

*****AGENDA*****
HISTORIC CONSERVATION BOARD
MONDAY, JANUARY 11, 2016 – 3:00 PM
PUBLIC CONFERENCE ROOM
II CENTENNIAL PLAZA – 5TH FLOOR
805 CENTRAL AVENUE

CALL TO ORDER

DISCUSSION ITEMS:

CERTIFICATES OF APPROPRIATENESS AND ZONING RELIEF

1. 229-235 W. 12th Street: Return for Certificate of Appropriateness & Numerical Variance for parking spaces in the Over-the-Rhine Historic District (Kellam/Shad)

ZONING RELIEF

2. 1501-1515 Elm Street: Dimensional Variance for new construction in the Over-the-Rhine Historic District. (Strunc)
3. 312 W. 4th Street: Locational Variance for second floor retail sales in Central Business District (Strunc)

OTHER BUSINESS

ADJOURN

**APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS
AND A PARKING VARIANCE
HISTORIC CONSERVATION BOARD PUBLIC HEARING
STAFF REPORT**

APPLICATION #:
APPLICANT: Denis Back, architect representing the owner
OWNER: CW Realty LLC
ADDRESS: 221 (Proposed **229-235**) **W. 12th Street – Strietmann Building**
PARCELS: 076-0001-0130 to 0134-00 inclusive
ZONING: Commercial Community Auto (CC-A)
OVERLAYS: Over-the-Rhine Historic District
COMMUNITY: Over-the-Rhine
REPORT DATE: January 8, 2016
HEARING DATE: January 11, 2016
STAFF REVIEW: Matthew Shad, Zoning Administrator

Update:

Since the last meeting, applicant has provided additional information that substantiates their intention to refine the scope and context of the proposed lease. At the time of issuing this report, no definitive changes in fact have been delivered to staff regarding the term of lease, the permanency of the lease, the language of the lease, of any definitive results on lease options at Towne garage with the City.

Staff and applicant are diligently committed to finding a reasonable solution that provides a degree of assurance to parking and an understanding of how and where it is to be provided.

A proposed solution that has been drafted by both City and applicant is provided below.

Recommendation:

Staff recommends the Historic Conservation Board take the following actions:

A. NUMERICAL VARIANCE

1. **APPROVE** the requested numerical variance as per Section 1425-19 outlined for 229-235 W. 12th Street to allow a 10 parking space variance after the Zoning Administrator's waiver of 110 parking spaces as follows:

- (a) The variance shall be conditioned upon the property owner controlling the rights to at least 100 parking spaces within 600 feet of the property during normal working hours for the life of the project. Property Owner shall initially demonstrate control for a period of at least 15 years and maintain documentation of such rights in a form approved by the City

Solicitor and that can be provided to the City of Cincinnati at any time within 3 business days of being requested to do so. Such control shall be established prior to issuance of the first Certificate of Occupancy. Termination or substitution of control shall be upon the prior written consent of the City. Such consent would not be withheld if an equivalency of parking spaces is provided or subsequent legislative actions reduce or eliminate the parking requirement.

2. **FINDING:** the Board makes this determination per Section 1435-09-2:
 - (a) Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the district

B. CERTIFICATE OF APPROPRIATENESS

1. **APPROVE** the Certificate of Appropriateness for the rehabilitation of 229-235 W. 12th Street subject to the following conditions
 - (a) All future signage shall meet the requirements of the historic guidelines. No signage approved for the upper stories of the building
 - (b) The owners provide proof that they have vested property rights to maintain all the existing windows upon their eastern property line from the owners of Tax Parcel (076-0001-0135-00), currently Shelter House Volunteer.
 - (c) Confirm consolidation of multiple parcels into one lot.
 - (d) Owner shall finalize an improved streetscape plan that incorporates
 - (1) Removal of all curb cuts on W. 12th Street and Central Parkway and replace sidewalks and curbs per DOTE standards.
 - (2) Planting of street trees per DOTE standards.
2. **FINDING:** The Board makes this determination that per Section 1435-05-4:
 - (a) Such relief from literal implication of the Zoning Code will not be materially detrimental to the public health, safety and welfare or injurious to property within the district or vicinity where property is located; and
 - (b) Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the district.

Center is very affordable and highly underutilized during daytime hours when a majority of the demand for this project will be generated. It should be noted the streetcar is also within one block of the proposed site.

- b **Guidelines.** The proposed work conforms to any guidelines adopted or approved by Council for the district in which the proposed work is located.
The proposed use conforms to the guidelines for the district.
- c **Plans.** The proposed work conforms to a comprehensive plan, any applicable urban design or other plan officially adopted by Council, and any applicable community plan approved by the City Planning Commission.
This project conforms to the Over the Rhine Comprehensive Plan.
- d **Traffic.** Streets or other means of access to the proposed development are suitable and adequate to carry anticipated traffic and will not overload the adjacent streets and the internal circulation system is properly designed.
There is public parking available within 600 feet of the business in the Washington Park garage and the Towne Center garage.
- e **Buffering.** Appropriate buffering is provided to protect adjacent uses or properties from light, noise and visual impacts.
This is not applicable for the proposed use.
- f **Landscaping.** Landscaping meets the requirements of Chapter 1423, Landscaping and Buffer Yards.
This is not applicable for the proposed use.
- g **Hours of Operation.** Operating hours are compatible with adjacent land uses.
This is not applicable for the proposed use.
- (h) **Neighborhood Compatibility.** The proposed work is compatible with the predominant or prevailing land use, building and structure patterns of the neighborhood surrounding the proposed development and will not have a material net cumulative adverse impact on the neighborhood.
The existing area contains other office buildings. The building was built originally as a non-residential structure and is on the fringe of the district.
- (i) **Proposed Zoning Amendments.** The proposed work is consistent with any proposed amendment to the zoning code then under consideration by the City Planning Commission or Council.
There are no proposed amendments under consideration that would impact this proposed project.
- (j) **Adverse Effects.** Any adverse effect on the access to the property by fire, police, or other public services; access to light and air from adjoining properties; traffic conditions; or the development, usefulness or value of neighboring land and buildings.
There are no serious adverse impacts anticipated for the proposed use.
- (k) **Blight.** The elimination or avoidance of blight.
Putting a vacant building into use will eliminate blight.
- (l) **Economic Benefits.** The promotion of the Cincinnati economy.
This project will bring more taxes into the City's economy.

- (m) **Job Creation.** The creation of jobs both permanently and during construction.
Jobs may be created during construction and the business will create jobs.
- (n) **Tax Valuation.** Any increase in the real property tax duplicate.
The new structure will increase the taxable value of the property.
- (o) **Private Benefits.** The economic and other private benefits to the owner or applicant.
The owner has an economic benefit to the proposed use.
- (p) **Public Benefits.** The public peace, health, safety or general welfare.
There is no measurable detriment to public peace, health, safety or welfare as a result of this proposed project.

Certificate of Appropriateness Review

The rehabilitation of the building substantially meets the guidelines for the historic district. The additions on the roof will not be visible especially on such a tall building. The use of materials and restoration of inappropriate alterations meet the goal of the historic guidelines.

Other Considerations:

Prehearing Results

December 15, 2015 – The applicant was the only person in attendance.

Consistency with Plan Cincinnati (2012):

“Sustain” Initiative Area “Preserve our built history”

Recommendation:

Staff recommends the Historic Conservation Board take the following actions:

A. NUMERICAL VARIANCE

1. **APPROVE** the requested numerical variance as per Section 1425-19 outlined for 229-235 W. 12th Street to allow:
 - (a) A dimensional variance of 10 parking spaces provided that the property owner exercise its parking purchase option (Attachment A) and obtains a vested property interest in no less than 100 parking spaces within 600 feet of the property within six months of pulling the building permit.
2. **FINDING:** the Board makes this determination per Section 1435-09-2:
 - (a) Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the district

B. CERTIFICATE OF APPROPRIATENESS

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 - (a) Such relief from literal implication of the Zoning Code will not be materially detrimental to the public health, safety and welfare or injurious to property within the district or vicinity where property is located; and
 - (b) Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the district.

**THE STRIETMANN BUILDING
ADDITIONAL MATERIAL
HISTORIC CONSERVATION BOARD HEARING - JANUARY 11TH**

1. **3CDC WASHINGTON PARK AGREEMENT:** Steve Leeper's e-mail that he personally signed supporting the parking agreement between 3CDC & Grandin Company, Ltd., providing up to 175 spaces in the Washington Park Garage for 15 years (Exhibit I).

This is provided as a Board Member had questioned the signature and its validity.

2. **GRANDIN OPPORTUNITY:** Statement from Grandin Company, Ltd. confirming that we will lease spaces in the Washington Park Garage as the building becomes occupied (Exhibit II).

This is provided as a Board Member pointed out that Grandin had obtained an allocation of 175 spaces but was under no obligation to lease the first space. While we believe marketplace demand in and of itself solves this problem, Grandin is providing a written commitment.

3. **TOWN CENTER GARAGE BACKUP:** We would respectfully ask the Board to note that Town Center Garage, a city owned property with approximately 500 spaces, most of which are empty, is a backup facility located within the 600 feet required per city zoning regulations. We have asked the Parking Facilities Division and Economic Development to provide a parking agreement as a backup for parking during business hours during the life of the garage.
4. **NO OBJECTIONS:** We would respectfully ask the Board to take note of the fact that there was not a single party objecting to the requested variance.
5. **PARKING VARIANCE DECISIONS:** In order to determine the Board and the City's inclination to support economic development and, when necessary, provide parking variances, we have compiled a list of approximately 40 requests from the last 5 years (Exhibit III). **Variances requested were granted in all cases with two known exceptions:** One (Neyer Properties) was denied based on the party's non-compliance (to the best of our knowledge) of a previous application condition. The other was for the Korea House in East Hyde Park. It was originally denied based on the fact that the alternative parking offered was farther than the 600 feet required by code. Additionally, there was significant opposition from the Hyde Park Neighborhood Council, East Hyde Park Chamber, and multiple residents. The restaurant is now under construction.

Our summary, as well as, various reports are attached.

EXHIBIT I

Mindy Banks

From: Stephanie Gaither
Sent: Thursday, December 31, 2015 11:10 AM
To: Peg Wyant; 'Denis L. Back'
Subject: FW: washington park garage

From: Steve Leeper [mailto:SLeeper@3cdc.org]
Sent: Thursday, December 31, 2015 10:56 AM
To: Stephanie Gaither
Subject: FW: washington park garage

Stephanie—please see lease terms below. Also—I am confirming that it was/is my signature on the parking agreement. Happy New Year.

Stephen G. Leeper, President & CEO
sleeper@3cdc.org
p: 513-621-4400
d: 513-977-8001



1203 Walnut Street, 4th Floor
Cincinnati, OH 45202

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Cincinnati, OH 45202

3CDC.org
myfountainsquare.com
washingtonpark.org

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From: Katie Westbrook
Sent: Thursday, December 31, 2015 10:41 AM
To: Steve Leeper <SLeeper@3cdc.org>
Subject: RE: washington park garage

3CDC has a garage lease with the City for 75 years and 2 successive renewal options of 10 years each.

Katie Westbrook, Financial Analyst
kwestbrook@3cdc.org
p: 513-977-8054
f: 513-621-5900



1203 Walnut Street, 4th Floor
Cincinnati, OH 45202

3CDC.org

myfountainsquare.com
washingtonpark.org

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From: Steve Leeper
Sent: Thursday, December 31, 2015 10:27 AM
To: Katie Westbrook <kwestbrook@3cdc.org>
Subject: FW: washington park garage

Stephen G. Leeper, President & CEO
sleeper@3cdc.org
p: 513-621-4400
d: 513-977-8001



1203 Walnut Street, 4th Floor
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From: Stephanie Gaither [<mailto:stephanie@grandinproperties.com>]
Sent: Thursday, December 31, 2015 10:21 AM
To: Steve Leeper <SLeeper@3cdc.org>
Cc: Peg Wyant <peg@grandinproperties.com>; 'Denis L. Back' <dlbarchitects@fuse.net>
Subject: RE: washington park garage

Steve: Can you also confirm the ownership of the garage? I believe that WPR has a long-term lease (70 to 75 years total) with the City on the garage portion. There seems to be some confusion.

Thank you,
Stephanie

From: Stephanie Gaither
Sent: Wednesday, December 30, 2015 5:39 PM
To: 'sleeper@3cdc.org'
Cc: Peg Wyant; Denis L. Back
Subject: FW: washington park garage

Hey Steve! I hope this finds you well and that you had a great Christmas with Rae, Annie and Charlie! We are working on this parking issue with Matt Shad and the City for the Strietmann building, and need your assistance.

Can you please confirm that it is your signature on the attached agreement?

Thank you!
Steph

From: Mary Jo Heintz
Sent: Monday, November 02, 2015 1:26 PM
To: Stephanie Gaither
Subject: washington park garage

The agreement for Washington park garage....

Mary Jo Heintz

Grandin Properties
1308 Race Street, Suite 200 | OTR | Cincinnati, Ohio | 45202
[513-721-7110](tel:513-721-7110) | maryjo@grandinproperties.com
Days in Office: Monday, Tuesday and Thursday

EXHIBIT I (continued)

301-A

GAURANTEED PARKING SPACE AGREEMENT

This Guaranteed Parking Space Agreement (hereinafter "Lease" or "Agreement") is made and entered into by and between Washington Park Restoration, LLC., a(n) Ohio Limited Liability Company, its successors and assigns as owner of the Premises (as hereafter defined), collectively hereinafter called Landlord, and _____, a(n) _____, its successors and assigns as owner of Grandin Company, LTD collectively hereinafter called Tenant.

WITNESSETH:

That Landlord does hereby grant privilege to Tenant the right to access such number of spaces for purposes of contracted month parking as Tenant may from time to time request parking spaces located within the Premises, Washington Park Garage, with a location of 1310 Elm St, Cincinnati, Ohio, 45202 (hereinafter "Premises").

Base Term. This Agreement shall be for the base term of five (5) years, commencing upon the receipt of Tenant's certificate of occupancy and ending on the first (1st) day of the month following the expiration of the fifth (5th) anniversary of the commencement date. The Landlord and Tenant agree to execute a memorandum documenting the commencement date promptly after it has been established.

Renewal: At the conclusion of the base term, Tenant may renew this Lease for an additional five (5) years, at the terms of rate and payment set forth below. At the conclusion of this initial renewal period, Tenant may renew for an additional five (5) years at the terms of rate and payment set forth below. "Term" shall be deemed to include the base term and any renewal terms.

Number of Spaces: During the base term and prior to July 18, 2018, Tenant shall have the option to purchase up to 100 spaces at the parking rates defined within this Agreement. After July 18, 2018, Tenant shall have the right to purchase an additional 75 spaces at the same rate as the original 100, for a total of a right to 175 spaces within the Premises.

Business Hours/Use Restrictions: Parking passes purchased from Landlord shall be eligible for use during "Normal Business Hours", which are currently defined as Monday through Friday, from 6:00 AM to 6:00 PM. Federal holidays are not considered Normal Business Hours. Passes will not be functional outside of Normal Business Hours. Should a customer need to access the garage outside of these hours, the customer should contact a garage attendant to assist in payment for access outside of Normal Business Hours.

Parking Rate and Payment: Tenant agrees to pay Landlord per monthly parking space. The cost per space will be the market price at the time Tenant receives certificate of occupancy, presently estimated to be one-hundred dollars (\$100) per contracted parking pass.

Increases: During the base term, on January 1 of each year, with 30 days written notice from Landlord, Landlord may increase the monthly rate charged to Tenant. Any annual rate increase shall not exceed Five percent (5%) of the prior calendar year parking charge. At the conclusion of the base term,

Landlord shall reassess the market rate and will charge the reassessed market rate to Tenant for the entire number of spaces Tenant chooses to purchase from Landlord. Thereafter, on January 1 of each year during the first renewal term, and with 30 days written notice to Tenant, Landlord may increase the monthly rate charged to Tenant, not to exceed 5% of the prior calendar year parking charge. At the conclusion of the initial renewal term, Landlord shall reassess the market rate and will charge the reassessed market rate to Tenant for the entire number of spaces Tenant purchases from Landlord. Thereafter, on January 1 of each year during the second renewal term, and with 30 days written notice to Tenant, Landlord may increase the monthly rate charged to Tenant, not to exceed 5% of the prior calendar year parking charge.

Relocation: At any time during the base term or renewal term, Landlord may relocate all or a portion of the parking spaces assigned to Tenant to any covered parking garage located within the radius defined in Exhibit A. If Landlord wishes to relocate Tenant, Landlord shall ensure that parking rates and availability are as guaranteed in this Agreement. Relocated parking will be managed by 3CDC in a manner comparable to Washington Park.

Third-Party Parking Management: Landlord may, at its sole discretion, enter into a management agreement with any third-party parking management company to manage the Premises. If Landlord chooses to enter into any such agreement, Landlord shall force upon the third-party management company the terms outlined in this Agreement.

Completion/Commencement Guarantee: Tenant grants to Landlord that construction of the Strietmann Biscuit Company Building shall commence by 7/15/16, and construction will be substantially completed by 1/15/18. If these conditions are not met, this agreement shall be rendered null and void.

Termination: At any time throughout the term of this Agreement, Tenant may terminate this Agreement by providing written notice at least thirty (30) days prior to the cancellation date.

Hold Harmless: Tenant agrees to hold Landlord harmless from any and all claims, which may arise from, on, in, or about the leased Premises and related to or arising out of Tenant's breach of this Agreement or the negligence or wrongful intentional acts of Tenant or its owners, tenants, and mortgagees, or their respective employees, agents, licensees, or invitees, unless provided otherwise herein.

Notices: All notices required under this Lease shall be deemed to be properly served if delivered in writing personally or sent by certified mail to the Landlord at:

Peg Wyant
Grandin Properties, LLC
1308 Race Street
Cincinnati, OH 45202

If to Tenant, notices shall be sent to:

Peg Wyant
1308 Race Street
Cincinnati, OH 45202
513-871-7110
peg@grandinproperties.com

With a copy to:

Kathy Meier
1308 Race Street
Cincinnati, OH 45202
513-871-7110
Kathy@grandinproperties.com

or to any subsequent address which the Tenant may designate for such purpose. Date of service of a notice served by mail shall be the date on which such notice is deposited in a post office of the United States Post Office Department.

Non-Recourse to Owner's Member/Shareholder: This Agreement is and shall be, in the absence of fraud or willful misconduct by Owner, non-recourse to the sole member or shareholder of Owner, Cincinnati Center City Development Corporation ("3CDC"), and to the managers, members, directors, officers, agents and representatives of 3CDC. This section is of the essence of this Agreement and Owner would not have entered into this Agreement but for its inclusion.

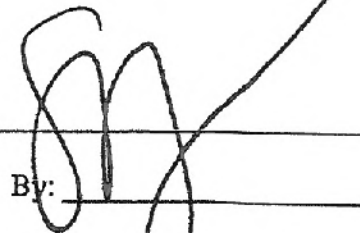
Default by Tenant. The occurrence of any one or more of the following events shall constitute a default and breach of this Lease by Tenant: (a) The failure by Tenant to make any payment of rent required to be made by Grantee hereunder, as and when due, where such failure shall continue for a period of ten (10) business days after Grantor notifies Tenant and its mortgagee(s) in writing of such failure; or (b) the failure by Tenant to observe or perform any of the covenants, conditions, or provisions of this Lease to be observed or performed by Tenant, other than the payment of sums due hereunder, where such failure shall continue for a period of thirty (30) days after written notice thereof from Landlord to Tenant and its mortgagee(s); provided, however, that if the nature of Tenant's default is such that more than thirty (30) days are reasonably required for its cure, then Tenant shall not be deemed to be in default if Tenant or its mortgagee(s) commences such cure within such thirty (30) day period and thereafter diligently pursues such cure to completion.

Memorandum of Lease: Tenant may record a memorandum of this Lease in the Hamilton County Recorder's office. Landlord agrees to execute a memorandum of lease in recordable form giving notice of such terms as Tenant may reasonably request.

Signature Page Follows

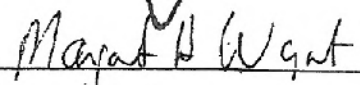
IN WITNESS WHEREOF, this Lease has been duly executed in two (2) counterparts, each of which constitutes a separate and binding agreement.

LANDLORD:



By: _____

TENANT:



By: CEO, Graham & Company, LTD

EXHIBIT A

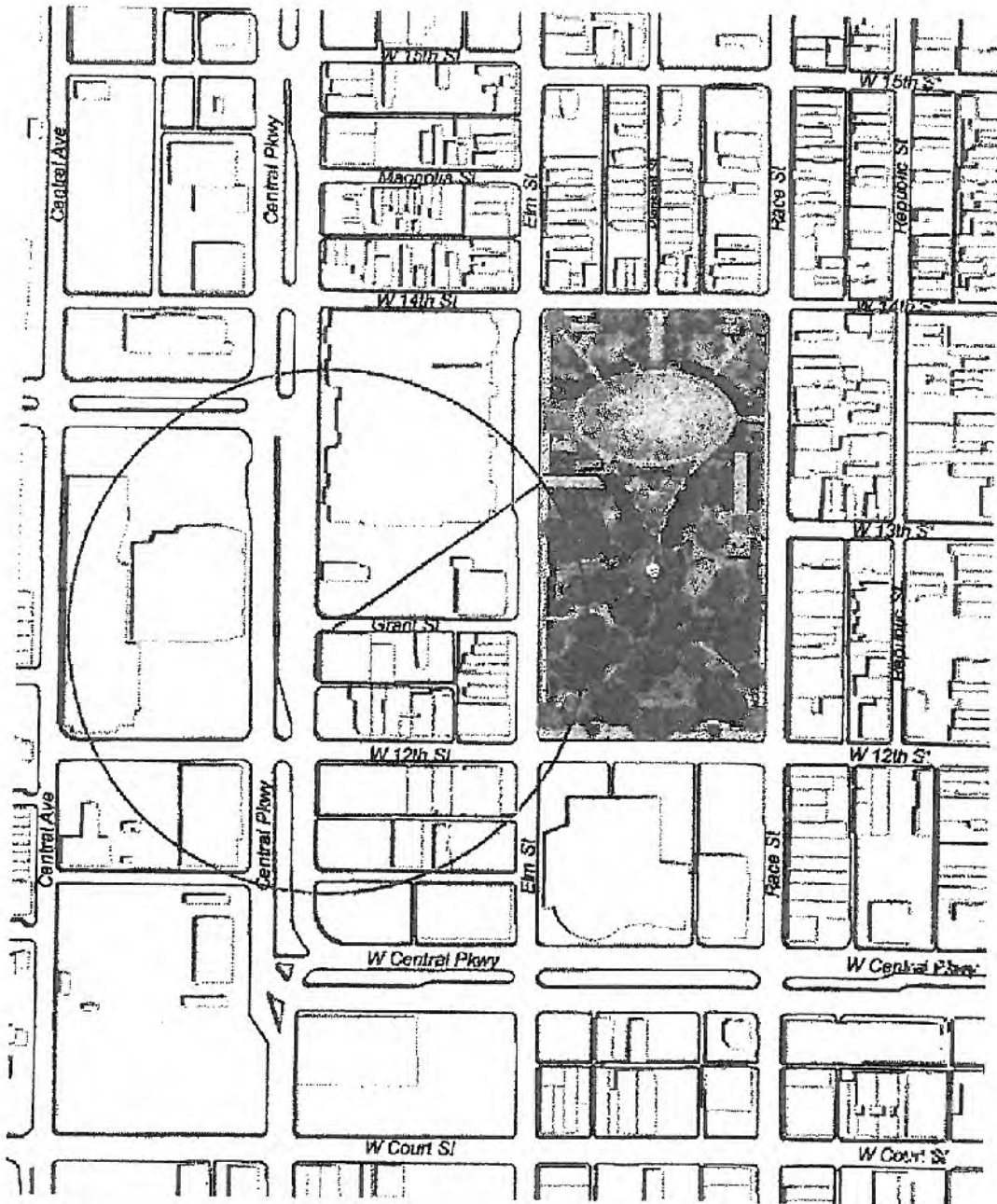
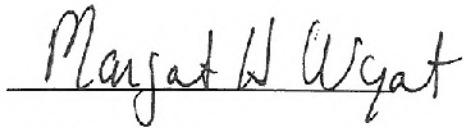


EXHIBIT II

GRANDIN COMPANY, LTD AGREEMENT

This provides Grandin Company, LTD's agreement to lease spaces in Washington Park Garage as the Strietmann building becomes occupied.

A handwritten signature in cursive script that reads "Margaret H. Wyant". The signature is written over a horizontal line.

Margaret H. Wyant
President & CEO
Grandin Company, LTD

EXHIBIT III

CITY OF CINCINNATI HISTORIC CONSERVATION BOARD PARKING VARIANCE DETERMINATIONS 2011-2015

Project/Owner	Project Address	Decision Date	Variance Type	Parking Determination	Voting	Variance of 10 Spaces or more
Northside Revitalization LLC	2170 Gilbert Ave	6/6/2011	Dimensional & Numerical Var. (parking for 1 space)	Approved with Conditions	None Available	
Ken Robinson	226 W. McMillan St	6/28/2011	Conditional Use & Parking	Approved with Conditions	None Available	
Samuel Johnson	3041 Gilbert Ave	7/1/2011	Parking & Special Exception	Approved with Conditions	None Available	13
James Cicchetti	2487 Harrison Ave	10/27/2011	Conditional Use & Parking	Approved with Conditions	None Available	44
Ed McCall, Jr	3800 Reading Rd	12/6/2011	Parking	Approved with Conditions	None Available	
Julia Carney	6433 Revere Ave	1/5/2012	Use & Parking	Approved with Conditions	None Available	16
Porch Swing Properties, LLC	1614 Elm St	6/12/2012	Certificate of Appropriateness, Approved Parking	Approved with Conditions	5 Affirmative 3 Absent	11
Mottainai Developers	1427 Republic St	7/1/2012	Certificate of Appropriateness, Denied Parking, and Special Exception	Denied	0 Negative 5 Affirmative 3 Absent	
Neyer Properties	5935 Ridge Ave	11/9/2012	Parking	Approved with Conditions	0 Negative	
GSH Foundation	3729 St. Lawrence Ave	11/15/2012	Parking & Special Exception	Approved with Conditions	None Available	13
Barrett P. Tullis (atty for owner)	309 W 5th Street	12/17/2012	Use Variance to demolish existing structure to add surface lot	Denied then Reviewed and Approved	None Available	
Talbert House	960 Grand Ave	1/25/2013	Conditional Use, Parking, Special Exception	Approved	5 Affirmative 3 Absent	
Korea House, LLC	1828 Stonehouse Ln	2/1/2013	Parking	Denied	0 Negative None Available	21
Honorable Sylvia Sieve Hendon & Honorable John H. Sieve	2120 Ferguson Rd	2/8/2013	Parking	Approved with Conditions	None Available	17
Lower Price Hill Community School	2104 St. Michael St.	3/7/2013	Conditional Use & Parking	Approved with Conditions	None Available	84
Christian Moerlein Brewing	1621 Moore St	4/22/2013	Parking	Approved	5 Affirmative 3 Absent	66
Bam Realty Group, LLC	3098 Madison Rd.	7/19/2013	Parking	Approved with Conditions	0 Negative None Available	22

PF Cincy Builders Alison Shanon	6186 Glenway Ave. 2103 Vine St.	7/26/2013 8/12/2013	Parking Certificate of Appropriateness & Parking	Approved with Conditions Approved	None Available 6 Affirmative	343
3066 Madison, LLC Kreative Xplorer's Learning Ctr. Korea House, LLC	3066 Madison Rd. 3312 Warsaw Ave. 3501 Erie Ave.	8/30/2013 1/17/2014 2/4/2014	Parking & Special Exception Parking Parking & Special Exception	Approved with Conditions Approved Denied (* Denied previously on 2/1/2013)	1 Absent None Available None Available None Available	24 18
Wainut Hills Redevelopment Foundation	907 Foraker Ave.	2/14/2014	Conditional Use & Parking	Approved with Conditions	None Available	18
Professional Design Associates Project Eden Ltd./Laser Spine Institute	4233 Airport 644 Eden Park Dr.	5/2/2014 5/8/2014	Parking Parking	Approved Approved with Conditions	None Available None Available	170
Chatfield College	1544-48 Central Pkwy.	6/9/2014	Certificate of Appropriateness & Parking	Approved	6 Affirmative 1 Absent	12
2701 Vine, LLC	2701 Vine St.	7/18/2014	Parking	Approved	None Available	*In June, reduction of 25 to 12.5 this variance approved for 12.5 to 0 requires spaces
The Rhinegeist Brewery	1910 Elm St.	10/20/2014	Conditional Use & Parking	Approved	None Available	228
Cincinnati Metro Housing Khaled Sabbagh	1526 Linn St. 1927 Harrison Rd.	2/13/2015 3/28/2015	Parking Conditional Use, Parking, Special Exception	Approved with Conditions Approved with Conditions	None Available None Available	18
Dialysis Clinic Habitat for Humanity of Greater Cincinnati	499 E. McMillan St. 1125 Myrtle Ave.	4/15/2015 4/23/2015	Parking & Special Exception Parking	Approved Approved with Conditions	None Available None Available	11
Gaslight Gardens, LLC	3240 & 3250 Whitfield Ave.	5/29/2015	Parking	Approved with Conditions (*Previously denied on 1/16/2015)	None Available	34
Manuel Arrega	6705 Vine St.	9/11/2015	Use & Parking	Approved	None Available	
Meyer Properties	5935 Ridge Ave	10/20/2015	Parking	Denied (non-compliance of prior approval conditions from 11/9/2012)	None Available	11

APPLICATION

HCB

HISTORIC
 CONSERVATION
 BOARD

CERTIFICATE OF APPROPRIATENESS

APPLICATION
 BUILDING ADDRESS: 229-235 W. 12th Street

DISTRICT NAME: Over The Rhine
 (if applicable)

OWNER NAME: CW Realty LLC

ADDRESS: 1101 York St., Cincinnati, OH 45214 PHONE NO: 381-1111

EMAIL: _____

CONTRACTOR NAME: To Be Determined

PHONE NO: _____

ADDRESS: _____

EMAIL: _____

ARCHITECT NAME: Denis L. Back & Associates PHONE NO: 861-2776

ADDRESS: 2128 Alpine Pl., Cincinnati, OH 45206

EMAIL: dlbarchitects@fuse.net

HCB USE ONLY

DATE RECEIVED BY HCB: _____

PERMIT/APD NO: _____

APP. COMPLETION DATE: _____

PLEASE NOTE: THE FOLLOWING FEES ARE DUE TO PROCESS YOUR APPLICATION.

Certificate of Appropriateness (without Board review)... \$25.00
 Historic Conservation Board Review \$300.00

HCB USE ONLY

Fee Received: \$ _____

Date Received: _____

IT IS YOUR RESPONSIBILITY TO NOTIFY THE URBAN CONSERVATOR IF ANY OF THIS INFORMATION CHANGES DURING THE PENDING REVIEW OF YOUR

WORK PROPOSED: (Describe type of work, existing conditions, and methods to be used, materials proposed)

HCB USE ONLY	
<input type="checkbox"/>	MINOR ALTERATION
<input type="checkbox"/>	NEW CONSTRUCTION
<input type="checkbox"/>	ADDITION
<input type="checkbox"/>	DEMOLITION
<input type="checkbox"/>	REHABILITATION
<input type="checkbox"/>	OTHER _____

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IN ORDER TO EXPEDITE HCB ACTION, PLEASE ATTACH ADDITIONAL INFORMATION, IF AVAILABLE, AS MAY BE APPROPRIATE. LIST ANY INFORMATION ATTACHED: (Elevations, site plans, specifications, photos, material samples, additional drawings or written matter)

Drawings and photos

Attach a letter explaining the justification for the issuance of the desired Certificate of Appropriateness. Be advised that the burden of proof is on the applicant.



Denis L. Back & Associates
Architects

2128 Alpine Place Cincinnati, Ohio 45206 Tel (513) 861-2776 Fax (513) 861-2779

November 12, 2015

Mr. Michael Burson, Chair
Historic Conservation Board
City Planning Division
2 Centennial Plaza, Suite 700
805 Central Avenue
Cincinnati, Ohio 45202

RE: 229-235 West 12th Street
The Strietmann Biscuit Company Building

Dear Mr. Burson,

The current property "The Strietmann Biscuit Company Building" is located at the southeast corner of 12th Street and Central Parkway and consists of a 90' by 163' lot with a seven story brick building abutting the property lines on all four sides. The front of the building faces 12th Street (with a 12'0" wide sidewalk), the west side of the building abuts Central Parkway (with a 14'0" wide sidewalk), the rear of the building abuts Gandolfo Alley and east side of the building abuts an adjacent building. The building contains 85,000 sf. on seven floors with an unfinished basement. The Strietmann Building was built in four phases between 1890 and 1910 – at a time period when most of Over the Rhine was developed or being redeveloped (a time prior to automobile and as a result a large percentage of the buildings in this area were built with no off street parking and have never had off street parking. At the time of construction of the Strietmann Building most people walked or used streetcars for transportation.)

The Strietmann Company used the building as a bakery, warehouse and offices until 1970's. The most current use of the building is offices and warehouse for an office furniture company. The proposed improvements for the Strietmann Building consist of a complete renovation of the interior and exterior of the building for restaurant/commercial uses on the first floor and loft style offices on floors two through six, conference room and roof terrace on floor seven. The basement will be used for storage, management offices, and a tenant exercise room. The north and west sides of the exterior will be repainted and exterior lighting added. Exterior lighting will also be added to the south elevation and chimney. A flag pole will be added and signage on the front and west elevations will be added, similar to the original Strietmann Company signage. The metal windows with frosted wire glass on the back and east elevations will be replaced with aluminum windows with clear glass of similar style. The windows on the front and west elevations have already been replaced with aluminum windows. The building will receive new roofing, elevators, HVAC, electric and plumbing (with an emergency generator and HVAC

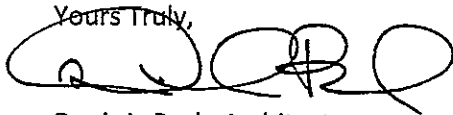
condensers on the seventh floor roof – all of which will not be visible from the street.) The improvements will also include replacing the existing garage doors on all sides of the building. In addition, a new 4'6" x 18'0" x 8'0" high stair penthouse (with a 19'0" setback) will be added at the roof to provide a second means of egress for the seventh floor and new roof terrace.

In order to renovate the building for restaurant/commercial use on the first floor, offices and conference room on the upper floors the owner is requesting the Historic Conservation Board to authorize variances as permitted by provisions of the Cincinnati Zoning Code. The variances would consist of a parking variance of 109 spaces and a variance for one loading space. The authorization of these variances will allow the owner to use their property in a like manner as other properties in the neighborhood (many if not most of the other properties in the neighborhood do not have off street parking or loading spaces.) We would also like to add that the developer Grandin Company LTD has a parking agreement for 175 spaces at the Washington Park Garage. In addition, the street car is within 600' of Strietmann Building. The authorization of these variances will allow for the renovation of this building which will improve the appearance and safety of building and neighborhood and most importantly will allow for a development and use that will add to the value and revitalization of the adjacent properties and the Over the Rhine neighborhood.

This request coincides with the standards for granting variances for section 1445-15 of the City Zoning Code. More specifically this request states that the proposed development will be consistent with the purposes of the code and district, will not diminish or impair the value of the property or the health, safety, and general welfare of the neighborhood. In addition, the development will not have an adverse effect on the neighborhood and will be compatible with the use and development of neighboring property and Over the Rhine.

If you have any questions or need additional information please let us know. Thank you for your time and consideration in regards to this request.

Yours Truly,

A handwritten signature in black ink, appearing to read 'D. Back', written over a horizontal line.

Denis L. Back, Architect

OTR

APPLICATION FOR ZONING RELIEF

1. SUBJECT PROPERTY
 ADDRESS 229-235 West 12th Street
 AUDITOR'S PARCEL ID(S) 076-000040130 & 131, 132, 133, 134
 BASE ZONING CLASSIFICATION CC-A
 ZONING OVERLAY (if applicable) Over the Rhine (North) Historic District

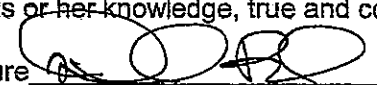
2. APPLICANT
 NAME Denis L. Back, Architect CONTACT PERSON (if legal entity) _____
 ADDRESS 2128 Alpine Place, Cincinnati, Ohio 45206
 EMAIL d1barchitects@fuse.net
 TELEPHONE (513) 861-2776 RELATIONSHIP TO OWNER Architect

3. OWNER
 NAME Old Realty LLC CONTACT PERSON (if legal entity) _____
 ADDRESS 1101 York Street, Cincinnati, Ohio 45214
 EMAIL _____
 TELEPHONE 381-1111

4. NATURE OF RELIEF REQUESTED (select all that apply)
 Variance Use Variance Special Exception Conditional Use Use Permit
 Expansion or Substitution of Nonconforming Use Hillside Overlay District Permission
 Urban Design Overlay District Permission DD District Phased Development Approval

5. BRIEF DESCRIPTION OF RELIEF REQUESTED (You may attach a statement to this application if the space provided is insufficient)
 The applicant is requesting a variance to the requirements for off-street parking and loading space per sections 1435-35, 1445-01, 1445-07, 1445-09, and 1445-15 of the City of Cincinnati Zoning Code.

6. SUMMARY OF REASONS WHY RELIEF SHOULD BE GRANTED. You must provide a written statement explaining how your project meets the standards for all relief requested. Separate instruction forms for preparing this statement are provided. If you fail to follow the instructions for requesting a variance, use variance, special exception, conditional use, use permit, certificate of appropriateness, expansion or substitution of nonconforming use, hillside overlay district permission, urban design overlay district permission, and/or DD district phased development approval, your application may be denied.

7. SIGNATURE. The undersigned does hereby certify that the information provided in connection with this application is, to the best of his or her knowledge, true and correct.
 Print Name DENIS L. BACK Signature  Date 1/16/15

The Strietmann Building
235 West 12th Street
Historic Conservation Board
Zoning Variance Hearing

Hearing Materials: Table of Contents

1. Application for Zoning and Zoning Application Letter in Support
2. Certificate of Appropriateness
3. History of Building
4. Historic Photos
5. Current Pictures
6. Proposed Plans
7. Cagis Zoning Map, Streetcar and Parking Map
8. Parking Calculations, Park Agreement and Letter of Support – 3CDC

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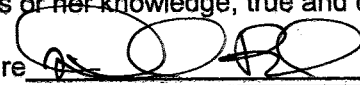
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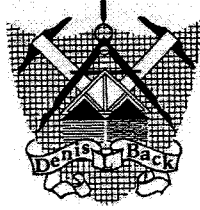
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2128 Alpine Place Cincinnati, Ohio 45206 Tel (513) 861-2776 Fax (513) 861-2779

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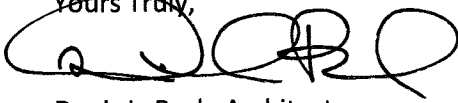
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Denis L. Back, Architect

APPLICATION



CERTIFICATE OF APPROPRIATENESS

APPLICATION
 BUILDING ADDRESS: 229-235 W. 12th Street

DISTRICT NAME: Over The Rhine
 (if applicable)

OWNER NAME: CW Realty LLC

ADDRESS: 1101 York St., Cincinnati, OH 45214 PHONE NO: 381-1111

EMAIL: _____

CONTRACTOR NAME: To Be Determined

PHONE NO: _____

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Drawings and photos

Attach a letter explaining the justification for the issuance of the desired Certificate of Appropriateness. Be advised that the burden of proof is on the applicant.

History of project property

The Strietmann Biscuit Company evolved out of the growth of two former Cincinnati firms involved in the bulk baking of biscuits. In 1849, Edward D. Bennett began a small biscuit operation at the northern edge of the city's central business district at 146 W. Court Street. This was just south of the Miami and Erie Canal that separated the business district from the then growing mixed use and culturally significant Over the Rhine neighborhood. In 1860, George H. Strietmann began to work for Mr. Bennett. By the time Mr. Bennett retired in 1873, the company had established itself as a significant local producer of small, soft quick-leavened breads and crackers. These items were produced in bulk and shipped to stores within the city and regionally.

With Mr. Bennett's retirement, Mr. Strietmann joined with W. C. Hurley to take over the business under the name of Hurley and Strietmann within the same location. The company proved successful and expanded its operation into an adjacent building. When Mr. Bennett died in 1884, the business was taken over by Mr. Strietmann under the name of George H. Strietmann Company. Mr. Strietmann's direct involvement of the business ended in 1895 with his death. The business passed onto his two sons, George E. and Albert P. Strietmann. The company was renamed George H. Strietmann's Sons.

With the company outgrowing its West Court Street location, plans were made for the establishment of a new modern facility. In 1899, the original Strietmann building was built along the south side of W. Twelfth Street and adjacent to the Miami and Erie Canal. With this construction, the company expanded its line of biscuits and crackers as well as adding pastries to its line of baked goods. During the first two decades of the 20th century, the company expanded its production and acquired the adjacent property along W. Twelfth Street to accommodate its growth. Additions were constructed in 1904, 1910, and 1919.

The company continued as a regional baker, but competition among specialized bakers was taking its toll as costs grew for materials, advertising, labor, and distribution. Starting in the late 1880s, regional organizations were established to facilitate cost reductions and increase promotion of the bulk biscuit industry on a regional basis. In 1890, 33 Midwestern biscuit bakers formed the American Biscuit and Manufacturing Company. Each bakery retained their individual name but promoted themselves as being a member of the larger organization. This was not new to the bulk biscuit industry. Previously, the United States Bakery Company promoted member companies within the eastern part of the nation; and the New York Biscuit Company was a city and state organization. In 1898, these three organizations along with 114 factories merged into what is today's largest commercial bakery in the United States. In that year, the National Biscuit Company (NABISCO) was established.

George H. Strietmann's Sons continued as an individual baker and did not belong to any regional organization. In 1922, they changed their name to the Strietmann Biscuit Company. A review of the products they produced in 1926 illustrates a wide variety of baked goods that were mass produced. These included graham crackers, sugar wafers, various snaps, pretzels, biscuits, and a brand still common today – Zesta Soda Crackers. In all, 15 different brand names were used to identify the products produced at that time. Baked items were sold in wrappers, boxes, tins, and barrels and were sold either in bulk or individually wrapped. By then, the company was also producing baked items in additional plants located in Virginia, Kentucky, and North Carolina.

With the increased competition and growing impact of NABISCO, Strietmann joined a regional organization of 13 commercial bakers. In 1927, the United Biscuit Company of America was established with primarily Midwestern

bakers. By 1944, the organization extended from eastern Pennsylvania to Salt Lake City with an increasing fleet of trucks which allowed them to compete with NABISCO.

By the early 1940s, Strietmann was in dire need of additional space and to modernize its production. In 1943, they moved out of Cincinnati into the planned suburban English Garden village of Mariemont, Ohio. The move was part of the village's plan to provide employment of village and nearby residents. The new facility was of modern design and allowed for the then latest equipment and flow of production. The company was associated with the Mariemont location until the United Biscuit Company of America was bought out by Keebler in 1966. The only surviving brand historically associated with the Strietmann name is Zesta Soda Crackers. The historical transformation of Strietmann continued when, in 2001 the Kellogg Company purchased Keebler. Today in Cincinnati, there is no active production of commercial baked goods associated with the Strietmann Biscuit Company.

Following Strietmann's move from the building on W. Twelfth Street, a series of mixed uses characterized the space within the building. Small scale and large scale businesses used the space. From 1955 until 1965, the Williams Directory Company used most of the space. In the 1970s, a variety of small businesses were housed that included scientific supply firms, department store warehouse, and printing firms. In the 1980s, printing and silkscreen firms were major users. Since the 1990s, Western Interiors and the Wegman Company used the space for storage of office furniture components. By June of 2015, the building was cleared in anticipation of a change in ownership and the subsequent adaptive reuse into office space.





THE STRIETMANN BISCUIT COMPANY



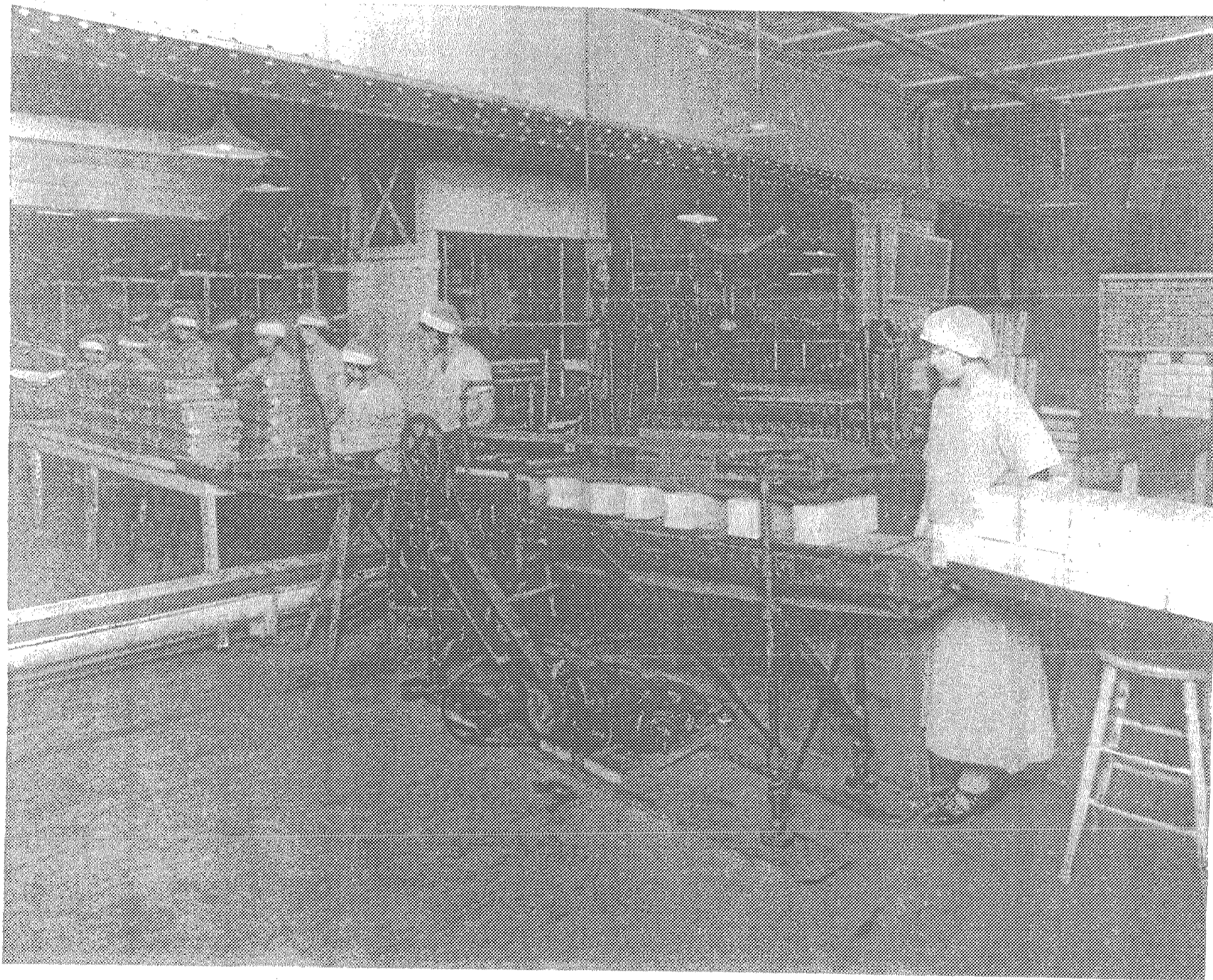
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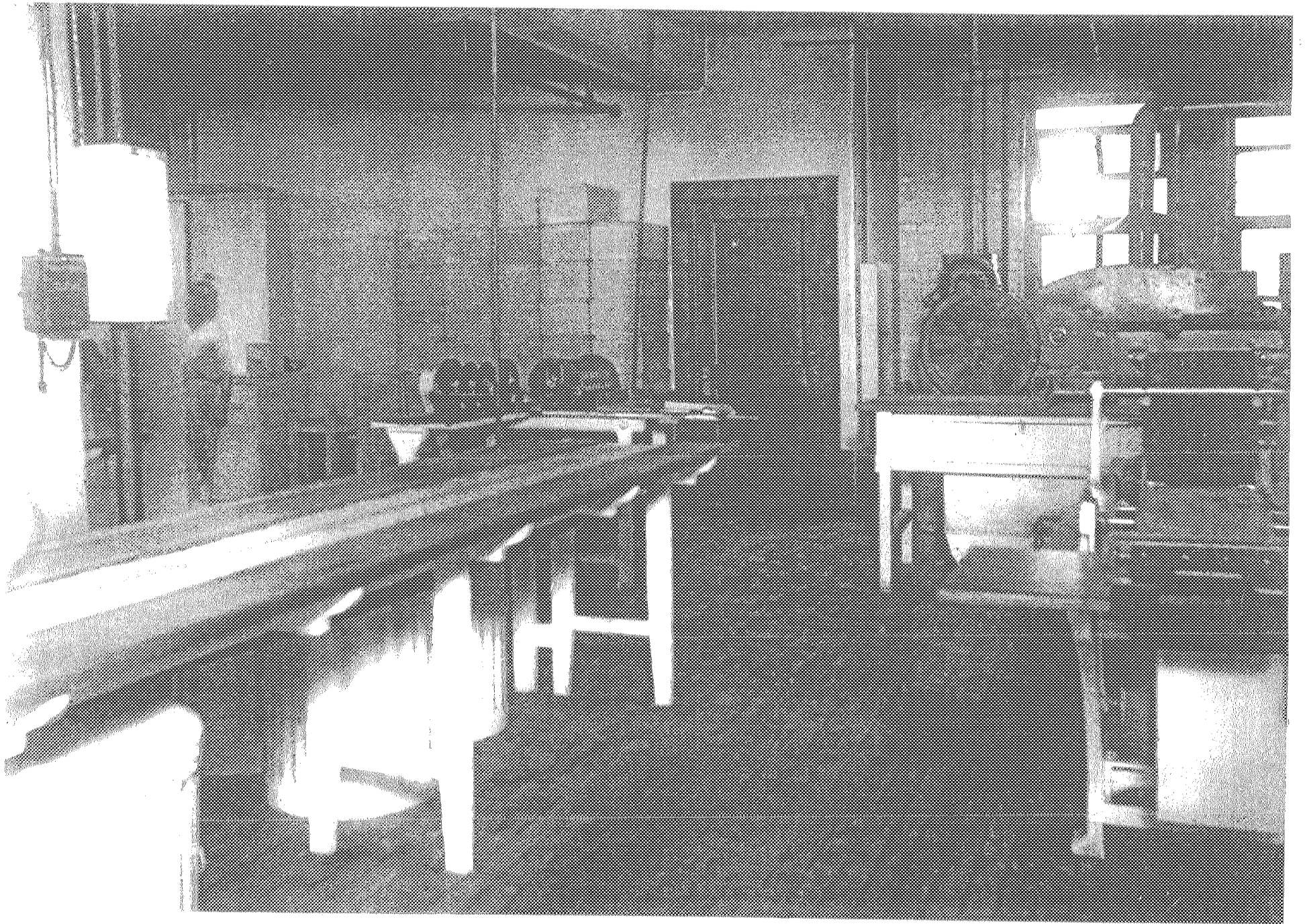
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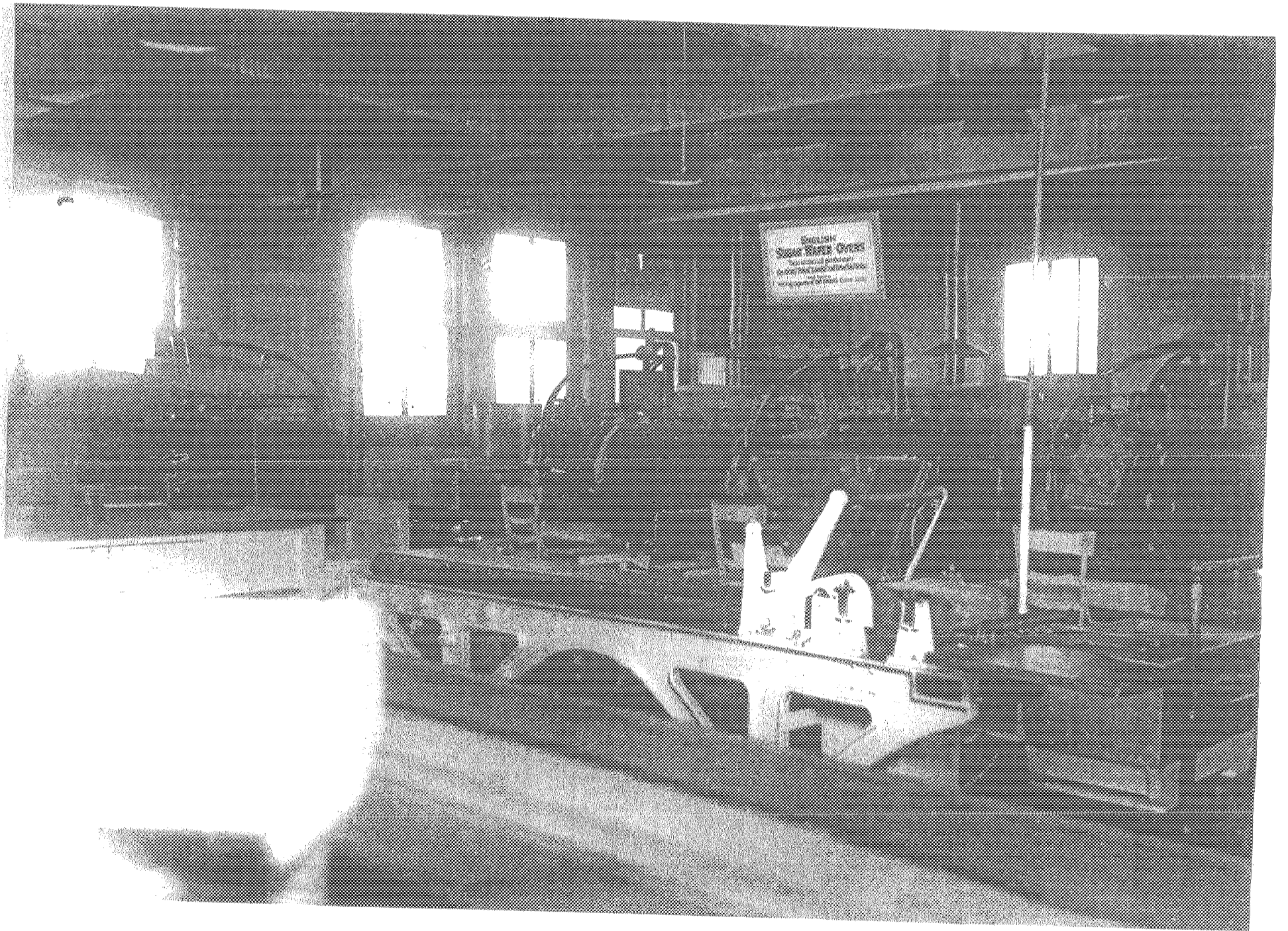


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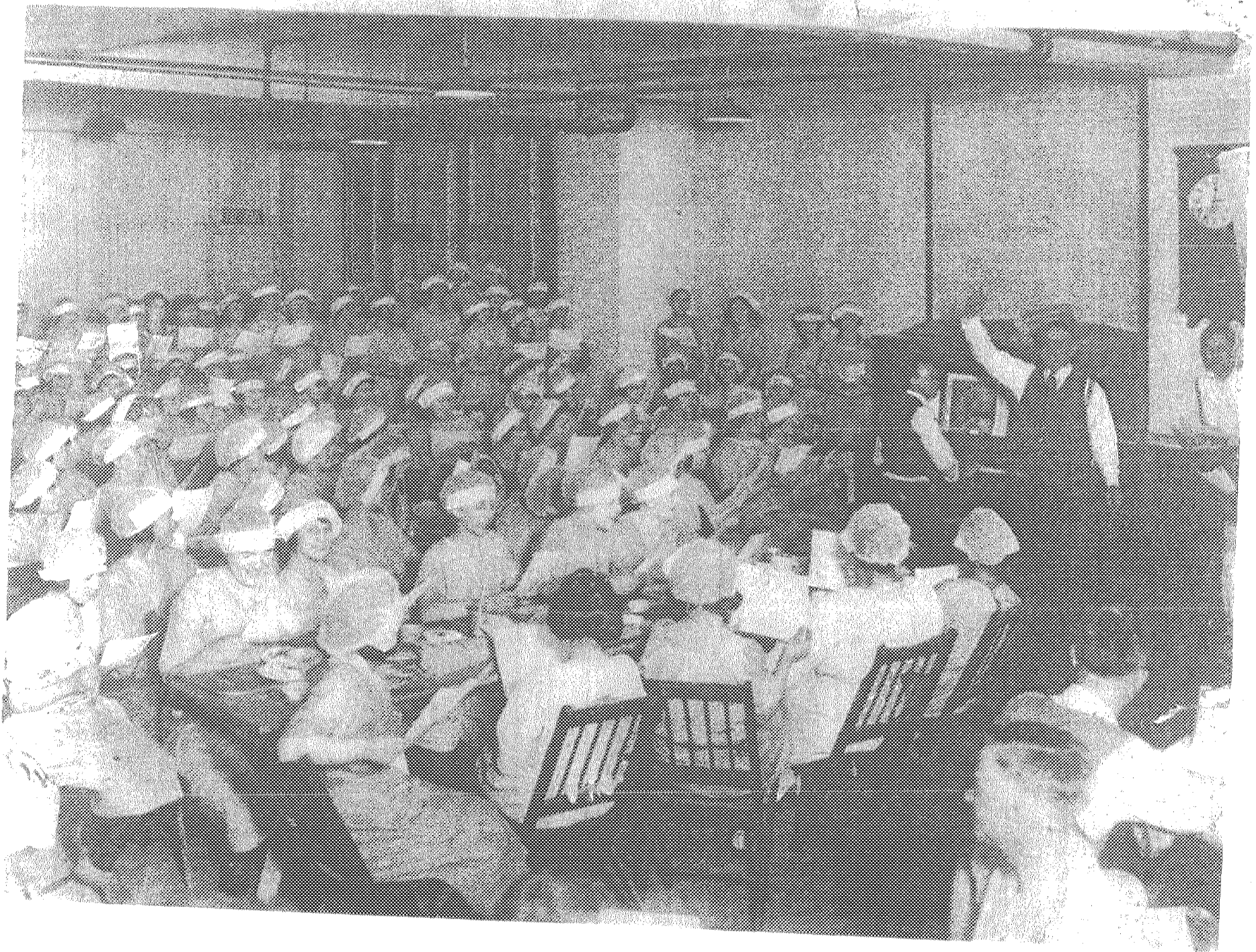


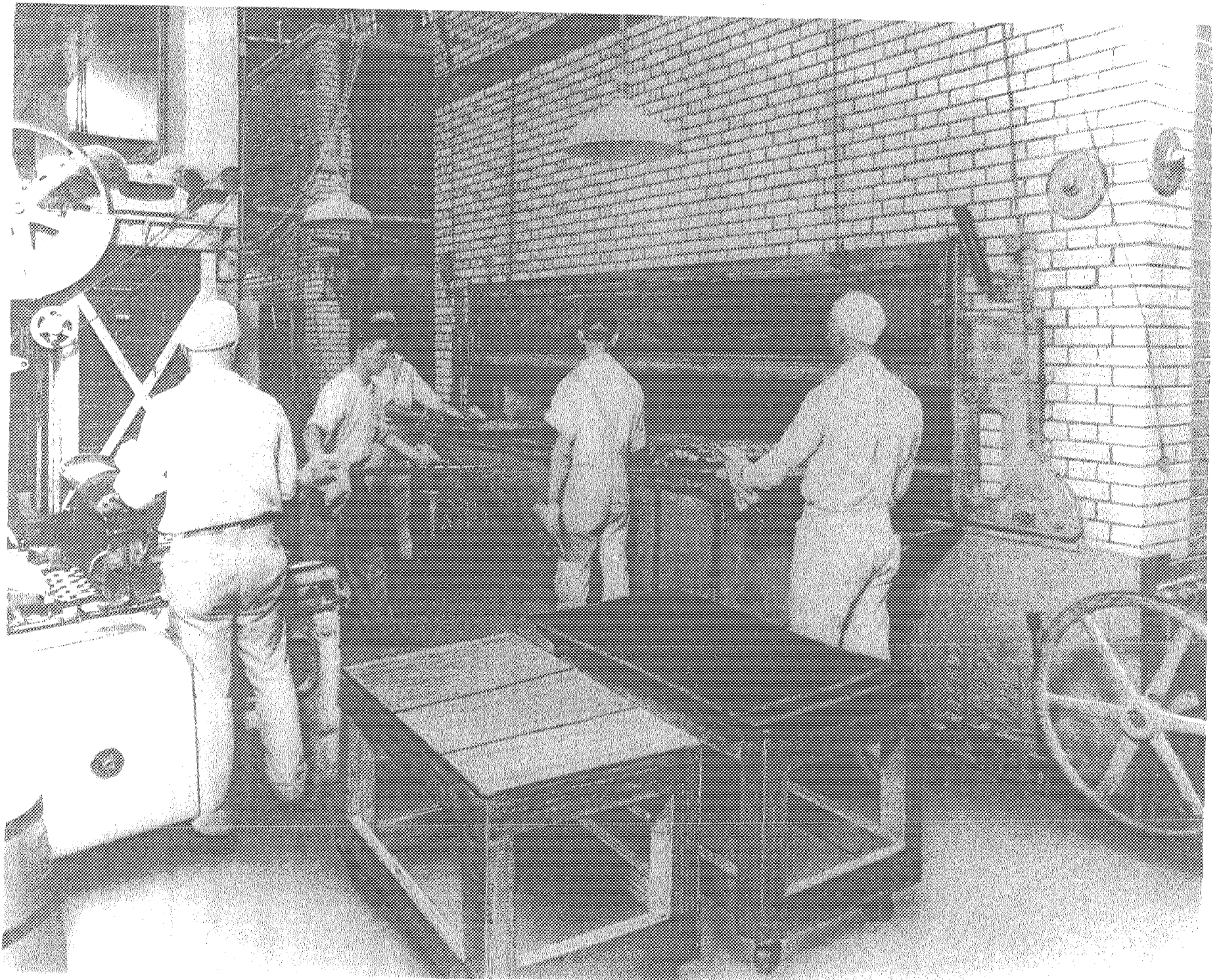


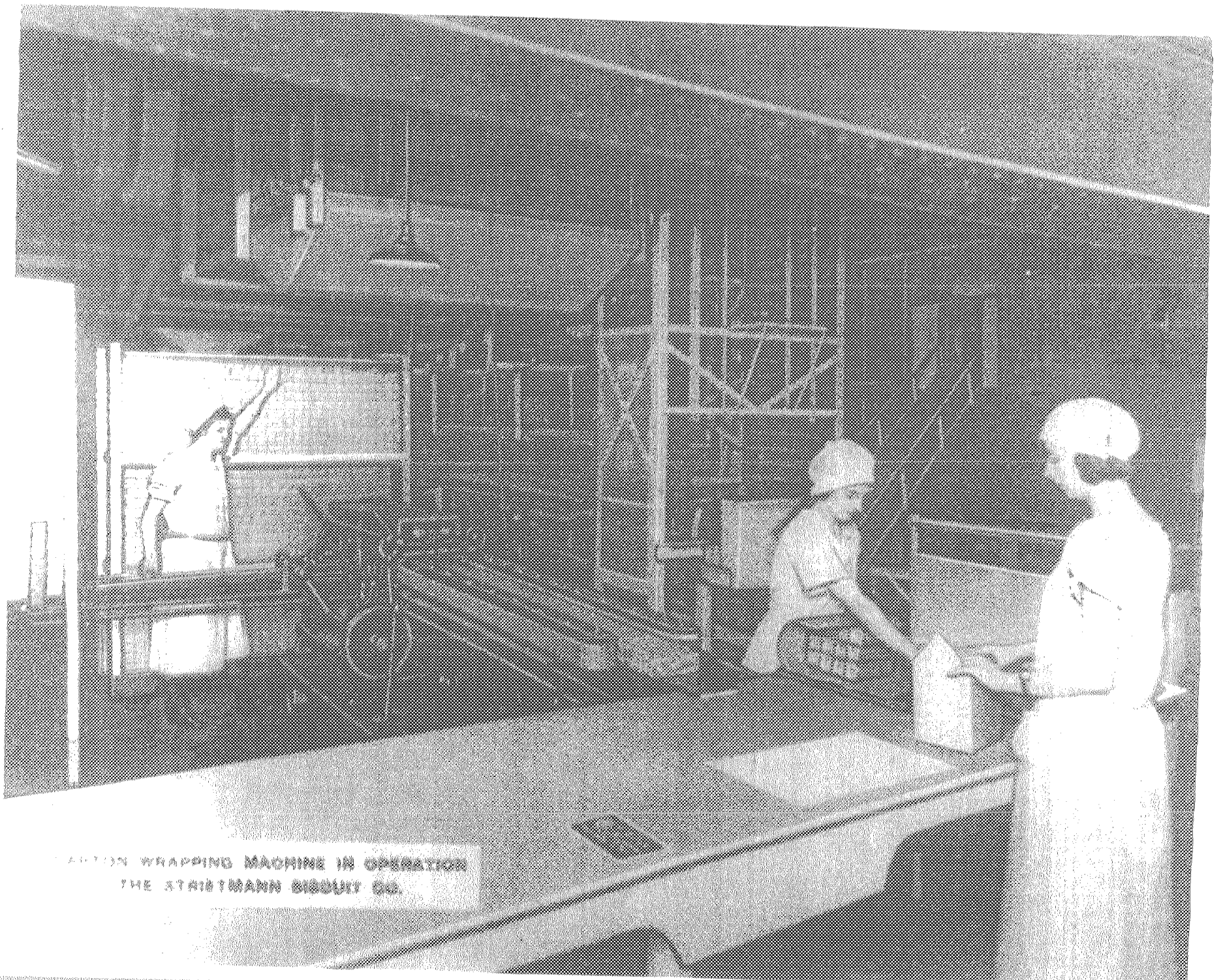




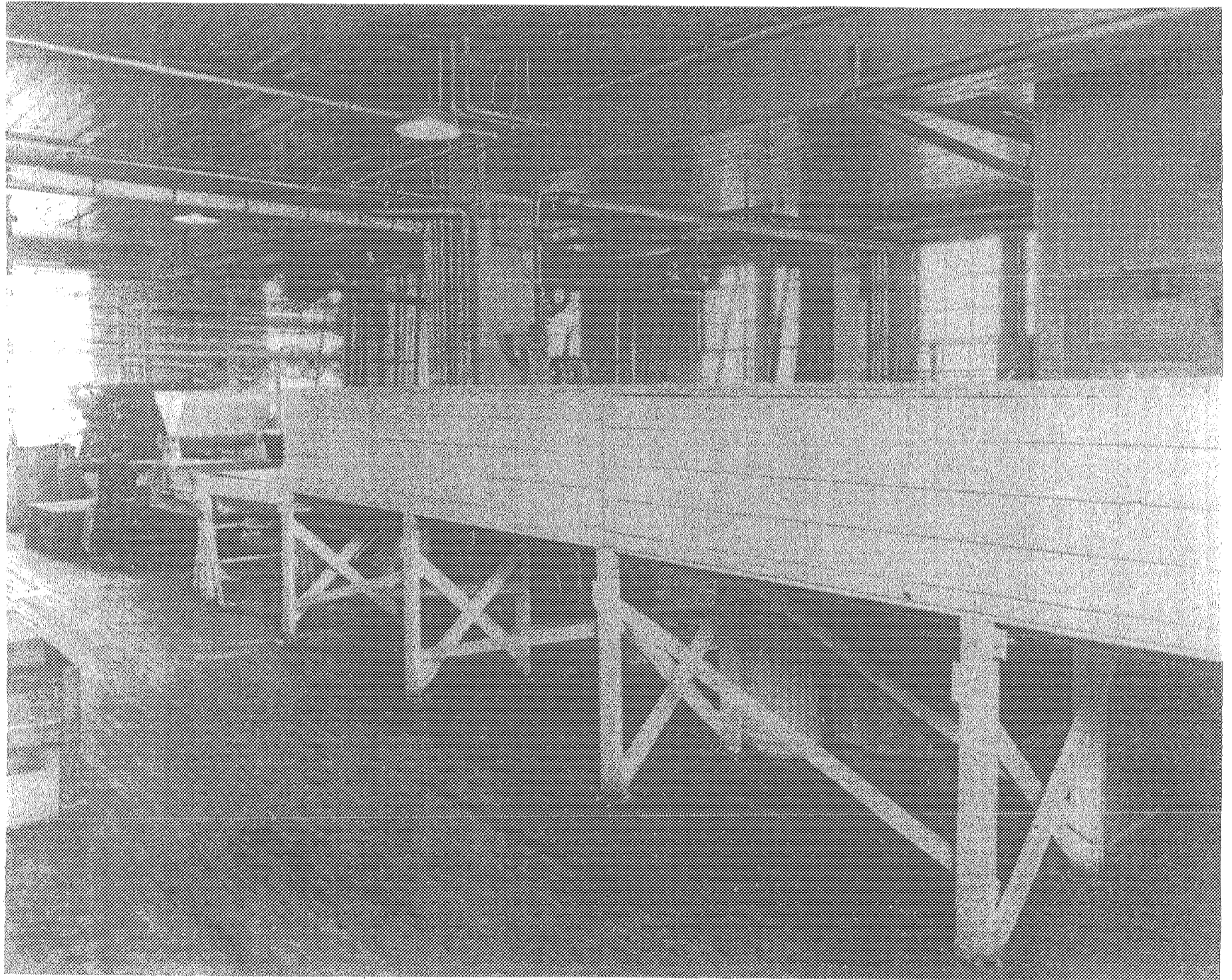
ENGLISH
SUGAR RAPE OILS
Manufactured by
The English Sugar Rape Oil Co. Ltd.
and The English Sugar Rape Oil Co. Ltd.

