

HISTORIC CONSERVATION BOARD AGENDA

5th Floor Conference Room
805 Central Ave, II Centennial

Monday, April 10, 2017 at 3:00 pm

CALL TO ORDER

DISCUSSION ITEMS:

Item 1. 206 WADE ST The applicant returns to the Board for roof line modifications in the Over-the-Rhine Historic District. The Board tabled the case at the 3/13/17 meeting and has been scheduled for the 4/10/17 meeting.

Applicant: HILLMAN POINT, LLC

Owner: CUSTOM CARVING SOURCE LLC

Staff Report: BETH JOHNSON

Item 2. 503 BOAL ST The applicant requests a Certificate of Appropriateness for an existing rear deck and zoning relief related to setback requirements in the Prospect Hill Historic District.

Applicant: SAMBI MANJIT S & RAMNEESH K

Owner: SAMBI MANJIT S & RAMNEESH K

Staff Report: BETH JOHNSON

Item 3. 1216 RACE ST The applicant requests a Certificate of Appropriateness to demolish two buildings to construct a new residential/commercial mixed use building in the Over-the-Rhine Historic District. Additionally, the applicant requests zoning relief related to setback, density and parking requirements.

Applicant: PLATTE ARCHITECTURE AND DESIGN, RYAN O'MALLEY

Owner: MASTERS FRED K & SCOTT K

Staff Report: BETH JOHNSON

OTHER BUSINESS

ADJOURN

APPLICATION FOR AN AMENDMENT TO A PREVIOUSLY ISSUED CERTIFICATE OF APPROPRIATENESS HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

APPLICATION #: COA2017016
APPLICANT: Hillman Point LLC
OWNER: Hillman Point LLC
ADDRESS: **208 and 210 Wade Street; 209, 211 and 213 Kemp Alley**
PARCELS: 081-0001-0071
ZONING: CC-A
OVERLAYS: Over-the-Rhine Historic Conservation
COMMUNITY: Over-the-Rhine
REPORT DATE: updated April 2, 2017
HEARING DATE: March 13, 2017, April 10, 2017
STAFF REVIEW: Beth Johnson, Urban Conservator

Nature of Request:

The applicant is requesting an amendment to the designs of the previously approved Historic Conservation Board approved designs for new infill buildings on Kemp and Wade Alley. This is a continued amendment from the March 13, 2017 HCB meeting.

Design Changes: The applicants have adjusted the proposed design to have the façade walls at the fourth story extend the entire width of the building and have proposed them for both the Wade Street and Kemp Alley facades.

Existing Conditions:

The infill buildings are currently under construction. A change in the originally approved roof lines from a flat/shed slope roof to a gable front roof was submitted in order to comply with the building code for livable attic space. As this roof line does not comply with what was originally approved, the applicants are coming in for an amendment to the designs for the roof form.



Figure 1. Location of Kemp and Wade Street Project. Image courtesy of CAGIS.

Proposed Conditions:

The applicants are proposing to keep the currently built gable roofs and along the Kemp Alley and Wade Street side built parapet walls that extend the entire width of the building. These walls will have a flat cornice line and there will be a simple horizontal band at the cornice line with no brackets.

Previous HCB Reviews:

- September 28, 2015- 221 Wade Street Rehabilitation approved
- October 26, 2015- First review by the Historic Conservation Board- Tabled
- November 23, 2015- Second Review by the Historic Conservation Board- Approved, Rain Screen denied
- July 25, 2016- Garage door and deck for 221 Kemp, Deck for 215 Wade approved
- March 13, 2017- Amendment for the 4th floor tabled.

Applicable Zoning Code Sections:

Zoning District: Section 1405 CC-A

Overlays: [Section 1435](#) Historic Preservation

Historic Dist./Reg: [Over the Rhine Historic District](#)

COA Standard: [Section 1435-09-2](#) Certificate of App.; Standard of Review

Zoning Analysis:

There is no change in the zoning relief granted at the November 23, 2015 Historic Conservation Board Meeting.

Certificate of Appropriateness Review:



Originally approved designs from November 23, 2015



4/10/17 Proposed Wade Amendment



4/10/17 Proposed Kemp Amendment

Applicable Guidelines

New Construction:

Roofs: Roofs for new construction should be similar to roofs of adjacent and nearby buildings of similar size and use. In the district, buildings of three or more stories generally have low-pitched shed roofs that are not visible above the principal facade. Smaller buildings in the district typically have simple gable roofs on which the gables are perpendicular to the principal facade. Institutional buildings in Over-the-Rhine have a variety of roof shapes, including dormers, multiple gables, hip roofs and towers. Roofs in this district have little or no overhang.

While the roofs on all the buildings will be a gable front, which is not a form that is seen in the neighborhood, providing a pediment wall in front of the entire gable will mask the gable point and have an appearance of a flat cornice line/roof. Due to the location off of Liberty Street of the properties on Kemp Alley and vacant land on the north side of Kemp Alley, the fourth level/attic level and roof line are highly visible from public right of ways. The parapet wall will mask the gable roof from Liberty Street. Portions of the pitch of the roof of the eastern most building will still be slightly visible from up Elm Street. However they will not be highly visible.

The colors of the proposed parapets should match the gray color proposed in the original designs. Using a gray or a muted neutral will help set the wall to the background.

Other Considerations:

Prehearing Results: NA

Comments Provided to Staff: One letter from the OTR Infill Committee has been provided. They are not supportive of the proposal.

Consistency with *Plan Cincinnati (2012):*

Other: NA

Recommendation:

Staff recommends the Historic Conservation Board take the following actions:

I. CERTIFICATE OF APPROPRIATENESS

A. **APPROVE** a Certificate of Appropriateness for 208 and 210 Wade Street; 209, 211 and 213 Kemp Alley submitted by PCA Architects dated 3/21/2017 including any revisions submitted for permit subject to staff review and approval with the following condition.

1. The color of the parapet wall should be a gray or a muted neutral color.

B. **FINDING:** The Board makes this determination per Section 1435-09-2:

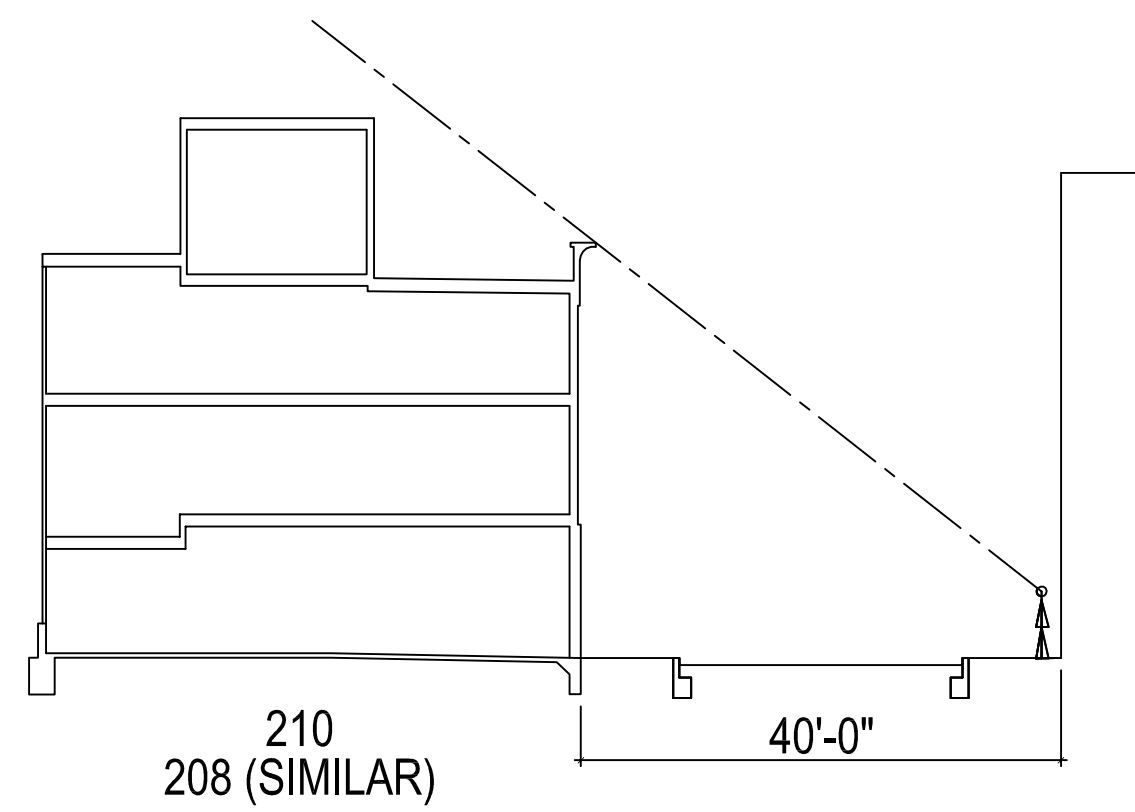
1. That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.
2. The roof lines on Kemp Alley and Wade will have minimal visibility from the public right of ways with the proposed façade adjustments.
3. A gable front with a parapet wall is not a form that should be repeated in the neighborhood.



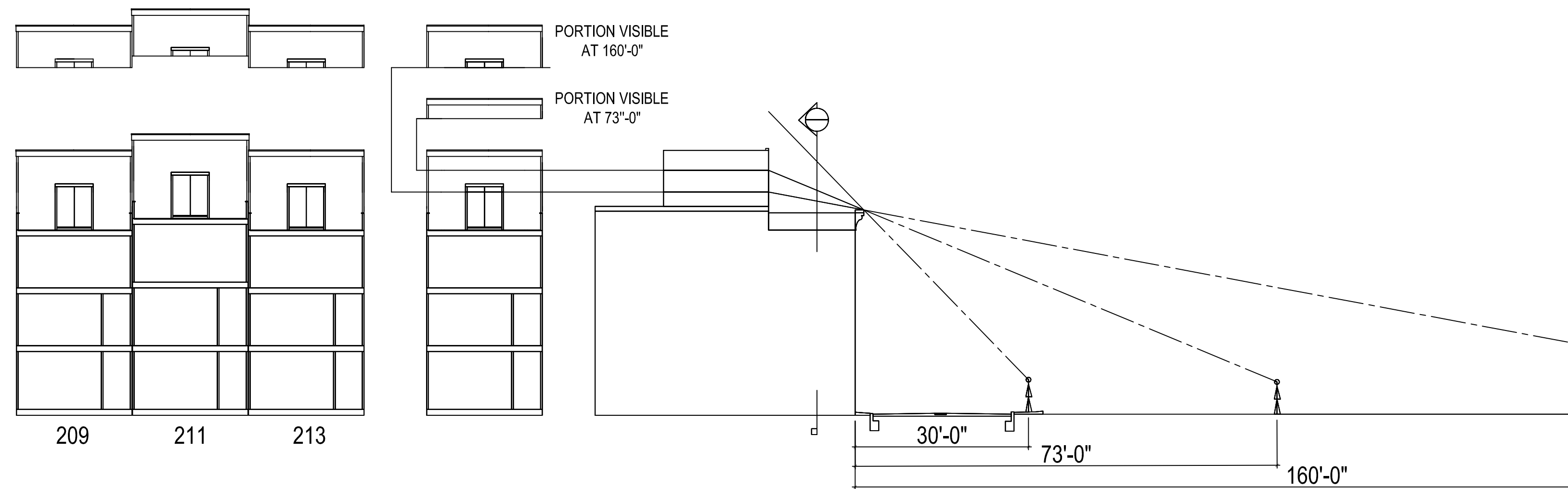
1 WADE STREET - PROPOSED ELEVATION REVISIONS
1/8" = 1'-0"



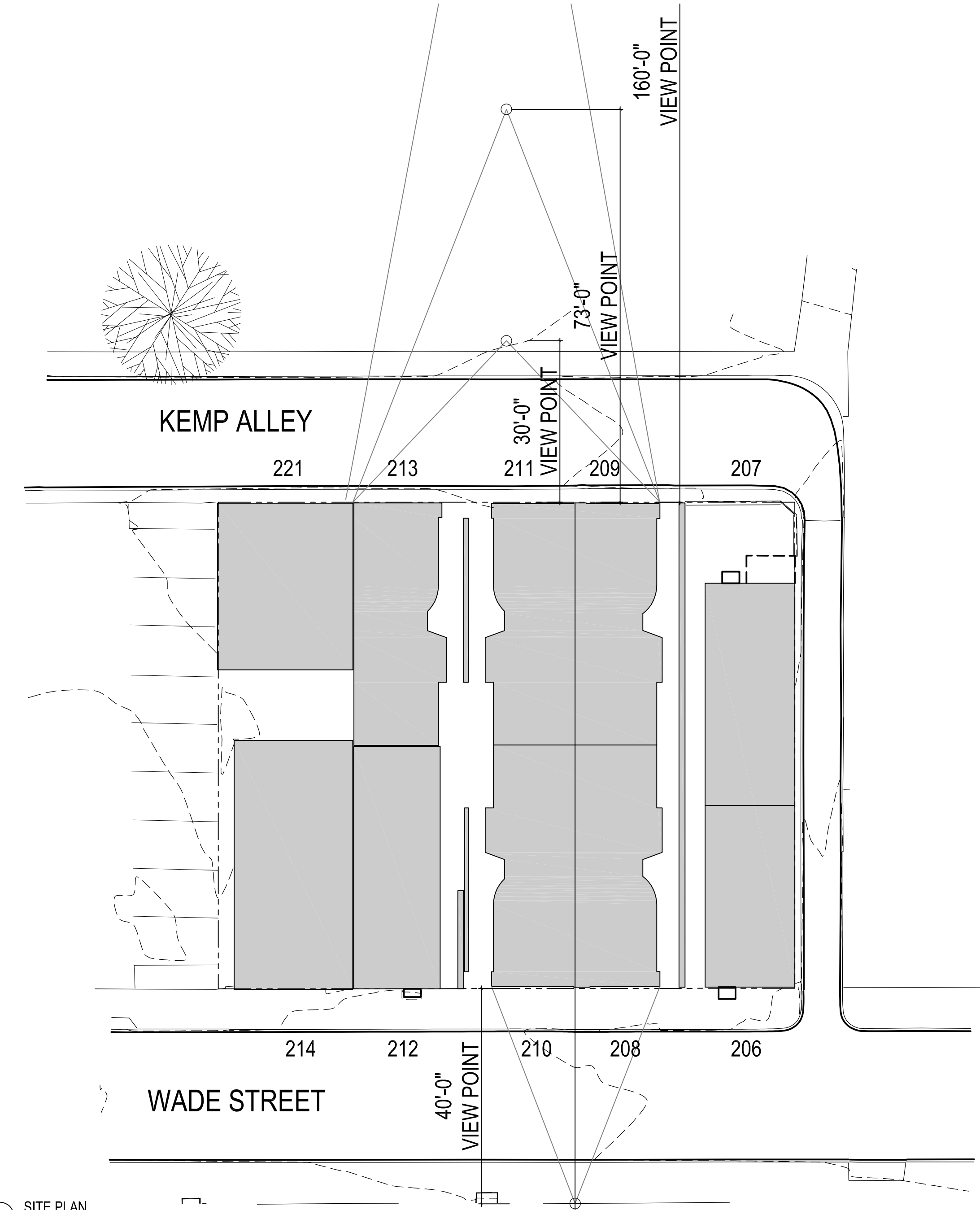
2 KEMP ALLEY - PROPOSED ELEVATION REVISIONS
1/8" = 1'-0"



4 WADE STREET SITE LINE STUDY
1/16" = 1'-0"



4 KEMP ALLEY SITE LINE STUDY
1/16" = 1'-0"



5 SITE PLAN
1/16" = 1'-0"

HILLMAN POINT
Wade Street Residential Development
ELEVATION REVISIONS TO
206 - 208 - 201 WADE &
209 - 211 - 213 KEMPER

ISSUE / DATE:		DRAWING SET		
#	DATE	ELEVATION REVISIONS	ELEVATION REVISIONS	ELEVATION REVISIONS
1	2017.02.22	ELEVATION REVISIONS	ELEVATION REVISIONS	ELEVATION REVISIONS
2	2017.03.15	ELEVATION REVISIONS	ELEVATION REVISIONS	ELEVATION REVISIONS
3	2017.03.21	ELEVATION REVISIONS	ELEVATION REVISIONS	ELEVATION REVISIONS

HISTORIC REVISIONS

H100

**APPLICATION FOR
CERTIFICATE OF APPROPRIATENESS
AND DIMENSIONAL VARIANCE
HISTORIC CONSERVATION BOARD PUBLIC HEARING
STAFF REPORT**

APPLICATION #: ZH2017/0032/COA2017014
APPLICANT: Majnit Sambhi
OWNER: Majnit Sambhi
ADDRESS: **503 Boal Street**
PARCELS: 086-0001-0055
ZONING: RM 1.2
OVERLAYS: Over-the-Rhine Historic District, Hillside Overlay Zone.
COMMUNITY: Over-the-Rhine
REPORT DATE: March 31, 2017
HEARING DATE: Pre-hearing March 22, 2017
STAFF REVIEW: Beth Johnson, Urban Conservator

Details of Zoning Relief Required:

1. **1433-17: Hillside Maximum Building Envelope** averages the abutting two parcels next to the property. The two abutting properties have rear setbacks of 19.5 feet and 17 feet, which averages to 18.25 feet. The requested setback is 10 feet therefore required an 8.25 ft. rear yard variance.

Nature of Request:

The applicant is requesting a Certificate of Appropriateness (COA) and Zoning Relief for a Dimensional Variance to allow for a two-level rear deck addition. This deck was previously built without the property permits and the applicant is seeking the proper approvals.

Existing Conditions:

The property at 503 Boal Street is within the Over-the-Rhine Historic Conservation Overlay Zone and also with in the Hillside Overlay Zone. The front of the property is at the street, and the property is built along a hillside with the rear having 4 stories and the front have 2.5 stories.

This application is a retroactive application and in order for the deck to remain it will be required to get both Zoning Relief and a Certificate of Appropriates from the Historic Conservation Board. As this project was completed without getting the proper approvals it will be subject to an investigation fee during the building permit process.

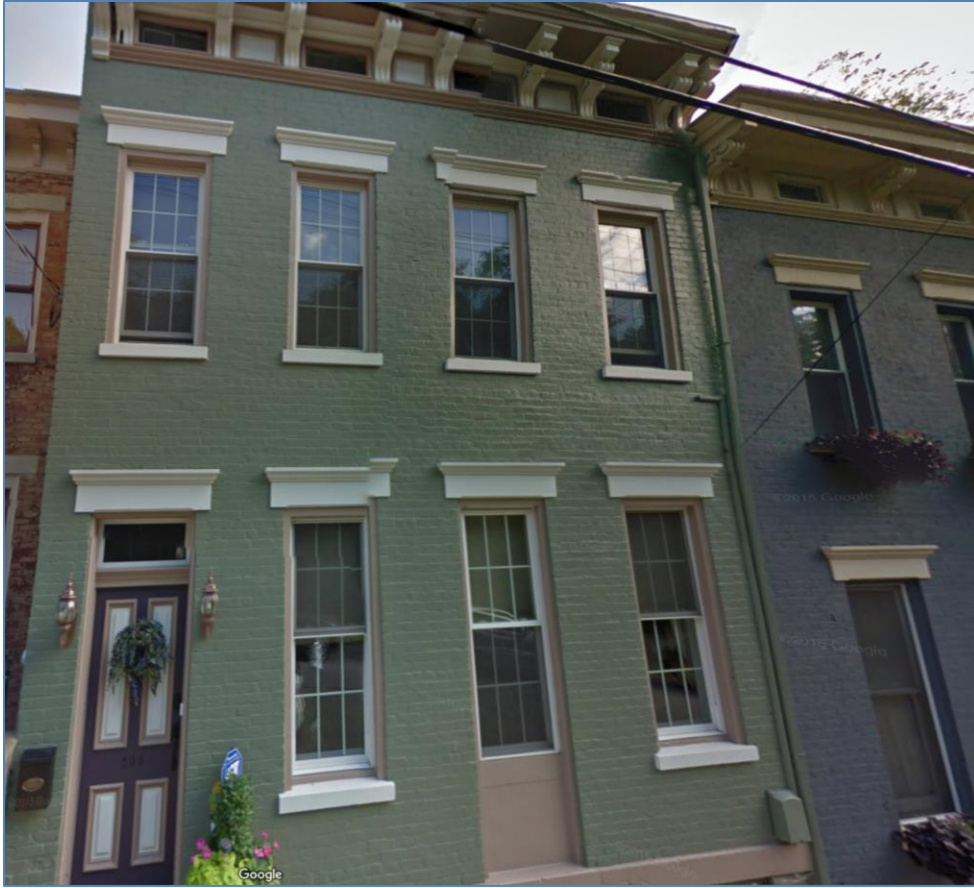


Figure 1: Figure 1. View of 503 Boal Street Image from Google images

Proposed Conditions:

The applicant is requesting approval of a rear deck off of the second rear floor (first floor from the front). The deck will be the width of the house at 20 feet and will extend 12 feet from the house. It will be made of pressure treated wood that will be stained once it has weathered and will have a decorative metal fence.



Figure 2: Figure 2. Location of 503 Boal Street in the Over-the-Rhine Historic District. Map from Cagis Maps

Previous Reviews: N/A

Applicable Zoning Code Sections:

Zoning District:	Section 1405	Residential
Variance Request:	Section 1405	Development Regulations
Variance Authority:	Section 1445-07	HCB authority: Section 1435-05-4
Variance Standard:	Section 1445-13 Section 1445-15	General Standards: Public Interest Standards for Variances
Overlays:	Section 1435 and 1433	Historic Preservation and Hillside
Historic District/Reg:	Over the Rhine Historic District	
COA Standard:	Section 1435-09-2	Certificate of Appropriateness; Standard of Review

Details of Zoning Relief Required:

The applicant and/or owner(s) are requesting a dimensional variance to the hillside maximum building envelope.

- 1. 1433-17- Dimensional Variance-** Proposed Dimensional Variance to allow to a setback of 10 feet in the rear. A variance of 8.25 feet is required.

Zoning Analysis:

Staff is supportive of the request for a dimensional variance as the proposed lot is a smaller, substandard lot in the district and the proposed deck is in line with other approved requests within the district. The deck is below the roof line and will not cause harm to view sheds of neighboring properties.

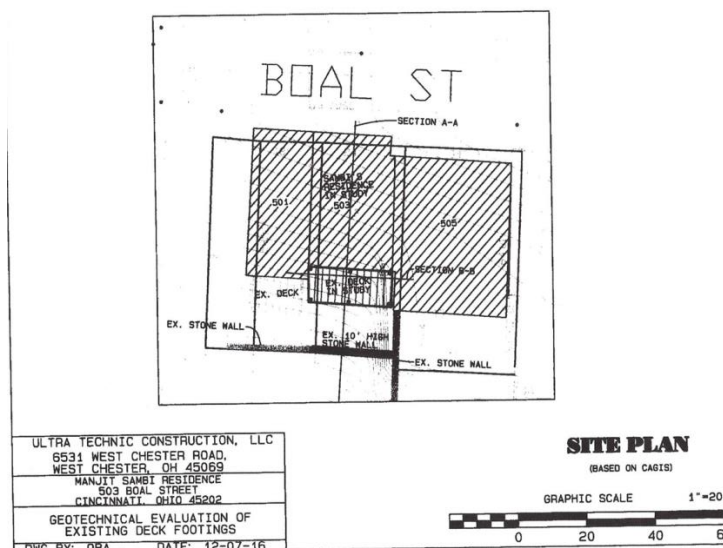


Figure 3: Site Plan showing 503 Boal Street. The deck is a similar size to the deck on 501 Boal Street and the neighboring property at 505 Boal Street has a deeper lot and a bigger building.

Below is analysis of the consideration factors for the proposed Dimensional Variance for a 8.25 foot total rear yard setback, utilizing Section 1445-13, General Standards; Public Interest.

- a. **Zoning.** The proposed work conforms to the underlying zone district regulations and is in harmony with the general purposes and intent of the Cincinnati Zoning Code.
The underlying zoning is RM 1.2. The proposed work on the subject property is in harmony with the general intent of the Zoning Code.
- b. **Guidelines.** The proposed work conforms to any guidelines adopted or approved by Council for the district in which the proposed work is located.
The proposed work substantially conforms to the guidelines for the district.
- c. **Plans.** The proposed work conforms to a comprehensive plan, any applicable urban design or other plan officially adopted by Council, and any applicable community plan approved by the City Planning Commission.
This project conforms to the Over the Rhine Comprehensive Plan.
- d. **Traffic.** Streets or other means of access to the proposed development are suitable and adequate to carry anticipated traffic and will not overload the adjacent streets and the internal circulation system is properly designed.
Traffic will not be adversely impacted by the proposed project.
- e. **Buffering.** Appropriate buffering is provided to protect adjacent uses or properties from light, noise and visual impacts.
No buffering is required. No adverse impacts due to light, noise, and visual elements are anticipated.
- f. **Landscaping.** Landscaping meets the requirements of Chapter 1423, Landscaping and Buffer Yards.

This is not applicable.

- g. **Hours of Operation.** Operating hours are compatible with adjacent land uses.

This is not applicable.

- h. **Neighborhood Compatibility.** The proposed work is compatible with the predominant or prevailing land use, building and structure patterns of the neighborhood surrounding the proposed development and will not have a material net cumulative adverse impact on the neighborhood.

The proposed work is compatible with the use and patterns of the neighborhood and will not have an adverse impact on the neighborhood.

- i. **Proposed Zoning Amendments.** The proposed work is consistent with any proposed amendment to the zoning code then under consideration by the City Planning Commission or Council.

There are no proposed amendments under consideration that would impact this proposed project.

- j. **Adverse Effects.** Any adverse effect on the access to the property by fire, police, or other public services; access to light and air from adjoining properties; traffic conditions; or the development, usefulness or value of neighboring land and buildings.

There are no adverse impacts anticipated.

- k. **Blight.** The elimination or avoidance of blight.

The property is currently occupied and is not considered blight.

- l. **Economic Benefits.** The promotion of the Cincinnati economy.

The proposed work may increase the property value by adding usable outdoor space to the subject property and may increase the tax base by improving the property.

- m. **Job Creation.** The creation of jobs both permanently and during construction.

The proposed project may create temporary construction jobs.

- n. **Tax Valuation.** Any increase in the real property tax duplicate.

Property tax values may increase by making improvements to the property.

- o. **Private Benefits.** The economic and other private benefits to the owner or applicant.

The owner has an economic benefit to the proposed improvements.

- p. **Public Benefits.** The public peace, health, safety or general welfare.

There is no measurable detriment to public peace, health, safety or welfare as a result of this proposed project. Improving this property has the potential to improve the general welfare of the neighborhood.

Standards for Variances per Section 1435-05-4

- (a) Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the Historic District of Historic Asset; or

The proposed rear deck will not have an adverse effect on the historic architecture or aesthetic integrity of the Historic District. The rear deck will be of high quality, a simple and sympathetic design, and will not cover any architectural features.

- (b) Is necessary where the denial thereof would result in a deprivation of all economically viable uses of the property as viewed in its entirety. In making such a determination, the Historic Conservation Board may consider the factors set forth in Section 1435-09-2 (aa) to (ff).

While the denial of the requested variance would not deprive the property of all economically viable uses, the granting of the variance would increase the economic viability of the property by increasing outdoor living space in a dense urban environment.

Certificate of Appropriateness Review:

A Certificate of Appropriateness is required for the construction of a rear deck, on a property in the Over-the-Rhine Historic District.

Based on the Conservation Guidelines outlined below, staff feels the proposed deck is generally appropriate in the Over-the-Rhine Historic District and substantially conforms to the applicable conservation guidelines.

Applicable Guidelines

SITE IMPROVEMENTS

B. SPECIFIC GUIDELINES

4. DECKS: Wood decks should be stained or painted. Rooftop decks should not be highly visible from the principal façade. Metal balconies should not be discouraged.

