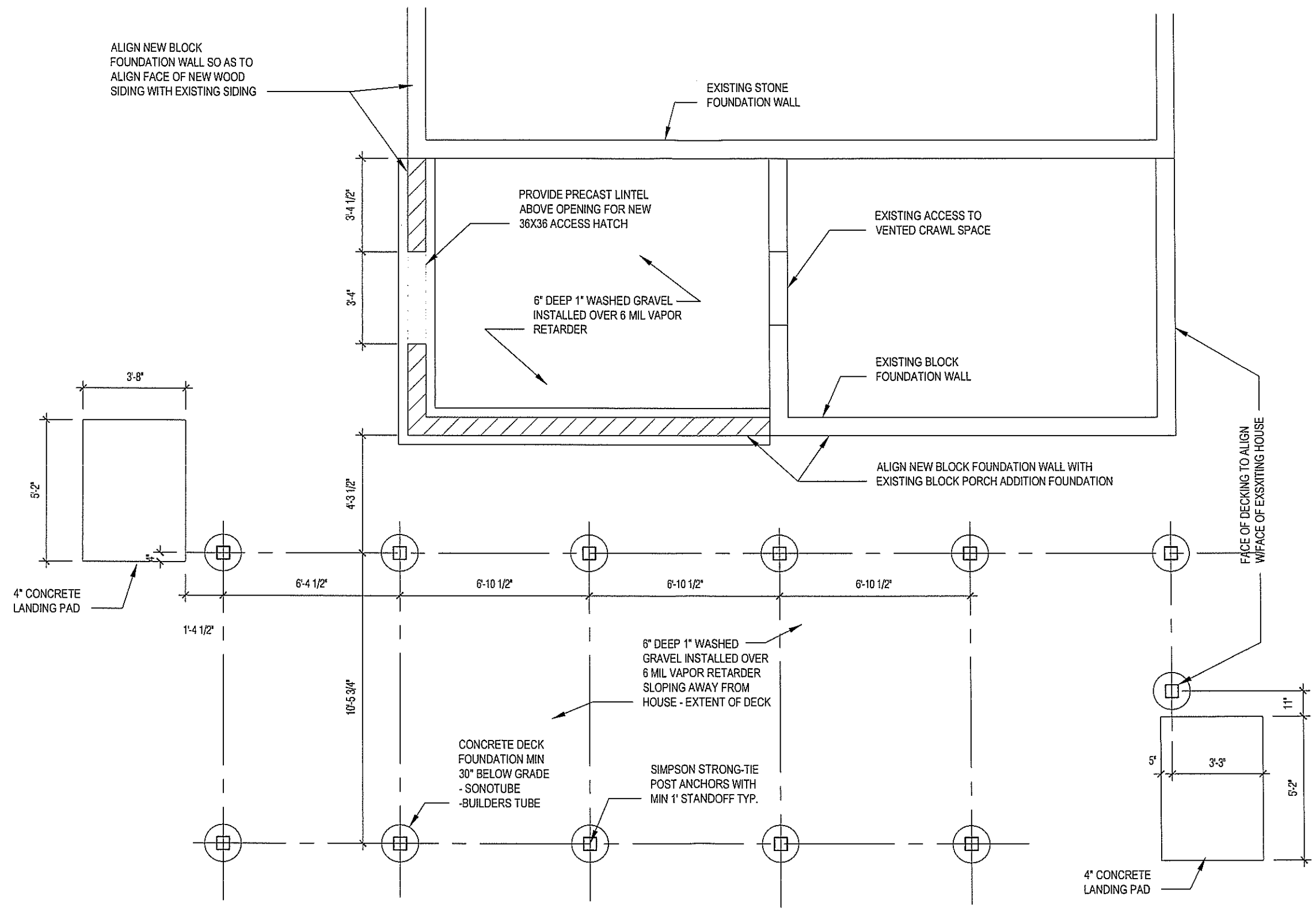
Project Information

Yauch Addition	
Address	3741 Morris Place
	Cincinnati, Ohio 45226
	513-315-5944
Project Number	00028.00

Sheet Information

Title	Demolition Plan
Drawn	M.Cornell, S.Cornell
Reviewed	
Scale	1/4" = 1'-0"
Authorized for	PERMIT, CONST.

A1.0



1 Foundation Plan
A2.0 SCALE: 1/4"=1'-0"

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Project Information

Yauch Addition	
Address	3741 Morris Place
	Cincinnati, Ohio 45226
	513-315-5944
Project Number	00028.00

Sheet Information

Title	Foundation Plan
-------	-----------------

Drawn	M.Cornell, S.Cornell
Reviewed	
Scale	1/4" = 1'-0"
Authorized for	PERMIT, CONST.

A2.0

INFILL DOOR OPENING - PATCH AND REPAIR DINING ROOM DRYWALL TO BE SEAMLESS AND FLUSH. REPAINT ENTIRE WALL TO MATCH ROOM. PROVIDE ACOUSTIC BATT INSULATION BETWEEN DINING ROOM AND LAUNDRY/BATH

FURRED OUT LEDGE AT 47" AFF. PROVIDE MARBLE CAP, SLOPE TO DRAIN

EXTERIOR WALL CONSTRUCTION: PAINTED WOOD LAP SIDING TO MATCH EXISTING, TYVEK HOME WRAP INSTALLED PER MFR. INSTRUCTIONS. R-19 KRAFT FACED BATT INSULATION -ANY EXTERIOR WALL CONTAINING PLUMBING TO RECEIVE RIGID INSULATION W/ SPRAY FOAM JOINTS, REMAINDER TO BE BATT -REFER TO DETAIL 2 ON SHEET A5.0

INSTALL NEW TEMPERED GLASS WINDOW AND TRIM TO MATCH EXISTING ADJACENT WINDOWS SEE ELEVATION FOR SILL HEIGHT, WIDTH TO MATCH EXISTING

PROVIDE NEW GLASS SHOWER DOOR - BASIS OF DESIGN: DRESDEN/RODA DOOR SYSTEM BY BASCO, 30" DOOR TYPICAL. COORDINATE WITH FINAL OPENING DIMENSIONS. VERIFY DOOR SWING CLEARS FIXTURES BEFORE ORDERING

INSTALL NEW WINDOW AND TRIM TO MATCH EXISTING ADJACENT WINDOWS -WIDTH TO MATCH EXISTING -REF ER TO ELEVATION FOR HEIGHT

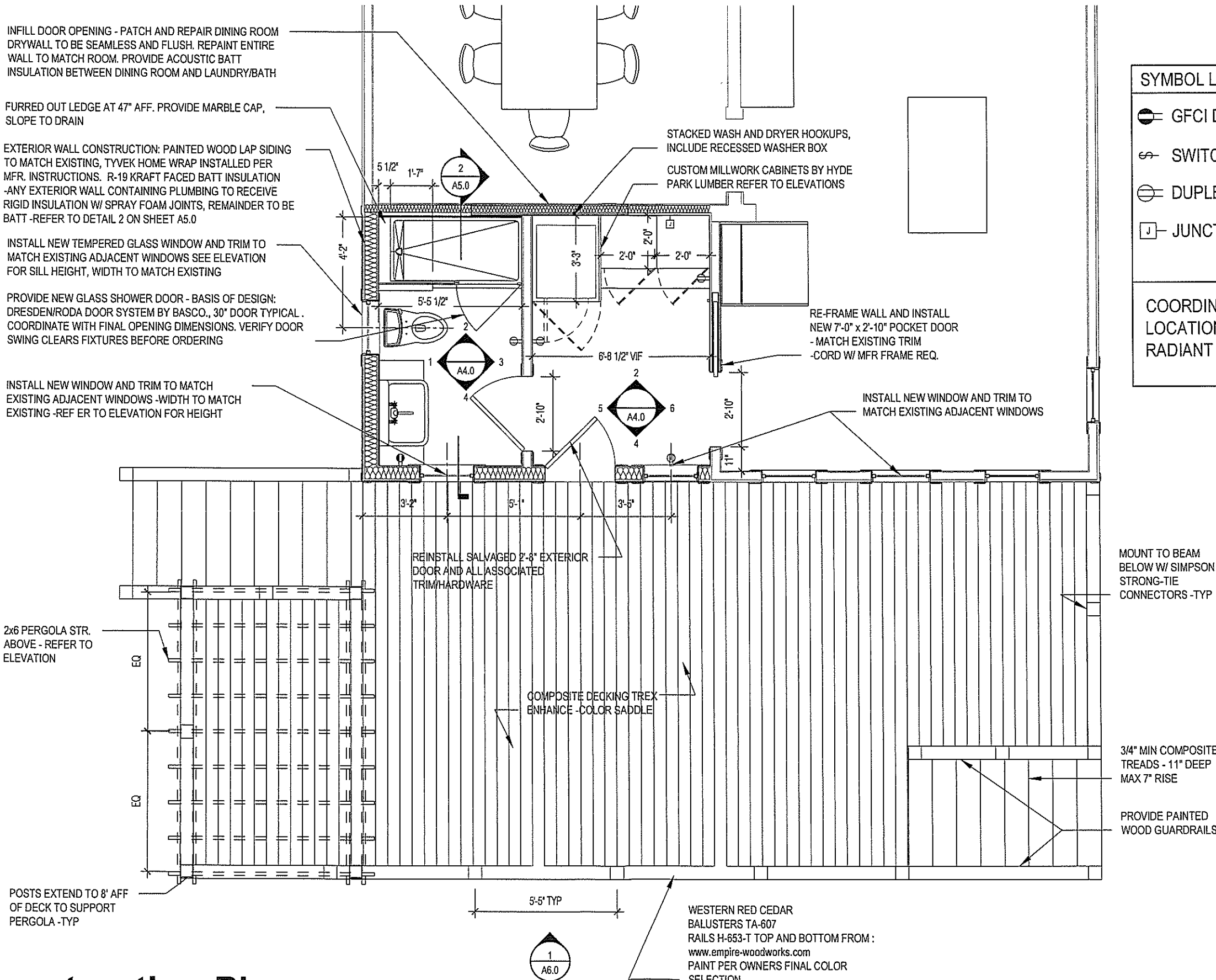
STACKED WASH AND DRYER HOOKUPS, INCLUDE RECESSED WASHER BOX
CUSTOM MILLWORK CABINETS BY HYDE PARK LUMBER REFER TO ELEVATIONS

RE-FRAME WALL AND INSTALL NEW 7'-0" x 2'-10" POCKET DOOR - MATCH EXISTING TRIM -CORD W/ MFR FRAME REQ.

SYMBOL LEGEND

- GFCI DUPLEX OUTLET
- SWITCH LOCATION
- DUPLEX OUTLET
- JUNCTION BOX

COORDINATE WITH OWNER LOCATION OF IN FLOOR RADIANT HEAT CONTROLS



2x6 PERGOLA STR. ABOVE - REFER TO ELEVATION

REINSTALL SALVAGED 2'-8" EXTERIOR DOOR AND ALL ASSOCIATED TRIM/HARDWARE

COMPOSITE DECKING TREX ENHANCE - COLOR SADDLE

MOUNT TO BEAM BELOW W/ SIMPSON STRONG-TIE CONNECTORS -TYP

3/4" MIN COMPOSITE TREADS - 11" DEEP MAX 7" RISE

PROVIDE PAINTED WOOD GUARDRAILS

POSTS EXTEND TO 8' AFF OF DECK TO SUPPORT PERGOLA -TYP

WESTERN RED CEDAR BALUSTERS TA-607 RAILS H-653-T TOP AND BOTTOM FROM: www.empire-woodworks.com PAINT PER OWNERS FINAL COLOR SELECTION