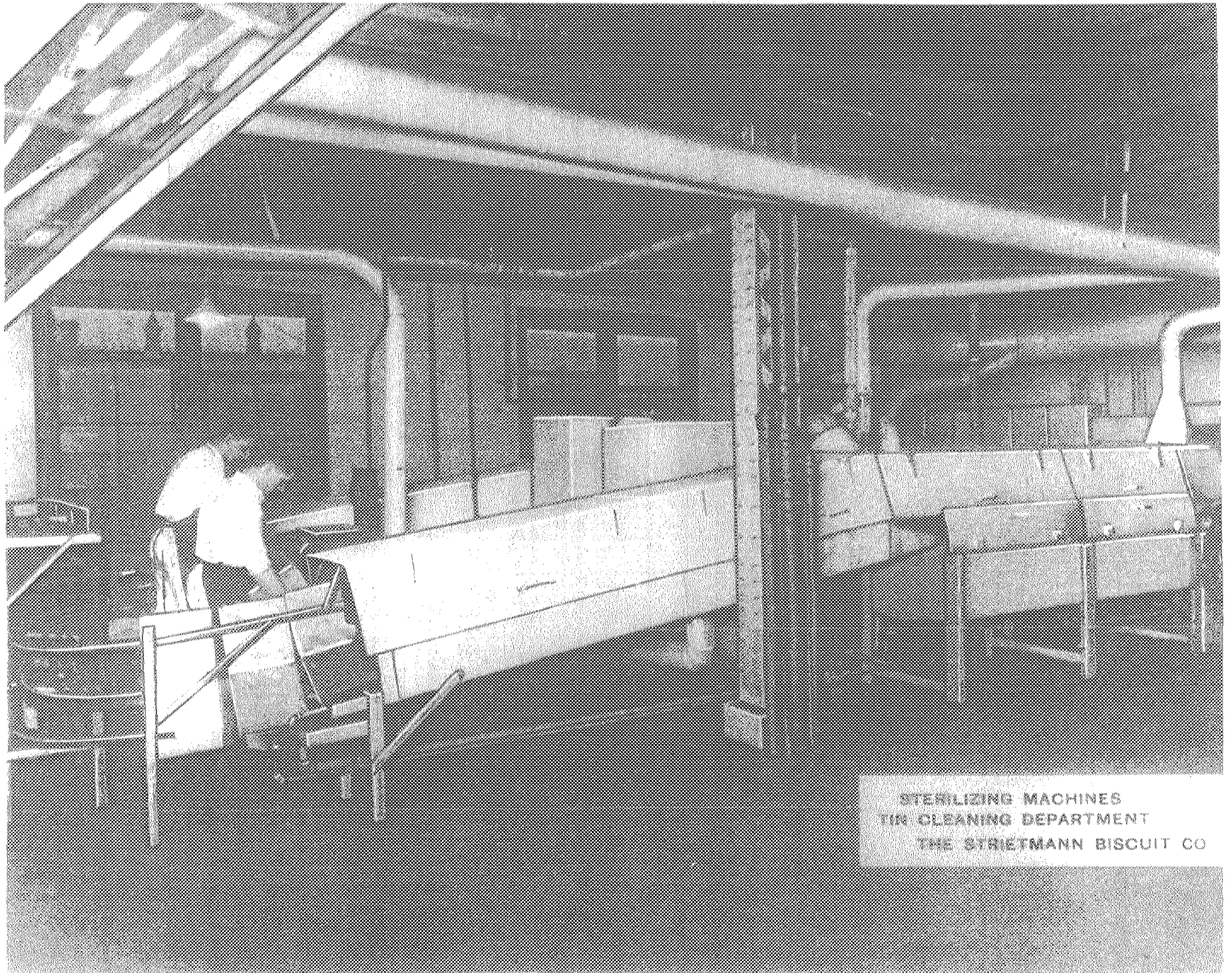






WRAPPING MACHINE IN OPERATION
THE STRITMANN BISCUIT CO.





STERILIZING MACHINES
TIN CLEANING DEPARTMENT
THE STRIETMANN BISCUIT CO

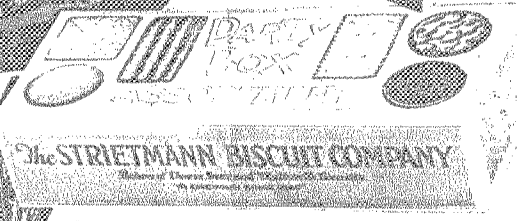
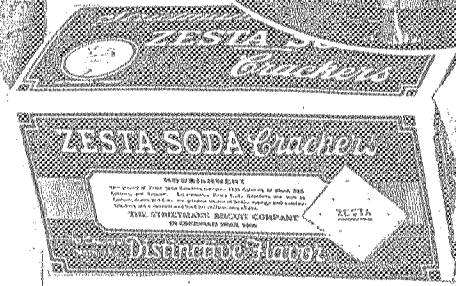
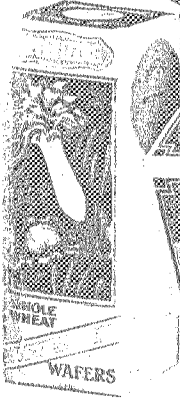
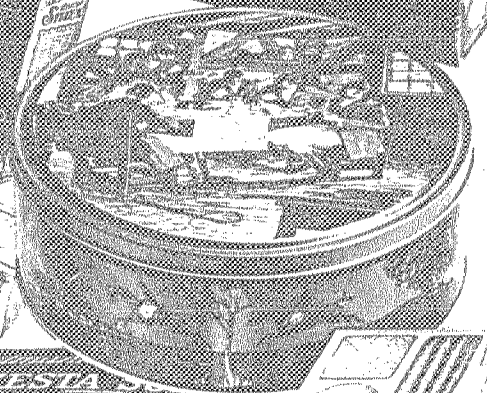
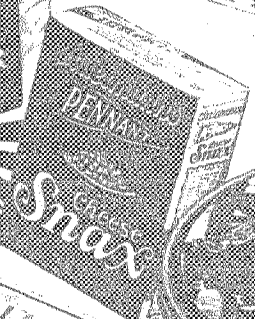
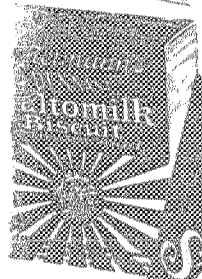
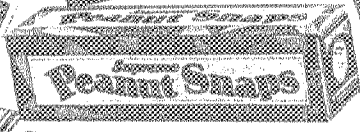
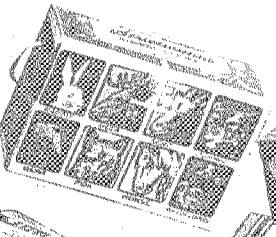
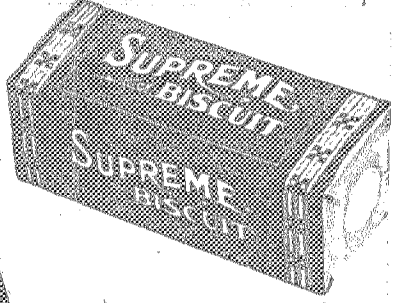
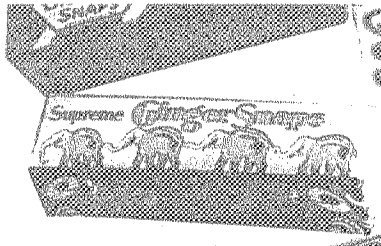
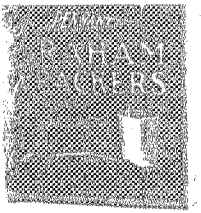
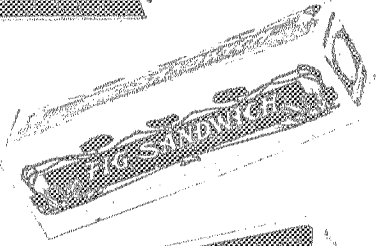
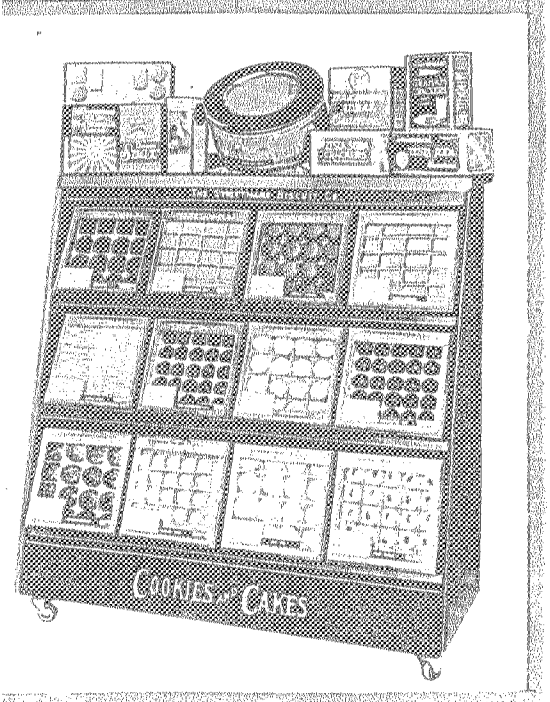
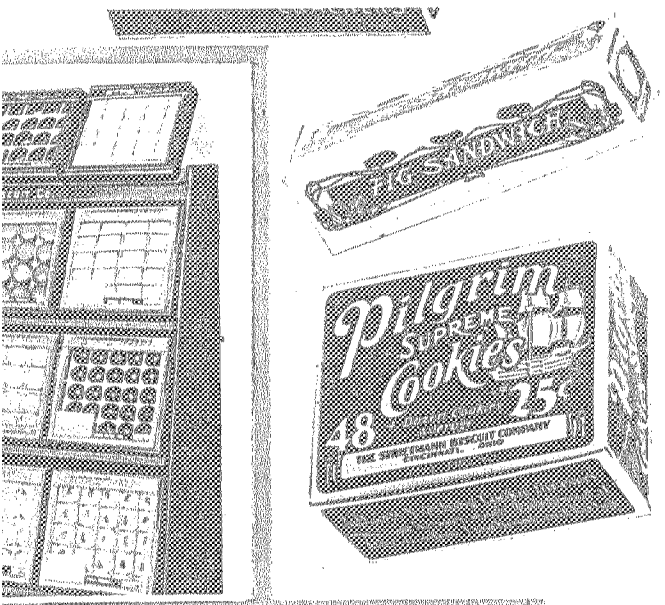




FOREWORD

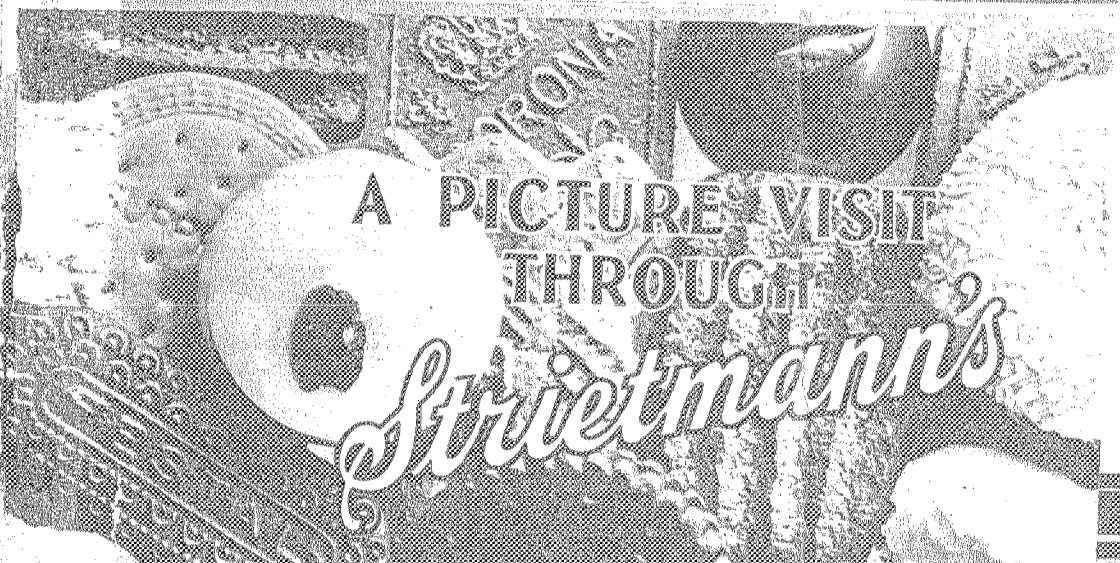
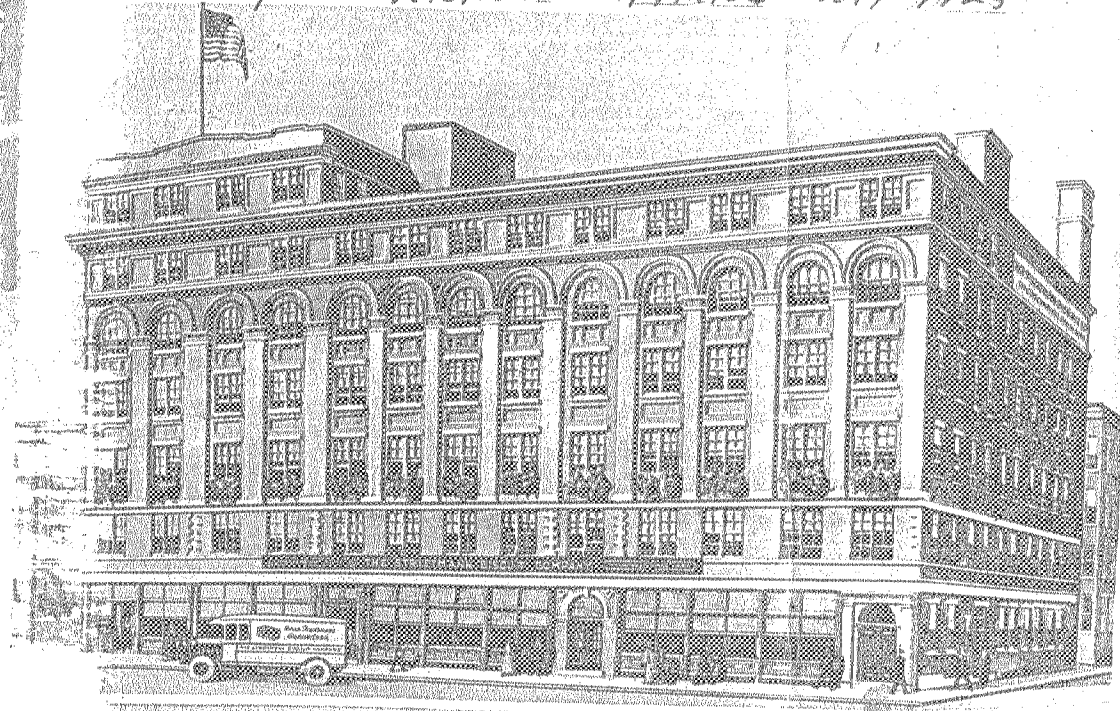
THE business which today bears the name of "Strietmann" traces back to 1849, when Mr. E. D. Bennett engaged in biscuit baking in Cincinnati. Soon after the year 1860, the present management's father, Mr. George H. Strietmann, became connected with Mr. Bennett in his biscuit enterprise. The name "Strietmann" first appeared in the trade style in 1873, when, on Mr. Bennett's retirement, the business was transferred to Mr. Strietmann and Mr. W. C. Hurley, and was thereafter continued under the style of Hurley & Strietmann. This successful partnership was broken by Mr. Hurley's death in 1884, at which time Mr. Strietmann obtained full ownership. The business prospered under his able management, and at his death in 1895, it was carried on by his sons under the trade name of The George H. Strietmann's Sons. When the business was incorporated in 1901 the word "Company" was affixed, making the trade name The George H. Strietmann's Sons Co. The growing business was deprived of a very valuable and highly esteemed servant when in 1903, President George E. Strietmann, one of Mr. George H. Strietmann's sons, was taken by death. Since that time the management has devolved upon Mr. Albert P. Strietmann. With the expansion of the business have been evolved the highest standards of purity, quality and cleanliness. It is worthy of note that the Strietmann Purity Policy, backed by the Strietmann guarantee, requires higher standards than those that are imposed by either national or state laws. Strict cleanliness in all the baking rooms and about the equipment is zealously demanded and enforced. In 1922 the name of the company was changed to the more modern and expressive form—The Strietmann Biscuit Company.

55715



14 page booklet

Printed about 1925







CHARLES ST 210

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27
127





QUEEN CITY
RADIO

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||

STRIETMANN BUILDING

235 WEST 12TH STREET
CINCINNATI, OHIO

PROJECT DESCRIPTION

This project consists of a whole building renovation of an 1890 7-story masonry commercial building, in accordance with the United States Department of Interior, National Park Service historic guidelines.

Overall building area (outer face of exterior walls)

14,945 SF BASEMENT
14,650 SF FIRST FLOOR
14,650 SF SECOND FLOOR
14,650 SF THIRD FLOOR
14,650 SF FOURTH FLOOR
14,650 SF FIFTH FLOOR
7,325 SF SIXTH FLOOR
3,810 SF SEVENTH FLOOR



PROJECT TEAM

DEVELOPER

GRANDIN PROPERTIES
1300 RACE STREET, SUITE 200
CINCINNATI, OH 45202
513-871-7110

ARCHITECT

DENIS L. BACK & ASSOCIATES
2128 ALPINE PLACE
CINCINNATI, OH 45206
513-881-2776

BUILDING CODE CONSULTANT

MICHAEL PACHAN
321 FLEMING ROAD
WYOMING, OHIO 45215
513-504-0289

HISTORIC CONSULTANT

FRED MITCHELL
4520 CEDAR HILLS DRIVE
BATAVIA, OHIO 45102
513-732-0246

LEED CONSULTANT

ALLISON MCKENZIE
6266 ORCHARD LANE
CINCINNATI, OHIO 45213
513-319-9110

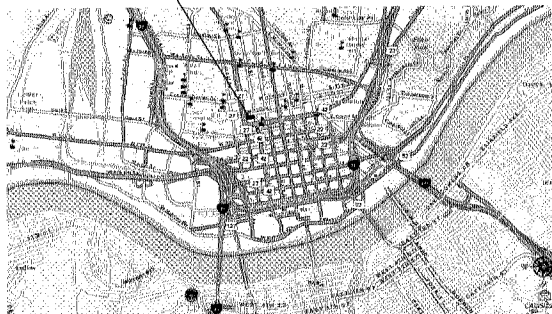
STRUCTURAL ENGINEER

ROENKER ENGINEERING, INC.
3276 HIGH RIDGE DRIVE
TAYLOR, OHIO 45376
859-331-0054

M/E/P ENGINEER

**HAL-PE ASSOCIATES
ENGINEERING SERVICES INC.**
802 SOUTHWEST
COVINGTON, KY 41031
859-431-0983

PROJECT LOCATION



VICINITY MAP
NOT TO SCALE

DRAWING LEGEND

NOTE: LEGEND IS TYPICAL FOR ARCHITECTURAL DRAWINGS ONLY.
SEE FLOOR PLAN FOR WALL LEGEND, AND SHEET A1.1 FOR PARTITION TYPES

- ILLUMINATED EXIT SIGN IN COMPLIANCE W/ OBC 10111
SEE ELECTRICAL DRAWINGS
- DETAIL NUMBER
SHEET NUMBER
- SECTION NUMBER
SHEET NUMBER
- REVISION TAG
- ELEVATION MARK
- DRAWING NOTE
- CEILING HEIGHT
- DOOR IDENTIFICATION
- PARTITION TYPE
- ALIGN FINISHES
- UNO "UNLESS NOTED OTHERWISE"
- VIF#V "FIELD-VERIFY"
- EX/EXIST "EXISTING"



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Revisions
September 28, 2015

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2128 ALPINE PLACE CINCINNATI OHIO 45206 513-881-2776
Architects / Building Consultants

STRIETMANN BUILDING
235 WEST 12TH STREET
CINCINNATI, OHIO

DATE: 01/25/2015

COMM NO:

917

SHEET NO:

A-1.0

STRUCTURAL NOTES

GOVERNING CODE

2011 Ohio Building Code edition (and/or other codes as required)

DESIGN LOADS

- 1. Floors - **DL** as per ASCE 7-10 PSF dead
- Floors - **ASSEMBLY** 100 PSF live & 10 PSF dead
- Floors - **Roofs** 100 PSF live & 10 PSF dead
- Floors - **Storage (Basement)** 200 PSF live
- Floors - **Roofs & Roof Terrace** 100 PSF live & 10 PSF dead
- Floors - **Fire Escapes** 100 PSF live & 10 PSF dead

- 2. Roofs - 20 PSF live & 15 PSF dead
- Roofs Supporting Equipment - See MEP drawings for equipment loads

- 3. Roof snow load - $P_s = 20$ PSF
 $C_s = 0.8$
 $I_s = 1.0$
 $C_e = 1.0$
 $P_g = 20$ PSF

- 4. Wind load - Basic wind speed - 90 mph
 $w = 100$
 Building category 1
 Exposure B
 Internal pressure coefficient, $C_{pi} = 0.18$
 Components & cladding design wind pressure = 18.5 PSF
 Mean roof pressure resulting design wind pressure = 18.4 PSF

- 5. Earthquake load - Occupancy category II
 Seismic response coefficient: $R = 0.213$ $S_d = 0.144$
 Site class (Dissiminated)
 Basic seismic resisting system: bearing wall system with light
 framed walls with shear panels
 Analysis procedure per section 1617.5
 Design base shear = 4.3% of building dead load

- 6. Soil bearing - Footing design based on assumed bearing capacity of 1.500 PSF
 • Live load computed to 20 PSF ground snow modified by applicable drift coefficients for snow build-up conditions.

CONCRETE

- 1. Concrete work shall conform to all requirements of ACI 318 and ACI 301-Latest Addendum "Specifications for Structural Concrete for Buildings," except as modified by the supplemental requirements below.

- 2. Materials
 - a. Concrete unless noted: for 3500 psi, normal aggregate
 - b. Concrete for exterior flat work, walls, etc.: for 4000 psi (50% to 75% retained air)
 - c. Concrete for foundation walls and retaining walls with exterior exposure: for 4000 psi (50% to 75% retained air)
 - d. Concrete for footings: for 3500 psi
 - e. Reinforcing steel: ASTM A615 60 KSI yield deformed bars
 - f. Admixtures: Admixtures containing chloride are not permitted in reinforced concrete or concrete containing metals.

- 3. When the temperature is less than 40 degrees F, the temperature of the concrete shall be maintained between 50 and 70 degrees F for 7 days.
 During hot weather, when necessary, provide for protective measures in advance of placement.
 At corners and intersections of footings, walls, and grade beams, provide bent bars of equal size and all same spacing as typical reinforcing around corner and/or into slabbing wall or grade beam. Bars shall have embedment of 30 diameters (18" min.).

- 4. Lap splice reinforcing bars 48 diameters unless otherwise noted.
 At slab and wall opening corners and reinforcement, provide (1) 45 bar in each face parallel to each edge extending a minimum of 2' past edge of opening. This steel may be placed if typical wall steel exceeds the minimum requirement.
 Interior corner slabs shall be 5" thick with 6 mil vapor barrier under 4" minimum granular compacted base (unless noted otherwise of drawings). Place control joints at 10' o.c. maximum each way. Slope to drains.
 Machine trowel finish floor slabs and cure using "Cure and Seal" type curing compound meeting Federal Specification VTC-C-0090. For applications exposed to sunlight use light brown latex and acrylic based curing compound.

- 5. Control joints in slabs-on-grade shall be hand troweled or saw cut within 4 hours of placing concrete or when concrete is strong enough to be hardened without cracking at the joints.

EXPANSION ANCHORS

- 1. Expansion anchors shall be manufactured by Hilti and shall be the type, size, and embedment indicated on drawings. Install per manufacturer's recommendations. Substitutions may be considered, submit manufacturer's data prior to installation.

MASONRY

- 1. Conclude block and brick masonry work shall conform to all requirements of "Specification for Masonry Structures (ACI 530.1-02/ASCE 5-02/MSA 602-02)" or Latest Addition

- 2. Materials
 - a. Concrete masonry units: ASTM C90 type 1 normal weight aggregate per ASTM C93
 - b. Mortar: ASTM C270 type N above grade for brick veneer. Type S below grade and all load bearing or exterior walls.
 - 1. Portland cement-lime mortar
 - 2. Portland cement. Type 1
 - 3. Hydrated lime. Type S
 - c. Masonry cement. At contractor's option
 - d. Provide 3 edge galvanized base type joint reinforcing at 16" centers vertically for concrete masonry.

- 3. Masonry veneer (brick or stone) shall be finished with Du-Coat VDA 213 or Wire-Bond (6.71) both 315° horizontal joints and horizontal galvanized per ASTM A353. Class R20 wall anchors spaced at 16" on center vertically and a maximum horizontal spacing of 24" on center. Screws shall be a minimum #10 size and shall be corrosion plated or hot-dipped galvanized (unless steel and copper coated screws are not permitted). Provide a 1" air space between brick and exterior face of sheathing. Back veneer anchors shall be embedded 2" minimum into brick. Provide corrosion base flashing with weep holes at 2' o.c.
 Runway board pattern shall be used for all masonry work unless otherwise noted.
 Gout seals all block cores with reinforcing with 3000 non-shrinking grout.

STRUCTURAL STEEL

- 1. All detailing, fabrication, and erection shall conform to AISC specifications for "Design, Fabrication, and Erection of Structural Steel for Buildings" and the AISC "Code of Standard Practice for Steel Buildings and Bridges," with addition:
 Fabricator is responsible for design of connections. Unless specific end moments and reactions are indicated on drawings, design and fabricate connections to resist the maximum uniform load capacity of the member for the span.
 Field connections shall be bolted except where welded connections are indicated on the structural drawings.
 Welding shall be in accordance with the American Welding Society (AWS D1.1:86).

- 2. Materials
 - a. Rolled shapes and plates unless noted: ASTM A-36
 - b. Pipe columns: ASTM A53, types E or B, grade B
 - c. Field bolts: ASTM A325
 - d. Anchor bolts: ASTM 1554, grade 35
 - e. Field welds: AWS E70xx

- 3. Contractor shall submit shop drawings for review by engineer prior to fabrication.
 Provide a 2x wood plate bolted to the end of all steel beams with 3/4" diameter bolts spaced at 2' o.c. or 3/16" diameter power driven fasteners (i.e. Rammed Pins) at 16" on center.

WOOD

- 1. Materials
 - a. Framing Lumber:
 - 1. 2 x 8 and larger: No. 1 grade or better southern pine kiln dried
 - 2. 2 x 4 and 2 x 6: Stud grade or better spruce pine fir kiln dried
 - 3. Joist and rafters shall be at least no. 2 southern pine
 - b. ACQ or C2C pressure treated joists in contact with foundation or exposed to weather
 - c. Sheathing and subflooring: 4824 APA Rated Tongue and Groove subfloor exposure 1. 32/16 APA rated roof sheathing exposure 1. 24/16 APA rated structural wall sheathing exposure 1. All sheathing to be nailed with 16d nails at 6" o.c. at panel edges and 12" o.c. at intermediate supports unless noted otherwise.
 - d. Adhesive for glued and nailed plywood subflooring: Shall conform to performance specification FGF-01 developed by APA.

- 2. Unless noted otherwise, connections shall be made per lists 2300.9.1, "Fastening Schedule", in referenced industry codes. Details not permitted for fastening APA rated sheathing and subflooring.

- 3. All connection hardware specified on the structural drawings as manufactured by the Simpson Strong-Tie Company shall be fastened as specified in the Simpson product and installation manual.

- 4. Install Simpson H2 Hiltex Anchors at bearing points of all roof trusses and/or rafters. Truss and/or rafter must align with seat at anchor location.

- 5. Fasteners for preservative treated wood
 - a. Based on testing results it is known that certain types of ACQ, Copper Azole and other non-COT Boron treated woods are more corrosive than CCA-C.
 - b. If other manufacturers generally specify service life of a product. The treated wood industry recommends use of Stainless Steel and hot-dip galvanized connectors and fasteners with treated wood.

- 6. Due to uncertainties, which are out of the specifier's control, in regard to the chemicals used in preservative treated wood, Simpson recommends the use of stainless steel fasteners, anchors and connectors with treated wood when possible. At a minimum, customers should use ZMAK (F15 HDS per ASTM A653), BalcinPost Hot-Dip Galvanized (per ASTM A123 connectors) and ASTM A153 for fasteners), mechanically fastened fasteners per ASTM B625, Class 55 (or greater), product with the newer alternative treated woods. Due to the many variables involved, many of which are controlled by the chemical supplier and the wood treated, Simpson cannot make any recommendations of any galvanneal or other coating for the use with treated wood. Additionally, because of the many variables involved, Simpson cannot provide estimates on service life of connectors, anchors or fasteners. We suggest that all users and specifiers obtain recommendations for fastening HDS, G15, HDS, mechanically galvanized, or other coatings from their treated wood supplier. (Stainless treated wood chemical suppliers have identified their factory galvanized recommendations and include G155 HDS in their recommendation.) Contact Simpson for availability of ZMAK, BalcinPost Hot-Dip Galvanized, and Stainless Steel products.

- 7. G90 galvanized products should not be used with treated woods.
- 8. G55 galvanized connectors can be used with Soudure Borate (DOT - Disodium Octaborate Tetrahydrate) treated woods. Sodium Borate treated woods are not suitable for applications where residues exposure is likely. They are suitable for metal applications when tarp-covered, stored, and installed appropriately.

- 9. Uncoated and painted products should not be used with treated woods.
- 10. When using Stainless Steel or hot-dip galvanized connectors, the connectors and fasteners should be made of the same material.

- 11. Bridging in floor and ceiling joists shall be 1" x 3" cross bracing (joists nailed) at 8' o.c. maximum.
- 12. Wall studs shall line up with floor joists of floors above and below.

- 13. Double backs shall be provided below all minor partitions that are parallel with the joists.
 Notches in exterior wall or interior bearing wall studs are not to exceed one-fourth of the stud width, and no holes are to be bored greater than 40% of the stud width.
 Notches in floor, joist, and roof rafters shall not be located in the middle one-third of the span.
 Notches in the top or bottom of the member are not to exceed one-third of the member depth.
 Holes shall not be bored larger than one-third of the member depth, or within two inches of the top or bottom of the member, or within two feet of bearing. No holes or notches are allowed in beams unless approved by architect/engineer.

- 14. All end bearing points shall be continuously braced into floor framing down to slab bearing on foundation wall or interior steel beam.

- 15. All bearing points under concentrated loads, at the support points of beams and headers, and where indicated in a wall on the drawings, shall be at least the width of the bearing, structural member, and/or a minimum of one 2x six couple nailed together with 8d nails at 16" o.c. to 1/4" full height and for spans up to 8'0"; and (2) 2x couples for spans greater than 8'0"; unless otherwise noted.

- 16. All multiple beams and beams shall be fastened together at top and bottom into each adjacent member with (minimum) two rows of 16d nails at 12" o.c. for beam depths less than 12". For depths greater than 12", through-bolt with 1/2" diameter bolts at 12" o.c. staggered top and bottom.

CONSTRUCTION AND SAFETY

- 1. Contractor shall brace entire structure as required to maintain stability until complete and functioning as designed unit.
- 2. Architect/engineer shall not be responsible for the means, methods, techniques, sequence, or precautions of construction unless by contractor.
- 3. The contractor is responsible for the conditions of the job site including safety of all persons and property during performance of the work. This responsibility is split continuously and is not limited to normal working hours. When on site, the architect/engineer is responsible for his own safety but has no responsibility for the safety of other personnel or safety conditions of the site.

- 4. Contractor and his agent(s) shall verify all information and dimensions contained within these construction documents. Contractor shall verify all existing conditions, including building, site conditions, and soil bearing pressure. All errors, omissions, and inaccuracies are to be reported to the architect/engineer before any work begins. If the contractor is unable to verify or release the architect/engineer of all responsibility. Any changes from these documents are the responsibility of the contractor. These drawings are not to be protected. If insufficient information exists, contact the architect/engineer for clarification before proceeding with work.

GENERAL NOTES

- 1. Document Description: In any case that the specifications and/or plan set conflict or disagree, the following is the order of succession of these documents:
 - 1) Geotechnical Report & Recommendations
 - 2) Structural Engineers and other Engineer's Specifications
 - 3) Architectural Specifications
 - 4) Structural and other Engineer's Details
 - 5) Structural and other Engineer's Plans
 - 6) Architect's Schedule
 - 7) Architectural Plans
 - 8) Written change order or additional work authorization supersedes all above.
- 2. Surveys: All site layouts for construction shall be by contractor.
- 3. General contractor shall bear full responsibility and costs for all permits, fees, temporary utilities, etc. (General building permit & HVAC permit fees shall be by owner).
- 4. Architectural drawings required for general building permit and construction shall be provided by the owner. Original shall be provided to contractor upon request.
- 5. Contractor shall bid the work through 100% completion.
- 6. Contractor shall schedule all "special inspections" required by code (Special inspections that be provided by the owner).
- 7. Any changes requested by owner on the original scope of work, including additions or deletions must be confirmed in writing with a change order, signed by contractor, and accepted by owner before starting work.
- 8. The general contractor (or construction manager), subcontractors and material suppliers shall provide a full, minimum one-year limited warranty (or longer if required by law, governing authorities, or provided by manufacturer), which becomes effective at date of substantial completion. All appliance, equipment, and roofing warranties shall be assigned to owner.
- 9. All loading, erection, plans, and existing wall work shall be inspected and monitored by a geotechnical engineer during excavation and prior to placement of concrete. A geotechnical engineer is to specify, inspect, and monitor soil compaction under all footings, piles, retaining walls, concrete slabs, drives, parking areas, and other construction.
- 10. All footing, foundations, and piers shall bear a total unbraked soil. All concrete slabs, paving, and paving shall be on 100% compacted base per standard practice - ASTM D919.

- 11. Electric, plumbing, fire alarm, and mechanical contractors are responsible for providing their own permits, inspections, and approvals (HVAC permit by owner). This includes furnishing all designs, drawings, design calculations, details (HVAC, electric and plumbing, design, specs and drawings) by owner, fire logging, and specifications required by the building department and ASTM A153 for fasteners), mechanically fastened fasteners per ASTM B625, Class 55 (or greater), product with the newer alternative treated woods. Due to the many variables involved, many of which are controlled by the chemical supplier and the wood treated, Simpson cannot make any recommendations of any galvanneal or other coating for the use with treated wood. Additionally, because of the many variables involved, Simpson cannot provide estimates on service life of connectors, anchors or fasteners. We suggest that all users and specifiers obtain recommendations for fastening HDS, G15, HDS, mechanically galvanized, or other coatings from their treated wood supplier. (Stainless treated wood chemical suppliers have identified their factory galvanized recommendations and include G155 HDS in their recommendation.) Contact Simpson for availability of ZMAK, BalcinPost Hot-Dip Galvanized, and Stainless Steel products.

- 12. Contractor shall verify all the information contained in these documents. Contractor to verify all existing conditions including building, site conditions, and soil bearing pressure, etc. All errors, omissions, and inaccuracies are to be reported to the architect before fabrication of bid. Failure to do so shall release the architect and owner of all responsibility. Any changes from these documents are the responsibility of the contractor. These drawings are not to be protected. If any discrepancies in specifications or plans, the most stringent shall apply. If insufficient information or conflicts with drawings exist, contact the architect for clarification before submitting bid (and/or proceeding with the work).

- 13. Contractor shall ensure structural integrity of existing conditions where apparent or assumed existing construction does not appear to comply with current standards for new construction, consult with building official for applicable replacement requirements.

- 14. Contractors, labor, permits, inspections, materials, failures, equipment, and installation of such are to comply with all governmental requirements, codes, governing authorities, and safety regulations. Work shall be completed in accordance with plans and specifications. All work shall be executed in a timely and workmanlike manner. Approval of all contractors and suppliers shall be solely at the discretion of the owner.

- 15. "Provide" shall mean to "furnish and install". Named products are intended as "basis of design" selections to establish a level of quality - contractor may use alternative products if acceptable to owner. Contractor shall submit product information to the owner to confirm compliance with manufacturer's and owner's approval.

- 16. Exterior dimensions are to face of foundation/foots of studs, or face of masonry; interior dimensions are to face flats.

- 17. All contractors must install any required/needed, conduits, pipes, drains, outlet boxes, etc. in concrete floor or precast areas prior to pours.

- 18. All dimensions are to rough framing or actual masonry sizes.
- 19. Install control joints as specified in structural plans and sections.

- 20. Provide sealant at all joints between all dissimilar materials, including all windows and doors, at all floors and beams at exterior walls, all expansion joints, all curtain walls, etc. and where indicated on drawings to assure complete weathertighting of building typical detail joint to be 3/16" unless noted otherwise.

- 21. Smoke detectors to be installed per Ohio Building Code. Smoke detector shall be approved, listed and labeled type, and installed per manufacturer's specifications and labels as indicated on plans, and where required by code.

- 22. Plumbing supply lines shall not run in exterior walls, unheated ceiling spaces, or unheated crawl spaces.
- 23. Provide soil treatment protection for lawns.

- 24. All materials and equipment shall be installed per manufacturer's instructions and specifications.
- 25. Entire building to have fire suppression system and stand pipes.
- 26. Provide code and emergency light as required by code.

- 27. All steel trim opening details shall be hot dip galvanized in sizes as shown on plans. Provide flashing above lintels and under windows with weep holes at 2' o.c.
- 28. Install painted sill flashing under all new windows and doors.

- 29. On exterior framed walls (not ceilings) use a vapor retarder by "Membrane" on the inside surface of framing.
- 30. Use "Extruded Dimpled Reinforced Barrier" over exterior sheathing. Flash all window, door and lower openings per Extrinsic Dims Reinforcements and guidelines.

- 31. Leave window and door sashes on for building inspectors.
- 32. All new hardware shall be per ACI 117.1.
- 33. All floor sheathing shall be 1/2" E G (glued and screwed).
- 34. Install expansion joints as specified by material manufacturers.

- 35. Install all ceilings to receive drywall shall have smooth finish on all surfaces with skin coat. All gypsum board and corner beads shall be installed using screws. All ceiling shall be 5/8" type "X" unless otherwise noted on plans. Gypsum board or sheath to be by U.S.G. Provide all trim and accessories as required. Install per manufacturer's instructions. Use "T" head where exposed gypsum board is required. Use green board on bathroom walls and ceilings (do not install over door barriers). Contractor to keep drywall clean and dry during construction.

- 36. Exterior painting - All miscellaneous exterior trim, doors, existing windows, trim, louvers, railings, conduits, gutters, soffits, downspouts, etc. shall be painted with one coat of primer and one coat of semi-gloss latex. All exterior back shall be scraped, pressure washed, one coat of primer and one coat of flat latex. All colors shall be approved by architect. Provide alternate price for second coat of finish paint.

- 37. Interior painting - All walls and ceilings (except as noted): All drywall and plaster surfaces shall receive one coat of primer and two coats of flat latex wall paint (color to be selected by architect). All trim, exposed door work, pipes, wires, scummed lines, miscellaneous trim, stairs, railings, etc. shall be painted with two coats of semi-gloss latex. Second finish coat shall be applied with a small, all-impregnated roller. Use green board on bathroom walls and ceilings (do not install over door barriers). Contractor to keep drywall clean and dry during construction.

- 38. Metal painting: All exposed ferrous metal shall be cleaned, primed with rust-inhibiting metal primer prior to finish paint -2 coats minimum, or as necessary to provide a durable finish and acceptable finished appearance.

Installation and Finishing Requirements by Component (1) - All Cladding shall be Low "C"

FINISHING FACTOR	0.35
SKYLIGHT FACTOR	0.60
GLAZED PENETRATION SCHEDULE	DN
ROOF WALL (DO NOT INCLUDE)	20
METAL FRAME WALL IN-VALUUE	13

For Slab 1 foot = 304.8 mm.
 If R-values are minimum, U-factors and GIMC are maximums.
 The Specification U-factors column applies to glazing. The GIMC column applies to all glazed fenestrations.

Electrical, plumbing, HVAC, fire alarm, and sprinkler contractors shall provide to owner an electronic copy of accessible "As-Built" drawings. They shall also provide owner with manufacturer's manuals on all equipment.

Contractor to protect all construction materials from exposure to the elements. All wood should be dry when installing, and covered after placement from exposure to moisture, protection from the elements. Store on pallets, do not place materials directly on earth. Store all wood materials to avoid warping and moisture absorption.

Contractor shall patch and repair all areas affected by demolition or new construction with materials and methods to match existing conditions in a workmanlike manner. Contractor to restore to original condition any damage to driveways, yards and other property, not or personal, on and adjacent to project site.

Contractor shall keep sheets, site, and building clear at all times. Contractor shall take all necessary steps to prevent damage and to minimize disturbance to existing building, site, and adjacent properties (and occupants use of premises). Contractor shall maintain work site in a orderly manner, free of debris and store material so as to minimize interference with the work and use of the building and site by the tenants, owner and other contractors.

Contractor shall provide all necessary erosion control.

General contractor shall supervise the work during progress and shall be responsible for all construction means, methods, techniques, sequence, and procedures. Contractor shall provide and be responsible for any temporary shoring and/or bracing as required to maintain stability until structure is complete and functioning per the design intent.

General contractor is responsible for coordination of bidding and installation of all work and materials between subcontractors.

When differences or omissions occur between project design criteria and provisions of authority having jurisdiction, the most stringent shall apply.

Contractor shall be responsible for safety at the job site at all times, not limited to working hours. Contractor to ensure compliance with all applicable regulations, including local, state, federal, O.S.H.A., etc. All work shall comply with all local, state and federal codes and ordinances having jurisdiction.

Revisions
 August 31, 2015
 September 28, 2015

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STRIETMANN BUILDING
 235 WEST 12TH STREET
 CINCINNATI, OHIO

DATE: 8/29/2015
 COMM NO: 817
 SHEET NO:

A-1.2

CONSTRUCTION NOTES

CONCRETE SIDEWALK REQUIREMENTS

- All sidewalk work shall be completed by contractors licensed by the City of Cincinnati.

CONCRETE REPAIR NOTES

- Define and mark edges of spalled and delaminated concrete with hammer sounding.
- Smooth along marked edges in straight lines to a minimum depth of 1". Do not cut existing reinforcing steel.
- Chip and remove spalled and delaminated concrete within the boundaries of the saw cuts down to sound un-cracked concrete.
- Power tool clean any exposed reinforcing steel down to bare metal.
- Power wash and drain exposed concrete and reinforcing steel in accordance with the bonding agent manufacturer's recommendations.
- Apply epoxy bonding agent, Sikadur 32 HI-MOD, to exposed and cleaned concrete and reinforcing steel surfaces immediately prior to installing repair mortar in accordance with the manufacturer's instructions.
- Travel apply repair mortar, Sikaprep 223, to vertical and overhead locations in accordance with manufacturer's instructions.

BRICK CLEANING REQUIREMENTS:

- The south building elevation will be cleaned, but not painted. Exterior cleaning of any brick and/or stone facades shall implement the following methodology:
 - The contractor shall become familiar with Preservation Brief #1, Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings, published by the National Park Service, U.S. Department of the Interior. This document should be the overall philosophy and guidelines for undertaking any cleaning of historic masonry associated with this building.
 - The recommendation for a cleaning agent will be provided to the contractor. Contractor shall follow manufacturer's specifications for mixing. Test patches will be undertaken starting out on the lowest possible pressure that begins to clean the surface.
 - Apply a pressure grade to the spray nozzle that will reach the pressure at which the cleaning agent and water are being applied. Make test patches utilizing various pressures to determine the most effective cleaning pressure without harming brick or mortar. Begin at 100 psi and raise in stages to 400 psi.
 - Test patches will be inspected by the preservation consultant, architect, and developer. When the most effective cleaning pressure is determined, photograph the test patches and indicate the particular cleaning methods utilized for each patch. Indicate the test patch representing the cleaning method proposed for this project. Submit this documentation to the Ohio Historic Preservation Office for their consultation and approval.
 - Obtain approval of the Ohio Historic Preservation Office for the selected cleaning method prior to proceeding with any work.

REPORTING REQUIREMENTS:

- The masonry contractor will become familiar with Preservation Brief #2 Reporting Mortar Joints on Historic Buildings published by the National Park Service, U.S. Department of the Interior. This shall be the overall philosophy and guidelines for undertaking any reporting to historic masonry associated with this building.
 - Masonry contractor will have a mortar analysis performed for the existing mortar located at the original 1899 building and for the 1936, 1910, and 1914 additions. The results established for each building will serve as the basis for a new compatible reporting mortar mix. Once the compatible mortar mix is established, other aspects of the mortar mix will be addressed. New reporting mortar mix for each sample will match in sand grain and aggregate size, texture, hardness, color, and lapping. Type of cement will be reviewed to ensure compatibility to original mortar hardness and color.
 - If it is determined that the color of the reporting mortar needs to be adjusted to match the original mortar color, it is recommended that a cleanability plan, mineral coats that is alkali proof and suitable for incorporated into additional test patches in small amounts in order to determine a compatible color match.
 - Should it be necessary to replace any deteriorated brick, the replacement brick is to match adjacent brick in color, size, texture, and hardness.
 - Areas to be repaired will have old mortar removed from joints to a minimum depth of approximately 1 inch. Prior to any removal of deteriorated mortar, masonry contractor will consult with preservation consultant, architect, and developer as to the specific method of removal. Hand tools are recommended for mortar removal. The use of small power tools may be approved if it is demonstrated that their use is an effective way to remove deteriorated mortar and does not harm the existing historic masonry.
- Test patches are to be applied using an approved new reporting mortar mix. These should be applied adjacent to existing mortar and allowed to dry. Once an acceptable reporting sample is identified by the preservation consultant, architect, and developer, the reporting formulation will be forwarded to the Ohio Historic Preservation Office for review and approval.
- The work shall be undertaken without the Ohio Historic Preservation Office (OHPO) approval.

STEEL LINTEL SCHEDULE			
LINTEL DESIGNATION	STEEL ANGLE SIZE	MAXIMUM SPACING (INCHES)	MINIMUM END BEARING (INCHES)
BL1	L 3 1/2" x 3 1/2" x 1/4"	5'	4"
BL2	L 4" x 3 1/2" x 1/4"	6'	5"
BL3	L 5" x 3 1/2" x 1/4"	8'	6"
BL4	L 6" x 3 1/2" x 3/8"	10'	7"
BL5	L 7" x 4" x 3/8"	12'	8"
BL6	L 8" x 4" x 1/2"	14'	9"

MASONRY LINTEL SCHEDULE			
LINTEL DESIGNATION	LINTEL TYPE (SPACING)	MAXIMUM SPACING (INCHES)	MINIMUM END BEARING (INCHES)
ML1	6" HIGH BOND BEAR (1/4" @ 20" O.C.)	4'	6"
ML2	6" HIGH BOND BEAR (1/4" @ 20" O.C.)	4'	6"

LINTEL NOTES

- All lintels exposed to the exterior shall be hot-dipped galvanized.
- The first two sizes given above shall be the typical size.
- Lintel sizes may be used for openings in concrete masonry using an angle for every 4' of masonry wall.
- Initial openings shown, spliced, shall be installed masonry opening at below maximum span.
- Provide details at all mechanical penetrations of interior masonry walls. Coordinate size and location of openings with appropriate trades.
- Refer to architectural drawings for opening sizes.

Architectural drawings for River Ridge Coal Station. The drawings include a site plan, floor plans, and elevations. A photograph shows the exterior of the building, which is a large, multi-story structure with a prominent chimney stack. The drawings are detailed and show the layout of the building and its surroundings.

Roenker Engineering, Inc. Structural Consultants. 8274 Highway 222, Dayton, OH 45424. Phone: (937) 233-9000. Project: River Ridge Coal Station. The drawings show the structural details of the building, including the chimney stack and the main structure. The drawings are detailed and show the layout of the building and its surroundings.

Heavy-Duty and Stormite Heavy-Duty Rolling Service Doors. Rolling Service Door Systems. The 610 and 620 Series. The Ultimate Door for Strength, Versatility and Good Looks. The advertisement features a large image of a rolling service door and text describing its features and benefits. The text highlights the door's strength, versatility, and good looks, and provides information about the different models and options available.

Strietmann Building. 235 West 12th Street, Cincinnati, Ohio. The advertisement features a large image of the building and text describing its location and features. The text highlights the building's location in downtown Cincinnati and its proximity to major transportation routes. The advertisement also provides information about the building's size and features.

Revisions:
 September 28, 2015
 November 3, 2015

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STRIETMANN BUILDING
 235 WEST 12TH STREET
 CINCINNATI, OHIO

DATE: 07/25/05
 COMM NO:
 BIT
 SHEET NO:
 A-13

GENERAL DRAWING NOTES

1. GENERAL ALL RISER AND DOWNPOUT LINES, AND REPLACE ALL INTERIOR ROOF DRAIN LINES. GENERAL ALL DOWNPOUT LINES BELOW GRADE AT EXTERIOR TO THEIR POINT OF DISCHARGE TO EXISTING DRAINAGE SYSTEM.
2. RISER WASH CLEAN INTERIOR FACES OF STONE FOUNDATION WALLS AND TUCK POINT WITH NEW MORTAR, TYPICAL THROUGH-OUT.
3. INSTALL NEW FILL SPAN 2x JOIST (MATCHING EXISTING) TO ALL NOTICED, DILLED, OR DAMAGED FLOOR AND ROOF JOISTS. FASTEN WITH 1/2" DIA. CARRIAGE BOLTS AT 24" OC. TOP AND BOTTOM BRAGGED PATTERNS.
4. STAIRS SHALL HAVE 17" MINIMUM RISER HEIGHT AND 11" MINIMUM TREADS. RAFTERS SHALL BE 1 x 8 PITCH CROSS SLOPE AT BOTH STAIRS AND RAFTERS SHALL BE 2x4 MINIMUM PROVIDE 4x8" PITCH FINISH TEXTURE ON STAIR AND RAFTERS SLABS.
5. PROVIDE SHOP DRAWINGS OF PROPOSED CONTROL JOINT LAYOUT AND DETAILS (SAUCUT OR GROOVED, FOR EXAMPLE) FOR REVIEW PRIOR TO PLACING CONCRETE.

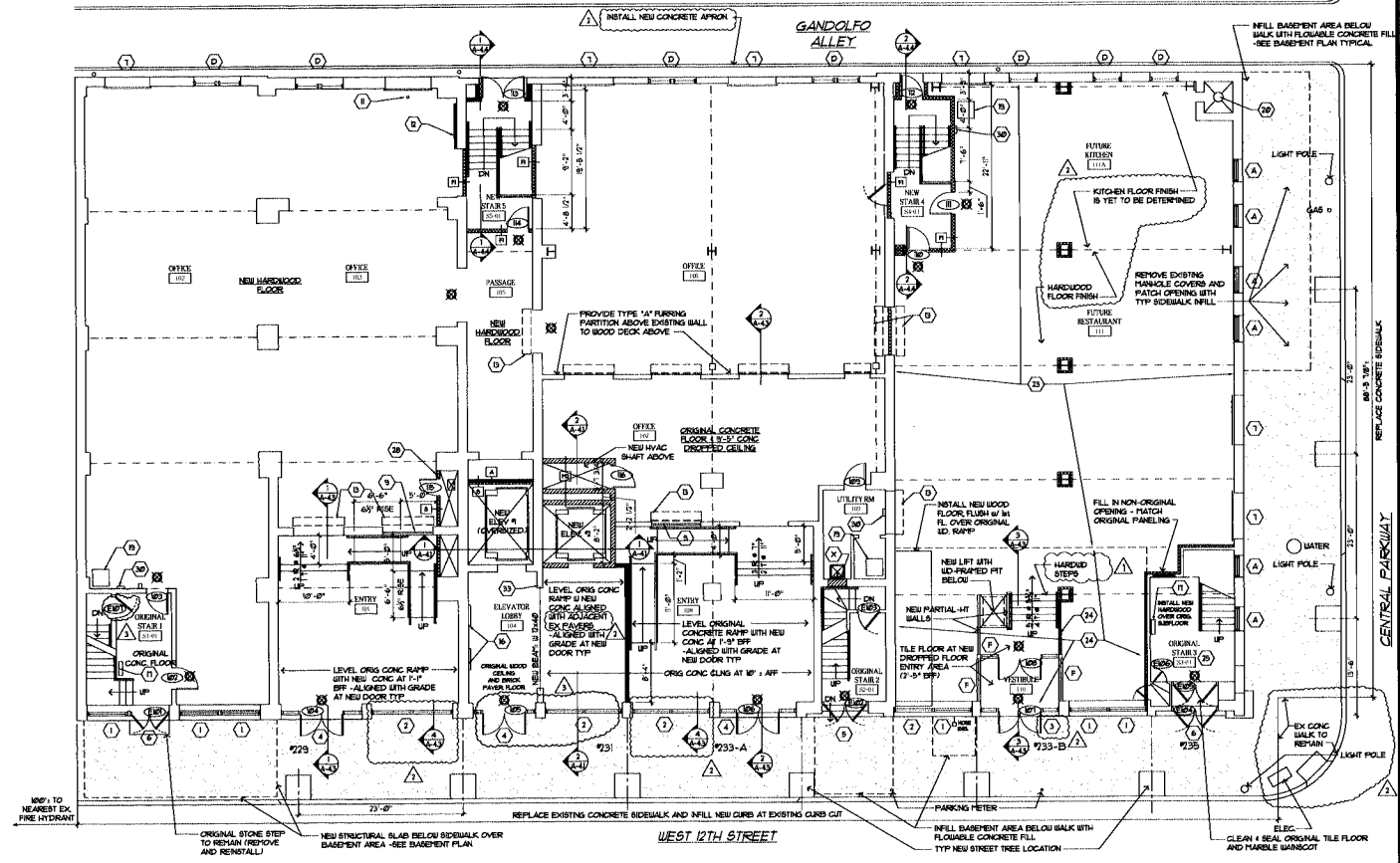
WINDOW NOTES

BASES OF DESIGN FOR ALL ALUMINUM FRAME REPLACEMENT WINDOWS:
 11-28" SERIES 350 SINGLE HANG WINDOWS BY AULAN UNDOORS AND DOORS CORPORATION WITH 7" COLORADO SIMULATED DIVING LITE/ GLAZING LOGS
 FINISH LITE - CONCRETE LITE COVER PRIOR TO ORDERING ALL WINDOWS SHALL BE CONFIRMED TO FIT EACH BEARING FRAME. COMPLETE FIELD VERIFY ALL OPENING DIMENSIONS FOR REPLACEMENT WINDOW PRIOR TO ORDERING. PRIOR TO ORDERING WINDOW CONTRACTOR SHALL PROVIDE A SAMPLE INSTALLATION OF PROPOSED WINDOW FOR HISTORIC REVIEW.

- A) EXISTING NON-ORIGINAL ALUMINUM FRAME WINDOWS - PROVIDE ALLOWANCE TO REPAIR AND REPLACE FINISH SCREENS AND PAINT EXTERIOR SURFACES (WITH MATCHING COLORATION)
- B) NEW ALUMINUM WINDOWS IN ORIGINAL BRICKED-IN MASONRY OPENINGS (WITH MATCHING CONFIGURATION)
- C) NEW ALUMINUM WINDOWS IN NEW MASONRY OPENINGS (WITH MATCHING CONFIGURATION)
- D) REPLACE ORIGINAL WIRE GLASS/METAL WINDOWS WITH CLEAR GLASS/ALUMINUM WINDOWS WITH SAFE CONFIGURATION
- E) REPLACE NON-ORIGINAL BASEMENT WINDOWS AND NON-ORIGINAL SECURITY BARS WITH NEW ALUMINUM WINDOWS AND NEW SECURITY BARS
- F) NEW WOOD INTERIOR STOREFRONT - PROVIDE SHOP DRAWINGS
- G) REPLACE ORIGINAL BASEMENT WINDOW + NON-ORIGINAL SECURITY BARS w/ NEW ALUMINUM WINDOWS AND NEW SECURITY BARS
- H) REPLACE ORIGINAL WINDOWS w/ NEW ALUMINUM IN SAFE CONFIGURATION
- J) REMOVE EXISTING ROOFING TERRACE FROM PARAPET WALL (IF IN PLACE) AND REPAIR ORIGINAL WINDOW FINISH OF WINDOW OPENING TO ALIGN WITH FINISHED INTERIOR WALL SURFACE.