The proposed rear deck will not detract from the character of the building, as it will be placed on a non-principal façade and will not cover any architectural features. It will be compatible with the building and constructed of wood with black metal railings and balusters. The deck will be stained per the guidelines. While the deck was built without permits and approvals, the design of the deck is appropriate and while staff does not condone work without permits we are fortunate in this case the design is appropriate.

Other Considerations:

Prehearing Results: The applicant was present.

Comments Provided to Staff: N/A

Consistency with *Plan Cincinnati (2012)*:
“Sustain” Initiative Area “Preserve our built history”

Recommendation:

Staff recommends the Historic Conservation Board take the following actions:

1. DIMENSIONAL VARIANCE

1. **Section 1433-17– Dimensional Variance – APPROVE Dimensional Variance** of 8.25 feet to allow for a 10 yard rear setback at 503 Boal Street per plans submitted by the applicant, Manjit Sambhi, with their submission dated February 14, 2017.
2. **FINDING:** The Board makes this determination that per Section 1435-05-4:
 - a. Such relief from literal implication of the Zoning Code will not be materially detrimental to the public health, safety and welfare or injurious to property within the district or vicinity where property is located; and
 - b. Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the district.

2. CERTIFICATE OF APPROPRIATENESS

1. **APPROVE** a Certificate of Appropriateness 503 Boal Street per plans by the applicant, Manjit Sambhi, with their submission sated February 14, 2017 with the following condition:
 - a. The wood shall be stained.
2. **FINDING:** The Board makes this determination per Section 1435-09-2:
 - a. That the property owner has demonstrated by credible evidence that the proposal substantially conforms to the applicable conservation guidelines.

ZONING HEARING EXAMINER

Application for Zoning Relief

II Centennial Plaza
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202
Monday- Friday 7:30 am- 4 pm
513-352-1559

Section 1. SUBJECT PROPERTY
 ADDRESS 503 Boal Street (45202) COMMUNITY Prospect Hill / Over-the-Rhine
 PARCEL ID(S) 086-0001-0055-00 Overlay
 BASE ZONING CLASSIFICATION _____ ZONING OVERLAY (if applicable) _____
 Non-Residential Project Residential Project (RCO) One -, Two -, and Three- Family Dwelling

Section 2. APPLICANT
 NAME Manjit Sambi CONTACT PERSON (if legal entity) _____
 ADDRESS 503 Boal Street CITY Cincinnati STATE Ohio ZIP 45202
 EMAIL manjit.sambi@yqhaos.com RELATIONSHIP TO OWNER (if not owner) Self
 TELEPHONE 513-477-2676

Section 3. OWNER
 NAME Same as Applicant CONTACT PERSON (if legal entity) _____
 ADDRESS _____ CITY _____ STATE _____ ZIP _____
 EMAIL _____ RELATIONSHIP TO OWNER (if not owner) _____
 TELEPHONE _____

Section 4. NATURE OF RELIEF REQUESTED. (select all that apply)
 Variance Use Variance Special Exception Conditional Use
 Expansion or Substitution of Non Conforming Use Hillside Overlay District Permission
 Urban Design Overlay District Permission DD District Phased Development Approval

Section 5. BRIEF DESCRIPTION OF PROPOSED PROJECT (Do not write "see attached" or leave blank. You may attach a longer statement to this application if the space provided is insufficient to describe your proposed project)
Variance request for residential deck to rear
of home. Compliance currently deficient according to
the City of Cincinnati zoning code
1405-07 Minimum 20 yard rear yard set-back

Section 6. SUMMARY OF REASONS WHY RELIEF SHOULD BE GRANTED.
 You must provide a written statement explaining how the proposed project meets the standards for all relief requested. Separate instructions for preparing this statement are attached. If you fail to follow the instructions for your type of request, your application may be denied.

Section 7. SIGNATURE. The undersigned does hereby certify that the information provided in connection with this application is, to the best of his or her knowledge, true and correct.
 Print Name Manjit S. Sambi Signature Manjit Sambi Date 2 / 14 / 2017

II Centennial Plaza
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202
Monday- Friday 7:30 am—4 pm
(513) 352-4848
Beth.Johnson@Cincinnati-OH.gov

Office Use Only	
Application #:	_____
Date Accepted:	_____
<input type="checkbox"/> Staff Review	<input type="checkbox"/> Board Review
<input type="checkbox"/> Paid:	_____
Date Perfected:	_____
Hearing Date:	_____

CERTIFICATE OF APPROPRIATENESS APPLICATION

SUBJECT PROPERTY

Site Address: 503 Boal Street Cincinnati, Ohio 45202
 Hamilton Co. Parcel ID No. 086-0001-0055-00 Zoning District: RM 1.2 -
 Historic District: Prospect Hill Overlay District: Over-the-Rhine

APPLICANT INFO **PROPERTY OWNER** **OTHER** _____ (AGENT, ATTORNEY, ARCHITECT, ETC.)

Name: Manjit Sambi
 Contact Person (if legal entity): _____
 Address: 503 Boal Street
 City: Cincinnati State: Ohio Zip Code: 45202
 Phone: 513-477-2676 E-mail: manjit.sambi@yahoo.com

PROPERTY OWNER INFO **SAME AS ABOVE**

Name: _____
 Contact Person (if legal entity): _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ E-mail: _____

CERTIFICATE OF APPROPRIATENESS (SELECT ALL THAT APPLY)

New Construction Alteration Demolition

Provide a very brief summary of the project:

Pressure treated wood deck to rear of home.
To be stained after authorization approved.

ZONING RELIEF **Yes** **No**

Provide a very brief summary of the zoning relief requested:

Requesting variance for 20 yard rear yard
Setback
1465-07 (Minimum 20 yard rear setback
Yard.

SUBMISSION REQUIREMENTS & REQUIRED ATTACHMENTS

Demolition requests must include all required demolition forms. n/a
 All applications that include requests for zoning relief must include a zoning hearing application. inc.
 All persons seeking historic tax credits must provide a copy of their approved part II tax credit application. n/a

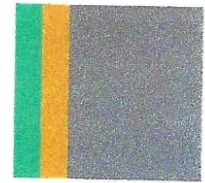
I certify that all statements and documents that I provide with reference to this application are accurate, complete, and true to the best of my knowledge and belief. I further acknowledge that my application shall be deemed incomplete for my failure to timely comply with any requirement of this application, which non-compliance may result in delays in the scheduling and resolution of my application.

Applicant Signature: _____

Date: 2/14/2017

Manjit S Sambi

503 Boal Street
Cincinnati, Ohio 45202



February 14, 2017

City of Cincinnati, Board of Zoning

805 Central Avenue, Suite 500

Cincinnati, Ohio 45202

RE: Variance Request for Parcel 086-0001-0055-00 (503 Boal Street) Prospect Hill, City of Cincinnati

Zoning Board Members:

I am the owner of the abovementioned property. I am respectfully requesting a variance from the minimum 20-yard rear yard setback requirement for RM 1.2 row home exterior structures. A deck was built on the rear of the home in March 2016 and have complied with all of the aspects of a hillside overlay district requirements. This request is for the compliance to the Historic Conservation Board as the home is in a Historic Overlay Zone and since advised by Beth Johnson that this will be required as well.

The deck construction is 20 feet wide and 12 feet deep at the farthest point, which would violate the requirements in RM1.2 zoning districts. See attached site scaling. Therefore, the request for variance change is necessary.

The authorizing of such variance will not be of any determinant to the adjacent property. I have included a signed document in support of the deck of the owners of such locations. In addition, the variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties

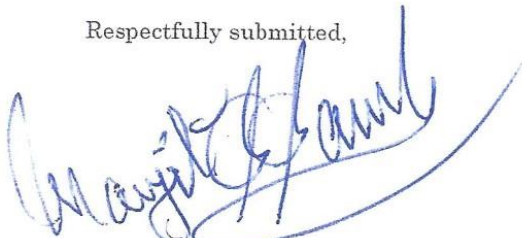


in the same zoning district and in the same vicinity. There are several lots that would require the same setback rule that have decks built onto the rear of the home that do not appear to meet the 20 yard rear yard minimum rule.

Additionally, the deck gives a much welcome public benefit as well. Previously this overgrown, weeded vacant area was an eyesore in the neighborhood. It now gives public beauty, as well as improved health, safety and general welfare.

In conclusion, a favorable decision in the request for the variance to accommodate the existing deck is greatly appreciated. Please feel free to contact my wife, Brenda at 513-368-6472 or myself at 513-477-2676 should you need additional information.

Respectfully submitted,



Manjit S Sambhi



Manjit Sambhi

503 Boal Street
Cincinnati, Ohio 45202-6801



February 14, 2017

Manjit S Sambhi
503 Boal Street
Cincinnati Ohio 45202

RE: Variance Request for Parcel 086-0001-0055-00

Address 503 Boal Street / Prospect Hill/ Over the Rhine Overlay

District Potential Witness List for Zoning/Historic Review Hearing: Scheduled Date: April 10, 2017

1. Manjit Sambhi
2. Brenda Sambhi
3. Jason Sambhi
4. Ramneesh Sambhi
5. Megan Edwards
6. John Avery
7. Brian Nash
8. Dr. Olusegun Akomolede
9. Bob Morton
10. Gailene Hill
11. Thomas Beridon
12. Paul Ross
13. Eugene Lackey
14. Seth Currier



Date 01-24-2017

Location: 503 Boal Street

Request: Rear Deck

Zoning District: RM 1.2- Over-the-Rhine Historic Conservation Overlay Zone.

Applicant Name: Manjit Sambit

Address: 503 Boal Street, Cincinnati Oh 45202

Dear: Manjit Sambit

The City of Cincinnati appreciates receiving your information regarding your proposed project. The purpose of this letter is to inform you that your proposed project will be required to get a Certificate of Appropriateness from the Historic Conservation Board as it is in a Historic Conservation Overlay Zone. While we have received an application and payment, the application is incomplete and will not be scheduled until all information and supporting documents are submitted.

Your project will also require a zoning variance for the rear yard setback. The amount of variance cannot be determined as a proper site plan has not been submitted.

Your request also does not comply with the City of Cincinnati Zoning Code for the following reason(s):

- 1405-07: Minimum 20 yard rear yard setback

If you choose to move forward with your proposed project as **planned** you will need to obtain a Certificate of Appropriateness and zoning relief from the Historic Conservation Board. Attached to this letter is a copy of the **Certificate of Appropriateness** and **Zoning Hearing Application** for your review. Please submit 3 copies and a digital copy of the following items regarding the relief that is required of you.

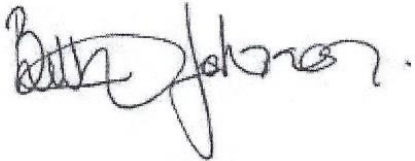
- ✓ Completed Application for Certificate of Appropriateness
- ✓ Completed Application for Zoning Relief and answers to questions on page 2 of application.
- ✓ A letter indicating what you are doing and why
- Site Plan (*to scale*) labeling setback dimensions of proposed deck
- ✓ Pictures of deck, as this is a retroactive application
- ✓ List of materials used

If you would like to access the City of Cincinnati Zoning Code please go to Title XIV of the Cincinnati Municipal Code. The Municipal Code can be accessed through a link on our department's webpage at <http://www.cincinnati-oh.gov/buildings/zoning-administration/>.

If you have any questions regarding the Historic Conservation Board process or submission of your required documents, please contact Kasandra Maynes at 513-352-1559 or visit www.cincinnati-oh.gov/boards - select Historic Conservation Board.

You may also contact me at the information listed below with zoning questions, concerns or to make an appointment.

Sincerely,



Beth Johnson
Urban Conservator
(p): 513-352-4848
(e): beth.johnson@cincinnati-oh.gov

Residential Deck Drawings

General Notes

1. All lumber shall be pressure treated for exterior use. All metal fasteners & hangers shall be G185 galvanized, stainless steel or otherwise compatible with the wood treatment. All bolts shall be 1/2" diameter, minimum.
2. All beams, joists, posts and decking shall be No. 2 Southern Pine, or better.
3. All beam splices and top rails shall occur at a post or otherwise on adequate bearing.
4. All footings shall be cast-in-place concrete with a min. 2500 psi compressive strength.
5. Guards are required at all areas where the deck/porch floor is greater than 30" above grade at any point.
6. Required guards shall be 36" tall (min.) and be constructed such that a 4" diameter object will not pass through.
7. Guard post spacing shall not exceed 6 ft. on center.
8. Required guards & handrails at stairs shall range from 34" to 38" vertically above the stair nosings.
9. Handrail ends, at the top and bottom, shall terminate into a post or be returned to a wall.
10. On stairs with closed risers, treads shall have a projected nosing ranging from 3/4" to 1-1/4". All treads and risers shall be equal.
11. The deck/porch floor shall be within 8-1/4" of the top of the door threshold.
12. Live Load Deflection: Joists & Beams- L/360
Guards- L/240
13. Design Loads: Floor Live Load - 40 lbs./sf (min.)
Wind Speed - 90 mph
Soil Bearing Pressure - 3000 lbs./sf
14. Guards shall be designed for a 200 lb. concentrated load placed along the top rail in any direction, at any point.
15. This deck/porch is not designed for hot-tub or spa loading.
16. All exterior stairs & associated landings shall be illuminated.
17. Post size is based on the height of the deck floor above finished grade (at the highest point):
0' to 8' high: 4x4, 4x6, 6x6
8' to 10' high: 4x6, 6x6
10' and up: 6x6 (required for multi-level decks too)
18. All separated beams shall receive full depth solid blocking at 24" on center, maximum spacing.
19. The actual field construction shall match the approved plans. All field changes and/or deviations require an Engineering Change approval.

Framing/Footing Table

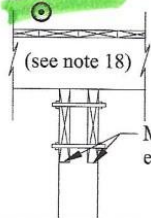
[1] Choose one floor joist size with the associated span, [2] Choose one floor beam size. Entire row applies.

Floor Joists ^a			Floor Beams ^b			Footing Size				1/2" Ledger
Choose Joist Size	Lumber Size	Max. Span [A]	Choose One Row	Lumber Size	Max. Span [B]	Single-Span Floor Joists		Multi-Span Floor Joists		Board Bolts Spacing
	(nominal)	(feet)		(nominal)	(feet)	min. dia. [C]	min. thick [D]	min. dia. [C]	min. thick [D]	
						(inches)	(inches)	(inches)	(inches)	(inches)
○	2 x 6	8	○	(2) 2 x 6	5	12	6	15	8	24
			○	(2) 2 x 8	7	13	7	19	10	24
			○	(2) 2 x 10	9	15	8	23	12	24
			○	(2) 2 x 12	11	17	9	24	12	24
○	2 x 8	10	○	(2) 2 x 8	7	14	7	20	10	16
			○	(2) 2 x 10	9	17	9	24	12	16
			○	(2) 2 x 12	10	18	9	25	13	16
			○	(2) 2 x 10	8	17	9	24	12	16
●	2 x 10	13	○	(2) 2 x 12	9	18	9	26	13	16
○	2 x 12	16	○	(2) 2 x 12	8	20	10	28	14	12

- a. Choose one joist size and corresponding maximum span. All joists are spaced a maximum of 16" oc.
b. Choose one floor beam (entire row) that corresponds with the size of joist chosen.

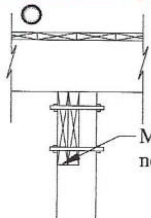
Beam to Post Connection Options

[3] Choose one beam to post connection option. [4] Choose one post size based on the height of the deck.



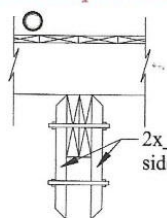
Min. 3/4" notch each side.

- 4x4 posts (up to 8')
- 4x6 posts (up to 10')
- 6x6 posts req'd over 10')



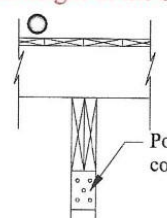
Min. 1-1/2" notch in post.

- 4x4 posts (up to 8')
- 4x6 posts (up to 10')
- 6x6 posts req'd over 10')



2x_ each side

- 4x4 posts (up to 8')
- 4x6 posts (up to 10')
- 6x6 posts req'd over 10')



Post cap connector

- 4x4 posts (up to 8')
- 4x6 posts (up to 10')
- 6x6 posts req'd over 10')

Property Owner:

Name: Manjit S Sambhi
Address: 503 Boal Street
Cincinnati, Ohio 45202
Phone: 503-477-2676

Designer:

Name: Brenda Sambhi
Address: 503 Boal Street
Cincinnati, Ohio 45202
Phone: 5133686472

Contractor:

Name: Owner/family
Address: _____
Phone: _____

Application No.

Sheet No.

1 of 4

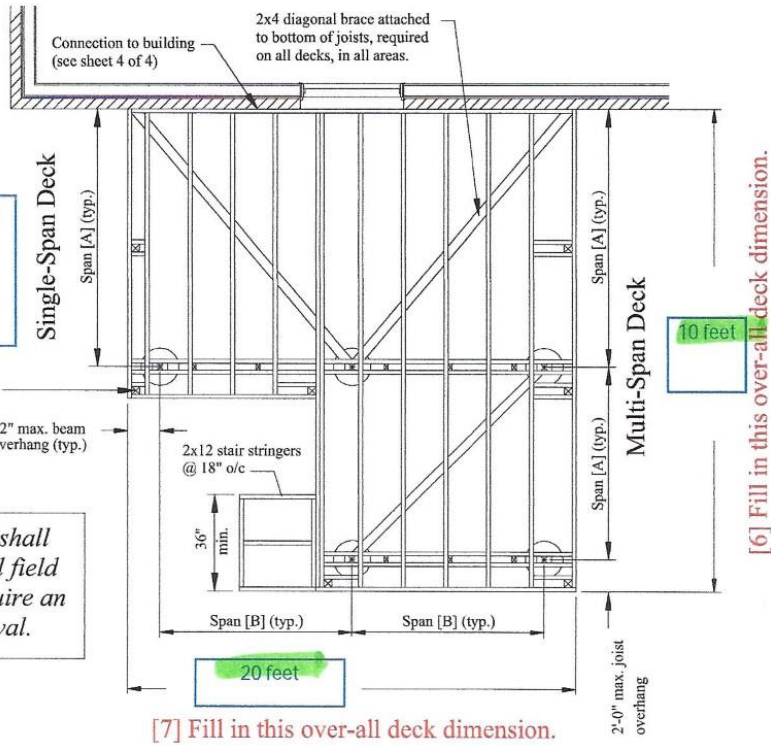
Residential Deck Drawings

Foundation & Framing Plan

[5] Choose one span configuration:

- Single-Span
- Multi-Span

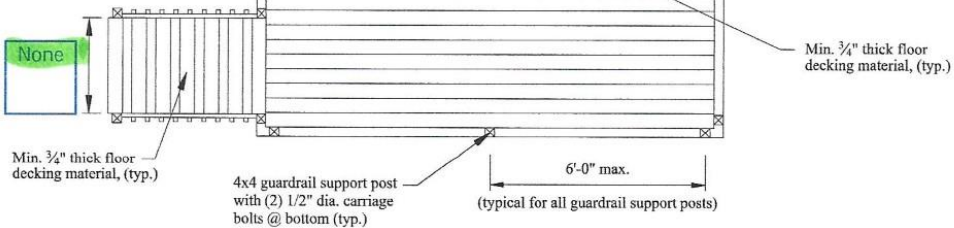
The actual field construction shall match the approved plans. All field changes and/or deviations require an Engineering Change approval.



Deck Finished Floor Plan

[8] Fill in the stair width in inches (36" min.).

None



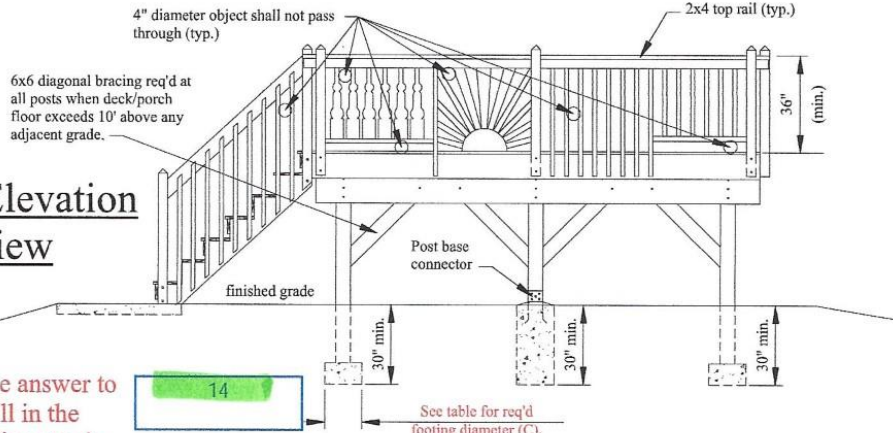
Front Elevation View

[9] Using the answer to Step 5, fill in the footing diameter in inches.

14

[10] Choose a footing option:

- Post attached to top of concrete footing
- Post on top of buried concrete footing



Application No.

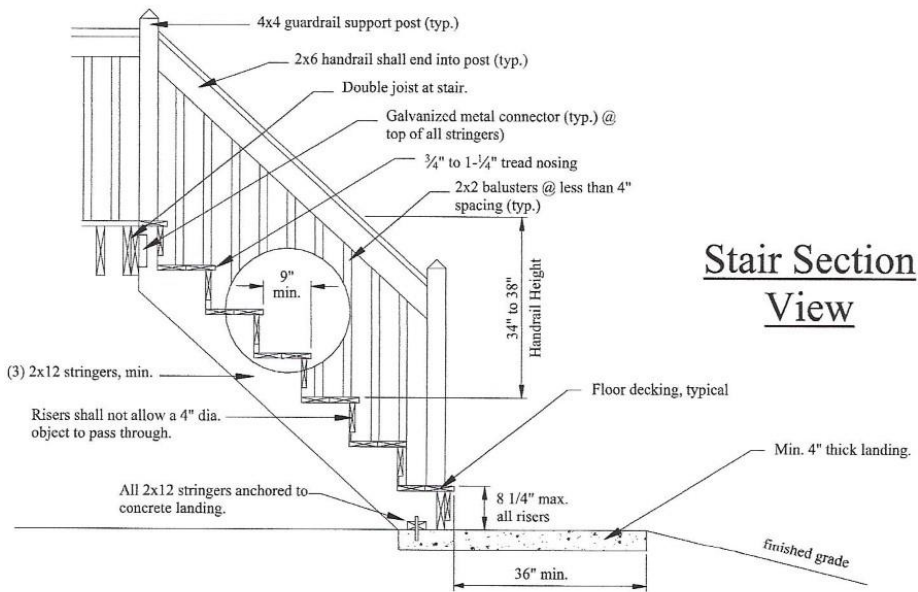
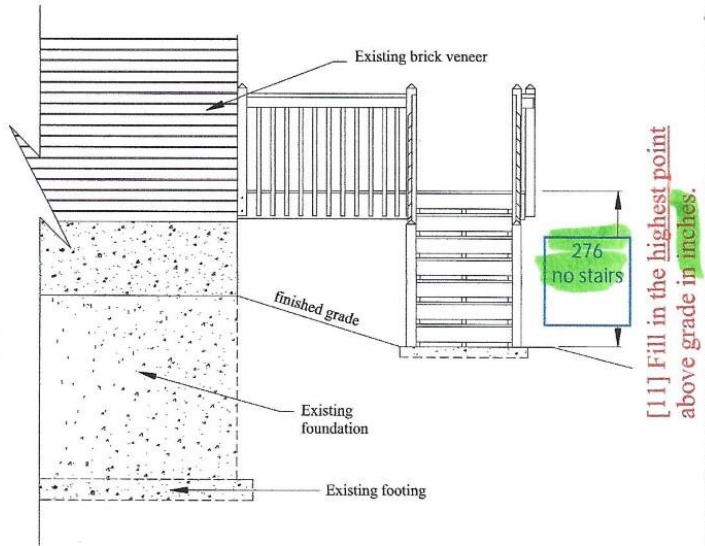
Sheet No.

2 of 4

Residential Deck Drawings

Left Side Elevation View

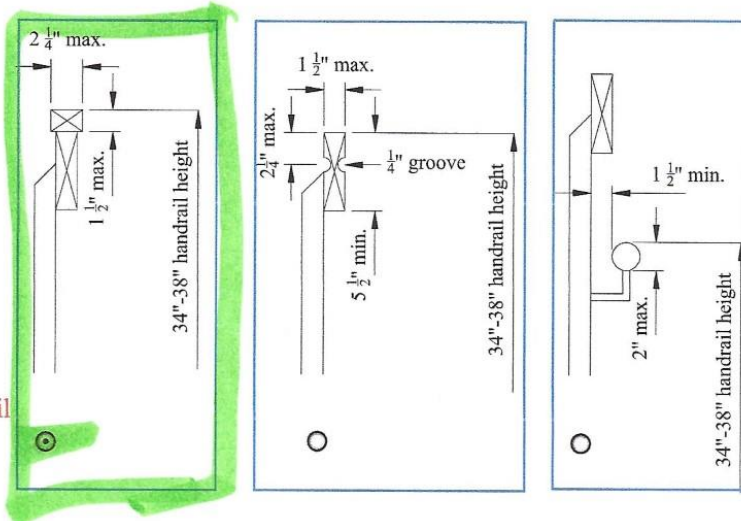
The actual field construction shall match the approved plans. All field changes and/or deviations require an Engineering Change approval.



Stair Section View

Handrail Sections

[12] Choose a handrail grip style:



Application No.

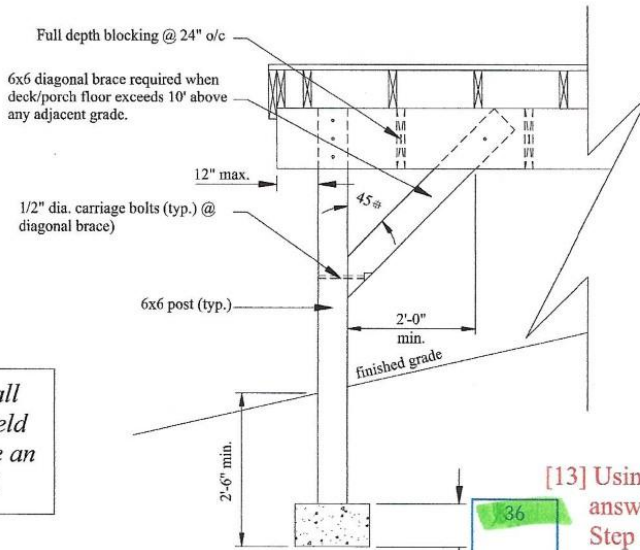
Sheet No.

3 of 4

Residential Deck Drawings

Post & Beam Detail

The actual field construction shall match the approved plans. All field changes and/or deviations require an Engineering Change approval.



[13] Using the answer from Step 5, fill in the footing depth in inches.

36

Ledger Board Details

[14] Choose the ledger board detail that applies.

Flashing required from under the siding, over top and behind ledger board, with drip-edge at ends.

Ledger board same size as deck joist, min.

Metal joist hanger

Through bolts or lag screws into rim joist (or wall studs). Min. two bolts @ each end. See table on Sheet 1.

Siding Applications

Through bolts or lag screws into rim joist (or wall studs). Min. two bolts @ each end. See table on Sheet 1.

Ledger board same size as deck joist, min.

Metal joist hanger

Caulk to surround all ledger board bolts. Provide spacer to allow for drying.

Weep holes not blocked or covered

Brick Veneer Applications

Through bolts or expansion anchors. Min. two bolts @ each end. See table on Sheet 1.

Ledger board same size as deck joist, min.

Metal joist hanger

Caulk to surround all ledger board bolts. Provide spacer to allow for drying.

Brick/Block Applications

Through bolts or expansion anchors. Min. two bolts @ each end. See table on Sheet 1.