1 Construction Plan
A2.2 SCALE: 1/4"=1'-0"

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Sheet Issue Information

Issued	2016 05-10
Revised	

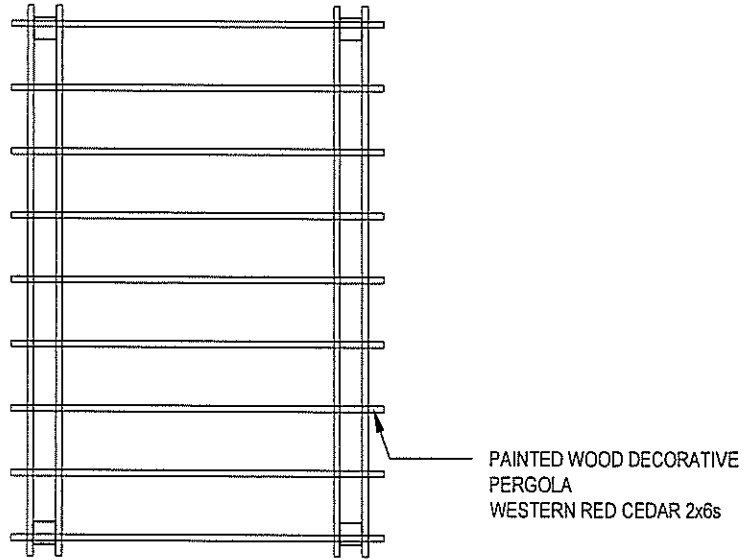
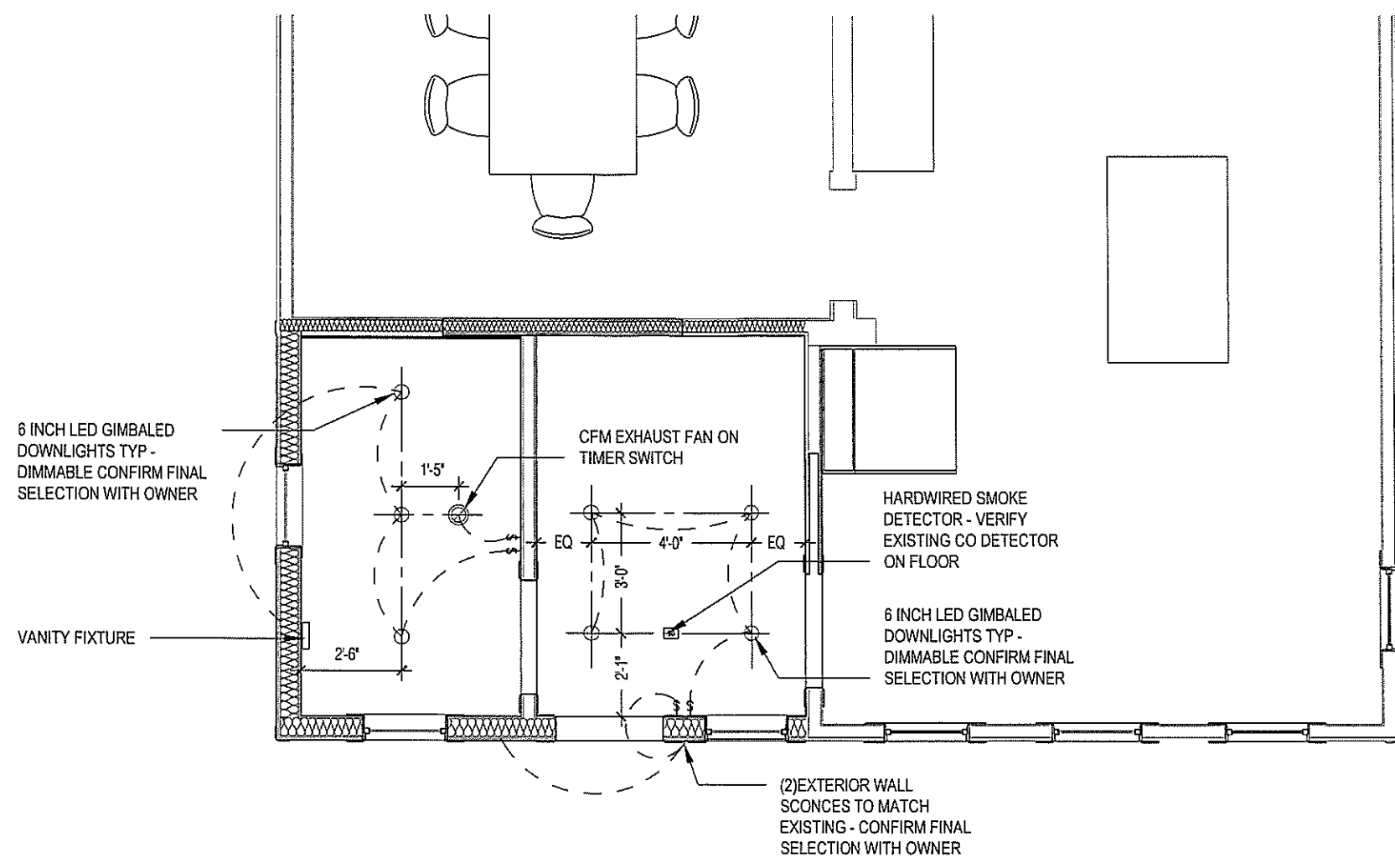
Project Information

Yauch Addition	
Address	3741 Morris Place
	Cincinnati, Ohio 45226
	513-315-5944
Project Number	00028.00

Sheet Information

Title	Construction Plan
Drawn	M.Cornell, S.Cornell
Reviewed	
Scale	1/4" = 1'-0"
Authorized for	PERMIT, CONST.

A2.2



Sheet Issue Information

Issued	2016 05-10
Revised	

Project Information

Yauch Addition	
Address	3741 Morris Place
	Cincinnati, Ohio 45226
	513-315-5944
Project Number	00028.00

Sheet Information

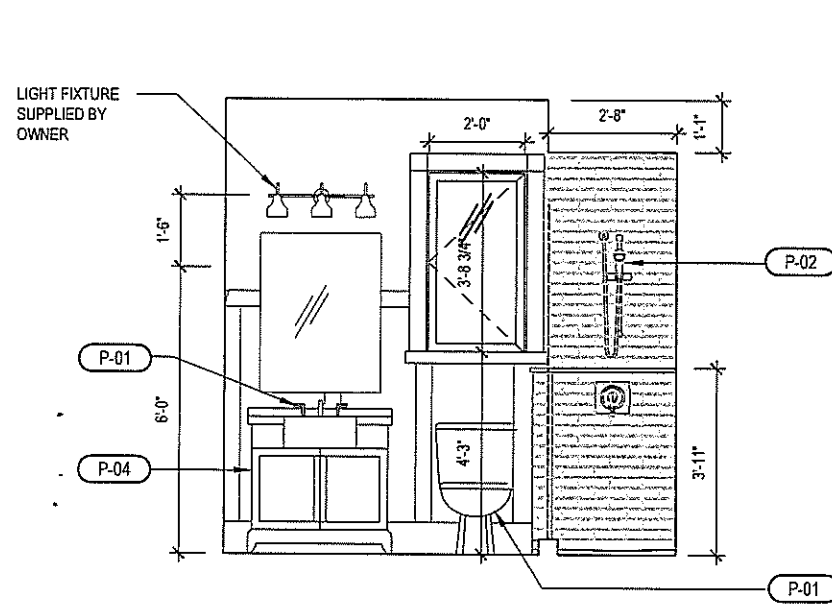
Title	Ceiling Plan
Drawn	M.Cornell, S.Cornell
Reviewed	
Scale	3/8" = 1'-0"
Authorized for	PERMIT, CONST.

A3.0

ROOM FINISH SCHEDULE							
NO.	ROOM	FLOOR	BASE	WALLS		CEILING	REMARKS
				MATERIAL	FINISH		
1	BATHROOM	HAMPTON CARRARA TUMBLED HEX MARBALE MOSAIC TILE 3X3 IN	BOARD AND BATTEN REF-ELEVATIONS	WALL BEN-MOORE DARK BURGUNDY 2075-10 WAINSCOT BEN-MOORE SIMPLY WHITE 0C-117	EGGSHELL SEMIGLOSS	BEN-MOORE SIMPLY WHITE 0C-117 -FLAT	
2	SHOWER	DALTILE M701-2HEXMS1L		DALTILE D790-48MOD1P1	ARCTIC WHITE	BEN-MOORE SIMPLY WHITE 0C-117 -FLAT	
3	LAUNDRY	DALTILE EM03-7201P2 EMBLEM7x20 GRAY-HERRINGBONE PATTERN	PAINTED WOOD MATCH KITCHEN	PAINT BENJAMIN MOORE ACADIA GREEN 2034-S0	EGGSHELL	BEN-MOORE SIMPLY WHITE 0C-117 -FLAT	

UNDER TILE ELECTRIC RADIANT HEAT
THROUGHOUT ADDITION. -CONFIRM WITH
OWNER SPECIFIC CONTROL OPTIONS

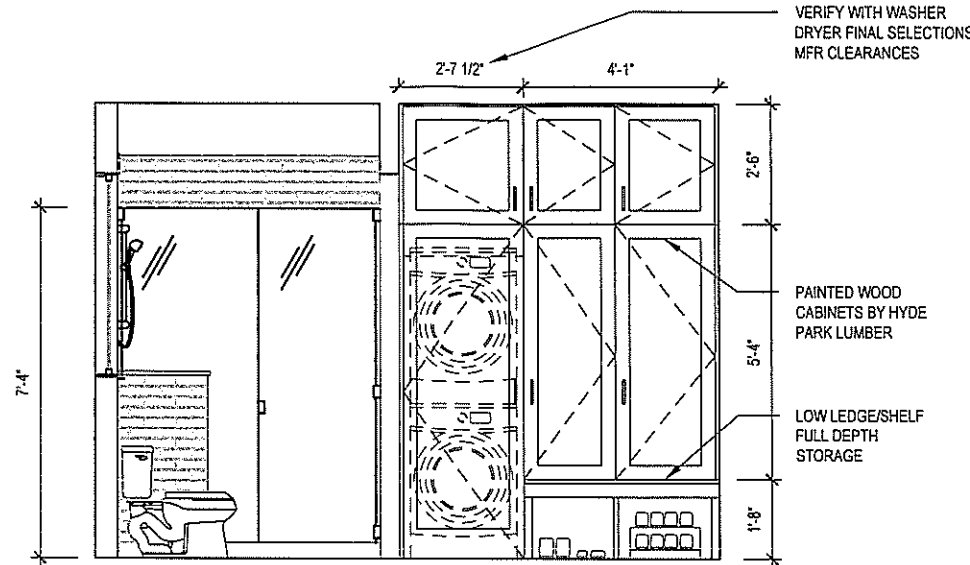
FIXTURE SCHEDULE					
BATHROOM					
FIXTURE	MAKE/MODEL#	FINISH	REMARKS	OWNER SUPPLIED	CONTRACTOR INSTALLED
P-01	TOILET	AMERICAN STANDARD/ 203AA-104	WHITE	SUPPLY WITH STOP	YES
P-02	SHOWER CONTROLS	DELTA/DSS-CASSIDY-17103	CHROME	INCLUDES ROUGH IN VALVES	YES
P-03	VANITY FAUCET	DELTA/CASSIDY 3597LF-MPU	CHROME	W/POF UP DRAIN ASSEMBLY	YES
P-04	VANITY AND SINK	--	WHITE	--	YES
P-05	TILED SHOWER PAN	REDI-BASE - 3160LSPVC-13-2-4	-	OWNER TO SUPPLY TILE	NO, CONTRACTOR SUPPLIED AND INSTALLED



BATHROOM ELEVATION

1/4" = 1'-0"

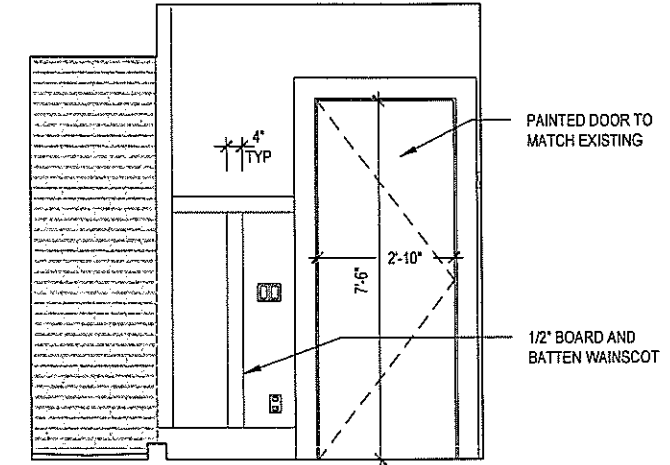
1
A4.0



LAUNDRY/SHOWER ELEVATION

1/4" = 1'-0"

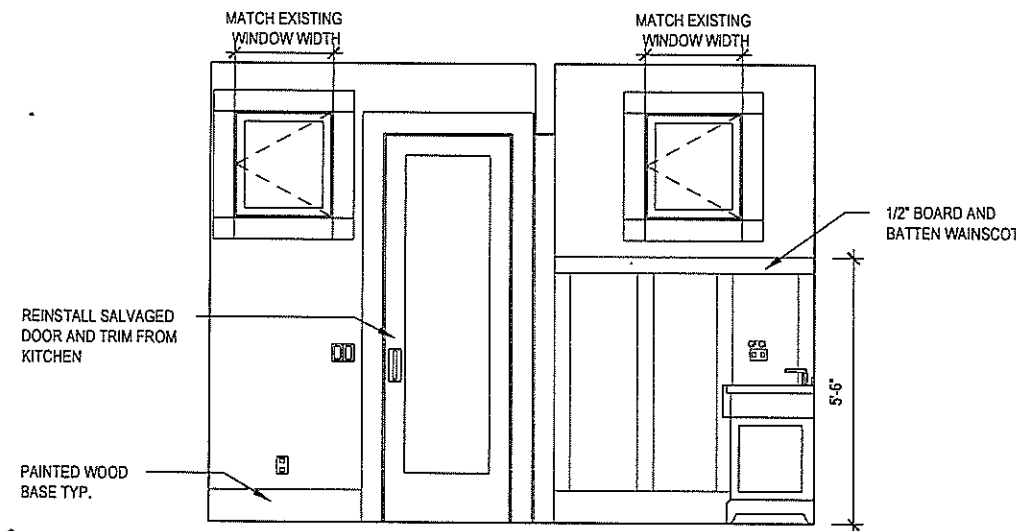
2
A4.0



BATHROOM ELEVATION

1/4" = 1'-0"

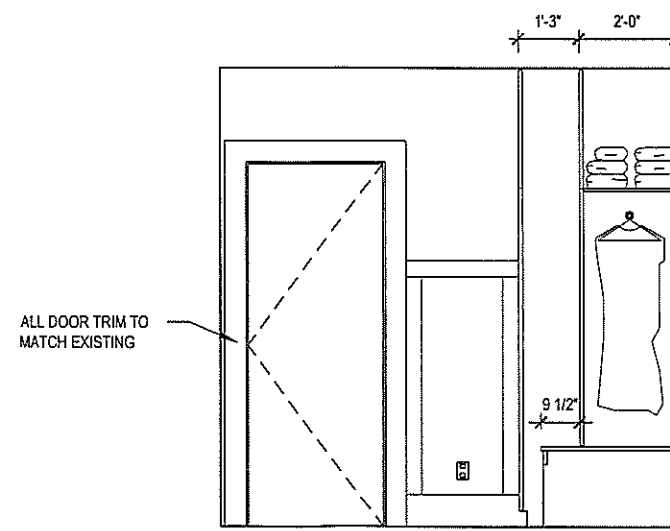
3
A4.0



LAUNDRY/SHOWER ELEVATION

1/4" = 1'-0"