DRAWING NOTES

1. REPAIR ORIGINAL STOREFRONTS
2. INSTALL NEW WOOD + GLASS STOREFRONTS WHERE ORIGINAL STOREFRONTS HAVE BEEN PREVIOUSLY REMOVED
3. REPLACE WOOD + GLASS STOREFRONTS WITH NEW DOORS AND MATCHING SIDE LITES
4. REPAIR NON-ORIGINAL GARAGE DOOR WITH NEW WOOD DOORS AND SIDE LITES
5. REPAIR ORIGINAL ENTRANCE + ENTRANCE AND REPLACE NON-ORIGINAL TRANSOM
6. REPLACE NON-ORIGINAL GARAGE DOOR WITH METAL GARAGE DOOR BASES OF DESIGN OR OVERHEAD DOOR OPERATING SERIES WITH 10-20% SLAB. REPLACE TRANSOM ABOVE WITH REPLACEMENT MATCHING EXISTING CONFIGURATION.
7. REPLACE NON-ORIGINAL GARAGE DOOR AT FRONT DOOR 2 BLACK ALUMINUM PICKET RAILING
8. GROUNDWALL AT 3'-6" AFF (AT ROOF PARAPET - SEE APPLICABLE DETAILS)
9. CABLE GUARDRAIL AT 3'-6" AFF (AT ROOF TERRACE - SEE DETAIL 7)
10. PROVIDE ADDITIONAL SPRINKLER COVERAGE AT OPENINGS ADJACENT TO FIRE ESCAPES (ONE HEAD PER WINDOW)
11. EXISTING ROLLING FIRE DOOR - DEACTIVATE AND PAINT, TYPICAL THROUGHOUT
12. ORIGINAL OVERHEAD FIRE DOORS - DEACTIVATE + PAINT, TYP.
13. INSTALL NEW 42" HIGH GUARDRAIL AND 36" HIGH HANDRAIL
14. PAINT EXISTING BOILER DOORS TO EXISTING HANDRAIL/GRADES
15. ORIGINAL INDUSTRY TO REMAIN, REPAIR AND REFINISH ON OUTDOOR SIDE, PAINT BLACK ON REARWARD RESTROOMY SIDE
16. ORIGINAL WINDOWS TO REMAIN, REPAIR AND REFINISH ON OUTDOOR SIDE, PAINT BLACK ON REARWARD RESTROOMY SIDE
17. TRANSFORMER (750/250/300VA) - SEE ELECTRICAL DRAWINGS
18. FUTURE GREASE DUCT LOCATION INSIDE EXISTING 11" HOAM PRISM FIRE RATED THATCHOUT CHIMNEY - BY OTHERS (FUTURE RESTAURANT TENANT) UNDER SEPARATE PERMIT - N/C
19. FUTURE GREASE DUCT AND EXHAUST FAN - BY OTHERS (FUTURE RESTAURANT TENANT) UNDER SEPARATE PERMIT - N/C
20. RE-USE EXISTING ORIGINAL WOOD PANELS THAT ARE IN NON-ORIGINAL LOCATION TO RE-BUILD ORIGINAL WALLS THAT ORIGINAL WOOD PANELS REMOVED
21. PROVIDE 1/2" HORN RATED CEILING - SEE DETAILED DESCRIPTION ON BUILDING CODES INFORMATION SHEET - TYPICAL FOR ALL FIRE RATED CONSTRUCTION
22. REMOVE ORIGINAL TN CEILING IN THIS AREA. INSTALL RATED DRYBELL CEILING + INSTALL NEW TN CEILING OF SIMILAR STYLE
23. ORIGINAL WOOD PANELING WALL FINISH TO REMAIN, REFINISH AT SECOND FLOOR
24. REPAIR TN CEILING - TYPICAL THROUGHOUT ENTIRE ORIGINAL EXECUTIVE OFFICE SUITE
25. NEW HANGERY LINTEL - SEE LINTEL SCHEDULE
26. 2" HORN RATED WALL FROM FLOOR SLAB TO UNDERSIDE OF CEILING SLAB - HOLDING FOR HVAC LINES. PROVIDE NEW 2" x 8" JOIST IN FLOOR INSIDE OF TRANSFORMER CHIMNEY FOR EXISTING REAR LOCATION AND VERIFY WITH ARCHITECT PRIOR TO CUTTING FLOOR.
27. FUTURE SHOP DRAWING FOR HVAC LINES
28. ELECTRIC PANEL LOCATION - SEE ELECTRICAL DRAWINGS
29. REMOVE NON-ORIGINAL WINDOWS AND INFILL OPENINGS WITH CONSTRUCTION MATCHING ADJACENT CONSTRUCTION
30. PROVIDE CLOSED-CELL ICYENRE 4" MIN FINISHED THICKNESS
31. TYP NEW 4" x 8" x 12" BEARING PLATE AT EACH END OF NEW BEAM
32. INSTALL NEW 1/2" x 4" x 8" LVL BEAMS AT POINTS BETWEEN EXISTING BEAMS. PLACE 1/2" TO UNDERSIDE OF EXISTING DECKING. PROVIDE JOIST HANGERS CONNECTION TO EXISTING WOOD JOIST (WHERE THE LVL JOISTS ARE) PROVIDE 1/2" DIAMETER CARRIAGE BOLTS AT 30" ON CENTER TOP AND BOTTOM IN TRANSVERSE DIRECTION. HANGERS CONNECTION AT 1/2" FROM FINISH FACE.
33. TYPICAL NEW EXTERIOR ENCLOSURE AT ROOFTOP AREA - GALV METAL SIDING TO MATCH EXISTING OVER 2x6 METAL STUDS OVER 2x8x16x16 WALL BRACING OVER 2x6 METAL STUDS AT 24" OC.
34. TYP NEW FILL FLOOR BRACING OVER 2x8x16x16 WALL BRACING OVER 2x6 METAL STUDS AT 24" OC. BRACING SHORT DIRECTION SUPPORTED ON JOIST HANGERS/JOIST PT 2 x 4 LEDGER BOARDS ANCHORED TO EXISTING BRICK/CONCRETE WITH 1/2" DIA. ANCHOR BOLTS AT 24" OC. TOP AND BOTTOM WITH 4" EPDM-EXTEND INTO BRICK.
35. NEW FLOOR TYP ROOF TERRACE OVER TYP NEW 2x6 ROOF BRACING OVER 2x6x16x16 METAL STUDS AT 24" OC.



FIRST FLOOR PLAN GEOMETRICAL SPACE
 1/8" = 1'-0" 1/4" = 1'-0"

WALL LEGEND	
	EXISTING WALL CONSTRUCTION MAY INCLUDE MASONRY, CONCRETE, OR WOOD FRAMED CONSTRUCTION
	NEW MASONRY CONSTRUCTION - SEE WALL TYPES FOR SPECIFIC FIRE RATINGS, TYPICAL
	NEW METAL-FRAMED WALL CONSTRUCTION (UNRATED)
	NEW FIRE-RATED METAL-FRAMED WALL CONSTRUCTION
	STORAGE AREA BELOW WALK - METAL FRAMING WITH 1/2" OSB ON ONE SIDE ONLY, STOPPING SHORT OF CEILING

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DATE: 02/25/2015
 COMM NO: 511
 SHEET NO:

A-2.1

GENERAL DRAWING NOTES

- CAMERA ALL RISER AND DOWNPOUT LINES AND REPLACE ALL INTERIOR ROOF DRAIN LINE. CAMERA ALL DOWNPOUT LINES BELOW GRADE AT EXTERIOR TO THEIR POINT OF DISCHARGE TO STREET OR TO SEWAGES DRAIN.
- POWER WASH CLEAN INTERIOR SURFACES OF STONE FOUNDATION WALLS AND TUCK POINT WITH NEW MORTAR, TYPICAL THROUGHOUT.
- INSTALL NEW RILL-SPAN JOIST (MATCHING EXISTING) TO ALL NOTICED, SKILLED, OR DAMAGED FLOOR AND ROOF JOISTS. FASTEN WITH 1/2" DIA. CARBIDE BOLTS AT 24" OC TOP AND BOTTOM (BRAGGER) PATTERN.
- STAIRS SHALL HAVE 7" HANDBAR RISER HEIGHT AND 12" HANDBAR TREADS. RAMP SHALL BE 1:12 PITCH CROSS SLOPE AT BOTH STAIRS AND RAMP. RAMP SHALL BE 24" HANDBAR PROVIDE 1/4" PROOF FINISH TEXTURE ON STAIR AND RAMP FLATS.
- PROVIDE SHOP DRAWINGS OF PROPOSED CONTROL JOINT LAYOUT AND DETAILS (BOLTS/OUT OR GROOVED, FOR EXAMPLE) FOR REVIEW PRIOR TO PLACING CONCRETE.

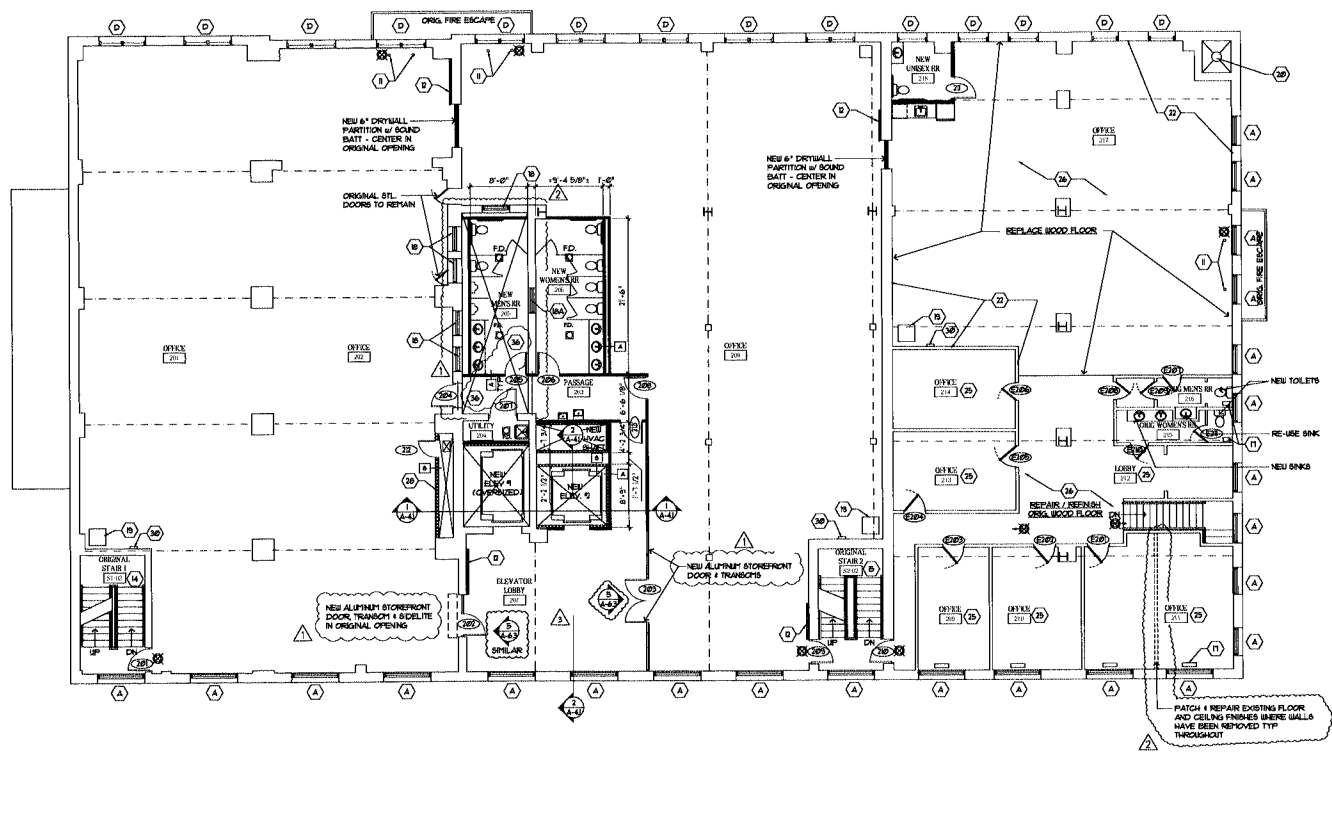
WINDOW NOTES

BASIS OF DESIGN FOR ALL ALUMINUM FRAME REPLACEMENT WINDOWS: 1-1/2" SERIES 351 SINGLE HANG WINDOW BY SOJAN WINDOW AND DOOR CORPORATION WITH 1" COLORAL SHIELD STAINED LITEGLASS LENSING. LENSING SHALL MATCH EXISTING. COVERS WITH COVER PRIOR TO ORDERING. ALL WINDOWS SHALL BE CUSTOM-SIZED TO FIT EACH HISTORIC MASONRY OPENING COMPLETELY. HELD VERIFY ALL OPENING DIMENSIONS FOR REPLACEMENT WINDOWS PRIOR TO ORDERING. PRIOR TO ORDERING WINDOW CONTRACTOR SHALL PROVIDE A SAMPLE AND ANALYSIS OF PROPOSED WINDOW FOR HISTORIC REVIEW.

- EXISTING NON-ORIGINAL ALUMINUM FRAME WINDOWS - PROVIDE ALLOWANCE TO REPAIR AND REPLACE HANGING SCREWS AND PAINT EXTERIOR SURFACES WITH MATCHING CONFIGURATION.
- NEW ALUMINUM WINDOWS IN ORIGINAL BRICKED-IN MASONRY OPENINGS WITH MATCHING CONFIGURATION.
- NEW ALUMINUM WINDOWS IN NEW MASONRY OPENINGS WITH MATCHING CONFIGURATION.
- REPLACE ORIGINAL WIRE GLASS/METAL WINDOW WITH CLEAR GLASS/ALUMINUM WINDOW WITH SAFE CONFIGURATION.
- REPLACE NON-ORIGINAL BASEMENT WINDOW AND NON-ORIGINAL SECURITY BARS WITH NEW ALUMINUM WINDOW AND NEW SECURITY BARS.
- NEW WOOD INTERIOR STOREFRONT - PROVIDE SHOP DRAWINGS.
- REPLACE ORIGINAL BASEMENT WINDOW & NON-ORIGINAL SECURITY BARS WITH NEW ALUMINUM WINDOW AND NEW SECURITY BARS.
- REPLACE ORIGINAL WINDOW WITH NEW ALUMINUM WINDOW IN SAFE CONFIGURATION.
- REMOVE EXISTING ROOFING MEMBRANE FROM PARAPET WALL (IF IN PLACE) AND REPAIR ORIGINAL WINDOW FRAME INSIDE OF WINDOW OPENING TO ALUM WITH FINISHED INTERIOR WALL SURFACE.

DRAWING NOTES

- REPAIR ORIGINAL STOREFRONTS.
- INSTALL NEW WOOD 1-1/2" SERIES STOREFRONTS WHERE ORIGINAL STOREFRONTS HAVE BEEN PREVIOUSLY REMOVED.
- REPLACE WOOD & GLASS STOREFRONTS WITH NEW DOORS AND MATCHING SIDE LITS.
- REPLACE NON-ORIGINAL GARAGE DOOR WITH NEW WOOD DOORS AND SIDELITS.
- REPAIR ORIGINAL DOORS & ENTRANCE AND REPLACE NON-ORIGINAL TRANSOM.
- REPAIR ORIGINAL ENTRANCE & DOORS.
- REPLACE NON-ORIGINAL GARAGE DOOR WITH METAL GARAGE DOOR. BASIS OF DESIGN IS OVERHEAD DOOR CORPORATION MODEL 400 WITH 10-23" SLATS. REPLACE TRANSOM ABOVE WITH REPLACEMENT MATCHING EXISTING CONFIGURATION. ALSO REMOVE DOORS.
- REPLACE ORIGINAL GARAGE DOOR WITH REDUCED DOOR & BLACK ALUMINUM PICKET RAILING.
- GUARDRAIL AT 3'-6" AFF (AT ROOF PARAPET - SEE APPLICABLE DETAIL).
- CABLE GUARDRAIL AT 3'-6" AFF (AT ROOF TERRACE - SEE DETAIL).
- PROVIDE ADDITIONAL SPRINKLER COVERAGE AT OPENINGS ADJACENT TO FIRE ESCAPES (ONE HEAD PER WINDOW).
- EXISTING ROLLING FIRE DOORS - DEACTIVATE AND PAINT, TYPICAL THROUGHOUT.
- ORIGINAL OVERHEAD FIRE DOORS - DEACTIVATE & PAINT, TYP.
- INSTALL NEW HANDRAIL AT 36" ABOVE TREAD NERAGE.
- INSTALL NEW 4" HIGH GUARDRAIL AND 36" HIGH HANDRAIL ON STAIRS.
- PAINT EXISTING BOILER DOORS TO EXISTING HANDBAR/SLATS.
- ORIGINAL RADIATORS TO REPAIR. SEE MECHANICAL DRAWINGS.
- ORIGINAL WINDOWS TO REPAIR, REPAIR AND REFINISH ON OUTBOARD SIDE, PAINT BLACK ON INBOARD (RESTROOM) SIDE.
- TRANSOM OPEN (TOP/NOPI) - SEE ELECTRICAL DRAWINGS.
- FUTURE GREASE DUCT LOCATION INSIDE EXISTING 12 HOUR RIMPAN FIRE RATED HANDBAR CABINET - BY OTHERS (FUTURE RESTAURANT TENANT) UNDER SEPARATE PERMIT - NC.
- FUTURE GREASE DUCT AND EXHAUST FAN - BY OTHERS (FUTURE RESTAURANT TENANT) UNDER SEPARATE PERMIT - NC.
- RE-USE EXISTING ORIGINAL WOOD PANELS THAT ARE IN NON-ORIGINAL LOCATION TO RE-BUILD ORIGINAL WALLS THAT HAD ORIGINAL WOOD PANELS REMOVED.
- PROVIDE 1-HOUR RATED CEILING - SEE DETAILED DESCRIPTION ON BUILDING CODE INFORMATION SHEET - TYPICAL FOR ALL FIRE-RATED CONSTRUCTION.
- REMOVE ORIGINAL TIN CEILING IN THIS AREA. INSTALL RATED DRYWALL CEILING & INSTALL NEW TIN CEILING OF SIPULAR STYLE.
- ORIGINAL WOOD PANELING SHALL REMAIN. REFINISH AT SECOND FLOOR.
- REPAIR TIN CEILING - TYPICAL THROUGHOUT ENTIRE ORIGINAL EXECUTIVE OFFICE SUITE.
- NEW MASONRY LINTEL - SEE LINTEL SCHEDULE.
- 2-HOUR RATED WALL FROM FLOOR SLAB TO UNDERSIDE OF CEILING SLAB - HANGING FROM HVAC LINES. PROVIDE NEW 2" X 8" OPENING IN FLOOR INSIDE OF EXISTING BOILER CABINET FOR EXISTING REPAIR BOILER CABINET LOCATION WITH ARCHITECT PRIOR TO CEILING FLOOR.
- 2-HOUR RATED EXTERIOR WALL FOR TOILET LINES.
- ELECTRIC PANEL LOCATION - SEE ELECTRICAL DRAWINGS.
- REMOVE NON-ORIGINAL WINDOWS AND RE-ILL OPENINGS WITH CONSTRUCTION MATCHING ADJACENT CONSTRUCTION.
- PROVIDE CLOSED-CELL ICYBER, 4" MIN FINISHED THICKNESS.
- TYP NEW 2" X 8" X 10" BEAMS PLATE AT EACH END OF NEW BEAM.
- INSTALL NEW 4" X 8" X 10" LVL BEAMS AT INTERVAL BETWEEN EXISTING BEAMS. PLACE TIGHT TO UNDERSIDE OF EXISTING DECKING. PROVIDE JOIST HANGERS CONNECTION TO EXISTING WOOD ROOF GIRDERS (TYP. LOCATION) PROVIDE 1/2" DIAMETER CARBIDE BOLTS AT 36" ON CENTER TOP AND BOTTOM IN A TRANSMISSION PATTERN HANGERS CONNECTION TO EXISTING HANGERS.
- TYPICAL NEW EXTERIOR ENCLOSURE AT ROOFTOP AREA. GALVA METAL SIDING TO MATCH EXISTING OVER LEATHER BARRIER OVER DRIP-GLASS WALL. SHEATHING OVER 2x6 GA METAL STUDS AT 16" OC.
- TYP NEW RILL FLOOR STRUCTURE 2" X 8" X 10" OC FRAMING BARRI. DIRECTION SUPPORTED ON JOIST (MATCHING PPT 2 X 8) LEDGER BOARDS ANCHORED TO EXISTING BRICK MASONRY WITH 1/2" DIA ANCHOR BOLTS AT 16" OC TOP AND BOTTOM WITH 4" EPDM GROUND NIB BRICK.
- NEW ROOF TYP ROOF MEMBRANE OVER TYP NEW WOOD ROOF SHEATHING ON 2x6 GA 4" METAL STUDS AT 16" OC.



1 SECOND FLOOR PLAN OFFICE SPACE
14,680 GROSS SF.

WALL LEGEND	
	EXISTING WALL CONSTRUCTION MAY INCLUDE MASONRY CONCRETE, OR WOOD FRAMED CONSTRUCTION
	NEW MASONRY CONSTRUCTION SEE WALL TYPES FOR SPECIFIC FIRE RATINGS, TYPICAL
	NEW METAL-FRAMED WALL CONSTRUCTION (UNRATED)
	NEW FIRE-RATED METAL-FRAMED WALL CONSTRUCTION
	STORAGE AREA WALL - METAL FRAMING WITH 1/2" OSB ON ONE SIDE ONLY, STOPPING SHORT OF CEILING

Revisions:
 August 31, 2015
 September 28, 2015
 November 3, 2015

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DATE: 07/25/2015
 COMM NO.: 917
 SHEET NO.: A-2.2

GENERAL DRAWING NOTES

1. GENERAL ALL SEWER AND DOWNPOUT LINES, AND REPLACE ALL INTERIOR ROOF DRAIN LINE CAMERA ALL DOWNPOUT LINES BELOW GRADE AT EXTERIOR TO THEIR POINT OF DISCHARGE TO STREET OR BELOW-GRADE EVENT.
2. POWER SHALL CLEAN INTERIOR FACES OF STONE FOUNDATION WALLS AND TUCK POINT WITH NEW MORTAR, TYPICAL THROUGHOUT.
3. INSTALL NEW HULL-SPAN 2x JOIST MATCHING EXISTING TO ALL NOTCHED, DRILLED, OR DAMAGED FLOOR AND ROOF JOISTS FASTEN WITH 1/2" DIA. CARRIAGE BOLTS AT 24" O.C. TOP AND BOTTOM BRAGGED JOISTS.
4. STAIRS SHALL HAVE 1" MINIMUM RISER HEIGHT AND 11" MINIMUM TREADS. RUFFS SHALL BE 1:2 PITCH CROSS SLOPE AT BOTH STAIRS AND RUFFS SHALL BE 2% MAXIMUM PROVIDE SLIP-PROOF FINISH TEXTURE ON STAIR AND RUFF SLABS.
5. PROVIDE SHOP DRAWINGS OF PROPOSED CONTROL JOINT LAYOUT AND DETAILS (SCALED OR GROUDED FOR EXAMPLE) FOR REVIEW PRIOR TO PLACING CONCRETE.

WINDOW NOTES

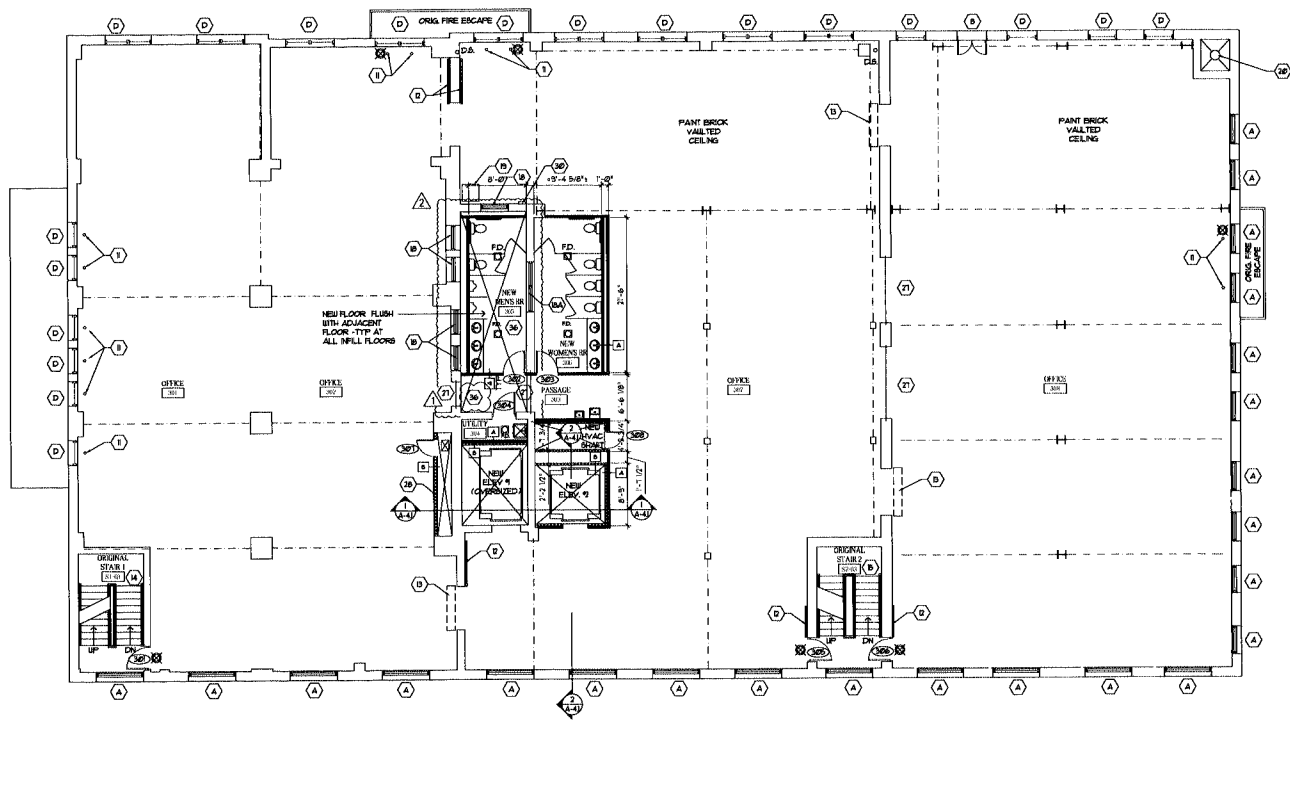
BASES OF DESIGN FOR ALL ALUMINUM FRAME REPLACEMENT WINDOWS 1/2" MIN. SERIES 150 SINGLE HUNG WINDOWS BY SCLAN WINDOWS AND DOORS CORPORATION WITH 1/2" COLOR MATCHING DIVIDED LITES. GLAZING LOGS SHALL MATCH - CONCRETE LEVEL CHECKS PRIOR TO ORDERING ALL WINDOWS SHALL BE CUSTOMIZED TO FIT LOCAL HISTORIC TRADING COMPANY FIELD VERIFY ALL OPENING OPENINGS FOR REPLACEMENT WINDOW PRIOR TO ORDERING. PRIOR TO ORDERING WINDOWS CONTRACTOR SHALL PROVIDE A SAMPLE INSTALLATION OF PROPOSED WINDOW FOR HISTORIC REVIEW.

- A. EXISTING NON-ORIGINAL ALUMINUM FRAME WINDOWS - PROVIDE ALLOWANCE TO REPAIR AND REPLACE MISSING SCREENS AND PAINT EXTERIOR SURFACES WITH MATCHING COLOR.
- B. NEW ALUMINUM WINDOWS IN ORIGINAL BRICKED-IN MASONRY OPENINGS (WITH MATCHING CONFIGURATION)
- C. NEW ALUMINUM WINDOWS IN NEW MASONRY OPENINGS (WITH MATCHING CONFIGURATION)
- D. REPLACE ORIGINAL WIRE GLASS/METAL WINDOWS WITH CLEAR GLASS/ALUMINUM WINDOWS WITH SAFE CONFIGURATION
- E. REPLACE NON-ORIGINAL BASEMENT WINDOWS AND NON-ORIGINAL SECURITY BARS WITH NEW ALUMINUM WINDOWS AND NEW SECURITY BARS
- F. NEW WOOD INTERIOR STOREFRONT - PROVIDE SHOP DRAWINGS
- G. REPLACE ORIGINAL BASEMENT WINDOW & NON-ORIGINAL SECURITY BARS w/ NEW ALUMINUM WINDOWS AND NEW SECURITY BARS
- H. REPLACE ORIGINAL WINDOWS w/ NEW ALUMINUM WINDOWS IN SAFE CONFIGURATION
- J. REMOVE EXISTING ROOFING REFERENCE FROM PARAPET WALL (IF IN PLACE) AND REPAIR ORIGINAL WINDOW FOR INSIDE OF WINDOW OPENING TO ALLOW WITH FINISHED INTERIOR WALL SURFACE.

DOORWAYS NOTES

1. REPAIR ORIGINAL STOREFRONTS
2. INSTALL NEW WOOD GLASS STOREFRONTS WHERE ORIGINAL STOREFRONTS HAVE BEEN PREVIOUSLY REMOVED
3. REPLACE WOOD & GLASS STOREFRONTS WITH NEW DOORS AND MATCHING REDELINGS
4. REPLACE NON-ORIGINAL GARAGE DOOR WITH NEW WOOD DOORS AND BELIEVES
5. REPAIR ORIGINAL DOORS & ENTRANCE AND REPLACE NON-ORIGINAL TRANSOM
6. REPAIR ORIGINAL ENTRANCE & ORIGINAL DOORS
7. REPLACE NON-ORIGINAL GARAGE DOOR w/ METAL GARAGE DOOR BASES OF DESIGN IS OVERHEAD DOOR CORPORATION SERIES 418 WITH 10-20" SLATS. REPLACE TRANSOM ABOVE WITH REPLACEMENT MATCHING EXISTING CONFIGURATION AS SET
8. REPLACE NON-ORIGINAL GARAGE DOOR w/ REBRICK DOORS & BLACK ALUMINUM PICKET RAILING
9. GUARDRAIL AT 3'-6" AFF (AT ROOF PARAPET - SEE APPLICABLE DETAIL)
10. CABLE GUARDRAIL AT 3'-6" AFF (AT ROOF TERRACE - SEE DETAIL)

11. PROVIDE ADDITIONAL SPRINKLER COVERAGE AT OPENINGS ADJACENT TO FIRE ESCAPES FOR HEAD FIRE UNDOOR
12. EXISTING ROLLING FIRE DOOR - DEACTIVATE AND PAINT, TYPICAL THROUGHOUT
13. ORIGINAL OVERHEAD FIRE DOORS - DEACTIVATE & PAINT TYP.
14. INSTALL NEW HANDRAIL AT 36" ABOVE TREAD NONGRADE
15. INSTALL NEW 42" HIGH GUARDRAIL AND 36" HIGH HANDRAIL
16. MOUNT EXISTING BOILER DOORS TO EXISTING MASONRY WALLS
17. ORIGINAL INDUATORS TO REMAIN SEE MECHANICAL DRAWINGS
18. ORIGINAL WINDOWS TO REMAIN REPAIR AND REFINISH ON OUTBOARD SIDE, PAINT BLACK ON INBOARD (RESTROOM) SIDE
19. TRANSFORMER (COP-3000) - SEE ELECTRICAL DRAWINGS
20. FUTURE GREASE DUCT LOCATION INSIDE EXISTING 12 HOUR FINISH FIRE RATED MASONRY CHIMNEY - BY OTHERS FUTURE RESTAURANT TENANT UNDER SEPARATE PERMIT - NC
21. FUTURE GREASE DUCT AND EXHAUST FAN - BY OTHERS FUTURE RESTAURANT TENANT UNDER SEPARATE PERMIT - NC
22. RE-USE EXISTING ORIGINAL WOOD PANELS THAT ARE IN NON-ORIGINAL LOCATION TO RE-BUILD ORIGINAL WALLS THAT HAD ORIGINAL WOOD PANELS REMOVED
23. PROVIDE 1/2" HOUR RATED CEILING - SEE DETAILED DESCRIPTION ON BUILDING CODE INFORMATION SHEET - TYPICAL FOR ALL FIRE-RATED CONSTRUCTION
24. REMOVE ORIGINAL TN CEILING IN THIS AREA. INSTALL RATED DRYHALL CEILING
25. ORIGINAL WOOD PANELING SHALL FINISH TO REMAIN REFINISH AT SECOND FLOOR
26. REPAIR TN CEILING - TYPICAL THROUGHOUT ENTIRE ORIGINAL EXECUTIVE OFFICE SUITE
27. NEW MASONRY LINTEL - SEE LINTEL SCHEDULE
28. 2x4x8 RATED WALL FROM FLOOR SLAB TO UNDERSIDE OF CEILING GLAZ - BRACING FOR HVAC LINES. PROVIDE NEW 2" x 8" SPINDERS IN FLOOR INSIDE OF EXISTING AREA & END FOR EXISTING MASONRY LOCATION AND VERIFY WITH ARCHITECT PRIOR TO CUTTING FLOOR.
29. FUTURE SHARP ENDING FOR TOYOTA LINES
30. ELECTRIC PANEL LOCATION - SEE ELECTRICAL DRAWINGS
31. REMOVE NON-ORIGINAL WINDOWS AND INFILL OPENINGS WITH CONSTRUCTION MATCHING ADJACENT CONSTRUCTION
32. PROVIDE CLOSED-CELL ICYENEA 4" MIN FINISHED THICKNESS
33. TYP NEW 2" x 8" x 12" BEARING PLATE AT EACH END OF NEW BEAM
34. INSTALL NEW 4"x12" x 14" LVL BEAMS AT MIDPOINT BETWEEN EXISTING BEAMS. PLACE TIGHT TO UNDERSIDE OF EXISTING DECKING. PROVIDE JOIST HANGER CONNECTION TO EXISTING WOOD ROOF GIRTERS (TYP 1/2" LOCATIONS). PROVIDE 1/2" DIAMETER CARRIAGE BOLTS AT 31" ON CENTER TOP AND BOTTOM IN MATCH EXISTING OR NEW BEAMER BARREN OVER DRUM-GIRN WALL
35. TYPICAL NEW EXTERIOR ENCLOSURE AT ROOFTOP AREA GALV METAL SIDING TO MATCH EXISTING OVER BEAMER BARREN OVER DRUM-GIRN WALL. BRACING OVER 30 GA METAL STUDS AT 16" O.C.
36. TYP NEW HULL FLOOR STRUCTURE 2 x 8 AT 24" ON CENTER SHORT DIRECTION SUPPORTED ON JOIST WAGGERBUSH ON PT 2 x 8 LEDGER BOLTS ANCHORED TO EXISTING BRICK MASONRY WITH 1/2" DIA BIRCHY ANCHOR BOLTS AT 16" O.C. TOP AND BOTTOM WITH 6" EMBEDMENT INTO BRICK.
37. NEW ROOF TYP ROOF REFERENCE OVER TYP NEW 2x8 ROOF BRACING ON 30 GA 4" METAL PARTIAL AT 16" O.C.



1 THIRD FLOOR PLAN CEILING SPACE 114,680 GROSS SF.
 A-23 1/8" = 1'-0"

WALL LEGEND

	EXISTING WALL CONSTRUCTION MAY INCLUDE MASONRY, CONCRETE, OR WOOD FRAMED CONSTRUCTION
	NEW MASONRY CONSTRUCTION SEE WALL TYPES FOR SPECIFIC FIRE RATINGS, TYPICAL
	NEW METAL-FRAMED WALL CONSTRUCTION (UNRATED)
	NEW FIRE-RATED METAL-FRAMED WALL CONSTRUCTION
	STORAGE AREA WALL - METAL FRAMING WITH 2" OSB ON ONE SIDE ONLY, STOPPING SHORT OF CEILING

Revisions:
 August 31, 2025
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DATE: 8/25/2025
 COMM NO: 517
 SHEET NO:

A-23

GENERAL DRAWING NOTES

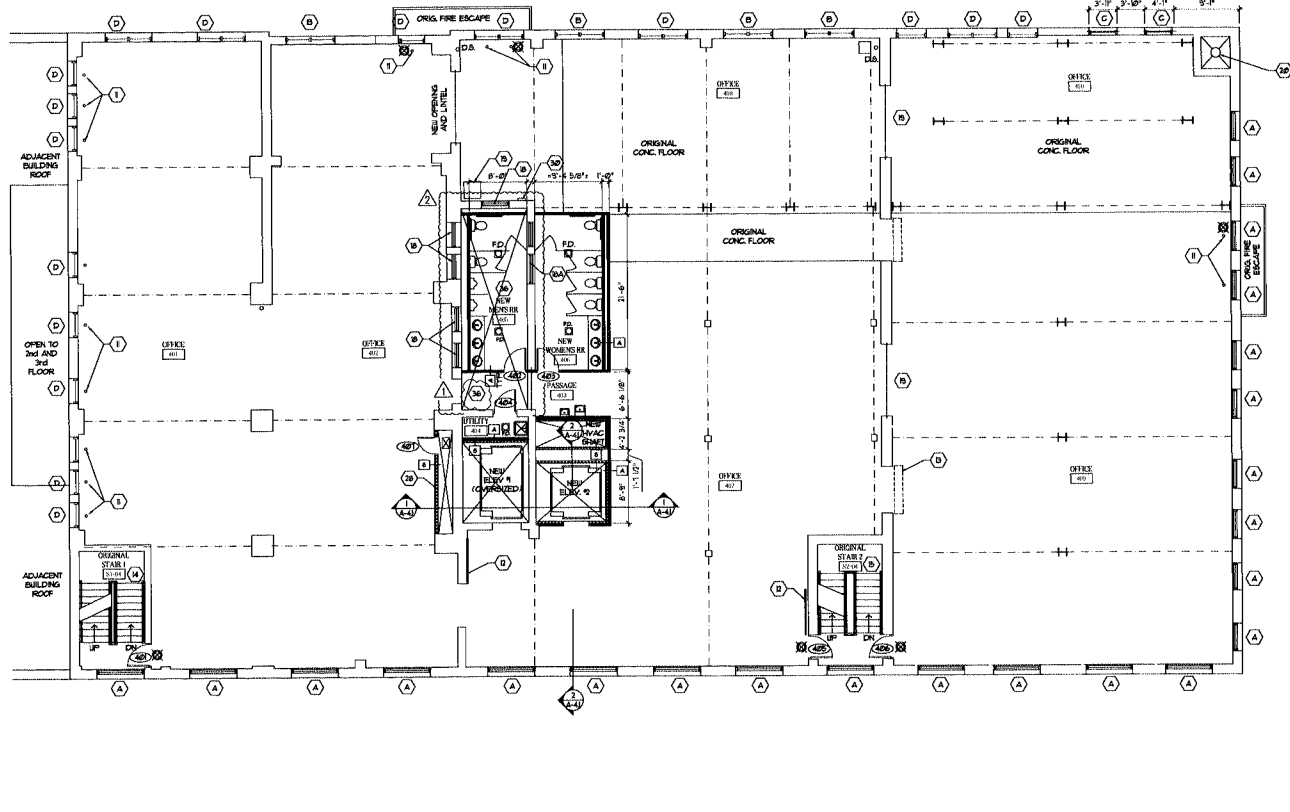
- CAMERA ALL BEERS AND DOWNROUT LINES, AND REPLACE ALL INTERIOR ROOF DRAIN LINES, CAMERA ALL DOWNROUT LINES BELOW GRADE AT EXTERIOR TO THEIR POINT OF DISCHARGE TO CONFIRM NO BLOCKAGES EXIST.
- PRIMER BARS CLEAN INTERIOR FACES OF BRICK FOUNDATION WALLS AND TUCK POINT WITH NEW MORTAR, TYPICAL THROUGHOUT.
- INSTALL NEW FULL-SPAN JOIST MATCHING EXISTING TO ALL NOTICED, DRILLED, OR DAMAGED FLOOR AND ROOF JOISTS. FASTEN WITH #4 DIA. GARAGE BOLTS AT 24" OC TOP AND BOTTOM (BRACKETED) PATTERN.
- STAIRS SHALL HAVE 7" HAZARD RISER HEIGHT AND 11" MINIMUM TREADS. RUPPS SHALL BE 1:8 PITCH CROSS SLOPE AT BOTH STAIRS AND RUPPS SHALL BE 2% HAZARD. PROVIDE SLIP-PROOF FINISH TEXTURE ON STAIR AND RAMP SLABS.
- PROVIDE SHOP DRAWINGS OF PROPOSED CONTROL JOINT LAYOUT AND DETAILS (BRACKET OR CIRCLED) FOR REVIEW PRIOR TO PLACING CONCRETE.

WINDOW NOTES

- BASED ON DESIGN FOR ALL ALUMINUM FRAME REPLACEMENT WINDOWS 1 1/8" SERIES 350 SINGLE-HUNG WINDOWS BY ULIAN WINDOWS AND DOORS CORPORATION WITH 1/2" COLONIAL SILLING DIVIDED LITES, GLAZING LOGIC FINISH, WHITE, COMBES WITH GARAGE DOOR. ALL WINDOWS SHALL BE CUSTOM-SIZED TO FIT EACH HISTORIC MASONRY OPENING COMPLETELY. FIELD VERIFY ALL OPENING DIMENSIONS FOR REPLACEMENT WINDOWS PRIOR TO ORDERING. PRIOR TO ORDERING WINDOW CONTRACTOR SHALL PROVIDE A SAMPLE INSTALLATION OF PROPOSED WINDOW FOR HISTORIC REVIEW.
- EXISTING NON-ORIGINAL ALUMINUM WINDOW UNITS - PROVIDE ALLOWANCE TO REPAIR AND REPLACE MISSING SCREENS AND PAINT EXTERIOR SURFACES TO MATCH EXISTING CONFIGURATION.
 - NEW ALUMINUM WINDOWS IN ORIGINAL BRICK-IN MASONRY OPENINGS WITH MATCHING CONFIGURATION.
 - NEW ALUMINUM WINDOWS IN NEW MASONRY OPENINGS WITH MATCHING CONFIGURATION.
 - REPLACE ORIGINAL WIRE GLASS/METAL WINDOW WITH CLEAR GLASS/ALUMINUM WINDOW WITH SAFE CONFIGURATION.
 - REPLACE NON-ORIGINAL BASEMENT WINDOW AND NON-ORIGINAL SECURITY BARS WITH NEW ALUMINUM WINDOW AND NEW SECURITY BARS.
 - NEW WOOD INTERIOR STONEFRONT - PROVIDE SHOP DRAWINGS.
 - REPLACE ORIGINAL BASEMENT WINDOW / NON-ORIGINAL SECURITY BARS w/ NEW ALUMINUM WINDOW AND NEW SECURITY BARS.
 - REPLACE ORIGINAL WINDOW w/ NEW ALUMINUM WINDOW IN SAFE CONFIGURATION.
 - REMOVE EXISTING ROOFING MEMBRANE FROM PARAPET WALL (IF IN PLACE) AND REPAIR ORIGINAL WINDOW FRAME INSIDE OF WINDOW OPENING TO ALIGN WITH FINISHED INTERIOR WALL SURFACE.

1) DRAWING NOTES

- REPAIR ORIGINAL STONEFRONTS.
- INSTALL NEW WOOD 1 1/8" GLASS STONEFRONTS WHERE ORIGINAL STONEFRONTS HAVE BEEN PREVIOUSLY REMOVED.
- REPLACE ROOF 4 GLASS STONEFRONTS WITH NEW DOORS AND MATCHING SIDE LITES.
- REPLACE NON-ORIGINAL GARAGE DOOR WITH NEW DOORS AND BELLIES.
- REPAIR ORIGINAL DOORS & ENTRANCE AND REPLACE NON-ORIGINAL TRANSOM.
- REPAIR ORIGINAL ENTRANCE TRANSOM AND ORIGINAL DOOR.
- REPLACE NON-ORIGINAL GARAGE DOOR WITH METAL GARAGE DOOR BASED ON DESIGN OF OVERHEAD DOOR CORPORATION SERIES 400 WITH 1/2" TYP. SLATS. REPLACE TRANSOM ABOVE WITH REPLACEMENT MATCHING EXISTING CONFIGURATION. ALSO, VERIFY OTHERS.
- REPLACE NON-ORIGINAL GARAGE DOOR w/ METAL DOOR 1" BLACK ALUMINUM PICKET RAILING.
- GUARDRAIL AT 3'-4" AFF (AT ROOF PARAPET - SEE APPLICABLE DETAIL).
- CABLE GUARDRAIL AT 3'-4" AFF (AT ROOF TERRACE - SEE DETAIL).
- PROVIDE ADDITIONAL SPRINKLER COVERAGE AT OPENINGS ADJACENT TO FIRE ESCAPES (ONE HEAD PER WINDOW).
- EXISTING ROLLING FIRE DOOR - DEACTIVATE AND PAINT, TYPICAL THROUGHOUT.
- ORIGINAL OVERHEAD FIRE DOORS - DEACTIVATE & PAINT, TYP.
- INSTALL NEW HORIZONTAL AT 3" ABOVE TREAD nosING.
- INSTALL NEW 2" HIGH GUARDRAIL AND 3" HIGH HORIZONTAL.
- PAINT EXISTING ROLLER DOORS TO EXISTING MASONRY DALLS.
- ORIGINAL RADIATORS TO REMAIN, SEE MECHANICAL DRAWINGS.
- ORIGINAL WINDOWS TO REMAIN, REPAIR AND REFINISH ON OUTSIDE SIDE, PAINT BLACK ON INSIDE (RESTROOM) SIDE.
- TRANSFORMER (OPTIONAL) - SEE ELECTRICAL DRAWINGS.
- FUTURE GREASE DUCT LOCATION INSIDE EXISTING 12 HOUR FIRE-RATED MASONRY CHIMNEY - BY OTHERS FUTURE RESTAURANT TENANT UNDER SEPARATE PERMIT - N/C.
- FUTURE GREASE DUCT AND EXHAUST FAN - BY OTHERS FUTURE RESTAURANT TENANT UNDER SEPARATE PERMIT - N/C.
- RE-USE EXISTING ORIGINAL WOOD PANELS THAT ARE IN NON-ORIGINAL LOCATION TO RE-BUILD ORIGINAL WALLS THAT HAD ORIGINAL WOOD PANELS REMOVED.
- PROVIDE 1 HOUR RATED CEILING - SEE DETAILED DESCRIPTION ON BUILDING CODE INFORMATION SHEET - TYPICAL FOR ALL FIRE-RATED CONSTRUCTION.
- REMOVE ORIGINAL TN CEILING IN THIS AREA. INSTALL RATED, ORTHOKAL CEILING & INSTALL NEW TN CEILING OF SFLAK STYLE.
- ORIGINAL WOOD PANELING SHALL REMAIN TO REMAIN, REFINISH AT SECOND FLOOR.
- REPAIR TN CEILING - TYPICAL THROUGHOUT ENTIRE ORIGINAL EXECUTIVE OFFICE SUITE.
- NEW MASONRY LINTEL - SEE LINTEL SCHEDULE.
- 1 HOUR RATED WALL REST FLOOR SLAB TO UNDERSIDE OF CEILING PLACED - WORKING FOR HVAC LINES. PROVIDE NEW 2" x 8" OPENING IN FLOOR INSIDE OF EXTERIOR 3" WALL FOR EXISTING METAL GARAGE DOOR (TYP. LOCATION) ARCHITECT PRIOR TO CUTTING FLOOR.
- REMOVE SFT BELOW FOR TO CUT LINES.
- ELECTRIC PANEL LOCATION - SEE ELECTRICAL DRAWINGS.
- REMOVE NON-ORIGINAL WINDOWS AND INFILL OPENINGS WITH CONSTRUCTION MATCHING ADJACENT CONSTRUCTION.
- PROVIDE GYPSUM CELL CORE, 1/2" FIN FINISHED THICKNESS.
- TYP NEW 2" x 8" x 10" BEAMS PLACED AT EACH END OF NEW BEAM.
- INSTALL NEW 1/2" x 1/2" x 1/2" PLATE AT MIDPOINT BETWEEN EXISTING BEAMS. PLACE RIGHT TO UNDERSIDE OF EXISTING BEAMS. PROVIDE JOIST HANGER CONNECTION TO EXISTING ROOF (RESERVE TYP. LOCATION) PROVIDE 1/2" DIAMETER GARAGE BOLTS AT 30" ON CENTER TOP AND BOTTOM IN MASONRY TO DIAPHRAGM HANGER CONNECTION TO EXISTING WALL.
- TYPICAL NEW EXTERIOR ENCLOSURE AT ROOFTOP AREA. GALV METAL BEAMS TO MATCH EXISTING OVER LANTERN BARRER OVER DRIVE-UP WALL. SHEATHING OVER 20 GA METAL SLIDS AT 18" OC.
- TYP NEW FULL FLOOR STRUCTURE, 2 x 8 @ 12" OC TRAPPING SHEET. DIRECTION SUPPORTION ON JOIST DIMENSION 11" x 2" D LEDGER BOARD. ANCHORED TO EXISTING BRICK MASONRY WITH #4 DIA EPoxy ANCHOR BOLTS AT 18" OC TOP AND BOTTOM WITH 4" SPACER INTO BRICK.
- NEW ROOF, TYP ROOF MEMBRANE OVER TYP NEW ED ROOF SHEATHING ON 20 GA 1/2" METAL RAFTERS AT 18" OC.



1) FOURTH FLOOR PLAN
 OFFICE SPACE
 11,800 GROSS SF
 A-2.4 18' x 7'-0"

WALL LEGEND	
	EXISTING WALL CONSTRUCTION MAY INCLUDE MASONRY CONCRETE, OR WOOD FRAMED CONSTRUCTION
	NEW MASONRY CONSTRUCTION SEE WALL TYPES FOR SPECIFIC FIRE RATINGS, TYPICAL
	NEW METAL-FRAMED WALL CONSTRUCTION (UPRATED)
	NEW FIRE-RATED METAL-FRAMED WALL CONSTRUCTION
	STORAGE AREA WALL, METAL FRAMING WITH 1/2" OSB ON ONE SIDE ONLY, STOPPING SHORT OF CEILING

Revisions
 August 31, 2015
 September 28, 2015
 November 9, 2015

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 235 WEST 12TH STREET
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DATE: 07/29/2015
 COMM NO: 517
 SHEET NO:

A-2.4

GENERAL DRAWING NOTES

- CAMERA ALL BEAMER AND DOWNPOUT LINES, AND REPLACE ALL INTERIOR ROOF DRAIN LINES. CAMERA ALL DOWNPOUT LINES BELOW GRADE AT EXTERIOR TO THEIR POINT OF DISCHARGE TO STREET OR DRAINAGE BODY.
- POURER WASH CLEAN INTERIOR FACES OF STONE FOUNDATION WALLS AND RUCK POINT WITH NEW PORTLAND, TYPICAL THROUGHOUT.
- INSTALL NEW HULL-SPAN JOIST (MATCHING EXISTING) TO ALL NOTCHED, DOLLED, OR DAMAGED FLOOR AND ROOF JOISTS. FASTEN WITH 1/2" DIA. CARBIDE BOLTS AT 14" OC. TOP AND BOTTOM (STAGGERED) PATTERN.
- STAIRS SHALL HAVE 1" HATCHER RISER HEIGHT AND 1/2" HATCHER TREADS. RUFFS SHALL BE 1/2" HATCHER CROSS ALLOPE AT BOTH STAIRS AND RUFFS SHALL BE 24" HATCHER. PROVIDE SLIP-PROOF FINISH TEXTURE ON STAIR AND RAMP SLABS.
- PROVIDE SHOP DRAWINGS OF PROPOSED CONTROL JOINT LAYOUT AND DETAILS (SUBMIT OR GROOVED, FOR EXAMPLE); FOR REVIEW PRIOR TO PLACING CONCRETE.

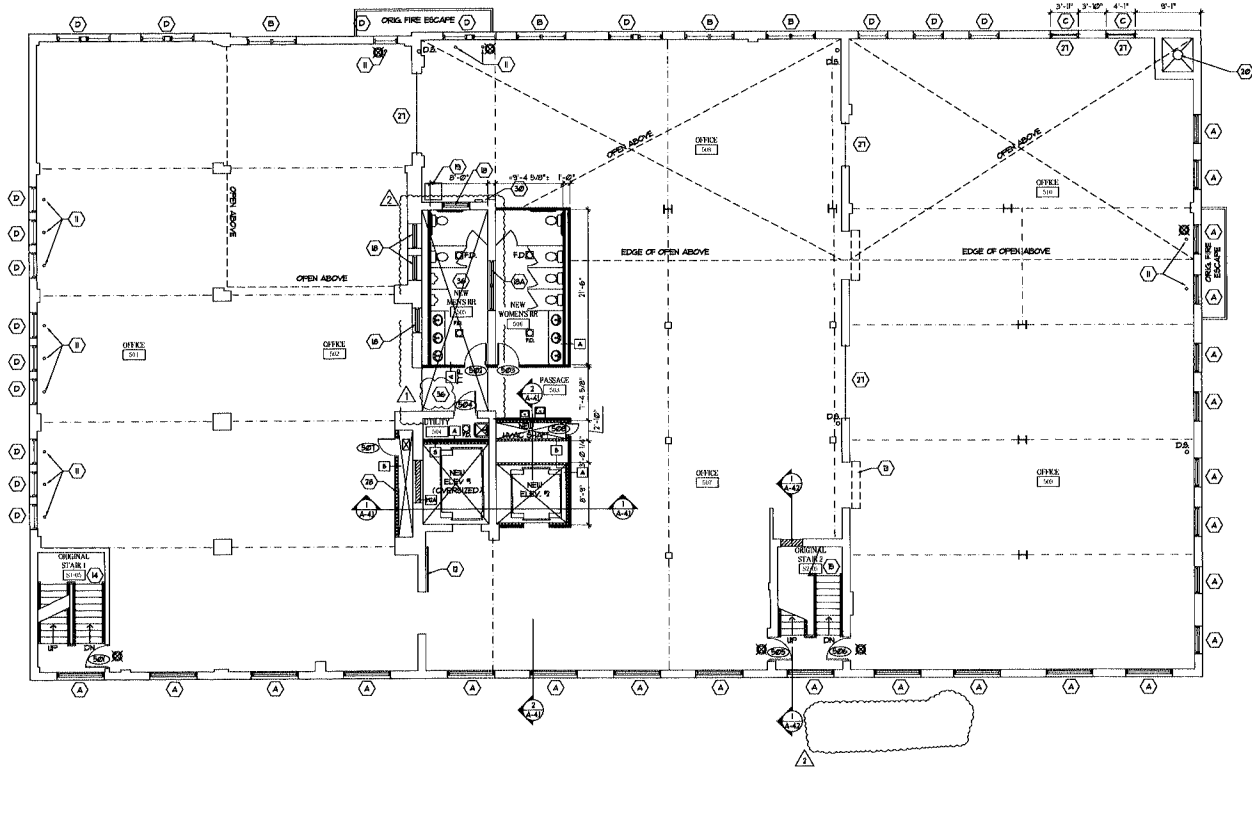
WINDOW NOTES

BASIS OF DESIGN FOR ALL ALUMINUM FRAME REPLACEMENT WINDOWS:
 71-80" SERIES 1/2" SINGLE HANG WINDOWS BY MOJAN WINDOWS AND DOOR CORPORATION WITH 1/2" COLONIAL DRILLABLE COVERED LITES. GLAZING LITE FINISH WHITE - CONSERVE UTILITIES PRIOR TO ORDERING. ALL WINDOWS SHALL BE 200% WEATHER TIGHT TO EXISTING WINDOW FRAMEWORK. COMPLETELY FIELD VERIFY ALL OPENING DIMENSIONS FOR REPLACEMENT WINDOWS PRIOR TO ORDERING. PRIOR TO ORDERING WINDOWS CONTRACTOR SHALL PROVIDE A SAMPLE INSTALLATION OF PROPOSED WINDOW FOR HISTORIC REVIEW.

- (A) EXISTING NON-ORIGINAL ALUMINUM FRAME WINDOWS - PROVIDE ALLOWANCE TO REPAIR AND REPLACE MISSING SCREENS AND PAINT EXTERIOR SURFACES WITH MATCHING CONFIGURATION.
- (B) NEW ALUMINUM WINDOWS IN ORIGINAL BRICKED-IN MASONRY OPENINGS WITH MATCHING CONFIGURATION.
- (C) NEW ALUMINUM WINDOWS IN NEW MASONRY OPENINGS WITH MATCHING CONFIGURATION.
- (D) REPLACE ORIGINAL WIRE GLASS/PETAL WINDOWS WITH CLEAR GLASS/ALUMINUM WINDOWS WITH SAME CONFIGURATION.
- (E) REPLACE NON-ORIGINAL BASEMENT WINDOWS AND NON-ORIGINAL SECURITY BARS WITH NEW ALUMINUM WINDOWS AND NEW SECURITY BARS.
- (F) NEW WOOD INTERIOR STOREFRONT - PROVIDE SHOP DRAWINGS.
- (G) REPLACE ORIGINAL BASEMENT WINDOW / NON-ORIGINAL SECURITY BARS w/ NEW ALUMINUM WINDOWS AND NEW SECURITY BARS.
- (H) REPLACE ORIGINAL WINDOWS w/ NEW ALUMINUM WINDOWS IN SAME CONFIGURATION.
- (J) REMOVE EXISTING ROOFING MEMBRANE FROM PARAPET WALL (IF IN PLACE) AND REPAIR ORIGINAL WINDOWS FROM INSIDE OF WINDOW OPENING TO ALIGN WITH FINISHED INTERIOR WALL SURFACE.

DRAWING NOTES

- REPAIR ORIGINAL STOREFRONTS.
- INSTALL NEW WOOD / GLASS STOREFRONTS WHERE ORIGINAL STOREFRONTS HAVE BEEN PREVIOUSLY REMOVED.
- REPLACE WOOD / GLASS STOREFRONTS WITH NEW DOORS AND MATCHING FINISH.
- REPLACE NON-ORIGINAL GARAGE DOOR WITH NEW WOOD DOORS AND SIDING.
- REPAIR ORIGINAL DOORS / ENTRANCE AND REPLACE NON-ORIGINAL TRANSOM.
- REPAIR ORIGINAL ENTRANCE / TRANSOM AND ORIGINAL GARAGE DOOR.
- REPLACE NON-ORIGINAL GARAGE DOOR w/ METAL GARAGE DOOR. BASIS OF DESIGN IS OVERHEAD DOOR CORPORATION SERIES AIR LIFT 12" x 70" SLABS. REPLACE TRANSOM ABOVE WITH REPLACEMENT MATCHING EXISTING CONFIGURATION AND MATCHED FINISH.
- REPLACE NON-ORIGINAL GARAGE DOOR w/ FREIGHT DOORS T-BLOCK ALUMINUM PICKET FINISH.
- GUARDRAIL AT 3'-6" AFF (AT ROOF PARAPET - SEE APPLICABLE DETAILS).
- CABLE GUARDRAIL AT 3'-6" AFF (AT ROOF TERRACE - SEE DETAILS).
- PROVIDE ADDITIONAL SPRINKLER COVERAGE AT OPENINGS ADJACENT TO FIRE ESCAPES (ONE HEAD PER WINDOW).
- EXISTING ROLLING FIRE DOOR - DEACTIVATE AND PAINT, TYPICAL THROUGHOUT.
- ORIGINAL OVERHEAD FIRE DOORS - DEACTIVATE & PAINT, TYP.
- INSTALL NEW 42" HIGH GUARDRAIL AND 36" HIGH HANDRAIL.
- EXISTING BOILER DOORS TO EXISTING MASONRY BENCH.
- ORIGINAL PARAPETS TO REMAIN, REPAIR AND MECHANICAL DRAWINGS.
- ORIGINAL WINDOWS TO REMAIN, REPAIR AND REFINISH ON OUTDOOR SIDE, PAINT BLACK ON INDOOR (RESTROOM) SIDE.
- TRANSFORMER (720V/240V) - SEE ELECTRICAL DRAWINGS.
- REMOVE GREASE DUCT LOCATION INSIDE EXISTING 12 HOUR FINISH FIRE RATED MASONRY CHIMNEY - BY OTHERS (FUTURE RESTAURANT TENANT) UNDER SEPARATE PERMIT - N/C.
- REMOVE GREASE DUCT AND EXHAUST FAN - BY OTHERS (FUTURE RESTAURANT TENANT) UNDER SEPARATE PERMIT - N/C.
- RE-USE EXISTING ORIGINAL WOOD PANELS THAT ARE IN NON-ORIGINAL LOCATION TO RE-BUILD ORIGINAL WALLS THAT HAD ORIGINAL WOOD PANELS REMOVED.
- PROVIDE 1-HOUR RATED CEILING - SEE DETAILED DESCRIPTION ON BUILDING CODE INFORMATION SHEET - TYPICAL FOR ALL FIRE-RATED CONSTRUCTION.
- REMOVE ORIGINAL 1" CEILING IN THIS AREA. INSTALL RATED DRYWALL CEILING & INSTALL NEW TR CEILING OF SIMILAR STYLE.
- ORIGINAL WOOD PANELING WALL FINISH TO REMAIN, REFINISH AT SECOND FLOOR.
- REPAIR TR CEILING - TYPICAL THROUGHOUT ENTIRE ORIGINAL EXECUTIVE OFFICE SUITE.
- NEW MASONRY LINTEL - SEE LINTEL SCHEDULE.
- 1-HOUR RATED WALL FROM FLOOR SLAB TO UNDERSIDE OF CEILING SLAB - HOLDING FOR HVAC LINES. PROVIDE NEW 1/2" OPENING IN FLOOR INSIDE OF EXISTING 2-BAY SLAB FOR EXISTING ROOM LOCATION AND VERIFY WITH ARCHITECT PRIOR TO CUTTING FLOOR.
- 3 HOUR RATED ENCLOSURE FOR HVAC LINES.
- ELECTRIC PANEL LOCATION - SEE ELECTRICAL DRAWINGS.
- REMOVE NON-ORIGINAL WINDOWS AND INFILL OPENINGS WITH CONSTRUCTION MATCHING ADJACENT CONSTRUCTION.
- PROVIDE CLOSED-CELL ICYMERL 4" FIN FINISHED THICKNESS.
- TRIM NEW 12" x 12" OF BEARING PLATE AT EACH END OF NEW BEAM.
- INSTALL NEW 4x12 1/2" x 14" LVL BEAMS AT MIDPOINT BETWEEN EXISTING BEARING PLATE TO UNDERSIDE OF EXISTING CEILING. PROVIDE JOIST HANGER CONNECTION TO EXISTING WOOD ROOF GREENS (TYP. 3 LOCATIONS). PROVIDE 1/2" DIAMETER CARBIDE BOLTS AT 30" ON CENTER TOP AND BOTTOM IN A STAGGERED PATTERN. HANGER CONNECTION AT EACH END. STRENGTHEN BEAMS.
- TYPICAL NEW EXTERIOR ENCLOSURE AT ROOFTOP AREA: GALV METAL SIDING TO MATCH EXISTING OVER BEARING HANGER OVER DRG. SLAB AND WALL. WEATHERS OVER 20 GA METAL STUDS AT 16" OC.
- TRIM NEW HULL FLOOR FINISHES: 3 X 6 AT 16" OC (RUNNING SHORT DIRECTION) SUPPORTED ON JOIST TRUSSESS/ON PT 2 x 4 LEDGER BOARDS ANCHORED TO EXISTING BRICK THROUGH WITH 1/2" DIA. ANCHOR BOLTS AT 16" OC TOP AND BOTTOM WITH 4" EMBEDMENT INTO BRICK.
- NEW ROOF TYP ROOF MEMBRANE OVER TYP NEW 12 ROOF SHEATHING ON 20 GA 16" METAL RAFTERS AT 16" OC.