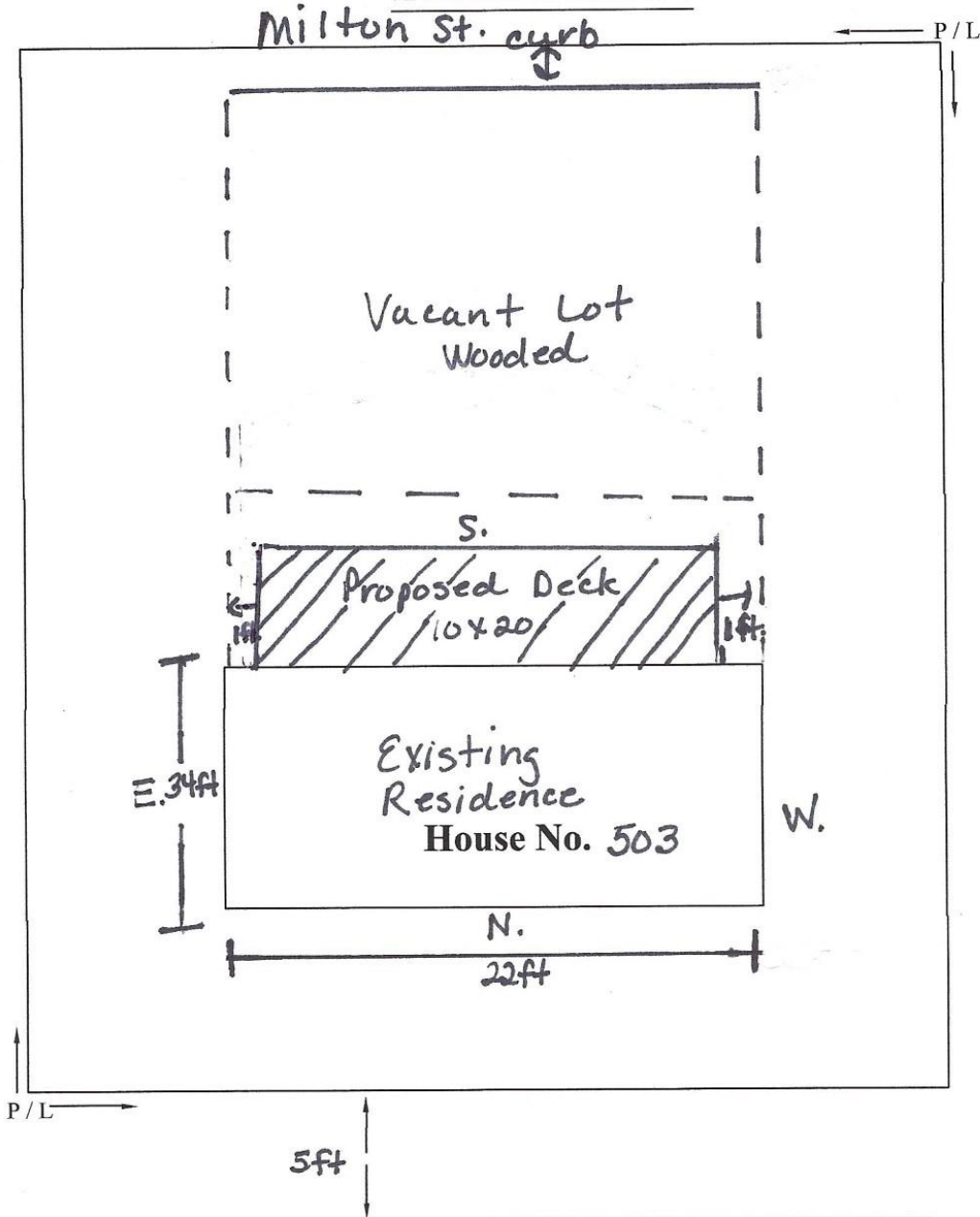
Ledger board same size as deck joist, min.

Metal joist hanger

Caulk to surround all ledger board bolts. Provide spacer to allow for drying.

Concrete Applications

SITE PLAN



Curb Line

Boal Street

Street Centerline (Name)

Curb Line

Sambi, Manjit

Application No.

Sheet No.

5 of 5

From: eztrak@cincinnati-oh.gov
Subject: ezTrak Online Permit application Confirmation - 313AB-360A4-31
Date: April 3, 2016 at 10:18 PM
To: manjit sambi manjitsambi@yahoo.com
Cc: jay.erndt@cincinnati-oh.gov, sam.thompson@cincinnati-oh.gov, peggy.martin@cincinnati-oh.gov, jan.breen@cincinnati-oh.gov, jackie.manning@cincinnati-oh.gov, jessica.moses@cincinnati-oh.gov, lisa.super@cincinnati-oh.gov, drew.carroll@cincinnati-oh.gov, anne.barbieri@cincinnati-oh.gov, otto.bauer-nilsen@cincinnati-oh.gov, shanda.green@cincinnati-oh.gov, teia.letcher@cincinnati-oh.gov

Your online application has been successfully submitted. You can sign in to the ezTrak application to view and track the application online.

Online Application - Confirmation ID: 313AB-360A4-31

Application Date: 4/3/2016

Project Information

Address: 503 BOAL ST (CINC)

Parcel Number: 008600010055

Project Contacts:

Contact	Name	Address	Phone 1	Phone 2	License #
OWNER	SAMBI MANJIT S	503 BOAL ST, CINCINNATI OH manjitsambi@yahoo.com 45202	5134772676	5138025856	
PRMRYCNTCT	Manjit S Sambi	503 Boal Street, Cincinnati OH 45202	513-477- 2676	513-802- 8586	
CONTRACTOR	MANJIT SAMBI	503 BOAL STREET, CINCINNATI OH 45202	(513) 477- 2676	5138025856	

residential - Residential, Deck.

Number of Dwelling Units in the Building: **Single Family**

Estimated Cost of Project: \$ 1800

Proposed Work:

residential,Deck.:Back of home

The owner of this building and the applicant do hereby covenant and agree to

comply with all the laws of the State of Ohio and the Zoning resolutions of the County of Hamilton, pertaining to building and buildings, and to construct the proposed building or structure or make the proposed change or alteration in accordance with the plans and specifications submitted herewith, and certify that the information and statements given on this application, the drawings and the specifications are to the best of their knowledge, true and correct.

Note: Filing this application does not constitute permission to begin work.

-
- ezTrak Home
- Review Records
- Contractors »
- Pay Online »
- ezLinks »
- Apply-Permits »
- Sign Out
- Registration
- Member Home

Online Application - Deck Permit -Buildings

Location:503 BOAL ST, CINCINNATI

Step:11 - Final Instructions

- Your Online application has been successfully submitted but not yet accepted for application review.
- The confirmation-id is **313AB-360A4-31**.
- Please read the permit guides to fulfill all requirements for acceptance of applications.
- Only after all required information, documents and drawings are submitted will your online application will be considered accepted.
- Upon acceptance review your online application periodically to monitor notifications for document submissions and payments.
- Your Member Home page will give you access to track online applications, submit documents and make payments.

Done



ULTRA TECHNIC SERVICES, INC.

GEOTECHNICAL, ENVIRONMENTAL, FOUNDATION, SOILS and MATERIALS ENGINEERS

December 8, 2016
C100542.001

Mr. Manjit Sambhi
503 Boal Street
Cincinnati, OH 45202

**RE: GEOTECHNICAL EVALUATION OF WOODEN DECK
FOOTINGS
503 BOAL STREET
CINCINNATI, OH 45202**

Dear Mr. Sambhi:

As requested, the writer performed a geotechnical evaluation of footings installed for the new deck constructed at the rear of your property at the above referenced address. The purpose of this evaluation was to verify the suitability of the footings for supporting the deck. The work performed for this evaluation included the following:

1. Review of the City of Cincinnati's geotechnical requirements, the existing site conditions and the subsurface conditions of the area of the site as established from projects being overseen by the writer near the site.
2. Review of the footing installation from records provided by owners.
3. Excavation and drilling of probe holes near each deck footing to assess the bearing soil. The probe holes were made by drilling a 1" hand auger adjacent to each footing and assessing the strength and composition of the material recovered. The probe holes were drilled to depths ranging from 6" to 3' to refusal on rock fragments.

Based on the results of the above work, we present the following paragraphs summarizing the existing site conditions, our conclusions and recommendations.

Existing Site Conditions

The wooden deck in question is located at the rear of the existing residence. The residence is a 2-story brick building measuring 24' wide and 36' deep in dimensions. The Hamilton County auditor's website indicates that the residence was built in 1890 (126 years ago). The residence is sandwiched between two other residences (501 and 505 Boal Street), which were about the same height. The residence at 501 Boal Street is about 20' wide and 40' deep (2' deeper than the residence in study), with a 10' deep deck at its rear. The residence at 505 Boal Street is 34' wide and 48' deep (10' deeper than the house in the study). Thus, the deck in question is sandwiched by the rear portion of these two houses. The deck is about 24' wide, same width as the house, about 10' deep, and about

22' above the rear yard. The house has a 2-level basement with the lower basement level daylighting about 2 to 3' above the rear grade. Thus, the deck is located at the first floor or street level.

The footings for the deck were installed in the ground below the rear yard. The owners indicated that 36" diameter hand dug piers bearing at 36" below the rear grade were installed for the support of the six deck footings. A 14" thick, 36" diameter concrete footings was reportedly poured at the bottom of the excavation to support 12" diameter reinforced concrete pier on which each deck post was supported. The concrete piers were formed using 12" diameter sonitubes installed to about 2' above the rear grade. The ground at the rear of the residence in the study was retained at the rear property limit by a 10' high stone retaining wall. The wall appeared to be structurally strong with no noticeable evidence of distress. The rear yard above the wall was framed with stone pavers. There was no noticeable evidence of cracking of this concrete paved ground except a small crack between the back of this wall and the paved ground. Thus, this rear yard ground appeared to be quite stable considering that only less than about 1/2" movement as indicated by the crack width between the rear face of the wall and the paved ground had occurred in the 126 years of the residence's existence.

The subsoil conditions encountered in the probe holes and as inferred from the conditions at nearby sites consisted of stiff lean clay with limestone fragments. This material has been interpreted as fill. However, judging from the high resistance encountered in the soil during hand auger probing, the material was judged to be a compact fill. This material should be suitable for supporting a safe bearing pressure of at least 3000 psf which should be adequate for the support of the deck footings.

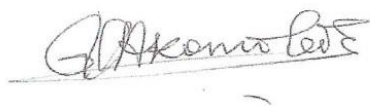
Conclusions and Recommendations

Judging from the subsoil condition exposed by the hand auger probing, the stable rear yard ground and the generally stable rear stone retaining wall, it is our conclusion that the existing deck footings as constructed should be suitable for supporting the deck post. The writer, therefore, recommends that these deck post footings be approved as constructed. However, due to the significant height of the deck (22') above the rear yard, additional cross bracings should be installed above the concrete piers to increase the rigidity and the overall stability of the deck. The cross bracing should run north – south and east – west from the top of each post to within about 1' above the concrete piers supporting the posts as shown in the attached sketch.

We trust the content of the above report meets your present needs and we assure you of our best attention at all times. Please call the writer if you have any comments or questions.

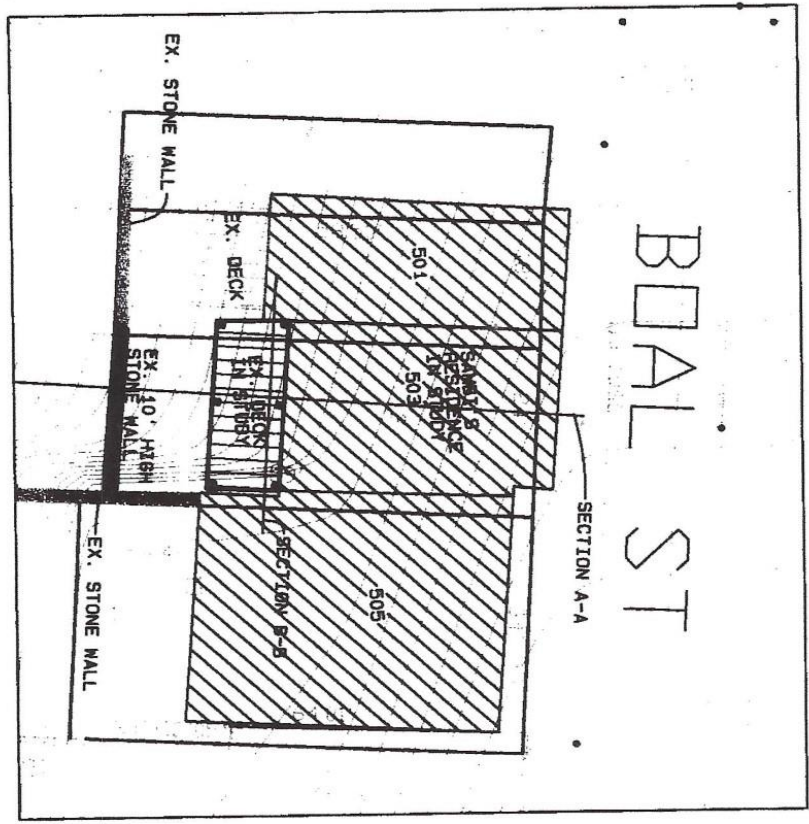
Respectfully submitted,

ULTRA TECHNIC SERVICES, INC.



Dr. Olusegun G. Akomolede, P.E., PhD
President/Chief Geotechnical Engineer

BOAL ST



ULTRA TECHNIC CONSTRUCTION, LLC
6531 WEST CHESTER ROAD,
WEST CHESTER, OH 45069
MANJIT SAMBI RESIDENCE
503 BOAL STREET
CINCINNATI, OHIO 45202

GEOTECHNICAL EVALUATION OF
EXISTING DECK FOOTINGS

DWG BY: OBA DATE: 12-07-16

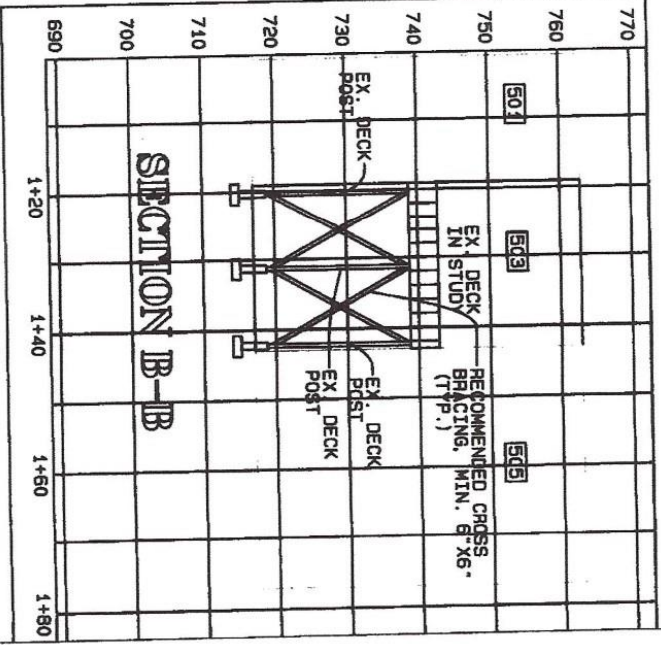
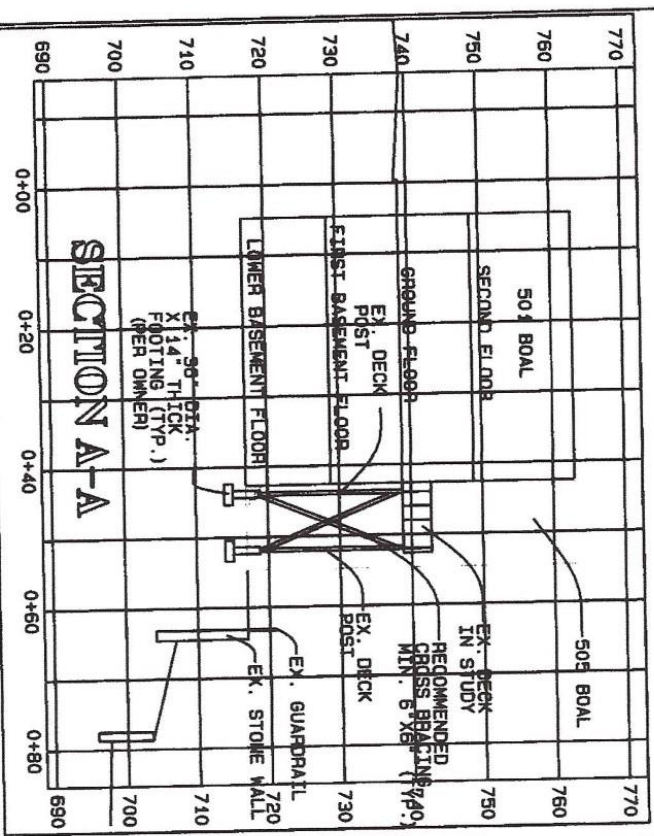
SITE PLAN

(BASED ON CAGIS)

GRAPHIC SCALE

1" = 20'





ULTRA TECHNIC CONSTRUCTION, LLC
 6531 WEST CHESTER ROAD,
 WEST CHESTER, OH 45069
 MANJIT SAMBI RESIDENCE
 503 BOAL STREET
 CINCINNATI, OHIO 45202

GEOTECHNICAL EVALUATION OF
 EXISTING DECK FOOTINGS

DWG BY: OBA DATE: 12-07-16



CITY OF CINCINNATI
DEPARTMENT OF CITY PLANNING
BUILDINGS AND INSPECTIONS DIVISION
STATEMENT OF SPECIAL INSPECTIONS

LOCATION: 503 BOAL STREET, CINCINNATI, OH 45202

PERMIT APPLICATION NUMBER: _____
(by City)

X

Because of the complexity, size, or special conditions associated with this project, the special inspections checked under "REQ" on the attached schedule are to be provided by the owner or owner's agent, other than the contractor, as required by Section 1704.1.1 of the Ohio Building Code (OBC).

Please indicate the inspection agent performing the specific inspections, the Inspection Coordinator who will submit the reports required by Section 1704.1.2 OBC and the extent of inspection services if other than full-time.

This *Statement of Special Inspections* shall be submitted as a condition for permit issuance. It includes a Schedule of Special Inspections applicable to this project as well as the name of the special inspectors, and the identity of other testing laboratories or agencies intended to be retained for conducting these inspections. Special Inspectors and testing agency personnel shall be under the direct supervision of a registered design professional who shall sign inspection reports; otherwise the qualifications of the person performing the inspections shall be submitted to the Department for acceptance.

An overall inspection coordinator shall keep records of all inspections and tests and shall furnish such reports to the code official and to the design professional of record. All discrepancies shall be brought to the immediate attention of the contractor for correction. If the discrepancies are not corrected, the discrepancies shall be brought to the attention of the code official and the design professional of record. Interim reports shall be submitted to the code official and the design professional of record monthly, unless more frequent submissions are requested by the code official.

During the course of construction, additional third party inspections may be required in addition to those specified in the attached schedule if conditions warrant.

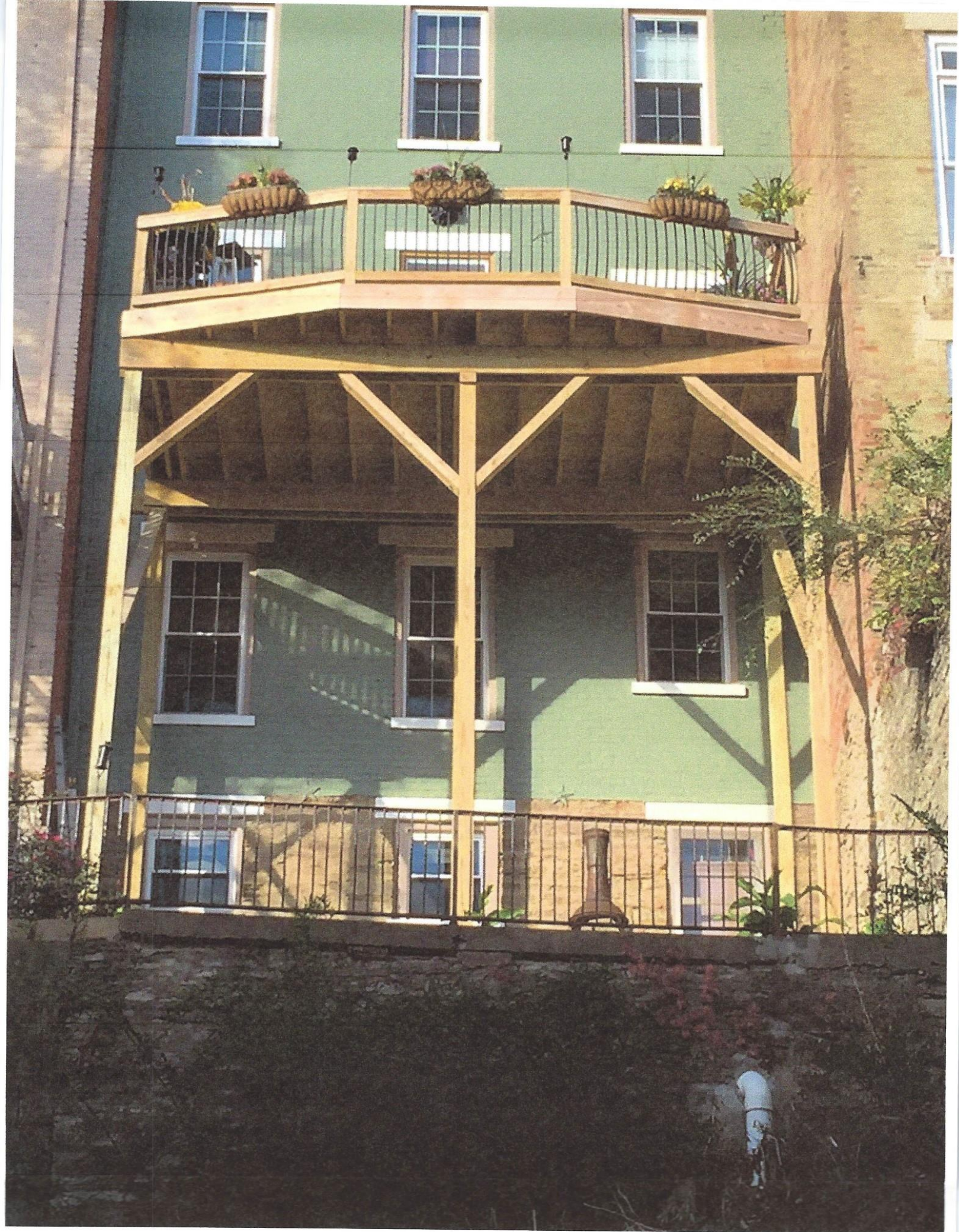
Date

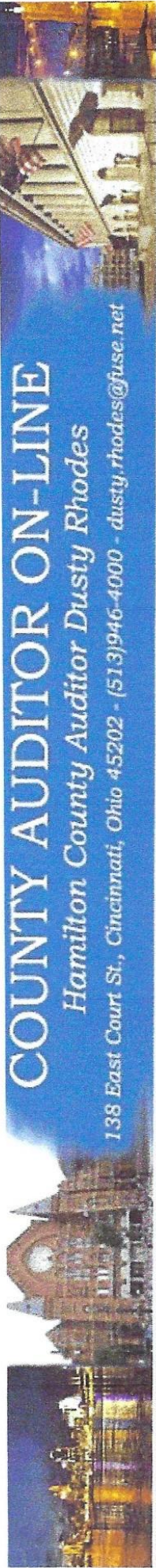
P.E. or R.A.

SCHEDULE OF SPECIAL INSPECTIONS

ITEM	REQ.	INSP. AGENCY	SCOPE
1. Soils and foundations (1704.7) Geotech Inv.			
a) shallow foundations	✓	ULTRA TECHNIC SERV	PROBE HOLES / EXCAVATION
b) controlled structural fill			
c) deep foundations/piles/caissons/piers			
d) excavation/fill	✓	ULTRA TECHNIC SERV	SITE INSPECTION / RESEARCH
e) soil stability/landslide			
2. Concrete (1704.4)			
A. Cast-in-place concrete			
a) mix design			
b) material certification			
c) reinforcement & installation			
d) post-tensioning operation			
e) batching plant			
f) formwork geometry			
g) concrete placement			
h) evaluation of concrete strength			
i) curing & protection			
j) other			
B. Pre-cast Concrete			
a) plant certification / quality control procedures			
b) mix design			
c) material certification			
d) reinforcement installation			
e) pre-stress operations			
f) connections / embedded items			
g) form work geometry			
h) concrete placement			
i) evaluation of concrete strength			
j) curing protection			
k) erected pre-cast elements			
l) other			
3. Masonry (1704.5)			
a) material certification			
b) mixing of mortar and grout			
c) installation of masonry			
d) reinforcement installation			
e) grouting operations			
f) weather protection			
g) evaluation of masonry strength			
h) anchors and ties			
i) other			
4. Steel (1704.3)			
A. Structural Steel			
a) fabricator certification/quality control procedures			
b) material certification			
c) open web steel joists			
d) bolting			
e) welding			
f) shear connectors			
g) structural details			
h) metal deck			

SCHEDULE OF SPECIAL INSPECTIONS			
ITEM	REQ.	INSP. AGENCY	SCOPE
4. Steel			
B. Cold Formed Steel Framing			
a) member sizes			
b) material thickness			
c) material properties			
d) mechanical connections			
e) welding			
f) framing details			
g) other			
5. Spray Applied Fire-Resistant Material (1704.11)			
a) material specifications			
b) laboratory tested fire-resistance design			
c) schedule of thickness			
d) surface preparation			
e) application			
f) curing and ambient condition			
g) thickness			
h) density			
i) bond strength			
j) other			
6. Wood Construction (1704.6)			
a) fabricator certification			
b) material grading			
c) connections			
d) framing details	✓	ULTRA TECHNIC SERV.	REVIEW / INSPECTION OF FRAMING
e) other			
7. EIFS (1704.12)			
a) material submittals			
b) condition of substrate			
c) application of foam plastic board			
d) application of coatings			
e) application of mesh			
f) curing and ambient condition			
g) flashing and joint details			
h) sealants / caulk			
i) other			
8. Mechanical System			
a) smoke control (1704.14)			
b) mechanical HVAC and piping			
c) other			
9. Special Cases (1704.13)			
10. Other Requirements			





COUNTY AUDITOR ON-LINE

Hamilton County Auditor Dusty Rhodes

138 East Court St., Cincinnati, Ohio 45202 - (513)946-4000 - dusty.rhodes@fuse.net

Online Property Access

< First << Prev Next >> Last >

RETURN TO SEARCH LIST

Property

I Want To...