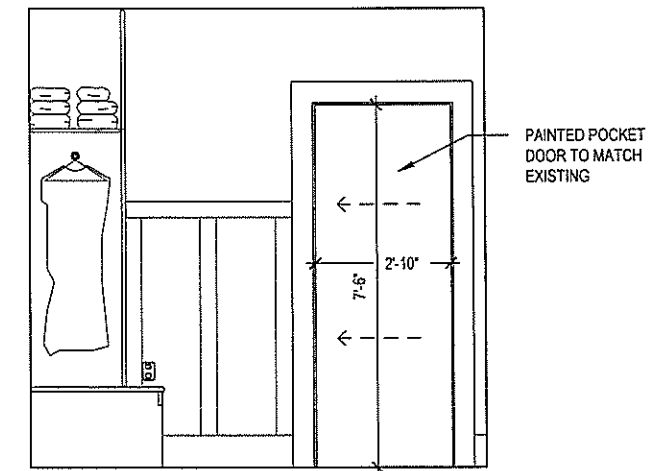
4
A4.0



LAUNDRY ELEVATION

1/4" = 1'-0"

5
A4.0



LAUNDRY ELEVATION

1/4" = 1'-0"

6
A4.0

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Sheet Issue Information

Issued 2016 05-10

Revised

Project Information

Yauch Addition

Address 3741 Morris Place

Cincinnati, Ohio 45226

513-315-5944

Project Number 00028.00

Sheet Information

Title Interior Elevation

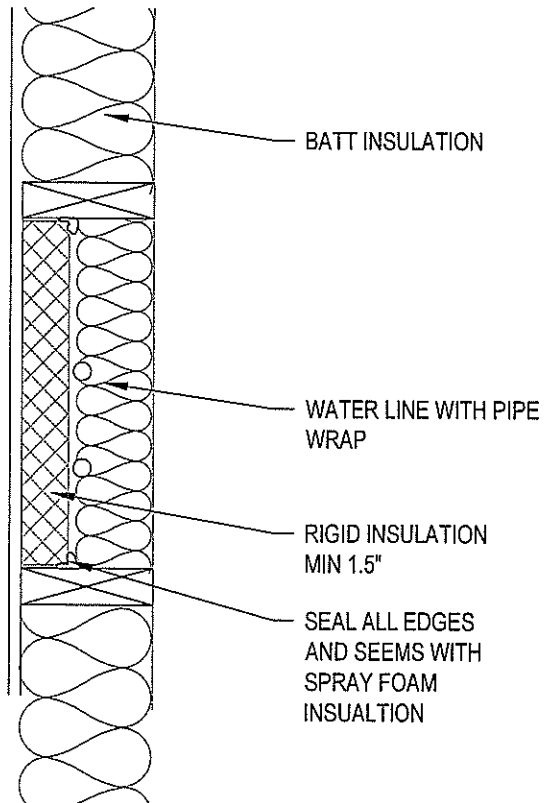
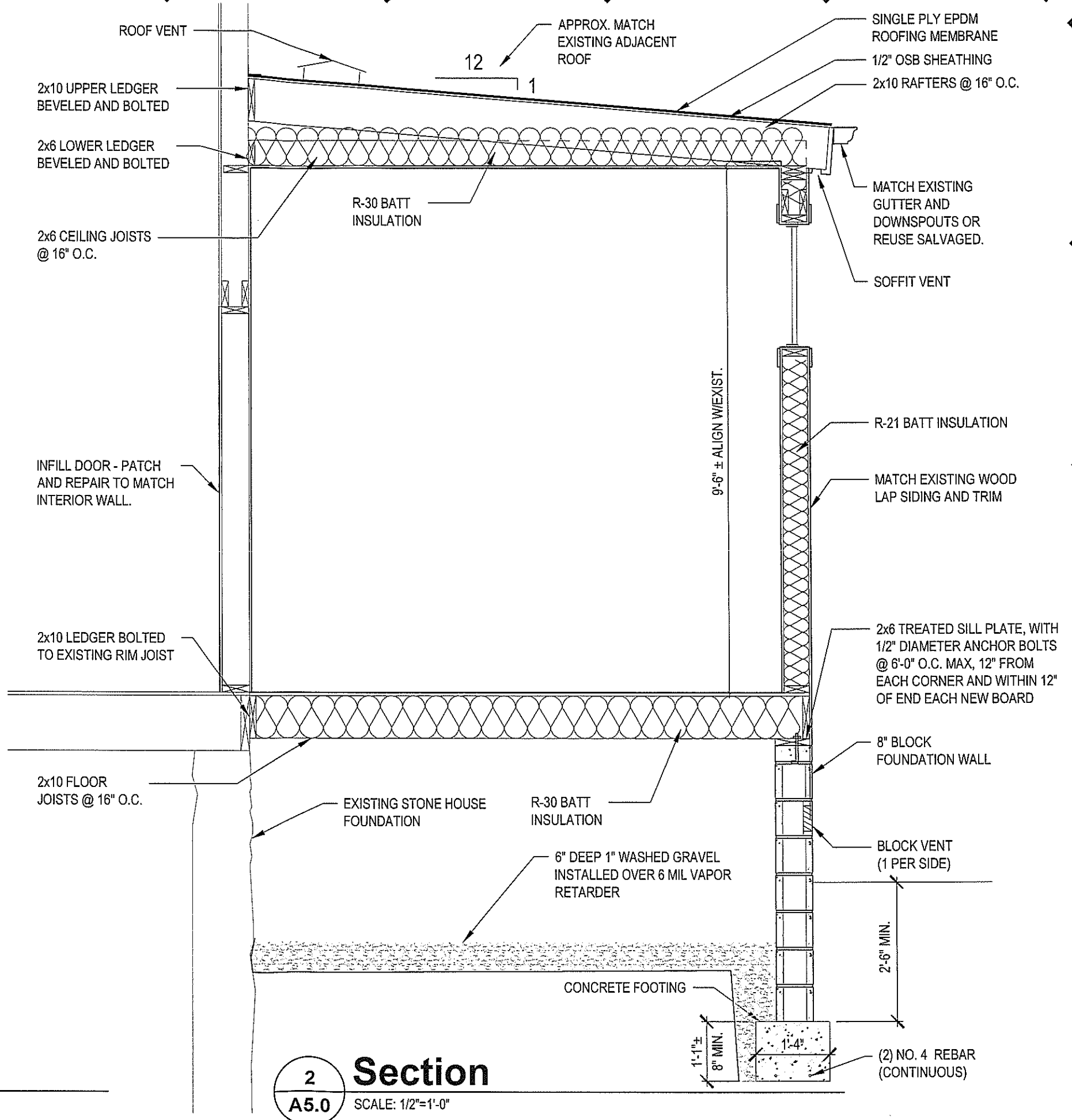
Drawn M.Cornell, S.Cornell

Reviewed

Scale 1/4" = 1'-0"

Authorized for PERMIT, CONST.

A4.0



1
A5.0 **Plan Detail**
SCALE: 1-1/2"=1'-0"

2
A5.0 **Section**
SCALE: 1/2"=1'-0"

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Sheet Issue Information

Issued	2016 05-10
Revised	

Project Information

Project Name	Yauch Addition
Address	3741 Morris Place Cincinnati, Ohio 45226
Project Number	513-315-5944 00028.00

Sheet Information

Title	Sections/Details
Drawn	M.Cornell, S.Cornell
Reviewed	
Scale	1/2" = 1'-0"
Authorized for	PERMIT, CONST.

A5.0

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

APPLICATION #:
APPLICANT: Bobby Freisberry
OWNER: Bobby Freisberry
ADDRESS: **1947 Auburn Avenue**
PARCELS: 087-0004-0077
ZONING: CN-M Commercial Neighborhood
OVERLAYS: Auburn Avenue Historic District
COMMUNITY: Mount Auburn
REPORT DATE: June 20, 2016
PRE HEARING: June 15, 2016
STAFF REVIEW: Beth Johnson, Urban Conservator

Nature of Request:

The applicant is requesting a Certificate of Appropriateness (COA) to demolish an inappropriate addition on the rear of the building.

Existing Conditions:

The building is located at the corner of Sycamore Street and Auburn Avenue. The property faces north onto Sycamore street. The building is a 3 story painted brick second empire building built around 1880. There is currently a one story concrete stucco addition on the southeast corner of the building. (see attached pictures of one story concrete stucco addition)



Figure 1: 1947 Auburn Avenue. Picture provided from Google Street view

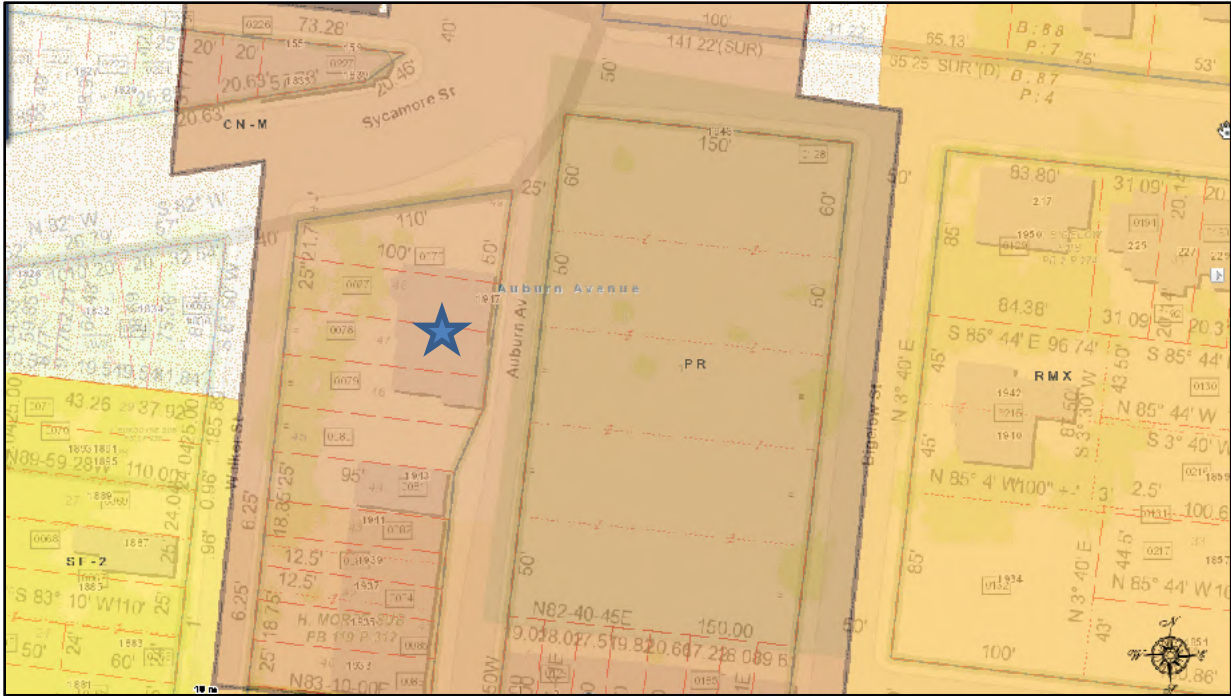


Figure 2: Map provided from Cagis Maps.

Proposed Conditions:

The proposal is to demolish the one story post 1950s rear addition and reconstruct the original two story porch. The columns for the first floor will be replicated based on the columns from the second floor and will be placed directly underneath the location of each existing column. Pictures are provided in the packet of the addition and of the entire building.

The applicants are turning the property back into a single family home and will be doing considerable improvements. In this application, the applicant is also seeking to remove an inappropriate shed roof dormer addition on the east face of the building. Once removed matching slate roofing tiles will be installed.

Previous Reviews: N/A

Applicable Zoning Code Sections:

Zoning District: Section 1409 Commercial Subdistricts
 Historic Landmark/Reg: Auburn Avenue Historic District
 COA Standard: Section 1435-09-2 Certificate of Appropriateness; Standard of Review

Certificate of Appropriateness Review:

Staff feels the proposal to remove an inappropriate addition is consistent with the guidelines and will improve the streetscape that the addition fronts onto. The addition is

a rough concrete stucco one story flat roof addition on the rear of a second empire brick building. The addition sticks out beyond the footprint of the house and is visible from both Auburn Avenue and Sycamore Street. The addition detracts from the house and if proposed today would not meet the guidelines for an addition to this building. The removal of the addition will be exposing original exterior walls of the original brick building and the 1890's era two story rear brick addition that had a two story porch. The reconstruction of the columns on the first floor of the brick addition will be bringing the building back to its historic look and integrity.

Staff comments on the Specific Guidelines for Demolition of Buildings:

Demolition shall not be permitted unless one of the following conditions exists:

- (1) Demolition has been ordered by the Director of Buildings & Inspections for reasons of public health and safety;

Demolition has not been ordered by the Director of Building & Inspections. The building does not have any outstanding code violation.

- (2) The owner can demonstrate to the satisfaction of the Historic Conservation Board that the structure cannot be reused nor can a reasonable economic return be gained from the use of all or part of the building proposed for demolition;

The applicant is not arguing economic hardship and therefore has not provided information for this test. The applicant and staff believe that the addition is an inappropriate addition

A) Test 1 - Can the structure be reused?

The building is currently vacant and the owner has not provided reasons that the structure cannot be reused.

B) Test 2 - Can a reasonable economic return be gained from the use of all or part of the building?

Zoning Code Section 1435-09-2 Certificate of Appropriateness; Standards of Review establishes factors the Historic Conservation Board shall consider in determining if a property owner has demonstrated an economic hardship by credible evidence. These factors are:

- (i) Will all economically viable use of the property be deprived without approval of a Certificate of Appropriateness?**

No information has been provided regarding this factor.