FIFTH FLOOR PLAN
 OFFICE SPACE
 14,682 GROSS SF.
 A-2.5
 1/8" = 1'-0"

WALL LEGEND	
	EXISTING WALL CONSTRUCTION MAY INCLUDE MASONRY CONCRETE OR WOOD FRAMED CONSTRUCTION
	NEW MASONRY CONSTRUCTION -SEE WALL TYPES FOR SPECIFIC FIRE RATINGS, TYPICAL
	NEW METAL-FRAMED WALL CONSTRUCTION (UNRATED)
	NEW FIRE-RATED METAL-FRAMED WALL CONSTRUCTION
	STORAGE AREA WALL - METAL FRAMING WITH 1/2" OSB ON ONE SIDE ONLY, STOPPING SHORT OF CEILING

Revisions
 August 31, 2015
 September 28, 2015
 November 9, 2015

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STRIETMANN BUILDING
 235 WEST 12TH STREET
 CINCINNATI, OHIO

DATE: 8/25/2015
 COMM NO.: 511
 SHEET NO.:

A-2.5

GENERAL DRAWING NOTES

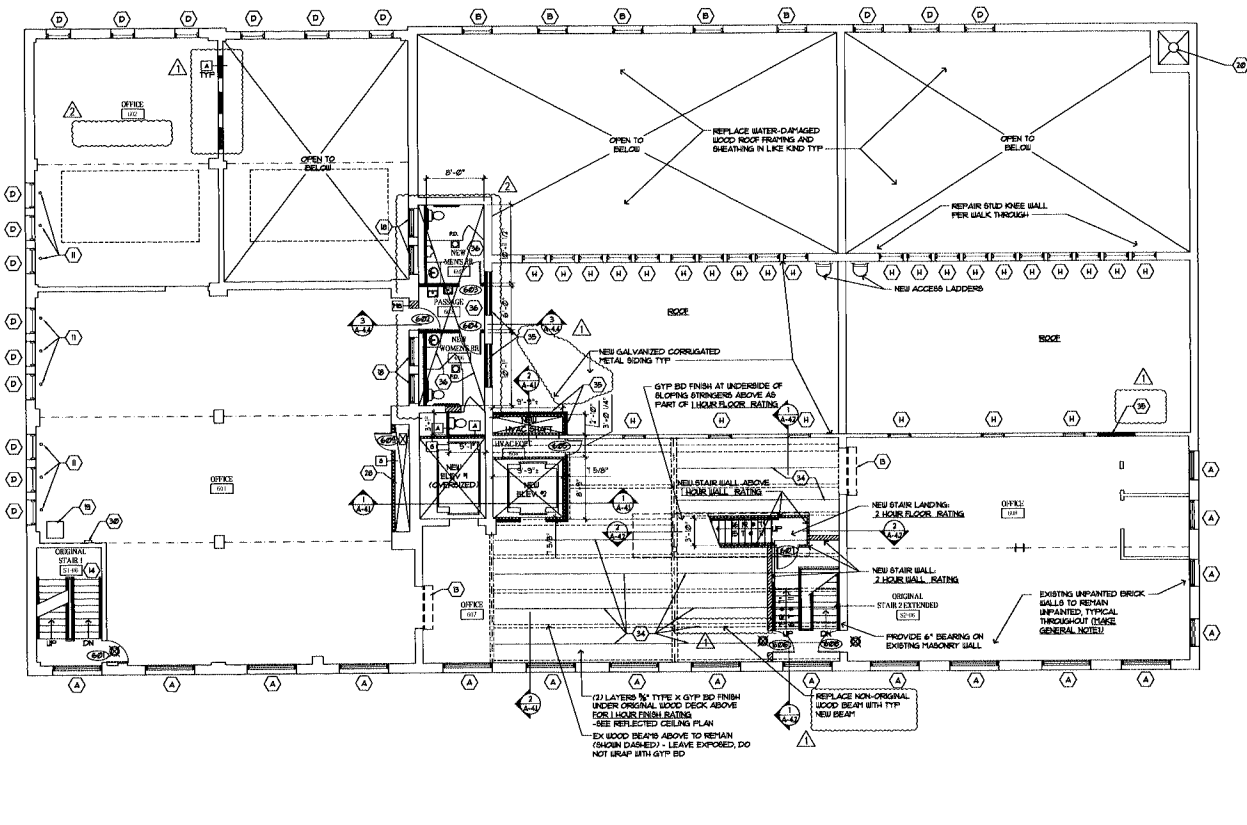
1. CAMERA ALL RISER AND DOWNROUT LINES AND REPLACE ALL INTERIOR ROOF DRAIN LINEA CAMERA ALL DOWNROUT LINES BELOW GRADE AT EXTERIOR TO THEIR POINT OF DISCHARGE TO CONFIRM NO BLOCKAGES EXIST.
2. PROPERLY CLEAN INTERIOR FACES OF EXISTING FOUNDATION WALLS AND TRUCK POINT WITH NEUTRAL TYPICAL THROUGHOUT.
3. INSTALL NEW FILL-SPAN JOIST MATCHING EXISTING TO ALL NOTCHED, DRILLED, OR DAMAGED FLOOR AND ROOF JOISTS FASTEN WITH 2" DIA. CARRIAGE BOLTS AT 24" OC TOP AND BOTTOM (BRAGGED) PATTERNS.
4. STAIRS SHALL HAVE 7" MINIMUM RISER HEIGHT AND 3" MINIMUM TREADS RUMPS SHALL BE 1.25" PITCH CROSS SLOPE AT BOTH STAIRS AND RUMPS SHALL BE 2% MINIMUM PROVIDE 1/2" PROF. FINISH TEXTURE ON STAIR AND RUMP SLABS.
5. PROVIDE SHOP DRAWINGS OF PROPOSED CORNER JOINT LAYOUT AND DETAILS (SLOTTED OR GROOVED FOR EXAMPLE) FOR REVIEW PRIOR TO PLACING CONCRETE.

WINDOW NOTES

- BASED ON DESIGN FOR ALL ALUMINUM FRAME REPLACEMENT WINDOWS
- A. 14-1/2" SERIES 25" SINGLE HANG WINDOWS BY MILAN WINDOWS AND DOORS CORPORATION WITH 1" COLONIAL BRUSH DIVIDED LITE GLASS LOOSE FINISH WHITE CONCRETE WITH GREEN FINISH GLASSING (ALL WINDOWS SHALL BE CUSTOM-SIZED TO FIT EACH HISTORIC MASONRY OPENING COMPLETELY. FIELD VERIFY ALL OPENING OPENINGS FOR REPLACEMENT WINDOW PRIOR TO ORDERING. PRIOR TO ORDERING WINDOW CONTRACTOR SHALL PROVIDE A SAMPLE INSTALLATION OF PROPOSED WINDOW FOR HISTORIC REVIEW.)
 - B. EXISTING NON-ORIGINAL ALUMINUM FRAME WINDOWS - PROVIDE ALLOWANCE TO REPAIR AND REPLACE HANGING SCREENS AND PAINT EXTERIOR SURFACES TO MATCH CONFIGURATION
 - C. NEW ALUMINUM WINDOWS IN ORIGINAL BRICKED-IN MASONRY OPENINGS WITH MATCHING CONFIGURATION
 - D. NEW ALUMINUM WINDOWS IN NEW MASONRY OPENINGS WITH MATCHING CONFIGURATION
 - E. REPLACE ORIGINAL IRRE GLASS/METAL WINDOWS WITH CLEAR GLASS/ALUMINUM WINDOWS WITH SAME CONFIGURATION
 - F. REPLACE NON-ORIGINAL BASEMENT WINDOWS AND NON-ORIGINAL SECURITY BARS WITH NEW ALUMINUM WINDOWS AND NEW SECURITY BARS
 - G. NEW WOOD ORIGINAL STOREFRONT - PROVIDE SHOP DRAWINGS
 - H. REPLACE ORIGINAL BASEMENT WINDOW / NON-ORIGINAL SECURITY BARS W/ NEW ALUMINUM WINDOWS AND NEW SECURITY BARS
 - I. REPLACE ORIGINAL WINDOWS W/ NEW ALUMINUM WINDOWS IN SAME CONFIGURATION
 - J. REMOVE EXISTING ROOFING MEMBERS FROM PARAPET WALL (IF IN PLACE) AND REPAIR ORIGINAL WINDOW FOR INSIDE OF WINDOW OPENING TO ALUMINUM WITH FINISHED INTERIOR WALL SURFACE.

DRAWING NOTES

1. REPAIR ORIGINAL STOREFRONTS
2. INSTALL NEW WOOD 1-1/2" WOOD STOREFRONTS WHERE ORIGINAL STOREFRONTS HAVE BEEN PREVIOUSLY REMOVED
3. REPLACE WOOD 4' GLASS STOREFRONTS WITH NEW DOORS AND MATCHING MISCELLANEOUS
4. REPLACE NON-ORIGINAL GARAGE DOOR WITH NEW WOOD DOORS AND BELIEVES
5. REPAIR ORIGINAL ENTRANCE 4' ENTRANCE AND REPLACE NON-ORIGINAL TRANSOM
6. REPLACE NON-ORIGINAL GARAGE DOOR WITH METAL GARAGE DOOR BASED ON DESIGN IN OVERHEAD DOOR CORPORATION DRAWING WITH 10" TYP. SLABS. REPLACE TRANSOM ABOVE WITH REPLACEMENT MATCHING EXISTING CONFIGURATION (SEE NOTES OVERHEAD)
7. REPLACE NON-ORIGINAL GARAGE DOOR WITH WOOD DOORS 4' BLOCK ALUMINUM PICKET RAILING
8. GUARDRAIL AT 3'-6" AFF (AT ROOF PARAPET - SEE APPLICABLE DETAIL)
9. CABLE GUARDRAIL AT 3'-6" AFF (AT ROOF TERRACE - SEE DETAIL)
10. PROVIDE ADDITIONAL SPRINKLER COVERAGE AT OPENINGS ADJACENT TO FIRE ESCAPES (ONE HEAD PER WINDOW)
11. EXISTING ROLLING FIRE DOOR - DEACTIVATE AND PAINT, TYPICAL THROUGHOUT
12. ORIGINAL OVERHEAD FIRE DOORS - DEACTIVATE - PAINT TYP.
13. INSTALL NEW HORIZONTAL AT 36" ABOVE TREAD NERGING
14. INSTALL NEW 4" HIGH GUARDRAIL AND 36" HIGH GUARDRAIL ABOVE
15. PAINT EXISTING BOILER DOORS TO EXISTING HANDBUILT BELLS
16. ORIGINAL RADIATORS TO REMAIN, REPAIR AND REFINISH ON OUTBOARD SIDE, PAINT BLACK ON INBOARD (RESTROOM) SIDE
17. TRANSPORTER (TYP. ONLY) - SEE ELECTRICAL DRAWINGS
18. FUTURE GREASE DUCT LOCATION INSIDE EXISTING 12 HOUR RATED FIRE RATED MASONRY CHIMNEY - BY OTHERS (FUTURE RESTAURANT TENANT UNDER SEPARATE PERMIT - NC)
19. FUTURE GREASE DUCT AND EXHAUST FAN - BY OTHERS (FUTURE RESTAURANT TENANT UNDER SEPARATE PERMIT - NC)
20. RE-USE EXISTING ORIGINAL WOOD PANELS THAT ARE IN NON-ORIGINAL LOCATION TO RE-BUILD ORIGINAL WALLS THAT HAD ORIGINAL WOOD PANELS REMOVED
21. PROVIDE 1-HOUR RATED CEILING - SEE DETAILED DESCRIPTION ON BUILDING CODE INFORMATION SHEET - TYPICAL FOR ALL FIRE-RATED CONSTRUCTION
22. REMOVE ORIGINAL T9 CEILING IN THIS AREA. INSTALL RATED ORYTHAL CEILING
23. INSTALL NEW T9 CEILING OF SIMILAR STYLE
24. ORIGINAL WOOD PANELING SHALL FINISH TO REMAIN, REPAIR, REFINISH AT SECOND FLOOR
25. REPAIR T9 CEILING - TYPICAL THROUGHOUT ENTIRE ORIGINAL EXECUTIVE OFFICE SUITE
26. NEW PARAPET LINTEL - SEE LITEL SCHEDULE
27. 1-HOUR RATED WALL FROM FLOOR SLAB TO UNDERSIDE OF CEILING SLAB - MARKING FOR H.V.A.C. LINES PROVIDE NEW 2" X 8" OPENING IN FLOOR INSIDE OF EXTERIOR CORNER BEFORE EXISTING REPAIR LOCATION AND VERIFY WITH ARCHITECT PRIOR TO CUTTING FLOOR
28. FUTURE SHOP DRAWINGS FOR TYPICAL LINES
29. ELECTRIC PANEL LOCATION - SEE ELECTRICAL DRAWINGS
30. REMOVE NON-ORIGINAL WINDOWS AND FILL OPENINGS WITH CONSTRUCTION MATCHING ADJACENT CONSTRUCTION
31. PROVIDE CLOSED-CELL ICYTHENE 1" MIN FINISHED THICKNESS
32. TYP NEW 2" X 8" X 8" X 8" BEAMS PLATE AT EACH END OF NEW BEAM
33. NEW 1/2" X 1/2" X 1/2" X 1/2" BEAMS AT HEADS OF BEAMS BETWEEN EXISTING BEAMS PLACE TIGHT TO UNDERSIDE OF EXISTING DECKING. PROVIDE JOIST HANGERS CONNECTION TO EXISTING WOOD ROOF GIRDERS (TYP. LOCATIONS) PROVIDE 2" DIAMETER CARRIAGE BOLTS AT 36" ON CENTER TOP AND BOTTOM IN A MATCHED PATTERN HANGERS CONNECTION AT 36" ON CENTER TOP AND BOTTOM
34. TYPICAL NEW EXTERIOR ENCLOSURE AT ROOF TOP AREA GALV METAL SIDING TO MATCH EXISTING OVER WEATHER BARRIER OVER DRAIN-GUARD WALL. SHEATHING OVER 20 GA METAL BRIDS AT 16" OC
35. TYP NEW FILL FLOOR STRUCTURE - 2" X 4" AT 16" OC TRAINING SHORT DIRECTION SUPPORTED ON JOIST (DASHED) ON PT 2 X 4 LEDGER BOARDS ANCHORED TO EXISTING BRICK MASONRY WITH 2" DIA EPXY ANCHOR BOLTS AT 16" OC TOP AND BOTTOM WITH 4" EMBEDMENT INTO BRICK
36. NEW ROOF TYP ROOF PERHABE OVER TYP NEW 1/2" ROOF SHEATHING ON 20 GA 4" METAL BRIDS AT 16" OC



SIXTH FLOOR PLAN
 OFFICE SPACE
 1,826 SQ. FT. GROSS SF.
 1/8" = 1'-0"

WALL LEGEND	
	EXISTING WALL CONSTRUCTION (MAY INCLUDE MASONRY CONCRETE, OR WOOD FRAME CONSTRUCTION)
	NEW MASONRY CONSTRUCTION (SEE WALL TYPES FOR SPECIFIC FIRE RATINGS, TYPICAL)
	NEW METAL-FRAMED WALL CONSTRUCTION (UNRATED)
	NEW FIRE-RATED METAL-FRAMED WALL CONSTRUCTION
	STORAGE AREA WALL METAL FRAMING WITH 1/2" OSB ON ONE SIDE ONLY, STOPPING SHORT OF CEILING

Revisions
 August 31, 2015
 September 28, 2015
 November 3, 2015

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 235 WEST 12TH STREET
 CINCINNATI, OHIO

DATE: 07/25/2015
 COMM NO: B11
 SHEET NO: A-26

GENERAL DRAWING NOTES

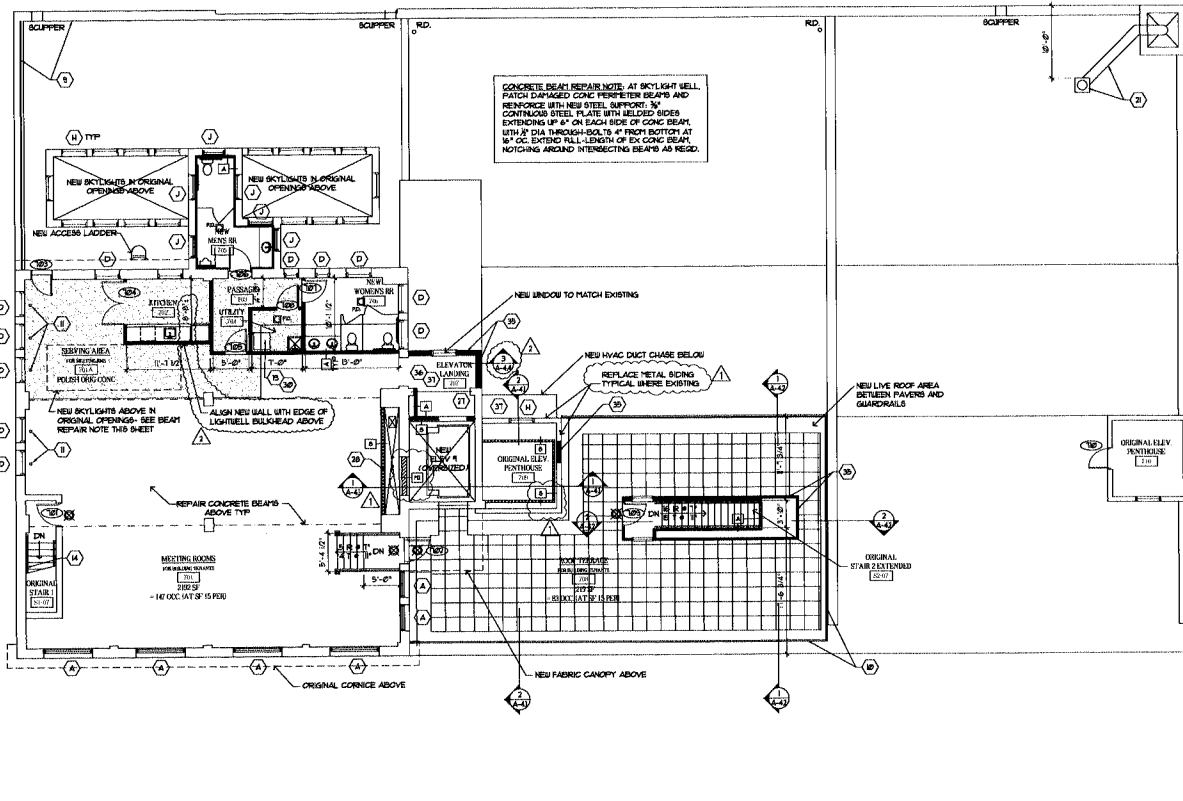
1. CAMERA ALL RISER AND DOWNPOUT LINES, AND REPLACE ALL INTERIOR ROOF DRAIN LINES. CAMERA ALL DOWNPOUT LINES BELOW GRADE AT EXTERIOR TO THEIR POINT OF DISCHARGE TO CONFIRM FOUNDATION EXIST.
2. POWER MAIN CLEAN INTERIOR PAGES OF BLOCK FOUNDATION WALLS AND TUCK POINT WITH NEW MORTAR, TYPICAL THROUGHOUT.
3. INSTALL NEW FILL-Span 2x JOIST (MATCHING EXISTING) TO ALL NOTCHED, DRILLED, OR DAMAGED FLOOR AND ROOF JOISTS. FASTEN WITH 1/2" DIA. CARRIAGE BOLTS AT 24" OC TOP AND BOTTOM (MAGNETIC).
4. STAIRS SHALL HAVE 1" HANDBAR RISER HEIGHT AND 2" MINIMUM TREADS. RAMPING SHALL BE 1:8 PITCH. CROWN GLOBE AT BOTH STAIRS AND RAMPING SHALL BE 2x HANDBAR. PROVIDE SLIP-PROOF FINISH TEXTURE ON STAIR AND RAMP FLATS.
5. PROVIDE SHOP DRAWINGS OF PROPOSED CONTROL JOINT LAYOUT AND DETAILS (MATCH CUT OR GROOVED, FOR EXAMPLE) FOR REVIEW PRIOR TO PLACING CONCRETE.

WINDOW NOTES

- BASES OF DESIGN FOR ALL ALUMINUM FRAME REPLACEMENT WINDOWS:
- A. EXISTING NON-ORIGINAL ALUMINUM FRAME WINDOWS - PROVIDE ALLOWANCE TO REPAIR AND REPLACE MISSING SCREENS AND PAINT EXTERIOR SURFACES WITH MATCHING CONFIGURATION.
 - B. NEW ALUMINUM WINDOWS IN ORIGINAL BRICKED-IN MASONRY OPENINGS (WITH MATCHING CONFIGURATION).
 - C. NEW ALUMINUM WINDOWS IN NEW MASONRY OPENINGS (WITH MATCHING CONFIGURATION).
 - D. REPLACE ORIGINAL WIRE GLASS/METAL WINDOWS WITH CLEAR GLASS/ALUMINUM WINDOWS WITH SAFE CONFIGURATION.
 - E. REPLACE NON-ORIGINAL BASEMENT WINDOWS AND NON-ORIGINAL SECURITY BARS WITH NEW ALUMINUM WINDOWS AND NEW SECURITY BARS.
 - F. NEW WOOD INTERIOR STOREFRONT - PROVIDE SHOP DRAWINGS.
 - G. REPLACE ORIGINAL BASEMENT WINDOW / NON-ORIGINAL SECURITY BARS W/ NEW ALUMINUM WINDOWS AND NEW SECURITY BARS.
 - H. REPLACE ORIGINAL WINDOWS W/ NEW ALUMINUM WINDOWS IN SAFE CONFIGURATION.
 - J. REMOVE EXISTING ROOFING MEMBERS FROM PARAPET WALL (IF IN PLACE) AND REPAIR ORIGINAL WINDOW FIRE RISE OF WINDOW OPENING TO ALIGN WITH FINISHED INTERIOR WALL SURFACE.

DRAWING NOTES

1. REPAIR ORIGINAL STOREFRONT.
2. INSTALL NEW WOOD GLASS STOREFRONT SLIDE ORIGINAL STOREFRONT HAVE BEEN PREVIOUSLY REMOVED.
3. REPLACE WOOD & GLASS STOREFRONTS WITH NEW DOORS AND MATCHING SIDE LIGHTS.
4. REPLACE NON-CONCRETE GARAGE DOOR WITH NEW WOOD DOORS AND SIDELIGHTS.
5. REPAIR ORIGINAL DOORS & ENTRANCE AND REPLACE NON-ORIGINAL TRANSOM.
6. REPLACE ORIGINAL ENTRANCE TRANSOM AND ORIGINAL DOOR.
7. REPLACE NON-ORIGINAL GARAGE DOOR WITH METAL GARAGE DOOR. PROVIDE DESIGN TO OVERHEAD DOOR COMPONENTS. NEEDS AIR WITH 1/2" TYP. SLATS. REPLACE TRANSOM ABOVE WITH REPLACEMENT MATCHING EXISTING CONFIGURATION. PROVIDE SHOP DRAWINGS.
8. REPLACE NON-ORIGINAL GARAGE DOOR WITH BLACK ALUMINUM PICKET RAILINGS.
9. GUARDRAIL AT 3'-6" AFF (AT ROOF PARAPET - SEE APPLICABLE DETAIL).
10. CABLE GUARDRAIL AT 3'-6" AFF (AT ROOF TERRACE - SEE DETAIL).
11. PROVIDE ADDITIONAL SPRINKLER COVERAGE AT OPENINGS ADJACENT TO FIRE ESCAPES (ONE HEAD PER WINDOW).
12. EXISTING ROLLING FIRE DOOR - DEACTIVATE AND PAINT, TYPICAL THROUGHOUT.
13. ORIGINAL OVERHEAD FIRE DOORS - DEACTIVATE & PAINT TYP.
14. INSTALL NEW HANDRAIL AT 36" ABOVE TREAD NONGRADE.
15. INSTALL NEW 4" HIGH GUARDRAIL AND 36" HIGH HANDRAIL.
16. PAINT EXISTING BOILER DOORS TO EXISTING MASONRY BRICK.
17. ORIGINAL INDICATORS TO REMAIN, REPAIR AND REFINISH ON OUTBOARD SIDE, PAINT BLACK ON INBOARD (RESTRICT) SIDE.
18. TRANSFORMER (TPO) DISPOSAL - SEE ELECTRICAL DRAWINGS.
19. FUTURE GREASE DUCT LOCATION INSIDE EXISTING (2 HOUR RATED FIRE RATED) HATCHDOOR CABINET - BY OTHERS (FUTURE RESTAURANT TENANT) UNDER SEPARATE PERMIT - NYC.
20. FUTURE GREASE DUCT AND EXHAUST FAN - BY OTHERS (FUTURE RESTAURANT TENANT) UNDER SEPARATE PERMIT - NYC.
21. RE-USE EXISTING ORIGINAL WOOD PANELS THAT ARE IN NON-ORIGINAL LOCATION TO RE-BUILD ORIGINAL WALLS THAT HAD ORIGINAL WOOD PANELS REMOVED.
22. PROVIDE 1-HOUR RATED CEILING - SEE DETAILED DESCRIPTION ON BUILDING CODE INFORMATION SHEET - TYPICAL FOR ALL FIRE-RATED CONSTRUCTION.
23. REMOVE ORIGINAL 1" IN CEILING IN THIS AREA. INSTALL RATED DRYWALL CEILING - INSTALL NEW TN CEILING OF SIMILAR STYLE.
24. ORIGINAL WOOD PANELING SHALL REMAIN TO REMAIN, REFINISH AT SECOND FLOOR.
25. REPAIR TN CEILING - TYPICAL THROUGHOUT ENTIRE ORIGINAL EXECUTIVE OFFICE SUITE.
26. NEW MASONRY LINTEL - SEE LINTEL SCHEDULE.
27. 1-HOUR RATED WALL FROM FLOOR SLAB TO UNDERSIDE OF CEILING SLAB - MARKING FOR H.V.A.C. LINES. PROVIDE NEW 2" x 8" JOIST IN FLOOR INSIDE OF EXISTING MASONRY FOR EXISTING REDUCED SECTION AND VERIFY WITH ARCHITECT PRIOR TO CUTTING FLOOR.
28. FLOOR MARKING FOR H.V.A.C. LINES.
29. ELECTRIC PANEL LOCATION - SEE ELECTRICAL DRAWINGS.
30. REMOVE NON-ORIGINAL WINDOWS AND FILL OPENINGS WITH CONSTRUCTION MATCHING ADJACENT CONSTRUCTION.
31. PROVIDE CLOSED CELL ICYNENE, 4" MIN FINISHED THICKNESS.
32. TYP NEW 2" x 8" x 8" BEAMS PLATE AT EACH END OF NEW BEAM.
33. INSTALL NEW 1/2" x 1/2" x 1/2" BEAMS AT MIDPOINT BETWEEN EXISTING BEAMS. PLACE TIGHT TO UNDERSIDE OF EXISTING DECKING. PROVIDE JOIST HANGERS CONNECTION TO EXISTING WOOD ROOF GIRDERS (TYP 1) LOCATION.
34. PROVIDE 1/2" DIAMETER CARRIAGE BOLTS AT 36" ON CENTER TOP AND BOTTOM IN TAGGED/REPAIR HANGERS CONNECTION TO EXISTING WOOD ROOF GIRDERS (TYP 1) LOCATION.
35. TYPICAL NEW EXTERIOR ENCLASURE AT ROOFTOP AREA GALV METAL BEAMS TO MATCH EXISTING OVER STRUCTURE OVER DRIP-GLASS WALL.
36. TYP NEW WOOD BEAMS 2x8 @ 24" OC FINISH SHORT BRACKET SUPPORTED ON JOIST HANGERS ON PT 2 x 8 LEDGER BOARDS ANCHORED TO EXISTING BRICK MASONRY WITH 1/2" DIA EPLOY ANCHOR BOLTS AT 18" OC TOP AND BOTTOM WITH 4" SPACING INTO BRICK.
37. NEW ROOF TYP ROOF PERRERA OVER TYP NEW 2x8 BEAMS ON 20 GA 4" METAL WATERS AT 18" OC.



SEVENTH FLOOR PLAN
 1/8" = 1'-0"
 OFFICE SPACE
 2 x 2' TYP GROSS SF.

WALL LEGEND	
	EXISTING WALL CONSTRUCTION MAY INCLUDE MASONRY, CONCRETE, OR WOOD-FRAMED CONSTRUCTION
	NEW MASONRY CONSTRUCTION SEE WALL TYPES FOR SPECIFIC FIRE RATINGS, TYPICAL
	NEW METAL-FRAMED WALL CONSTRUCTION (UNRATED)
	NEW FIRE-RATED METAL-FRAMED WALL CONSTRUCTION
	STORAGE AREA WALL - METAL FRAMING WITH 1/2" OSB ON ONE SIDE ONLY, STOPPING SHORT OF CEILING

Revisions:
 August 31, 2025
 September 28, 2025
 November 9, 2025

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STRIETMANN BUILDING
 235 WEST 12TH STREET
 CINCINNATI, OHIO

DATE: 07/20/25
 COMM NO: 511
 SHEET NO: A-2.7

GENERAL DRAWING NOTES

1. GENERAL ALL BEER AND DOWNPOUT LINES, AND REPLACE ALL INTERIOR DRAIN LINES. GENERAL ALL DOWNPOUT LINES BELOW GRADE AT EXTERIOR TO THEIR POINT OF DISCHARGE TO CORRECT ELEVATION POINT.
2. POWER BASH CLEAN INTERIOR FACES OF STONE FOUNDATION WALLS AND TRUCK POINT WITH NEW PORTLAND TYPICAL THROUGHOUT.
3. INSTALL NEW FULL-SPAN 2x JOIST (MATCHING EXISTING) TO ALL NOTCHED, DRILLED, OR DAMAGED FLOOR AND ROOF JOISTS. FASTEN WITH 1/2" DIA. CARBIDE BOLTS AT 24" O.C. TOP AND BOTTOM (BRAGGED) PATTERN.
4. STAIRS SHALL HAVE 1" HAVENET RISER HEIGHT AND 1" HAVENET TREADS. RIFTS SHALL BE 1/2" RIFTS. CROSS SLOPE AT BOTH STAIRS AND RIFTS SHALL BE 2% HAVENET. PROVIDE SLIP-PROOF FINISH TEXTURE ON STAIRS AND RIFTS. SLOPE.
5. PROVIDE SHOP DRAWINGS OF PROPOSED CONTROL JOINT LAYOUT AND DETAILS (SAUCUT OR GROOVED, FOR EXAMPLE) FOR REVIEW PRIOR TO PLACING CONCRETE.

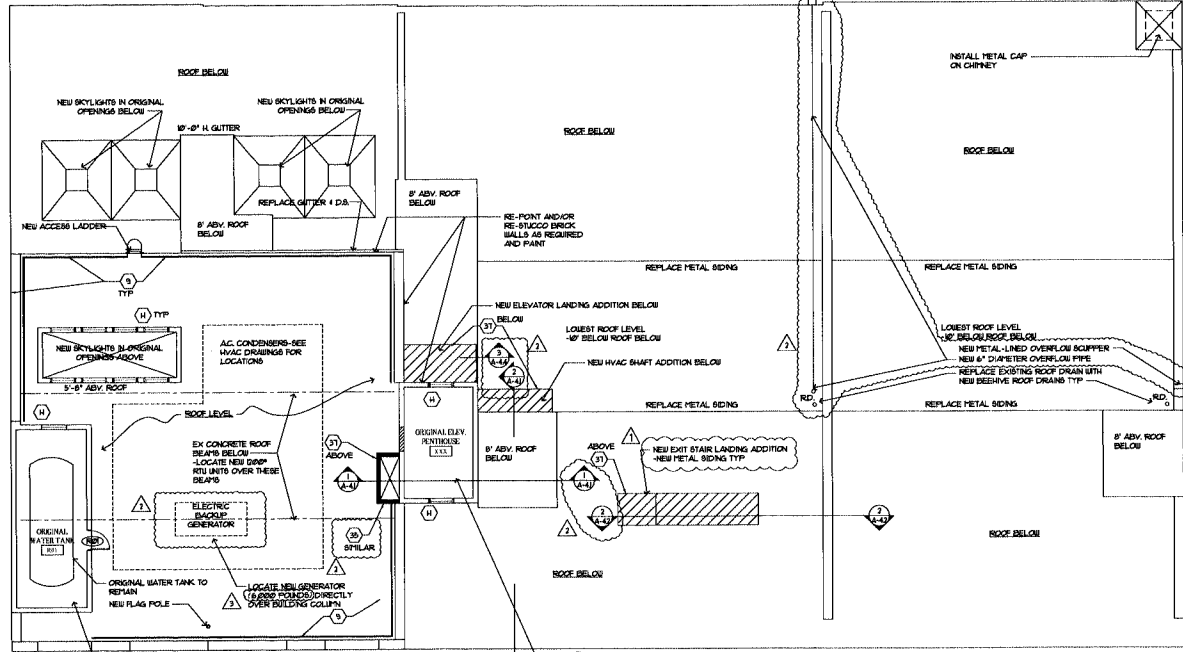
WINDOW NOTES

BASES OF DESIGN FOR ALL ALUMINUM FRAME REPLACEMENT WINDOWS:
 1. 1/2" SERIES 200 SINGLE HUNG WINDOWS BY SOGAIN UNDOORS AND DOORS CORPORATION WITH 1/2" COLONIAL FILTERED COVERED LITE/ GLASS LITE. FINISH LITE - COVERED LITE COVER PRIOR TO OPERATIONS. ALL WINDOWS SHALL BE CERTIFIED TO FIT EACH HATCHING MASONRY OPENING COMPLETELY. FIELD VERIFY ALL OPENING DIMENSIONS FOR REPLACEMENT WINDOWS PRIOR TO OPERATIONS. PRIOR TO OPERATIONS CONTRACTOR SHALL PROVIDE A SAMPLE INSTALLATION OF PROPOSED WINDOW FOR HISTORIC REVIEW.

- A. EXISTING NON-ORIGINAL ALUMINUM FRAME WINDOWS - PROVIDE ALLOWANCE TO REPAIR AND REPLACE MISSING SCREENS AND PAINT EXTERIOR SURFACES (MATCHING CONFIGURATION)
- B. NEW ALUMINUM WINDOWS IN ORIGINAL BRICKED-IN MASONRY OPENINGS WITH MATCHING CONFIGURATION
- C. NEW ALUMINUM WINDOWS IN NEW MASONRY OPENINGS WITH MATCHING CONFIGURATION
- D. REPLACE ORIGINAL WIRE GLASS/METAL WINDOW WITH CLEAR GLASS/ALUMINUM WINDOW WITH SAFE CONFIGURATION
- E. REPLACE NON-ORIGINAL BASEMENT WINDOWS AND NON-ORIGINAL SECURITY BARS WITH NEW ALUMINUM WINDOWS AND NEW SECURITY BARS
- F. NEW UNDOOR INTERIOR STOREFRONT - PROVIDE SHOP DRAWINGS
- G. REPLACE ORIGINAL BASEMENT WINDOW & NON-ORIGINAL SECURITY BARS w/ NEW ALUMINUM WINDOWS AND NEW SECURITY BARS
- H. REPLACE ORIGINAL WINDOWS w/ NEW ALUMINUM WINDOWS IN SAFE CONFIGURATION
- I. REMOVE EXISTING ROOFING MEMBERS FROM PARAPET (IF IN PLACE) AND REPAIR ORIGINAL UNDOOR SURFACES OF WINDOW OPENINGS TO ALIGN WITH FINISHED INTERIOR WALL SURFACE.

1 DRAWING NOTES

1. REMOVE ORIGINAL STOREFRONT
2. INSTALL NEW WOOD & GLASS STOREFRONT WHERE ORIGINAL STOREFRONT HAVE BEEN PREVIOUSLY REMOVED
3. REPLACE WOOD & GLASS STOREFRONT WITH NEW DOORS AND MATCHING SIDE LITES
4. REPLACE NON-ORIGINAL GARAGE DOOR WITH NEW WOOD DOORS AND SIDE LITES
5. REPAIR ORIGINAL DOORS & ENTRANCE AND REPLACE NON-ORIGINAL TRANSOM
6. REPAIR ORIGINAL ENTRANCE & TRANSOM AND ORIGINAL DOORS
7. REPLACE NON-ORIGINAL GARAGE DOOR w/ METAL GARAGE DOOR. EXISTING DESIGN IS OVERHEAD DOOR. CORPORATION SERIES 446 WITH 1/2" TYP. SLATS. REPLACE TRANSOM ABOVE WITH REPLACEMENT MATCHING EXISTING CONFIGURATION. ALSO NOTE OVERHEAD
8. REPLACE NON-ORIGINAL GARAGE DOOR w/ WOOD DOOR & BLACK ALUMINUM PICKET RAILINGS
9. GUARDRAIL AT 3'-6" AFF (AT ROOF PARAPET - SEE APPLICABLE DETAIL)
10. CABLE GUARDRAIL AT 3'-6" AFF (AT ROOF TERRACE - SEE DETAIL)
11. PROVIDE ADDITIONAL SPRINKLER COVERAGE AT OPENINGS ADJACENT TO FIRE ESCAPES (ONE HEAD REQUIRED)
12. EXISTING ROLLING FIRE DOOR - DEACTIVATE AND PAINT, TYPICAL THROUGHOUT
13. ORIGINAL OVERHEAD FIRE DOORS - DEACTIVATE & PAINT, TYP.
14. INSTALL NEW HANDRAIL AT 36" ABOVE TREAD NOSING
15. INSTALL NEW 42" HIGH GUARDRAIL AND 24" HIGH HANDRAIL
16. PAINT EXISTING BOILER DOORS TO EXISTING HAVENET FINISH
17. ORIGINAL INDICATOR TO REMAIN. SEE MECHANICAL DRAWINGS
18. ORIGINAL WINDOWS TO REMAIN. REPAIR AND REFINISH ON OUTSIDE SIDE. PAINT BLACK ON INSIDE RESTROOMS SIDE
19. TRANSFORMER (7200/250MVA) - SEE ELECTRICAL DRAWINGS
20. FUTURE GREASE DUCT LOCATION INSIDE EXISTING 12 HOUR TYPICAL FIRE RATED) MASONRY CHIMNEY - BY OTHERS (FUTURE RESTAURANT TENANT) UNDER SEPARATE PERMIT - N/C
21. FUTURE GREASE DUCT AND EXHAUST FAN - BY OTHERS (FUTURE RESTAURANT TENANT) UNDER SEPARATE PERMIT - N/C
22. RE-USE EXISTING ORIGINAL WOOD PANELS THAT ARE IN NON-ORIGINAL LOCATION TO RE-INSTALL ORIGINAL WALLS THAT ORIGINAL WOOD PANELS REMOVED
23. PROVIDE 1-HOUR RATED CEILING - SEE DETAILED DESCRIPTION ON BUILDING CODE INFORMATION SHEET - TYPICAL FOR ALL FIRE RATED CONSTRUCTION
24. REMOVE ORIGINAL TN CEILING IN THIS AREA. INSTALL RATED DORTHALL CEILING & INSTALL NEW TN CEILING OF SIMILAR STYLE
25. ORIGINAL WOOD PANELING WALL FINISH TO REMAIN. REFINISH AT SECOND FLOOR OFFICE SUITE
26. REPAIR TN CEILING - TYPICAL THROUGHOUT ENTIRE ORIGINAL EXECUTIVE OFFICE SUITE
27. NEW MASONRY LITE - SEE LITEL SCHEDULE
28. 2-HOUR RATED WALL FROM FLOOR SLAB TO UNDERSIDE OF CEILING SLAB - WORKING FOR HVAC LINES. PROVIDE NEW 2" x 8" OPENING IN FLOOR INSIDE OF ENCLOSURE 20' AWAY FROM EXISTING MASONRY LOCATION AND VERIFY WITH ARCHITECT PRIOR TO CUTTING FLOOR
29. FUTURE BAY WINDOW FOR TOILET LINES
30. ELECTRIC PANEL LOCATION - SEE ELECTRICAL DRAWINGS
31. REMOVE NON-ORIGINAL WINDOWS AND INFILL OPENINGS WITH CONSTRUCTION MATCHING ADJACENT CONSTRUCTION
32. PROVIDE GLOVED-CELL ICYNENE 4" MIN FINISHED THICKNESS
33. TYP NEW 2" x 8" JOIST BEAMS AT EACH END OF NEW BEAM
34. METAL NEW 1/2" x 1/2" x 1/2" LAL BEAMS AT MIDPOINT BETWEEN EXISTING BEAMS. PLACE TIGHT TO UNDERSIDE OF EXISTING BEAMS. PROVIDE JOIST HANGERS CONNECTION AT EACH END. HANGERS SHALL BE 2"
35. TYPICAL NEW EXTERIOR ENCLOSURE AT ROOFTOP AREA. GALVALUT METAL SIDING TO MATCH EXISTING OVER LEANER BARBER OVER DOW-CLAM WALL SHEATHING OVER 2x8 GA METAL SIDING AT 8" O.C.
36. TYP NEW WALL FLOOR STRUCTURE 2" x 2" AT 8" O.C. FINISH BASKET DIRECTION IMPROVED ON JOIST TEGRESSION W/ 2" x 4" LEDGER BOARDS ANCHORED TO EXISTING BRICK MASONRY WITH 1/2" DIA. EPOXY ANCHOR BOLTS AT 6" O.C. TOP AND BOTTOM WITH 6" EMBEDMENT INTO BRICK
37. NEW ROOF TYP ROOF MEMBRANE OVER TYP NEW SD ROOF INSULATION ON 2x8 GA 6" METAL RAFTERS AT 16" O.C.



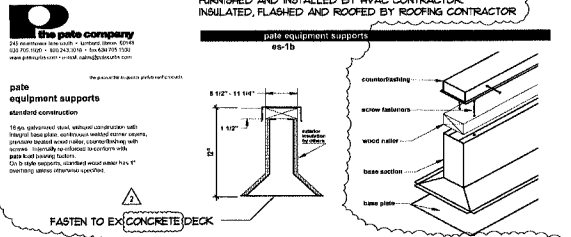
1 ROOF PLAN

A-2/B 1/8" = 1'-0"

TYPICAL ROOFING:

- REMOVE ALL ROOFING MATERIAL TO ORIGINAL SHEATHING AND RECYCLE REMOVED ROOFING
- REPAIR EXISTING ROOF SHEATHING AS REQUIRED TO RECEIVE NEW ROOFING SYSTEM
- ROOF SYSTEM FOR THE BUILDING SHALL BE FIRESTONE ULTRA FLY TPO FULLY ADHESIVE (200) MEMBRANE ROOFING SYSTEM (UNITE) USING MANUF. STANDARD BONDING ADHESIVE
- INSTALL ONE LAYER OF 3/8" (R-50) POLYURETHANE RIGID INSULATION VIA MECHANICAL ATTACHMENT (SCREWS AND PLATE).
- CONTRACTOR TO PROVIDE 20 YEAR RED SHIELD WARRANTY MATERIAL AND WORKMANSHIP
- PROVIDE TACK FLASHING AT BRICK WALLS - SAUCUT REGLETS AND DOWNSPOUT LANDING. DO NOT USE TYPICAL BARS
- PROVIDE NEW METAL COPINGS TYP - COLOR BY ARCHITECT

FURNISHED AND INSTALLED BY HVAC CONTRACTOR INSULATED, FLASHED AND ROOFED BY ROOFING CONTRACTOR



2 MECH CURB DETAIL

A-2/B NOT TO SCALE

WALL LEGEND	
	EXISTING WALL CONSTRUCTION MAY INCLUDE MASONRY CONCRETE, OR WOOD FRAMED CONSTRUCTION
	NEW MASONRY CONSTRUCTION SEE WALL TYPES FOR SPECIFIED FIRE RATINGS. TYPICAL
	NEW METAL-FRAMED WALL CONSTRUCTION (UNRATED)
	NEW FIRE-RATED METAL-FRAMED WALL CONSTRUCTION
	STORAGE AREA WALL - METAL FRAMING WITH 2" OSB ON ONE SIDE ONLY, STOPPING SHORT OF CEILING

Revisions:
 August 31, 2015
 September 28, 2015
 November 9, 2015

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 235 WEST 12TH STREET
 CINCINNATI, OHIO

DATE: 07/25/2015
 COMM NO: 511
 SHEET NO: A-28

GENERAL ELEVATION NOTES

1. ALL EXTERIOR WALLS SHALL BE CLEANED (PRESSURE WASHED) AND RE-POINTED WHERE REQUIRED. REPLACE CRACKED AND DAMAGED BRICK WITH SOUND BRICK SALVAGED FROM ELSEWHERE IN THIS BUILDING.
2. FOLLOWING CLEANING AND REPOINTING, PAINT NORTH AND WEST EXTERIOR BRICK WALLS (PREVIOUSLY PAINTED). DO NOT PAINT SOUTH AND EAST EXTERIOR BRICK WALLS.
3. PAINT ALL NON-STONE TRIM CLEAN AND REMOVE PAINT FROM SANDSTONE SILL AND LINTEL. DO NOT PAINT STONE TRIM.
4. RE-POINT AND REPAIR EXISTING FINISH PARAPETS OR BRICCO (FOR EXAMPLE) OF EXTERIOR BRICK WALLS ABOVE ROOFTOP / PERIMETER STRUCTURES) AS REQUIRED AND PAINT. REPLACE ALL LOOSE STEEL DOOR LINTELS AT PERIMETER STRUCTURES AND REPLACE SPALLED BRICK ABOVE THESE OPENINGS AS REQUIRED PRIOR TO REPAIRING EXTERIOR FINISHES.
5. REPLACE ALL SCUPPERS AND DOWNSPOUTS WITH NEW GALV. METAL SCUPPERS AND DOWNSPOUTS.
6. WIRE-BRUSH CLEAN ALL EXISTING CAST IRON / STEEL LINTELS. NOTE ANY SEVERELY CORRODED AREAS AND CONTACT ARCHITECT FOR REPAIR RECOMMENDATIONS.
7. CLEAN AND PAINT EXISTING FIRE ESCAPES.
8. REMOVE ALL MISCELLANEOUS NAIRED PIPING, WIRING, CONDUIT AND ANY METAL, PLASTIC, AND WOOD ANCHORAGE DEVICES FOR THESE ITEMS WHEREVER THEY OCCUR ON ANY ELEVATION (ABANDONED SPRINKLER CONNECTIONS FOR EXAMPLE). PATCH AND REPAIR THESE AREAS AS REQUIRED TO MAINTAIN WEATHERTIGHT BUILDING SHELL.
9. ALL SIGNAGE WILL BE INSTALLED UNDER SEPARATE FUTURE PERMITS BY OTHERS (BURDEN TENANTS).
10. ANCHOR ALL GALL-FOUNDED LIGHT FIXTURES INTO PORTLAND JOINTS (NOT BRICK).

WINDOW NOTES

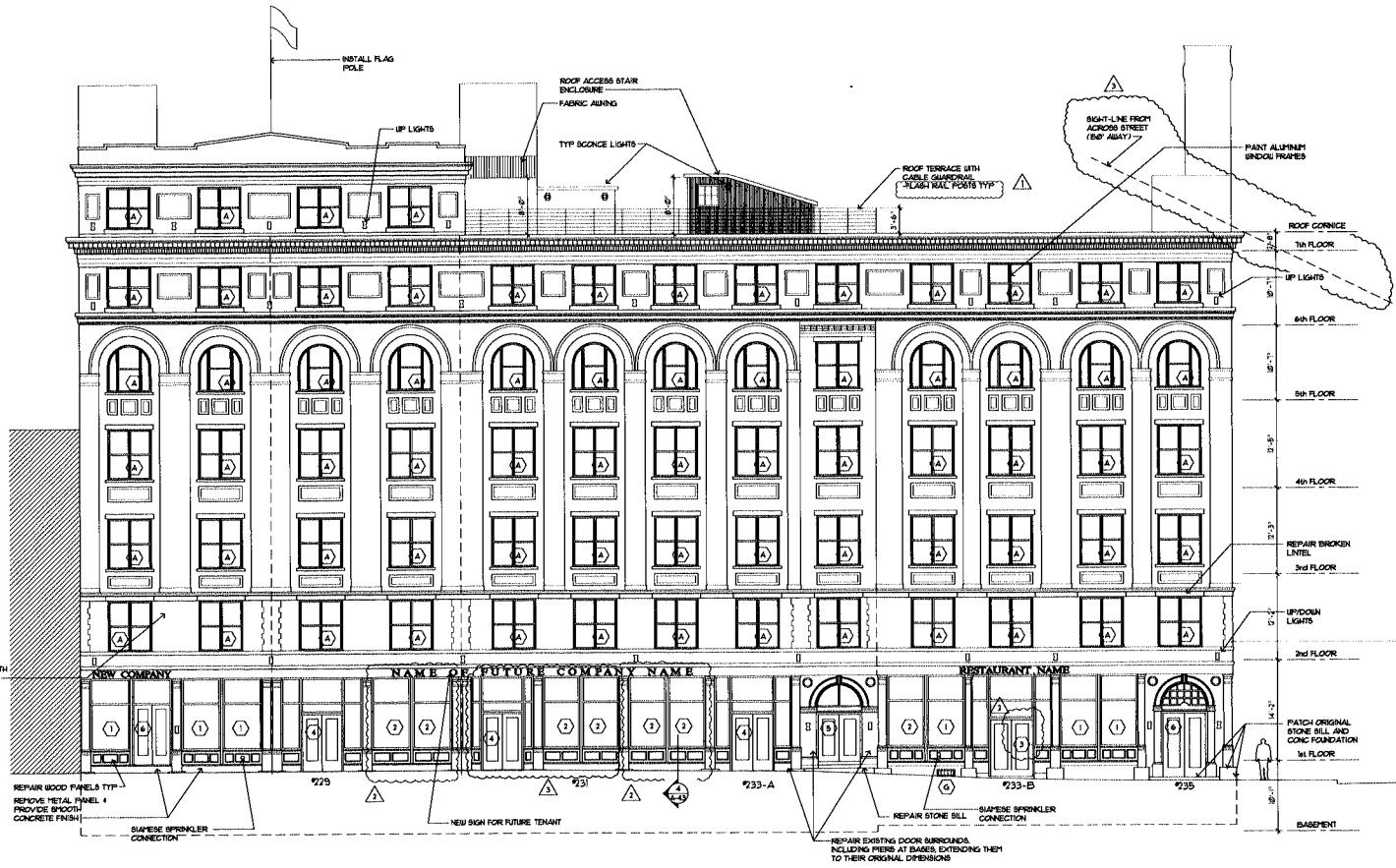
BASIS OF DESIGN FOR ALL ALUMINUM FRAME REPLACEMENT WINDOWS: 15'-0" SERIES 111 SINGLE-HING WINDOW BY SIGMA WINDOWS AND DOOR CORPORATION WITH 1" COLONIAL SPALLATED DIVIDED LITE GLAZING LOW-E TINTED WHITE GLASS WITH CLEAR FINISH TO OBSERVE ALL WINDOWS SHALL BE CUSTOM-BUILT TO FIT EACH HISTORIC MASONRY OPENING COMPLETELY. HELD VERY ALL OPENING DIMENSIONS FOR REPLACEMENT WINDOWS PRIOR TO ORDERING. PRIOR TO ORDERING WINDOWS CONTRACTOR SHALL PROVIDE A SAMPLE INSTALLATION OF PROPOSED WINDOW FOR HISTORIC REVIEW.

- A. EXISTING NON-ORIGINAL ALUMINUM FRAME WINDOWS - PROVIDE ALLOWANCE TO REPAIR AND REPLACE FINISH SCREWS AND PAINT EXTERIOR SURFACES
- B. NEW ALUMINUM WINDOWS IN ORIGINAL BRICKED-IN MASONRY OPENINGS (WITH MATCHING CONFIGURATION)
- C. NEW ALUMINUM WINDOWS IN NEW MASONRY OPENINGS (WITH MATCHING CONFIGURATION)
- D. REPLACE ORIGINAL WIRE GLASS/METAL WINDOWS WITH CLEAR GLASS/ALUMINUM WINDOWS WITH SAME CONFIGURATION
- E. REPLACE NON-ORIGINAL BASEMENT WINDOWS AND NON-ORIGINAL SECURITY BARS WITH NEW ALUMINUM WINDOWS AND NEW SECURITY BARS
- F. NEW WOOD INTERIOR STOREFRONT - PROVIDE SHOP DRAWINGS
- G. REPLACE ORIGINAL BASEMENT WINDOWS + NON-ORIGINAL SECURITY BARS W/ NEW ALUMINUM WINDOWS AND NEW SECURITY BARS
- H. REPLACE ORIGINAL WINDOWS W/ NEW ALUMINUM WINDOWS IN SAME CONFIGURATION
- I. REMOVE EXISTING ROOFING MEMBRANE FROM PARAPET WALL (IF IN PLACE) AND REPAIR ORIGINAL WINDOW FRAME OF WINDOW OPENING TO ALIGN WITH FINISHED INTERIOR WALL SURFACE.

DRAWING NOTES

1. REPAIR ORIGINAL STOREFRONTS
2. INSTALL NEW WOOD GLASS STOREFRONTS WHERE ORIGINAL STOREFRONTS HAVE BEEN PREVIOUSLY REMOVED
3. REPLACE WOOD GLASS STOREFRONTS WITH NEW DOORS AND MATCHING SIDE LIGHTS
4. REPLACE NON-ORIGINAL GARAGE DOOR WITH NEW WOOD DOORS AND SIDE LIGHTS
5. REPAIR ORIGINAL DOORS + ENTRANCE AND REPLACE NON-ORIGINAL STOREFRONT
6. REPAIR ORIGINAL ENTRANCE + TRANSOM AND ORIGINAL DOORS
7. REPLACE NON-ORIGINAL GARAGE DOOR WITH METAL GARAGE DOOR. BASIS OF DESIGN IS OVERHEAD DOOR CORPORATION "HERDS" AND WITH "C-75" SLATS. REPLACE TRANSOM ABOVE WITH REPLACEMENT MATCHING EXISTING CONFIGURATION UNLESS NOTED OTHERWISE.
8. REPAIR NON-ORIGINAL GARAGE DOOR WITH FREIGHT DOORS + BLACK ALUMINUM PICKET RAILING
9. GUARDRAIL AT 3'-6" AFF (AT ROOF PARAPET - SEE APPLICABLE DETAIL)
10. CABLE GUARDRAIL AT 3'-6" AFF (AT ROOF TERRACE - SEE DETAIL)

REMOVE EX METAL LOUVER AND HELL FACADE OPENING WITH BRICK CONSTRUCTION MATCHING ADJACENT WITH SALVAGED BRICKS TYP.



1 NORTH ELEVATION
18' x 1'-0"

Revisions:
 August 31, 2015
 September 28, 2015
 November 3, 2015

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 CINCINNATI, OHIO

DATE: 8/25/2015
 COMM NO: 511
 SHEET NO:

A-3.1

GENERAL ELEVATION NOTES

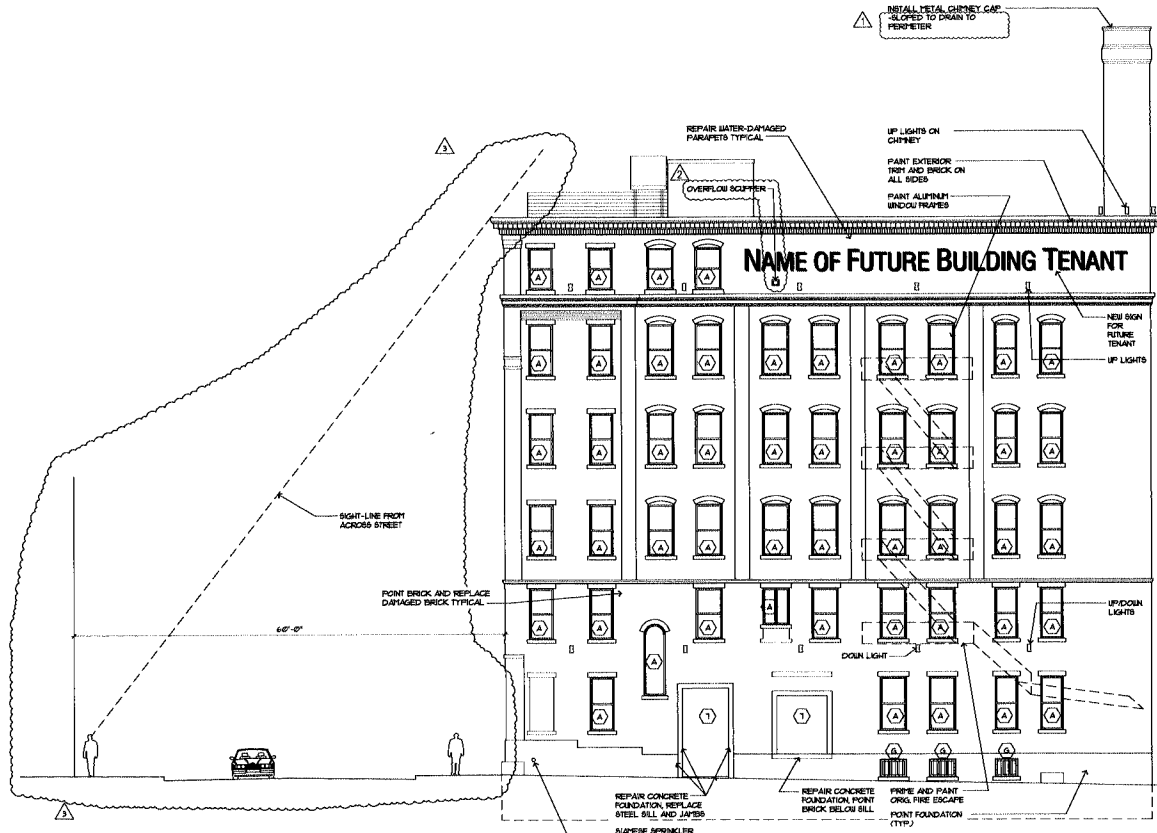
1. ALL EXTERIOR WALLS SHALL BE CLEANED (PRESSURE-WASHED) AND RE-POINTED WHERE REQUIRED. REPLACE CRACKED AND DAMAGED BRICK WITH SOUND BRICK SALVAGED FROM ELSEWHERE IN THIS BUILDING.
2. FOLLOWING CLEANING AND REPOINTING, PAINT NORTH AND WEST EXTERIOR BRICK WALLS (PREVIOUSLY PAINTED). DO NOT PAINT SOUTH AND EAST EXTERIOR BRICK WALLS.
3. PAINT ALL NON-STONE TRIM, CLEAN AND REMOVE PAINT FROM SANDSTONE SILLS AND LINTELS. DO NOT PAINT STONE TRIM.
4. RE-POINT AND REPAIR EXISTING FINISH (PLASTER OR STUCCO FOR EXAMPLE) OF EXTERIOR BRICK WALLS ABOVE ROOFTOP (PENTHOUSE STRUCTURES) AS REQUIRED AND PAINT. REPLACE ALL LOOSE STEEL DOOR LINTELS AT PENTHOUSE STRUCTURES AND REPLACE SPALLED BRICK ABOVE THESE OPENINGS AS REQUIRED PRIOR TO REPAIRING EXTERIOR FINISHES.
5. REPLACE ALL SCOFFERS AND DOWNPOUTS WITH NEW GALV METAL SCOFFERS AND DOWNPOUTS.
6. WIRE-DRUM CLEAN ALL EXISTING CAST IRON / STEEL LINTELS. NOTE ANY SEVERELY CORRODED AREAS AND CONTACT ARCHITECT FOR REPAIR RECOMMENDATIONS.
7. CLEAN AND PAINT EXISTING FIRE ESCAPES.
8. REMOVE ALL MISCELLANEOUS WIRING (PILING, CONDUIT AND ANY METAL, PLASTIC, AND WOOD ANCHORAGE DEVICES FOR THESE ITEMS) WHEREVER THEY OCCUR ON ANY ELEVATION (ABANDONED SPRINKLER CONNECTIONS FOR EXAMPLE). PATCH AND REPAIR THESE AREAS AS REQUIRED TO MAINTAIN WEATHERTIGHT BUILDING SHELL.
9. ALL SURFACE SHALL BE INSTALLED UNDER SEPARATE RUMPER PERMITS BY OTHERS (SEE TENANTS).
10. ANCHOR ALL WALL-PAINTED LIGHT FIXTURES INTO FLOOR JOINTS NOT BRICK.

WINDOW NOTES

1. BASIS OF DESIGN FOR ALL ALUMINUM FRAME REPLACEMENT WINDOWS:
 24" SERIES 200 SINGLE-HING WINDOWS BY UJIAN WINDOWS AND DOOR CORPORATION WITH 1" COLONIAL BEVELLED DIVIDED LITE GLAZING. LOGIC FINISH LITE - GREEN WITH OVER PRESS TO ORDER. ALL WINDOWS SHALL BE CUSTOMIZED TO FIT EACH HISTORIC MASONRY OPENING COMPLETELY. FIELD VERIFY ALL OPENING DIMENSIONS FOR REPLACEMENT WINDOWS PRIOR TO ORDERING. PRIOR TO ORDERING WINDOW CONTRACTOR SHALL PROVIDE A SAMPLE INSTALLATION OF PROPOSED WINDOW FOR HISTORIC REVIEW!
- (A) EXISTING NON-ORIGINAL ALUMINUM FRAME WINDOWS - PROVIDE ALLOWANCE TO REPAIR AND REPLACE MISSING SCREENS AND PAINT EXTERIOR SURFACES
 - (B) NEW ALUMINUM WINDOWS IN ORIGINAL BRICKED-IN MASONRY OPENINGS (WITH MATCHING CONFIGURATION)
 - (C) NEW ALUMINUM WINDOWS IN NEW MASONRY OPENINGS (WITH MATCHING CONFIGURATION)
 - (D) REPLACE ORIGINAL WIRE GLASS/METAL WINDOWS WITH CLEAR GLASS/ALUMINUM WINDOWS WITH SAME CONFIGURATION
 - (E) REPLACE NON-ORIGINAL BASEMENT WINDOWS AND NON-ORIGINAL SECURITY BARS WITH NEW ALUMINUM WINDOWS AND NEW SECURITY BARS
 - (F) NEW WOOD INTERIOR STOREFRONT - PROVIDE SHOP DRAWINGS
 - (G) REPLACE ORIGINAL BASEMENT WINDOW & NON-ORIGINAL SECURITY BARS w/ NEW ALUMINUM WINDOWS AND NEW SECURITY BARS
 - (H) REPLACE ORIGINAL WINDOWS w/ NEW ALUMINUM WINDOWS IN SAME CONFIGURATION
 - (J) REMOVE EXISTING ROOFING TERRAZINE FROM PARAPET WALL (IF PLACED) AND REPAIR ORIGINAL WINDOW RUN INSIDE OF WINDOW OPENING TO ALIGN WITH FINISHED INTERIOR WALL SURFACE.