- Start a New Search
- Email the Auditor
- View the Online Help
- Auditor's Home

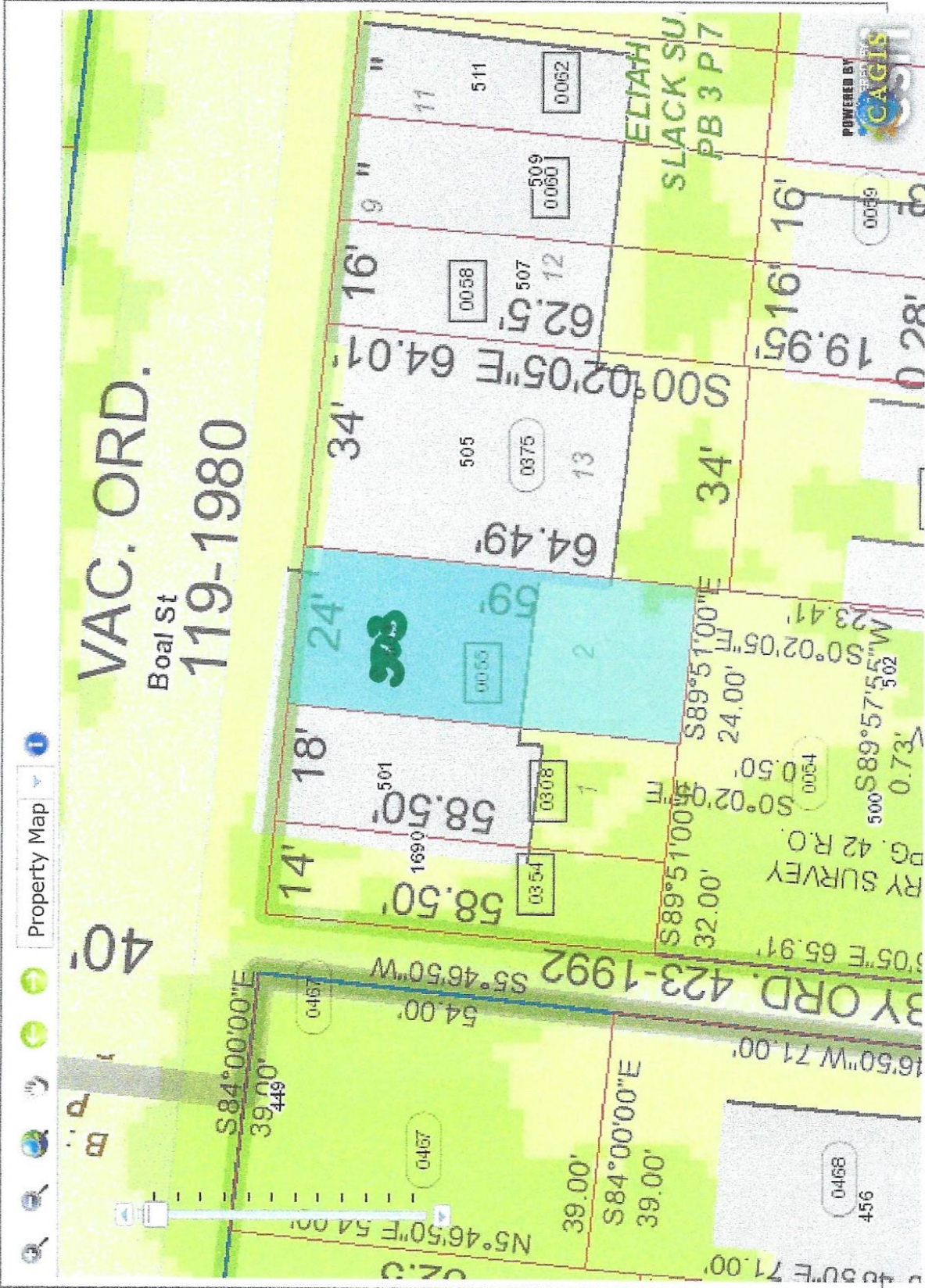
View:

- Property Summary
- Appraisal Information
- Levy Information
- Transfer
- Value History
- Board of Revision
- Payment Detail
- Tax Distributions
- Images
- Special Assessments
- Tax Lien Certificates
- CAGIS Online Maps**
- Aerial Imagery
- Owner Names

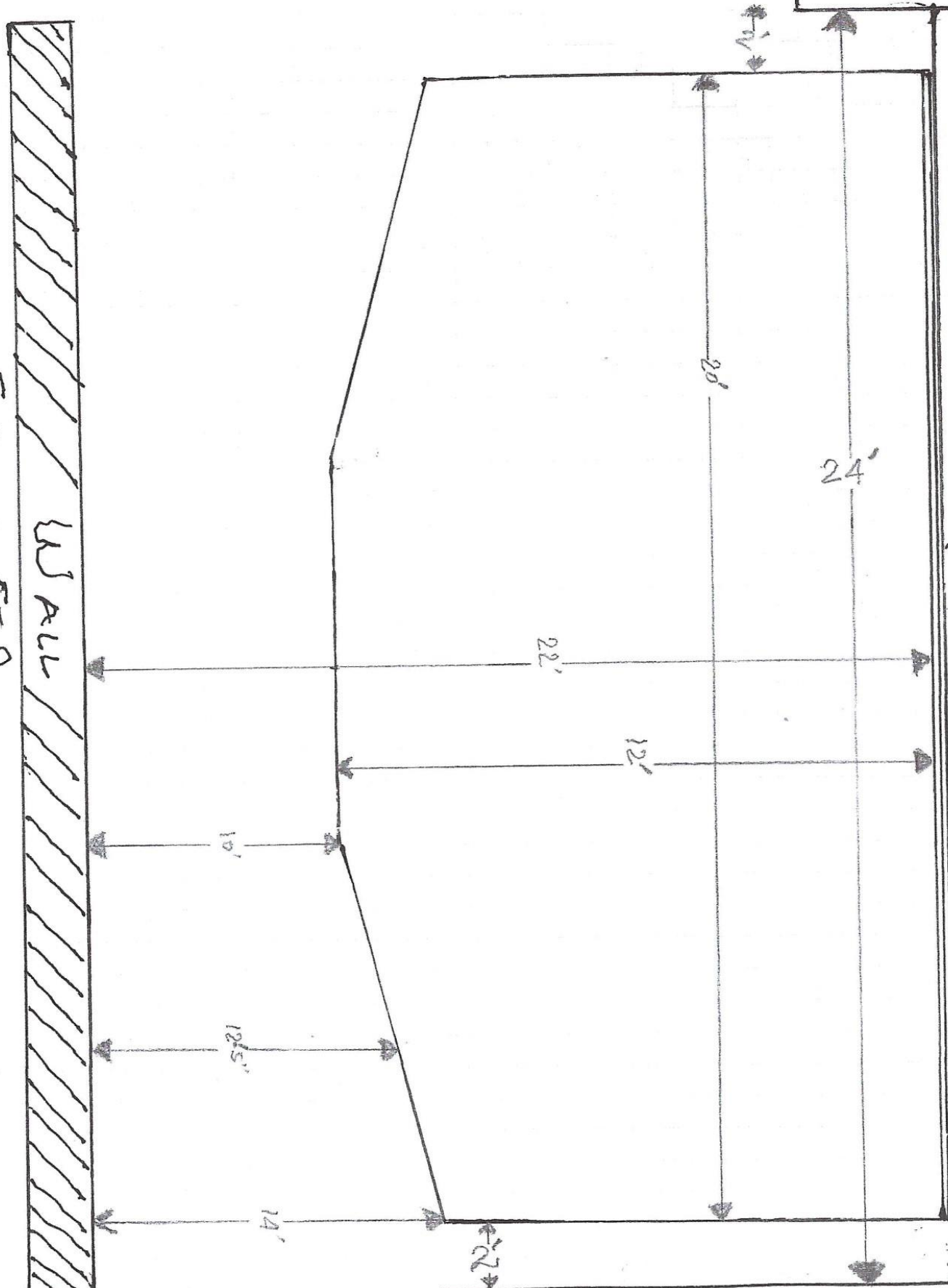
Print:

- Current Page
- Property Report

Parcel ID 086-0001-0055-00 **Address** 503 BOAL ST **Index Order** Parcel Number **Tax Year** 2016 Payable 2017



501 BOAL

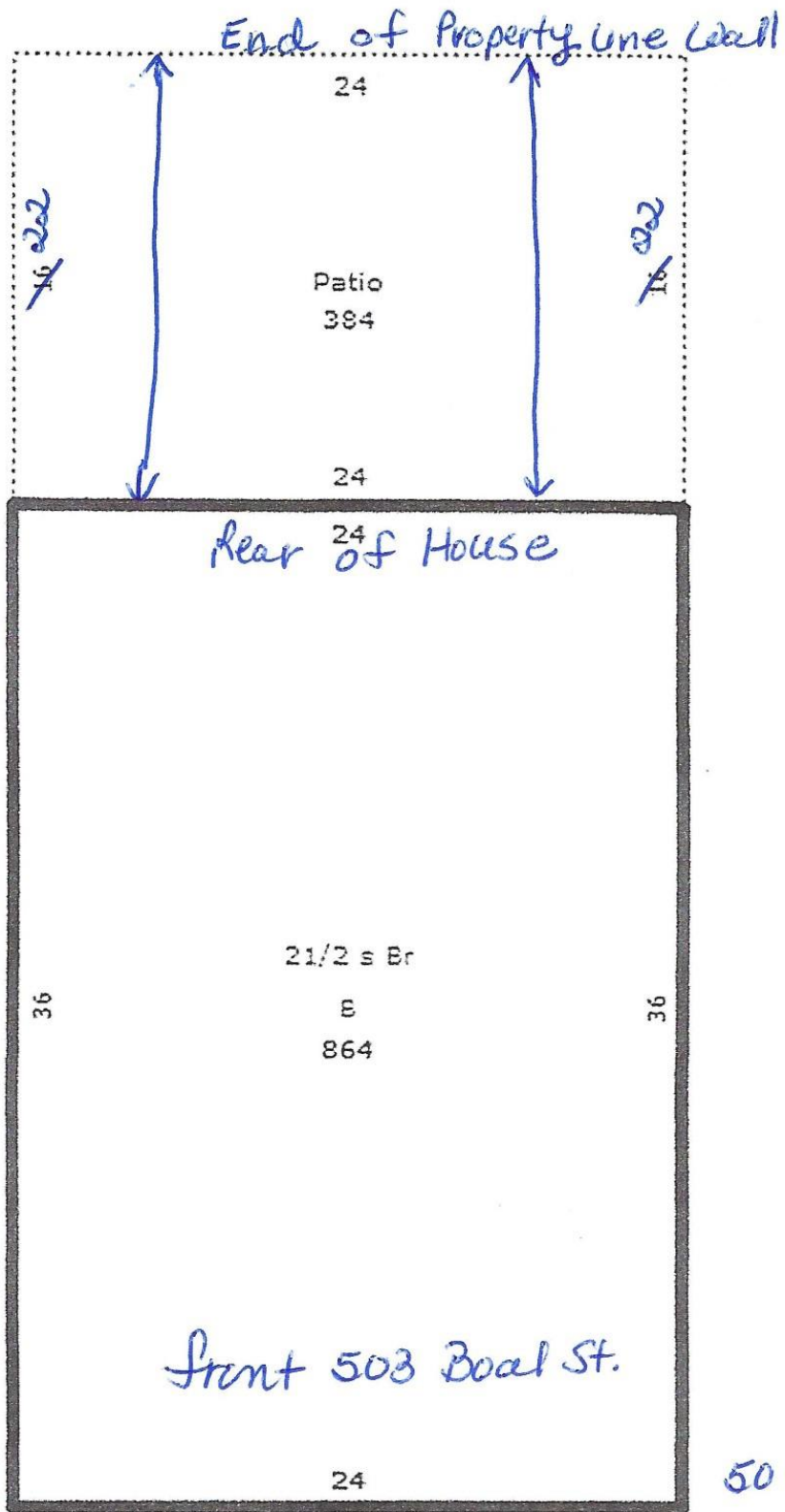


500 & 502 MILTON

WALL

503 BOAL

505 BOAL



Online Property Access

| < First << Prev Next >> Last > | **RETURN TO SEARCH LIST** Property 3 of 7

Parcel ID 086-0001-0055-00	Address 503 BOAL ST	Index Order Parcel Number	Tax Year 2016 Payable 2017
--------------------------------------	-------------------------------	-------------------------------------	--------------------------------------

Aerial Imagery



- I Want To...**
- [Start a New Search](#)
 - [Email the Auditor](#)
 - [View the Online Help](#)
 - [Auditor's Home](#)
-
- View:**
- [Property Summary](#)
 - [Appraisal Information](#)
 - [Levy Information](#)
 - [Transfer](#)
 - [Value History](#)
 - [Board of Revision](#)
 - [Payment Detail](#)
 - [Tax Distributions](#)
 - [Images](#)
 - [Special Assessment/Payoff](#)
 - [Tax Lien Certificates](#)
 - [CAGIS Online Maps](#)
 - [Aerial Imagery](#)
 - [Owner Names](#)
-
- Print:**
- [Current Page](#)
 - [Property Report](#)

Aerial View - 503 Boal
(green)

503 Deed

Decks @ 501, 507, 509, 511



Online Property Access

| < First << Prev Next >> Last > | **RETURN TO SEARCH LIST** Property 3 of 7

Parcel ID 086-0001-0055-00	Address 503 BOAL ST	Index Order Parcel Number	Tax Year 2016 Payable 2017
--------------------------------------	-------------------------------	-------------------------------------	--------------------------------------

I Want To...

- [Start a New Search](#)
- [Email the Auditor](#)
- [View the Online Help](#)
- [Auditor's Home](#)

View:

- [Property Summary](#)
- [Appraisal Information](#)
- [Levy Information](#)
- [Transfer](#)
- [Value History](#)
- [Board of Revision](#)
- [Payment Detail](#)
- [Tax Distributions](#)
- [Images](#)
- [Special Assessment/Payoff](#)
- [Tax Lien Certificates](#)
- [CAGIS Online Maps](#)
- [Aerial Imagery](#)
- [Owner Names](#)

Print:

- [Current Page](#)
- [Property Report](#)

Images

Image Photo 10/17/2014

[View Full-Size](#)

*Front Image of House
after ownership*

7/21/2008

4 months prior to
ownership



APPLICATION FOR ZONING RELIEF AND CERTIFICATE OF APPROPRIATENESS HISTORIC CONSERVATION BOARD PUBLIC HEARING STAFF REPORT

APPLICATION #: ZH20170033/COA2017015
APPLICANT: Platte Architecture and Design, for R2 Investments
OWNER: Fred Masters, Scott Masters
ADDRESS: **1216-1218 Race Street**
PARCELS: 081-0004-0208, 207, 206
ZONING: CC-P
OVERLAYS: Over the Rhine Historic District
COMMUNITY: Over the Rhine
REPORT DATE: March 30, 2017
HEARING DATE: Prehearing March 22, 2017
STAFF REVIEW: Beth Johnson, Urban Conservator

Details of Zoning Relief Required:

1. §1409-07: Lot area/dwelling unit is 700 sf. The lot area (75 x 95.10) would allow 10 residential dwelling units. The proposal is for 20 dwelling units thus requiring a variance of 6,967.5 sf.
2. §1409-19 (b): Outdoor Eating Areas: Where there is an outdoor eating area installed on the street frontage, the build-to line may be altered, provided the building is setback not more than 12 feet from the street lot line or at least 40 percent of the building facade meets the build-to line and an outdoor eating area is limited to a maximum area of 12 times the building street frontage in linear feet. Only 18.6%, 14 feet, of the building meets the build to line. A variance of 21.4%, 16 feet, would be required.
3. §1425-19: The required parking is 1 space per dwelling unit and 1 space per 150 sf. of Eating and Drinking Establishment including outdoor patio space. Proposed project would require 20 residential spaces and the commercial/eating drinking establishment would require 11 spaces (3,690 sf – 2,000 sf for exempt). This would be a required total of 31 spaces and the applicant is providing 0 parking spaces onsite or on administratively acceptable offsite locations per § 1425-15. The applicant must seek a variance as to the number of required spaces, or seek a Special Exception as to how to manage the off-site parking, potentially through a lease.

Nature of Request:

The applicant is requesting a Certificate of Appropriateness for a demolition of two non-contributing structures and a Certificate of Appropriateness for the construction of a commercial-residential mixed-use building, with 5 and 6 story portions surrounding a courtyard and connected by a multi-story access and stairwell system on the newly vacant lot.

Existing Conditions:

1216-1218 Race Street are currently two separate lots with two one story masonry non-contributing commercial buildings. The lots are mid block facing Washington Park and are adjacent to a 4 story and 3 story contributing buildings.



Figure 1: Street view of 1216-1218 Race Street. Pictures provided by Google Street Views.



Figure 2: Map of 1216-1218 Race Street. Map provided by Cagis Maps

Proposed Conditions:

The proposal at 1216-1218 Race Street

1. Demolish the two non-contributing buildings
2. Construct a new 5 story portion of the building in the front and a 6 story portion of the building with penthouses and roof top decks in the rear. The buildings will be connected but will have a courtyard in the middle of the building. The project is considered one building per the building code.
 1. The new building will be sided in a dark gray brick on the front
 2. The rear will be a dark gray CMU and a metal panel system.
 3. The storefront will be recessed at an angle along the front with pillars at the corners and the center at the street line to accommodate a streetside Outdoor Area for the proposed restaurant.
 4. The building will be massed with zero lot line setbacks at the front, south side and rear and provide a minor setback for fire exits and neighboring windows on the north side.
 5. The front will have single, paired and tripled windows the tripled widows will be recessed and will have a glass balcony
 6. The fifth floor will be recessed from the front with a projecting roof.

Previous Review: NA

Applicable Zoning Code Sections:

Zoning District:	Section 1409	Commercial
Variance Requests:	Section 1409	Development Standards
	Section 1425	Parking Regulations
Variance Authority:	Section 1445-07	
HCB authority:	Section 1435-05-4	
Variance Standard:	Section 1445-13	General Standards: Public Interest
	Section 1445-15	Standards for Variances
Overlays:	Section 1435	Historic Preservation
Historic District/Reg:		Over the Rhine Historic District
COA Standard:	Section 1435-09-2	COA; Standard of Review

Zoning Analysis:

At this time staff does not feel that enough support or evidence has been provided to staff to justify that there is a hardship of any nature, to allow for a doubling in the density allowances, to not have the applicant attempt to provide any of the required parking, as well as justifying the extensive amount of building recess on the ground floor of the building. A hardship as defined by the zoning code in section 1435-15 is

- (a) *Owing to special circumstances or conditions pertaining to a specific piece of property, the strict application of the provisions or requirements of this Code or the Land Development Code, as applicable, are unreasonable and would result in practical difficulties.*

- (b) *The variance is necessary for the preservation and enjoyment of a substantial property right of the applicant possessed by owners of other properties in the same district or vicinity.*

The applicants, though requested by Staff on a number of occasions, have not provided any evidence that the property meets either of these conditions. The properties are both normal sized properties for the district and when combined will be one of the wider properties along Race Street, providing more than sufficient lot area to potentially need no variances.

1. There is no difficult geography circumstance that prevents a portion of the lot from being buildable or to provide parking, for example.
2. As the project is an infill, the request to seek 200% of the density maximum must be justified by the applicant. What are the grounds of the request, except for maximizing a prime piece of real estate? Environmental remediation? Costly demolition? Excessive purchase price? The project, by creating a very Large Eating and Drinking Establishment and asking for twice as many dwelling units as legally permitted, is imposing itself upon the common utilities of the neighborhood at about the greatest capacity it could seek. Yet it does not propose ANY mitigating values, such as controlling its parking, minimizing visual impact, or because of height, contextually reviewing how the building looks from all directions. For the Board to weigh this project effectively, the Staff must be provided with some compelling reason to recommend the variances. To date, none have been provided.
3. The request to have outdoor seating on the sidewalk at the front of the building and an increase of more than double the allowed facade setback from the “build-to” line is a desire and not a hardship. Staff suggested other options such as an accordion window which would allow the patrons to have an open experience while meeting the intention of the zoning code as well as the intention of the Historic Conservation Guidelines.
4. Increase in parking demand is also not a hardship as it’s a condition that has been caused by the applicant’s programmatic design to double the density on the lot and the applicant’s choice not to create any parking within the project, even though it has capability to provide some through the alley area. Applicant also has not availed itself to finding offsite parking, via ownership or lease, though every other project in the past year within OTR has done so. The applicants have stated they are in discussions with 3CDC over leasing the required spaces, however no commitments have been provided to staff. In other cases, 3CDC has provided written confirmation of their availability to the Board at the time of the meeting. Previous approvals utilizing 3CDC parking have also demonstrated that proximate garages are at near capacity, thus parking is probably not available to offer.

While Staff in the recent past has in reviewed some relief of parking requirements, Staff has been very clear and insistent that new developments deliver upon the intent of the law and in fact, secure some significant part of their parking requirement. We have

often favored solutions where other applicants provided a significant aspect of their residential parking requirement because of the difficulty residents have expressed in having some known place to park, whether owned or leased. Eating and Drinking Establishments generate the highest demand of all uses within OTR. Washington Park is the epicenter of activity, and the garage in previous reviews has often been allocated for a significant percentage of its capacity to leases, as well of its night activities that occur many nights per week. The onus to demonstrate its demand drivers will park is upon the Applicant. To date, no solutions or hardships have been demonstrated. The actually needed amount may vary, as the Applicant has sought such a significant density of use. However, Staff will not in any way support granting a 100% variance to the project request but will, as demonstrated previously, be supportive of the applicant proposing solutions to mitigate their parking generation rate, such as a lease for the required parking spots within 600 feet of the lot and parking onsite.

Below is analysis of the consideration factors for all of the requested zoning actions, utilizing Section 1445-13, General Standards; Public Interest.

- a. **Zoning.** The proposed work conforms to the underlying zone district regulations and is in harmony with the general purposes and intent of the Cincinnati Zoning Code.

The underlying zoning is CC-P. The proposed use of the subject property does not conform to the zoning as it is doubling the density of the property that is permitted and therefore does not meet the intent of the CC-P zoning district. The applicants have provided NO justification warranting such a drastic increase within their request.

- b. **Guidelines.** The proposed work conforms to any guidelines adopted or approved by Council for the district in which the proposed work is located.

The proposed work does not substantially conform to the guidelines for the Over-the-Rhine Conservation District. (Refer to Certificate of Appropriateness review below)

- c. **Plans.** The proposed work conforms to a comprehensive plan, any applicable urban design or other plan officially adopted by Council, and any applicable community plan approved by the City Planning Commission.

This project conforms to the Over the Rhine Comprehensive Plan through creating a mixed-use development that supports a walkable community. However, it does not conform to the Plan as the proposed structure does not address the street in a consistent pattern that the historic buildings create.

The Comprehensive Plan also calls for developments within Historic Districts to support the historic conservation efforts and as in staff's review, the development does not substantially conform to the historic district guidelines, the development does not support the historic conservation efforts.

- d. **Traffic.** Streets or other means of access to the proposed development are suitable and adequate to carry anticipated traffic and will not overload the adjacent streets and the internal circulation system is properly designed.

Traffic will be impacted by the construction of this infill project as it would double the allowed density on the lot as well as create a restaurant with over 3,600 sf of space, which would make it one of the largest restaurants in the vicinity. The Anchor and Zulu, both along Washington Park are approximately 2,000 sf. Salazar a block off of Washington Park is approximately 1,200 sf. Most of the restaurants along the 1200 block of Vine are under 2,000 sf. The closest restaurant in size would likely be Kaze at 1400 Vine. The applicants are also asking for additional space to allow seating on City Right of Way. As the applicants have a larger space than the majority of restaurants in the direct vicinity they are already at an advantage of most other places and asking for additional space will add an increase in parking demand and an increase in traffic.

- e. **Buffering.** Appropriate buffering is provided to protect adjacent uses or properties from light, noise and visual impacts.

This is not applicable.

- f. **Landscaping.** Landscaping meets the requirements of Chapter 1423, Landscaping and Buffer Yards.

This is not applicable.

- g. **Hours of Operation.** Operating hours are compatible with adjacent land uses.

This is not applicable. The property is more than 500 feet from any residentially zoned area and therefore does not have limitations on the outdoor patio size, Outdoor Entertainment restrictions, or hours of operation other than what is required of all properties per the Cincinnati noise ordinance.

- h. **Neighborhood Compatibility.** The proposed work is compatible with the predominant or prevailing land use, building and structure patterns of the neighborhood surrounding the proposed development and will not have a material net cumulative adverse impact on the neighborhood.

The proposed use of a mixed use development with residential on the upper stories and commercial on the first floor is compatible with the neighborhood. However, the building design is not compatible with the neighborhood. In the Certificate of Appropriates Review below, staff will detail how the building is not compatible with the neighborhood.

As it pertains to the direct variance request, the request in the increase of articulation is not compatible with the neighborhood. Other buildings along Race Street have the first floor at the setback line and have small articulations for entrances, the large increase in articulation and especially an articulation at an angle is not compatible with the neighborhood.

- i. **Proposed Zoning Amendments.** The proposed work is consistent with any proposed amendment to the zoning code then under consideration by the City Planning Commission or Council.

There are no proposed amendments under consideration that would impact this proposed project.

- j. **Adverse Effects.** Any adverse effect on the access to the property by fire, police, or other public services; access to light and air from adjoining properties; traffic conditions; or the development, usefulness or value of neighboring land and buildings.

The request to double the density allowances of the property also causes the design to have 6 stories along the alley. This increase in height is 3 stories above adjoining properties to the north and south and 2 stories over the properties to the east of the alley. The proposal will decrease access to light and air to the adjoining properties as well as will increase traffic around these properties.

- k. **Blight.** The elimination or avoidance of blight.
The current properties are in good condition and are not considered blighted properties.

- l. **Economic Benefits.** The promotion of the Cincinnati economy.
The proposed work will increase the property value of the subject parcels.

- m. **Job Creation.** The creation of jobs both permanently and during construction.
The proposed project will create temporary jobs during construction and will provide permanent jobs at the restaurant on the first floor and with the property management of the apartments.

- n. **Tax Valuation.** Any increase in the real property tax duplicate.
Property taxes will increase due to the improved value of the significantly larger structure on the property.

- o. **Private Benefits.** The economic and other private benefits to the owner or applicant.
The owner has an economic benefit to the proposed establishment and is maximizing it with twice the allowed density and seeking a high impact, high rent Eating and Drinking Use, uniquely positioned along the park, unlike nearly any other property surrounding the park.

- p. **Public Benefits.** The public peace, health, safety or general welfare.
- *As the design of the building does not meet the Over-the-Rhine Historic Conservation District Guidelines there will be a detriment to the public welfare of the neighborhood if a project that does not follow the guidelines is approved. When projects that do not substantially meet the guidelines are approved, this weakens the effectiveness of the guidelines and the integrity of the historic district.*
 - *The increase in traffic and parking demand for the project will also be a detriment to the neighborhood. In a neighborhood where parking demand is increasing and density is increasing, being ever so true immediately in the vicinity of Washington Park, there needs to be a balance of development with the parking needs of the neighborhood, particularly for the proposed residential uses.*

Standards for Variances per Section 1435-05-4

- (a) Is necessary and appropriate in the interest of historic conservation so as not to adversely affect the historic architectural or aesthetic integrity of the Historic District of Historic Asset; or

The proposed work will have an adverse effect on the historic architecture and aesthetic integrity of the Historic District and the project does not conform to the Over-the-Rhine Historic Conservation Guidelines.

- (b) Is necessary where the denial thereof would result in a deprivation of all economically viable uses of the property as viewed in its entirety. In making such a determination, the Historic Conservation Board may consider the factors set forth in Section 1435-09-2 (aa) to (ff).

As this is an infill project and there are currently buildings on the lot that are able to be used, a denial of this project would not result in the deprivation of all economically viable use of the property.

Certificate of Appropriateness Review

DEMOLITION

Before consideration on an infill development on the lot, the question of the appropriateness of the demolition needs to be addressed.

In the supplemental Demolition Guidelines it states

2. Approve the demolition of a non-contributing building or a building of a later period and the demolition will not adversely affect the character of the streetscape or the district as determined by the Historic Conservation Board. A list of the non-contributing buildings is provided below.

Both of the buildings are listed as non-contributing buildings on the list. However the demolition of these buildings would adversely affect the character of the streetscape of the district if infill buildings are not built and the site was left vacant. Therefore, staff is only supportive of the demolition when a new infill design that meets the Historic Conservation Guidelines have been approved and the demolition permits are issued concurrently with the building permits for the new building.

NEW CONSTRUCTION

Staff recommendation is that the proposed design substantially deviates from most of the guidelines for New Construction and Infill. Staff has made many recommendations to the applicant on elements that needed to be addressed to make the project more compatible, but those recommendations were not considered by the applicants in subsequent submissions of the designs that they have presented. It is staff opinion that applications should try to meet the majority of the guidelines and should request flexibility with only a few minor guidelines, rather than meet only a couple and ask for flexibility on the majority, which is where staff feels this design currently is.

While staff will go into detail below regarding the specific guidelines the major issues that need to be addressed are

1. Height: The rear of the building is 6 stories tall with penthouses for roof access effectively constituting a 7 story building. Staff feels that this is too tall and while this is on the rear of the property it will still be visible from surrounding streets, both Vine and Elm, and within and throughout Washington Park.
2. Emphasis: The building reads very horizontally and lacks a strong vertical emphasis.
3. Articulation at the openings: the building is very flat and does not have articulation or detailing around the windows or openings.
4. Setback: The first floor is not set at the street line but has an angular setback that is very rarely seen in the neighborhood, but for mostly historic corner doorway entrances that are canted.