(ii) Will the reasonable investment-backed expectations of the property Owner be maintained without approval of a Certificate of Appropriateness; and

No information has been provided regarding this factor.

(iii) Whether the economic hardship was created or exacerbated by the property Owner.

No information has been provided regarding this factor.

(iii)(aa) A property's current level of economic return;

No information has been provided regarding this factor.

(iii)(bb) Any listing of property for sale or rent, price asked, and offers received, if any, within the previous two years, including testimony and relevant documents;

No information has been provided regarding this factor.

(iii)(cc) The feasibility of alternative uses for the property that could earn a reasonable economic return;

No information has been provided regarding this factor.

(iii)(dd) Any evidence of self-created hardship through deliberate neglect or inadequate maintenance of the property;

No information has been provided regarding this factor.

(iii)(ee) Knowledge of landmark designation or potential designation at time of acquisition; and/or

The applicants were aware the property was within the Auburn Avenue Historic District.

(iii)(ff) Economic incentives and/or funding available to the Applicant through federal, state, city, or private programs.

The property will be used as a single family home and therefore work on this property will not be eligible to use State or Federal Historic Tax Credits.

- (3) The owner is a non-profit corporation or organization and can demonstrate to the satisfaction of the Historic Conservation Board the denial of the application to demolish would also deny the owner the use of the property in a manner

compatible with its organization purposes and would amount to a taking of the owner's property without just compensation.

The applicants are not a non-profit corporation.

- (4) The demolition request is for a garage or an inappropriate addition, and the demolition of said structure will not adversely affect the streetscape as determined by the Historic Conservation Board.

The proposed demolition is for an inappropriate addition on the rear of the building. The addition is a one story rough stucco concrete block building. The style, materials, visibility and location of the addition are all inappropriate and detract from the historic building. The addition was built post 1950s and its removal will aid the long term preservation of the building and will not adversely affect the streetscape. The removal of the building will be a positive impact on the streetscape due to its high visibility from Auburn Avenue and Hopkins Park across the street.

The applicant is also seeking to remove a dormer addition on the east side of the building. The dormer is not original to the building. The placement of the dormer as just off center on an otherwise symmetrical facade and the shed roof style do not match the rest of the gable front dormers on the building. The removal of this dormer will not adversely affect the streetscape and will also actually improve the streetscape of Auburn Avenue as well as the architectural integrity of the building.

- (5) The demolition request is for a non-contributing building and the demolition will not adversely affect the character of the district.

The demolition request is for an addition not an entire building. The principal building is considered a contributing building to the Auburn Avenue Historic District.

Other Considerations:

Prehearing Results:

June 15, 2016: The applicant was present for the pre-hearing.

Comments Provided to Staff:

Consistency with *Plan Cincinnati (2012)*: N/A

Recommendation:

Staff recommends the Historic Conservation Board take the following actions:

A. CERTIFICATE OF APPROPRIATENESS:

1. **APPROVE** a Certificate of Appropriateness for demolition on the one story rough stucco addition and the east face center dormer addition at 1947 Auburn Avenue based on the credible evidence provided by applicant and staff that the addition is an inappropriate addition and the removal of the addition will not adversely impact the streetscape but will actually improve the streetscape on Auburn Avenue. Also approve the reconstruction of the ground floor porch with columns to replicate the existing columns. The approval is subject to the following conditions:
 - a. Any new buildings or additions or site improvements shall have to be approved by the Historic Conversation Board and must comply with the Historic Conservation Guidelines for Auburn Avenue District. .

2. **FINDING:** The Board makes this determination per Section 1435-09-2:
 - a. That the Applicant and/or Property Owner have demonstrated that the additions are inappropriate additions to a contributing in the Auburn Avenue Historic District and the demolition of the additions will not adversely affect the streetscape.

APPLICATION



CERTIFICATE OF APPROPRIATENESS

APPLICATION BUILDING ADDRESS: 1947 Auburn Ave.
 DISTRICT NAME: Mt. Auburn
 (if applicable)
 OWNER NAME: Bobby K Freisberg
 ADDRESS: 786 Old Lurlew Avenue
 EMAIL: bkf_73@yahoo.com
 CONTRACTOR NAME: Mr. Demo
 ADDRESS: 10090 East Kemper Rd.
 EMAIL: nathan@rumpkedemolition.com
 ARCHITECT NAME: _____
 ADDRESS: _____
 EMAIL: _____

HCB USE ONLY

DATE RECEIVED BY HCB: _____
 PERMIT/APD NO: _____
 APP. COMPLETION DATE: _____

PHONE NO: (859) 321-2490

PHONE NO: (513) 400-6155

PHONE NO: _____

IT IS YOUR RESPONSIBILITY TO NOTIFY THE URBAN CONSERVATOR IF ANY OF THIS INFORMATION CHANGES DURING THE PENDING REVIEW OF YOUR

WORK PROPOSED: (Describe type of work, existing conditions, and methods to be used, materials proposed)

HCB USE ONLY

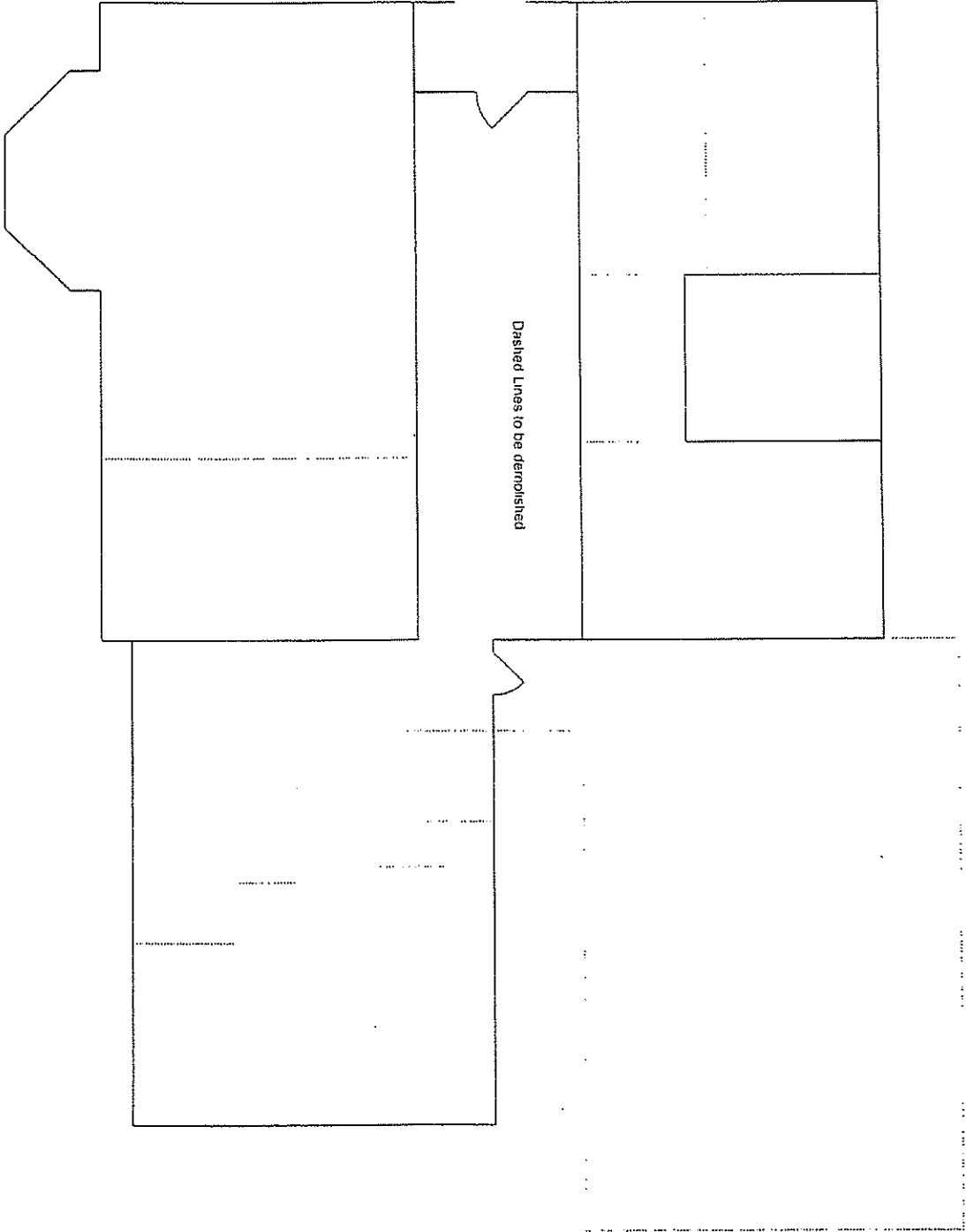
MINOR ALTERATION
 NEW CONSTRUCTION
 ADDITION
 DEMOLITION
 REHABILITATION
 OTHER _____

We are taking the house back to a single-family residence. In doing so, we would like to demolish the single story concrete block addition at the rear side of the property. Initially, we will support the porch by retaining a portion of the concrete block under the existing columns. As construction ends, we will remove the concrete block support and replace it with columns. We propose to do this within 8-10 months.

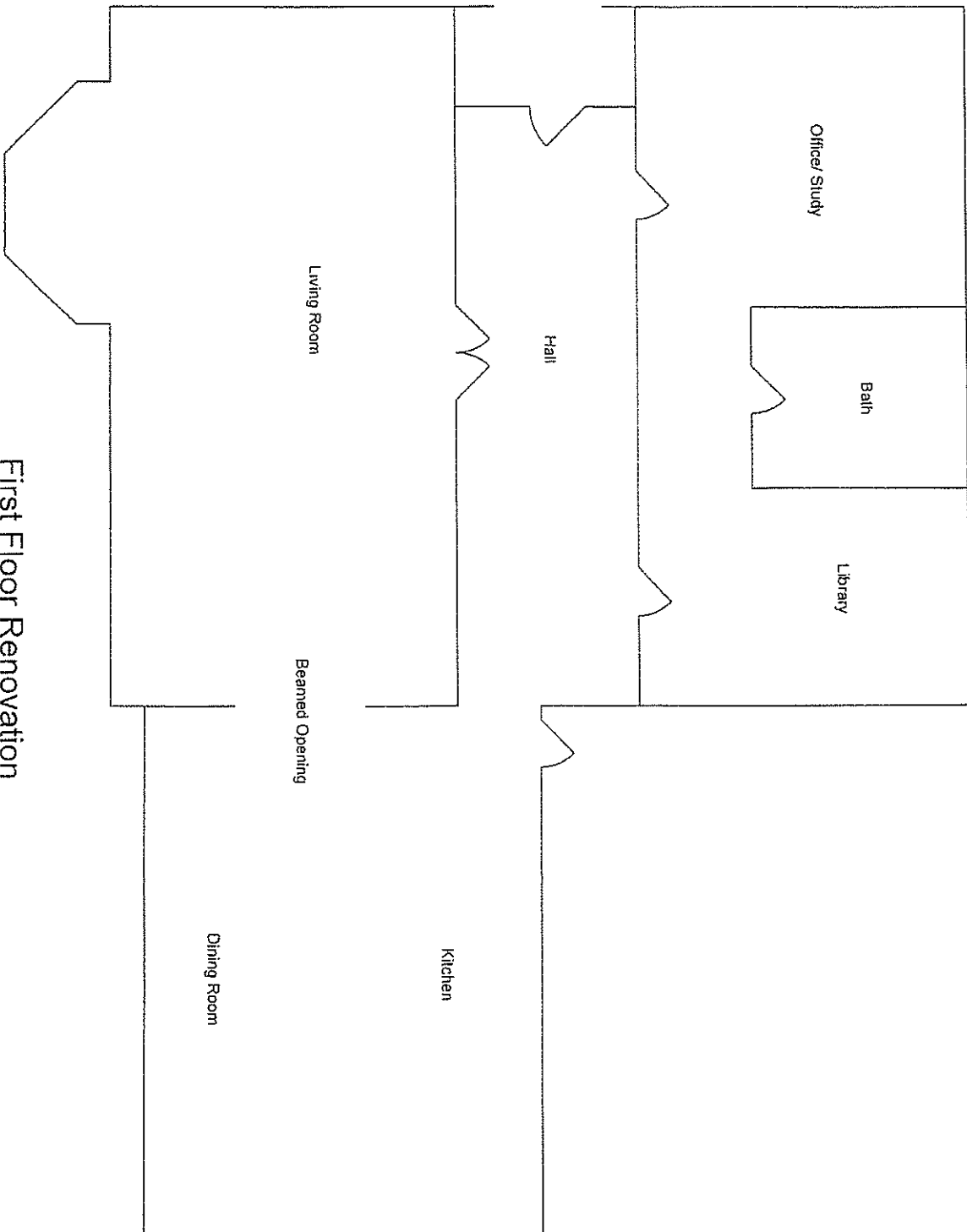
IN ORDER TO EXPEDITE HCB ACTION, PLEASE ATTACH ADDITIONAL INFORMATION, IF AVAILABLE, AS MAY BE APPROPRIATE. LIST ANY INFORMATION ATTACHED: (Elevations, site plans, specifications, photos, material samples, additional drawings or written matter)

We will be using this area, in addition to the remaining rear property for construction staging, etc. Ultimately, we propose to build a courtyard in this area. The columns existing on the 2nd floor porch will be replicated to support porch at ground level, unless we find evidence of different columns.

Attach a letter explaining the justification for the issuance of the desired Certificate of Appropriateness. Be advised that the burden of proof is on the applicant.