DRAWING NOTES

1. REPAIR ORIGINAL STOREFRONTS
2. INSTALL NEW WOOD & GLASS STOREFRONTS WHERE ORIGINAL STOREFRONTS HAVE BEEN PREVIOUSLY REMOVED
3. REPLACE WOOD & GLASS STOREFRONTS WITH NEW DOORS AND MATCHING METAL KITS
4. REPLACE NON-ORIGINAL "GARAGE" DOOR WITH NEW WOOD DOORS AND SILLIES
5. REPAIR ORIGINAL DOORS & ENTRANCE AND REPLACE NON-ORIGINAL TRANSPORT
6. REPAIR ORIGINAL ENTRANCE & TRANSPORT AND ORIGINAL DOORS
7. REPLACE NON-ORIGINAL GARAGE DOOR w/ METAL GARAGE DOOR. BASIS OF DESIGN IS OVERHEAD DOOR CORPORATION'S TERRIES AND WITH 1/2" 13" PLATE. REPLACE TRANSPORT ABOVE WITH REPLACEMENT MATCHING EXISTING CONFIGURATION UNLESS NOTED OTHERWISE.
8. REPLACE NON-ORIGINAL GARAGE DOOR w/ TRANSPORT DOORS & BLACK ALUMINUM PICKET RAILING
9. GUARDRAIL AT 3'-6" AFF (AT ROOF PARAPET - SEE APPLICABLE DETAIL)
10. CABLE GUARDRAIL AT 3'-6" AFF (AT ROOF TERRACE - SEE DETAIL)



1 WEST ELEVATION
 1/8" = 1'-0"

Revised:
 August 31, 2015
 September 28, 2015
 November 9, 2015

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STRIETMANN BUILDING
 235 WEST 12TH STREET
 CINCINNATI, OHIO

DATE: 02/25/2015
 COMM NO: 517
 SHEET NO:

A-3.2

GENERAL ELEVATION NOTES

1. ALL EXTERIOR WALLS SHALL BE CLEANED (PRESSURE-WASHED) AND RE-POINTED WHERE REQUIRED. REPLACE CRACKED AND DAMAGED BRICK WITH SOUND BRICK SALVAGED FROM ELSEWHERE IN THIS BUILDING.
2. FOLLOWING CLEANING AND REPOINTING PAINT NORTH AND WEST EXTERIOR BRICK WALLS (PREVIOUSLY PAINTED). DO NOT PAINT SOUTH AND EAST EXTERIOR BRICK WALLS.
3. PAINT ALL NON-STONE TRIM CLEAN AND REMOVE PAINT FROM SANDSTONE SILLS AND LINTELS. DO NOT PAINT STONE TRIM.
4. RE-POINT AND REPAIR EXISTING FINISH (PARAPET OR STUCCO FOR EXAMPLE) OF EXTERIOR BRICK WALLS ABOVE ROOFTOP (PENTHOUSE STRUCTURES) AS REQUIRED AND PAINT. REPLACE ALL LOOSE STEEL DOOR LINTELS AT FINISH STRUCTURES AND REPLACE SPALLED BRICK ABOVE THESE OPENINGS AS REQUIRED PRIOR TO REPAIRING EXTERIOR FINISHES.
5. REPLACE ALL SCOFFERS AND DOWNPOUTS WITH NEW GALV. METAL SCOFFERS AND DOWNPOUTS.
 - A. USE BRUSH CLEAN ALL EXISTING CAST IRON / STEEL LINTELS. NOTE ANY SEVERELY CORRODED AREAS AND CONTACT ARCHITECT FOR REPAIR RECOMMENDATIONS.
6. CLEAN AND PAINT EXISTING FIRE ESCAPE.
7. REMOVE ALL MISCELLANEOUS UNBID FINISH (PARAPET AND ANY METAL, PLASTIC, AND WOOD ANCHORAGE DEVICES FOR THESE ITEMS WHEREVER THEY OCCUR ON ANY ELEVATION (ABANDONED SPRINKLER CONNECTIONS FOR EXAMPLE). PATCH AND REPAIR THESE AREAS AS REQUIRED TO MAINTAIN WEATHERTIGHT BUILDING SHELL.
8. ALL SWANAGE WILL BE INSTALLED UNDER SEPARATE FUTURE PERMITS BY OTHERS (BUILDING TENANT).
9. ANCHOR ALL WALL-MOUNTED LIGHT FIXTURES INTO PORTLAND CEMENT MORTAR.

WINDOW NOTES

- BASIS OF DESIGN FOR ALL ALUMINUM FRAME REPLACEMENT WINDOWS:
 14-85" SERIES 35X" SINGLE-HING WINDOW BY UCOAN WINDOWS AND DOOR CORPORATION WITH 1" COLONIAL SPILLATED DIVIDED LITE GLAZING LOGIC FINISH. LITE GLAZING WITH CLEAR COLORED TO OBSERVE. ALL WINDOWS SHALL BE CUSTOMIZED TO FIT EACH HISTORIC MASONRY OPENING COMPLETELY. FIELD VERIFY ALL OPENING DIMENSIONS FOR REPLACEMENT WINDOWS PRIOR TO ORDERING. PRIOR TO ORDERING WINDOW CONTRACTOR SHALL PROVIDE A SAMPLE INSTALLATION OF PROPOSED WINDOW FOR HISTORIC REVIEW.
- A. EXISTING NON-ORIGINAL ALUMINUM FRAME WINDOWS - PROVIDE ALLOWANCE TO REPAIR AND REPLACE MISSING SCREENS AND PAINT EXTERIOR SURFACES.
 - B. NEW ALUMINUM WINDOWS IN ORIGINAL BRICKED-IN MASONRY OPENINGS (WITH MATCHING CONFIGURATION).
 - C. NEW ALUMINUM WINDOWS IN NEW MASONRY OPENINGS (WITH MATCHING CONFIGURATION).
 - D. REPLACE ORIGINAL WIRE GLASS/METAL WINDOWS WITH CLEAR GLASS ALUMINUM WINDOWS WITH SAFE CONFIGURATION.
 - E. REPLACE NON-ORIGINAL BASEMENT WINDOWS AND NON-ORIGINAL SECURITY BARS WITH NEW ALUMINUM WINDOWS AND NEW SECURITY BARS.
 - F. NEW WOOD INTERIOR STOREFRONT - PROVIDE SHOP DRAWINGS.
 - G. REPLACE ORIGINAL BASEMENT WINDOW & NON-ORIGINAL SECURITY BARS w/ NEW ALUMINUM WINDOWS AND NEW SECURITY BARS.
 - H. REPLACE ORIGINAL WINDOWS w/ NEW ALUMINUM WINDOWS IN SAFE CONFIGURATION.
 - J. REMOVE EXISTING ROOFING MEMBRANE FROM PARAPET WALL (IF IN PLACE) AND REPAIR ORIGINAL WINDOW RISE INSIDE OF WINDOW OPENING TO ALIGN WITH FINISHED INTERIOR WALL SURFACE.

DRAWING NOTES

1. REPAIR ORIGINAL STOREFRONTS
2. INSTALL NEW WOOD & GLASS STOREFRONTS WHERE ORIGINAL STOREFRONTS HAVE BEEN PREVIOUSLY REMOVED.
3. REPLACE WOOD & GLASS STOREFRONTS WITH NEW DOORS AND MATCHING SIDELIGHTS.
4. REPLACE NON-ORIGINAL GARAGE DOOR WITH NEW WOOD DOORS AND SIDELIGHTS.
5. REPAIR ORIGINAL DOORS & ENTRANCE AND REPLACE NON-ORIGINAL TRANSOM
6. REPAIR ORIGINAL ENTRANCE & TRANSOM AND ORIGINAL DOORS.
7. REPLACE NON-ORIGINAL GARAGE DOOR w/ METAL GARAGE DOOR. EXISTING DESIGN IS OVERHEAD DOOR CONFIGURATION. REFER AND WITH "C" TO PLATE. REPLACE TRANSOM ABOVE WITH REPLACEMENT MATCHING EXISTING CONFIGURATION UNLESS NOTED OTHERWISE.
8. REPLACE NON-ORIGINAL GARAGE DOOR w/ FRENCH DOORS & BLACK ALUMINUM PICKET RAILING.
9. GUARDRAIL AT 3'-4" AFF (AT ROOF PARAPET - SEE APPLICABLE DETAIL)
10. CABLE GUARDRAIL AT 3'-6" AFF (AT ROOF TERRACE - SEE DETAIL)



1 SOUTH ELEVATION
 1/8" = 1'-0"
 NOTE: UNPROTECTED OPENINGS ON THIS ELEVATION CONSTITUTE LESS THAN 24% OF THIS EXTERIOR WALL AREA.

Revisions:
 August 31, 2015
 September 28, 2015
 November 9, 2015

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STRIETMANN BUILDING
 235 WEST 12TH STREET
 CINCINNATI, OHIO

DATE: 07/20/15
 COMM NO: 511
 SHEET NO:

A-3.3

GENERAL ELEVATION NOTES

1. ALL EXTERIOR WALLS SHALL BE CLEANED (PRESSURE-WASHED) AND RE-POINTED WHERE REQUIRED. REPLACE CRACKED AND DAMAGED BRICK WITH SOUND BRICK SALVAGED FROM ELSEWHERE IN THIS BUILDING.
2. FOLLOWING CLEANING AND REPOINTING, PAINT NORTH AND WEST EXTERIOR BRICK WALLS (PREVIOUSLY PAINTED). DO NOT PAINT SOUTH AND EAST EXTERIOR BRICK WALLS.
3. PAINT ALL NON-STONE TRIM CLEAN AND REMOVE PAINT FROM SANDSTONE SILLS AND LINTELS (DO NOT PAINT STONE TRIM).
4. RE-POINT AND REPAIR EXISTING FINISH (PLASTER OR STUCCO FOR EXAMPLE) OF EXTERIOR BRICK WALLS ABOVE ROOFTOP / PENTHOUSE STRUCTURES / AS REQUIRED AND PAINT. REPLACE ALL LOOSE STEEL DOOR LINTELS AT PENTHOUSE STRUCTURES AND REPLACE BRALLED BRICK ABOVE THESE OPENINGS AS REQUIRED PRIOR TO REPAIRING EXTERIOR FINISHES.
5. REPLACE ALL SCUPPERS AND DOWNSPOUTS WITH NEW GALV. METAL SCUPPERS AND DOWNSPOUTS.
6. WIRE-BRUSH CLEAN ALL EXISTING CAST IRON / STEEL LINTELS. NOTE ANY SEVERELY CORRODED AREAS AND CONTACT ARCHITECT FOR REPAIR RECOMMENDATIONS.
7. CLEAN AND PAINT EXISTING FIRE ESCAPES.
8. REMOVE ALL MISCELLANEOUS UNAGED PIPING, WIRING, CONDUIT AND ANY METAL, PLASTIC, AND WOOD ANCHORAGE DEVICES FOR THESE TIERS WHEREVER THEY OCCUR ON ANY ELEVATION (ABANDONED SPRINKLER CONNECTIONS FOR EXAMPLE). PATCH AND REPAIR THESE AREAS AS REQUIRED TO MAINTAIN WEATHERTIGHT BUILDING SHELL.
9. ALL SEWAGE SHALL BE INSTALLED UNDER SEPARATE RUMBLE PERMITS BY OTHERS (SEELE, TENANT).
10. ANCHOR ALL WALL-MOUNTED LIGHT FIXTURES INTO PORTLAND CONCRETE (NOT BRICK).

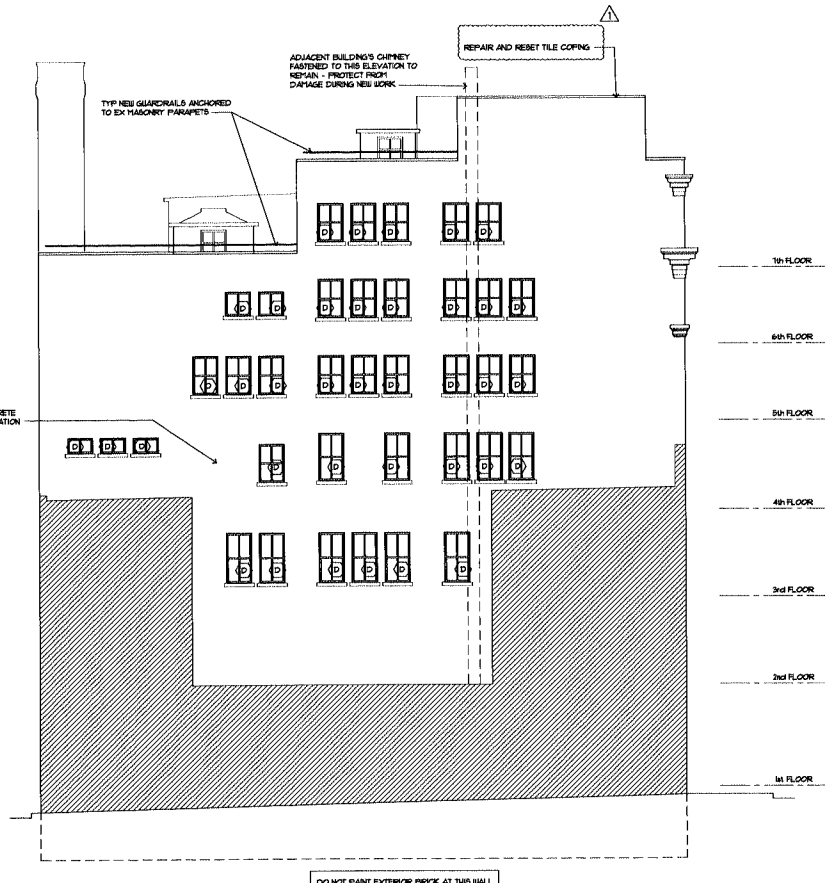
WINDOW NOTES

BASED ON DESIGN FOR ALL ALUMINUM FRAME REPLACEMENT WINDOWS:
 1. 48" X 60" SERIES 200 SINGLE-HUNG WINDOWS BY EQUUS WINDOWS AND DOOR CORPORATION WITH 7' COLONIAL STIPPLATED DIVIDED LITES / GLAZING LOSS E. FINISH WHITE - CONFORM WITH CODES PRIOR TO ORDERING. ALL WINDOWS SHALL BE CUSTOMIZED TO FIT EACH HISTORIC MASONRY OPENING COMPLETELY. FIELD VERIFY ALL OPENING DIMENSIONS FOR REPLACEMENT WINDOWS PRIOR TO ORDERING. PRIOR TO ORDERING WINDOWS CONTRACTOR SHALL PROVIDE A SAMPLE INSTALLATION OF PROPOSED WINDOW FOR HISTORIC REVIEW.

- A. EXISTING NON-ORIGINAL ALUMINUM FRAME WINDOWS - PROVIDE ALLOWANCE TO REPAIR AND REPLACE MISSING SCREENS AND PAINT EXTERIOR SURFACES
- B. NEW ALUMINUM WINDOWS IN ORIGINAL BRICK-IN MASONRY OPENINGS (WITH MATCHING CONFIGURATION)
- C. NEW ALUMINUM WINDOWS IN NEW MASONRY OPENINGS (WITH MATCHING CONFIGURATION)
- D. REPLACE ORIGINAL WIRE GLASS/PETAL WINDOWS WITH CLEAR GLASS/ALUMINUM WINDOWS WITH SAFE CONFIGURATION
- E. REPLACE NON-ORIGINAL BASEMENT WINDOWS AND NON-ORIGINAL SECURITY BARS WITH NEW ALUMINUM WINDOWS AND NEW SECURITY BARS
- F. NEW WOOD INTERIOR STOREFRONT - PROVIDE SHOP DRAWINGS
- G. REPLACE ORIGINAL BASEMENT WINDOWS + NON-ORIGINAL SECURITY BARS w/ NEW ALUMINUM WINDOWS AND NEW SECURITY BARS
- H. REPLACE ORIGINAL WINDOWS w/ NEW ALUMINUM WINDOWS IN SAFE CONFIGURATION
- J. REMOVE EXISTING ROOMING PORCH/PORCH FRONT PARAPET WALL (IF IN PLACE) AND REPAIR ORIGINAL WINDOWS PER INSIDE OF WINDOW OPENING TO ALIGN WITH FINISHED INTERIOR WALL SURFACE.

DRAWING NOTES

1. REPAIR ORIGINAL STOREFRONTS
2. INSTALL NEW WOOD 4-GLASS STOREFRONTS WHERE ORIGINAL STOREFRONTS HAVE BEEN PREVIOUSLY REMOVED
3. REPLACE WOOD 4-GLASS STOREFRONTS WITH NEW DOORS AND MATCHING SIDE-LIGHTS
4. REPLACE NON-ORIGINAL GARAGE DOOR WITH NEW WOOD DOORS AND SILETTES
5. REPAIR ORIGINAL DOORS + ENTRANCE AND REPLACE NON-ORIGINAL TRANSOM
6. REPAIR ORIGINAL ENTRANCE + TRANSOM AND ORIGINAL DOORS
7. REPLACE NON-ORIGINAL GARAGE DOOR WITH METAL GARAGE DOOR. BASIS OF DESIGN IS OVERHEAD DOOR CORPORATION'S SERIES 400 WITH "C-75" SLATS. REPLACE TRANSOM ABOVE WITH REPLACEMENT MATCHING EXISTING CONFIGURATION (UNLESS NOTED OTHERWISE)
8. REPLACE NON-ORIGINAL GARAGE DOOR WITH FREIGHT DOORS + CHECK ALUMINUM PICKET RAILING
9. GUARDRAIL AT 3'-4" AFF (AT ROOF PARAPET - SEE APPLICABLE DETAIL)
10. CABLE GUARDRAIL AT 3'-6" AFF (AT ROOF TERRACE - SEE DETAIL)



2 EAST ELEVATION
 A-3.4 1/8" = 1'-0"

Revised:
 August 31, 2015
 November 9, 2015

DENIS L. BACK & ASSOCIATES
 2129 ALPINE PLACE CINCINNATI OHIO 45206 513-861-2716
 Architect / Building Consultants

STRIETMANN BUILDING
 235 WEST 12TH STREET
 CINCINNATI, OHIO

DATE: 8/25/2015
 COMM NO.: 511
 SHEET NO.:

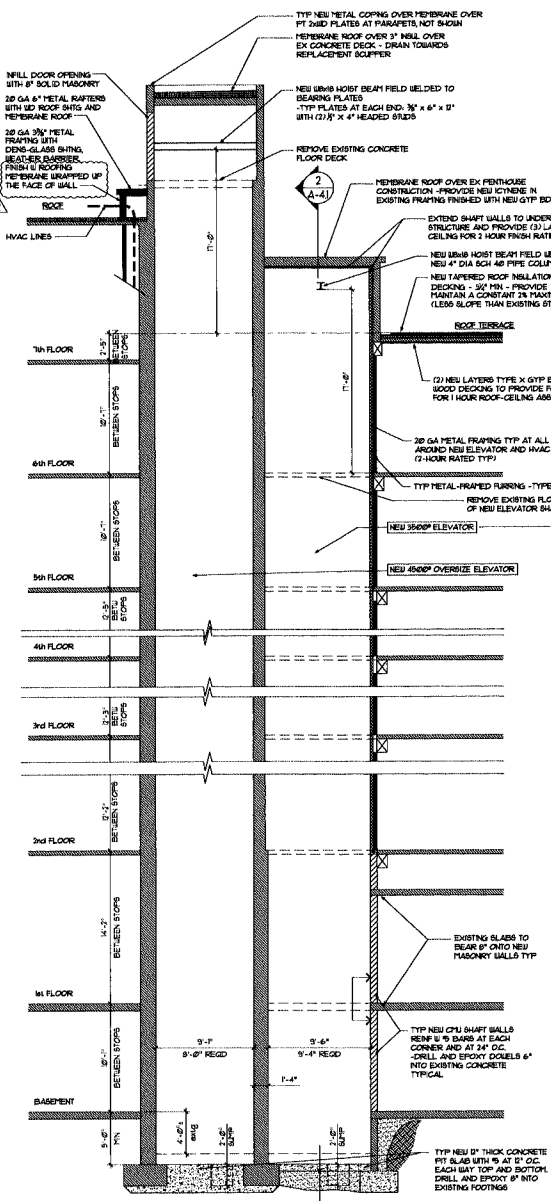
A-3.4

Revisions
 August 31, 2015
 September 28, 2015
 November 9, 2015

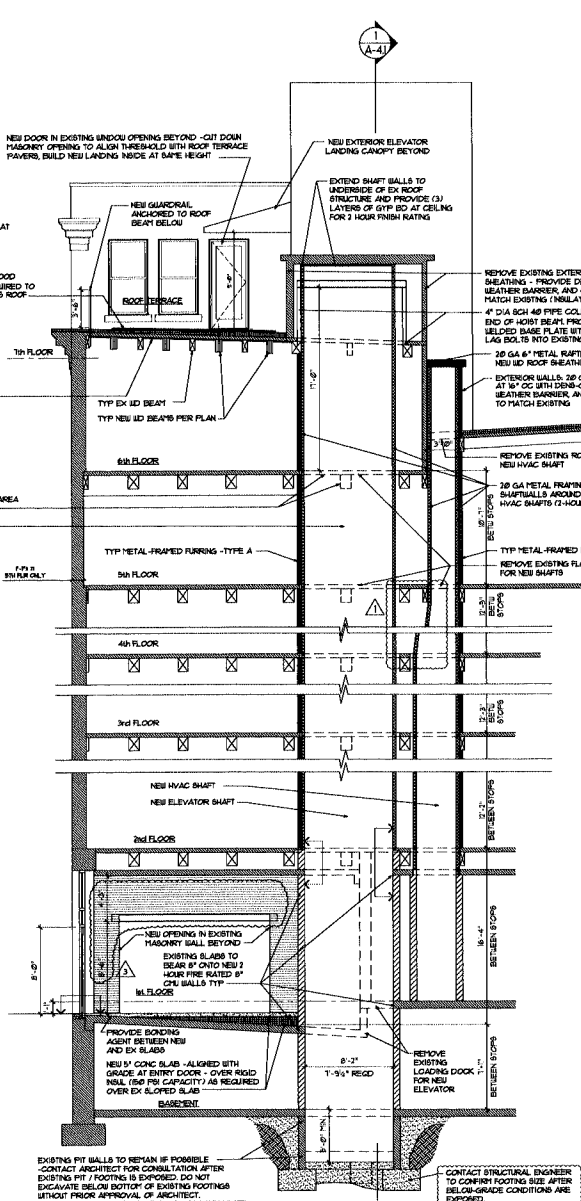
DENIS L. BACK & ASSOCIATES
 2128 ALPINE PLACE CINCINNATI OHIO 45206 513-961-2776
 Architects / Building Consultants

STRIETMANN BUILDING
 235 WEST 12TH STREET
 CINCINNATI, OHIO

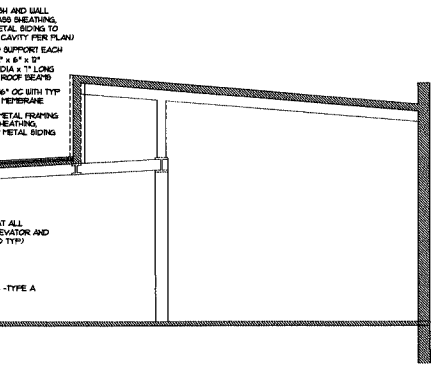
DATE: 8/25/2015
 COMM NO: 511
 SHEET NO: A-4.1



1 ELEVATOR SECTION
 3/16" = 1'-0"



2 ELEVATOR SECTION
 3/16" = 1'-0"



ELEVATOR SPECIFICATIONS

Field verify all received elevator dimensions and coordinate construction of shafts with new elevator requirements.

Elevator contractor to furnish the necessary labor and materials to install two (2) Machine Roomless Traction Elevators with the following specifications:

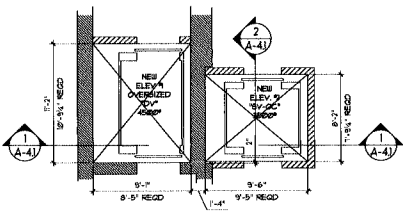
Design based on the Global Trifol Vision Lift MRL traction elevator.

Elevator #1
 4500R capacity traveling 200 fpm serving 8 stop in-line with rear openings at the Basement and 7th floor.
 Finished Cab height is 9' high, cab width is 58" by 71" 1/4" for the Depth, door openings are 4' 0" by 7' 0".

Elevator #2
 3500R capacity traveling 200 fpm serving 7 stop in-line with rear openings at the Basement.
 Finished Cab height is 9' high, cab width is 68" by 55" 1/4" for the Depth, door openings are 3' 6" by 7' 0".

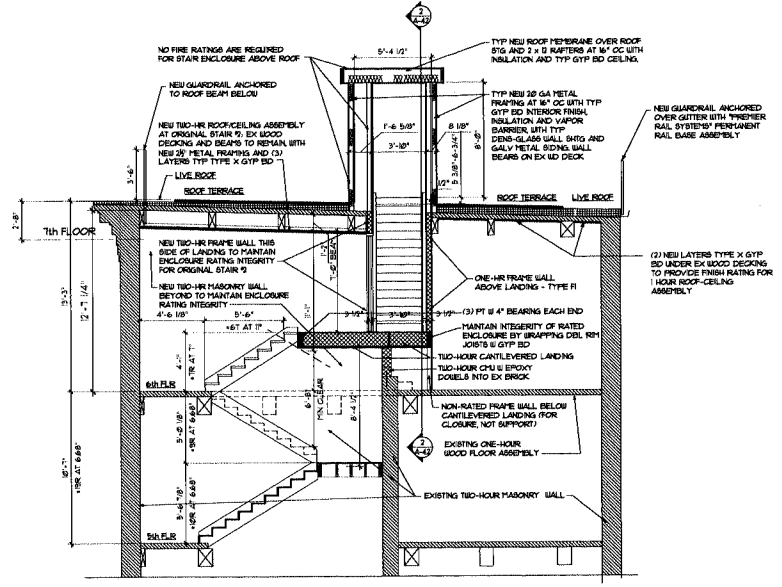
Cab interiors are the standard provided by the manufacturer.
 Elevator controls are to be the MCE 4000 VRL system with扶 handles provided by manufacturer. No modifications will be allowed.

All permits and inspections are to be included in the price offered.
 Elevator shall be wired for carmans and mecons.

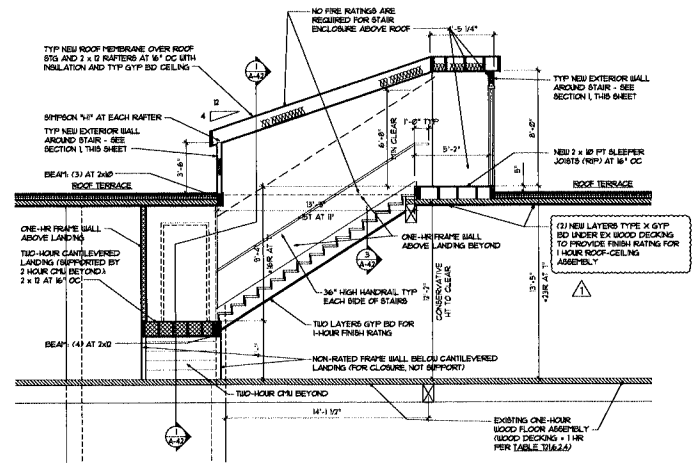


3 ELEVATOR PLAN
 3/16" = 1'-0"

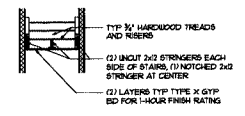
NOTE: VERIFY ALL DIMENSIONS IN FIELD. TYPICAL.
 Copyright 2015 Denis L. Back & Associates - Drawings to be used at full size only.



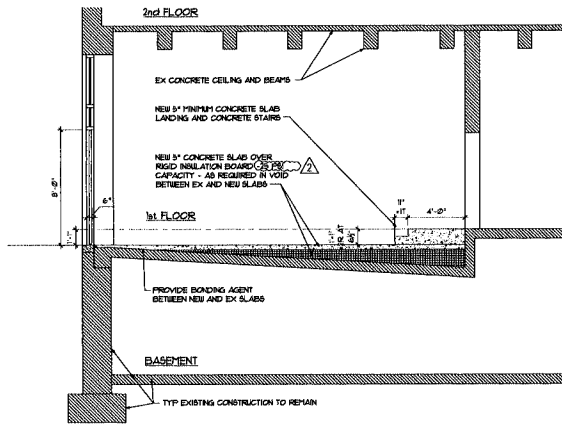
1 SECTION
A-4/2
1/4" = 1'-0"
NOTE: VERIFY ALL DIMENSIONS IN FIELD TYPICAL



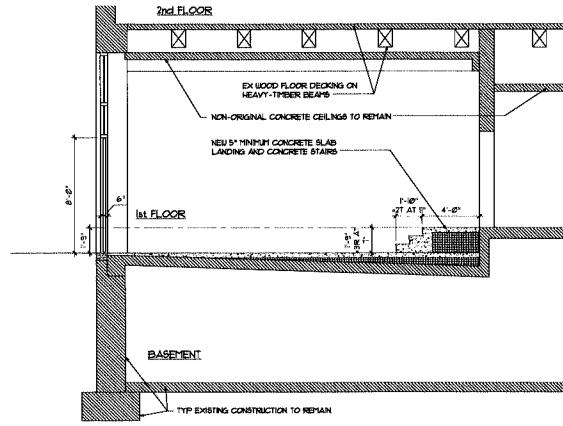
2 SECTION
A-4/2
1/4" = 1'-0"
NOTE: VERIFY ALL DIMENSIONS IN FIELD TYPICAL



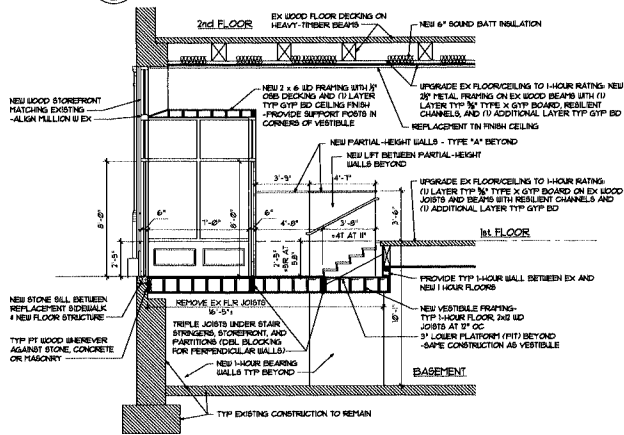
3 SECTION
A-4/2
1/4" = 1'-0"



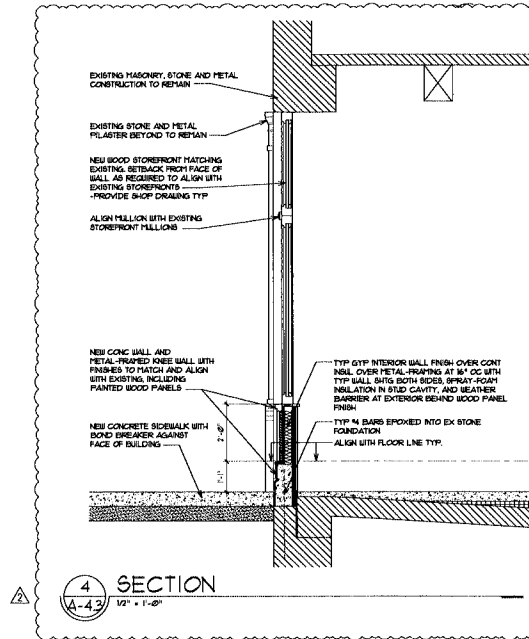
1 SECTION NOTE VERIFY ALL DIMENSIONS IN FIELD TYPICAL
A-4.3 1/4" = 1'-0"



2 SECTION NOTE VERIFY ALL DIMENSIONS IN FIELD TYPICAL
A-4.3 1/4" = 1'-0"



3 SECTION NOTE VERIFY ALL DIMENSIONS IN FIELD TYPICAL
A-4.3 1/4" = 1'-0"




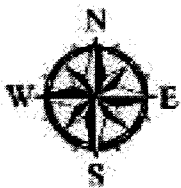
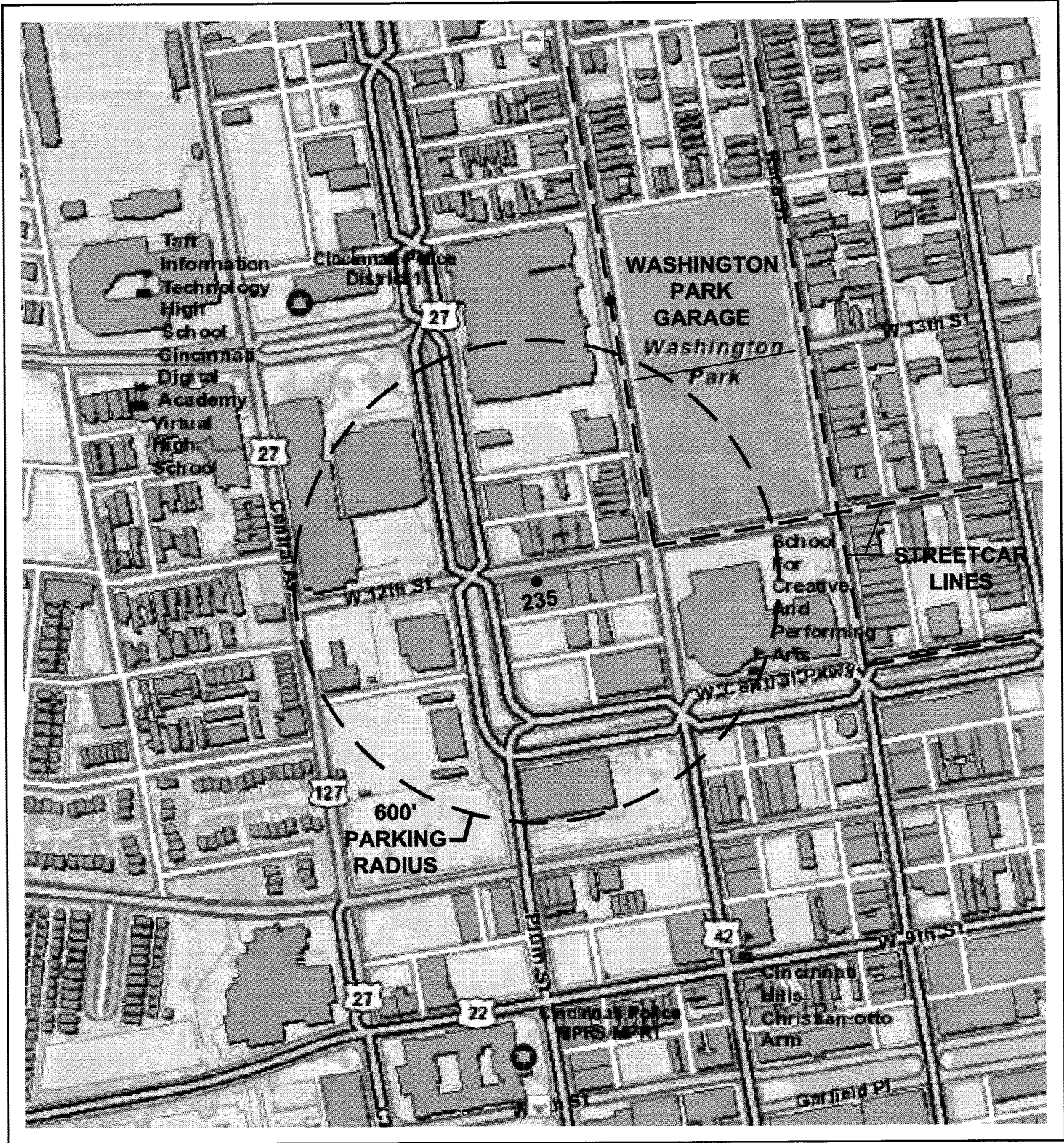
4 SECTION NOTE VERIFY ALL DIMENSIONS IN FIELD TYPICAL
A-4.3 1/2" = 1'-0"



CAGIS Online Map



Hamilton County  Ohio



235 West 12th Street

PUBLIC PARKING & PUBLIC
TRANSPORTATION WITHIN 600 FEET



Hamilton County  Ohio

Printed: Nov 12, 2015 ©CAGIS

Denis L. Back

From: Leslie Alexandria [alexandria@fuse.net]
Sent: Monday, November 02, 2015 10:15 AM
To: 'Denis L. Back'
Subject: FW: Streitmann Building Parking Calculations

Changes made. Thank you.

From: Leslie Alexandria [mailto:alexandria@fuse.net]
Sent: Monday, August 3, 2015 4:04 PM
To: 'Denis L. Back' <dlbarchitects@fuse.net>
Subject: Streitmann Building Parking Calculations

Denis:

This is my understanding of Zoning parking requirements for the Streitmann Building:

Square Footage

To Use for Zoning

Calculations:	Basement	total = 300	office = 300
	Floor #1	total = 12,550	retail = 4,400; office = 4,400; restaurant = 3,750
	Floor #2	total = 13,920	office
	Floor #3	total = 13,920	office
	Floor #4	total = 13,920	office
	Floor #5	total = 13,920	office
	Floor #6	total = 7,400	office
	Floor #7	total = 2,200	conference room = 2,200 – office space for Zoning

calculations

Total Office Sq. Ft	69,980	Total Parking Spaces required = 175
Zoning Calculations		
1 space per 400 sq. ft		

Total Restaurant Sq. Ft.	3,750	Total Parking Spaces required = 25
Zoning Calculations		
1 space per 150 sq. ft.		

Total Retail Sq. Ft.	4,400	Total Parking Spaces required = 18
Zoning Calculations		
1 space per 250 sq. ft.		

TOTAL SPACES REQUIRED FOR THREE USES = 218

TOTAL SPACES REQUIRED AFTER MODIFICATION OF 1425-23(a) = 109

- Section 1425-23(a) Zoning Code permits reduction in Commercial Districts of 50% if the site is within 600' of a public parking facility. Since that is the case for this property, 109 total spaces would be required. This must be approved by the Historic Conservation Board.

- No streetcar proximity parking reduction is allowed in Commercial Districts.
- The fitness center is exempted from parking per 1400-27F (f).
- The conference room is counted as office space due to no exemption in the Zoning Code.

Let me know if this clarifies the parking requirements for this site.

Thank you.

Leslie

Leslie Alexandria
Zoning and Land Use Consultant
513-543-6669
alexandria@fuse.net

GAURANTEED PARKING SPACE AGREEMENT

This Guaranteed Parking Space Agreement (hereinafter "Lease" or "Agreement") is made and entered into by and between Washington Park Restoration, LLC,, a(n) Ohio Limited Liability Company, its successors and assigns as owner of the Premises (as hereafter defined), collectively hereinafter called Landlord, and _____, a(n) _____, its successors and assigns as owner of Grandin Company, LTD collectively hereinafter called Tenant.

WITNESSETH:

That Landlord does hereby grant privilege to Tenant the right to access such number of spaces for purposes of contracted month parking as Tenant may from time to time request parking spaces located within the Premises, Washington Park Garage, with a location of 1310 Elm St, Cincinnati, Ohio, 45202 (hereinafter "Premises").

Base Term. This Agreement shall be for the base term of five (5) years, commencing upon the receipt of Tenant's certificate of occupancy and ending on the first (1st) day of the month following the expiration of the fifth (5th) anniversary of the commencement date. The Landlord and Tenant agree to execute a memorandum documenting the commencement date promptly after it has been established.

Renewal: At the conclusion of the base term, Tenant may renew this Lease for an additional five (5) years, at the terms of rate and payment set forth below. At the conclusion of this initial renewal period, Tenant may renew for an additional five (5) years at the terms of rate and payment set forth below. "Term" shall be deemed to include the base term and any renewal terms.

Number of Spaces: During the base term and prior to July 18, 2018, Tenant shall have the option to purchase up to 100 spaces at the parking rates defined within this Agreement. After July 18, 2018, Tenant shall have the right to purchase an additional 75 spaces at the same rate as the original 100, for a total of a right to 175 spaces within the Premises.

Business Hours/Use Restrictions: Parking passes purchased from Landlord shall be eligible for use during "Normal Business Hours", which are currently defined as Monday through Friday, from 6:00 AM to 6:00 PM. Federal holidays are not considered Normal Business Hours. Passes will not be functional outside of Normal Business Hours. Should a customer need to access the garage outside of these hours, the customer should contact a garage attendant to assist in payment for access outside of Normal Business Hours.

Parking Rate and Payment: Tenant agrees to pay Landlord per monthly parking space. The cost per space will be the market price at the time Tenant receives certificate of occupancy, presently estimated to be one-hundred dollars (\$100) per contracted parking pass.

Increases: During the base term, on January 1 of each year, with 30 days written notice from Landlord, Landlord may increase the monthly rate charged to Tenant. Any annual rate increase shall not exceed Five percent (5%) of the prior calendar year parking charge. At the conclusion of the base term,

Landlord shall reassess the market rate and will charge the reassessed market rate to Tenant for the entire number of spaces Tenant chooses to purchase from Landlord. Thereafter, on January 1 of each year during the first renewal term, and with 30 days written notice to Tenant, Landlord may increase the monthly rate charged to Tenant, not to exceed 5% of the prior calendar year parking charge. At the conclusion of the initial renewal term, Landlord shall reassess the market rate and will charge the reassessed market rate to Tenant for the entire number of spaces Tenant purchases from Landlord. Thereafter, on January 1 of each year during the second renewal term, and with 30 days written notice to Tenant, Landlord may increase the monthly rate charged to Tenant, not to exceed 5% of the prior calendar year parking charge.

Relocation: At any time during the base term or renewal term, Landlord may relocate all or a portion of the parking spaces assigned to Tenant to any covered parking garage located within the radius defined in Exhibit A. If Landlord wishes to relocate Tenant, Landlord shall ensure that parking rates and availability are as guaranteed in this Agreement. Relocated parking will be managed by 3CDC in a manner comparable to Washington Park.

Third-Party Parking Management: Landlord may, at its sole discretion, enter into a management agreement with any third-party parking management company to manage the Premises. If Landlord chooses to enter into any such agreement, Landlord shall force upon the third-party management company the terms outlined in this Agreement.

Completion/Commencement Guarantee: Tenant grants to Landlord that construction of the Strietmann Biscuit Company Building shall commence by 7/15/16, and construction will be substantially completed by 1/15/18. If these conditions are not met, this agreement shall be rendered null and void.

Termination: At any time throughout the term of this Agreement, Tenant may terminate this Agreement by providing written notice at least thirty (30) days prior to the cancellation date.

Hold Harmless: Tenant agrees to hold Landlord harmless from any and all claims, which may arise from, on, in, or about the leased Premises and related to or arising out of Tenant's breach of this Agreement or the negligence or wrongful intentional acts of Tenant or its owners, tenants, and mortgagees, or their respective employees, agents, licensees, or invitees, unless provided otherwise herein.

Notices: All notices required under this Lease shall be deemed to be properly served if delivered in writing personally or sent by certified mail to the Landlord at:

Peg Wyant
Grandin Properties, LLC
1308 Race Street
Cincinnati, OH 45202

If to Tenant, notices shall be sent to:

Peg Wyant
1308 Race Street
Cincinnati, OH 45202
513-871-7110
peg@grandinproperties.com

With a copy to:

Kathy Meier
1308 Race Street
Cincinnati, OH 45202
513-871-7110
Kathy@grandinproperties.com

or to any subsequent address which the Tenant may designate for such purpose. Date of service of a notice served by mail shall be the date on which such notice is deposited in a post office of the United States Post Office Department.

Non-Recourse to Owner's Member/Shareholder: This Agreement is and shall be, in the absence of fraud or willful misconduct by Owner, non-recourse to the sole member or shareholder of Owner, Cincinnati Center City Development Corporation ("3CDC"), and to the managers, members, directors, officers, agents and representatives of 3CDC. This section is of the essence of this Agreement and Owner would not have entered into this Agreement but for its inclusion.


Default by Tenant. The occurrence of any one or more of the following events shall constitute a default and breach of this Lease by Tenant: (a) The failure by Tenant to make any payment of rent required to be made by Grantee hereunder, as and when due, where such failure shall continue for a period of ten (10) business days after Grantor notifies Tenant and its mortgagee(s) in writing of such failure; or (b) the failure by Tenant to observe or perform any of the covenants, conditions, or provisions of this Lease to be observed or performed by Tenant, other than the payment of sums due hereunder, where such failure shall continue for a period of thirty (30) days after written notice thereof from Landlord to Tenant and its mortgagee(s); provided, however, that if the nature of Tenant's default is such that more than thirty (30) days are reasonably required for its cure, then Tenant shall not be deemed to be in default if Tenant or its mortgagee(s) commences such cure within such thirty (30) day period and thereafter diligently pursues such cure to completion.

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Signature Page Follows

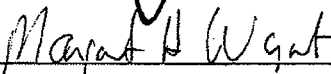
IN WITNESS WHEREOF, this Lease has been duly executed in two (2) counterparts, each of which constitutes a separate and binding agreement.

LANDLORD:



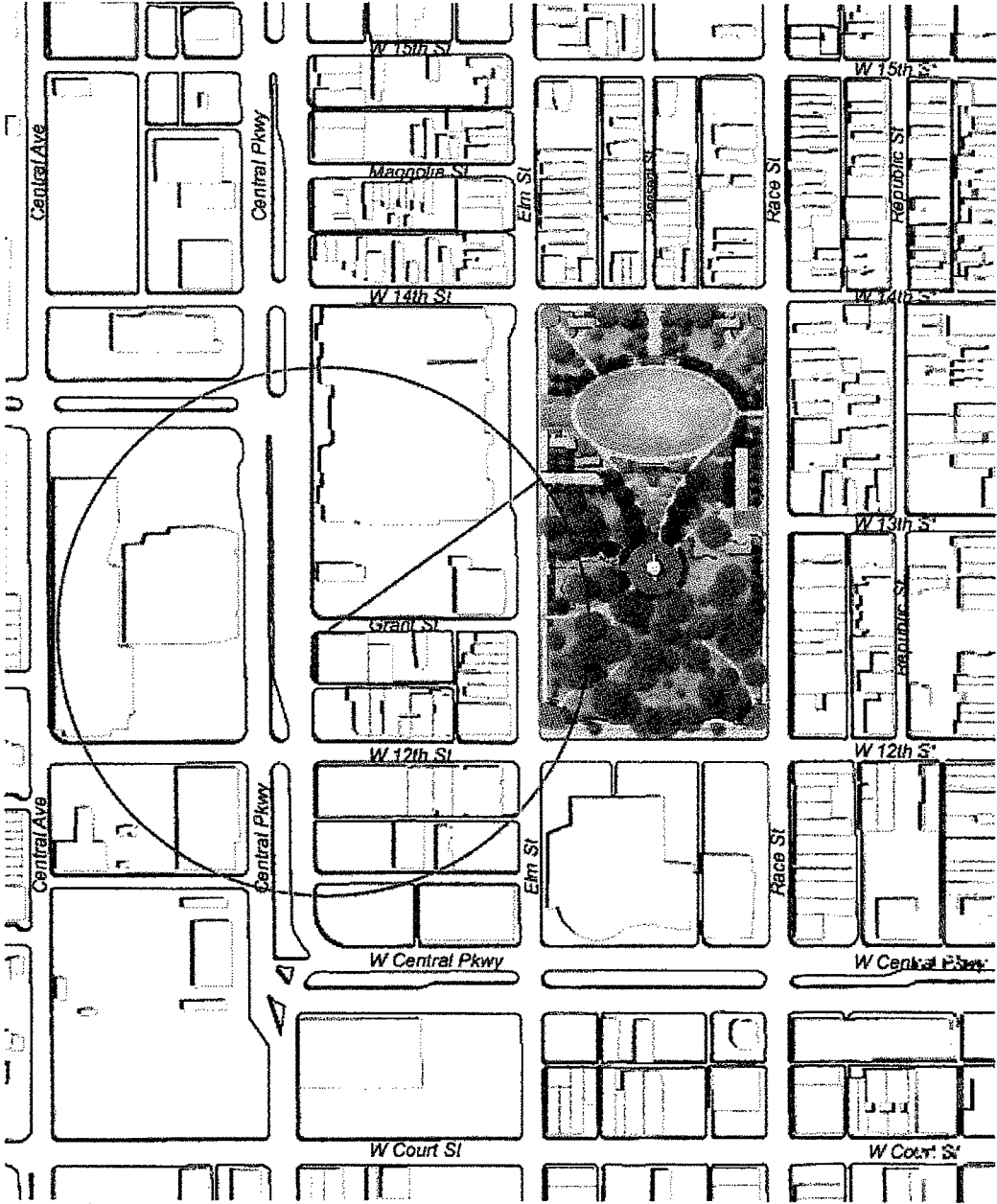
By: _____

TENANT:



By: CEO, Grandem Company, LTD

EXHIBIT A



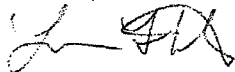
Michael Burson
Historic Conservation Board
City Planning Division
2 Centennial Plaza, Suite 700
805 Central Avenue
Cincinnati, Ohio 45202

RE: Strietmann Building

Dear Mr. Burson,

I am writing in regards to the planned redevelopment of the Strietmann Building in Over-the-Rhine. We have reviewed the owner's development plan and feel that the commercial space it will create will be a positive addition to the neighborhood. We agree with the proposed variance the owner is seeking, and in an effort to facilitate this development, we intend to work with the owner to provide the required parking spaces for the building's tenants from 3CDC's current inventory of nearby parking. To reiterate, we fully support the proposed development and encourage approval of the requested variance.

Sincerely,



Lann Field
3CDC
1203 Walnut Street
Cincinnati, OH 45202

The Strietmann Building
235 West 12th Street
Historic Conservation Board
Zoning Variance Hearing

Hearing Materials: Table of Contents

1. Application for Zoning and Zoning Application Letter in Support
2. Certificate of Appropriateness
3. History of Building
4. Historic Photos
5. Current Pictures
6. Proposed Plans
7. Cagis Zoning Map, Streetcar and Parking Map
8. Parking Calculations, Park Agreement and Letter of Support – 3CDC

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- The conference room is counted as office space due to no exemption in the Zoning Code.

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513-871-7110
Kathy@grandinproperties.com

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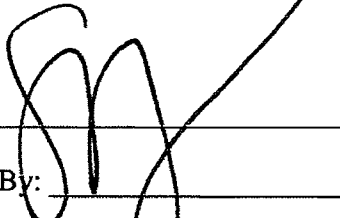
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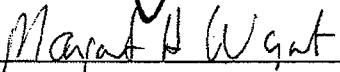
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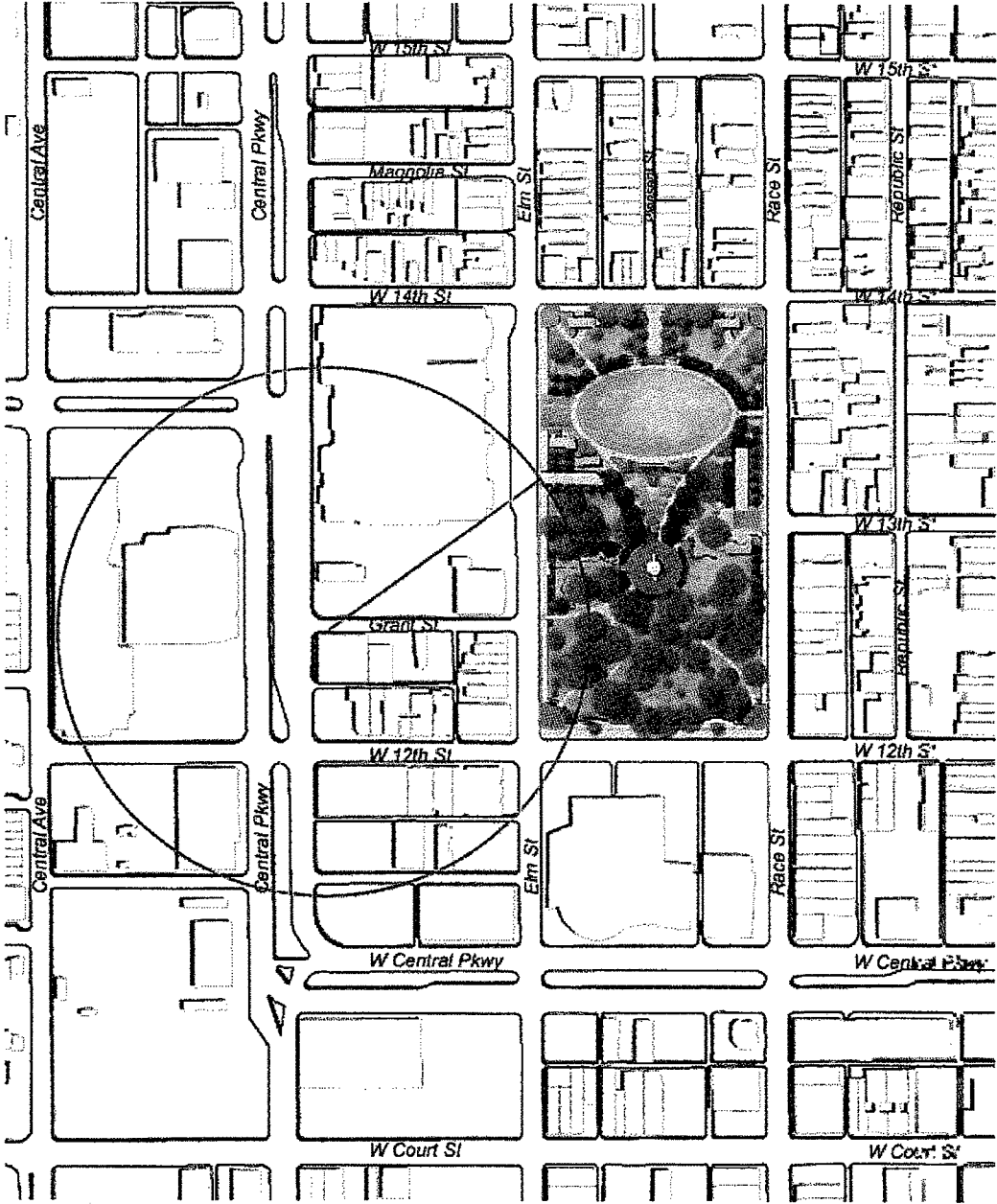
By: _____

TENANT:



By: CEO, Grandem Company, LTD

EXHIBIT A



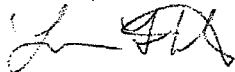
Michael Burson
Historic Conservation Board
City Planning Division
2 Centennial Plaza, Suite 700
805 Central Avenue
Cincinnati, Ohio 45202

RE: Strietmann Building

Dear Mr. Burson,

I am writing in regards to the planned redevelopment of the Strietmann Building in Over-the-Rhine. We have reviewed the owner's development plan and feel that the commercial space it will create will be a positive addition to the neighborhood. We agree with the proposed variance the owner is seeking, and in an effort to facilitate this development, we intend to work with the owner to provide the required parking spaces for the building's tenants from 3CDC's current inventory of nearby parking. To reiterate, we fully support the proposed development and encourage approval of the requested variance.

Sincerely,



Lann Field
3CDC
1203 Walnut Street
Cincinnati, OH 45202

APPLICATION FOR DIMENSIONAL VARIANCE HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

APPLICATION #: _____
APPLICANT: Towne Development Group, Chad Munitz
OWNER: OTR Holdings, Inc.
ADDRESS: **1515 Elm Street, Cincinnati OH 45202**
PARCELS: 081-0002-0198-0199
ZONING: Residential Multi-Family (RM-0.7)
OVERLAYS: Over the Rhine Historic District
COMMUNITY: Over the Rhine
REPORT DATE: December 21, 2015
HEARING DATE: Prehearing January 5, 2016 at 9:30 AM
STAFF REVIEW: Angie Strunc, Interim Urban Conservator

Nature of Request:

The applicant is requesting zoning relief for maximum building height and side yard setback to allow for a new construction of seven adjoining two and three story single-family townhomes in Over the Rhine.

Existing Conditions:

The property constitutes several vacant parcels that are located on the west side of Elm Street, north of West Fifteenth Street, and south of Odeon Street. The addresses of those parcels were 1501-1515 Elm Street but has since been consolidated into one parcel with the address of 1515 Elm Street.

Proposed Conditions:

The property owner proposes to construct seven adjoining two and three story single family townhomes on vacant parcels. Each unit has a rear detached garage off Blanca Alley as an accessory residential structure. The proposal for the townhomes exceeds maximum allowable roof height of 35 feet for each end unit. The proposal for each accessory garage structure does not meet the required 3 foot side yard setback.

Previous Reviews:

Certificate of Appropriateness for the new construction of seven single-family townhomes was approved by the Historic Conservation Board on August 10, 2015. Zoning relief was not sought at that time.

Applicable Zoning Code Sections:

Zoning District:	Section 1405	Residential Multi-Family Districts
Variance Request:	Section 1405-07 Section 1421-01	Development Regulations-Residential Regs General Site Standards – Accessory Structures
Variance Authority:	Section 1445-07	HCB authority: Section 1435-05-4

Variance Standard: [Section 1445-13](#) General Standards: Public Interest
[Section 1445-15](#) Standards for Variances
Overlays: N/A
Historic District/Reg: [Over the Rhine Historic District](#)
COA Standard: [Section 1435-09-2](#) Certificate of Appropriateness; Standard of Review

Details of Zoning Relief Required:

The applicant and/or owner(s) are requesting a Variance Hearing for dimensional variances of maximum roof height of the end units and side yard setbacks for each accessory garage structure:

- The project is in violation of the **Section 1405-07** of Cincinnati Zoning Code.
- Per Section 1405-07: The maximum height for the proposed use is 35 feet. The applicant is proposing a roof height of 39 feet/10 inches for each end unit of the townhomes.
- **A variance is sought for 4 feet/10 inches for building height.**
- The project is in violation of the Section **1421-01** of the Cincinnati Zoning Code.
- Per Section 1421-01: the required accessory side yard setback is 3 feet. The applicant is proposing a side yard setback of 0 feet.
- **A variance is sought for 3 feet side yard setback for all seven accessory garage units.**

Zoning Analysis:

Below is analysis of the consideration factors for all of the requested zoning actions, utilizing Section 1445-13, General Standards; Public Interest.

- a **Zoning.** The proposed work conforms to the underlying zone district regulations and is in harmony with the general purposes and intent of the Cincinnati Zoning Code.
The underlying zoning is RM-0.7.
- b **Guidelines.** The proposed work conforms to any guidelines adopted or approved by Council for the district in which the proposed work is located.
The proposed use conforms to the guidelines of the district. 0 foot side yard setbacks are common for principle and accessory structures within OTR. The taller end units are comparable to adjacent buildings north and south of the site.
- c **Plans.** The proposed work conforms to a comprehensive plan, any applicable urban design or other plan officially adopted by Council, and any applicable community plan approved by the City Planning Commission.
This project conforms to the Over the Rhine Comprehensive Plan.
- d **Traffic.** Streets or other means of access to the proposed development are suitable and adequate to carry anticipated traffic and will not overload the adjacent streets and the internal circulation system is properly designed.

The proposal includes individual garage units as accessory to the primary residences with access from the alley. Traffic will not be impacted. Parking is enhanced with the proposed alley parking.

- e **Buffering.** Appropriate buffering is provided to protect adjacent uses or properties from light, noise and visual impacts.
This is not applicable.
- f **Landscaping.** Landscaping meets the requirements of Chapter 1423, Landscaping and Buffer Yards.
This is not applicable.
- g **Hours of Operation.** Operating hours are compatible with adjacent land uses.
This is not applicable.
- (h) **Neighborhood Compatibility.** The proposed work is compatible with the predominant or prevailing land use, building and structure patterns of the neighborhood surrounding the proposed development and will not have a material net cumulative adverse impact on the neighborhood.
The proposed use will not have an adverse impact on the neighborhood.
- (i) **Proposed Zoning Amendments.** The proposed work is consistent with any proposed amendment to the zoning code then under consideration by the City Planning Commission or Council.
There are no proposed amendments under consideration that would impact this proposed project.
- (j) **Adverse Effects.** Any adverse effect on the access to the property by fire, police, or other public services; access to light and air from adjoining properties; traffic conditions; or the development, usefulness or value of neighboring land and buildings.
There are no adverse impacts anticipated.
- (k) **Blight.** The elimination or avoidance of blight.
This is not applicable.
- (l) **Economic Benefits.** The promotion of the Cincinnati economy.
The development of vacant land promotes the Cincinnati economy.
- (m) **Job Creation.** The creation of jobs both permanently and during construction.
Jobs may be created during construction.
- (n) **Tax Valuation.** Any increase in the real property tax duplicate.
New construction will increase the property value of the vacant parcels.
- (o) **Private Benefits.** The economic and other private benefits to the owner or applicant.
The owner has an economic benefit to the proposed development.
- (p) **Public Benefits.** The public peace, health, safety or general welfare.
There is no measurable detriment to public peace, health, safety or welfare as a result of this proposed project.

Standards for Variances per Section 1435-05-4

- (a) Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the Historic District of Historic Asset; or

The height of each center unit is two story and in conformance with requirements. The height of the two end units is three stories, stepping to two stories in the rear. The adjacent existing building on Odeon is also 3 stories. Staff feels there is no adverse effect to the historic integrity of the District with the 3 story end units.

Rear yard parking with zero setbacks are provided off Blanca Alley which is appropriate. Each unit is adjoining and therefore requires a side yard setback.

- (b) Is necessary where the denial thereof would result in a deprivation of all economically viable uses of the property as viewed in its entirety. In making such a determination, the Historic Conservation Board may consider the factors set forth in Section 1435-09-2 (aa) to (ff).

The applicant already has a Certificate of Appropriateness for the construction of the new rowhomes and accessory garage structures.

Other Considerations:

Prehearing Results:

January 5, 2016 – The applicant was in attendance.

Comments Provided to Staff: N/A

Consistency with *Plan Cincinnati (2012)*:

“Sustain” Initiative Area “Preserve our built history”

Recommendation:

Staff recommends the Historic Conservation Board take the following actions:

A. DIMENSIONAL VARIANCE

1. **APPROVE** the requested variances as per Section 1405-07 Development Regulations outlined for 1501-1515 Elm Street to allow:
 - (a) That 1515 Elm Street singular parcel be subdivided into seven individual parcels; one for each townhome and accessory residential structure prior to issuance of building permits.
 - (b) A maximum building height of 39 feet / 10 inches for the end units.
 - (c) For a zero side yard setback for all seven accessory garage structures.
2. **FINDING:** The Board makes this determination that per Section 1435-05-4:
 - (a) Such relief from literal implication of the Zoning Code will not be materially detrimental to the public health, safety and welfare or injurious to property within the district or vicinity where property is located; and
 - (b) Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the district.