Staff comments on the Specific Guidelines for New Construction:

A. Intent and General Guidelines

1. New construction is allowed on vacant sites in Over-the-Rhine, because gaps due to demolition weaken the streetscape and the overall character of the district. New construction can improve both the physical quality and economic vitality of the neighborhood.

The lot would be vacant once two non-contributing building are demolished. As staff states above, staff is only supportive of the demolition in the case an infill project is simultaneously approved by both the Historic Conservation Board and wrecking and building permits are issued concurrently.

2. New construction should be well-designed but should not replicate the existing buildings. The exceptional quality of the existing buildings in the district provides an outstanding framework for new construction.

This infill development does not replicate the existing buildings, but staff does not feel that the building is contextually sensitive to the neighborhood and the historic architecture.

3. The Historic Conservation Board's review of new construction will focus on the design compatibility with the surrounding contributing structures. The appropriateness of design solutions will be based on balancing the programmatic needs of the applicant with how well the design relates to the neighboring buildings and to the intent of these guidelines. New design proposals should pay particular attention to composition, materials, openings, rhythm, scale, proportion and height.

Staff details the compatibility of the project with the guidelines and surrounding buildings below in the specific guidelines.

4. The new construction guidelines for this district will be used to judge the compatibility of new work. The specific site and programmatic needs of each project will be taken into consideration.

Staff details the compatibility of the project with the guidelines and surrounding buildings below in the specific guidelines

B. Specific Guidelines

1. **Composition:** New buildings should respond to the traditional subdivisions found on historic property: a base, a middle and a top. Most buildings in Over-the-Rhine are built of brick with the principal facade parallel to the street it faces. The most important features of buildings in Over-the-Rhine are the arrangement of openings on the principal facade and an overall vertical emphasis of the whole design. Each building provides its own variations, but collectively they share many basic features.

Base: New buildings should have a well-defined base. Within the district most buildings have a base that is distinguishable from the rest of the building. This is accomplished through a change of materials, a change of scale, and/or a lintel or other type of horizontal banding. In larger buildings the original base may include more than the first floor.

The building is lacking a strong well-defined base. Most buildings within the neighborhood have a continuous base that runs the façade. The base consists of two large openings but does not have lintel or other types of horizontal banding. Only the corners and a central pier are at the street line

and the rest of the base is set back from the street up to 6'6' from the property line.

The Base does not substantially conform to this guideline.

Middle: Details on new buildings should relate to the detailing of adjacent or nearby buildings. Buildings in the district often incorporate architectural details such as changes in plane or changes in materials on their upper floors. Decorative, horizontal bands indicating the floor lines, sill heights or lintel heights should not overpower the vertical emphasis of the design.

The middle is defined by three stories of evenly spaced windows over the façade. The individual windows are taller than surrounding windows and appear to be skinnier due to the lack to detailing around the windows. There is not articulation at the windows which make the building appear very flat and the middle lacks any sort of changes in plane or architectural details.

The Middle does not substantially conform to this guideline.

Top: New construction must employ a strong element that terminates the uppermost part of the building. Distinctive elements in the architecture of Over-the-Rhine are elaborate projecting cornices, decorative parapets and the expressive use of materials.

The top is created by a strong horizontal band at the 5th floor roof line with a projecting roof over the setback bay of windows. While this is a strong horizontal element, as the 5th floor is set back, it does not have a strong connection or communicate with the middle of the building. While this is a projecting roof, it does not sit over the line of the rest of the building and does not add dimension to the façade line of the building.

The Top does not substantially conform to this guideline.

2. Roofs: Roofs for new construction should be similar to roofs of adjacent and nearby buildings of similar size and use. In the district, buildings of three or more stories generally have low-pitched shed roofs that are not visible above the principal facade. Smaller buildings in the district typically have simple gable roofs on which the gables are perpendicular to the principal facade. Institutional buildings in Over-the-Rhine have a variety of roof shapes, including dormers, multiple gables, hip roofs and towers. Roofs in this district have little or no overhang.

The roofs are flat roofs, which are appropriate for roofs on buildings that are over three stories tall.

The Roof does substantially conform to this guideline.

3. Window Openings: Window openings are extremely important in this district. The openings of new buildings should be related to the size and placement of openings found on historic structures of similar use in the district. In residential buildings, window openings are typically found individually rather than in pairs or grouped. The openings are taller and wide (typically in a proportion of 2:1), window sash are set back from the wall surface, and openings have some form of definition, such as lintels, sills or decorative surrounds. Window openings, which are typically aligned vertically, usually occupy between 20% and 50% of the principal facade. In commercial, industrial and institutional buildings, windows are often grouped within a single opening. These building types may also use a combination of window sash, including double-hung, awning and hopper. If muntins are used in new window sash, they must provide true divided lights. Within the individual opening, window sash are usually divided into two or more lights. In all cases the glass must be clear; tinted or reflective glass is not acceptable. Also, roll down shutters and metal bar systems installed on the exterior of the building that cover door and window openings are not appropriate.

- 1. The windows on the primary street façade are taller than they are wide however there are paired and tripled windows. There are several instances of paired windows along Race Street and the building to the south has paired windows, but triple window groups are not contextual to the block or the district.*
- 2. The windows on the front also are solid panes of glass and do not have a division. There have been many other cases where we have approved more modern style windows that have a division within the glass to break the scale. This division often isn't at the midway point, but it gives a nod to the historic double hung window. Below are images from recent examples, approved by the HCB, where there are modern style windows that still have divisions in the glass.*



Figure 3: 15th and Race. HCB Approved 12-19-2016

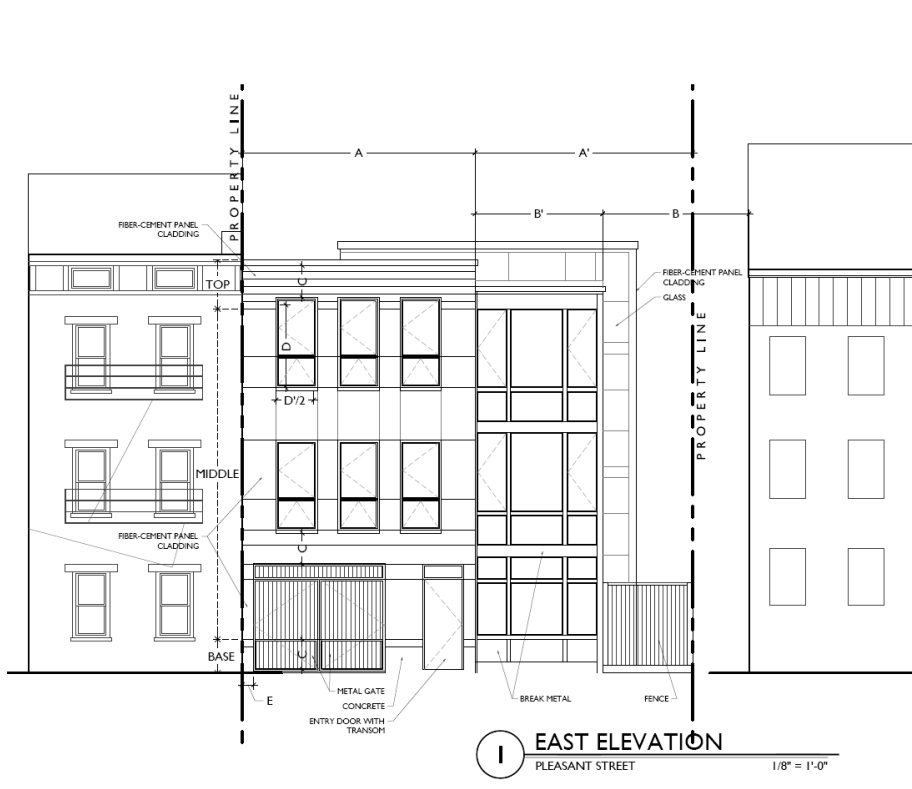


Figure 4: 1611-1613 Pleasant Street. HCB Approved 11-7-2016



Figure 5: 15th and Vine. HCB approved 2-8-2016

3. *The windows on the rear, while not visible from Race Street, will have visibility from the alley and other streets, particularly Vine Street, due to its height and the windows are not taller than they are wide and do not conform to the guidelines.*

The Windows do not substantially conform to this guideline.

4. Storefronts: New storefronts should relate to the characteristics of existing storefronts on historic buildings. Storefronts in the district are typically taller than individual upper floors; framed by piers and/or columns and have a lintel separating them from the upper floors; are divided into bays which increases their verticality and provides a pedestrian scale and proportion; and have large, fixed expanses of clear (not tinted or reflective) glass. As with rehabilitated original storefronts, roll down shutters and metal bar systems installed on the exterior of the building are not appropriate elements for new storefronts. The storefront lintels are 12 to 18 feet above grade; the window sill height is between 18 inches and 3 feet above grade; and storefront windows are set back from the structural elements approximately 12 inches.

1. *The first floor is a commercial space and should have a distinct storefront that relates to neighboring properties. However, the storefront is shorter and appears squat next to the taller storefronts on the two adjacent buildings.*

2. *The windows on the first floor are the same height as the windows on the stories above and are not taller than the upper stories. As the windows are setback from the façade line they are not framed by piers.*
3. *There is a lintel at the top of the two openings on the first floor that will provide room for signage but as this lintel does not extend across the entire base it does not create a strong separation from the top.*
4. *The glass windows that are provided at a set back to the street to not have a sill but they go straight to the ground and does not meet the guideline that the sill height should be between 18 inches- 3 feet above grade.*
5. *The windows are set back more than 12 inches as the façade is set back up to 6 feet from the façade.*

The Storefront does not substantially conform to this guideline.

5. Setback: Setback is an important issue in a dense urban area such as Over-the-Rhine. The setback for new construction should be consistent with the buildings of similar use on adjacent and nearby sites. In Over-the-Rhine, most commercial buildings are built up to the property line. Some residential property, especially detached buildings, has shallow setbacks but retain an "edge" at the property line with a fence. Some larger institutional buildings such as schools, churches and public buildings are setback from the street to provide public space and to add to their monumentality. In most cases new construction on corner sites should be built up to the edge of both outside property lines.

The setback is not consistent with the buildings of similar use on adjacent and nearby sites. As this is a commercial building it should be set up to the property line and while the middle of the building is set back at the property line the bottom and top floor are not. The setback on the bottom floor is also set at an angle which is not seen in the district on commercial buildings.

The Setback does not substantially conform to this guideline.

6. Rhythm: New buildings should incorporate design features, such as window groupings, articulation of wall surfaces, and decorative elements such as columns or piers in an effort to maintain the rhythm that already exists in the district. New construction should avoid creating long unrelieved expanses of wall along the street by maintaining the rhythm of bays found on the district. Most buildings in Over-the-Rhine are relatively narrow, 25 to 50 feet in width. A building facade typically displays vertical subdivisions that establish a visual rhythm. In dense commercial areas such as Vine Street, there are no setbacks, creating a solid wall along the street. This wall is

articulated by the individual buildings, which in turn are divided by window groupings, changes in wall planes and decorative elements such as pilasters, columns or piers.

While there is a rhythm to the building that is repeated over two bays, the rhythm isn't consistent within those bays due too many variations of window groupings. The only strong vertical element that helps to establish rhythm is the central pier, but as it is simply a wider portion of the wall with no detailing or articulation it does not create as strong of a division as it could. The lack of detailing and articulation of the façade adds to the lack of rhythm as with no articulation the wall reads very flat and while there are punched openings they are not as dynamic as neighboring buildings.

The Rhythm does not substantially conform to this guideline.

7. Emphasis: New residential and mixed-use construction should have a vertical emphasis, because in Over-the-Rhine buildings are taller than they are wide, window openings are tall and narrow, and storefronts have slender columns, which emphasize verticality. Commercial and industrial buildings, which may have an overall horizontal emphasis, often incorporate vertical elements, such as pilasters or vertically oriented openings.

It is staff's opinion that the building reads very horizontally. The building is wider than it is tall. Many of the typical elements that help to create a vertical emphasis are lacking in the design or as they are designed add to the horizontal nature of the building.

- 1. The triple grouping of windows draw the eye side to side and while they are taller than they are narrow they overpower the narrower single windows on the façade.*
- 2. A storefront shorter than neighboring buildings makes the storefront and therefore the building appear "squat"*
- 3. The setback top story that does not communicate well with the floors below creates a very strong horizontal element that overpowers the buildings.*

The Emphasis does not substantially conform to this guideline.

8. Height: The height of new construction should not vary more than one story from adjacent contributing buildings. Most buildings in Over-the-Rhine are between two- and five-stories.

The height of the building is 5 stories in the front and 6 stories in the back. The two neighboring buildings are 3 and 3.5 stories.

The height of the 3.5 story building at the north is approximately 52 feet and the height of the building at the front is approximately 64 feet. In this instance, looking at merely stories does not provide a good comparison. While the proposed building is almost 2 stories above the neighboring building as the floor to ceiling heights are smaller than the historic building it only ends up being 12 feet taller, which is slightly smaller than the floor to ceiling heights of the historic building.

In comparison to the building at 1226 Race Street which is two buildings away from the proposed property, that building is approximately the same height at the portion of the proposed building that fronts onto Race Street and is 5 stories as well.

Staff does not feel that the 5 stories that fronts onto Race Street is out of character for the neighborhood.

Staff does feel that the 6 story portion on the rear is too high and does not meet the guidelines.

- 1. With the railing this portion of the building is approximately 80 feet high which is 28 feet above the neighboring building to the north.*
- 2. The buildings on the other side of the alley are only 4 stories high and the 6 stories will block air and sunlight to the rear of the buildings.*
- 3. The First Lutheran Church has a very architecturally significant Bell Tower and the top of the 6th story portion will be higher than the main walls on this bell tower. The cap will and smaller pillars will remain higher, but as Over-the-Rhine is often defined by its numerous church steeples building a 6 story building in such close proximity to the church is inappropriate and will detract from an important architectural icon along Washington Park.*
- 4. This 6th story will be clearly visible on surrounding streets and public spaces due to the location of the site along Washington Park as well as a parking lot along Vine Street. The photos below demonstrate that these long vistas will not be disguised, either along Elm Street or Vine Street. With a building proposed to be significantly taller than all of its neighbors for some distance, four-sided architecture will be critical for all facades about the 4th floor. The view of this building is as equally important on Elm Street as it is on Race Street.*

The Height of the portion of the building that front along Race Street does substantially conform to this guideline.

The Height of the portion of the building that is along the alley does not substantially conform to this guideline.

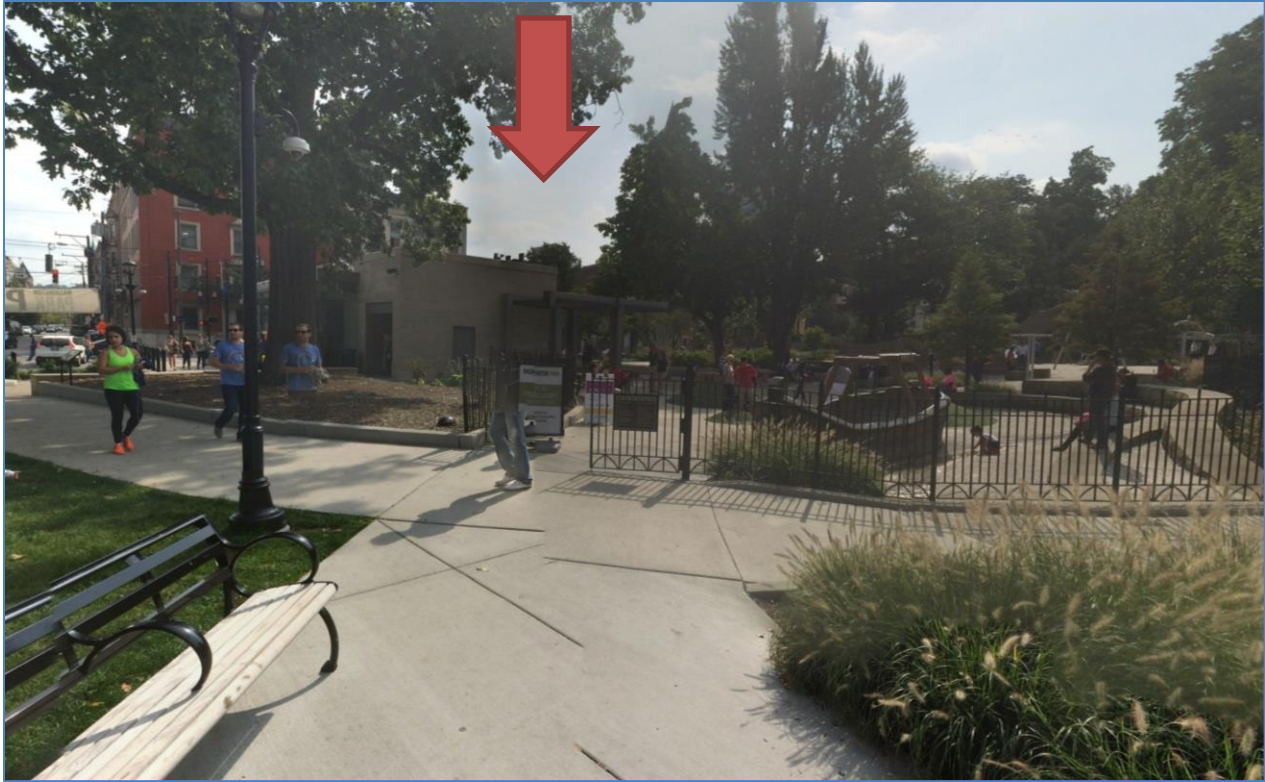


Figure 6: View the site from inside Washington Park. The arrow shows the visibility of the space where the top of the building would be. Image from Google Street Views

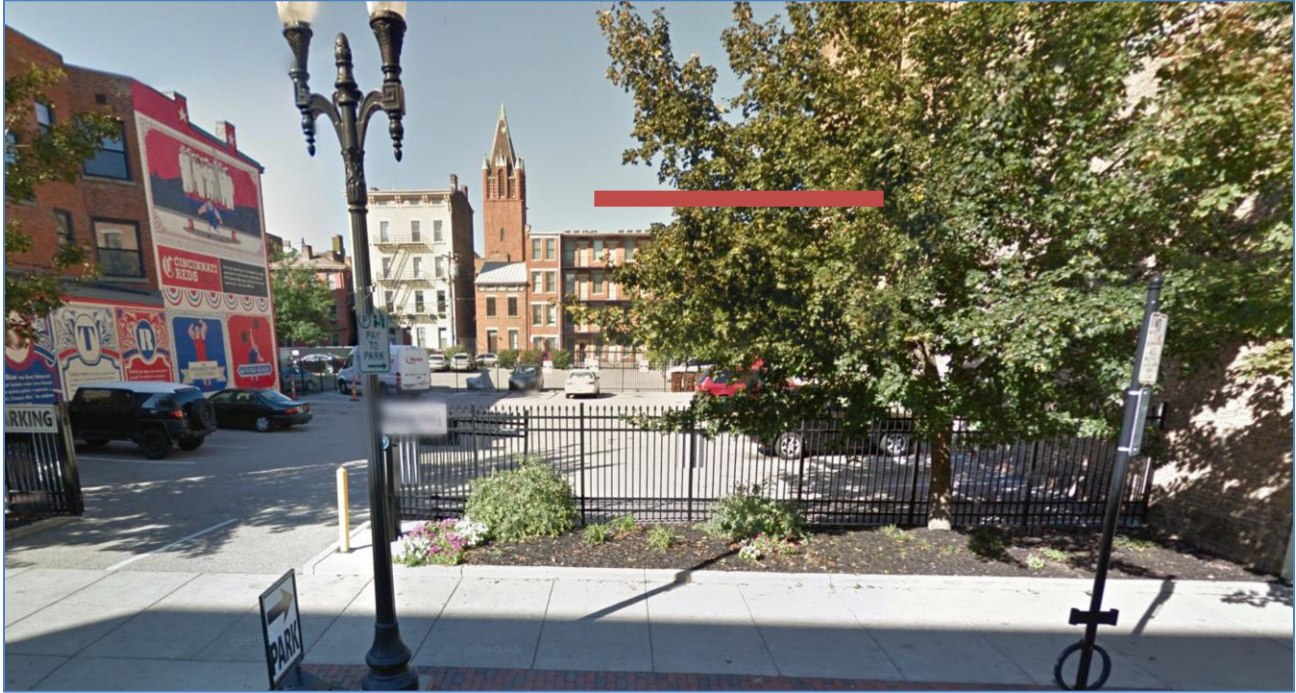


Figure 7: Image of site from Vine Street. The red line shows where the top of the six floor will be seen from Vine Street. Image from Google Street Views.

9. Materials: New construction should use materials that are found on the historic buildings in Over-the-Rhine. Clearly the dominant material in Over-the-Rhine is brick, but other materials such as limestone, sandstone, cast-iron, slate, wood and sheet metal are important as well. Materials such as stucco, synthetic stucco and plastic are not appropriate and should not be considered as exposed finish materials for new construction in this district.

1. *The main material that is along Race Street is a gray modular sized brick. Staff feels that this brick is acceptable*
2. *The windows on the front are Pella Architect Series windows and these windows have been approved many times within the district and the materials are acceptable, but as stated in the windows section, the proposed configuration is not acceptable as presented.*
3. *A cedar plank tongue and groove as a secondary material at the balconies, roof, and entrance is an acceptable material. While lap siding is more appropriate, as this is an accent and secondary material, staff feels it is acceptable.*
4. *Staff has major concerns with the CMU and metal siding on the rear. Painted CMU is not an appropriate material for visible wall materials. While this wall is an alley side wall, the alleys within Over-the-Rhine are part of its character and giving these entire wall inappropriate materials highly detracts from the character of the alley.*
5. *The use of a metal panel at the 6th floor, which will be visible from surrounding streets, will highlight the out of proportion height of the building.*

Some of the materials used on the building are appropriate but materials along the alley are not appropriate

Other Considerations:

Prehearing Results

March 22, 2017: The applicant, representatives from the OTR Infill Committee and neighbors were present for the pre-hearing.

Comments Provided to Staff:

1. A letter from the OTR infill committee is attached. They are not in support of the proposed design.
2. An email from the Bremen Lofts Condo Association who neighbor the subject property to the east. They are not in support of the proposed project and design.
3. Letters from the following in support of the project
 - Kevin Kluender
 - Ted Leavitt
 - Chris Rogers
 - Graham Kalbi
 - Karen Whittenberg and Tim Huffner
 - Andreas Lange

- Josh Jansen
- Bill Draznik
- John Stoughton
- Sarah Cornell
- Eric Stear
- Catherine Richards
- Derek Dos Anjos
- Iris Kelley
- Jeanne Mamluft
- Russell Winters
- Marcia Banker, Jeffery Schloemer
- Mike Skrelowski and Rachel Catherine Roberts
- Stephan Cornelis
- Megan Mershman
- Jon Powell

Recommendation:

Staff recommends the Historic Conservation Board take the following actions to simultaneously deny both the Zoning Relief and the Certificate of Appropriateness requests. While there are elements of the proposed design and zoning relief that staff is amenable to, since many of the zoning relief requests and design proposal are tied in together (i.e. an increase in density increases the parking demand and increases the request for parking relief as well as an increase in height), rather than try and piece meal an approval together, at this time the project as a whole should be denied until an application that is in keeping with the intent of the CC-P zoning district and the Historic Conservation Guidelines is approved.

I. ZONING VARIANCE

A. DENY the application for Zoning Relief for a mixed use building at 1216-1218 Race Street per the drawings submitted by Platte Architecture and Design dated March 29, 2017. The Zoning Relief requested includes

1. **§1409-07– Dimensional Variance – DENY** Dimensional Variance of 6,967.5sf to allow for a 20 residential dwelling units rather than the permitted 10 residential dwelling units.
2. **§1409-19 (b)- Dimensional Variance- DENY** Dimensional Variance 16 feet of the street frontage, to allow for 81.4% of the building façade to be set back rather than the permitted 40%.
3. **§1425-19- Numerical Variance - DENY** a Numerical Variance for 31 parking spaces.

B. FINDING: The Board makes this determination that per Section 1435-05-4:

1. The applicant has provided no basis of hardship to justify any of the proposed variances sought; and
2. Such relief from literal implication of the Zoning Code will be materially detrimental to the public health, safety and welfare or injurious to property

- within the district or vicinity where property is located due to its lack of conformance to the Over-the-Rhine Historic Conservation Guidelines; and
3. Such relief from literal implication of the Zoning Code will be materially detrimental to the public health, safety and welfare or injurious to property within the district or vicinity where property is located due to its doubling the residential density of the lot and proposing the most intensive parking demand generating commercial use, excessively impacting parking demand without finding compensating or mitigating circumstances to alleviate the proposed overuse of the common parking solutions; and
 4. Such relief from literal implication of the Zoning Code will be materially detrimental to the public health, safety and welfare or injurious to property within the district or vicinity where property is located due to its excessive height in the rear of the building which will negatively impact light and air for the residential dwellings immediately adjacent to the east of the alley.

II. **CERTIFICATE OF APPROPRIATENESS**

A. DENY the application for Certificate of Appropriateness for demolition of two non-contributing buildings and construction of a mixed use building at 1216-1218 Race Street per the drawings submitted by Platte Architecture and Design dated March 29, 2017.

B. FINDING: The Board makes this determination that per Section 1435-05-4:

1. It is not necessary and appropriate, in the interest of historic conservation, to demolish the two existing non-contributing structures currently on the property without an approvable proposal to replace them.
2. It is not necessary and appropriate, in the interest of historic conservation, so as the design does adversely affect the historic architectural or aesthetic integrity of the district.
3. That the property owner and applicant have not demonstrated by credible evidence that the proposal substantially conforms to the MAJORITY of the applicable guidelines for New Construction of the Over-the-Rhine Historic Conservation District, and in particular:
 - B.1 Composition including Base, Middle and Height
 - B.3 Window Openings
 - B.4 Storefronts
 - B.5 Setbacks
 - B.6 Rhythm
 - B.7 Emphasis
 - B.8 Height
 - B.9 Materials

Date: 2-06-2017

Location: 1216-12-18 Race Street

Request: Demolition of existing buildings and Infill

Zoning District: CC-P- Over-the-Rhine Historic Conservation Overlay Zone.

Applicant Name: Platte Architecture

Address: 202 W Elder Street

Dear: Ryan O'Malley

The City of Cincinnati appreciates receiving your information regarding your proposed project. The purpose of this letter is to inform you that your proposed project will be required to get a Certificate of Appropriateness from the Historic Conservation Board as it is in a Historic Conservation Overlay Zone. Attached to this letter is a copy of the Certificate of Appropriateness Application and the required documents. Please submit 3 copies of the application and the Documents Required that are checked. When you submit the copies of the application, the Documents Required Sheet must be submitted as well.

Your request also does not comply with the City of Cincinnati Zoning Code for the following reason(s):

- 1409-07: Lot area/unit is 700 sf. The lot area (75 x 95.10) would allow 10 residential units. The proposal is for 20 units thus requiring a variance of 6967.5 sf.
- 1409-07: Rear yard setback required 25 feet for new residential development. Proposed setback 0, 25 foot variance required.
- 1425-19: The required parking is 1 space per unit and 1 space per 150sf of eating and drinking establishment including outdoor patio space. Proposed would require 20 residential spaces and the commercial/eating drinking establishment would require 18 spaces (4707 sf-2000sf for exempt). This would be a required total of 38 spaces that would require a numerical variance or a special exemption on how they are obtained through a lease (example attached).

If you choose to move forward with your proposed project as **planned** you will need to obtain zoning relief from the Historic Conservation Board. Attached to this letter is a copy of the **Zoning Hearing Application** for your review. Please submit 3 copies of the following items regarding the relief that is required of you.

1. For **Variances, Special Exceptions, Conditional Uses, Use Permits and Non-Conforming Use request** please include;
 - Completed Application for Zoning Relief
 - A letter indicating what you are doing and why

- Site Plan (*to scale*)
- General floor plans (*for new construction or building additions*)
- And any other documents (*i.e. purchase agreements or consent letters from property owners*)

If you would like to access the City of Cincinnati Zoning Code please go to Title XIV of the Cincinnati Municipal Code. The Municipal Code can be accessed through a link on our department's webpage at <http://www.cincinnati-oh.gov/buildings/zoning-administration/>.