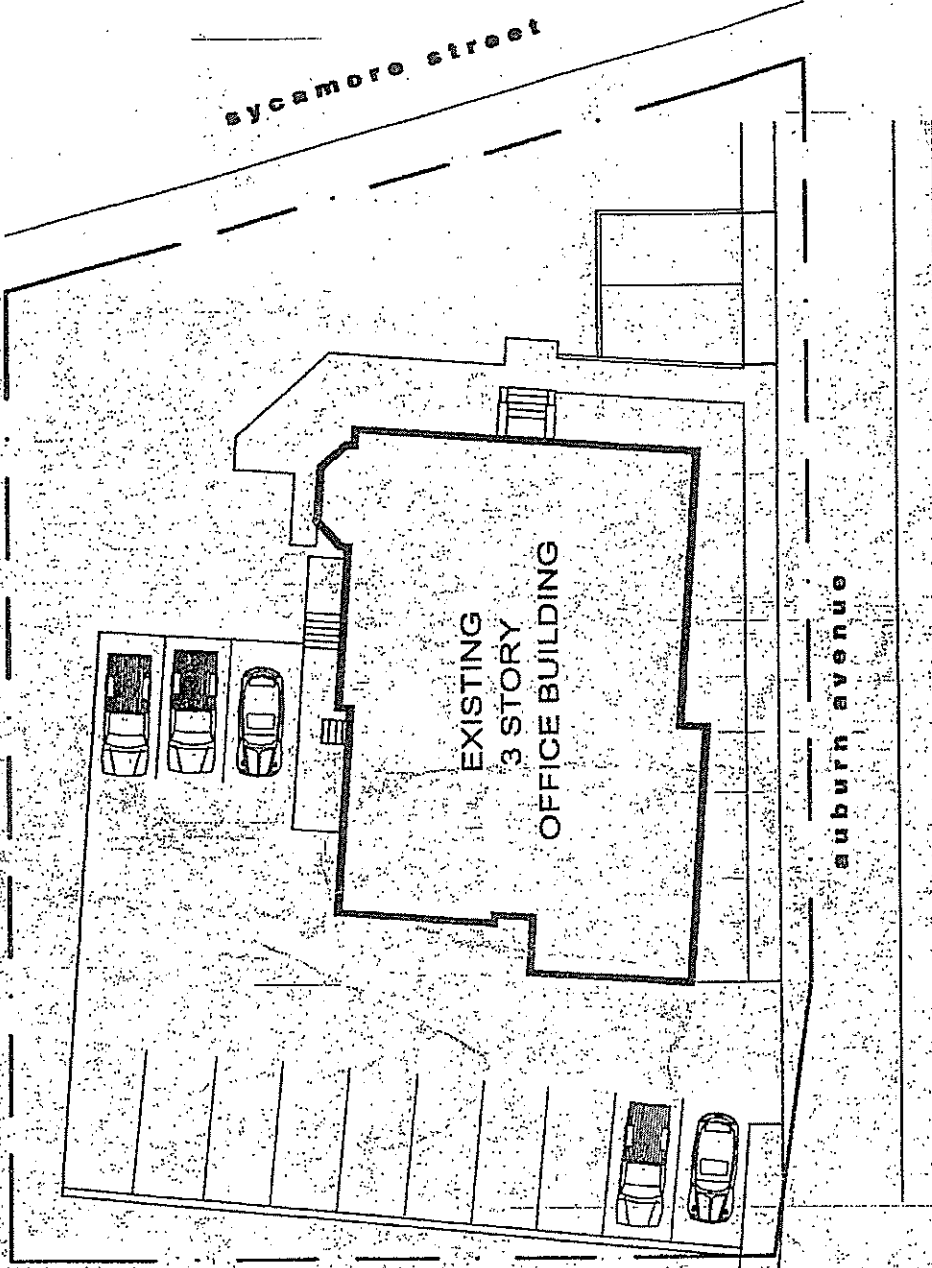
First Floor Demo Plan



First Floor Renovation

dorchester ave.

sycamore street

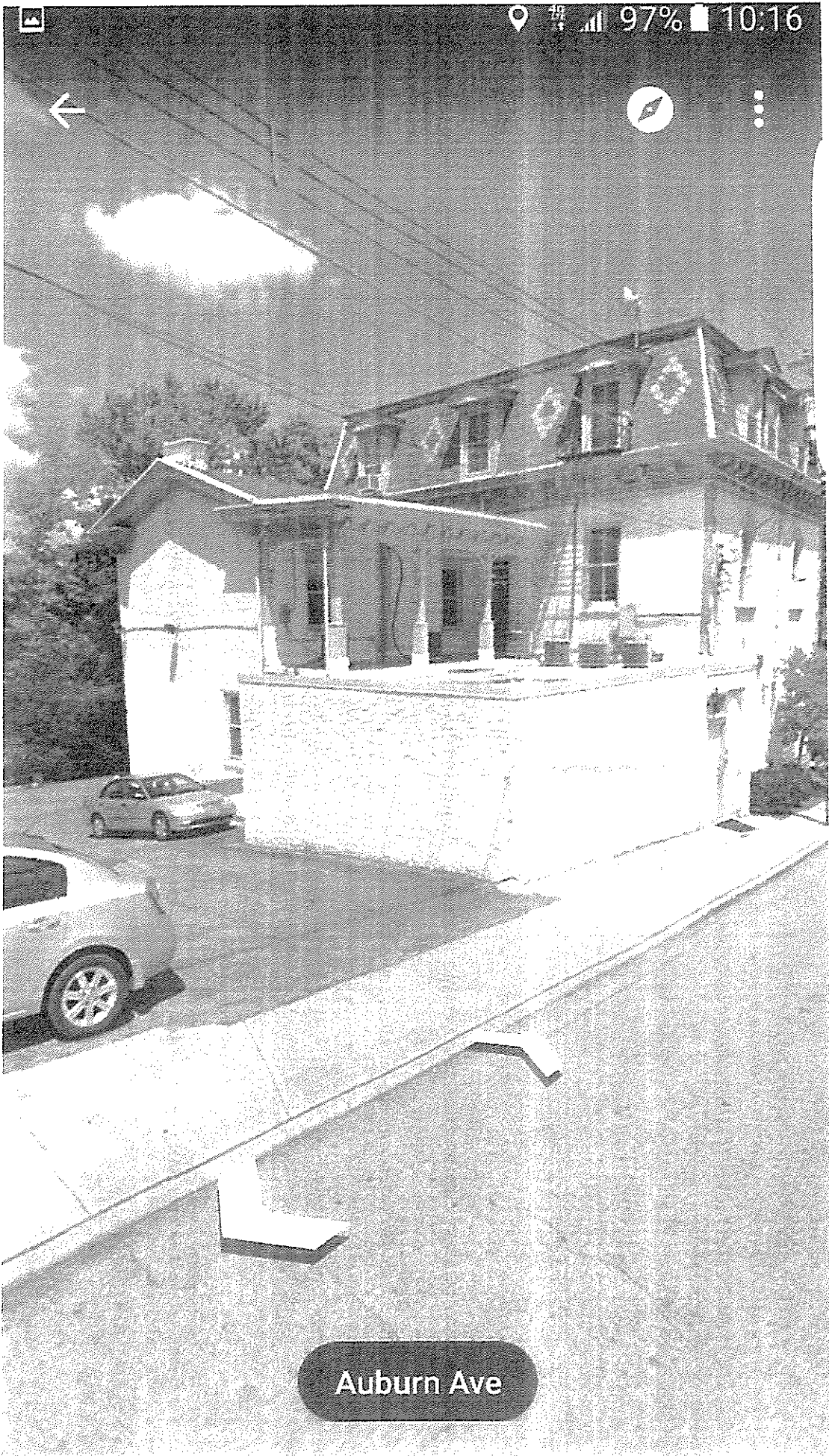


auburn avenue

SITE LOCATION PLAN

SCALE: 1" = 40'