OTR

APPLICATION FOR ZONING RELIEF

1. SUBJECT PROPERTY
 ADDRESS 1515 Elm Street
 AUDITOR'S PARCEL ID(S) 081-0002-0193-90
 BASE ZONING CLASSIFICATION RM 0.7
 ZONING OVERLAY (if applicable) _____


2. APPLICANT
 NAME Towne Development Group CONTACT PERSON (if legal entity) Chad Munitz
 ADDRESS 1055 St. Paul Place, Cincinnati, OH 45202
 EMAIL ChadMunitz@TowneProperties.com
 TELEPHONE (513) 345-6947 RELATIONSHIP TO OWNER Under Contract

3. OWNER
 NAME OTR Holdings, Inc CONTACT PERSON (if legal entity) Danny Lipson
 ADDRESS 1203 Walnut, Cincinnati, OH 45202
 EMAIL dlipson@3cdc.org
 TELEPHONE (513) 621-4400

4. NATURE OF RELIEF REQUESTED (select all that apply)
 Variance Use Variance Special Exception Conditional Use Use Permit
 Expansion or Substitution of Nonconforming Use Hillside Overlay District Permission
 Urban Design Overlay District Permission DD District Phased Development Approval

5. BRIEF DESCRIPTION OF RELIEF REQUESTED (You may attach a statement to this application if the space provided is insufficient)
 See Attached - Exhibit I

6. SUMMARY OF REASONS WHY RELIEF SHOULD BE GRANTED. You must provide a written statement explaining how your project meets the standards for all relief requested. Separate instruction forms for preparing this statement are provided. If you fail to follow the instructions for requesting a variance, use variance, special exception, conditional use, use permit, certificate of appropriateness, expansion or substitution of nonconforming use, hillside overlay district permission, urban design overlay district permission, and/or DD district phased development approval, your application may be denied.

7. SIGNATURE. The undersigned does hereby certify that the information provided in connection with this application is, to the best of his or her knowledge, true and correct.
 Print Name Chad Munitz Signature  Date 12/1/15

8. ADDITIONAL DOCUMENTATION SUBMISSION REQUIREMENTS. Submit three copies of the following documentation. If you fail to complete the application and provide all information requested, your application may be denied.

<input checked="" type="checkbox"/>	The written statement required in Section 6 above.
<input checked="" type="checkbox"/>	Survey plats, site plans, or other accurate drawings showing boundaries, dimensions, area, topography, and frontage of the property involved, as well as the location and dimensions of all structures existing and proposed from the nearest property lines. When landscaping is required by the zoning code, a landscaping plan must also be provided.
<input checked="" type="checkbox"/>	Plans, architectural drawings, photographs, elevations, specifications, and other detailed information depicting fully the exterior appearance of the existing and proposed construction, including parking and access, exterior lighting, landscaping, and signs involved in the application.
<input checked="" type="checkbox"/>	If the Hamilton County Auditor's official records do not list the applicant or owner as the owner of the property, a lease, contract to purchase, or other agreement demonstrating the applicant or owner's legal basis to seek the relief requested.
<input checked="" type="checkbox"/>	All other documents or information you intend to introduce at the hearing on this application.
<input checked="" type="checkbox"/>	A list of witnesses and expert witnesses who you expect to testify at the hearing on this application.
<input checked="" type="checkbox"/>	A non-refundable application fee. The fee must be paid with a check made payable to "City of Cincinnati." Fees are as follows: \$500-use variances; \$300-all other relief.

To help avoid delays, it is strongly suggested that you present your application to neighboring property owners and any interested neighborhood community groups prior to the hearing on your application. This will give you a prior opportunity to address your neighbors' concerns or objections and can facilitate the approval of your application.

REMEMBER: YOU MUST PAY THE REQUIRED FEE AT THE TIME YOU SUBMIT YOUR APPLICATION. (\$500-USE VARIANCES; \$300-ALL OTHER RELIEF)

INSTRUCTIONS FOR APPLICATIONS REQUESTING A VARIANCE

Applicants requesting a variance must demonstrate through credible testimony, documentary evidence or written statements how their proposed project meets the standards outlined in Cincinnati Municipal Code 1445-13 AND Cincinnati Municipal Code 1445-15. Applications that are not supported by testimony, documentary evidence or written statements are subject to disapproval.

As required by Section 6 of the Zoning Hearing Examiner Application, applicants must provide a written statement explaining how their proposed project meets the following standards for a variance:

1. To meet the standard outlined in Cincinnati Municipal Code 1445-13, an applicant must show that the proposed project "is in the public interest." A list of factors considered by the Zoning Hearing Examiner to determine whether the proposed project "is in the public interest" is found in Cincinnati Municipal Code 1445-13.

AND

2. To meet the standard outlined in Cincinnati Municipal Code 1445-15, an applicant must show:
 - a. neither the owner nor any of its predecessors caused the condition requiring a variance; and
 - b. how the project meets either of the following conditions:
 - i. special circumstances or conditions pertaining to the property cause the strict application of the zoning code to be unreasonable and would result in practical difficulties; or
 - ii. a variance is necessary for the preservation and enjoyment of a substantial property right of the applicant possessed by owners of other properties in the same district or vicinity.

Application for Zoning Relief
Question 5 – Brief Description of Relief Requested
Exhibit I

The project is located in an RM-0.7 Zoning District with Historic Overlay, which is regulated by Chapters 1405 and 1435 of the Cincinnati Zoning Code (CZC).

The project is seeking relief from:

- Schedule 1405-07(CZC) limits the maximum height of the structure to not more than 35 feet.
- Section 1421(f)(CZC) accessory structures require a minimum 3 foot setback off the side yard lot line.

Application for Zoning Relief
Question 6 – Summary of Reasons Why Relief Should Be Granted
Exhibit II

The project is seeking relief from:

- Schedule 1405-07(CZC) limits the maximum height of the structure to not more than 35 feet.
- Section 1421(f)(CZC) accessory structures require a minimum 3 foot setback off the side yard lot line.

The development team has diligently worked with the City of Cincinnati Historic Conservation Board and Staff and the Over-the-Rhine Foundation to design and develop an appropriate infill single family, fee-simple townhome development with rear carriage house garages. The Townhomes are all going to be constructed of high quality materials. While working with the Historic Conservation Board and staff, plus the many civic stakeholders there are a few design items that everyone felt were important to the overall development. And these items were critical to keep the development consistent with the historic guidelines of the neighborhood:

- Require the end units to be taller, thus have more of a traditional rhythm and height found in Over-the-Rhine. The 3-story units will be about 39 feet from grade to top of parapet. Which is slightly higher than the maximum height allowed in the Zoning Code
- Required the detached carriage house garage structures be built at the curb line.

Both of these items were very important aspects of the approval the project received from the Historic Conservation Board on August 10, 2015.

In summary, the development team feels the project:

- "is in the public interest";
- Conforming to the Historic Guidelines in Over-the-Rhine is causing the development to request a variance;

Thus, strict application of the zoning code would be unreasonable and would result in practical difficulties and direct conflict with the direction of the City of Cincinnati Historic Conservation Board.

AGREEMENT OF PURCHASE AND SALE

THIS AGREEMENT OF PURCHASE AND SALE ("Agreement") is made as of the 13th day of January, 2015, by and between **OTR HOLDINGS, INC.**, an Ohio corporation ("Seller") and **Towne Development Group, Ltd.**, an Ohio Limited Liability Corporation).

In consideration of the mutual covenants and provisions herein contained and other good and valuable consideration, Seller and Purchaser agree as follows:

ARTICLE I

DESCRIPTION OF PROPERTY; AGREEMENT OF PURCHASE AND SALE

Seller hereby agrees to sell, assign, and convey to Purchaser and Purchaser agrees to purchase from Seller, in accordance with the terms and subject to the conditions contained herein, the following property (collectively, the "Property"): (i) the land located 1501, 1503, 1505, 1507, 1509, 1511, 1515, & 1517 Elm Street, Cincinnati, Ohio, 45202 (the "Land"), (ii) the buildings and all improvements located on the Land, (the "Improvements"), (iii) all rights, privileges and easements appurtenant to the Land and Improvements (which are hereinafter sometimes referred to collectively as the "Premises").

ARTICLE II

PURCHASE PRICE

The total purchase price which Purchaser agrees to pay and Seller agrees to accept for the Property shall be the sum of \$735,000 (the "Purchase Price"). The Purchase Price shall be payable as follows:

2.1 One Thousand Dollars (\$1,000.00) (the "Initial Deposit") shall be deposited with Seller concurrently with the full execution of this Agreement to be held by Seller pursuant and subject to the terms and conditions of this Agreement;

2.2 The balance of the Purchase Price less the sum of the Initial Deposit and shall be payable at "Closing" (as hereinafter defined) by cash, certified or cashier's check or wire of immediately available funds. The Purchase Price due shall be subject to prorations and adjustments as hereinafter provided.

ARTICLE III
INSPECTION AND DUE DILIGENCE PERIOD

3.1 Property Inspection. During the "Inspection and Due Diligence Period" (as hereinafter defined), Seller shall make the Premises available for inspection by Purchaser, its agents and employees, and Purchaser may, at Purchaser's risk and expense, undertake and/or have performed as complete a physical inspection and other studies of the Property as Purchaser deems appropriate (including the roof, the parking lot, utility access, signage, all mechanical systems and equipment located therein, which are included in this purchase, an inspection by a licensed structural engineer, pest control operator, environmental audit or audits and an inspection to determine if products containing asbestos are located upon the Premises) for the purpose of determining whether the Property is suitable for Purchaser's intended use. As used herein, the "Inspection and Due Diligence Period" shall mean the one-hundred twenty (120) day period commencing on the date this Agreement is signed by Seller and Purchaser.

3.2 Title Commitment. Prior to the expiration of the Inspection and Due Diligence Period, Purchaser shall obtain, at Purchaser's expense, a current commitment showing title to the Property in the name of the Seller, and issued by a title insurance company acceptable to Purchaser ("Title Company"), wherein the Title Company shall commit to issue to Purchaser an owner's title insurance policy, in the amount of the Purchase Price, with all Standard and General Exceptions deleted, insuring the marketability of the title to the Premises, subject only to the following matters (Permitted Exceptions):

(1) Public utility easements of record so long as such easements will not interfere with, obstruct, impose costs on, or otherwise impair Purchaser's use and enjoyment of the Property.

(2) Installments of real estate taxes and assessments which are a lien upon the Property, but not yet due and payable as of the date of the Closing.

ARTICLE IV
PURCHASER'S CONDITIONS

The obligations of Purchaser to close the transaction contemplated hereby is subject to the following conditions, which are inserted for Purchaser's sole benefit and which may be waived by Purchaser at its sole option only by notice to Seller by an instrument in writing. If any of the following conditions are not satisfied as of the date the Inspection and Due Diligence Period or any extension thereof expires, or if at any time prior to the expiration of the Inspection and Due Diligence Period, it becomes

apparent to Purchaser that any of such conditions will not be satisfied, then Purchaser shall have the right to terminate this Agreement by sending written notice to Seller within three (3) days after the expiration of the Inspection and Due Diligence Period, whereupon the Initial Deposit shall be returned to Purchaser and neither party hereto shall have any further obligations to the other under this Agreement. If Purchaser does not terminate this Agreement within three (3) days after the expiration of the Inspection and Due Diligence Period, or any extension thereof, the Deposit shall be deemed non-refundable, except as specified otherwise in Article VI of this Agreement.

4.1 Approval of Inspection and Title. Purchaser shall have approved all of the matters set forth in Article III with respect to which Purchaser, has, under the provisions of this Agreement, a right of inspection and/or approval; or, in the event Purchaser has delivered written objections to Seller in respect to any such matters, Seller shall have remedied such objections within the time period provided in this Agreement therefor, or Purchaser shall have waived the same in writing.

4.2 Zoning. Purchaser shall have obtained a zoning certificate from the appropriate governmental authority or Purchaser shall have otherwise determined that the Premises are zoned so as to permit the use and occupancy of the Premises for Purchaser's intended purpose and is in full compliance with all requirements imposed upon the same by the applicable zoning code and regulations and that there are no proceedings pending or threatened to change the zoning classification of the Property or to amend the requirements imposed thereon.

4.3 Environmental Condition. Purchaser shall have determined from such environmental audits, inspections and tests as Purchaser determines are necessary that the Property (including the soil) is not contaminated by and is not likely to be contaminated by any materials that are deemed to be "hazardous materials" or "hazardous wastes" under any federal, state or local laws, statutes, codes or regulations, or any other materials, the use, disposal, generation, storage, handling or transportation of which is restricted, governed or regulated by any federal, state or local laws, statutes, codes or regulations, the intent of which is to protect the environment and or public safety or health, including without limitation, petroleum or asbestos products.

4.4 Cincinnati Historic Board. Purchaser shall have determined that the Cincinnati Historic Board has given its design approval for Purchaser's intended use of the Property.

4.5 Utilities. Purchaser shall have determined, in its sole and absolute discretion, that the Property is served by all necessary utilities in sufficient capacity for Purchaser's intended use.

4.6 Financing. Purchaser shall have obtained a Financing Commitment from a suitable lender or other private source, reasonably acceptable to Purchaser at such rates, terms and conditions as he, in his sole discretion, deems acceptable on or before the expiration of the Inspection and Due Diligence Period.

ARTICLE V **SELLERS CONDITIONS**

The obligations of Seller to close the transaction contemplated hereby is subject to the following conditions, which are inserted for Seller's sole benefit and which may be waived by Seller at its sole option only by notice to Purchaser by an instrument in writing.

4.1 Conditions to Closing. Prior to the date of the Closing, as specified by this Agreement, Purchaser will provide the following items for approval by Seller, which approval shall not unreasonably be withheld or delayed:

4.1.1 Project Description, including:

- (i) Type of units contemplated: single-family, condominiums, rental, affordable, etc.
- (ii) Number of units (if applicable)
- (iii) Professionally prepared site plan, architectural designs, and renderings
- (iv) Regard to historic elements (if applicable)
- (v) Professional assessment from a structural engineer (as necessary)

4.1.2 Financial Pro Forma detailing assumptions for timeline, project costs, sources and uses, general inputs, and revenues.

4.1.3 Proof of financing furnished by a third party to verify the Purchaser's possession of, or access to, sufficient funds to complete the development project as stated in the project description. Purchaser must evidence a commitment of 100% of total project costs, as calculated in the Pro Forma.

4.1.4 Development schedule detailing significant development activities, which shall be completed within 2 years following the Closing Date, as specified in this Agreement.

If Purchaser is unable to fully satisfy the conditions set forth herein, Seller may terminate this Agreement by delivery of written notice to Purchaser prior to the expiration

of the Due Diligence Period. In such event, the Earnest Money will be returned to Purchaser and thereafter neither party hereto will have any further rights or obligations under this Agreement.

ARTICLE VI FAILURE TO CLOSE

If Purchaser fails to terminate this Agreement prior to the expiration of the Inspection and Due Diligence Period or any extension thereof, then the Deposit shall be non-refundable pursuant to Article IV, but applicable to the Purchase Price, except that the Deposit shall be refundable if (i) Seller defaults in any of its obligations hereunder, (ii) any of Seller's representations or warranties contained in this Agreement are false or materially misleading as of the date of Closing.

In the event that Seller is ready, willing and able to convey and transfer the Property in accordance with this Agreement, and Purchaser is obligated under the terms of this Agreement to consummate the transaction but fails to consummate the transaction and take title, then the parties hereto recognize and agree that the damages that Seller will sustain as a result thereof will be difficult if not impossible to ascertain. Therefore, the parties agree that in the event of Purchaser's default, Seller shall retain the Deposit paid by Purchaser in accordance with Paragraphs 2.1 and 3.2 of this Agreement as liquidated damages for such failure to close. Seller's right to retain the Deposit constitutes the waiver by Seller of all other rights and remedies against Purchaser, and Purchaser shall be relieved of all other liability to Seller of any nature whatsoever.

If the Closing is not concluded at no fault of the Purchaser, Purchaser may terminate this Agreement by notice to Seller and be entitled to an immediate refund of the Deposit.

ARTICLE VII CLOSING AND TRANSFER OF TITLE

6.1 Closing. The parties hereto agree to close this purchase and sale within thirty (30) days of Purchaser satisfying the conditions contained Article III (the "Closing") on such exact date and at such time as the parties may mutually agree upon at Purchaser's offices or at the offices of Purchaser's lender or counsel in the Greater Cincinnati Area.

6.2 Seller's Documents; other Deliveries. At Closing, Seller shall execute and deliver to Purchaser the following documents, and shall also make the other deliveries provided for hereinafter, all as follows:

6.2.1 A General Warranty Deed, with release(s) of dower, if necessary, proper for recording, conveying fee simple absolute and marketable title to the Premises to Purchaser, free, clear and unencumbered both of record and in fact, subject only to the Permitted Exceptions together with all proof of authority for the Seller as the Title Company may request;

6.2.2 A standard Affidavit of Title; and

6.2.3 Such other documents or instruments as may be reasonably required by Purchaser, required by other provisions of this Agreement, or reasonably necessary to effectuate the Closing.

6.3 Purchaser's Documents; Other Deliveries. At Closing, Purchaser shall execute and deliver to Seller the following documents, and shall also make the other deliveries provided for hereinafter, also as follows:

6.3.1 The amount of the Purchase Price due at Closing;

6.3.2 Such other documents or instruments as may be reasonably required by Seller, required by other provisions of this Agreement, or reasonably necessary to effectuate the Closing.

ARTICLE VIII
PRORATION OF REAL ESTATE TAXES, ASSESSMENTS, RENTS AND
OPERATING EXPENSES

7.1 Utility Expenses. Final readings on all gas, water and electric meters for which the Seller is required to pay shall be made as of the date of Closing, if possible. Seller shall be responsible for all charges for consumption of utilities prior to the date of Closing and Purchaser shall be responsible for utility charges on and after the date of Closing.

7.2 Operating Expenses. Any operating expenses for the Property shall be prorated between the parties as of the date of Closing. Any sums paid to Seller by tenants for common area maintenance or other items of expense for the period on and after the date of Closing shall be applied to the Purchase Price.

7.3 Real Estate Taxes. Real estate taxes for the year in which the Closing occurs shall be prorated between the two parties as of the date of Closing, based upon the current tax rates and valuation applied to the Property.

ARTICLE IX
BROKER

Purchaser and Seller represent and warrant to each other that they have not dealt with any real estate broker, finder or sales person in connection with this sale and purchase and each of them agree to indemnify, defend and hold the other harmless from any liability, cause, claim or demand (including reasonable attorney's fees) by any broker, finder or sales person arising out of the transaction contemplated by this Agreement due to the actions of the indemnifying party.

ARTICLE X
AGREEMENTS, REPRESENTATIONS AND WARRANTIES OF SELLER

9.1 Representations and Warranties. Seller represents, warrants, and covenants to Purchaser as to the following matters, and shall be deemed to remake all of the following representations, warranties, and covenants as of the date of Closing:

9.1.1 Seller is the holder of fee simple title to the real estate and consummation of the sale of the Property will not require Seller to obtain (either before or after the Closing) any consent, license, permit, waiver, approval, authorization, or other action of, by, or with respect to any non-governmental or governmental persona or entity.

9.1.2 To the best of Seller's knowledge, there is no condition existing with respect to the maintenance, operation, use or occupancy of the Property which violated any statute, ordinance, law or code, nor has Seller received any notice, written or otherwise, from any governmental agency alleging violations of any law, statute, ordinance, or regulation relating to the Property; building, health or fire codes; building occupancy, or use restrictions; zoning ordinances, rules or regulations; or any other such matters.

9.1.3 To the best of Seller's knowledge, there is no pending or threatened condemnation action, litigation, arbitration, administrative action or examination, claim, or demand whatsoever relating to the Property or Seller, and no attachments, execution proceedings, liens, assignments or insolvency proceedings are pending or threatened against Seller or the Property or contemplated by Seller. Seller shall immediately notify Purchaser of any litigation, arbitration, administrative action or examination, claims or demands, attachments, execution proceedings, liens, assignments or insolvency proceedings which are made, filed, threatened or instituted by or against Seller or the Property after the date of this Agreement.

9.1.4 To the best of Seller's knowledge, Seller has not received and has no actual knowledge of any notice or request, formal or informal, from any insurance company or board of fire underwriters (i) identifying any defects in the Premises which would adversely affect the insurability of the Premises or (ii) requesting the performance of any work or alteration with respect to the Premises.

9.1.5 To the best of Seller's knowledge, no fact or condition exists which would result in the termination or impairment of access to the Premises from adjoining public or private streets or ways or which could result in discontinuation of necessary sewer, water, electric, gas, telephone, or other utilities or services. All sewage, sanitation, plumbing, water retention, refuse disposal and similar facilities servicing the Premises are in full compliance with governmental and environmental protection authorities' laws, rules and regulations.

9.1.6 There are no public improvements which have been ordered to be made and/or which have not heretofore been assessed, and there are no special, general, or other assessments pending, threatened against or affecting the Premises.

9.1.7 To the best of Seller's knowledge, the Premises have never and do not currently contain any, nor are the Premises contaminated by, any hazardous or toxic waste materials in violation of any applicable environmental or public health or safety laws or regulations, or any materials, the use, generation, disposal, storage, transportation or handling of which is restricted or governed by any such laws or regulations including, but not limited to, Section 1032 of the Comprehensive Environmental Response Compensation and Liability Act, 42, U.S.C. '9601 et seq. and Chapter 3734 of the Ohio Revised Code, nor does the Property contain asbestos or petroleum products in the soil of the Property.

9.2 Survival. All of the representations, warranties, and covenants made by Seller in this Agreement shall survive the Closing, the delivery of the deed, and any investigation of Purchaser and shall not merge in the deed.

9.3 Indemnification. Seller hereby agrees to indemnify, defend, and hold harmless Purchaser from and against any and all damages, losses, expenses, liabilities or claims for any of the same, including attorneys' or other professional fees, incurred by Purchaser as a result of any of the foregoing representations or warranties being untrue or materially misleading.

ARTICLE XI
BINDING EFFECT

This Agreement and all the terms and conditions hereof shall be binding upon and shall inure to the benefit of the parties and their respective heirs, successors and assigns. Purchaser shall be permitted to assign its rights under this Agreement. However, Purchaser shall remain liable for its Agreement set forth herein.

ARTICLE XII
NOTICES

All notices hereunder or required by law shall be in writing, and shall be deemed properly delivered when deposited in the United States mail, postage prepaid, certified or registered service, by Federal Express or similar type of overnight delivery service, receipted hand delivery or other means of prepaid recorded communication, addressed to the parties hereto at their respective addresses set forth below or as they may hereafter specify by written notice delivered in accordance herewith:

PURCHASER: Towne Development Group, Ltd.
Attn: Scott Arentsen
1055 Saint Paul Place
Cincinnati, OH 45202

SELLER: OTR Holdings, Inc.
Attn: Jaren Abedania
1410 Race Street
Cincinnati, OH 45202

ARTICLE XIII
EXPENSES

Seller shall pay for any transfer tax in connection with the sale of the Property. Purchaser shall pay for the Survey and Title Policy. Each party shall pay for its own legal and accounting fees, and other expenses in connection with this Agreement and the sale and transfer of the Property.

ARTICLE XIV
MISCELLANEOUS

13.1 Captions. The captions in this Agreement are inserted only for the purpose of convenient reference and in no way define, limit or prescribe the scope or intent of this Agreement or any part hereof.

13.2 Construction. No provisions of this Agreement shall be construed by any court or other judicial authority against any party hereto by reason of such party's being deemed to have drafted or structured such provisions.

13.3 Entire Agreement. This Agreement constitutes the entire contract between the parties hereto and supersedes all prior agreements or understandings. Any subsequent conditions, representations, warranties, or agreements shall not be valid and binding upon the parties unless in writing and signed by both parties.

13.4 Original Document. This Agreement may be executed in counterparts, each of which shall be deemed an original, but all of such counterparts taken together shall constitute one and the same Agreement.

13.5 Governing Law. This Agreement shall construe, and the rights and obligations of Seller and Purchaser hereunder shall be determined, in accordance with the laws of the State of Ohio.

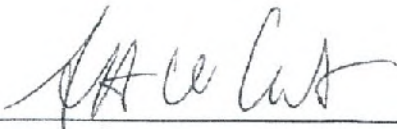
[EXECUTION PAGE TO FOLLOW]

EXECUTED as of the day and year first above written.

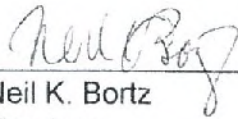
Witness and Acknowledged:
in the Presence of:

PURCHASER:

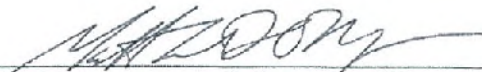
Towne Development Group, Ltd.



Print Name: Scott W. Arntsen

By: 

Name: Neil K. Bortz
Its: Member

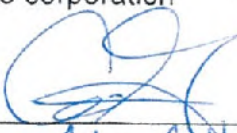


Print Name: Matthew D. Mises

SELLER:

OTR HOLDINGS, INC. ,
An Ohio corporation

Print Name: _____

By: 

Name: Adam Gelb
Its: CEO

Print Name: _____

Application for Zoning Relief
Witnesses
Exhibit VI

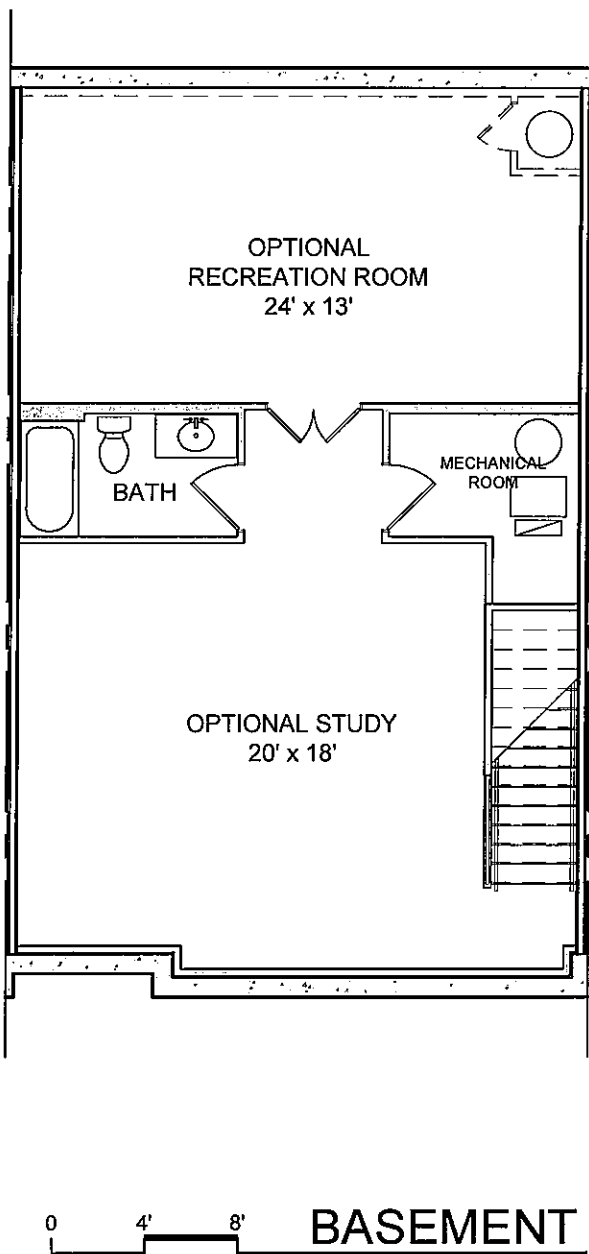
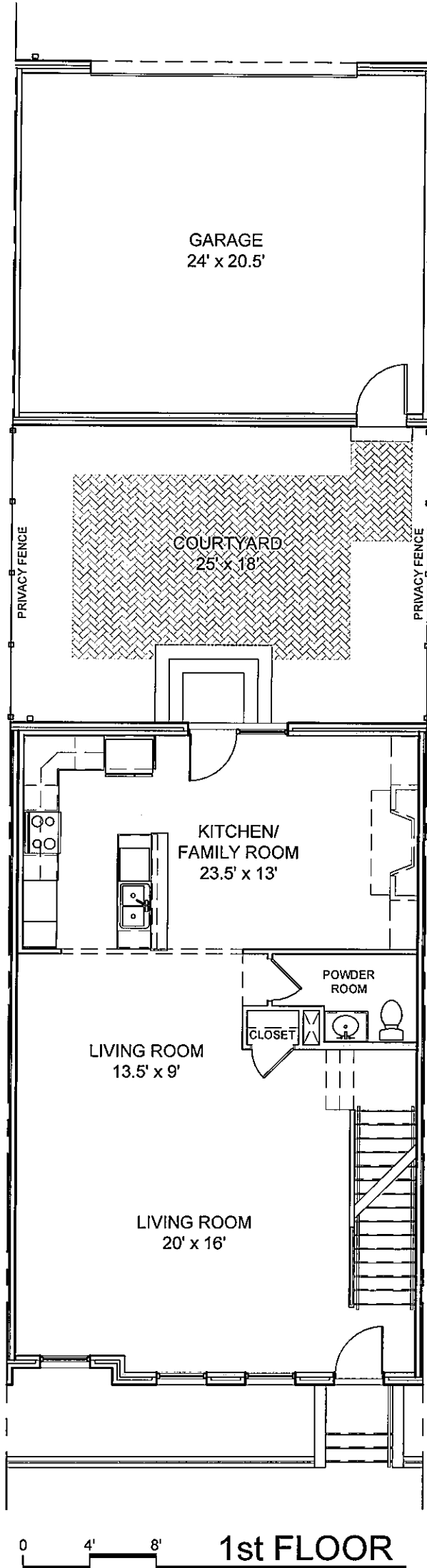
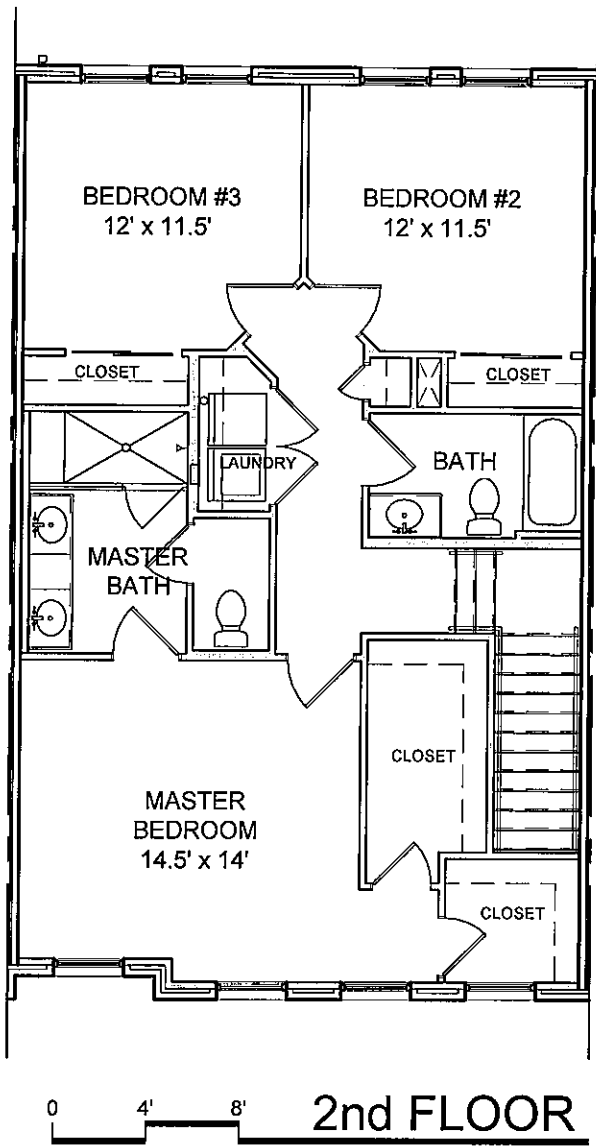
Chad Munitz
Vice President of Development
Towne Properties
1055 St. Paul Place
Cincinnati, OH 45202
(513) 345-6947
ChadMunitz@TowneProperties.Com

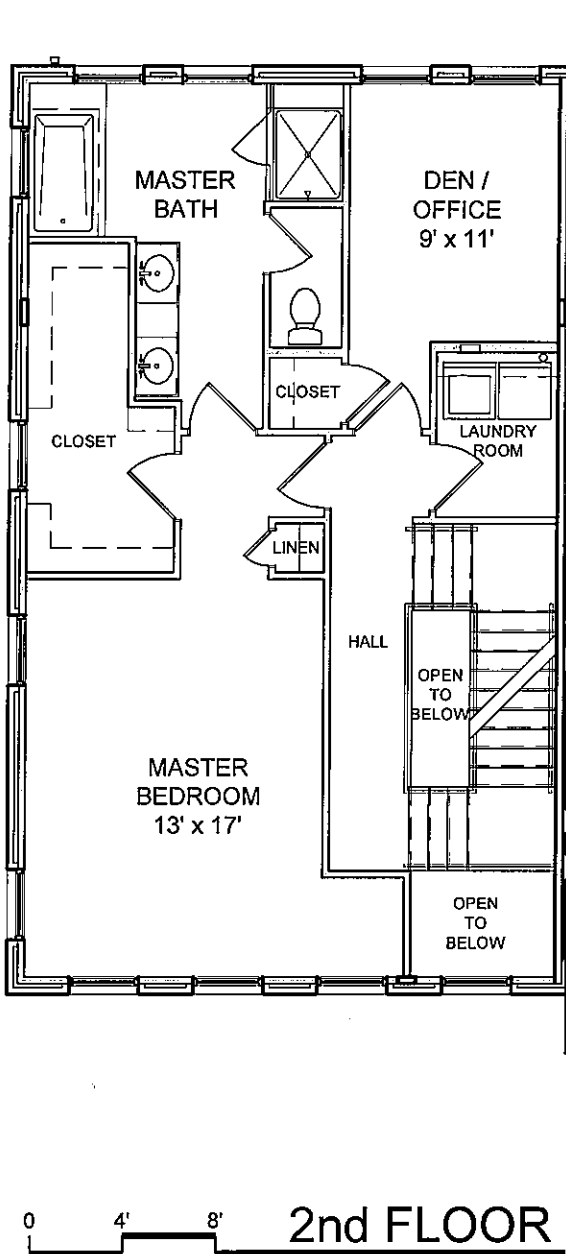
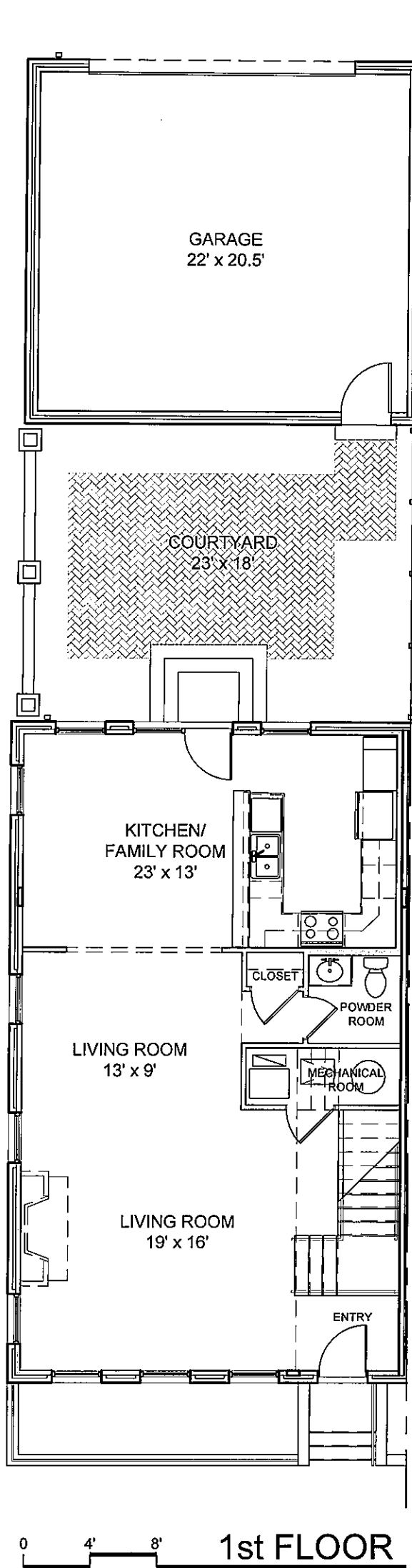
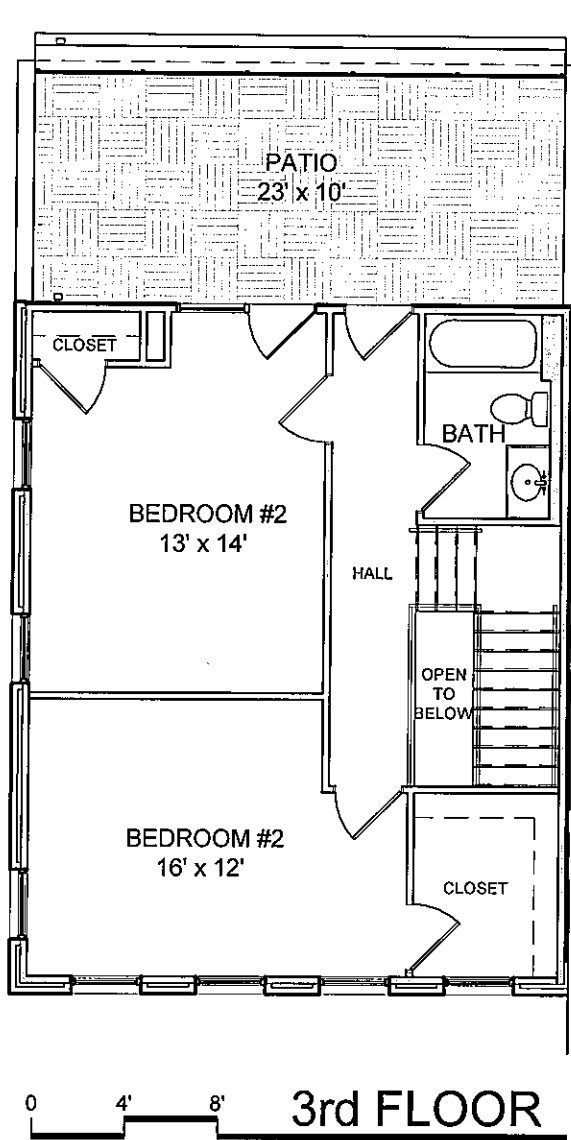












ELM STREET TOWN HOMES OVER-THE-RHINE

1501-1513 ELM STREET, CINCINNATI, OHIO 45202

ARCHITECT:

PDT ARCHITECTS, LLC
300 WEST FOURTH STREET
CINCINNATI, OHIO 45202
513-891-4605

STRUCTURAL ENGINEER:

WOOLPERT, INC.
4454 IDEA CENTER BLVD.
DAYTON, OHIO 45430
937-461-5660

DEVELOPER:

TOWNE DEVELOPMENT GROUP LTD.
1055 ST. PAUL PLACE
CINCINNATI, OHIO 45202
513-381-6636

MEP ENGINEER:

HALPE INC.
823 SCOTT BLVD
CINCINNATI, KY 41011
859-431-6083

CIVIL ENGINEER:

BAYER BECKER
1404 RACE STREET, SUITE 204
CINCINNATI, OHIO 45202
513-834-6151

ZONING / BUILDING CODE

PER ZONING ORDINANCE #242-2015, J.U. 7.7A, 2015.
THE PROPERTY WAS REZONED FROM DISTRICT CO-A 'COMMERCIAL, COMMUNITY-AUTO' TO DISTRICT RM 0.2 'RESIDENTIAL MULTIFAMILY'.

CODE INFORMATION:

PER 2011 CBC 310.1 THE '2013 RESIDENTIAL CODE OF OHIO' WILL BE USED IN PLACE OF THE 2011 OBC BUILDING DESIGN DATA.

- (R) SINGLE-FAMILY, 2-STORIES OR LESS
- CONSTRUCTION TYPE - 5B, UNPROTECTED WOOD FRAME
- PER SECTION 302.2 (R-C) EACH TOWN HOME DWELLING UNIT HAS BEEN SEPARATED FROM EACH ADJACENT TOWN HOME DWELLING UNIT BY A 2-HR RATED FIRE WALL.
- 1-HR RATED EXTERIOR FIRE BARRIER WALL ALONG NORTH FACADE DUE TO PROXIMITY TO THE PROPERTY LINE (LESS THAN 31' NO OPENINGS ARE PROVIDED).

BUILDING AREA:

UNIT #	BASEMENT	1st FLOOR	2nd FLOOR	3rd FLOOR	GARAGE	TOTAL
1501	---	990 sf	994 sf	712 sf	513 sf	2,692 sf
1503	599 sf + 381 sf	994 sf	994 sf	---	560 sf	2,577 sf
1505	599 sf + 381 sf	994 sf	994 sf	---	560 sf	2,577 sf
1507	599 sf + 381 sf	994 sf	994 sf	---	560 sf	2,577 sf
1509	599 sf + 381 sf	994 sf	994 sf	---	560 sf	2,577 sf
1511	599 sf + 381 sf	994 sf	994 sf	---	560 sf	2,577 sf
1513	---	990 sf	994 sf	712 sf	526 sf	2,632 sf

* - UNFINISHED SPACE TOTAL SF LISTED IS FOR FINISHED LIVABLE SPACE ONLY

DESIGN LOAD TABLE

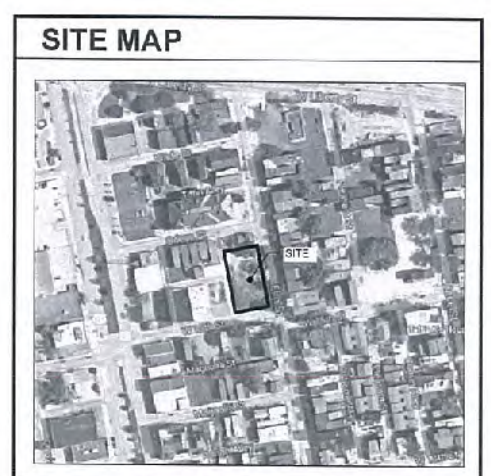
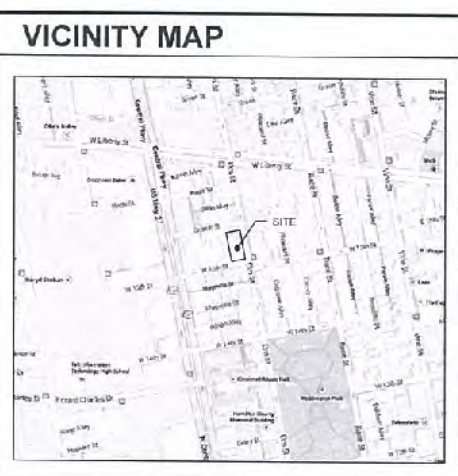
USE	LIVE LOAD	USE	LIVE LOAD
PASSENGER CAR GARAGE	30 LBS/SF	STAIRS	40 LBS/SF**
ATTICS - NO STORAGE	10 LBS/SF	ELEVATED PATIO	50 LBS/SF
DWELLING UNITS	40 LBS/SF	GUARDRAILS / HANDRAILS	200*
SLEEPING ROOMS	30 LBS/SF	ROOFS	20 LBS/SF

* A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION ALONG THE TOP RAIL
* GUARDRAIL INFILL COMPONENTS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 80 LBS IN AN AREA EQUAL TO 1 SF
** INDIVIDUAL STAIR TREADS SHALL BE DESIGNED FOR THE UNIFORMLY DISTRIBUTED LIVE LOAD OR A 300 LB CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQUARE INCHES, WHICHEVER PRODUCES GREATER STRESS

ENERGY ANALYSIS

CLIMATE ZONE 4:

TYP. EXTERIOR WALL	1/2" GYP. BC, 2x4 STUDS 16" OC, R-13 K-15 1" FACED FRICITION II BATT INSULATION, EXTERIOR GREAT INR. CONT. WEATHER RESISTIVE BARRIER, AIR SPACE, BRICK	R-13 (ESTIMATED)
GLAZING IN DOORS AND WINDOWS	U-VALUE: 0.35 MAX SHGC: 0.30 MAX	
BASEMENT WALL	UNFINISHED BASEMENT: 12" POURED CONCRETE + CONT. FOILED-FACE R-10 MIN. RIGID INSULATION MIN. 4" BELOW GRADE. FINISHED BASEMENT OPTION: 12" POURED CONCRETE + 1" AIR SPACE, 2x4 STUDS 16" OC, R-13 FRICITION II BATT INSULATION, 1/2" GYP.	R-11 (ESTIMATED) R-14 (ESTIMATED)
CEILING/ATTIC	CONTINUOUS INSULATION INCREASED TO MEET BUILDING ENVELOPE REQUIREMENTS	R-49 PROVIDED (R-38 REQUIRED)



SHEET INDEX

SHEET NUMBER	SHEET NAME	ISSUE DATE:	
		PERMIT 9/18/15	REVISION 11/05/15
GC.01	COVER SHEET, INDEX & MAP'S	●	●
CIVIL			
C1.0	SITE NOTES	●	●
C2.0	SITE DETAILS	●	●
C3.0	BASE MAP	●	●
C3.1	SITE DEMOLITION PLAN	●	●
C3.2	SITE LAYOUT PLAN	●	●
C3.3	SITE UTILITY PLAN	●	●
C3.4	GRASS/BRANCH APPLICATION PLAN	●	●
C3.5	SITE GRADINGS & EROSION PLAN	●	●
CP	CONSOLIDATED PLAN	●	●
ARCHITECTURAL			
A1.01	FOUNDATION PLAN	●	●
A2.01	BASEMENT & FIRST LEVEL PLAN	●	●
A2.02	SECOND & THIRD LEVEL PLAN	●	●
A2.03	OVERALL ROOF PLAN	●	●
A3.01	ENLARGED UNIT PLANS	●	●
A3.02	ENLARGED UNIT PLANS	●	●
A4.01	DETAILS, WALL TYPES, SCHEDULES	●	●
A5.01	BUILDING ELEVATIONS	●	●
A5.02	GARAGE ELEVATIONS & DETAILS	●	●
A6.01	WALL SECTIONS	●	●
A6.02	WALL SECTIONS	●	●
A6.03	WALL SECTION/DETAILS	●	●
A6.04	ENLARGED DETAILS	●	●
SP-01	SPECIFICATION SHEET	●	●
SP-02	SPECIFICATION SHEET	●	●
SP-03	SPECIFICATION SHEET	●	●
SP-04	SPECIFICATION SHEET	●	●
SP-05	SPECIFICATION SHEET	●	●
MECHANICAL			
M-1	2-STORY UNIT HVAC PLANS	●	●
M-2	3-STORY UNIT HVAC PLANS	●	●
M-3	HVAC DETAILS, NOTES, & SCHEDULES	●	●
ELECTRICAL			
E-1	2-STORY UNIT ELECTRIC PLANS	●	●
E-2	2-STORY UNIT ELECTRIC PLANS	●	●
E-3	3-STORY UNIT ELECTRIC PLANS	●	●
E-4	ELECTRIC RISER, CALCS, & SCHEDULES	●	●
PLUMBING			
P-1	PLUMBING BASEMENT & 1st PLANS	●	●
P-2	PLUMBING 2nd & 3RD LEVEL PLANS	●	●
P-3	PLUMBING DIAGRAMS	●	●
P-4	PLUMBING ISOMETRICS	●	●

DATE: 09/18/2015, 11/05/2015

ISSUE FOR PERMIT PERMIT REVISIONS

OWNER/DEVELOPER: **Towne Properties**
1055 St. Paul Place
CINCINNATI, OH 45202

PROJECT ARCHITECT: **Elm Street Town Homes Over-The-Rhine**
Elm Street & 15th Street
CINCINNATI, OH 45202

pdt architects, llc
always going beyond
T: 513.891.4605
F: 513.891.0530
www.pdtarchitects.com

CERTIFICATION: THIS DOCUMENT IS ONLY APPLICABLE TO THE ARCHITECTURAL OCCUPANCY PERMIT SUBJECT MATTER.

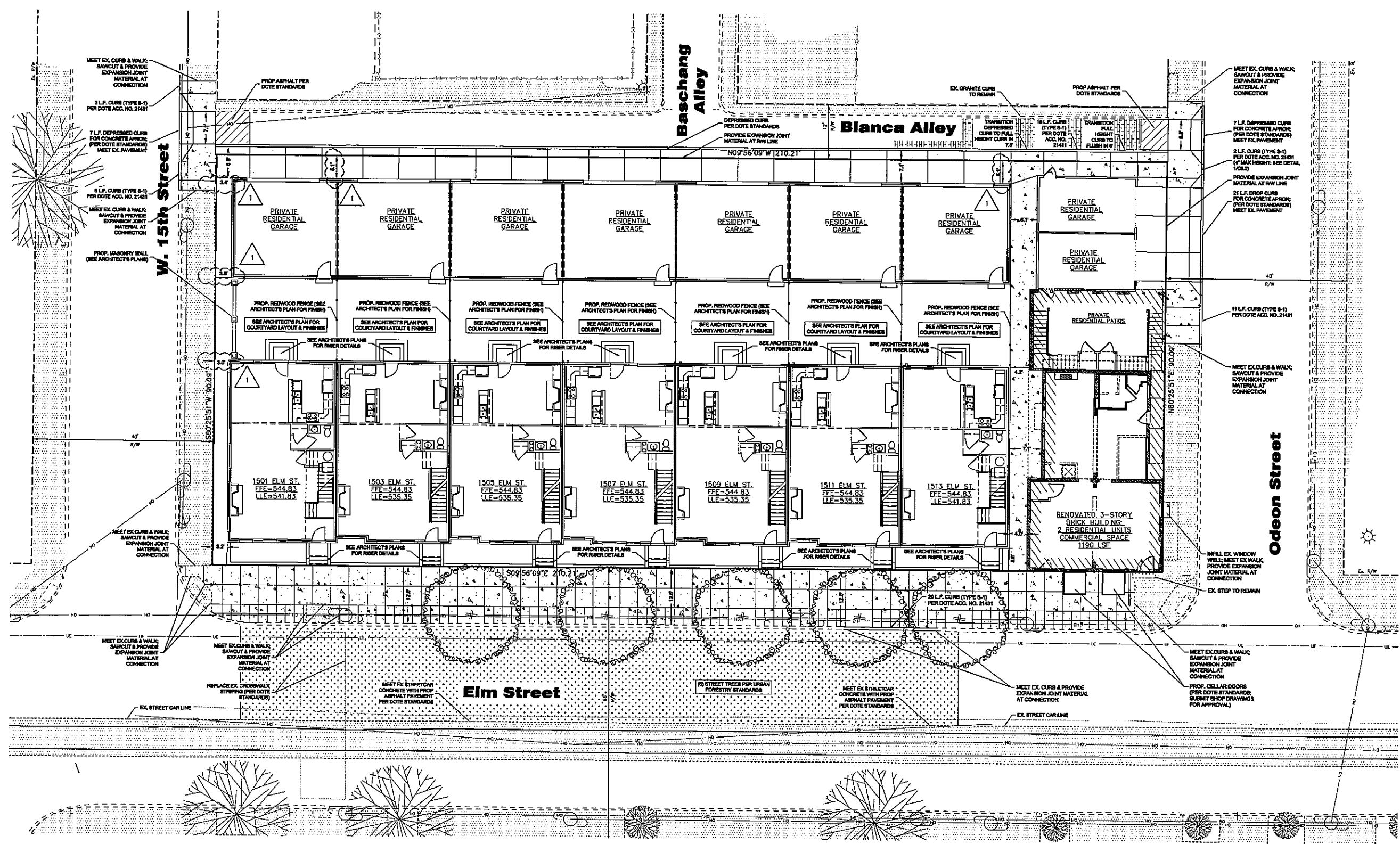
STATE OF OHIO
ROBERT J. ZARSKO
REGISTERED ARCHITECT
Expiration Date: 05/31/2015

ALTERATION AND/OR DUPLICATION OF THIS DOCUMENT IS PROHIBITED WITHOUT THE EXPRESS WRITTEN CONSENT OF THE PROJECT'S OWNER AND ARCHITECT, LLC.

DRAWN BY: JDR
CHECKED BY: DJV
CONTRACT: PET 2015
COMMISSION NO.: P-439

COVER SHEET

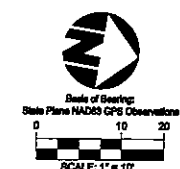
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Plot Date: Nov 05, 2015 - 4:10pm
 Drawing Name: J:\2015\150220-000\CAD\DWG - Layout Tab: C4.0 - Layout

LEGEND

- | | | | |
|--|--|--|--|
| | CONCRETE WALK
SEE DETAIL 1/C2.0) | | MILL & OVERLAY EX. STREET
PAVEMENT (PER DOTE STANDARDS) |
| | CONCRETE APRON
(PER DOTE ACC
NO. 21431) | | EXISTING CONCRETE WALK OR DRIVE
(TO REMAIN) |
| | PROP. ASPHALT PAVEMENT (PER
DOTE STANDARDS) | | EX. BRICK PAVERS (TO REMAIN) |



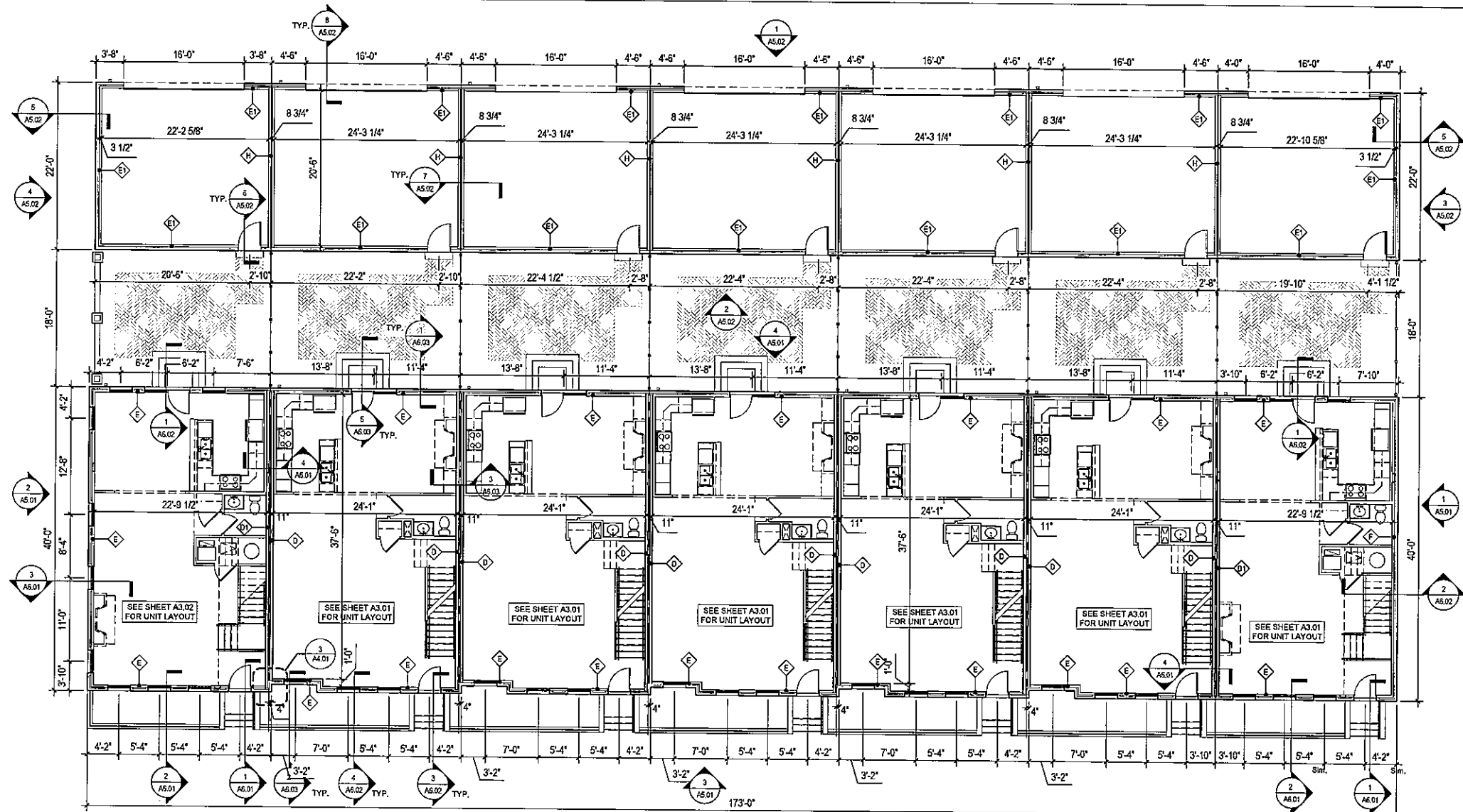
811
Know what's below.
Call before you dig.

LOCATION OF ALL EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION

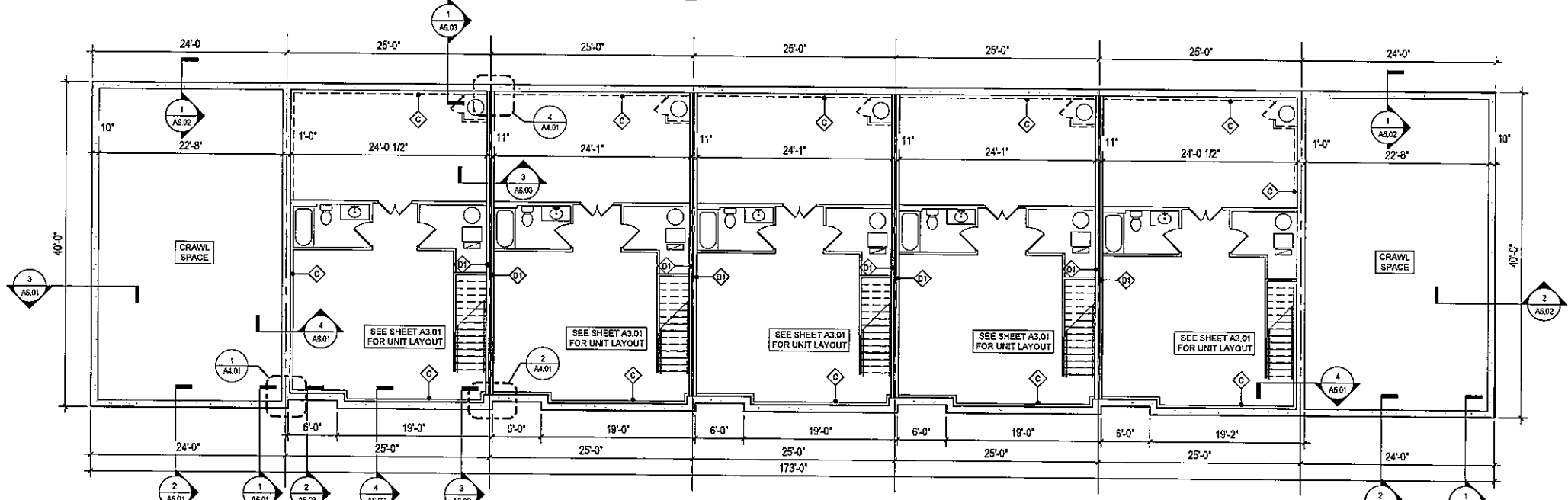
ELM STREET TOWNHOMES OVER-THE-RHINE
 ELM STREET & 15TH STREET
 CINCINNATI, OH 45202
 SITE LAYOUT PLAN

Item	Permit Network	Date	Drawn	CHK	MPD
1	PERMIT NETWORK	11/05/15	TMK	MPD	

Drawing: 15R020-000-CD
 Drawn by: TMK
 Checked by: MPD
 Issue Date: 08-26-2015
 Sheet: **C4.0**



2 FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"



1 BASEMENT LEVEL PLAN
SCALE 1/8" = 1'-0"

- SYMBOL LEGEND**
- CONSTRUCTION NOTES, SEE ENLARGED PLANS
 - △ WALL TYPE, SEE PLAN AND WALL TYPES ON SHEET 4.01, SEE ALSO SHEAR WALL NOTES WHERE APPLICABLE PER WALL TYPE SCHEDULE
 - OPENING HEADER, SEE PLANS AND HEADER SCHEDULE ON SHEET 4.01
 - ALIGN FRAMING AND/OR FINISHED SURFACES.
 - CENTERLINE

DATE	8.10.2010
ISSUE	FOR PERMIT
ISSUE	PERMIT REVISIONS
DATE	11.05.2010

OWNER/DEVELOPER:
Towne Properties
1055 St. Paul Place
CINCINNATI, OH 45202

PROJECT ADDRESS:
Elm Street Town Homes Over-The-Rhine
Elm Street & 15th Street
CINCINNATI, OH 45202

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www.potarchitects.com

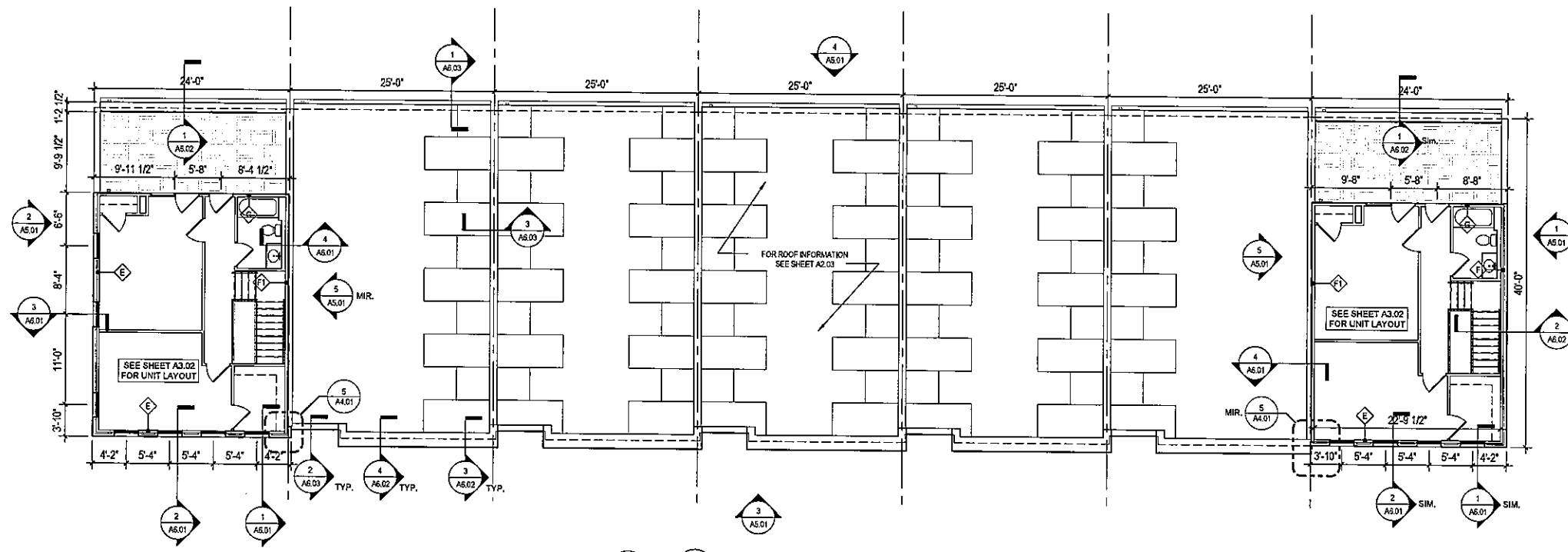
CERTIFICATION THIS DOCUMENT IS ONLY APPLICABLE TO THE ARCHITECTURAL DOCUMENTS BY POT ARCHITECTS, LLC

STATE OF OHIO
ROBERT J. ZIMMICK
JULY 1980
REGISTERED ARCHITECT

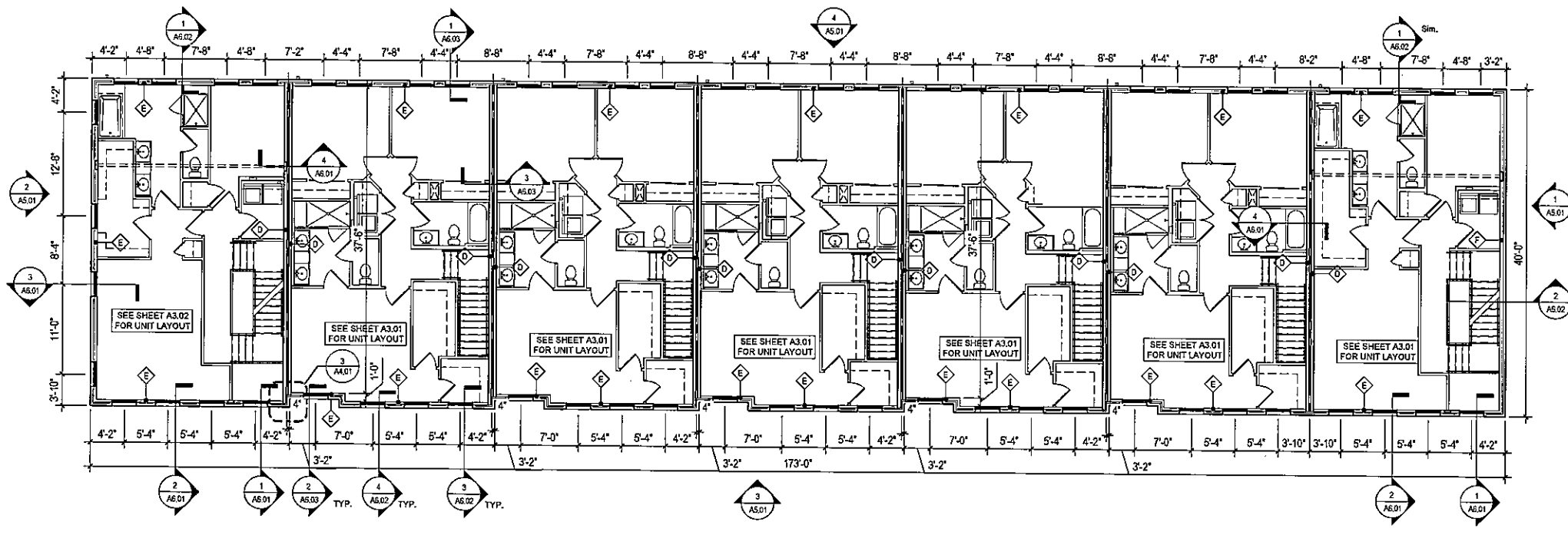
Robert L. Zimmick, License #88008902
Expiration Date: 12/31/2015
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BASEMENT & FIRST FLOOR PLANS
A2.01



2 THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

SYMBOL LEGEND

- # CONSTRUCTION NOTES, SEE ENLARGED PLANS
- A WALL TYPE, SEE PLAN AND WALL TYPES ON SHEET 4.01. SEE ALSO SHEAR WALL NOTES WHERE APPLICABLE PER WALL TYPE SCHEDULE
- H OPENING HEADER, SEE PLANS AND HEADER SCHEDULE ON SHEET 4.01
- ↔ ALIGN FRAMING AND/OR FINISHED SURFACES.
- ⊥ CENTERLINE.