If you have any questions regarding the zoning hearing process or submission of your required documents, please contact Kasandra Maynes at 513-352-1559 or visit www.cincinnati-oh.gov/boards - select Zoning Hearing Examiner.

You may also contact me at the information listed below with zoning questions, concerns or to make an appointment.

Sincerely,



Beth Johnson
Urban Conservator
(p): 513-352-4848
(e): beth.johnson@cincinnati-oh.gov



II Centennial Plaza
 805 Central Avenue, Suite 500
 Cincinnati, Ohio 45202
 Monday- Friday 7:30 am—4 pm
 (513) 352-4848
Beth.Johnson@Cincinnati-OH.gov

* 008100040208
 008100040206
 008100040207

Office Use Only	
Application #:	_____
Date Accepted:	_____
<input type="checkbox"/> Staff Review	<input type="checkbox"/> Board Review
<input type="checkbox"/> Paid:	_____
Date Perfected:	_____
Hearing Date:	_____

CERTIFICATE OF APPROPRIATENESS APPLICATION

SUBJECT PROPERTY

Site Address: 1216/1218 Race Street
 Hamilton Co. Parcel ID No.: * Zoning District: CC-P
 Historic District: Over-the-Rhine Overlay District: _____

APPLICANT INFO PROPERTY OWNER OTHER Architect (AGENT, ATTORNEY, ARCHITECT, ETC.)

Name: Ryan O'Malley (PLATE ARCHITECTURE & DESIGN)
 Contact Person (if legal entity): _____
 Address: 202 W. Elder St., 4th Floor
 City: Cincinnati State: OH Zip Code: 45202
 Phone: 513-871-1250 x1012 E-mail: ryan@platedesign.com

PROPERTY OWNER INFO SAME AS ABOVE

Name: R2 INVESTMENTS
 Contact Person (if legal entity): BARRY ROSENBERG
 Address: 4016 TOWNFAIR WAY SUITE 201
 City: COLUMBUS State: OH Zip Code: 43219
 Phone: 614-414-7300 E-mail: _____

CERTIFICATE OF APPROPRIATENESS (SELECT ALL THAT APPLY)

New Construction Alteration Demolition

Provide a very brief summary of the project:

Mixed-use construction. Commercial at 1st floor, Residential above.

ZONING RELIEF Yes No

Provide a very brief summary of the zoning relief requested:

- Additional residential units
- Zero rear yard setback
- 50% reduction in parking required

SUBMISSION REQUIREMENTS & REQUIRED ATTACHMENTS

Demolition requests must include all required demolition forms.
 All applications that include requests for zoning relief must include a zoning hearing application.
 All persons seeking historic tax credits must provide a copy of their approved part II tax credit application.

I certify that all statements and documents that I provide with reference to this application are accurate, complete, and true to the best of my knowledge and belief. I further acknowledge that my application shall be deemed incomplete for my failure to timely comply with any requirement of this application, which non-compliance may result in delays in the scheduling and resolution of my application.

Applicant Signature: R. O'Malley

Date: 2.24.2017

PLATTE

architecture + design

202 W. ELDER STREET 4TH FLOOR | CINCINNATI, OH 45202
WWW.PLATTEDESIGN.COM T: 513.871.1850 | F: 513.871.1829

March 29th, 2017

Beth Johnson
Urban Conservator
City of Cincinnati Buildings and Inspections
805 Central Avenue, Suite 500
Cincinnati, OH 45202

RE: COA for 1216-1218 Race

Dear Beth:

Just east of Washington Park, two non-conforming buildings occupy 1216-1218 Race Street. The development arm of Steiner & Associates seeks to replace those buildings with a project that is more contextual, and better meets the cultural, economic, and architectural ambitions appropriate to its unique location.

The design concept is of a single building, cut in half from north to south, then pulled apart creating two volumes and a central outdoor courtyard. A restaurant is proposed at grade for the front (Race Street) volume, with seating spilling out into the inner courtyard as well as the sidewalk. Apartments are above, and at all floors of the rear (Baldwin Alley) volume.

Washington Park is the neighborhood's front yard and cultural center. New performance venues sit beside cherished restored bastions. Repurposed edifices sit next to enduring and evolving institutions. This new development follows a smooth trajectory within the neighborhood, elevating the site from lowly non-contributing existing facades to an elegant modern homage to the rhythm and order of the OTR fabric. The new project aims to be a well-dressed observer of the life and activity of Washington Park, not assuming a false-historic costume, but adorned with subtle modern nods to the built history that we are here to protect and enjoy.

The project complies with the specific guidelines of the Over-the-Rhine Historic District in the following ways:

- I. **Composition:** Per the guidelines, the primary façade at 1216-1218 Race Street demonstrates a careful “arrangement of openings” and an “overall vertical emphasis”. The elevation is broken up into three zones:
 - a. Base – The retail storefront and breezeway entry is at the first floor, partially recessed from the street.

- b. **Middle** – Vertically aligned punched openings in the masonry from floors 2-4. The upper edge of the masonry is capped with a simple stone coping.
 - c. **Top** – The fifth floor is set back from the middle zone to differentiate itself from below. The wall of glass neutralizes its presence, further backgrounding the top in relation to the lower floors. The top is capped by an overhanging plane that shades the balcony and accentuates the upper edge of the front façade.
2. **Roofs:** The proposed roofs are low-slope, behind parapets. Per the guidelines, this approach is “similar to roofs of adjacent and nearby buildings of similar size and use.” The roofs will not be visible.
3. **Window Openings:** As recommended in the guidelines, the window openings reflect the size and placement found on similar buildings in the district. They are tall, and vertically aligned. The windows themselves are set back 8” from the face of the elevation, with metal sills. The percentage of punched openings at the façade is 39%, which falls within the 20%-50% that is typical for historic buildings in this neighborhood. A portion of the openings lead to balconies that are recessed behind those punctures in the brick façade. The sliding and swing doors to the rear of the balconies are detailed similarly to the windows in adjacent punched openings, thus reinforcing the consistent sequence of tall, narrow rectangles. While there are projecting balconies in some historic OTR buildings (see the building next door), these are recessed to minimize their presence and present a more uniform, uncluttered appearance.
4. **Storefronts:** The storefront is where the building meets the street. At 1216-1218 Race, the storefront is articulated as a consistent plane of glass, shifted diagonally in plan and highly transparent to draw pedestrian traffic towards the restaurant entrance. The breezeway entry—clad in wood—is to the south corner. While modern, the overall storefront aligns with other historic storefronts in the following ways:
 - a. **Height.** The base zone is fully 16’ tall, from grade to the second floor. The height of the openings are 13’.
 - b. **Framing.** The storefront is framed by two large openings in the masonry that reinforce the two major bays composing the front façade.
 - c. **Bays.** The 4’ spacing of vertical mullions is a modern version of the bays that historically were articulated with cast iron columns.
 - d. **Glass.** The storefront itself is primarily glass.
5. **Setback:** Taking its cue from the park across the street, the project proposes a shallow recess at the ground level to allow outdoor seating. We believe this is appropriate, given the location of the restaurant and the limited width of sidewalk adjacent to the streetcar. More sidewalk seating will help activate the public space, enhancing safety and creating a more interesting streetscape. It also helps promote its location, which is not along a previously established stretch of eateries/bars.

The majority of the façade holds the line of the street. The masonry façade continues down as structural elements that flank either side of the two first floor

openings. The transparent space within the framed openings is devised to “invite the sidewalk in”. The glass and metal storefront plane will be recessed behind these openings at a slant between 2’-0” and 6’-6” from the building face.

Recessing the storefront addresses several technical constraints. The recess allows for outdoor seating that does not encroach upon the right-of-way, it creates covered space at the breezeway gate for residents coming and going, and it allows space for out-swinging egress from both the restaurant and breezeway to occur within the property line.

6. **Rhythm:** The front façade is divided in half, creating two bays 37’-6” each. Each primary bay is further subdivided into 12 roughly equal bays of windows and masonry, punctuating a sequence of solids and openings. This pattern reinforces a sense of order and clear composition, while reflecting the rhythm of openings found elsewhere along Race Street and in the district.
7. **Emphasis:** The proportion of window openings, as well as the mullion patterns at both the first and fifth floor glazing, underscore the front façade’s strong vertical orientation. It is undeniable that this modern building has a vertical emphasis.
8. **Height:**
 - a. **Front volume.** The proposed front building is five stories, but the fifth floor is set back nearly 6’-0” to foreground the first four stories. This is within one story of the adjacent building to the north.
 - b. **Rear volume.** The proposed rear building is six stories. While not within one story of the buildings directly adjacent to the north and south of the lot, there are multiple five-story buildings along Race Street within one block of 1216-1218. Its shallow footprint and positioning to the rear of the site (not to mention its being toward the middle of the block) will minimize the presence and visibility of this rear volume. Bringing the rear volume to six stories is critical to making the project economically viable.
9. **Materials:** All the materials selected are approved in the guidelines. The front façade, through the fourth story, will be clad with dark brick masonry. The storefront will be glass and metal, with stained wood cladding at the breezeway entry. There will be a similar wood treatment at the interior of the balconies, and the canopy of the fifth floor. The sides of the fifth floor front volume and all of the sixth floor rear volume will be clad in a light-gray metal panel. The bulk of the remaining secondary elevations will be CMU block, painted to match the dark brick masonry at the primary elevation.

This is very much a modern building, but at the same time we believe it fits the neighborhood context as spelled out in the 9 guidelines. We look forward to discussing this further.

Thank you for your consideration,

A handwritten signature in blue ink, appearing to read "R. Malley".

Ryan O'Malley

Platte Architecture + Design

Ryan O'Malley

From: Ryan O'Malley
Sent: Thursday, February 23, 2017 2:14 PM
To: 'Scott Masters'
Cc: 'Johnson, Beth'
Subject: RE: Owner's consent letter - 1216-1218 Race Street

Thanks, Scott. I will print out this email and submit it with the COA application.

Ryan O'Malley, LEED AP

PLATTE
architecture + design

202 W ELDER STREET, 4TH FLOOR
CINCINNATI, OH 45202
www.plattedesign.com
T: 513.871.1850 x1012
F: 513.871.1829

From: Scott Masters [mailto:scott@allscreen.co]
Sent: Thursday, February 23, 2017 1:53 PM
To: Ryan O'Malley <ryan@plattedesign.com>
Subject: Re: Owner's consent letter - 1216-1218 Race Street

This is to confirm that I am the owner of 1216-1218 Race Street and have retained Platte Architecture & Design to submit a Certificate of Appropriateness application on behalf of Steiner & Associates, my development partner and myself.

Scott K. Masters
513.284.3563

On Thu, Feb 23, 2017 at 1:14 PM, Ryan O'Malley <ryan@plattedesign.com> wrote:

Scott,

Please confirm for Beth Johnson, the Urban Conservator, that you are the owner of 1216-1218 Race Street and you're okay with Platte Architecture & Design submitting a Certificate of Appropriateness application on behalf of Steiner & Associates, your development partner.

Thanks,

Ryan

Ryan O'Malley, LEED AP

PLATTE
architecture + design

202 W ELDER STREET, 4TH FLOOR

CINCINNATI, OH 45202

www.plattedesign.com

T: [513.871.1850](tel:513.871.1850) x1012

F: [513.871.1829](tel:513.871.1829)

PLATTE

architecture + design

202 W. ELDER STREET 4TH FLOOR | CINCINNATI, OH 45202
WWW.PLATTEDESIGN.COM T: 513.871.1850 | F: 513.871.1829

February 24, 2017

Beth Johnson
Urban Conservator
City of Cincinnati Buildings and Inspections
805 Central Avenue, Suite 500
Cincinnati, OH 45202

RE: COA and Zoning Variance Application – List of Witnesses

Dear Beth:

As of this date, the project at 1216-1218 Race will be represented by the following persons:

- Barry Rosenberg, Steiner + Associates
- Dwayne Furukawa, Steiner + Associates
- Mike Pione, Steiner + Associates
- Kurt Platte, Platte Architecture & Design
- Ryan O'Malley, Platte Architecture & Design

Thank you,

Ryan O'Malley
Platte Architecture + Design

PLATTE

architecture + design

202 W. ELDER STREET 4TH FLOOR | CINCINNATI, OH 45202
WWW.PLATTEDESIGN.COM T: 513.871.1850 | F: 513.871.1829

February 24, 2017

Beth Johnson
Urban Conservator
City of Cincinnati Buildings and Inspections
805 Central Avenue, Suite 500
Cincinnati, OH 45202

RE: Demolition Case Sheet

Dear Beth:

I am writing on behalf of the developers of 1216-1218 Race Street who seek to demolish the current buildings on the site. Section I of the Demolition Case Sheet requires the owner to demonstrate the following:

- A. That the buildings are listed in the applicable guidelines as non-contributing. They are—see attached list showing buildings 126-127.

- B. That the demolition will not adversely affect the streetscape. It will not—this demolition is conditioned on the approval of a new multi-use structure that more closely resembles the adjacent 3-story buildings and will reinforce the eastern edge of Washington Park.

Thank you,

Ryan O'Malley
Platte Architecture + Design

100	115-129 W McMicken Ave (116-122 Henry St)	
101	112-138 W McMicken Ave	Oral T. Carter & Assoc.
102	203 W McMicken Ave	
103	1608 Moore St	
104	1621 Moore St	Husman's Potato Chips
105	31-33 Mulberry St	
106	S of 73 Mulberry St	
107	127 Mulberry St	Church in the City
108	138 Mulberry St	
109	322 Mulberry St	
110	19 Peete St	
111	75 Peete St (rear)	garage Note: Building fronts on E Clifton Avenue and may have an address of 68 and/or 70 E Clifton Avenue.
112	106 Peete St	
113	107 Peete St	
114	114 Peete St	
115	119-121 Peete St	
116	124 Peete St	church
117	127-129 Peete St	
118	1301 Pendleton St	
119	1413 Pleasant St	
120	1440 Pleasant St (113-115 W 15th St)	shelter
121	1511-1519 Pleasant St	
122	1553-1561 Pleasant St	Kentucky Fried Chicken
123	1615-1617 Pleasant St	
124	1618 Pleasant St	
125	1914 Pleasant St	
126	1216 Race St	
127	1218-1220 Race St	
128	Bounded by Race St, Elm St, & E 12th St	Washington Park Comfort Station
129	1530 Race St	addition only
130	1538 Race St	laundry
131	1702 Race St (26-34 Green St)	
132	1715 Race St	Hub Center
133	1722-1724 Race St	Over-the-Rhine Senior Center
134	1723 Race St	
135	1725 Race St (13-19 W Elder; 13-17 Republic St)	
136	1730-1738 Race St	former IGA grocery store
137	1812 Race St (rear)	garage
138	1814 Race St (rear)	garage
139	1826-1828 Race St	
140	1910-1916 Race St	Catanzaro Produce
141	315-319 Reading Rd	addition to Sun Furniture Building
142	SW corner of Reading Rd & Liberty St	Over-the-Rhine Carillon
143	1332 Republic St	
144	1413 Republic St	
145	1308 Spring St	
146	1322-1326 Spring St	
147	NW corner Sycamore St & E 13th St (1301 Sycamore; 218-230 E 13th St)	Sycamore Park (pool, comfort station, picnic table and playground)
148	1123 Sycamore St (208-224 Reading Rd)	Alms & Doepke Park Haus
149	1203 Sycamore St (226 E 12th St)	The Diner on Sycamore

ZONING HEARING EXAMINER

Application for Zoning Relief

II Centennial Plaza
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202
Monday- Friday 7:30 am- 4 pm
513-352-1559

Section 1. SUBJECT PROPERTY

ADDRESS 1216/1218 RACE STREET COMMUNITY OVER THE RHINE
 PARCEL ID(S) 008100040208, 008100040206, 008100040207
 BASE ZONING CLASSIFICATION CC-P ZONING OVERLAY (if applicable) _____
 Non-Residential Project Residential Project (RCO) One -, Two -, and Three- Family Dwelling

Section 2. APPLICANT

NAME PLATTE ARCHITECTURE + DESIGN CONTACT PERSON (if legal entity) RYAN O'MALLEY
 ADDRESS 202 W. ELDER ST, 4TH FLOOR CITY CINCINNATI STATE OH ZIP 45202
 EMAIL ryan@platte.design.com RELATIONSHIP TO OWNER (if not owner) ARCHITECT
 TELEPHONE 513-871-1850

Section 3. OWNER

NAME R2 INVESTMENTS CONTACT PERSON (if legal entity) BARRY ROSENBERG
 ADDRESS 4016 TOWNSEND WAY, SUITE 201 CITY COLUMBUS STATE OH ZIP 43219
 EMAIL brosenberg@skinner.com RELATIONSHIP TO OWNER (if not owner) DEVELOPER
 TELEPHONE 614-414-7300

Section 4. NATURE OF RELIEF REQUESTED. (select all that apply)

- Variance Use Variance Special Exception Conditional Use
 Expansion or Substitution of Non Conforming Use Hillside Overlay District Permission
 Urban Design Overlay District Permission DD District Phased Development Approval


Section 5. BRIEF DESCRIPTION OF PROPOSED PROJECT (Do not write "see attached" or leave blank. You may attach a longer statement to this application if the space provided is insufficient to describe your proposed project)

MIXED-USE NEW CONSTRUCTION
COMMERCIAL AT FIRST FLOOR, RESIDENTIAL ON UPPER FLOORS

Section 6. SUMMARY OF REASONS WHY RELIEF SHOULD BE GRANTED.

You must provide a written statement explaining how the proposed project meets the standards for all relief requested. Separate instructions for preparing this statement are attached. If you fail to follow the instructions for your type of request, your application may be denied.

Section 7. SIGNATURE. The undersigned does hereby certify that the information provided in connection with this application is, to the best of his or her knowledge, true and correct.

Print Name Ryan O'Malley Signature  Date 2 / 24 / 2017

PLATTE

architecture + design

202 W. ELDER STREET 4TH FLOOR | CINCINNATI, OH 45202
WWW.PLATTEDESIGN.COM T: 513.871.1850 | F: 513.871.1829

March 29th, 2017

Beth Johnson
Urban Conservator
City of Cincinnati Buildings and Inspections
805 Central Avenue, Suite 500
Cincinnati, OH 45202

RE: Zoning Relief for New Project at 1216-1218 Race Street

Dear Beth:

We are requesting relief in the form of variances for a proposed mixed use development at 1216-1218 Race Street. The project will include restaurant space on the first floor with residential units on the upper floors.

The proposed plans include 20 residential units. Section 1409-09 of the Cincinnati Municipal Code allows for one unit per 700 sf of lot area, which would allow only 10 units. Therefore, we request a *numerical variance of 6867.5 sf*. We feel the increased density of dwelling units meets the growing demand for housing in this neighborhood.

Section 1409-09 also requires a 25-foot rear yard setback. We request a *25'-0" dimensional variance* here to allow a zero rear yard setback, which matches the context along Baldwin Alley and is appropriate in this neighborhood.

Where the restaurant meets the street, the front of the building is drawn back to provide outdoor seating. The sidewalk at this location is narrower due to the streetcar, limiting the opportunity for tables and chairs along the sidewalk. We request a *287 sf variance* to provide ample outdoor seating while animating the sidewalk and connecting to the park across the street. This request is site-specific, the result of the narrow sidewalk and the relationship to Washington Park.

Following the requirements of Section 1425-19, the residential portion of this project will require 20 spaces, and the commercial restaurant use will require 10 spaces. We are requesting a *50% reduction in required parking*. The Over-The-Rhine neighborhood is becoming increasingly walkable. Improved public transit, namely the streetcar, along with car-sharing and ride-sharing programs have allowed residents to be mobile without car

ownership. Developer research confirms that fewer prospective residents wish to own cars in this neighborhood. This project is within 600 feet of multiple public parking facilities. Further, many more public parking facilities are accessible by the streetcar due to the streetcar stop immediately adjacent to this site. The owner is in discussions with 3CDC to obtain a lease for the required spaces in the project vicinity.

The requested variances and calculations are summarized below.

<u>Zoning Code of the City of Cincinnati</u>	<u>Relief Requested</u>
<u>1409-09 Development Regulations. (CC-P)</u>	
• Residential Regulations:	
Lot Area/unit: 700 sf	20 units @ 700 sf = 14,000 sf needed 75' x 95.10' lot = 7132.5 sf lot area 6867.5 sf variance
Rear yard: 25 feet setback	25'-0" variance (zero setback)
 <u>1409-19 Exceptions to Building Placement Requirements (CC-P)</u>	
(a) Articulated Building Street Face	Total area created by setback = 362 sf 75' x (1 sf) = 75 sf provided 287 sf variance requested
 <u>1425-19 Off-Street Parking and Loading Requirements</u>	
• Residential Uses: 1 per unit	20 units = 20 spaces
• Commercial Uses: Restaurant	3,500 sf including outdoor seating
First 2000 sf exempt	-2,000 sf = 1,500 sf
1 per 150 sf of Restaurant	1,500 sf / 150 = 10 spaces
 <u>1425-23 Reduced Parking</u>	
(b) Proximity to Public Parking Facilities	50% reduction requested

Thank you,



Ryan O'Malley

Platte Architecture + Design

DRAWING INDEX

1 - Drawing Index	10 - Site Plan - Existing	19 - Front Sitelines	28 - Rhythm
2 - Front Rendering	11 - Site Plan - Proposed	20 - Rear Sitelines	29 - Rhythm
3 - Aerial View	12 - 2nd-5th Floor Plans	21 - Goose Alley Sitelines	30 - Rhythm
4 - Context Map	13 - 6th Floor Plans, Roof Plans	22 - Composition - Base	31 - Height
5 - Streetscape Context Photos	14 - West Elevation - Existing	23 - Composition - Middle	32 - Emphasis
6 - Rear-of-Site Photos	15 - East Elevation - Existing	24 - Composition - Top	33 - Materials
7 - Rear-of-Site Photos	16 - West Elevation - Proposed	25 - Window Openings	34 - Garage Door / Breezeway Gate
8 - Front-of-Site Photos	17 - East Elevation - Proposed	26 - Storefronts	35 - Windows - Primary Elevation
9 - Front-of-Site Photos	18 - North/South Elevations - Proposed	27 - Setback	36 - Windows - Secondary Elevation

1216-1218 Race Street
Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

STEINER + ASSOCIATES

PLATTE
architecture + design



202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

WWW.PLATTEDESIGN.COM



FRONT RENDERING - Looking SE

1216-1218 Race Street
Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

STEINER + ASSOCIATES

PLATTE
architecture + design



202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

WWW.PLATTEDESIGN.COM

1216-1218 Race - Proposed



AERIAL VIEW - Looking SE

1216-1218 Race Street
Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

STEINER + ASSOCIATES

PLATTE
architecture + design



202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

WWW.PLATTEDESIGN.COM



CONTEXT MAP
Not to scale

1216-1218 Race Street
Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

STEINER + ASSOCIATES

PLATTE
architecture + design



202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

WWW.PLATTEDESIGN.COM



STREETSCAPE CONTEXT PHOTOS

1216-1218 Race Street
Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

STEINER + ASSOCIATES

PLATTE
architecture + design



202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

WWW.PLATTEDESIGN.COM



REAR-OF-SITE PHOTO COLLAGE - Looking N

1216-1218 Race Street
Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

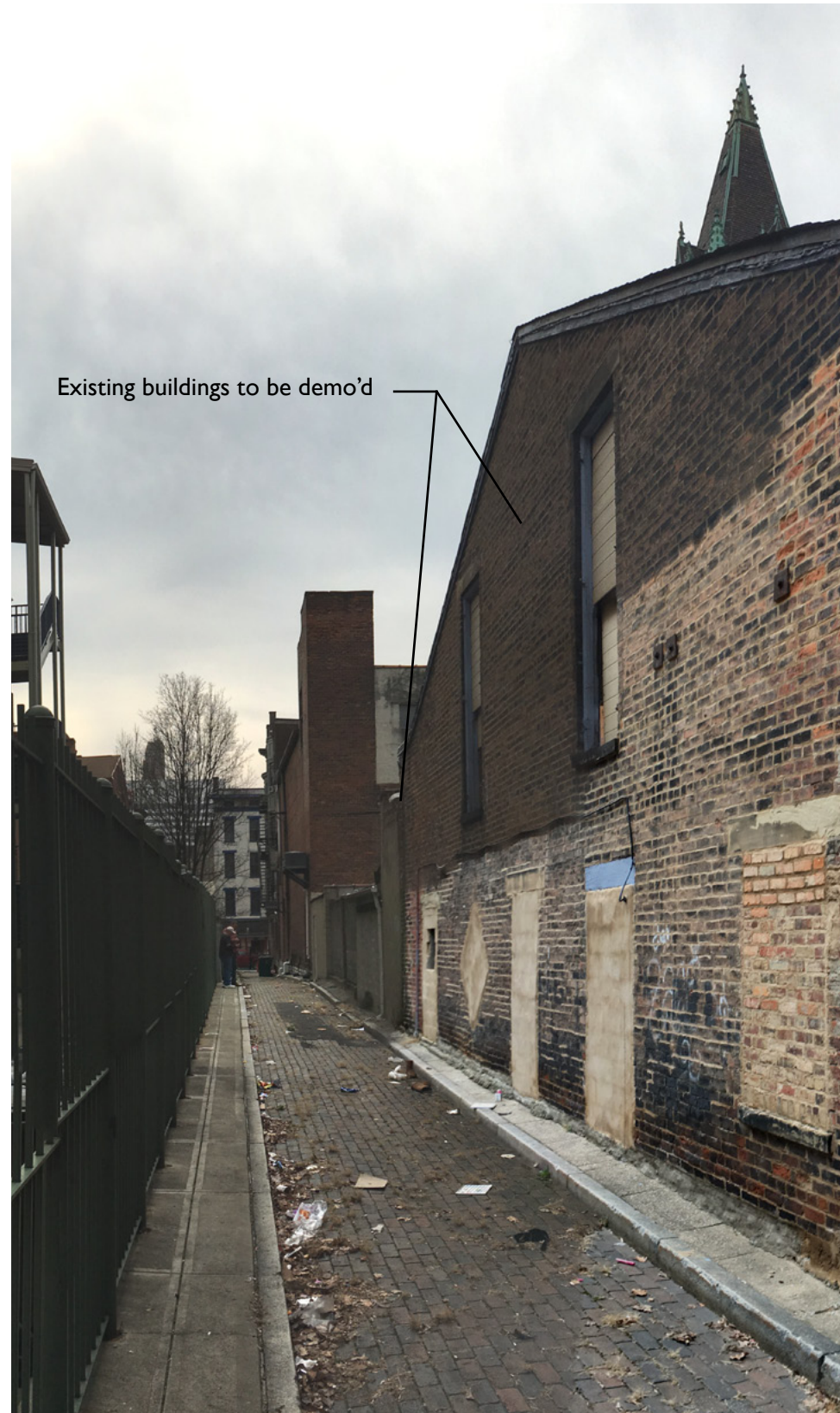
STEINER + ASSOCIATES

PLATTE
architecture + design



202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

WWW.PLATTEDESIGN.COM



REAR-OF-SITE PHOTO - Looking S



REAR-OF-SITE PHOTO - Looking S

1216-1218 Race Street
Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

STEINER + ASSOCIATES

PLATTE
architecture + design



202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

WWW.PLATTEDESIGN.COM



FRONT-OF-SITE PHOTO - Looking S



FRONT-OF-SITE PHOTO COLLAGE - Looking SE

1216-1218 Race Street
Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

STEINER + ASSOCIATES

PLATTE
architecture + design



202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

WWW.PLATTEDESIGN.COM



FRONT-OF-SITE PHOTO COLLAGE - Looking NE



FRONT-OF-SITE PHOTO - Looking N

1216-1218 Race Street
Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

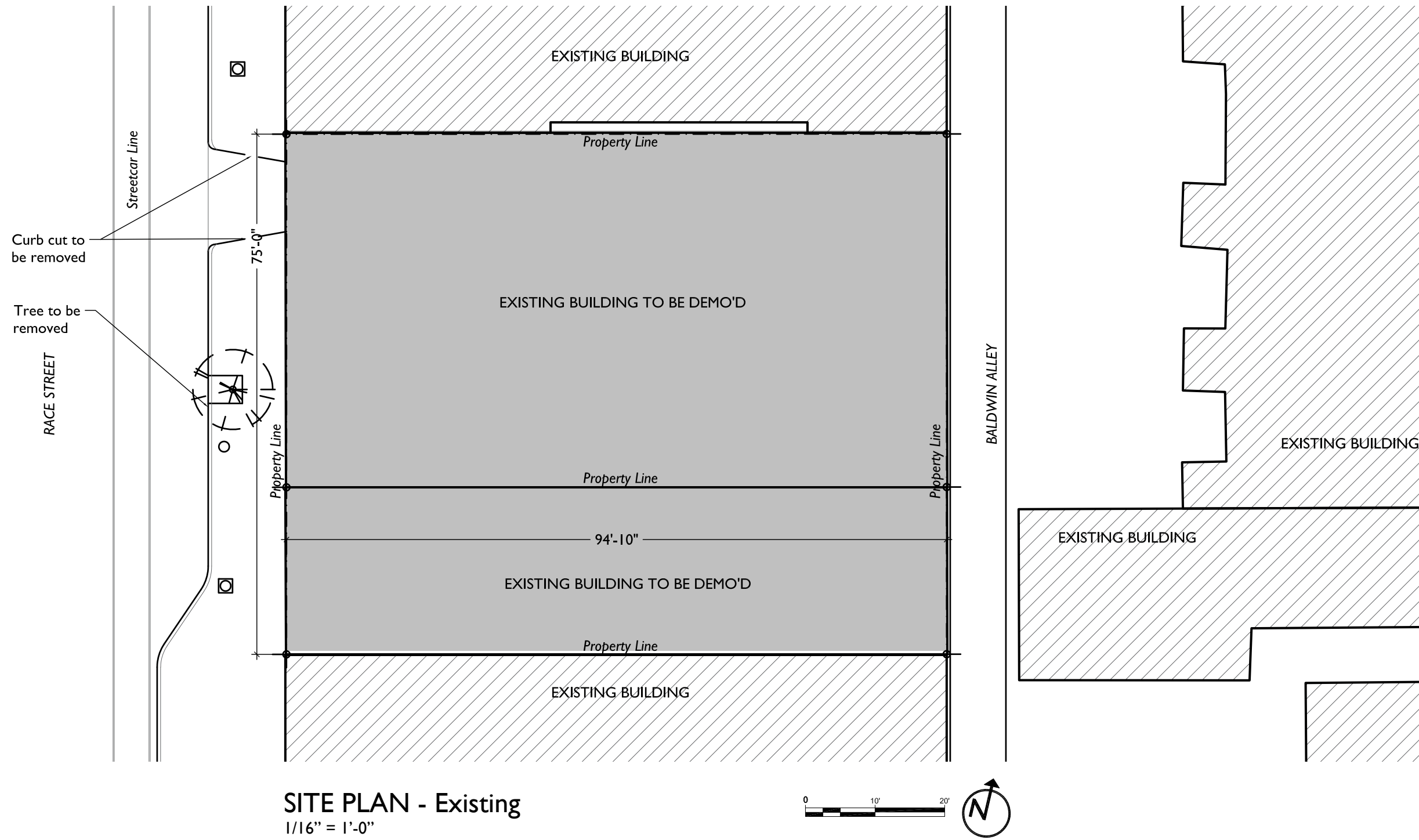
STEINER + ASSOCIATES

PLATTE
architecture + design



202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

WWW.PLATTEDESIGN.COM



SITE PLAN - Existing
 1/16" = 1'-0"