Auburn Ave



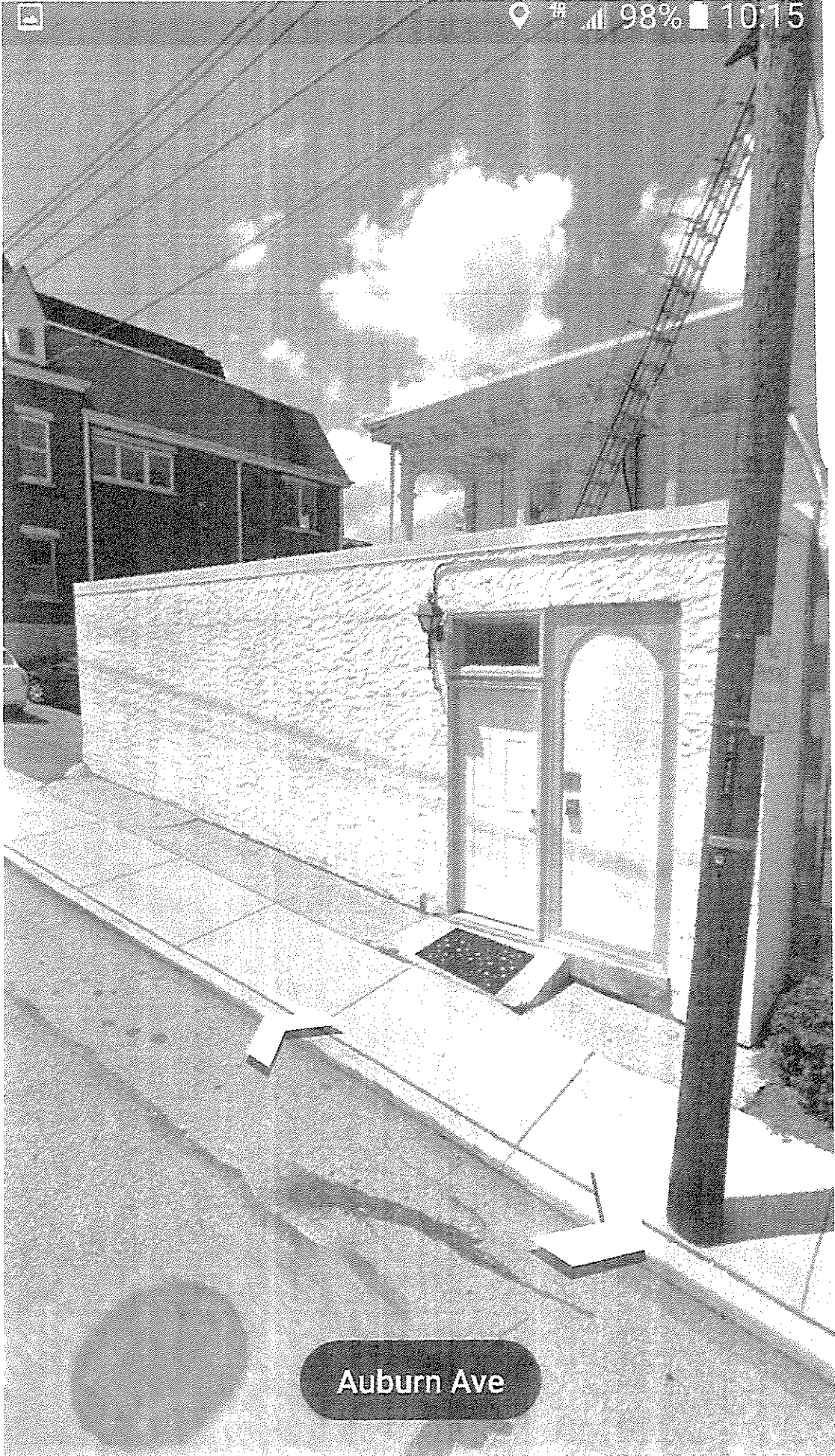
ST. RIVER HOUSE
1847



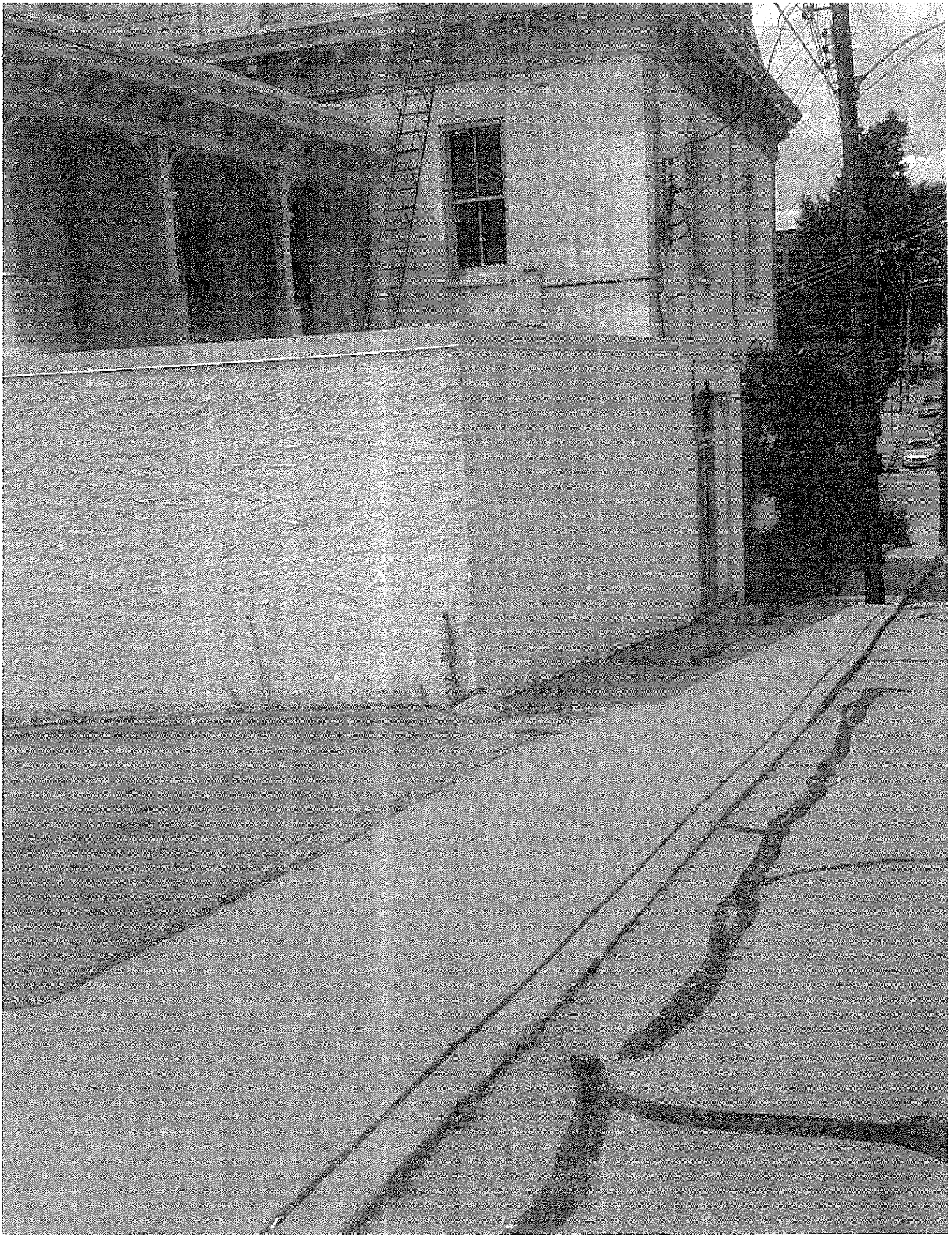
97% 10:17

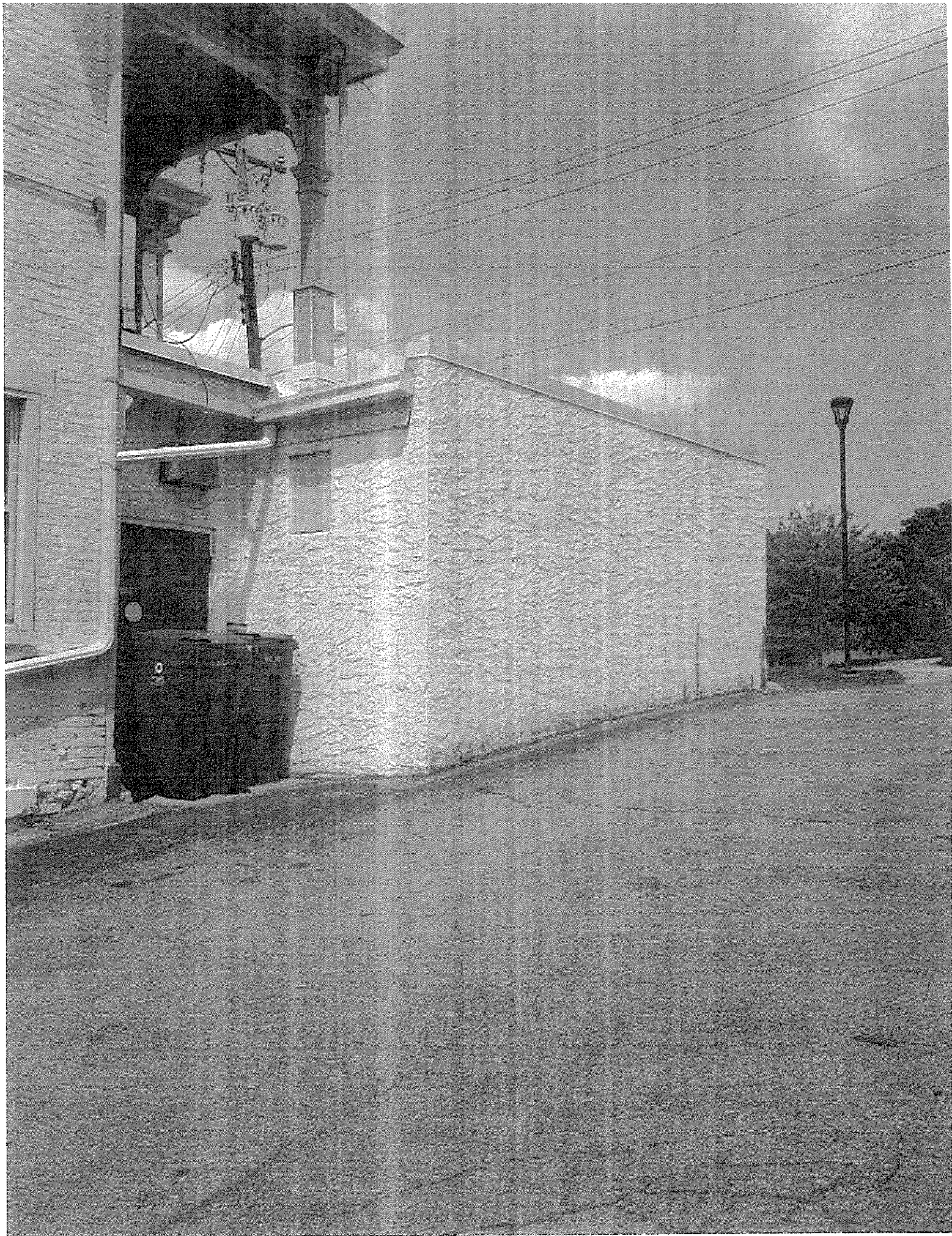


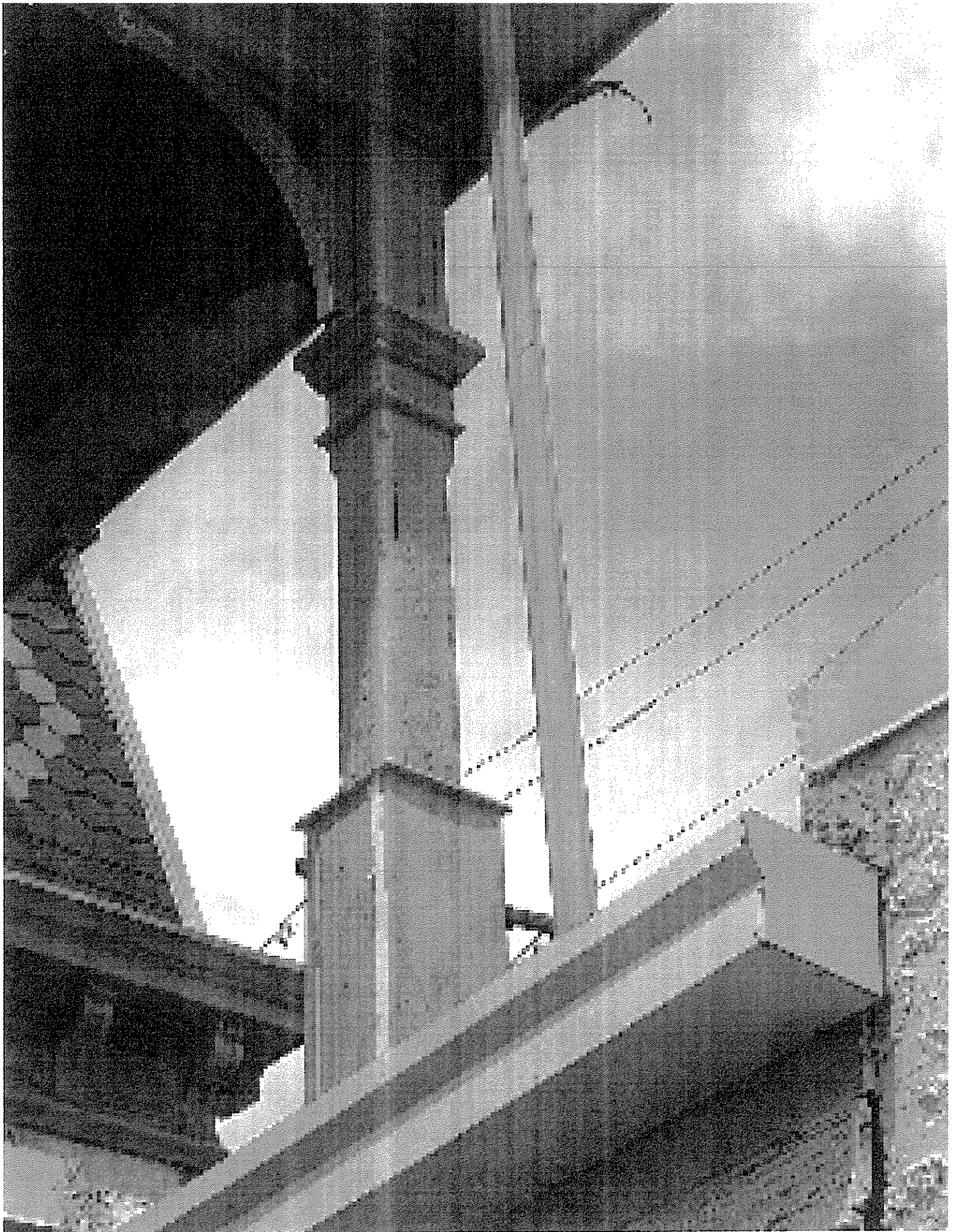
Auburn Ave



Auburn Ave







ITEM 4

July 11, 2016

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

APPLICATION #:
APPLICANT: Wichman Gunther Architects
OWNER: Jack Serman
ADDRESS: **724 Lafayette Ave Unit 5**
PARCELS: 021-5007-00192
ZONING: SF-20 Single Family District
OVERLAYS: Mt. Storm/Sacred Heart
COMMUNITY: Clifton
REPORT DATE: June 21, 2016
HEARING DATE: June 15, 2016 Prehearing
STAFF REVIEW: Beth Johnson, Urban Conservator

Nature of Request:

The applicant is requesting a Certificate of Appropriateness (COA) to build an addition. The addition will include a lower/basement, a main floor addition and deck.

Existing Conditions:

The property at 724 Lafayette Avenue is a 5 unit condominium building that was originally built as a service building. It is a two story brick U-shaped building. The building sits in an isolated lot adjacent to Mt. Storm Park.



Figure 1: 724 Lafayette facing southeast. Image provide by the applicant



Figure 2: Map of 724 Lafayette Ave. Map provided by Cagis Maps

Proposed Conditions:

The applicant is proposing to construct a new side/rear addition at the south west corner of the building. The addition will be approximately 15'6" by 16' and will include a basement level clad in split face concrete block to match the existing garages. An upper level will be located at the main living level. It will be stucco painted to match the existing building. The addition will have a hipped roof to match the existing built. There will be white multi-pane windows and the cornice detailing will be similar in scale and design to the existing structure. The existing deck will be removed and rebuilt around the new additions.

Previous Reviews: N/A

Applicable Zoning Code Sections:

Zoning District:	Section 1403	Single Family Districts
\Overlays:	Section 1435	Historic Preservation
Historic District/Reg:	Mt. Storm/Sacred Heart	
COA Standard:	Section 1435-09-2	Certificate of Appropriateness; Standard of Review

Certificate of Appropriateness Review:

A Certificate of Appropriateness is required for the construction of a side/rear addition and a new deck.

Based on the Conservation Guidelines outlined below, staff feels the proposed rehabilitation and addition is generally appropriate in the Mt. Storm/Sacred Heart Historic District and substantially conforms to the applicable conservation guidelines.

Applicable Guidelines

B. New Construction

Materials—The type of materials and their color, texture, scale, and detailing should be compatible with the materials of the original building impacted by the new work.

The use at the basement of split face CMU matches the material used on the garage additions which this addition will be adjacent to. The use of the painted stucco is appropriate to distinguish the addition slightly from the original building, but providing a similar texture and look to the painted brick. As both the addition and the main building will be painted the same color they will blend together.

The deck will be built out of Trex, which is similar in scale and look to the existing wood deck but has longer life-span.

Scale—The scale of new work and its constituent parts should be compatible with the original building impacted by the new work and the scale of its parts.

The addition is only going up to the first floor height and will be in scale with the building. It will not overpower the main building and will be hidden from view at the front of the building as well as from the road and driveway. There has been another one-story addition on the southeast corner.

The deck is going back in the same location and will be just slightly bigger than the existing deck, however it will extend south of the building line less than the current deck.

Form—The shape, massing, and proportions of new work should be compatible with the original building which is impacted by the new work.

The addition is rectangular in shape and is an appropriate shape and massing for a side/rear addition. It has a hipped roof similar to the existing building. The deck is a simple rectangular shape as well. As the building is a simple U shaped building, the forms proposed are appropriate.

Detailing—The placement and detailing of a new work, including but not limited to: walls eaves porches roofs cornices railings windows chimneys belt courses doors towers appurtenances Should be compatible with the scale, proportion, rhythm, and style of the original building impacted by the work.

The addition will be using aluminum clad wood double hung windows with a multi-pane look to match the windows at this unit. The basement windows will be

glassblock windows for security. As the windows are not visible except when near the addition they do not detract from the original building.

The deck will have similar detailing to the existing deck and will have a simple wood railing with square vertical rails. The rail will be stained to match the Trex boards.

Location—New construction should be placed sensitively within the district respecting the architecture, topography and tree cover and shall not obstruct the view of: Sacred Heart Academy, The Temple of Love, The Stone Shelter,

No new construction shall remove or obscure significant elements of protected structures.

The addition is located in a rear/side corner of the building and will not be visible from the front of the building or the roadway. It is inconspicuous and does not obscure any significant elements of the building.

Height—On the Sacred Heart Academy site, new construction shall not exceed the height of the main tower. On the Mt. Storm site, new construction shall not exceed the height of the Temple of Love.

The addition is a small one story with basement addition and will not be taller than the principal contributing building.