DATE	9.10.2015
ISSUE	FOR PERMIT
FOR PERMIT	11.05.2015
PERMIT REVISIONS:	

Towne Properties
1055 St. Paul Place
CINCINNATI, OH 45202

Elm Street Town Homes Over-The-Rhine
Elm Street & 15th Street
CINCINNATI, OH 45202

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Robert L. Zdravko, License #0030802
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SECOND & THIRD FLOOR PLANS

A2.02

DATE	0.18.2016
FOR PERMIT	
PERMIT REVISIONS	11.05.2015
ISSUE	

Towne Properties
 1085 St. Paul Place
 CINCINNATI, OH 45202

Elm Street Town Homes Over-The-Rhine
 Elm Street & 15th Street
 CINCINNATI, OH 45202



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Robert J. Zaleski, License #8508902
 Expiration Date 12/31/2015

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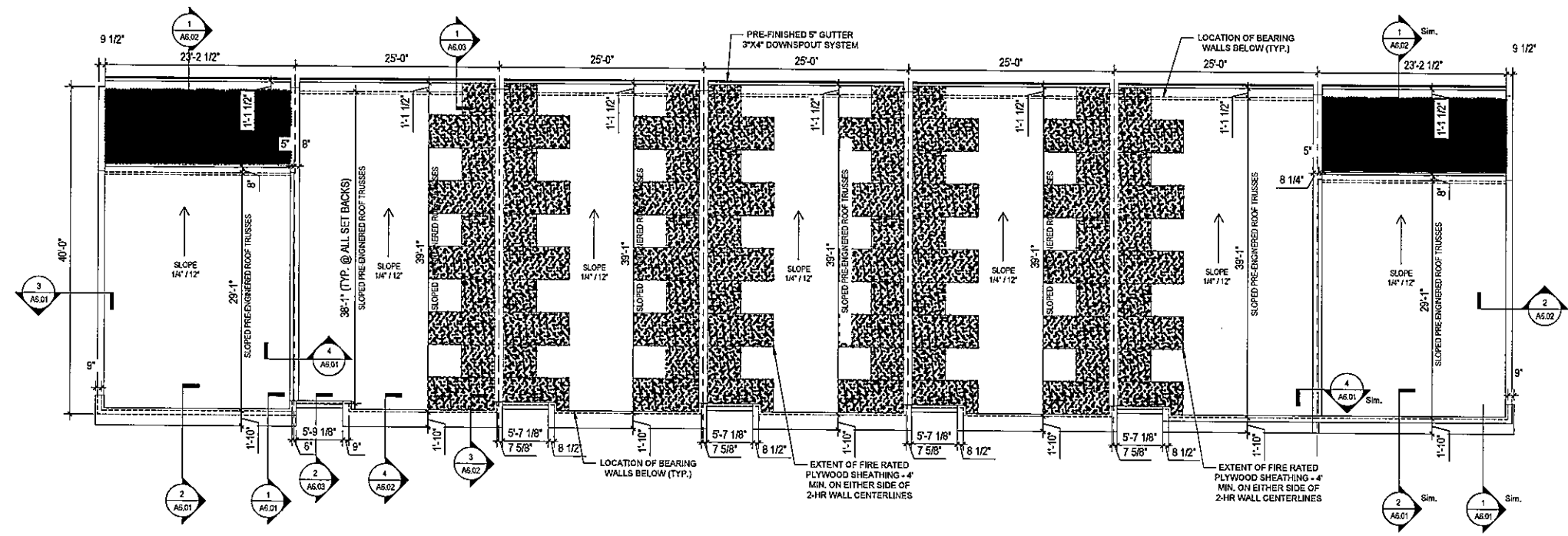
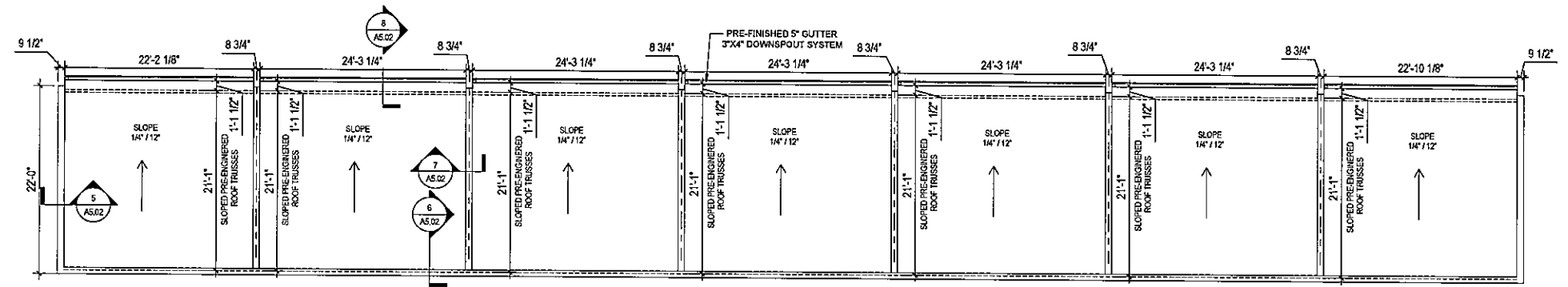
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SECOND & THIRD FLOOR PLANS

A2.03

SYMBOL LEGEND

- CONSTRUCTION NOTES, SEE ENLARGED PLANS
- ◇ WALL TYPE, SEE PLAN AND WALL TYPES ON SHEET 4.01. SEE ALSO SHEAR WALL NOTES WHERE APPLICABLE PER WALL TYPE SCHEDULE
- ⊞ OPENING HEADER, SEE PLANS AND HEADER SCHEDULE ON SHEET 4.01
- ↔ ALIGN FRAMING AND/OR FINISHED SURFACES.
- ⊞ CENTERLINE.



1 ROOF PLAN
 2.03 SCALE 1/8" = 1'-0"

DATE	9.18.2015
FOR PERMIT	11.05.2015
ISSUE	
FOR PERMIT	
PERMIT REVISIONS	

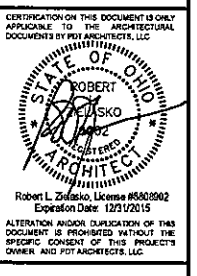
Towne Properties
1055 St. Paul Place
CINCINNATI, OH 45202

Elm Street Town Homes Over-The-Rhine
Elm Street & 15th Street
CINCINNATI, OH 45202

PROJECT ADDRESS



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ENLARGED UNIT PLANS

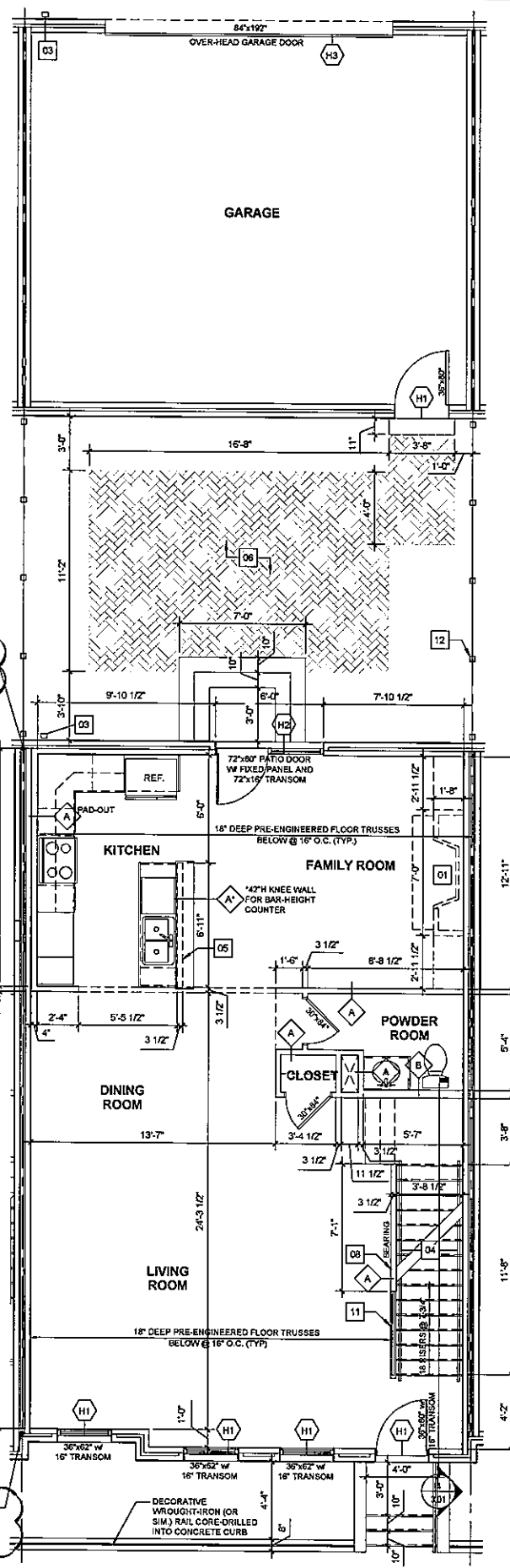
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GENERAL PLAN NOTES

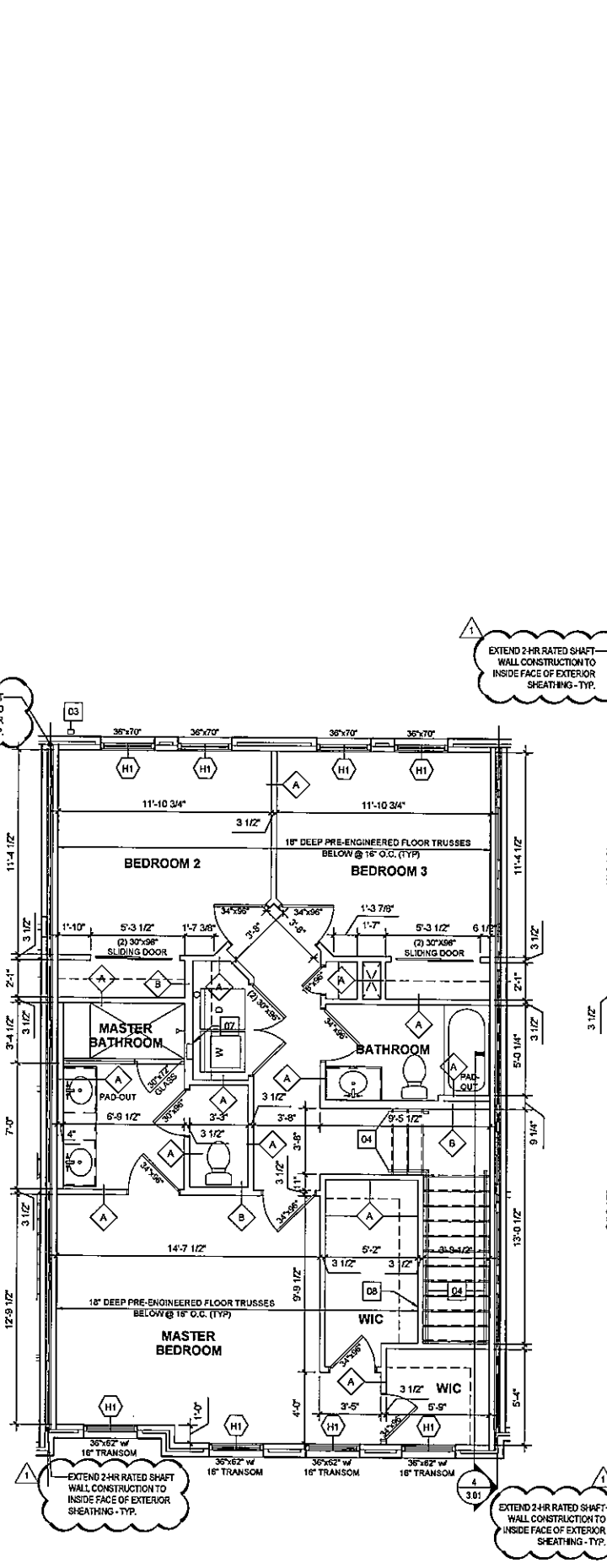
- ALL INTERIOR DOORS SHALL BE 8'-0" IN HEIGHT ON THE FIRST, SECOND, AND THIRD FLOORS, UNLESS NOTED OTHERWISE. ALL INTERIOR FINISHED BASEMENT LEVEL DOORS SHALL BE 6'-8" IN HEIGHT. ALL DOORS NOT DIMENSIONED FROM A WALL ARE EITHER CENTERED IN THE WALL, AS INDICATED OR ARE 4 1/2" FROM THE DOOR HINGE JAMB TO THE ADJACENT STUD WALL FRAME.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD/FURRING UNLESS OTHERWISE OTHERWISE, INCLUDING SHEAR WALLS WITH PLYWOOD SHEATHING.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF CONCRETE FOUNDATION WALL, TO THE FACE OF EXTERIOR SHEATHING, TO THE CENTERLINE OF FIRE WALLS, OR TO THE CENTERLINE OF OPENINGS UNLESS NOTED OTHERWISE.
- FOR EXTERIOR WALL CONSTRUCTION AND STUD SPACING SEE WALL SECTIONS AND WALL NOTES/DETAILS ON SHEET A4.01.
- ALL WINDOWS BASED ON "SUNCLAD" SINGLE-HUNG ALUMINUM-CLAD WOOD WINDOWS BY "SUN WINDOWS & DOORS". SIMULATED DIVIDED LITES SHALL BE 2 OVER 2 UNLESS NOTED OTHERWISE. ALL GLAZING SHALL BE CLEAR, INSULATING DOUBLE-PANE, ARGON-FILLED, AND WITH A LOW-E COATING.
- FRAMING CONTRACTOR: SEE WINDOW AND DOOR MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR ROUGH OPENING DIMENSIONS. DIMENSIONS SHOWN ARE THE CENTER OF THE DOOR OR WINDOW OPENING. WINDOW AND DOOR DIMENSIONS SHOWN IN PLAN ARE NOMINAL.
- ALL WALLS SHOWN DASHED ARE CURRENTLY NOT IN PROJECT SCOPE. WALLS TO BE BUILT BY DIRECTION OF OWNER BASED UPON RESIDENT SELECTION.
- ALL INTERIOR FINISHES TO BE SELECTED BY THE OWNER. IN WET AREAS SUCH AS BATHROOMS WITH A SHOWER/TUB PROVIDE THE FOLLOWING:
A. INSTALL CEMENT-BACKER BOARD BEHIND ALL CERAMIC OR PORCELAIN FLOOR/WALL TILE
B. PROVIDE MOLD AND MOISTURE-RESISTANT GYPSUM WALL BOARD IN ALL WET AREAS WHERE CEMENT-BACKER BOARD IS NOT INSTALLED
- ALL PATIO DOORS AND FIXED PANELS SHALL HAVE FULL-LITE INSULATING GLAZING MEETING THE SAME SPECS AS THE HUNG WINDOWS.

PLAN KEY NOTES

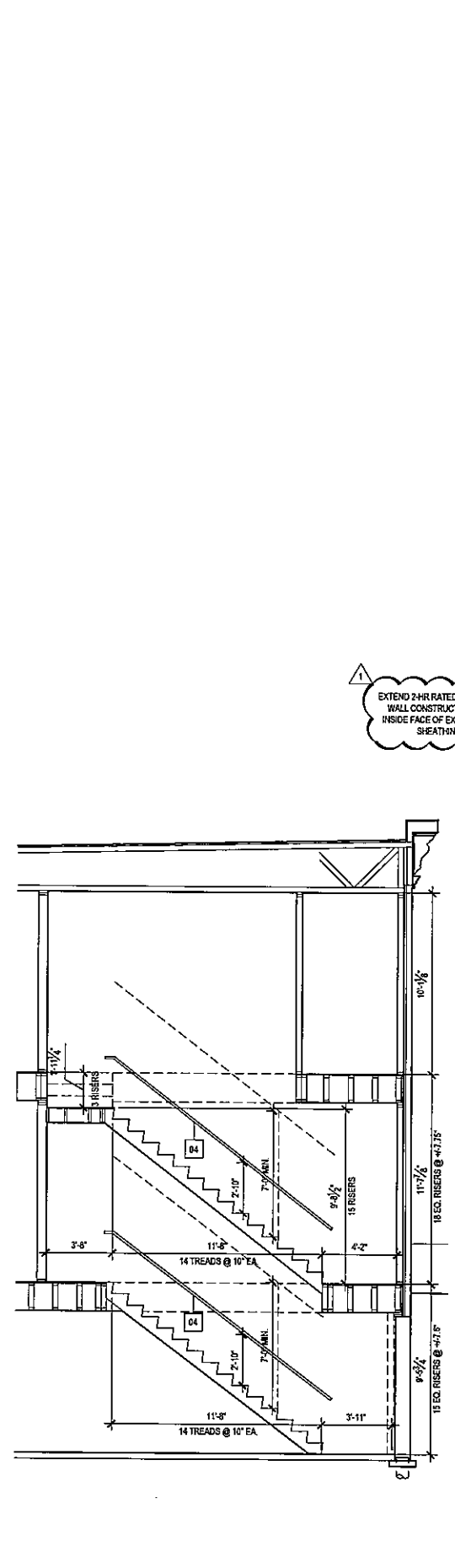
- GAS FIREPLACE (OPTIONAL IF DOTTED)
- PROVIDE HATCH IN FLOOR FOR CRAWL SPACE ACCESS, 18" x 24" MIN. SIZE WITH FLUSH PLANO HINGE. FINISH EXPOSED HATCH DOOR WITH SAME FLOOR MATERIAL.
- DOWNSPOUT LOCATION
- CONTINUOUS STAIR HANDRAIL AS INDICATED IN PLAN. ATTACH TO WALL OR GUARDRAIL AS REQUIRED AT A HEIGHT OF 2'-10" MEASURED VERTICALLY ABOVE THE STAIR NOSING. PROVIDE 2x BLOCKING WITHIN WALL FRAMING FOR PROPER ATTACHMENT.
- LOW WALL, 42" HIGH WALL W/ICAP TO MATCH KITCHEN COUNTER TOPS
- CONCRETE PAVER PATIO. PROVIDE WOOD-FRAMED LANDING AND STEPS AS INDICATED AND DETAILED ON SHEET 6.03. CENTER LANDING ON SWING DOOR.
- WASHER VALVE BOX. SEE PLUMBING DRAWINGS.
- BEARING WALL. ADJUST WALL ASSEMBLY TO SUPPORT FLOOR TRUSSES ABOVE.
- GIRDER TO SUPPORT TERRACE JOISTS.
- 2x4 WALL STUDS ATTACHED TO FORM A COLUMN TO SUPPORT TERRACE ABOVE.
- 36" GUARDRAIL. ATTACH TO SLOPED HALF-WALL, STAIRS, OR FLOOR AS REQUIRED.
- 6'-0" PRIVACY FENCE
- TERRACE 42" HIGH BLACK ALUMINUM GUARDRAIL.



2 FIRST FLOOR: 2-LEVEL UNIT
SCALE: 1/4" = 1'-0"



3 SECOND FLOOR: 2-LEVEL UNIT
SCALE: 1/4" = 1'-0"



1 BASEMENT: 2-LEVEL UNIT
SCALE: 1/4" = 1'-0"

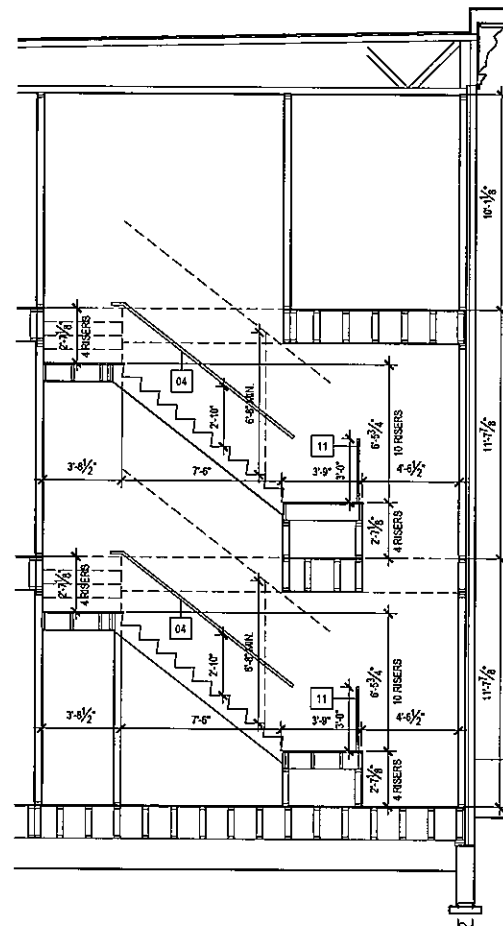
4 STAIR SECTION: 2-LEVEL UNIT
SCALE: 1/4" = 1'-0"

GENERAL PLAN NOTES

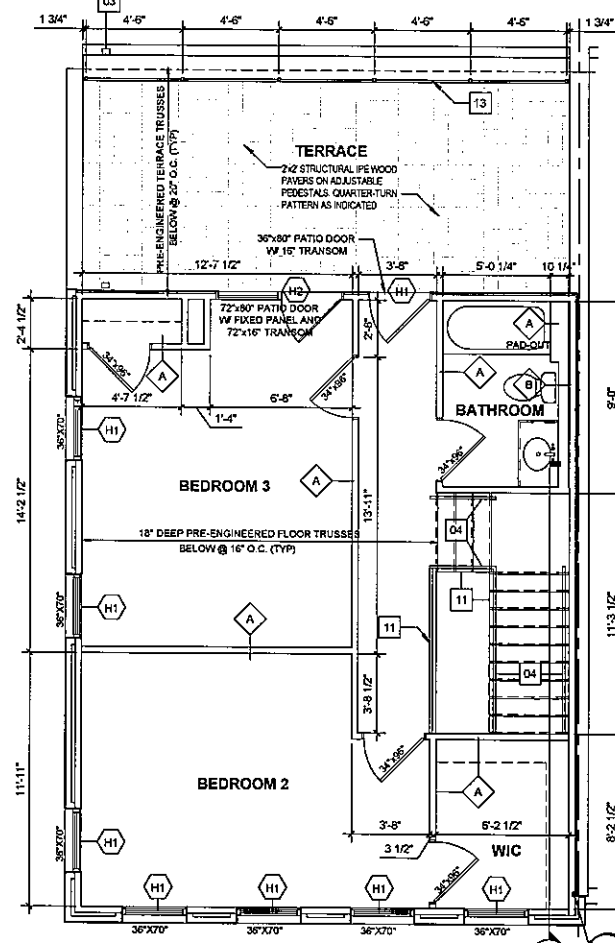
- ALL INTERIOR DOORS SHALL BE 6'-0" IN HEIGHT ON THE FIRST, SECOND, AND THIRD FLOORS, UNLESS NOTED OTHERWISE. ALL INTERIOR FINISHED BASEMENT LEVEL DOORS SHALL BE 6'-8" IN HEIGHT. ALL DOORS NOT DIMENSIONED FROM A WALL ARE EITHER CENTERED IN THE WALL AS INDICATED OR ARE 4 1/2" FROM THE DOOR HINGE JAMB TO THE ADJACENT STUD WALL FRAME.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD/FURRING UNLESS OTHERWISE NOTED. INCLUDING SHEAR WALLS WITH PLYWOOD SHEATHING.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF CONCRETE FOUNDATION WALL, TO THE FACE OF EXTERIOR SHEATHING, TO THE CENTERLINE OF FIRE WALLS, OR TO THE CENTERLINE OF OPENINGS UNLESS NOTED OTHERWISE.
- FOR EXTERIOR WALL CONSTRUCTION AND STUD SPACING SEE WALL SECTIONS AND WALL NOTES/DETAILS ON SHEET A4.01.
- ALL WINDOWS BASED ON "SUNGLAD" SINGLE-HUNG ALUMINUM-CLAD WOOD WINDOWS BY "SUN WINDOWS & DOORS". SIMULATED DIVIDED LITES SHALL BE 2 OVER 2 UNLESS NOTED OTHERWISE. ALL GLAZING SHALL BE CLEAR, INSULATING DOUBLE-PANE, ARGON-FILLED, AND WITH A LOW-E COATING.
- FRAMING CONTRACTOR: SEE WINDOW AND DOOR MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR ROUGH OPENING DIMENSIONS. DIMENSIONS SHOWN ARE THE CENTER OF THE DOOR OR WINDOW OPENING. WINDOW AND DOOR DIMENSIONS SHOWN IN PLAN ARE NOMINAL.
- ALL WALLS SHOWN DASHED ARE CURRENTLY NOT IN PROJECT SCOPE, WALLS TO BE BUILT BY DIRECTION OF OWNER BASED UPON RESIDENT SELECTION.
- ALL INTERIOR FINISHES TO BE SELECTED BY THE OWNER, IN WET AREAS SUCH AS BATHROOMS WITH A SHOWER TUB PROVIDE THE FOLLOWING:
A. INSTALL CEMENT-BACKER BOARD BEHIND ALL CERAMIC OR PORCELAIN FLOOR/WALL TILE
B. PROVIDE MOLD AND MOISTURE-RESISTANT GYPSUM WALL BOARD IN ALL WET AREAS WHERE CEMENT-BACKER BOARD IS NOT INSTALLED
- ALL PATIO DOORS AND FIXED PANELS SHALL HAVE FULL-LITE INSULATING GLAZING MEETING THE SAME SPECS AS THE HUNG WINDOWS.

PLAN KEY NOTES

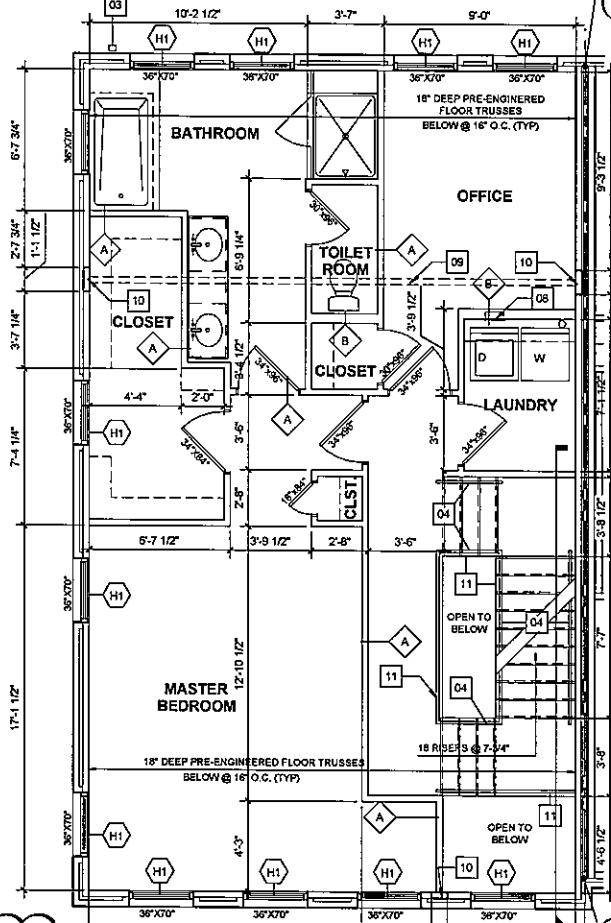
- GAS FIREPLACE (OPTIONAL IF DOTTED)
- PROVIDE HATCH IN FLOOR FOR CRAWL SPACE ACCESS, 18" x 24" MIN. SIZE WITH FLUSH PIANO HINGE. FINISH EXPOSED HATCH DOOR WITH SAME FLOOR MATERIAL
- DOWNSPOUT LOCATION
- CONTINUOUS STAIR HANDRAIL AS INDICATED IN PLAN. ATTACH TO WALL OR GUARDRAIL AS REQUIRED AT A HEIGHT OF 2'-0" MEASURED VERTICALLY ABOVE THE STAIR NOSING. PROVIDE 2x BLOCKING WITHIN WALL FRAMING FOR PROPER ATTACHMENT.
- LOW WALL, 42" HIGH WALL W/ CAP TO MATCH KITCHEN COUNTER TOPS
- CONCRETE PAVEMENT PATIO. PROVIDE WOOD-FRAMED LANDING AND STEPS AS INDICATED AND DETAILED ON SHEET 0.03. CENTER LANDING ON SWING DOOR.
- WASHER VALVE BOX. SEE PLUMBING DRAWINGS.
- BEARING WALL, ADJUST WALL ASSEMBLY TO SUPPORT FLOOR TRUSSES ABOVE.
- GIRDER TO SUPPORT TERRACE JOISTS.
- 2x4 WALL STUDS ATTACHED TO FORM A COLUMN TO SUPPORT TERRACE ABOVE.
- 36" GUARDRAIL ATTACH TO SLOPED HALF-WALL, STAIRS, OR FLOOR AS REQUIRED.
- 6'-0" PRIVACY FENCE
- TERRACE 42" HIGH BLACK ALUMINUM GUARDRAIL



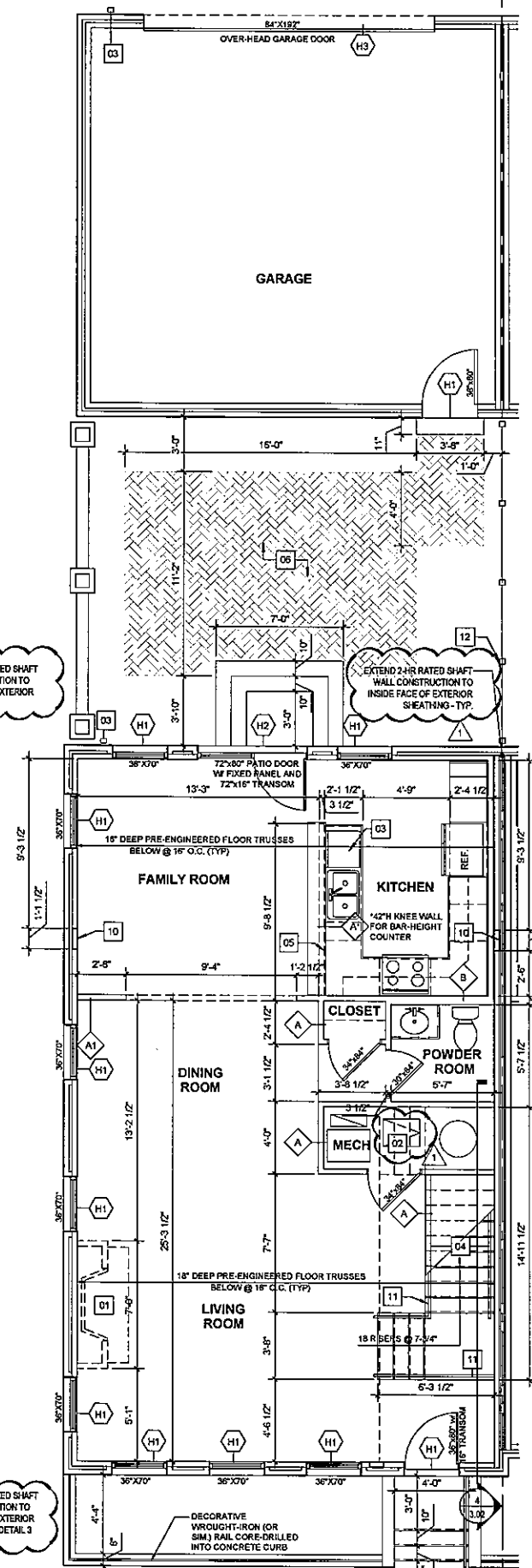
4 STAIR SECTION: 3-LEVEL UNIT
SCALE: 1/4" = 1'-0"



3 THIRD FLOOR: 3-LEVEL UNIT
SCALE: 1/4" = 1'-0"





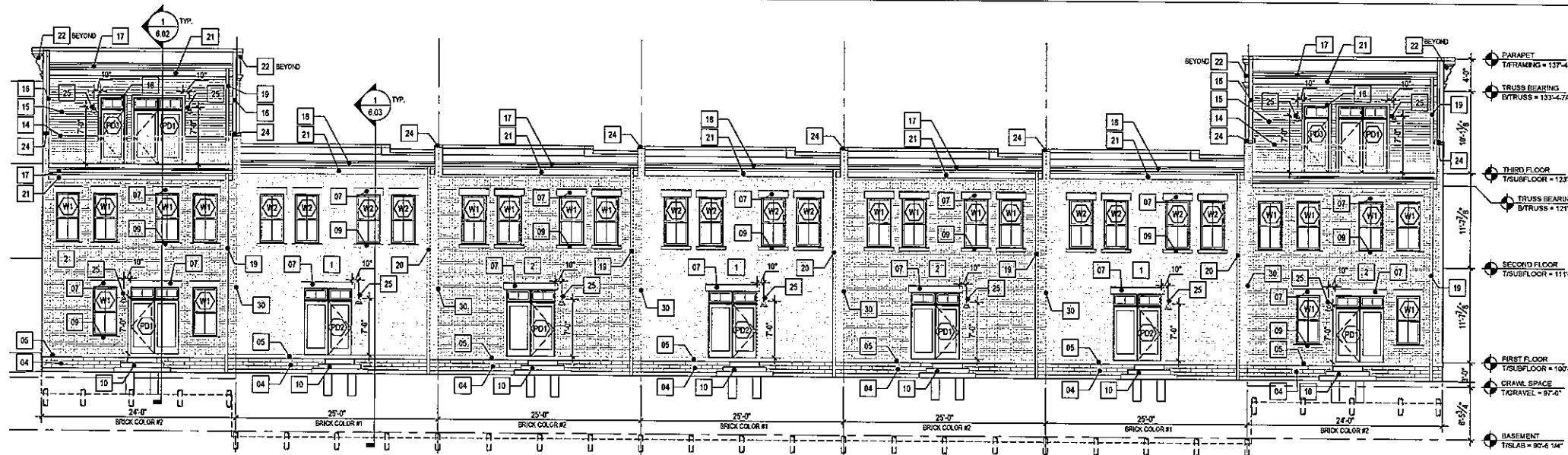
2 SECOND FLOOR: 3-LEVEL UNIT
SCALE: 1/4" = 1'-0"



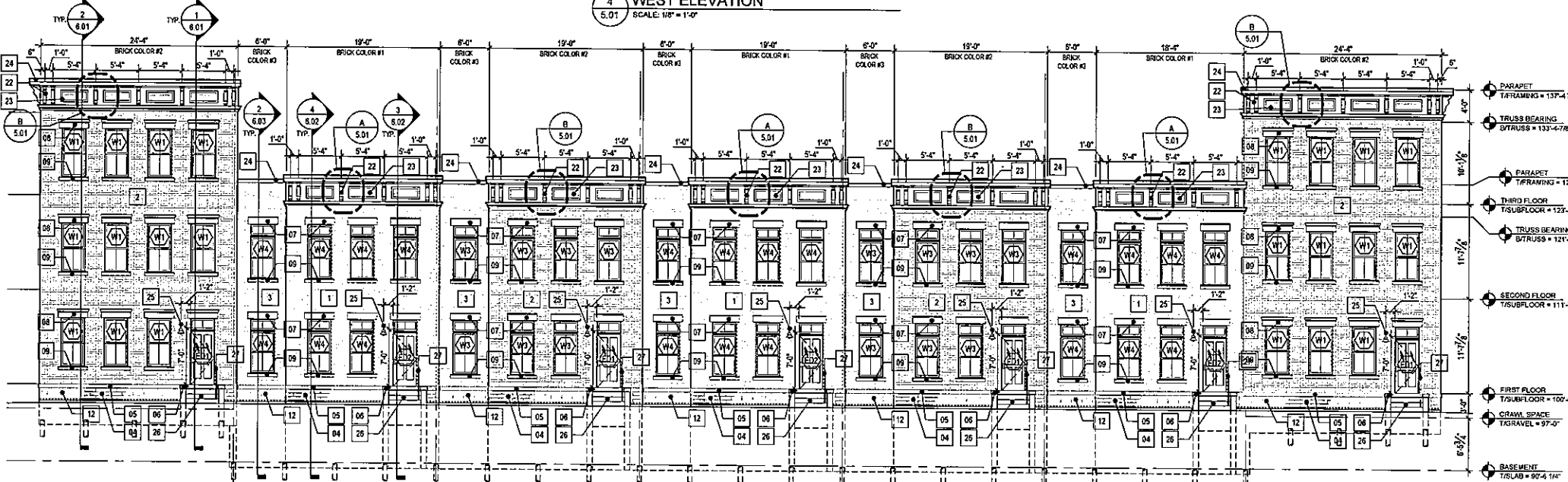
1 FIRST FLOOR: 3-LEVEL UNIT
SCALE: 1/4" = 1'-0"



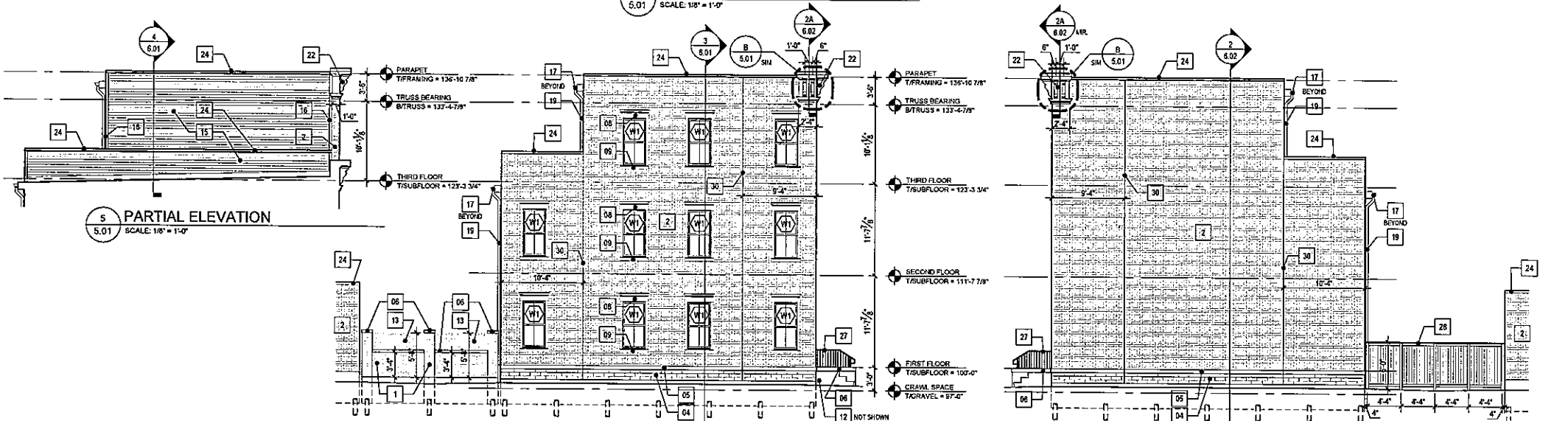
DATE	0.18.2015
ISSUE	FOR PERMIT
PERMIT REVISIONS	11.05.2015
OWNER/DEVELOPER	Towne Properties 1055 St. Paul Place CINCINNATI, OH 45202
PROJECT ADDRESS	Elm Street Town Homes Over-The-Rhine Elm Street & 15th Street CINCINNATI, OH 45202
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A3.02	



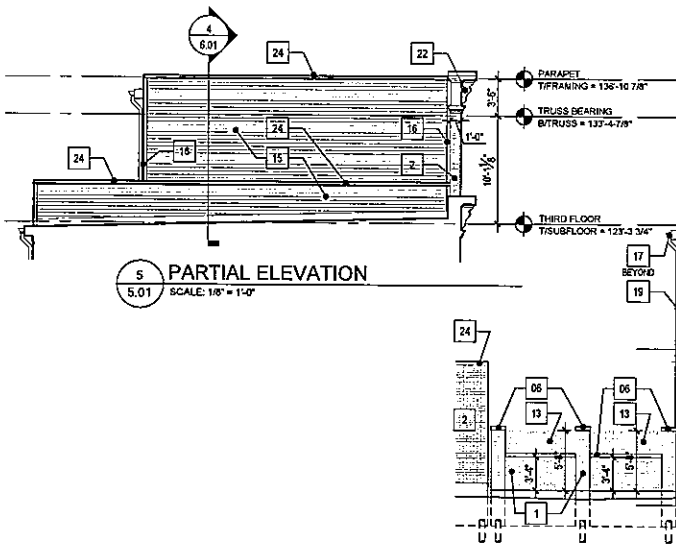
4 WEST ELEVATION
5.01 SCALE: 1/8" = 1'-0"



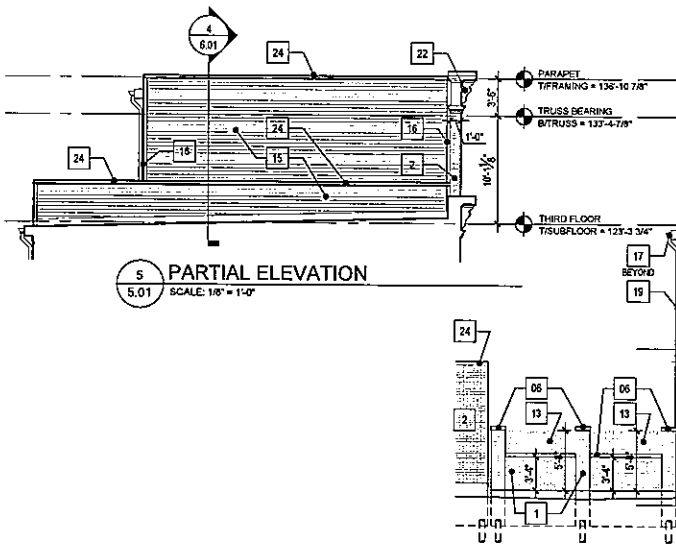
3 EAST ELEVATION
5.01 SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
5.01 SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
5.01 SCALE: 1/8" = 1'-0"



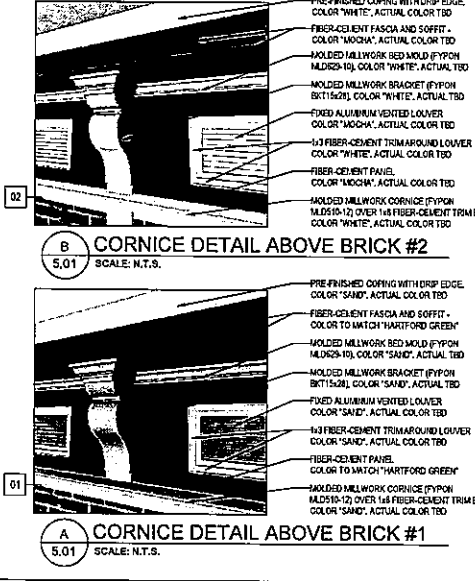
5 PARTIAL ELEVATION
5.01 SCALE: 1/8" = 1'-0"

ELEVATION KEY NOTES

- BRICK VENEER #1 (RED, PER SAMPLE); MODULAR, RUNNING BOND
- BRICK VENEER #2 (RED ORANGE, PER SAMPLE); MODULAR, RUNNING BOND
- BRICK VENEER #3 (DARK BROWN, PER SAMPLE); MODULAR, RUNNING BOND
- CHISELED-FACE CONCRETE BLOCK; 4" x 8" x 16" (NOMINAL)
- CONTINUOUS CAST STONE WATERTABLE (2 BRICK COURSES HIGH)
- CAST STONE CAP WITH SLOPED TOP (2 BRICK COURSES HIGH)
- CAST STONE HEADER #1: 1-PIECE, 4 BRICK COURSES HIGH W/ CHAMFER
- CAST STONE HEADER #2: 2-PIECES, 5 TOTAL BRICK COURSES HIGH
- CAST STONE WINDOW SILL: 1-PIECE, 2 BRICK COURSES HIGH
- COMPOSITES TOP JOISTS OVER P.T. WOOD FRAMING - LANDING AND STEPS
- CHISELED-FACE CONCRETE BLOCK (BELOW WATERTABLE)
- DECORATIVE BLACK WROUGHT IRON RAILING PER OWNER. CORE DRILL POSTS INTO POURED CONCRETE CURB. SEE DETAIL 4/A6.02
- DECORATIVE BLACK WROUGHT IRON RAILING PER OWNER. CORE DRILL POSTS INTO CAST STONE CAP
- BLACK ALUMINUM GUARDRAIL, 42" HIGH ABOVE TERRACE PATIO
- FIBER-CEMENT LAP SIDING, 4" EXPOSURE, COLOR "MOCHA", ACTUAL TBD
- FIBER-CEMENT TRIM BOARDS, 4" NOMINAL, AROUND SIDING PERIMETER AND AROUND PATIO DOORS
- PRE-FINISHED METAL GUTTER, COLOR "MOCHA", ACTUAL COLOR TBD
- PRE-FINISHED METAL GUTTER, COLOR TO MATCH "HARTFORD GREEN"
- PRE-FINISHED METAL 3"x4" DOWNSPOUT, COLOR "MOCHA", ACTUAL TBD
- PRE-FINISHED METAL 3"x4" DOWNSPOUT, COLOR "HARTFORD GREEN"
- FIBER-CEMENT GUTTER BOARD, COLOR TO MATCH GUTTER/DOWNSPOUT
- MOLDED POLYURATHANE (FYFON) BRACKET AND MOLDING. SEE DETAILS A & B ON THIS SHEET AND DETAIL 4/A6.04 FOR COLORS AND DETAILS
- 12"x1x36" VENTED ALUMINUM LOUVER. SEE DETAILS A & B FOR COLOR
- PRE-FINISHED METAL COPING, COLOR TO MATCH UNIT GUTTER AND DOWNSPOUTS UNLESS NOTED OTHERWISE (AS IN DETAILS A & B)
- CONCRETE STEPS AND LANDING WITH BRUSH FINISH. SEE DETAIL 4/A6.03
- BLACK ALUMINUM HANDRAIL, 34" HIGH ABOVE CONCRETE STEPS
- REDWOOD OR CEDAR PRIVACY FENCE W/ 4x4 POSTS
- PILES PER SPECIALTY FOUNDATION CONTRACTOR
- CONTINUOUS MASONRY CONTROL JOINT W/ COMPRESSIBLE BACKER AND ELASTOMERIC SEALANT FROM FOUNDATION TO BRICK VENEER
- BRICK ROWLOCK COURSE OVER SOLDIER COURSE HEADER

DOOR AND WINDOW SCHEDULE

Symbol	Description
W1	36" x 70" WINDOW (LITES = 2 OVER 2), SINGLE-HUNG ALUMINUM-CLAD WOOD, 1" INSULATED LOW-E GLAZING, MEETS EGRESS REQUIREMENTS. EXTERIOR FRAME COLOR = "CHARCOAL"
W2	36" x 70" WINDOW (LITES = 2 OVER 2), SINGLE-HUNG ALUMINUM-CLAD WOOD, 1" INSULATED LOW-E GLAZING, MEETS EGRESS REQUIREMENTS. EXTERIOR FRAME COLOR = "HARTFORD GREEN"
W3	36" x 62" WINDOW (LITES = 2 OVER 2), SINGLE-HUNG ALUMINUM-CLAD WOOD WITH 36" x 16" TRANSOM ABOVE. TOTAL SIZE = 36" x 78". 1" INSULATED LOW-E GLAZING, MEETS EGRESS REQUIREMENTS. EXTERIOR FRAME COLOR = "CHARCOAL"
W4	36" x 62" WINDOW (LITES = 2 OVER 2), SINGLE-HUNG ALUMINUM-CLAD WOOD WITH 36" x 16" TRANSOM ABOVE. TOTAL SIZE = 36" x 78". 1" INSULATED LOW-E GLAZING, MEETS EGRESS REQUIREMENTS. EXTERIOR FRAME COLOR = "HARTFORD GREEN"
ED1	36" x 80" ALUMINUM-CLAD WOOD IN-SWING ENTRY DOOR, 4-PANEL, WITH 36" x 16" TRANSOM ABOVE. TOTAL SIZE = 36" x 96". PROVIDE 1" TEMPERED, BEVELED-EDGE GLAZING IN TOP TWO PANELS. DOOR COLOR = "CLARET RED"; FRAME COLOR = "CHARCOAL"
ED2	36" x 80" ALUMINUM-CLAD WOOD IN-SWING ENTRY DOOR, 4-PANEL, WITH 36" x 16" TRANSOM ABOVE. TOTAL SIZE = 36" x 96". PROVIDE 1" TEMPERED, BEVELED-EDGE GLAZING IN TOP TWO PANELS. DOOR AND FRAME COLOR = "HARTFORD GREEN"
PD1	72" x 80" ALUMINUM-CLAD WOOD IN-SWING PATIO DOOR, FULL LITES WITH 1" INSULATED LOW-E TEMPERED GLAZING, W/ 72" x 16" TRANSOM ABOVE. TOTAL SIZE = 72" x 96". ONE ACTIVE + ONE INACTIVE LEAF. DOOR AND FRAME COLOR = "CHARCOAL"
PD2	72" x 80" ALUMINUM-CLAD WOOD IN-SWING PATIO DOOR, FULL LITES WITH 1" INSULATED LOW-E TEMPERED GLAZING, W/ 72" x 16" TRANSOM ABOVE. TOTAL SIZE = 72" x 96". ONE ACTIVE + ONE INACTIVE LEAF. DOOR AND FRAME COLOR = "HARTFORD GREEN"
PD3	36" x 80" ALUMINUM-CLAD WOOD IN-SWING PATIO DOOR, FULL LITE WITH 1" INSULATED LOW-E GLAZING, WITH 36" x 16" TRANSOM ABOVE. TOTAL SIZE = 36" x 96". DOOR AND FRAME COLOR = "CHARCOAL"
GD1	36" x 80" ALUMINUM-CLAD WOOD IN-SWING ENTRY DOOR, 4-PANEL, INTO GARAGE. PROVIDE INSULATED GLAZING IN TOP TWO PANELS. DOOR COLOR = "CLARET RED"; FRAME COLOR = "CHARCOAL"
GD2	36" x 80" ALUMINUM-CLAD WOOD IN-SWING ENTRY DOOR, 4-PANEL, INTO GARAGE. PROVIDE INSULATED GLAZING IN TOP TWO PANELS. DOOR AND FRAME COLOR = "HARTFORD GREEN"
OD1	7' x 16' OVERHEAD GARAGE DOOR. BASIS OF DESIGN: "CLOPAY GALLERY COLLECTION" GOOVED PANEL STEEL CARRIAGE HOUSE INSULATED GARAGE DOORS W/ TOP SECTION WINDOWS. DOOR COLOR = "SANDSTONE"; TRIM COLOR = "CHARCOAL"
OD2	7' x 16' OVERHEAD GARAGE DOOR. BASIS OF DESIGN: "CLOPAY GALLERY COLLECTION" GOOVED PANEL STEEL CARRIAGE HOUSE INSULATED GARAGE DOORS W/ TOP SECTION WINDOWS. DOOR COLOR = "ALMOND"; TRIM COLOR = "HARTFORD GREEN"



A CORNICE DETAIL ABOVE BRICK #1
5.01 SCALE: N.T.S.

DATE: 9.10.2015
11.05.2015
11.24.2015

ISSUE FOR PERMIT PERMIT REVISIONS PERMIT REVISIONS 2

OWNER/DEVELOPER: **Towne Properties**
1555 St. Paul Place
CINCINNATI, OH 45202

PROJECT ADDRESS: **Elm Street Town Homes Over-The-Rhine**
Elm Street & 15th Street
CINCINNATI, OH 45202

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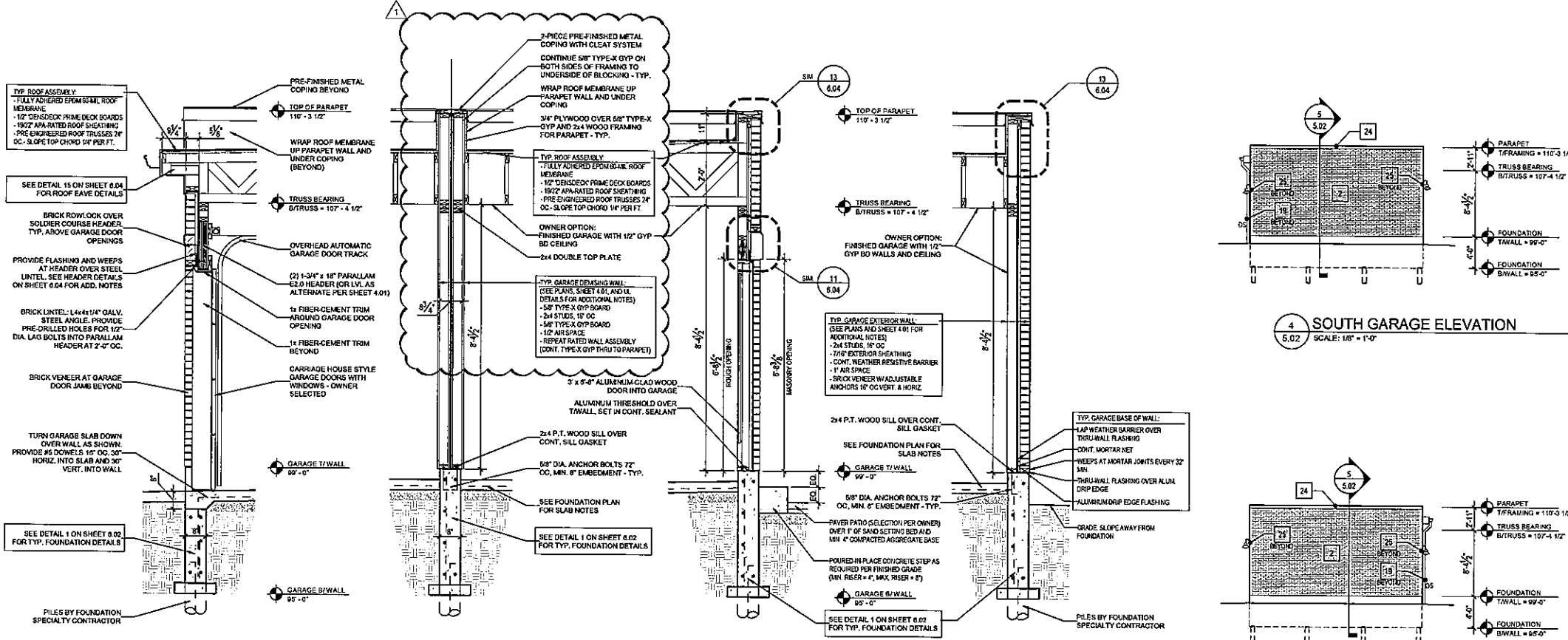
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BUILDING ELEVATIONS

A5.01

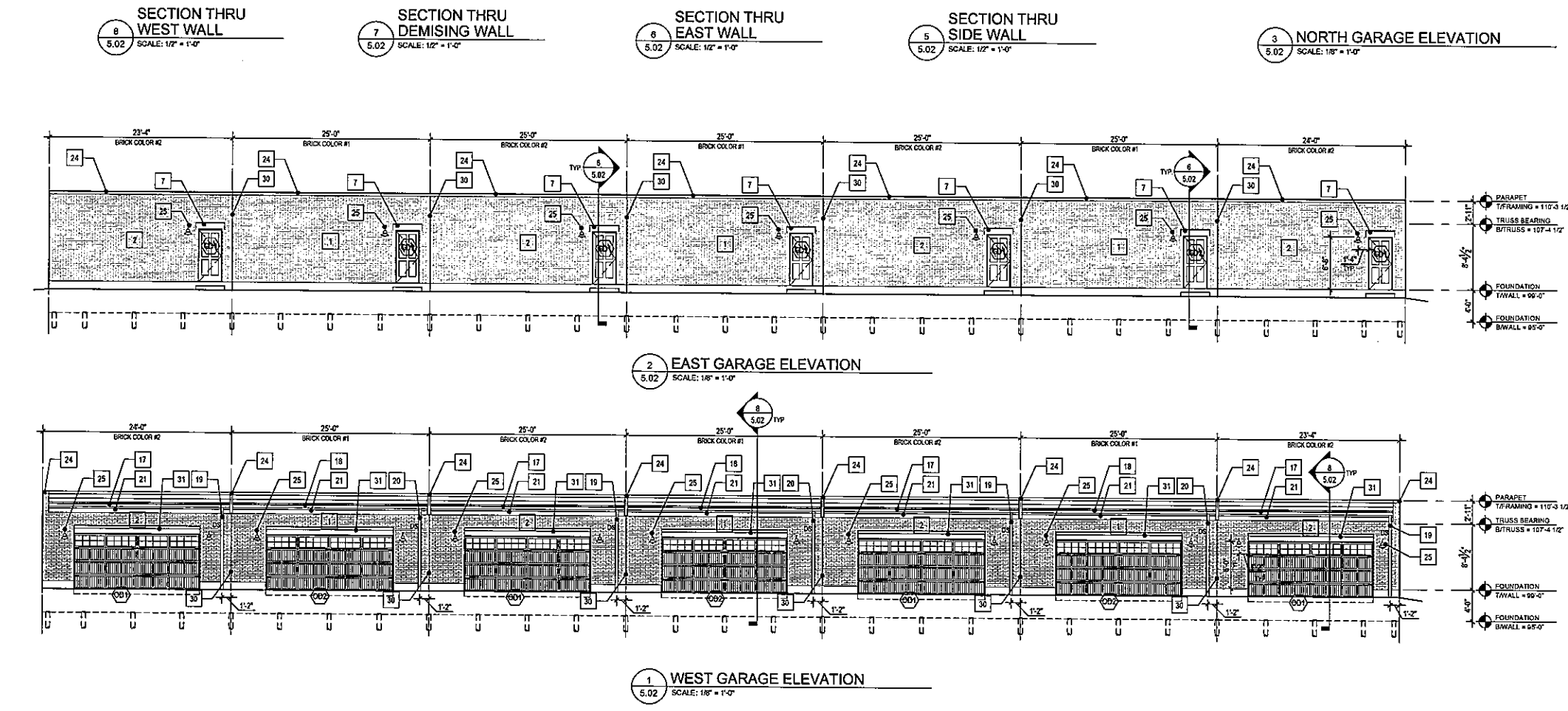


ELEVATION KEY NOTES

- BRICK VENEER #1 (RED; PER SAMPLE) MODULAR, RUNNING BOND
- BRICK VENEER #2 (RED ORANGE; PER SAMPLE) MODULAR, RUNNING BOND
- BRICK VENEER #3 (DARK BROWN; PER SAMPLE) MODULAR, RUNNING BOND
- CHISELED-FACE CONCRETE BLOCK: 4"D x 8"H x 16"W (NOMINAL)
- CONTINUOUS CAST STONE WATERTABLE (2 BRICK COURSES HIGH)
- CAST STONE CAP WITH SLOPED TOP (2 BRICK COURSES HIGH)
- CAST STONE HEADER #1: 1-PIECE, 4 BRICK COURSES HIGH W/ CHAMFER
- CAST STONE HEADER #2: 2-PIECES, 5 TOTAL BRICK COURSES HIGH
- CAST STONE WINDOW SILL: 1-PIECE, 2 BRICK COURSES HIGH
- COMPOSITE DECKING OVER P.T. WOOD FRAMING - LANDING AND STEPS
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- BLACK ALUMINUM GUARDRAIL, 42" HIGH ABOVE TERRACE PATIO
- FIBER-CEMENT LAP SIDING, 4" EXPOSURE. COLOR "MOCHA". ACTUAL TBD
- FIBER-CEMENT TRIM BOARDS, 4" NOMINAL AROUND SIDING PERIMETER AND AROUND PATIO DOORS
- PRE-FINISHED METAL GUTTER. COLOR TO MATCH "HARTFORD GREEN"
- PRE-FINISHED METAL GUTTER. COLOR TO MATCH "MOCHA". ACTUAL TBD
- PRE-FINISHED METAL 3"x4" DOWNSPOUT. COLOR "MOCHA". ACTUAL TBD
- PRE-FINISHED METAL 3"x4" DOWNSPOUT. COLOR "HARTFORD GREEN"
- FIBER-CEMENT GUTTER BOARD. COLOR TO MATCH GUTTER/DOWNSPOUT
- MOLDED POLYURETHANE (FYPON) BRACKET AND MOLDING. SEE DETAILS A & B ON THIS SHEET AND DETAIL 4/A&B.04 FOR COLORS AND DETAILS
- 12"x36" VENTED ALUMINUM LOUVER. SEE DETAILS A & B FOR COLOR
- PRE-FINISHED METAL COPING. COLOR TO MATCH UNIT GUTTER AND DOWNSPOUTS UNLESS NOTED OTHERWISE (AS IN DETAILS A & B)
- WALL-MOUNTED COACH LIGHT 60" APF
- CONCRETE STEPS AND LANDING WITH BRUSH FINISH. SEE DETAIL 4/A&B.03
- BLACK ALUMINUM HANDRAIL, 34" HIGH ABOVE CONCRETE STEPS
- REDWOOD OR CEDAR PRIVACY FENCE W/ 4x4 POSTS
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- CONTINUOUS MASONRY CONTROL JOINT W/ COMPRESSIBLE BACKER AND ELASTOMERIC SEALANT FROM FOUNDATION TO BRICK VENEER
- BRICK ROWLOCK COURSE OVER SOLDIER COURSE HEADER

DOOR AND WINDOW SCHEDULE

ID	Description
W1	36" x 70" WINDOW (LITES = 2 OVER 2), SINGLE-HUNG ALUMINUM-CLAD WOOD. 1" INSULATED LOW-E GLAZING. MEETS EGRESS REQUIREMENTS EXTERIOR FRAME COLOR = "CHARCOAL"
W2	36" x 70" WINDOW (LITES = 2 OVER 2), SINGLE-HUNG ALUMINUM-CLAD WOOD. 1" INSULATED LOW-E GLAZING. MEETS EGRESS REQUIREMENTS EXTERIOR FRAME COLOR = "HARTFORD GREEN"
W3	36" x 70" WINDOW (LITES = 2 OVER 2), SINGLE-HUNG ALUMINUM-CLAD WOOD WITH 36" x 18" TRANSOM ABOVE. TOTAL SIZE = 36" x 78" 1" INSULATED LOW-E GLAZING. MEETS EGRESS REQUIREMENTS. EXTERIOR FRAME COLOR = "CHARCOAL"
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ED1	36" x 80" ALUMINUM-CLAD WOOD IN-SWING ENTRY DOOR. 4-PANEL WITH 36" x 18" TRANSOM ABOVE. TOTAL SIZE = 36" x 98". PROVIDE 1" TEMPERED, BEVELED-EDGE GLAZING IN TOP TWO PANELS. DOOR COLOR = "CLARET RED"; FRAME COLOR = "CHARCOAL"
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PD3	96" x 80" ALUMINUM-CLAD WOOD IN-SWING PATIO DOOR. FULL LITE WITH 1" INSULATED LOW-E GLAZING. WITH 36" x 18" TRANSOM ABOVE. TOTAL SIZE = 36" x 98". DOOR AND FRAME COLOR = "CHARCOAL"
GD1	36" x 80" ALUMINUM-CLAD WOOD IN-SWING ENTRY DOOR. 4-PANEL INTO GARAGE. PROVIDE INSULATED GLAZING IN TOP TWO PANELS. DOOR COLOR = "CLARET RED"; FRAME COLOR = "CHARCOAL"
GD2	36" x 80" ALUMINUM-CLAD WOOD IN-SWING ENTRY DOOR. 4-PANEL INTO GARAGE. PROVIDE INSULATED GLAZING IN TOP TWO PANELS. DOOR AND FRAME COLOR = "HARTFORD GREEN"
OD1	7' x 10' OVERHEAD GARAGE DOOR. BASIS OF DESIGN: "CLOPAY GALLERY COLLECTION" GOOVED PANEL STEEL CARRIAGE HOUSE INSULATED GARAGE DOORS W/ TOP SECTION WINDOWS. DOOR COLOR = "SANDSTONE"; TRIM COLOR = "CHARCOAL"
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DATE: 8.18.2015
11.05.2015

ISSUE: FOR PERMIT REVISIONS

OWNER/DEVELOPER: **Towne Properties**
1055 St. Paul Place
CINCINNATI, OH 45202

PROJECT ADDRESS: **Elm Street Town Homes Over-The-Rhine**
Elm Street & 15th Street
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REGISTERED ARCHITECT
STATE OF OHIO
License #88028002
Expiration Date: 12/31/2015

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GARAGE ELEVATIONS & SECTIONS

A5.02

**APPLICATION FOR
LOCATIONAL VARIANCE
HISTORIC CONSERVATION BOARD PUBLIC HEARING
STAFF REPORT**

APPLICATION #:
APPLICANT: David Kirk, DNK Architect representing the owner
OWNER: 3rd & A Group, LLC
ADDRESS: **312 W. Fourth Street, Cincinnati OH 45202**
PARCELS: 145-0001-0037-00
ZONING: Downtown Development District - Residential (DD-B)
OVERLAYS: West Fourth Street Historic District
COMMUNITY: Downtown
REPORT DATE: December 21, 2015
HEARING DATE: Prehearing January 5, 2016 at 10:30 AM
STAFF REVIEW: Angie Strunc, Interim Urban Conservator

Nature of Request:

The applicant is requesting zoning relief for a locational variance to allow for retail sales on the second floor of the property, in addition to the allowable first floor retail.