1216-1218 Race Street
 Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

STEINER + ASSOCIATES

PLATTE
 architecture + design

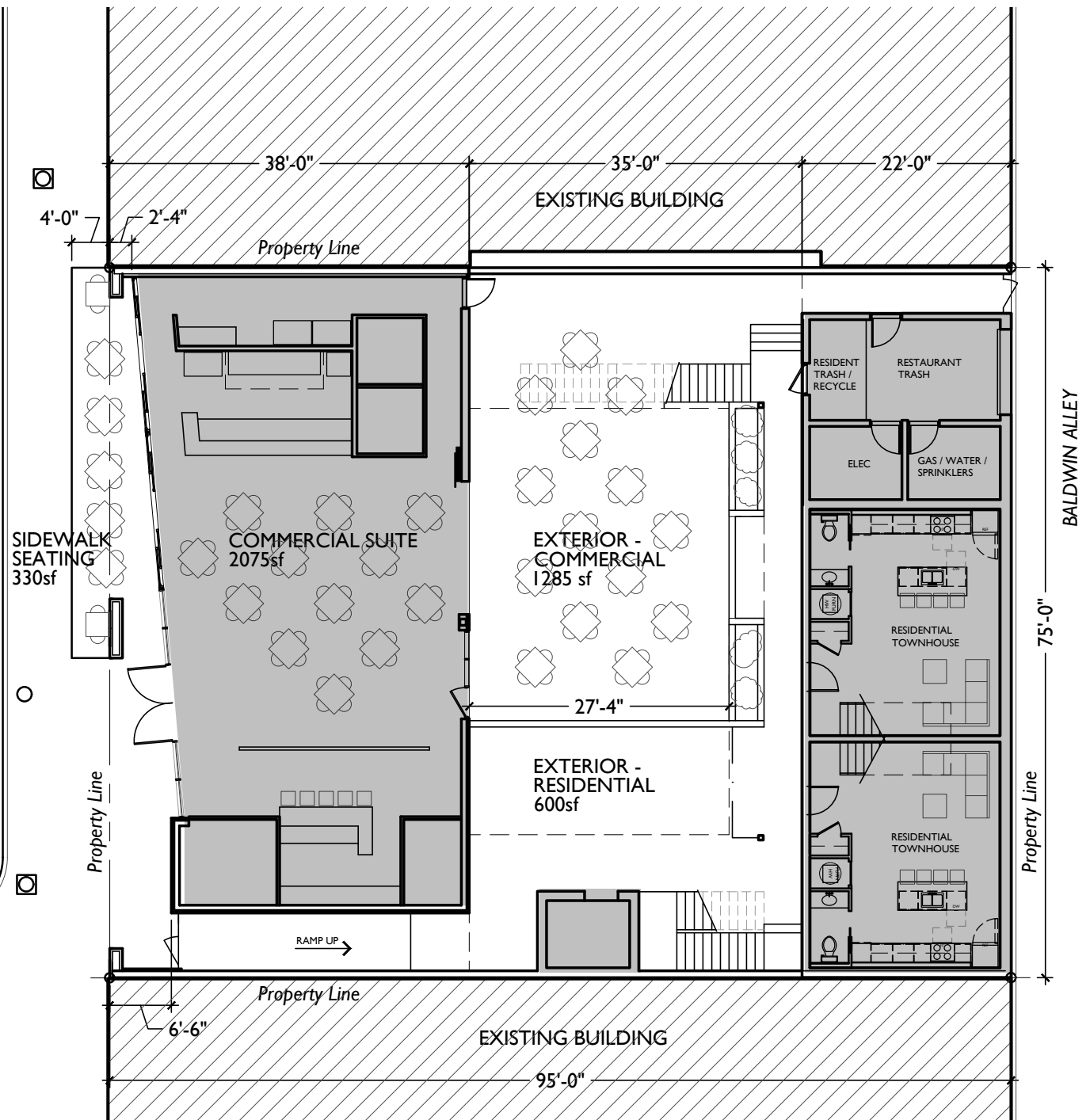


202 W. ELDER ST.
 4TH FLOOR
 CINCINNATI
 OH 45202

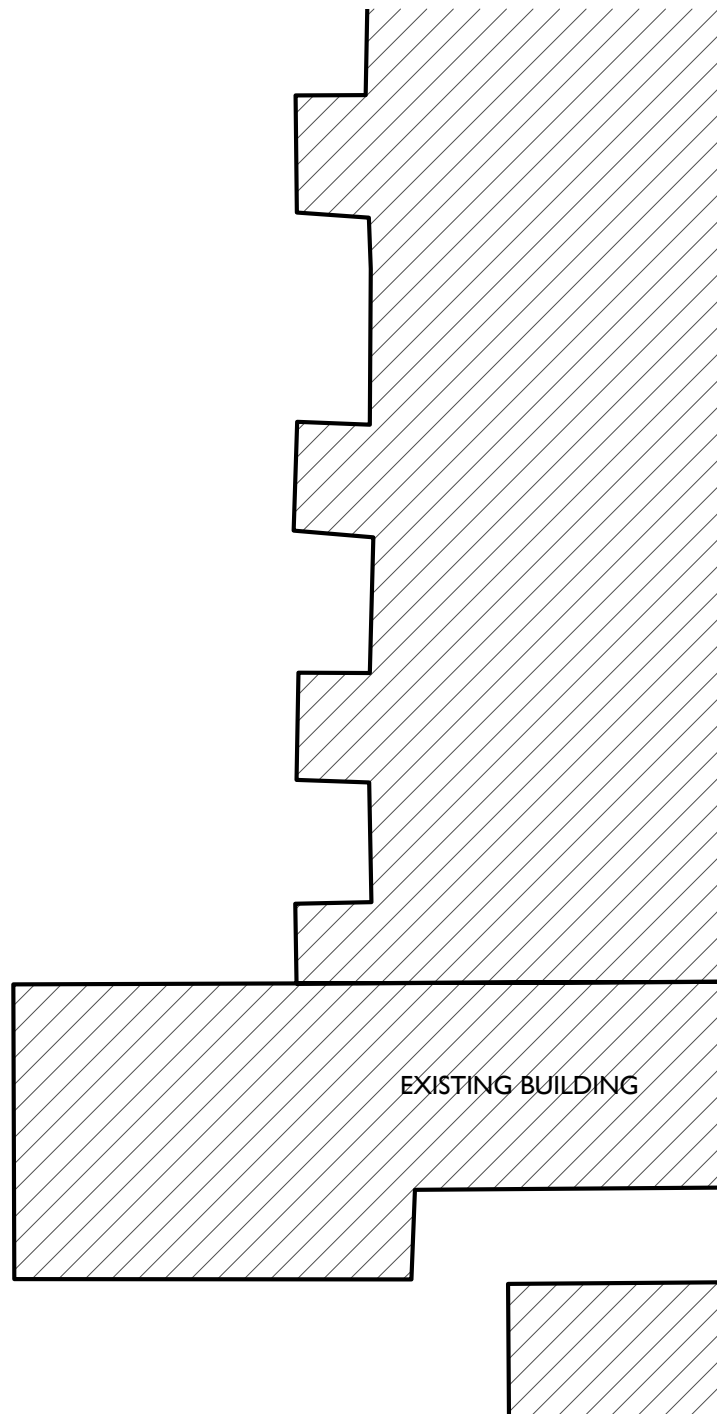
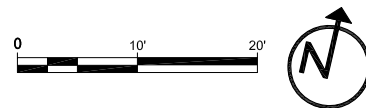
WWW.PLATTEDESIGN.COM

RACE STREET

Streetcar Line



SITE PLAN - Proposed
1/16" = 1'-0"



1216-1218 Race Street
Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

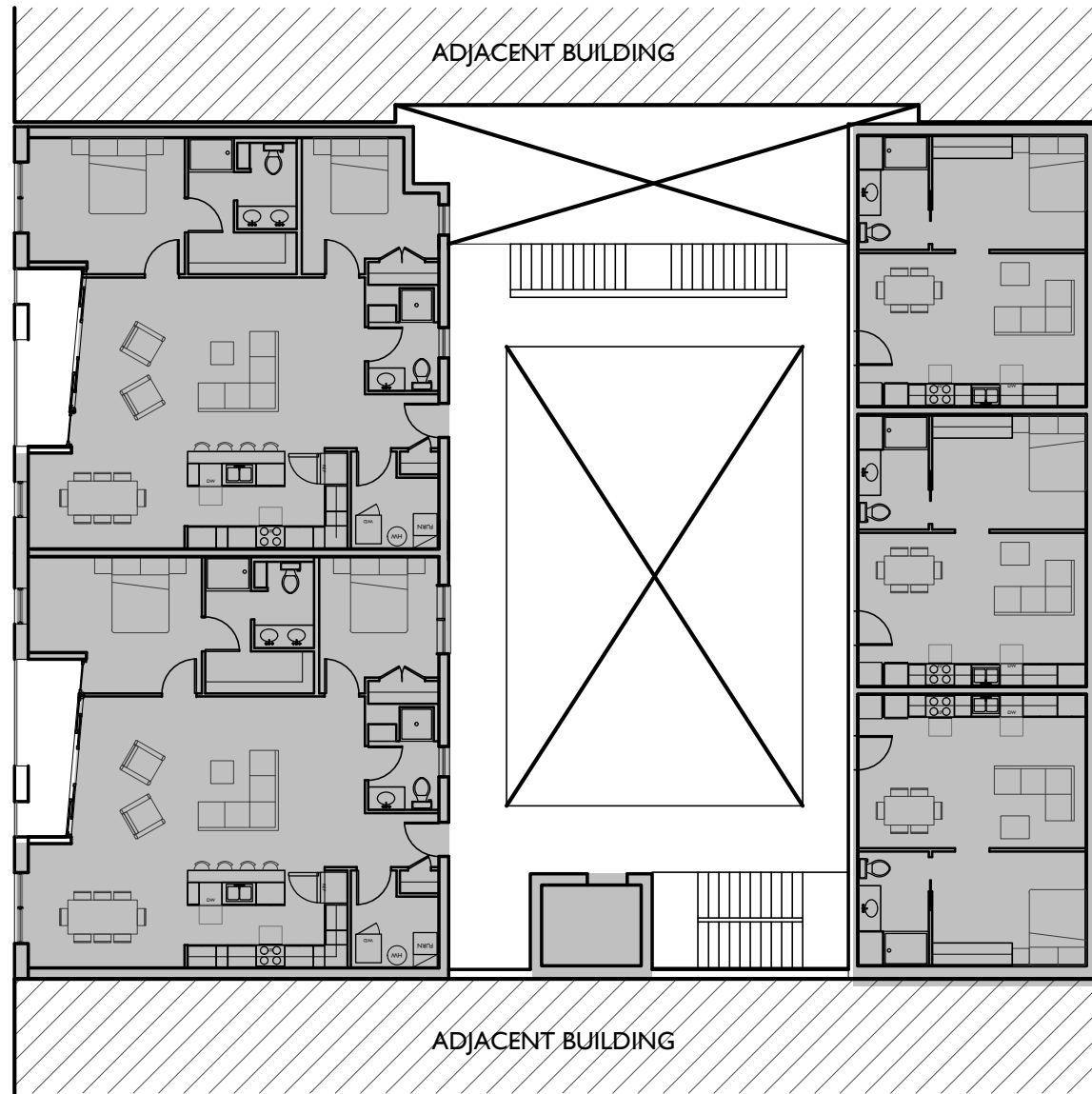
STEINER + ASSOCIATES

PLATTE
architecture + design

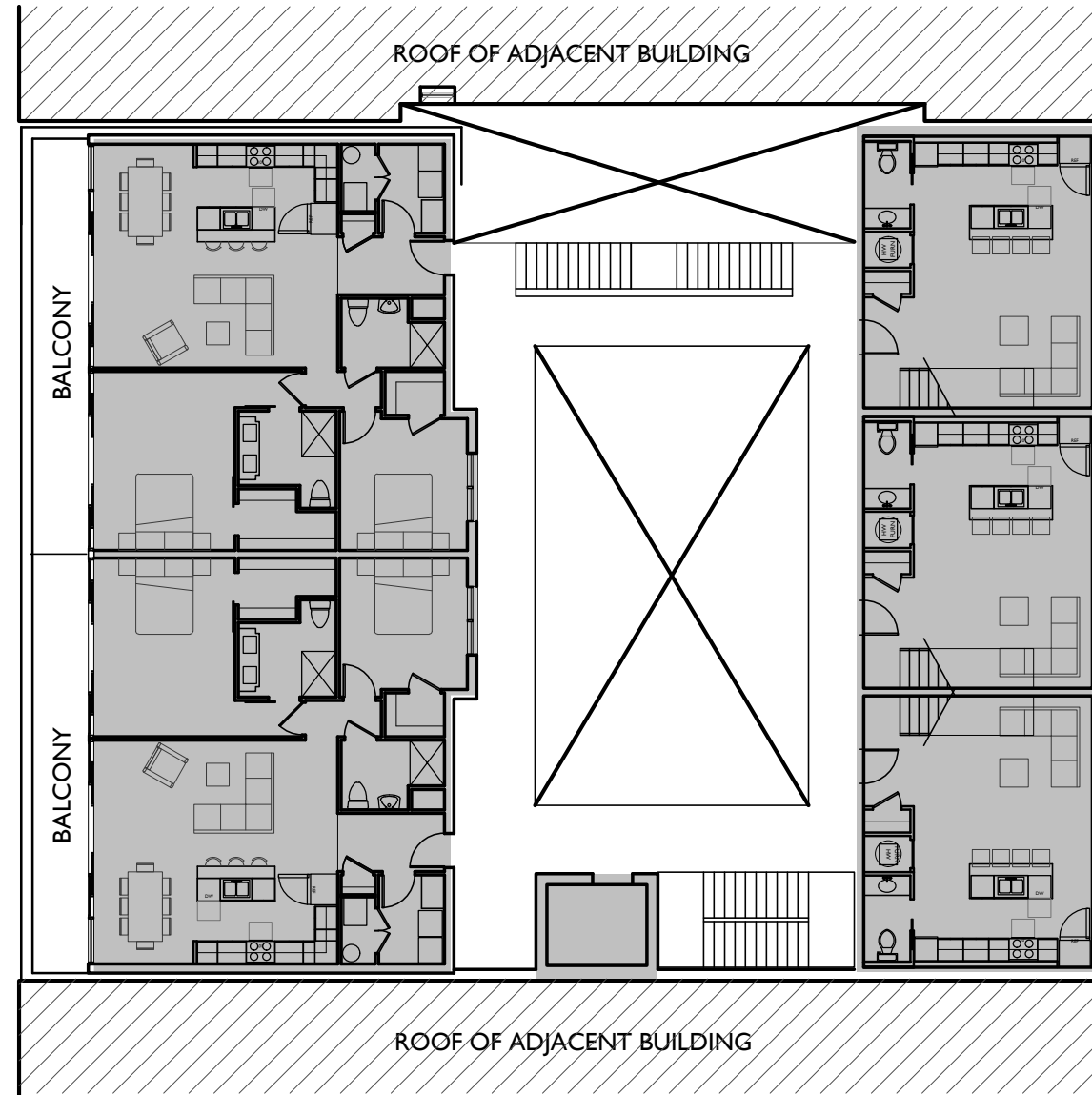


202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

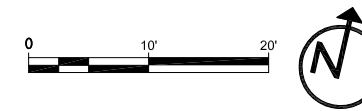
WWW.PLATTEDESIGN.COM



2ND-4TH FLOOR PLAN - Proposed
 1/16" = 1'-0"



5TH FLOOR PLAN - Proposed
 1/16" = 1'-0"

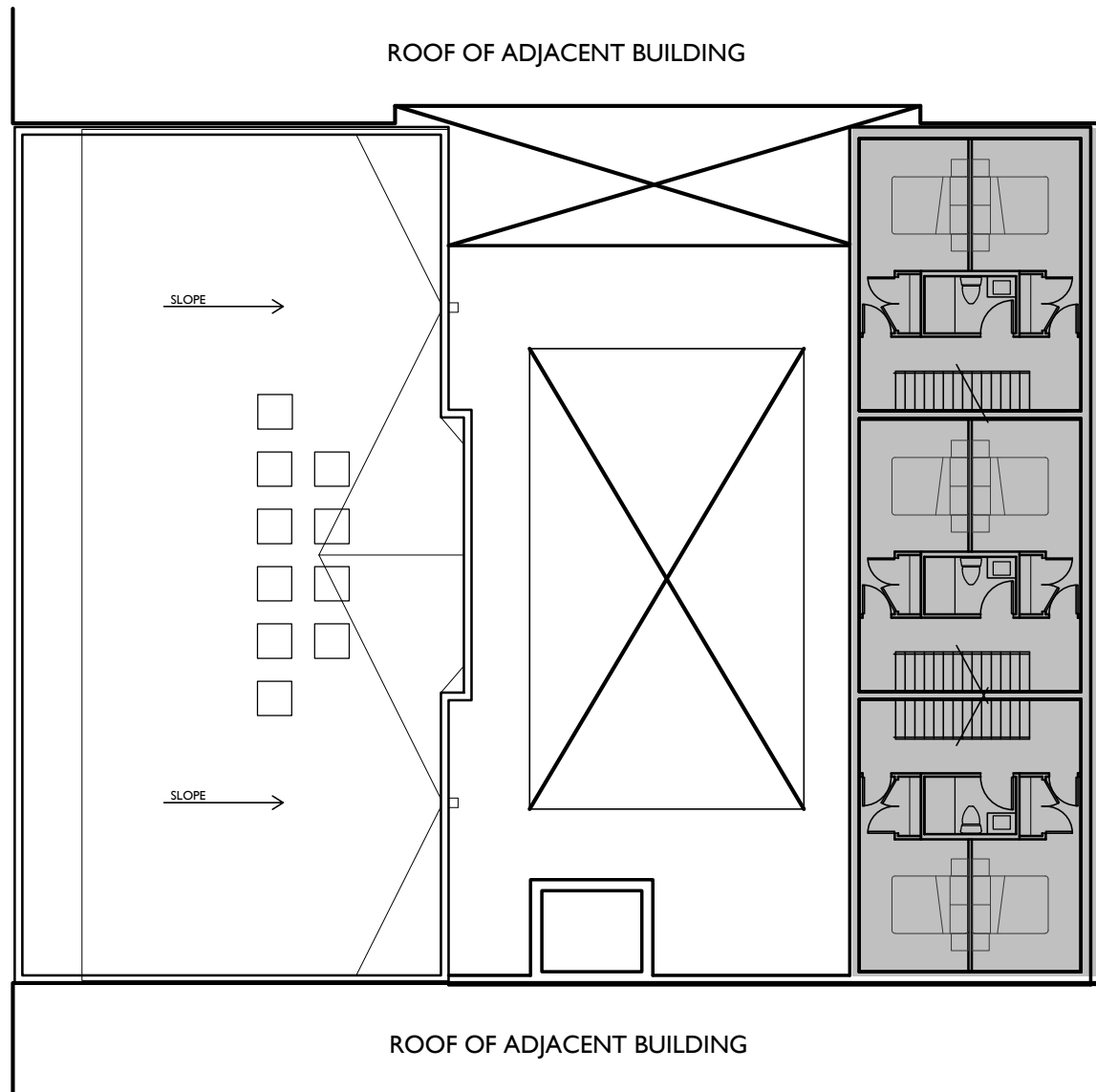


1216-1218 Race Street
 Cincinnati, OH 45202

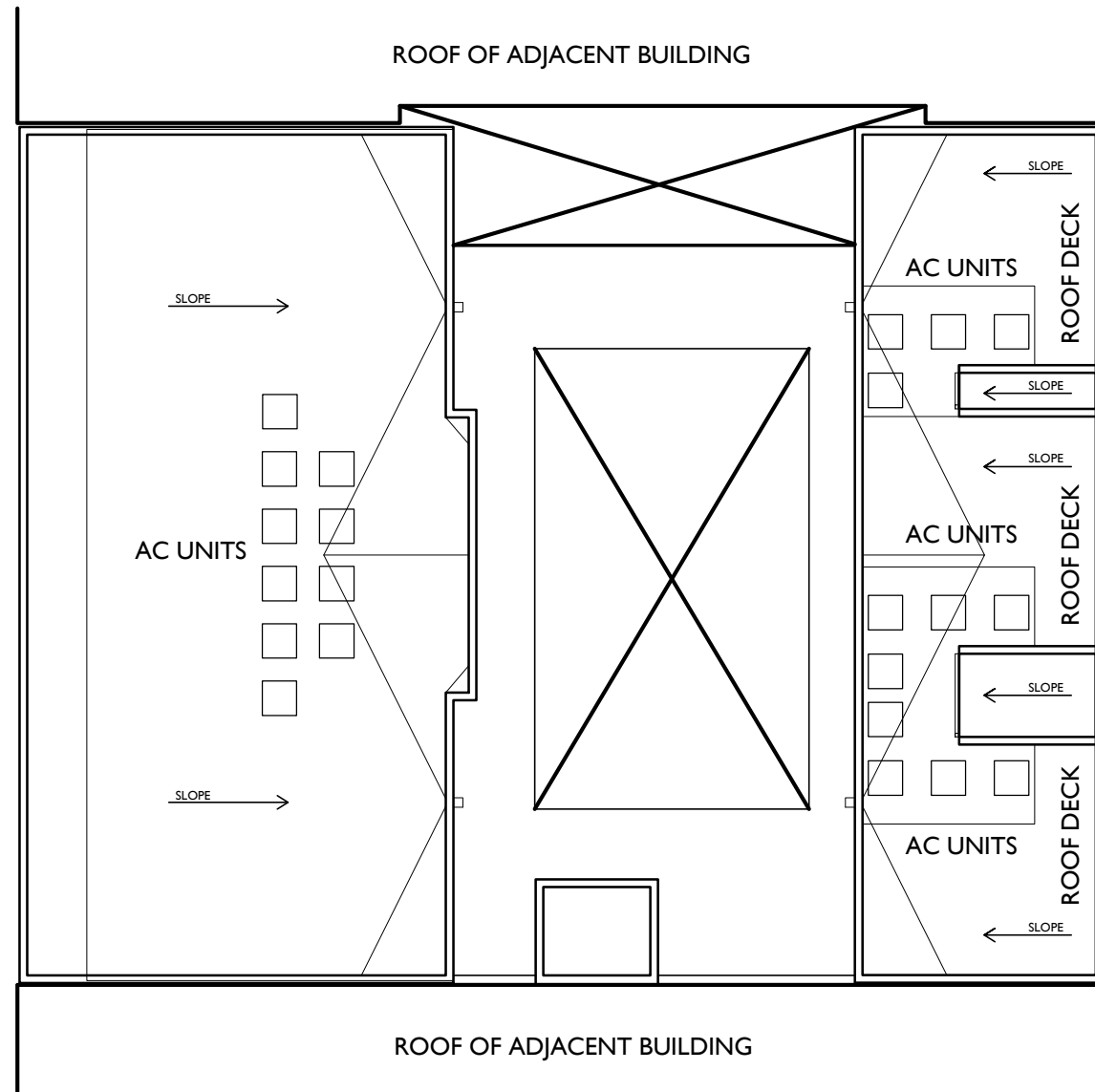
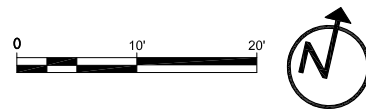
RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

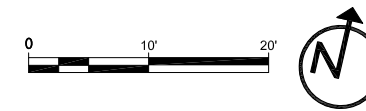
STEINER + ASSOCIATES



6TH FLOOR PLAN - Proposed
1/16" = 1'-0"



ROOF PLAN - Proposed
1/16" = 1'-0"



1216-1218 Race Street
Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

STEINER + ASSOCIATES

PLATTE
architecture + design

 202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

WWW.PLATTEDESIGN.COM



WEST ELEVATION - Existing
 1/16" = 1'-0"

1216-1218 Race Street
 Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

STEINER + ASSOCIATES

PLATTE
 architecture + design



202 W. ELDER ST.
 4TH FLOOR
 CINCINNATI
 OH 45202

WWW.PLATTEDESIGN.COM



EAST ELEVATION - Existing
1/16" = 1'-0"

1216-1218 Race Street
Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

STEINER + ASSOCIATES

PLATTE
architecture + design



202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

WWW.PLATTEDESIGN.COM



WEST ELEVATION (FRONT) - Proposed
 1/16" = 1'-0"