Historic Integrity—Compatibility of new work to original work is required but imitation of old work in new construction should be avoided. New work should appear to be new work. Where new additions meet original work, the connection should be carefully designed so as not to detract from the original but to also reflect the fact that the connection is new. If original openings are filled in, the outline of the original openings should remain apparent by setting new in-fill material back from the surface and leaving original sills and lintels in place. Historic integrity is to be maintained by designing new buildings, structures, appurtenances, additions, connections and filled-in openings so that they do not appear to have been constructed when the affected protects structure was originally built.

The use of the stucco siding at the main level was specifically chosen to differentiate the addition from the main structure and make sure it doesn't appear to be part of the original building. However, the use of the same paint on the stucco as the main house and the details on the window configuration on the addition are similar to those on the main house and tie the buildings together. The expanded openings on the interior from the new dining room as well as the French doors to the deck are the location of existing openings.

Other Considerations:

Prehearing Results: The applicant was present.

Comments Provided to Staff: N/A

Consistency with *Plan Cincinnati (2012)*:
“Sustain” Initiative Area “Preserve our built history”

Recommendation:

Staff recommends the Historic Conservation Board take the following actions:

I. CERTIFICATE OF APPROPRIATENESS

- A. **APPROVE** a Certificate of Appropriateness for 724 Lafayette Ave Unit 5 per plans submitted by Wichman Gunther Architects dated 5/26/2016 including any revisions submitted for permit subject to staff review and approval with the following condition.
 - 1. The building permits must be issued within two years of the decision date or the Certificate of Appropriateness shall expire.

- B. **FINDING:** The Board makes this determination per Section 1435-09-2:
 - 1. That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

HCB

HISTORIC
CONSERVATION
BOARD

CERTIFICATE OF APPROPRIATENESS

HCB USE
DATE RECEIVED
BY HCB: _____
PERMIT/APD NO: _____

APPLICATION
 BUILDING ADDRESS: 124 LAFAYETTE UNIT 4^{AU}
 DISTRICT NAME: MT STORM / SACRED HEART
 (if applicable)

OWNER NAME: JACK SHERMAN PHONE NO: (513) 374-4070
 ADDRESS: 124 LAFAYETTE UNIT 4 45220

CONTRACTOR NAME: CAIN ARCHITECTURE & CONST. PHONE NO: (513) 600-9840
 ADDRESS: 2817 COLERAIN AVE 45225

ARCHITECT NAME: WILCHMAN GUNTHER ARCHITECTS PHONE NO: (513) 241-9933
 ADDRESS: 810 PLUM STREET 45202

APPLICATION

<input type="checkbox"/> MINOR ALTERATION HCB USE ONLY	<input type="checkbox"/> NEW CONSTRUCTION <input type="checkbox"/> REHABILITATION	<input type="checkbox"/> ADDITION <input type="checkbox"/> OTHER _____	<input type="checkbox"/> DEMOLITION
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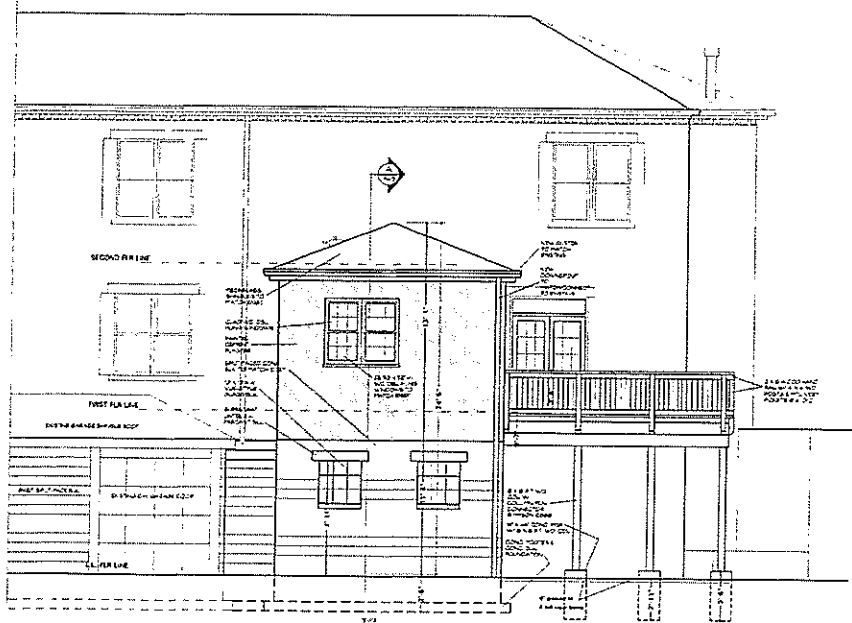
WORK PROPOSED: (Describe type of work, existing conditions, methods to be used, materials proposed)

THE PROPOSED PROJECT INCLUDES A 15'-6" X 16'-0" ADDITION TO AN EXISTING CONDOMINIUM IN THE 'BRICK SERVICE BUILDING' OF THE MT. STORM / SACRED HEART HISTORIC DISTRICT. THE MAIN ELEMENTS ARE A KITCHEN ON THE FIRST FLOOR, A STORAGE ROOM ON THE LOWER LEVEL AND A DECK OFF THE KITCHEN. THE LOWER LEVEL OF THE ADDITION WILL BE CLAD IN UNPAINTED SPLIT FACE CONCRETE BLOCK TO MATCH EXISTING GARAGES AT THE PROPERTY; THE UPPER LEVEL WILL BE STUCCO PAINTED TO MATCH THE PAINTED BRICK OF THE EXISTING BUILDING. THE HIP ROOF WILL HAVE SHINGLES TO MATCH THE EXISTING BUILDING. THE MULTIPANE WINDOWS AND DOORS WILL BE WHITE. THE CORNICE DETAILING WILL BE SIMILAR IN SCALE AND DESIGN, TO THE EXISTING STRUCTURE. SEVERAL SMALL BUSHES, SHRUBS AND A SMALL TREE WILL BE REMOVED FOR

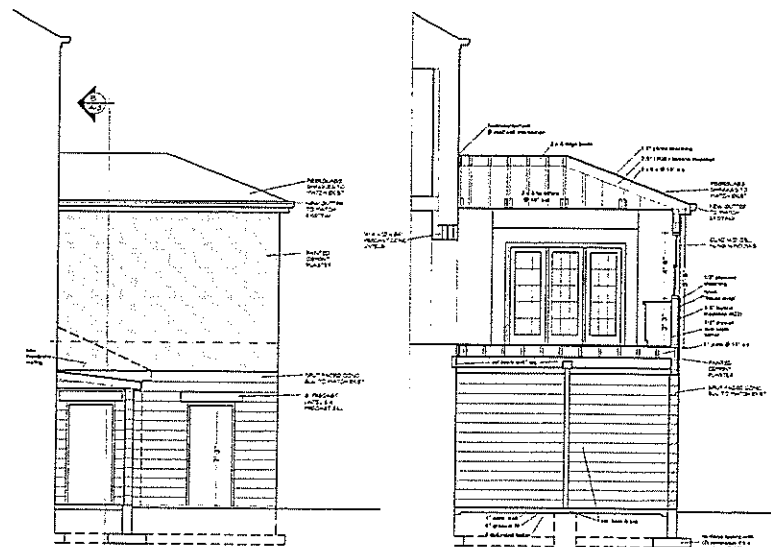
IN ORDER TO EXPEDITE HCB ACTION, PLEASE ATTACH ADDITIONAL INFORMATION, THE ADDITION IF AVAILABLE, AS MAY BE APPROPRIATE.

LIST ANY INFORMATION ATTACHED: (Elevations, site plans, specifications, photos, material samples, additional drawings or written matter)

- WILCHMAN-GUNTHER DRAWINGS INCLUDING SITE PLAN, FLOOR PLANS, ELEVATIONS, SECTION AND ELECTRICAL PLAN
- LETTER FROM MT. STORM CONDOMINIUM ASSOCIATION
- PHOTOGRAPHS OF THE PROPOSED CONSTRUCTION SITE AND SURROUNDING PROPERTY
- INFORMATION CONCERNING MARVIN WINDOWS AND DOORS

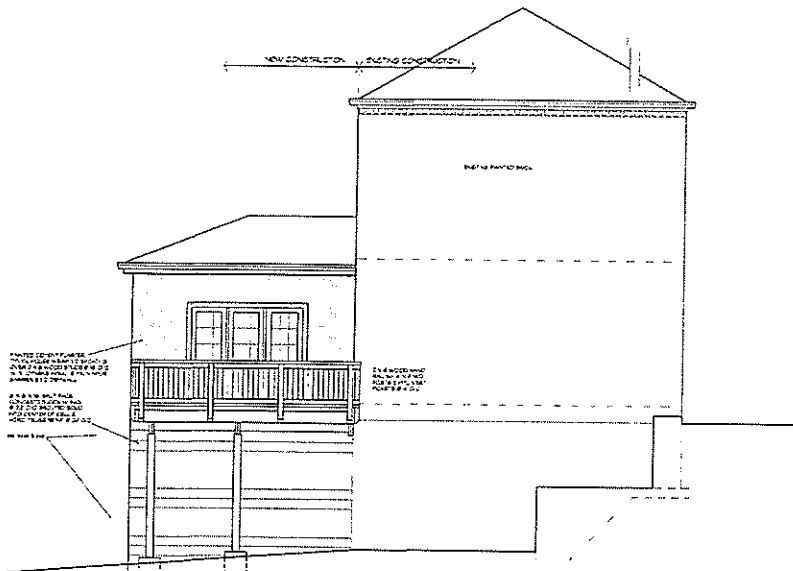


WEST ELEVATION
SCALE 1/4" = 1'-0"

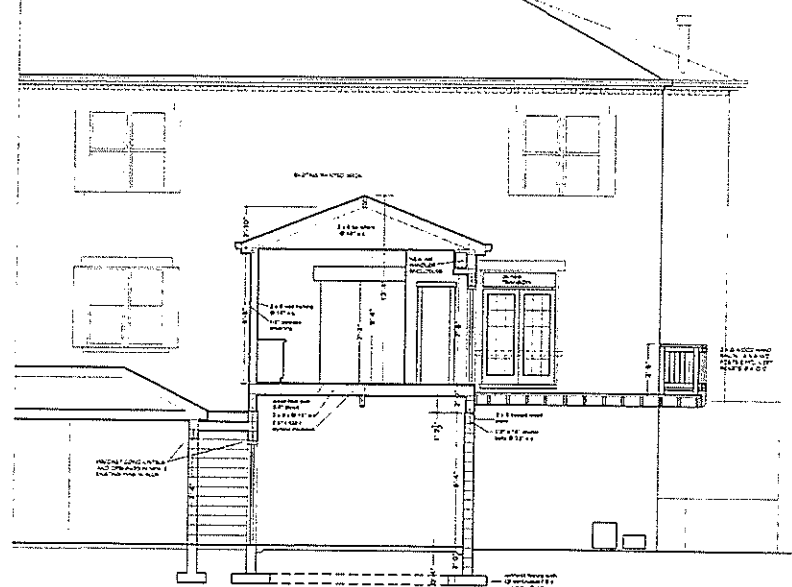


NORTH ELEVATION
SCALE 1/4" = 1'-0"

BUILDING SECTION (B-A-B)
SCALE 1/4" = 1'-0"



SOUTH ELEVATION
SCALE 1/4" = 1'-0"



BUILDING SECTION (A-A-A)
SCALE 1/4" = 1'-0"

A-A-A



DATE _____

REVISION	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			

WICHMAN GUNTER ARCHITECTS, INC.
 9110 PLAIN STREET / CINCINNATI, OHIO 45222 / (616) 341-1926X

Residential Addition to
 724 Lafayette Avenue #5
 Cincinnati, Ohio 45220

218-0200
A-3

These drawings are the intellectual property of W. Gunther, and they may be used by the State of Ohio Building Authority, for the purpose of the review of the plans and specifications, but they may not be reproduced or used for any other purpose without the written consent of W. Gunther. © 2018 WICHMAN GUNTER ARCHITECTS, P.C.

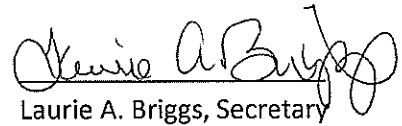
The Mt. Storm Condominium Association

Secretary's Certificate

I certify that I am the Secretary of The Mt. Storm Condominium Association, a not-for-profit corporation duly organized and existing under the laws of the State of Ohio (the "Association"), and that at a joint meeting of the Members and Board of Directors of the Association held on May 13, 2016, the Members and Directors unanimously approved the renovation and expansion of Unit #5 of the Association as proposed in the architectural plans made available at the meeting, as the same may be amended or modified; provided that any such amendment or modification shall not materially change the exterior footprint of the expansion without further approval.

I further certify that the foregoing approval is still in full force and effect and has not been rescinded, amended, or modified in any way.

IN WITNESS WHEREOF, I have hereunto set my hand on this 26th day of May, 2016.

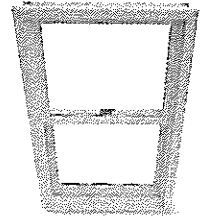

Laurie A. Briggs, Secretary

List of Photographs
Proposed Addition
724 Lafayette Avenue, Unit 5
Mt. Storm / Sacred Heart Historic District

1. Project site, rear (west elevation) of Unit 5, 724 Lafayette Avenue.
2. Existing deck to be removed, rear Unit 5
3. Existing deck to be removed, south elevation.
4. West elevation (rear) Units 4 and 5 Mt. Storm Condominiums.
5. West elevation (rear) Unit 4.
6. North elevation Mt. Storm Condominiums.
7. Courtyard elevation Unit 3 Mt. Storm Condominiums.
8. Courtyard elevation Unit 2 Mt. Storm Condominiums.
9. Courtyard elevation Unit 5 Mt. Storm Condominiums.
10. East elevation Mt. Storm Condominiums.