Existing Conditions:

The existing property is a 4-story structure on W. 4th Street just west of Plum Street. The building was originally constructed as an entirely commercial building given the nature of the original façade. The building has been vacant since 2008 but has been renovated in recent years in effort to bring it into code compliance and attract new users.

Proposed Conditions:

The applicant proposes to occupy the first and second floor for retail as an expansion of their business, Switch Lighting, located on Vine Street in Over the Rhine. The third and fourth floors are proposed for potential residential dwellings.

Existing building area that will remain unchanged for retail has 4,360 SF on the first floor and 2,240 SF on the second floor.

There is no proposed exterior rehabilitation and only interior modifications to support the new business.

Previous Reviews: N/A

Applicable Zoning Code Sections:

Zoning District:	Section 1411	Downtown Development Districts
Variance Request:	Section 1411-05	Land Use Regulations
Variance Authority:	Section 1445-07	HCB authority: Section 1435-05-4
Variance Standard:	Section 1445-13 Section 1445-15	General Standards: Public Interest Standards for Variances

Overlays: N/A
Historic District/Reg: [West Fourth Street Historic District](#)
COA Standard: [Section 1435-09-2](#) Certificate of Appropriateness; Standard of Review

Details of Zoning Relief Required:

The applicant and/or owner(s) are requesting a Variance Hearing for use variance to allow a second floor retail operation. :

- The project is in violation of the **Section 1411-05** of Cincinnati Zoning Code.
- Per Section 1411-05: a business may have retail on the first floor only.
- **A variance is sought to allow retail on the second floor of the property.**

Zoning Analysis:

Below is analysis of the consideration factors for all of the requested zoning actions, utilizing Section 1445-13, General Standards; Public Interest.

- a **Zoning.** The proposed work conforms to the underlying zone district regulations and is in harmony with the general purposes and intent of the Cincinnati Zoning Code.

The underlying zoning is DD-B. Subdistrict B – Downtown Residential is to create, maintain and enhance areas for residential developments that will complement and support the downtown core. Residential developments may be either as a sole use or as a mixed use and achieved through the adaptive reuse of historic structures or new construction. Subdistrict B also permits loft residences and offices. If retail is approved on the second floor, building code requirements for egress and fire separation between the second and third floor must be established.

- b **Guidelines.** The proposed work conforms to any guidelines adopted or approved by Council for the district in which the proposed work is located.

The proposed use conforms to the guidelines of the district. Land usage is not mentioned within the West Fourth Street Historic Guidelines.

- c **Plans.** The proposed work conforms to a comprehensive plan, any applicable urban design or other plan officially adopted by Council, and any applicable community plan approved by the City Planning Commission.

This is not applicable.

- d **Traffic.** Streets or other means of access to the proposed development are suitable and adequate to carry anticipated traffic and will not overload the adjacent streets and the internal circulation system is properly designed.

The proposal includes existing use of the loading area on Perry Street. Traffic will not be impacted.

- e **Buffering.** Appropriate buffering is provided to protect adjacent uses or properties from light, noise and visual impacts.

This is not applicable.

- f **Landscaping.** Landscaping meets the requirements of Chapter 1423, Landscaping and Buffer Yards.
This is not applicable.
- g **Hours of Operation.** Operating hours are compatible with adjacent land uses.
This is not applicable as hours would be the same as the associated ground floor use.
- (h) **Neighborhood Compatibility.** The proposed work is compatible with the predominant or prevailing land use, building and structure patterns of the neighborhood surrounding the proposed development and will not have a material net cumulative adverse impact on the neighborhood.
The proposed use will not have an adverse impact on the neighborhood. Proven, quality businesses attract new users and support other local businesses and residents. The proposed use would serve as an anchor along this portion of W. Fourth Street.
- (i) **Proposed Zoning Amendments.** The proposed work is consistent with any proposed amendment to the zoning code then under consideration by the City Planning Commission or Council.
There are no proposed amendments under consideration that would impact this proposed project.
- (j) **Adverse Effects.** Any adverse effect on the access to the property by fire, police, or other public services; access to light and air from adjoining properties; traffic conditions; or the development, usefulness or value of neighboring land and buildings.
There are no adverse impacts anticipated.
- (k) **Blight.** The elimination or avoidance of blight.
Use of vacant building helps eliminate blight.
- (l) **Economic Benefits.** The promotion of the Cincinnati economy.
The retail use of vacant buildings promotes the Cincinnati economy.
- (m) **Job Creation.** The creation of jobs both permanently and during construction.
Jobs may be created with the new business.
- (n) **Tax Valuation.** Any increase in the real property tax duplicate.
New use of a vacant building will increase the property value.
- (o) **Private Benefits.** The economic and other private benefits to the owner or applicant.
The owner has an economic benefit to the proposed retail establishment.
- (p) **Public Benefits.** The public peace, health, safety or general welfare.
There is no measurable detriment to public peace, health, safety or welfare as a result of this proposed project.

Standards for Variances per Section 1435-05-4

- (a) Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the Historic District of Historic Asset; or

The use is appropriate to the district which allows retail businesses on first floor elevations to support other local businesses and residences. The new business of Switch Lighting which wishes to expand their business model into furniture supports the residential component of this district. Use of a vacant building will increase foot traffic and support the entire district.

- (b) Is necessary where the denial thereof would result in a deprivation of all economically viable uses of the property as viewed in its entirety. In making such a determination, the Historic Conservation Board may consider the factors set forth in Section 1435-09-2 (aa) to (ff).

The property has been vacant since 2008. Renovations in the past few years have upgraded the facility extensively to attract a new user.

Other Considerations:

Prehearing Results:

January 5, 2016 – No one was in attendance.

Comments Provided to Staff: N/A

Consistency with *Plan Cincinnati (2012)*:

“Sustain” Initiative Area “Preserve our built history”

Recommendation:

Staff recommends the Historic Conservation Board take the following actions:

- A. **LOCATIONAL VARIANCE 1. APPROVE** the requested variances as per Section 1411-05 Land Use Regulations outlined for 312 W. 4th Street to allow for a Locational Variance which allows retail sales on the second floor provided that the use shall comply with all building code requirements to separate the use from likely residential uses on the third floor.

- 2. FINDING:** The Board makes this determination that per Section 1435-05-4:
 - (a) Such relief from literal implication of the Zoning Code will not be materially detrimental to the public health, safety and welfare or injurious to property within the district or vicinity where property is located; and
 - (b) Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the district.
 - (c) The proposed non-residential use of the second floor is in keeping with the original intent and construction of the historic building.

The Buildings & Inspections Department Notes for Zoning Hearing Projects



SITE LOCATION:

- 312 W. 4th Street (ZH20150187)
- Zoned DD-B District/ Historic Overlay
- Community of CBD

REQUEST:

The applicant and/or owner(s) are requesting a Locational Variance to allow second floor retail space. The applicant is proposing to establish a new business at the subject property. The project is in violation of **Section 1411-05** of the City of Cincinnati Zoning Code and approval is needed from **Section 1435-05-4**.

- Per Section 1411-05: indicates that a business in the DD-B District may have retail on the first floor only. **The applicant is requesting a Locational Variance to allow retail sales on the second floor of the property in addition to the allowable first floor retail.**

By: DRO/December 21, 2015

CBD

L-05
35-05-4

APPLICATION FOR ZONING RELIEF

1. SUBJECT PROPERTY
 ADDRESS 312 W. 4th ST.
 AUDITOR'S PARCEL ID(S) 45-0001-0037-00
 BASE ZONING CLASSIFICATION DD-B
 ZONING OVERLAY (if applicable) NA

2. APPLICANT
 NAME DNK CONTACT PERSON (if legal entity) DAVID KIRK
 ADDRESS 2616 CENTRAL PARKWAY, CINT, OH 45214
 EMAIL dkirk@dnkarchitects.com
 TELEPHONE 513.942.4146 RELATIONSHIP TO OWNER ARCHITECT

3. OWNER
 NAME 3rd & A Group LLC CONTACT PERSON (if legal entity) BERTIE RAY, III
 ADDRESS 1207 VINE ST. CINCINNATI OH 45202
 EMAIL bertie@switchcollection.com
 TELEPHONE 513-721-8100

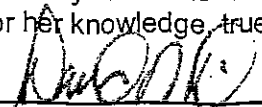
4. NATURE OF RELIEF REQUESTED (select all that apply)
 Variance Use Variance Special Exception Conditional Use Use Permit
 Expansion or Substitution of Nonconforming Use Hillside Overlay District Permission
 Urban Design Overlay District Permission DD District Phased Development Approval

5. BRIEF DESCRIPTION OF RELIEF REQUESTED (You may attach a statement to this application if the space provided is insufficient)

SEE ATTACHED LETTER

6. SUMMARY OF REASONS WHY RELIEF SHOULD BE GRANTED: You must provide a written statement explaining how your project meets the standards for all relief requested. Separate instruction forms for preparing this statement are provided. If you fail to follow the instructions for requesting a variance, use variance, special exception, conditional use, use permit, certificate of appropriateness, expansion or substitution of nonconforming use, hillside overlay district permission, urban design overlay district permission, and/or DD district phased development approval, your application may be denied.

7. SIGNATURE. The undersigned does hereby certify that the information provided in connection with this application is, to the best of his or her knowledge, true and correct.

Print Name DAVID KIRK Signature  Date 1/27/15

8. ADDITIONAL DOCUMENTATION SUBMISSION REQUIREMENTS. Submit three copies of the following documentation. If you fail to complete the application and provide all information requested, your application may be denied.

<input checked="" type="checkbox"/>	The written statement required in Section 6 above.
<input checked="" type="checkbox"/>	Survey plats, site plans, or other accurate drawings showing boundaries, dimensions, area, topography, and frontage of the property involved, as well as the location and dimensions of all structures existing and proposed from the nearest property lines. When landscaping is required by the zoning code, a landscaping plan must also be provided.
<input checked="" type="checkbox"/>	Plans, architectural drawings, photographs, elevations, specifications, and other detailed information depicting fully the exterior appearance of the existing and proposed construction; including parking and access, exterior lighting, landscaping, and signs involved in the application.
<input checked="" type="checkbox"/>	If the Hamilton County Auditor's official records do not list the applicant or owner as the owner of the property, a lease, contract to purchase, or other agreement demonstrating the applicant or owner's legal basis to seek the relief requested.
<input checked="" type="checkbox"/>	All other documents or information you intend to introduce at the hearing on this application.
<input type="checkbox"/>	A list of witnesses and expert witnesses who you expect to testify at the hearing on this application.
<input checked="" type="checkbox"/>	A non-refundable application fee. The fee must be paid with a check made payable to "City of Cincinnati." Fees are as follows: \$500-use variances; \$300-all other relief.

To help avoid delays, it is strongly suggested that you present your application to neighboring property owners and any interested neighborhood community groups prior to the hearing on your application. This will give you a prior opportunity to address your neighbors' concerns or objections and can facilitate the approval of your application.

REMEMBER: YOU MUST PAY THE REQUIRED FEE AT THE TIME YOU SUBMIT YOUR APPLICATION. (\$500-USE VARIANCES; \$300-ALL OTHER RELIEF)



November 20, 2015

City of Cincinnati
Zoning Examiner
804 Central Ave.
Cincinnati, Ohio 45202

RE: Variance Request -312 W. 4th St., Cincinnati, Ohio

The owner, 3rd & A Group LLC, requests a variance from the requirements of Section 1411-05 "Land Use Regulations" that restricts retail to the ground floor only of properties in the DD-B District. The request is based on the "Standards for Variances" in Section 1445-15 of the City of Cincinnati Zoning Code.

The referenced project consists of a building that was vacated before May 2008. During the vacancy period a number of renovations were made to the building to upgrade the facility. Those renovations included the addition of a new interior means of egress stairway, new elevator, new sprinkler system and standpipe, additional fire resistance construction was also added to the interior floor systems. With these modifications the building remained vacant for more than seven years in an area that has seen redevelopment of a number of properties in the 4th Street business district.



The new owner of 312 W. 4th St. is opening a second location for the lighting company, Switch Lighting. Switch is a successful lighting business located in the OTR at 1207 Vine St. The company sells upscale lighting fixtures to commercial and residential clientele. The new location will continue this business model but will include the additions of contemporary furniture. The new store concept proposes to have showrooms on both the ground and second floors. The second location allows the business to attract new clientele with its expanded offerings.

The new store will benefit business by increasing the foot traffic of customers visiting the store.

The proposed work is in compliance with the underlying zone district regulations and is in harmony with the general purposes and intent of the Zoning Code. Loading and unloading will occur on Perry St. The renovations will not affect the access to the property by fire, police, or other public services. The hours of operation will be compatible with the adjacent businesses.

We look forward to your favorable reply to this request.

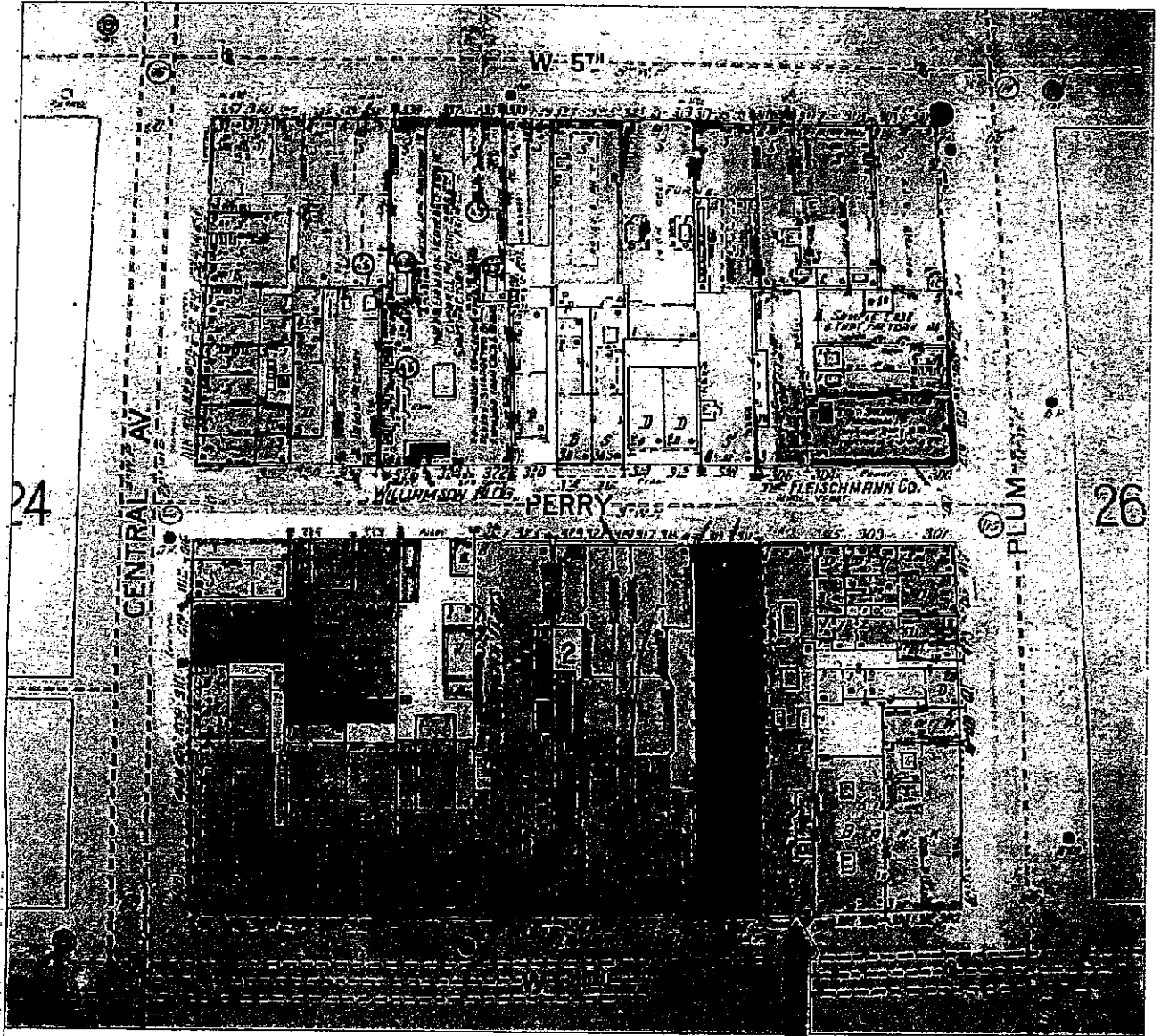
Respectfully submitted,

David Kirk, RA
President

ARCHITECTURE • INTERIOR DESIGN • PLANNING • LANDSCAPE ARCHITECTURE

2616 CENTRAL PARKWAY, CINCINNATI, OH 45214

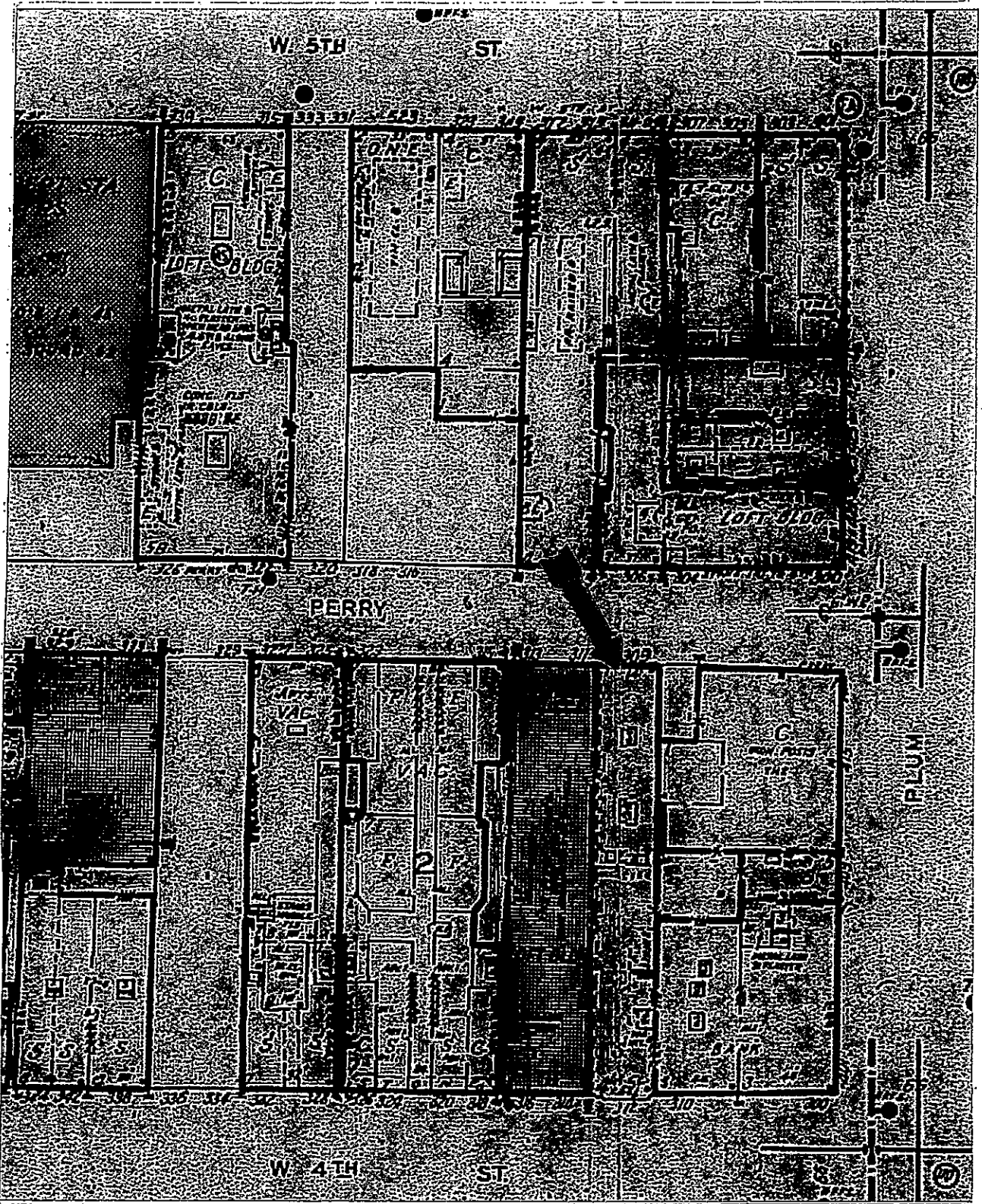
tel 513.948.4146 toll-free 888.771.2195 fax 513.679.4712 www.dnkarchitects.com



SANBORN MAP

EDITED: 1904-1934

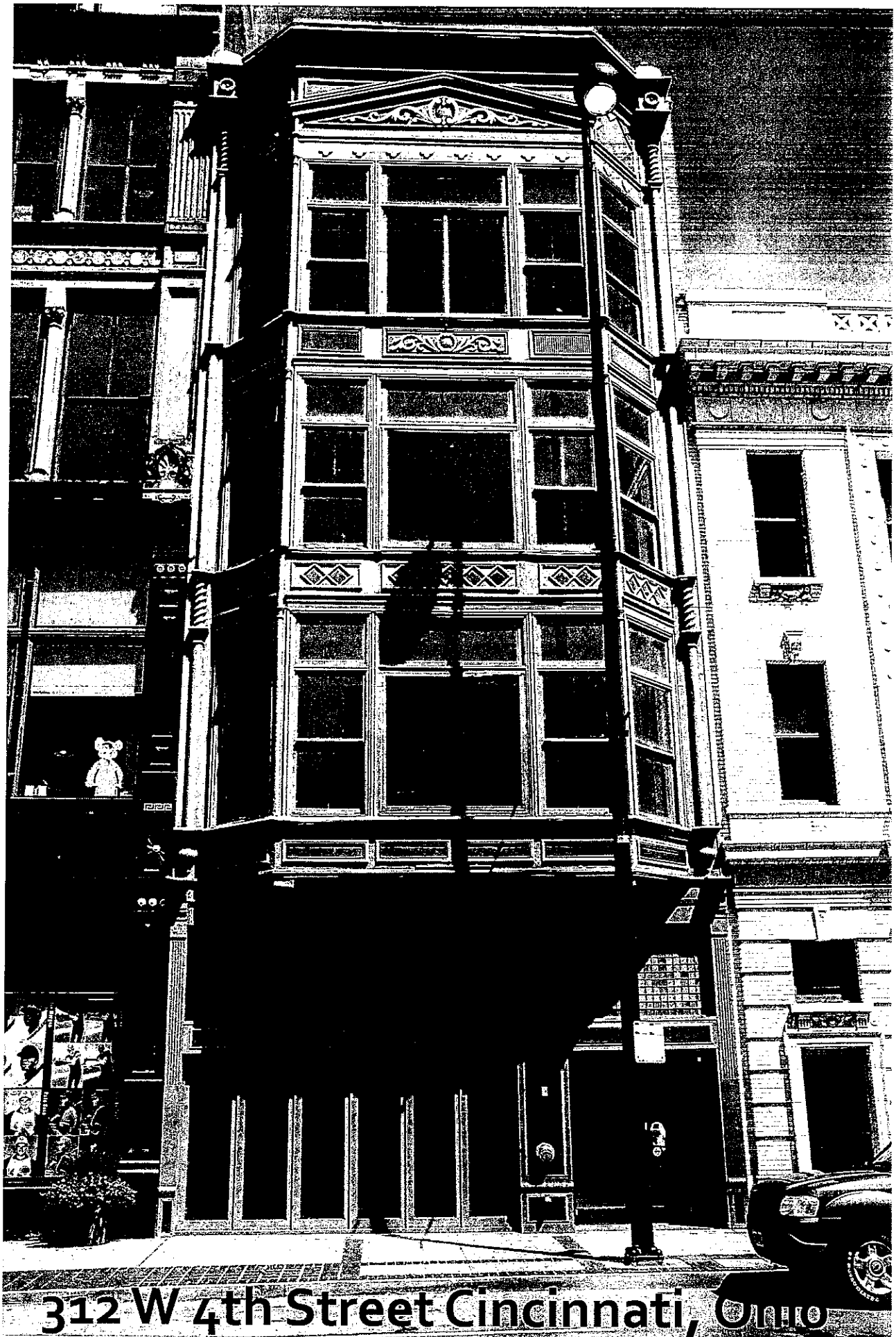
TENCON, INC.
140 WOOSTER PIKE
MILFORD, OHIO 45150



SANBORN MAP

EDITED: 1981

TENCON, INC.
140 WOOSTER PIKE
MILFORD, OHIO 45150



312 W 4th Street Cincinnati, Ohio

Dusty Rhodes, Hamilton County Auditor generated on 11/13/2015 9:57:37 AM (EST)

Summary

Parcel ID 145-0001-0037-00	Address 312 W FOURTH ST	Index Order Street Address	Card 1 of 1
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Tax Dist	001 CINTI CORP-CINTI CSD-001110	Year Built	1885
School Dist	1 CINCINNATI CSD	Total Rooms	0
Land Use	405 Retail/Office Over	# of bedrooms	0
Finished Square Ft.	11544	Full Bathrooms	0
Acreage	0.107	Half Bathrooms	0
Appraisal Area	CENTRAL BUSINESS DISTRICT 01700 CENTRAL BUSINESS DISTRICT		



Sales

Property Information

FOURTH ST 26 X 178
NS FOURTH ST 74.50 FT W
OF PLUM ST-PARS-37-50
TIF ABATEMENT

Owner Information

Call 946-4015 if Incorrect
3RD & A GROUP LLC
1207 VINE ST
CINCINNATI, OH 45202 USA

Mail Information

Call 946-4800 if Incorrect
3RD & A GROUP LLC
1207 VINE ST
CINCINNATI, OH 45202 USA

Board of Revision	No	Other Assessments	Yes
Rental Registration	No	Front Ft.	52.00
Homestead	No	Mkt Land Value	142,860
Owner Occupancy Credit	No	Cauv Value	0
New Construction	No	Mkt Impr Value	161,210
Foreclosure	No	Mkt Total Value	304,070
Date	4/2/2015	Total TIF Value	3,770
Conveyance #	83337	Abated Value	0
Sale Amount	\$375,500	Exempt Value	0
# of Parcels	1	Taxes Paid	\$9,904.09
Deed Type	17 WD-Warranty Deed	(See Payments Tab For Details)	
Deed Number	341182		
		Tax % to value for this tax district	0.000%

Note

1) 7-13-04 30 YEAR TIF ABATEMENT BEGAN 2003 THRU 2032.

Data updated on 11/12/15

GENERAL CONSTRUCTION NOTES



1. ALL WALLS TO BE CONSTRUCTED WITH 2X4 WOOD FRAMING AT 16" O.C. AND 5/8" GYP BRD ON EXPOSED SIDES. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION. ALL DIMENSIONS ARE TO FINISHED FACE OF WALL.
2. ALL DOORS TO BE 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
3. SEAL AROUND ALL WALL PENETRATIONS TIGHT WITH DRY WALL MUD AND PROVIDE SMOOTH FINISH.
4. FIELD VERIFY EXISTING CONDITIONS INCLUDING MEASUREMENTS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT / OWNER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.

CONSTRUCTION NOTES

1. NO WORK ON THIS LEVEL. THERE IS AN EXISTING 2 HR FIRE SEPARATION BETWEEN THIS LEVEL AND THE FIRST FLOOR ABOVE. ELECTRICAL CONTRACTOR TO CONFIRM EXISTING LIGHTING MEETS CODE REQUIREMENTS.
2. EXISTING WINDOWS TO REMAIN.
3. EXISTING DOORS TO REMAIN.
4. BOX OUT AROUND EXISTING SPRAY FIRE PROOFED COLUMNS WITH METAL STUDS AND ONE LAYER OF GYP. BRD. DO NOT DISTURB FIRE PROOFING FROM COLUMN. (TYP.)
5. EXISTING EXIT DOOR TO ROOF TO REMAIN.
6. NO WORK ON THIS LEVEL. THERE IS AN EXISTING 2 HR. FIRE SEPARATION BETWEEN THIS LEVEL AND THE SECOND FLOOR BELOW. ELECTRICAL CONTRACTOR TO CONFIRM EXISTING EMERGENCY LIGHTING MEETS CODE REQUIREMENTS.
7. NO WORK ON THIS LEVEL. ELECTRICAL CONTRACTOR TO CONFIRM EXISTING EMERGENCY LIGHTING MEETS CODE REQUIREMENTS.
8. CLEAN FIRE PROOFING OVER SPRAY OFF BRICK. DO NOT REMOVE FROM COLUMNS OR BEAMS. PAINT BRICK WITH VAPOR PERMEABLE PAINT. (TYP.)
9. SPRINKLER RISER
10. EXISTING ELEVATOR AND STAIR ENCLOSED IN 2 HR. RATED CONSTRUCTION.
11. NO WORK TO OCCURE ON BUILDING SOUTH FACADE
12. EXISTING 2 HR. WALL
13. EXISTING STAIR AND RAILING TO REMAIN
14. NOT USED
15. BASE CABINET WITH LED TAPE LIGHT BEHIND. CUSTOM WORK TABLE WITH BACK LIT TOP AND BUILT IN POWER AND DATA RECEPTACLES. SEE SHEET A601.
16. CONDENSERS MOUNTED ON ROOF. SEE MECHANICAL DRAWINGS
17. OUTSIDE AIR INTAKE.
18. OWNER PROVIDED WALL MOUNTED LIGHTING DISPLAY. SEE ELEVATION ON A701.
19. WALL MOUNTED MONITOR. CONFIRM HEIGHT AND LOCATION WITH OWNER.
20. TANK LESS WATER HEATER
21. MOP BASIN
22. EXISTING FIRE ESCAPE TO BE INSPECTED AND REPAIRED AS REQUIRED.
23. SINK
24. DISHWASHER
25. UNDER CABINET REFRIGERATOR
26. REFRIGERATED BEVERAGE CABINET

LEGEND

- PROPOSED GYPSUM BOARD WALL ON METAL STUDS
- EXISTING WALL
- EMERGENCY LIGHT AND EXIT SIGN
- EXISTING 2 HR. WALL
- SMOKE DETECTOR
- STROBE ALARM
- FIRE ALARM PULL

SWITCH LIGHTING & DESIGN
INTERIOR FITOUT
DESIGN DEVELOPMENT
 312 W. 4TH STREET, CINCINNATI OHIO 45202

ALL REPORTS, PLANS, SPECIFICATIONS AND NOTES PREPARED BY DNK ARCHITECTS, INC. ARE THE PROPERTY OF DNK ARCHITECTS, INC. AND SHALL REMAIN THE PROPERTY OF DNK ARCHITECTS, INC. UNLESS OTHERWISE SPECIFIED.

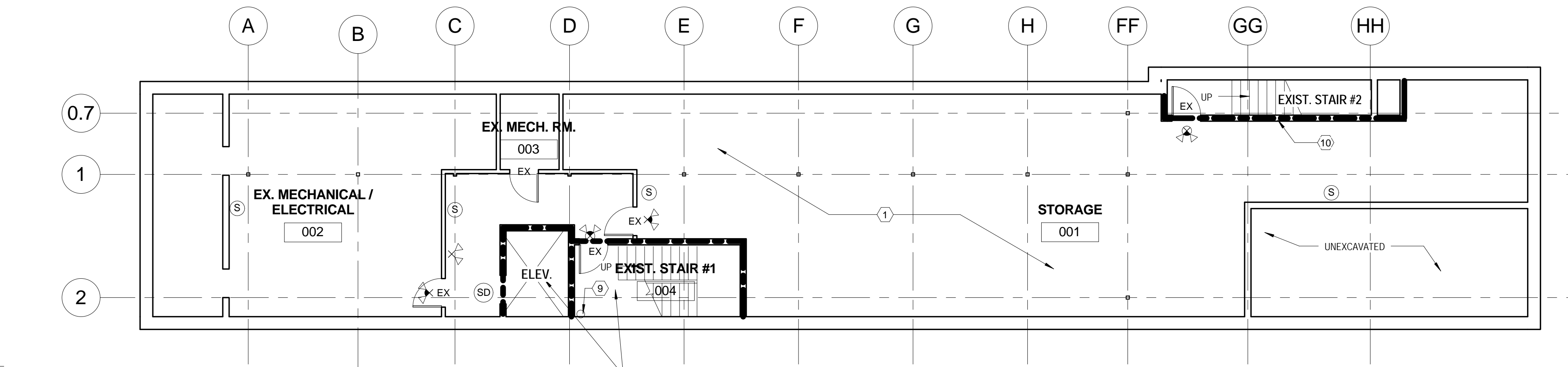
REVISIONS		
No.	Date	Description
1	11-06-15	PERMIT REVISION

OWNERS APPROVAL:

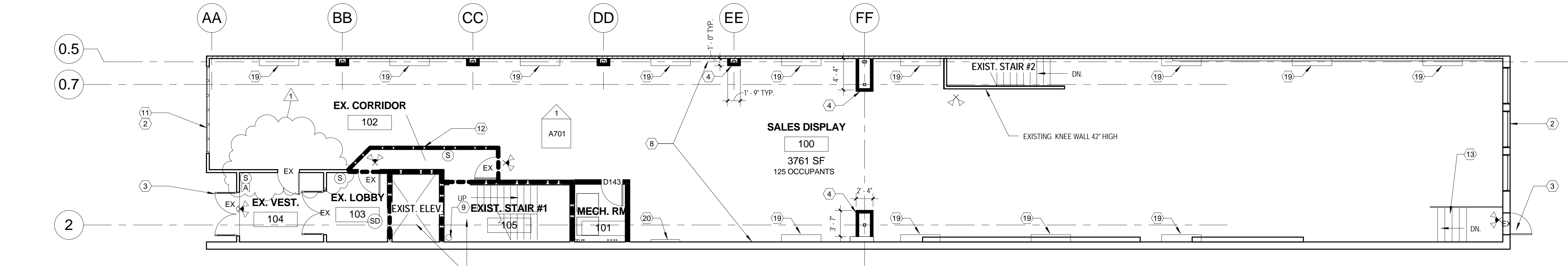
PROJECT NO. 1502	ISSUED BY: TRG
DRAWN BY: TRG	REVIEWED BY: GR
ISSUE DATE: 09/10/2015	

SHEET TITLE:
FLOOR PLANS

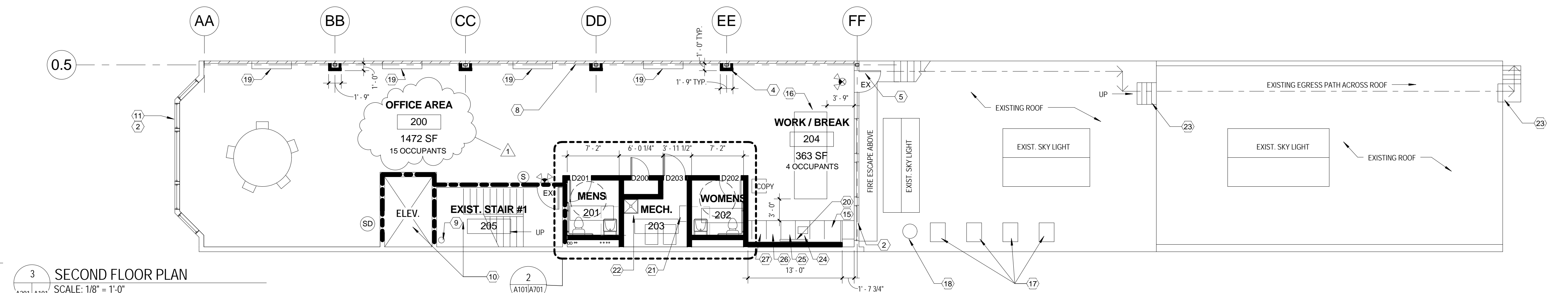
DISCIPLINE - SHEET NUMBER:
A101



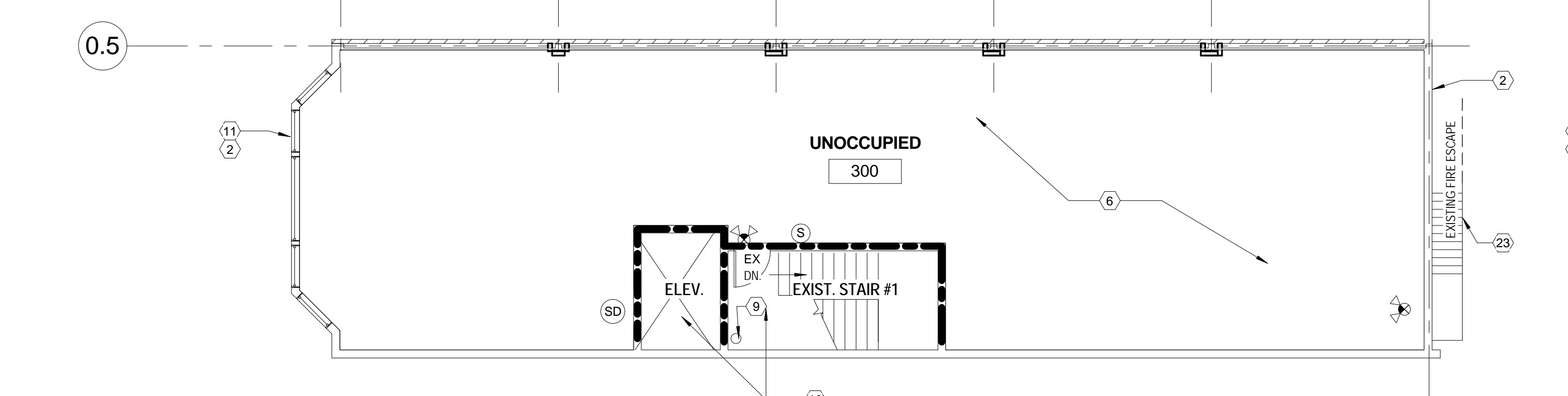
1 BASEMENT
SCALE: 1/8" = 1'-0"



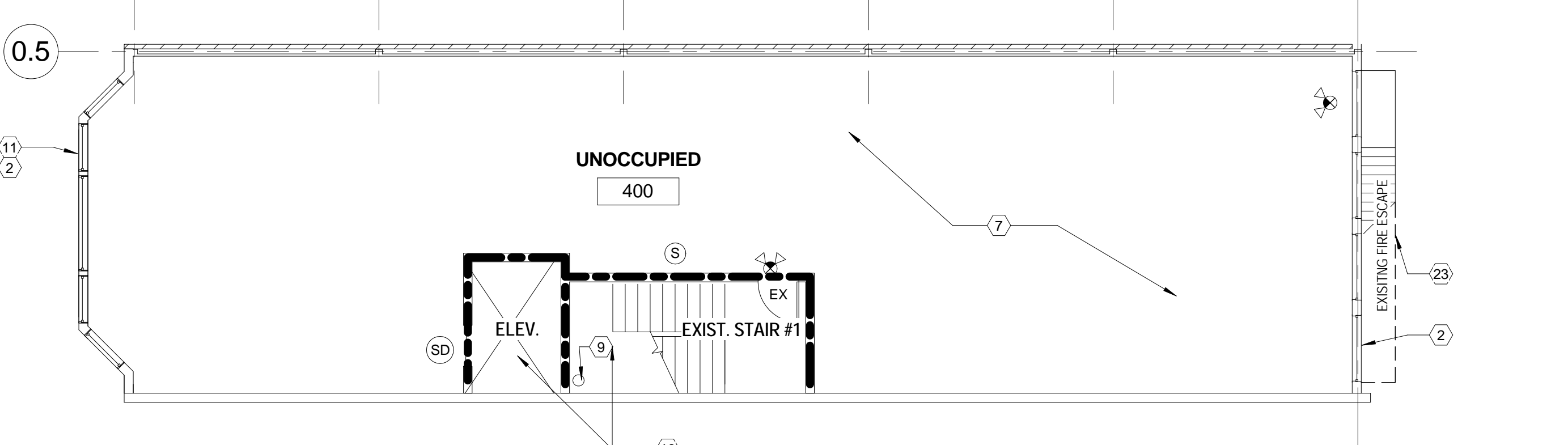
2 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



3 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



4 THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



5 FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"

SWITCH LIGHTING & DESIGN INTERIOR FITOUT DESIGN DEVELOPMENT

312 W. 4TH STREET, CINCINNATI OHIO 45202

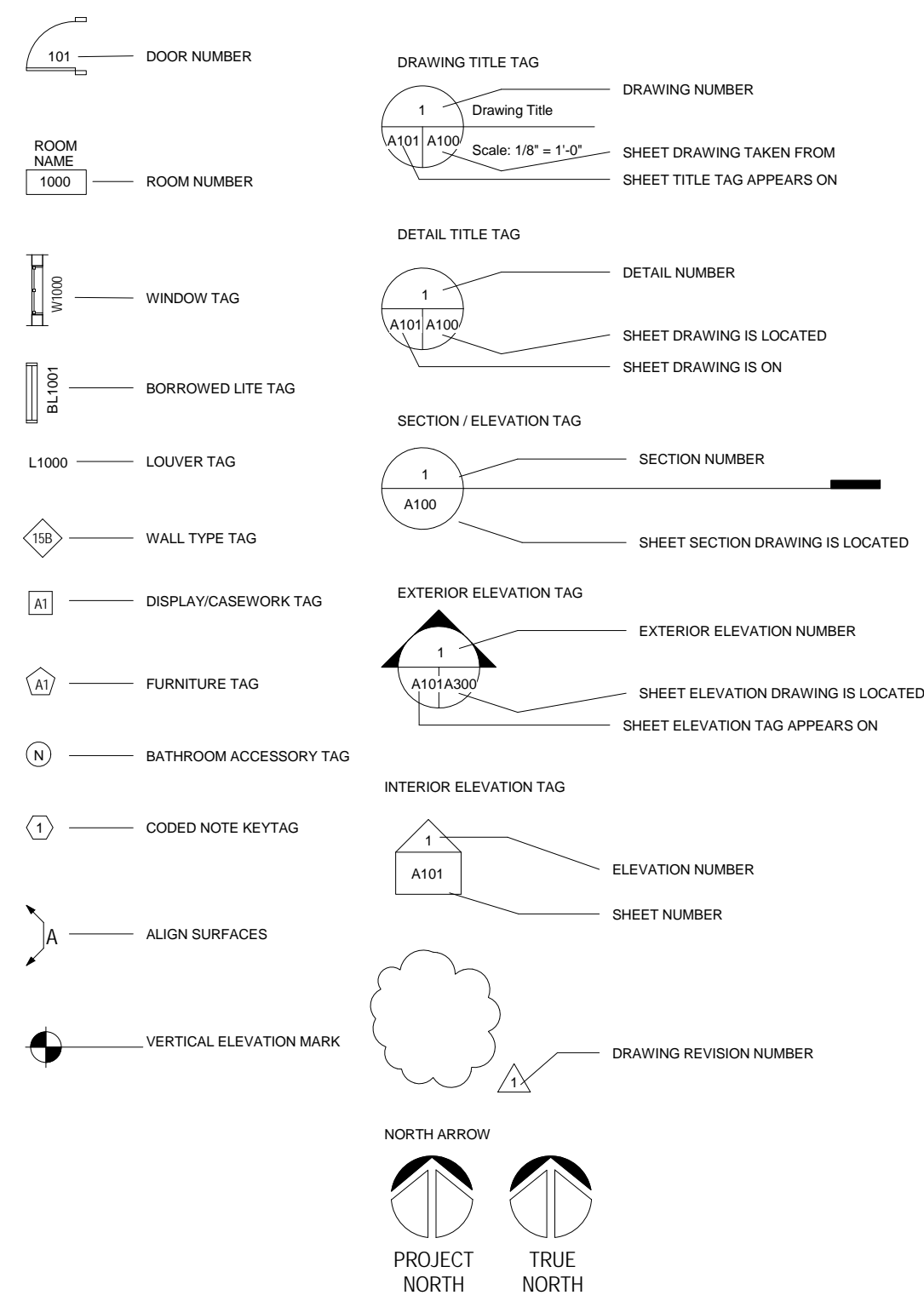


2616 Central Parkway,
Cincinnati, OH 45214
513-948-4146

SWITCH LIGHTING & DESIGN
INTERIOR FITOUT
DESIGN DEVELOPMENT
312 W. 4TH STREET, CINCINNATI OHIO 45202

SYMBOLS

REFERENCE SYMBOLS LEGEND



ABBREVIATIONS

L.B.	LOAD BEARING	ACT.-	ACOUSTICAL CEILING TILE
L.F.	LINEAL FEET	ADA.-	AMERICANS WITH DISABILITIES ACT
MAINT	MAINTENANCE	ADDL.-	ADDITIONAL
MAT	MATERIAL	ADJ.-	ADJUSTABLE
MAX	MAXIMUM	A.F.F.-	ABOVE FINISHED FLOOR
MDF	MEDIUM DENSITY FIBERBOARD	ALUM.-	ALUMINUM
MH.	MANHOLE	ANSI.-	AMERICAN NATIONAL STANDARDS INSTITUTE
MIN	MINUTES	ASTM.-	AMERICAN SOCIETY FOR TESTING AND MATERIALS
MIN	MINIMUM	B/-	BOTTOM OF
M.R.	MOISTURE RESISTANT	B&B-	BALLED AND BURLAPPED
MTL	METAL	BD.-	BOARD
MUTCD	MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES	BLDG.-	BUILDING
N/A	NOT APPLICABLE	BLKG.-	BLOCKING
NLB	NOT LOAD BEARING	BOC.	BACK OF CURB
NTS.	NOT TO SCALE	BOS.	BOTTOM OF STEEL
N.I.C.	NOT IN CONTRACT	BTM.	BOTTOM
O.C.	ON CENTER	BTWN.	BETWEEN
OD.	OUTSIDE DIMENSION	BYND	BEYOND
O.H.	OPPOSITE HAND	CAL.	CALIPER
OPNG	OPENING	CFMF	COLD FORMED METAL FRAMING
POP	PORTLAND CEMENT PLASTER	CL-	CENTER LINE
PLAM	PLASTIC LAMINATE	CLG	CEILING
PROP	PROPERTY	CM	CONSTRUCTION MANAGEMENT
PREP	PREPARE	CONSTR	CONSTRUCTION
PSI	POUNDS PER SQUARE INCH	C.P.	CENTER POINT
PT.	POINT	CRS.	COURSING
QT	QUARRY TILE	CT.	CERAMIC TILE
QTB	QUARRY TILE BASE	CTB	CERAMIC TILE BASE
QTY	QUANTITY	CTR	CENTER
R	RADIUS	DF	DRINKING FOUNTAIN
CAL.	CALIPER	DIA	DIAMETER
RAD	RADIUS	DN	DOWN
RB	RUBBER BASE	DR	DOOR
REC	RECOMMEND/RECOMMENDED	DTL.	DETAIL
RECP	RECEPTION	DWG. (S)	DRAWING(S)
REF	REFRIGERATOR	DWR	DRAWER
REINF	REINFORCING	EL	ELEVATION
RM	ROOM	EQUIP	EQUIPMENT
RMS	ROOMS	EX	EXISTING
RT	RUBBER TREAD	EXP.	EXPOSED
SC	SEALED CONCRETE	EXT	EXTERIOR
SCH	SCHEDULE	FIN	FINISH (ED)
SCHED	SCHEDULE	FLR	FLOOR
S.F.	SQUARE FOOT	FOC	FACE OF CURB
SIM	SIMILAR	G	WORD + ING
SPECS	SPECIFICATIONS	GA	GAUGE
SQ	SQUARE	GALV	GALVANIZED
S.S.	STAINLESS STEEL	GYP.	GYPSON
STD	STANDARD	HB	HOSE BIB
STL	STEEL	HDW.	HARDWARE
STN	STAINLESS	HGT	HEIGHT
STRUCT	STRUCTURE / STRUCTURAL	HM	HOLLOW METAL
T/	TOP OF	HORIZ	HORIZONTAL
T.O.S.	TOP OF STEEL	H.P.	HIGH POINT
TYP	TYPICAL	HPL	HIGH PRESSURE LAMINATE
U.N.O.	UNLESS NOTED OTHERWISE	HRS	HOURS
U.O.N.	UNLESS OTHERWISE NOTED	HT	HEIGHT
VCT	VINYL COMPOSITE TILE	ID	INSIDE DIAMETER
VERT	VERTICAL	IN. DIA	INSIDE DIAMETER
VRB	VENTED RUBBER BASE	INSUL	INSULATION
VSF	VINYL SHEET FLOORING	INT	INTERIOR
W/	WITH		
WD	WOOD		
WF	WOOD FLOORING		

CODE INFORMATION

APPLICABLE CODES:

- 2014 OHIO BUILDING CODE
- 2011 OHIO MECHANICAL CODE
- 2011 OHIO PLUMBING CODE
- CURRENT CINCINNATI ZONING CODE

PROJECT INCLUDES THE INTERIOR FITOUT OF 312 W. 4TH STREET IN CINCINNATI OHIO. THE BUILDING IS PART OF THE WEST 4TH STREET HISTORIC DISTRICT. THE HVAC SYSTEM ON FLOORS 1 AND 2 WILL BE UPGRADED AS PART OF THIS FITOUT TO COMPLY WITH THE LATEST EDITION OF THE MECHANICAL CODE.

THE BUILDING IS PROVIDED WITH A SPRINKLER SYSTEM THROUGHOUT THE ENTIRE BUILDING.

FIRE ALARM PULL IS PROVIDED AT THE FRONT EXTERIOR DOOR.

SMOKE DETECTORS ARE PROVIDED ON EACH FLOOR AT THE ELEVATOR DOOR.

SPRINKLER RISER IS PROVIDED IN THE STAIRCASE.

MODIFICATIONS TO SPRINKLER SYSTEM AS REQUIRED FOR NEW CONSTRUCTION WILL BE SUBMITTED SEPARATELY BY LICENSED FIRE ALARM CONTRACTOR.

THIS BUILDING WAS RENOVATED IN 2009 TO UPGRADE THE LIFE SAFETY AND FIRE PROTECTION TO COMPLY WITH CHAPTER 34 SECTION 3412 OF THE OHIO BUILDING CODE. THE BUILDING HAS NOT BEEN OCCUPIED SINCE THOSE UPGRADES WERE COMPLETED. THE INTENDED USE GROUP FOR THE MODIFICATION MADE WAS A2. THE CONSTRUCTION TYPE WAS UPGRADED TO IIB WITH THE PREVIOUS PERMIT.

EXISTING USE GROUPS:
S1A2 (BASEMENT & 1ST FLOOR)
B1S1 (2ND - 4TH)

PROPOSED USE GROUP: M AND S1 & B

CONSTRUCTION TYPE IIB EXISTING (BASED ON PREVIOUS BUILDING PERMIT ISSUED FOR IMPROVEMENTS MADE TO PROVIDE SPRINKLERS, EGRESS STAIR AND ELEVATOR).

EXIT ACCESS TRAVEL DISTANCE = 250' (BASED ON S-1)

EXISTING BUILDING AREA UNCHANGED:
BASEMENT = 3,040 S.F.
1ST FLOOR = 4,360 S.F.
2ND FLOOR = 2,240 S.F.
3RD FLOOR = 2,240 S.F.
4TH FLOOR = 2,240 S.F.

ALLOWABLE AREA = 17,500 (BASE AREA FOR S-1) + 35,000 (SPRINKLER INCREASE BASED ON 506.3) = 52,500

OCCUPANCY LOAD CALCULATIONS:

BASEMENT (S-1 USE: 1 OCC PER 500 S.F.) =	5
1ST FLOOR (M USE: 1 OCC PER 30 S.F.) =	145
2ND FLOOR (B-USE: 1 OCC PER 100 S.F.) =	23
3RD FLOOR - UNOCCUPIED	0
4TH FLOOR - UNOCCUPIED	0
TOTAL =	173

BUILDING HEIGHT: ALLOWABLE (EXISTING BUILDING HAS BEEN PERMITTED TO BE 4 STORIES BASED ON PREVIOUS PERMIT). THIS RENOVATION WILL NOT INCREASE THE BUILDING HEIGHT.
M USE MAX HEIGHT = 3 STORIES
B USE MAX HEIGHT = 3 STORIES (BASES TABULAR) + 1 STORING INCREASE FOR SPRINKLERS = 4 STORIES.
ACTUAL BUILDING HEIGHT = 4 STORIES

FIRE RATED CONSTRUCTION:
EXTERIOR BEARING WALLS = 2 HR (WEST EXTERIOR WALL IS A PARTY WALL THAT IS PART OF ADJACENT BUILDING AND PERMITTED UNDER PREVIOUS PERMIT).

PRIMARY FRAMING = 0 HR.
INTERIOR WALLS = 0 HR.
FLOOR CONSTRUCTION = 0 HR.
ROOF CONSTRUCTION = 0 HR.

TOILET FIXTURE CALCULATIONS:
TOTAL OCCUPANT LOAD = 173 (86 MEN AND 87 WOMEN)
REQUIRED FIXTURES = 1 WC PER 500 OCCUPANTS = 1WC PER MEN AND WOMEN TOILET ROOM
OWNER SHALL PROVIDE BOTTLED WATER DISPENSER IN PLACE OF DRINKING FOUNTAIN ON SECOND FLOOR.
1 SERVICE SINK PROVIDED ON SECOND FLOOR

PROJECT TEAM

OWNER:
SWITCH LIGHTING & DESIGN

1207 VINE STREET
CINCINNATI, OHIO 45214
PH: (513) 721- 8100 FAX: 513-721-8102

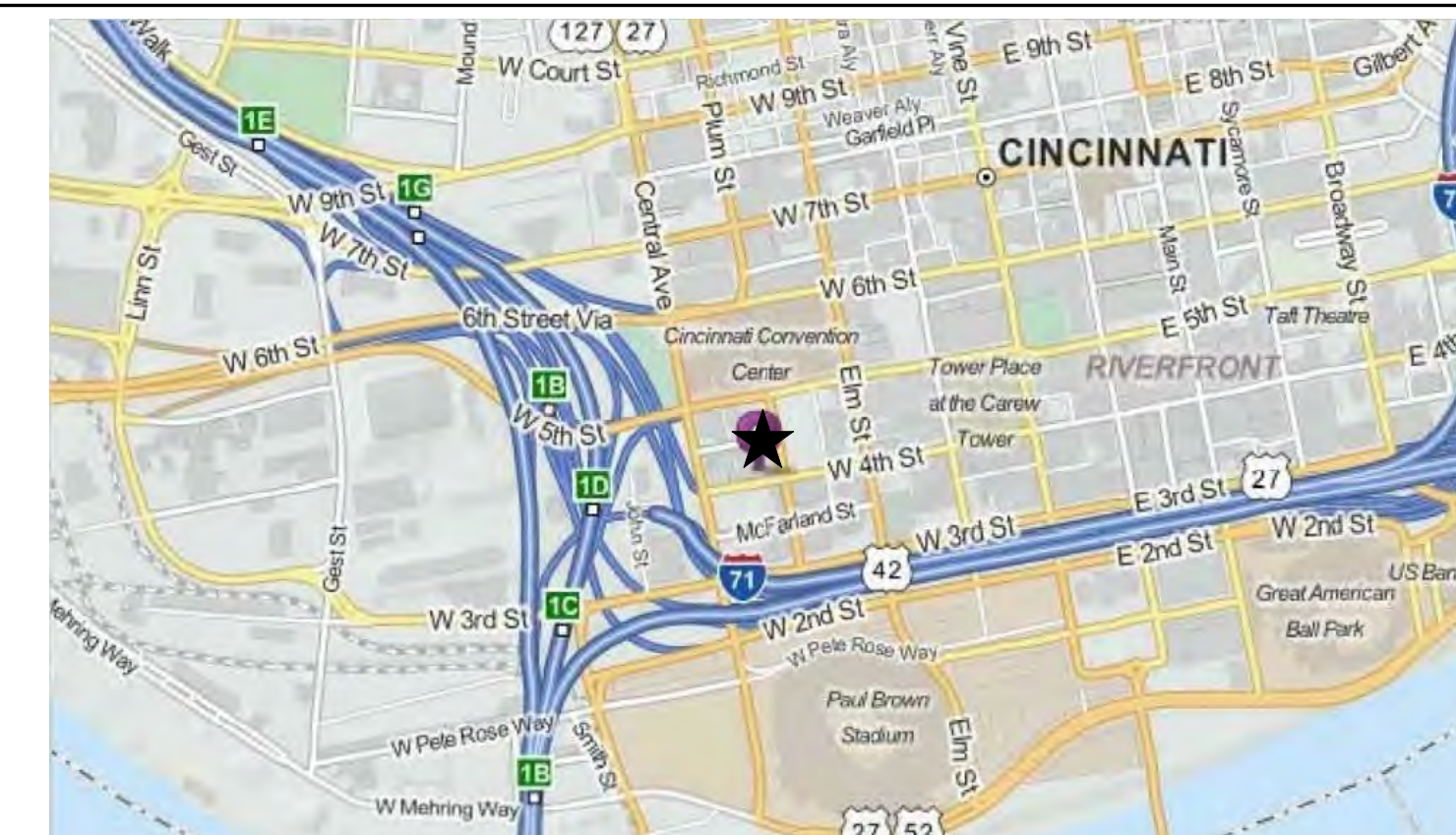
ARCHITECT/LANDSCAPE ARCHITECT:
DNK
2616 CENTRAL PARKWAY
CINCINNATI, OHIO 45214
PH: 513-948-4146 FAX: 513-679-4712

MECHANICAL / ELECTRICAL / PLUMBING:
PLUMECHETRICS CONSULTING ENGINEERS
1550 MAGNOLIA DRIVE
CINCINNATI, OHIO 45215
PH: 513-842-1144 FAX: 513-842-7733

PROJECT INDEX

DRAWING NO.	SHEET DESCRIPTION
T001	COVER SHEET
A101	FLOOR PLANS
A601	SCHEDULES AND DETAILS
A701	ENLARGED PLANS AND ELEVATIONS
M1	HVAC PLAN
E1	ELECTRIC PLAN
P1	PLUMBING PLAN

VICINITY MAP



REVISIONS

No.	Date	Description
1	11-06-15	PERMIT REVISION

OWNERS APPROVAL:

PROJECT NO. 1502	ISSUED BY: TRG
DRAWN BY: TRG	REVIEWED BY: GR
ISSUE DATE: 09/10/2015	

SHEET TITLE:
COVER SHEET

DISCIPLINE SHEET NUMBER:
T001