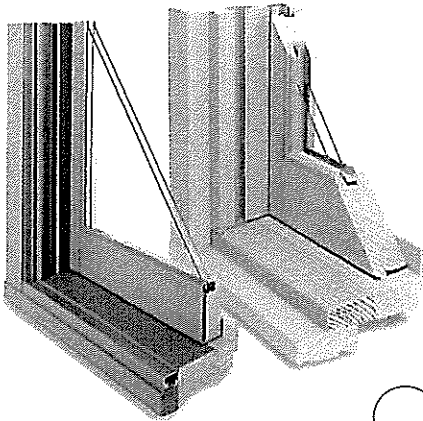
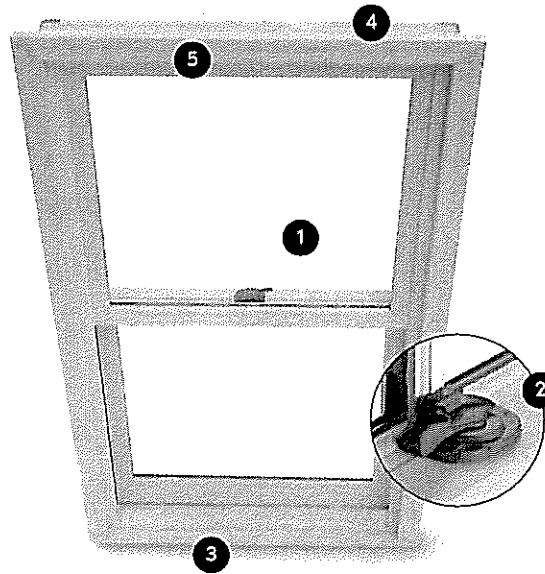
By redefining a traditional favorite, we've changed the way people look at windows. The Ultimate Double Hung – state-of-the-art window design combined with the style and beauty of an earlier era. The interior is exceptionally beautiful, offering authentic-looking lines and hardware, plus jambs that feature more wood than you've ever seen in a double hung. The Ultimate Double Hung offers you a choice of either wood or clad exteriors.

A traditionally styled lock offers an exclusive tilt feature. Opening and closing the Ultimate Double Hung is simple, actually almost effortless. You need only a light touch to slide the sash up and down. And storm and screen combinations are available, as are glazing, lite patterns, picture/transom unit options, round top variations, and different-sized sash such as cottage-style designs.



Standard Features

- 1 Clear, one-lite insulating glass
- 2 Satin Taupe sash lock
- 3 8° sill bevel
- 4 4 9/16" (116 mm) jambs
- 5 All Wood Brick Mould Casing (wood units)
- Screen
- Vinyl nailing fin with drip cap (on clad units)
- Bare wood interior
- Beige jamb hardware



Shown with optional thick sill

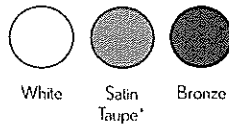
Hardware Selection



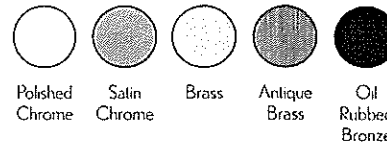
Sash Lock



Sash Lift

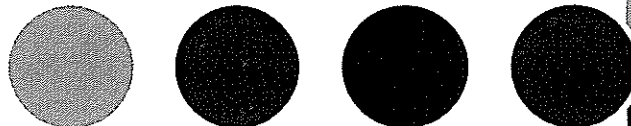


White Satin Taupe* Bronze



Polished Chrome Satin Chrome Brass Antique Brass Oil Rubbed Bronze

Exterior Clad Colors



* Standard

Stone White Pebble Gray Bahama Brown Bronze Evergreen

Ultimate Double Hung Options

- Sash lock available in eight finishes
- Sash lift available in eight finishes
- White jamb hardware
- Interior wood stool for up to 6 9/16" (167 mm) jambs
- Single hung conversion kit
- Full or half aluminum screen available
- 2" (51 mm) thick clad sill nosing
- One-handed tilt for easy cleaning

Finish Options

- Interior – bare wood in these wood species, Pine (standard), Douglas Fir, White Oak, Mahogany or Cherry. Pine available primed.
- Exterior – bare wood in these wood species, Pine (standard), Douglas Fir or Mahogany. Pine available primed. Extruded aluminum clad in live standard, fourteen select and unlimited custom colors.

For a complete selection of options see pages 73-75.

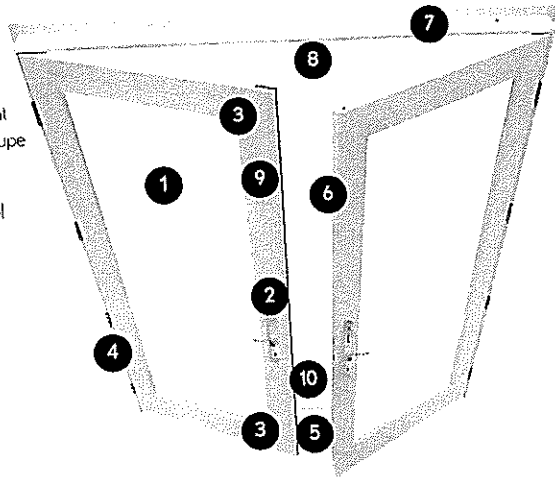
For details and sizing information, see pages 78-85.

Marvin, we don't use words like "ultimate" lightly. So you know if we were willing name any of our products with such a superlative, they must be something special.

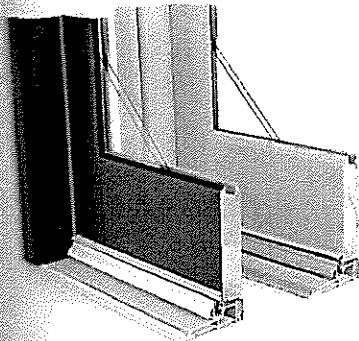
top-of-the-line, state-of-the-art, awe-inspiring. Open and close this door just once, and you'll feel the solid construction that makes this the best door in the industry. Our secret lies in the core: Ultrex® – the very same material we use to create our rugged door sills – is a rigid, warp-free backbone in your locking stile. Moisture, pressure, heat and cold don't affect Ultrex, so this core makes the Ultimate French Door incredibly stable and reliable. In fact, this door passes the DP40 rating established by the Window and Door Manufacturers Association (WDMA). No wonder people feel so strongly about it.

Standard Features

- 1 Tempered, one-lite insulating glass
- 2 Satin Taupe handle set with multi-point locking system (active panel); Satin Taupe dummy handle set on inactive panel
- 3 Head and foot bolts on inactive panel
- 4 Adjustable hinges in Satin Taupe
- 5 Click sill liner on Ultrex sill
- 6 Ultrex core in locking stiles
- 7 Brick Mould Casing (wood units)
- 8 2 1/8" (116 mm) jambs
- 9 Bare wood interior
- 10 Ultrex sill with watershed and weep system
- 11 Vinyl drip cap and nailing fin (clad units)



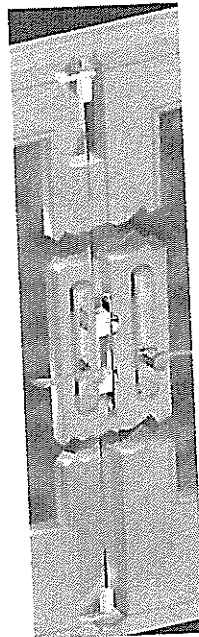
Hardware Selection



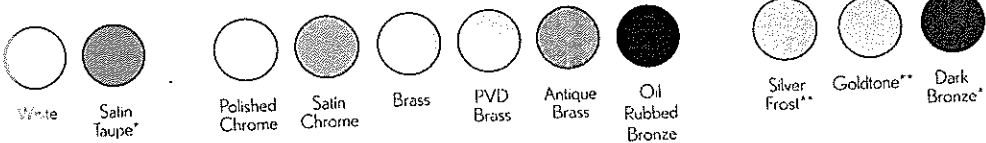
French Door Handle



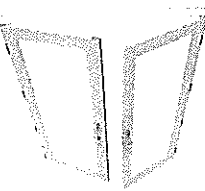
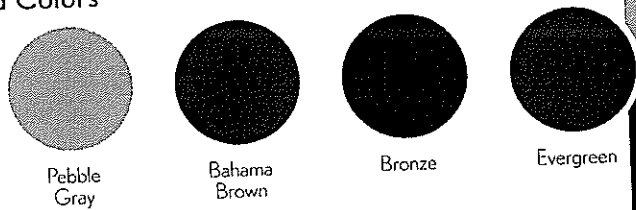
Adjustable Hinge



Multi-Point Locking System



Exterior Clad Colors



Ultimate Inswing French Door Options

French Door handle available in eight finishes.

Adjustable hinge available in eleven finishes.

Finish Options

Interior – bare wood in these wood species: Pine (standard), Douglas Fir, White Oak, Mahogany or Cherry. Pine available primed.

Exterior – bare wood in these wood species: Pine (standard), Douglas Fir or Mahogany. Pine available primed. Extruded aluminum clad in five standard, fourteen select and unlimited custom colors.

Screen Options

Extruded aluminum top hung sliding screen door.

Extruded aluminum swinging screen door.

Storm/screen combination (wood units only).

For a complete selection of options see pages 73-75.

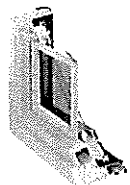
For details and sizing information, see pages 147-151.

* Standard
** Available only on adjustable hinge

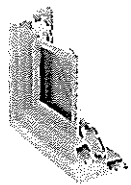
Alternate Wood Species



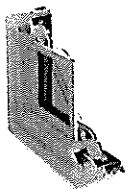
Pine
(Standard)



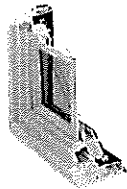
Douglas Fir*



White Oak*



Mahogany*



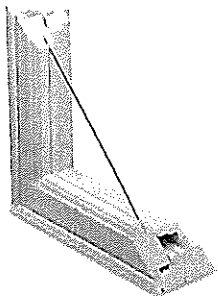
Cherry*

Most products also available in additional species listed here.

- White Oak and Cherry - Clad only
- Mahogany and Douglas Fir - Clad or wood

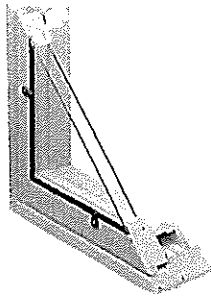
* Shown with casement wood screen option

Glazing Options



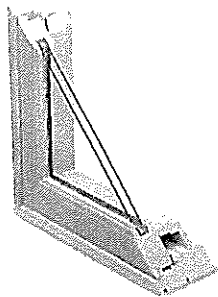
Single Glazing

- Wood units only.



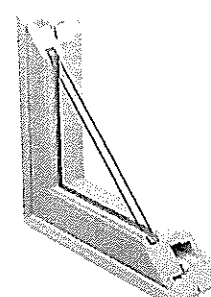
Single Glazing with Removable Energy Panel

- Wood units only.



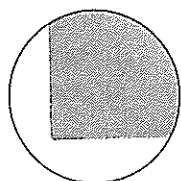
Insulating Glass

- All units.

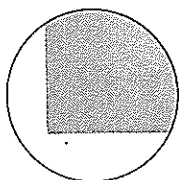


Insulating Low E II Glass

- With or without argon gas.
- See pg. 22 for more information on Low E II.



Bronze



Gray

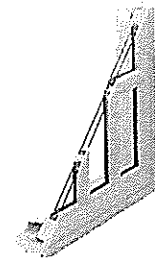
Tinted Glass

- Bronze.
- Gray
- Available on all products.

Divided Lite Options

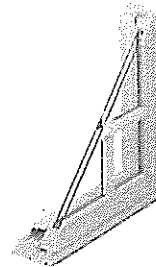
Authentic Divided Lite (ADL)

- Bar widths vary according to product and glazing.
- Standard and custom patterns available.
- Available on wood units only. (Also on clad Magnum units.)
- Not available on wood gliders.



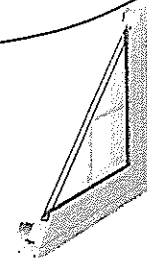
Simulated Divided Lite (SDL)

- Available in 7/8" (22 mm) and 1 1/8" (29 mm) bar widths.
- With or without internal spacer bars.
- Exterior bars are wood on wood units and extruded aluminum on clad units.
- Interior bars are wood.
- Standard cuts and custom patterns available.



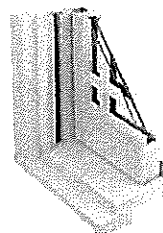
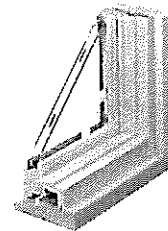
Grilles

- Available in 3/4" (19 mm) and 1 1/8" (29 mm) bar widths.
- Interior removable.
- Standard cuts or custom patterns.
- Solid pine.



Grilles-between-the-Glass (GBG's)

- White interior/exterior 1 1/16" (.709) contoured bar.
- Standard cuts.



StormPlus™

StormPlus™ windows and doors are designed for specific coastal codes that meet or exceed industry standards. StormPlus™ meets ENERGY STAR requirements, can handle extreme pressure changes from hurricanes, and is tested to included a total of 9000 cycles, both positive and negative pressures on a buildings structure. StormPlus™ also meets International Building codes; trust StormPlus™ to get you through the storm.

StormPlus™

- 10 year warranty.
- Fully meets stringent coastal requirements of the International Residential Code (IRC).

Tempered

- Standard on certain window sizes.
- Standard on all door panels.

Obscured

- Available on all products.