MATERIALS LEGEND

	BRICK MASONRY - DARK GRAY
	PAINTED CMU - DARK GRAY
	STAINED WOOD
	METAL PANEL - LIGHT GRAY

1216-1218 Race Street
 Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

STEINER + ASSOCIATES

PLATTE
 architecture + design



202 W. ELDER ST.
 4TH FLOOR
 CINCINNATI
 OH 45202

WWW.PLATTEDESIGN.COM



EAST ELEVATION (REAR) - Proposed
 1/16" = 1'-0"

MATERIALS LEGEND

	BRICK MASONRY - DARK GRAY
	PAINTED CMU - DARK GRAY
	STAINED WOOD
	METAL PANEL - LIGHT GRAY

1216-1218 Race Street
 Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

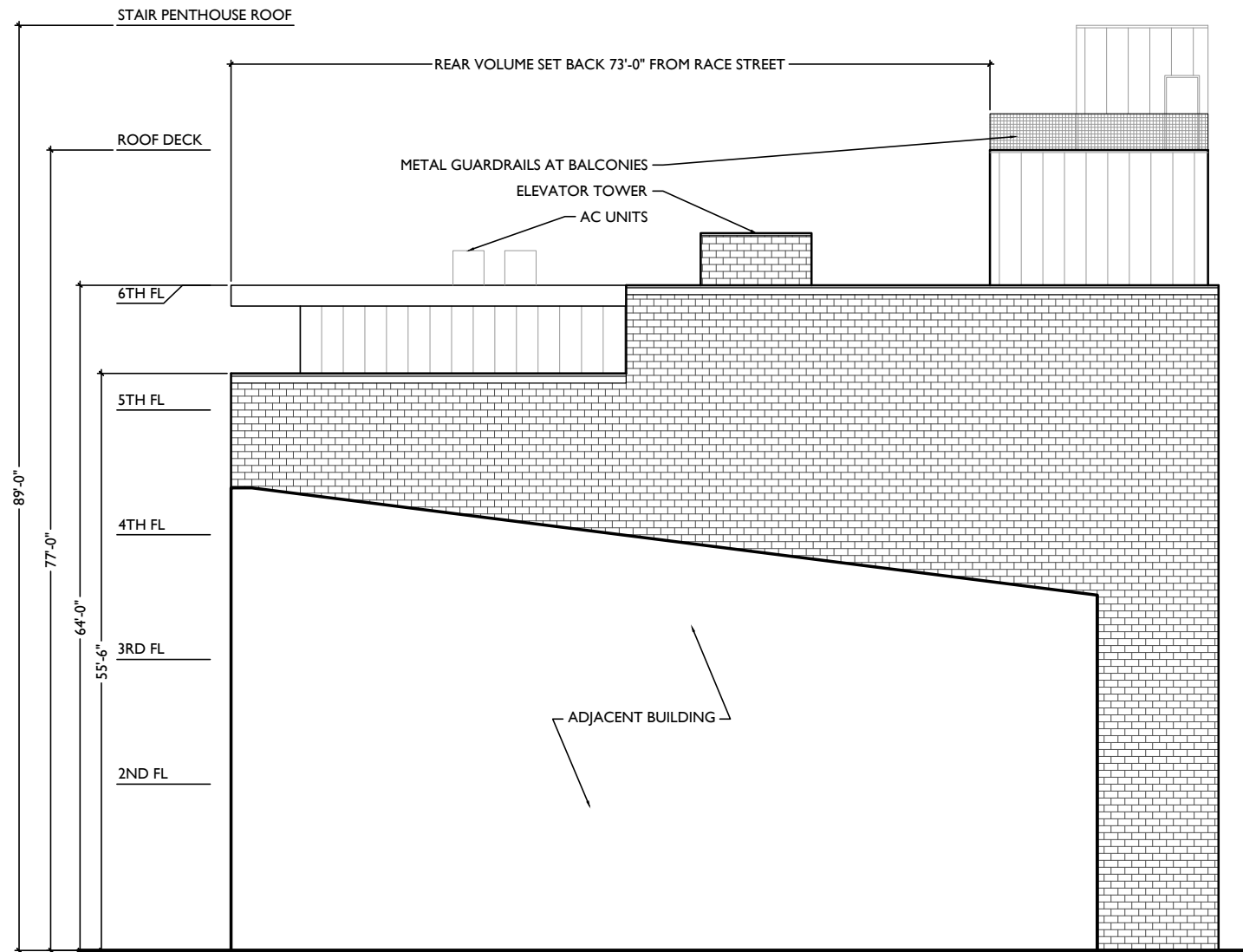
STEINER + ASSOCIATES

PLATTE
 architecture + design

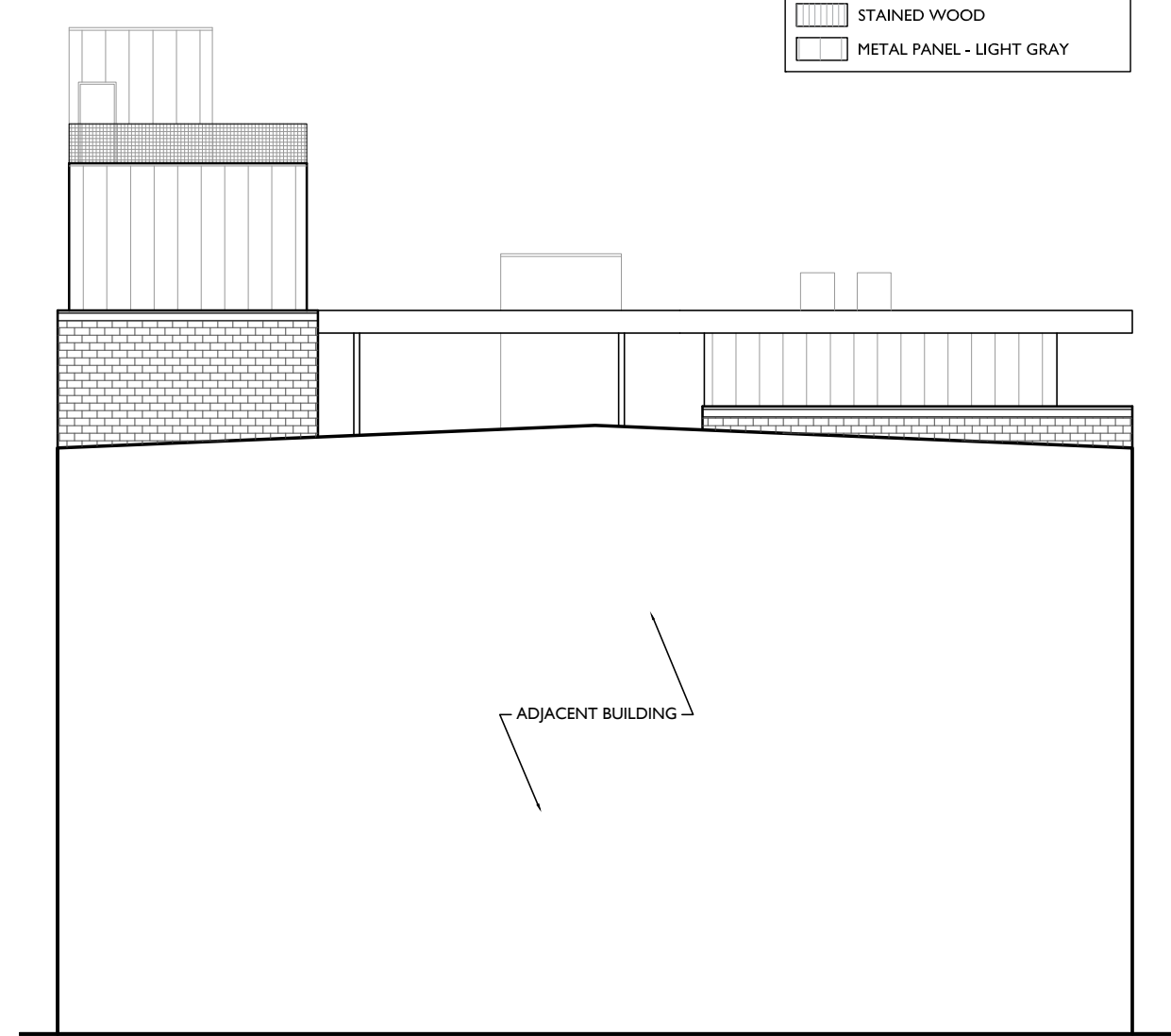


202 W. ELDER ST.
 4TH FLOOR
 CINCINNATI
 OH 45202

WWW.PLATTEDESIGN.COM







SOUTH ELEVATION (SIDE) - Proposed
 1/16" = 1'-0"



NORTH ELEVATION (SIDE) - PROPOSED
 1/16" = 1'-0"

MATERIALS LEGEND

-  BRICK MASONRY - DARK GRAY
-  PAINTED CMU - DARK GRAY
-  STAINED WOOD
-  METAL PANEL - LIGHT GRAY

1216-1218 Race Street
 Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

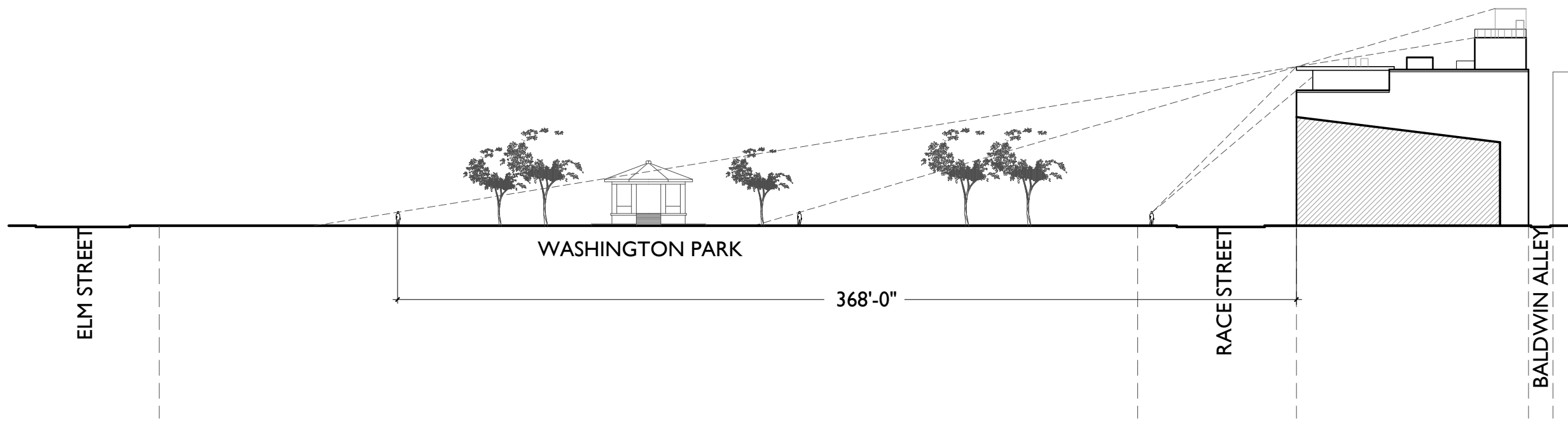
STEINER + ASSOCIATES

PLATTE
 architecture + design



202 W. ELDER ST.
 4TH FLOOR
 CINCINNATI
 OH 45202

WWW.PLATTEDESIGN.COM



FRONT SITELINES - Section looking North
 1' = 50'

1216-1218 Race Street
 Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

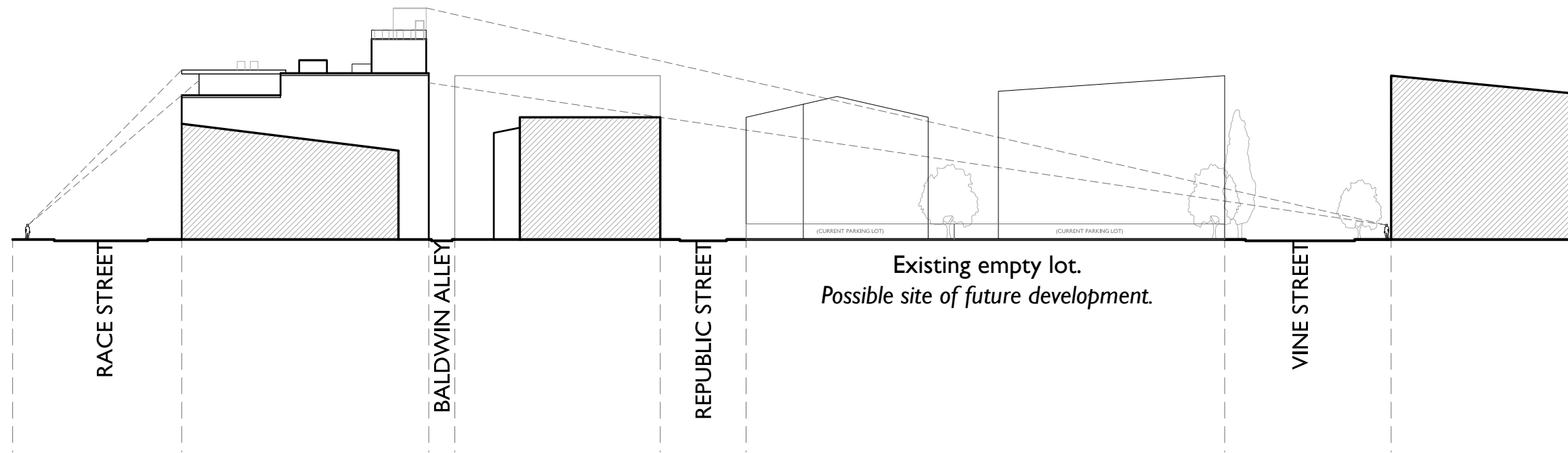
STEINER + ASSOCIATES

PLATTE
 architecture + design



202 W. ELDER ST.
 4TH FLOOR
 CINCINNATI
 OH 45202

WWW.PLATTEDESIGN.COM



REAR SITELINES - Section looking North
1' = 50'

1216-1218 Race Street
Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

STEINER + ASSOCIATES

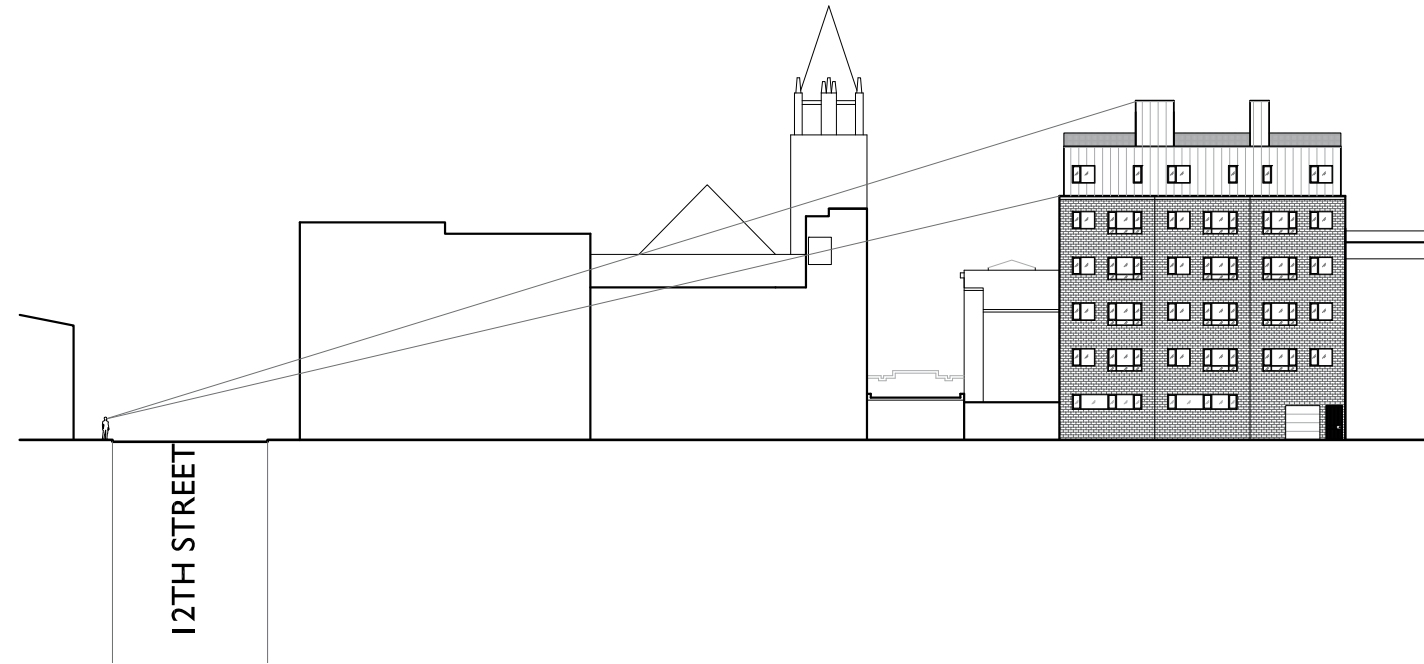
PLATTE
architecture + design



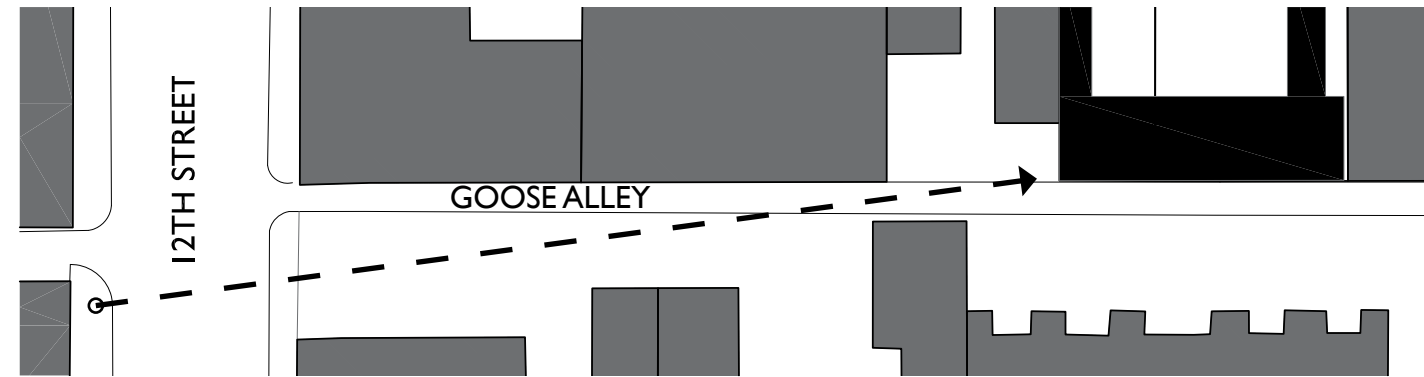
202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

WWW.PLATTEDESIGN.COM

Section looking West



Rear Alley Plan



GOOSE ALLEY SITELINES
1' = 50'

1216-1218 Race Street
Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

STEINER + ASSOCIATES

PLATTE
architecture + design



202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

WWW.PLATTEDESIGN.COM



COMPOSITION

“New buildings should respond to the traditional subdivisions found on historic property: a base, a middle and a top. Most buildings in Over-the-Rhine are built of brick with the principal facade parallel to the street it faces. **The most important features of buildings in Over-the-Rhine are the arrangement of openings on the principal facade and an overall vertical emphasis of the whole design.**

BASE: New buildings should have a well-defined base. Within the district most buildings have a base that is distinguishable from the rest of the building. This is accomplished through a change of materials, a **change of scale**, and/or a lintel or other type of horizontal banding. In larger buildings the original base may include more than the first floor.”

1216-1218 Race Street
Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

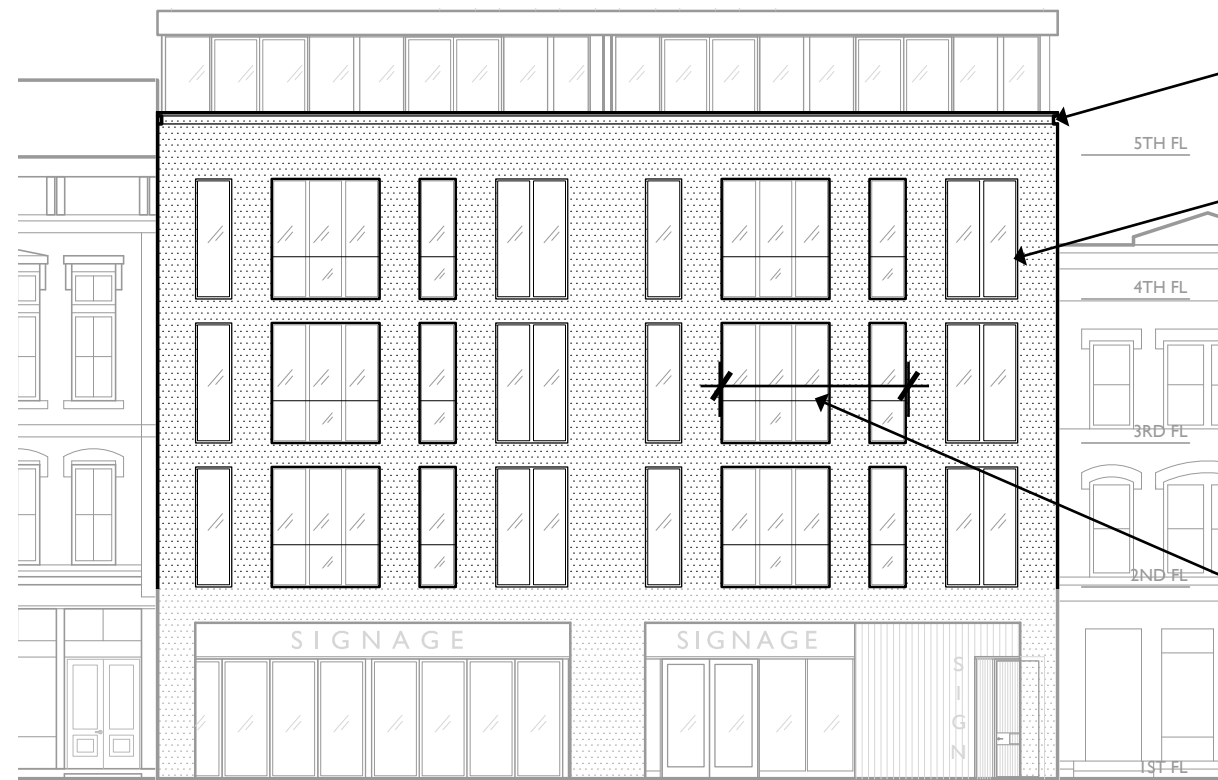
STEINER + ASSOCIATES

PLATTE
architecture + design



202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

WWW.PLATTEDESIGN.COM



Stone parapet & brick reveal, terminating the middle zone.

The precision of modern, unadorned openings reinforces the grid of horizontal and vertical lines created in adjacent buildings by historical details like stone lintels and sills.

Balconies are recessed behind a rhythm of vertically-aligned openings. Sliding and swing doors to the rear of the balconies are detailed similarly to the windows in adjacent punched openings, reinforcing the consistent sequence

COMPOSITION

“New buildings should respond to the traditional subdivisions found on historic property: a base, a middle and a top. Most buildings in Over-the-Rhine are built of brick with the principal facade parallel to the street it faces. **The most important features of buildings in Over-the-Rhine are the arrangement of openings on the principal facade and an overall vertical emphasis of the whole design.**”

MIDDLE: Details on new buildings should relate to the detailing of adjacent or nearby buildings. Buildings in the district often incorporate architectural details such as changes in plane or changes in materials on their upper floors. **Decorative, horizontal bands indicating the floor lines, sill heights or lintel heights should not overpower the vertical emphasis of the design.”**

1216-1218 Race Street
Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

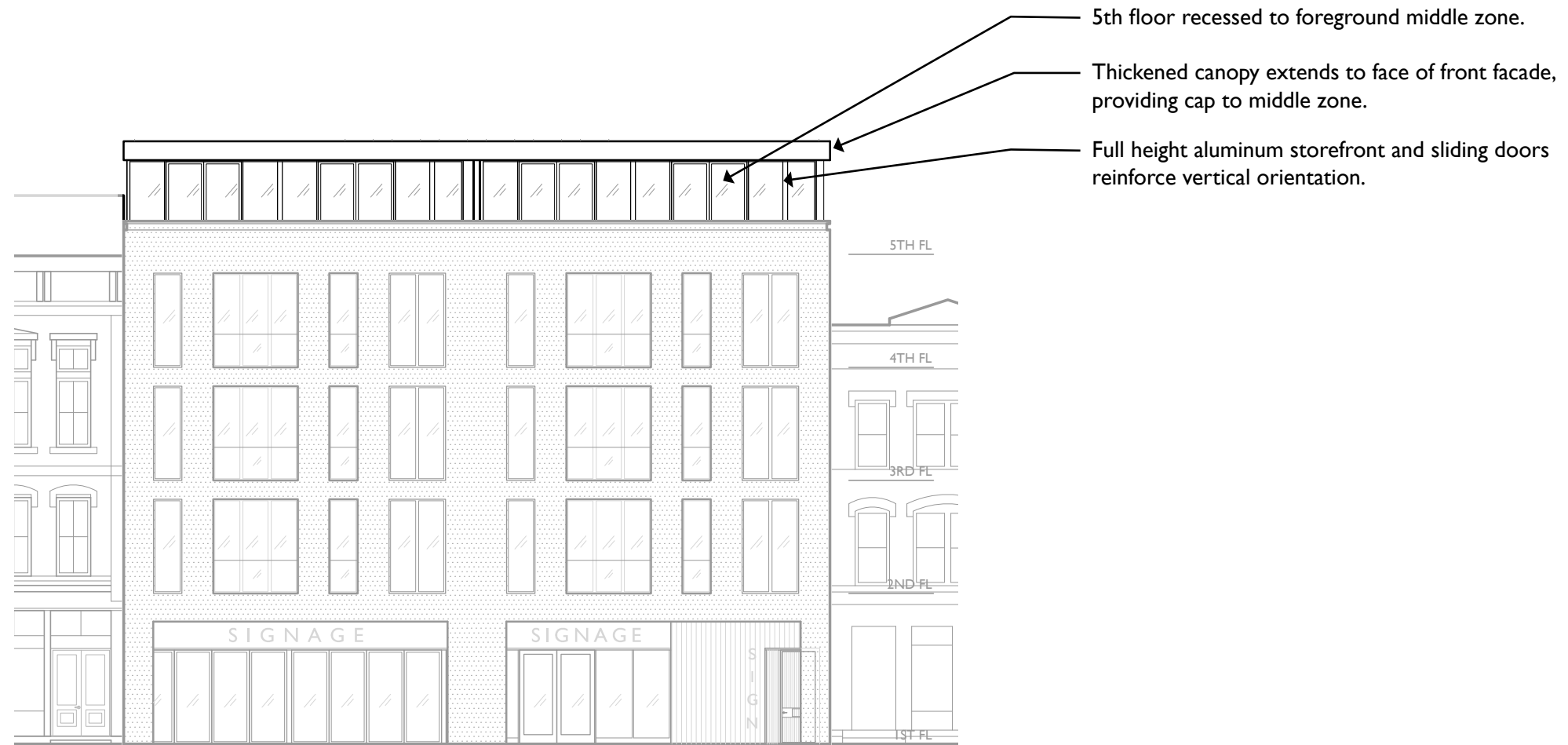
STEINER + ASSOCIATES

PLATTE
architecture + design



202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

WWW.PLATTEDESIGN.COM



COMPOSITION

“New buildings should respond to the traditional subdivisions found on historic property: a base, a middle and a top. Most buildings in Over-the-Rhine are built of brick with the principal facade parallel to the street it faces. **The most important features of buildings in Over-the-Rhine are the arrangement of openings on the principal facade and an overall vertical emphasis of the whole design.**

TOP: New construction must employ a strong element that terminates the uppermost part of the building. Distinctive elements in the architecture of Over-the-Rhine are elaborate projecting cornices, decorative parapets and the expressive use of materials.”

1216-1218 Race Street
Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

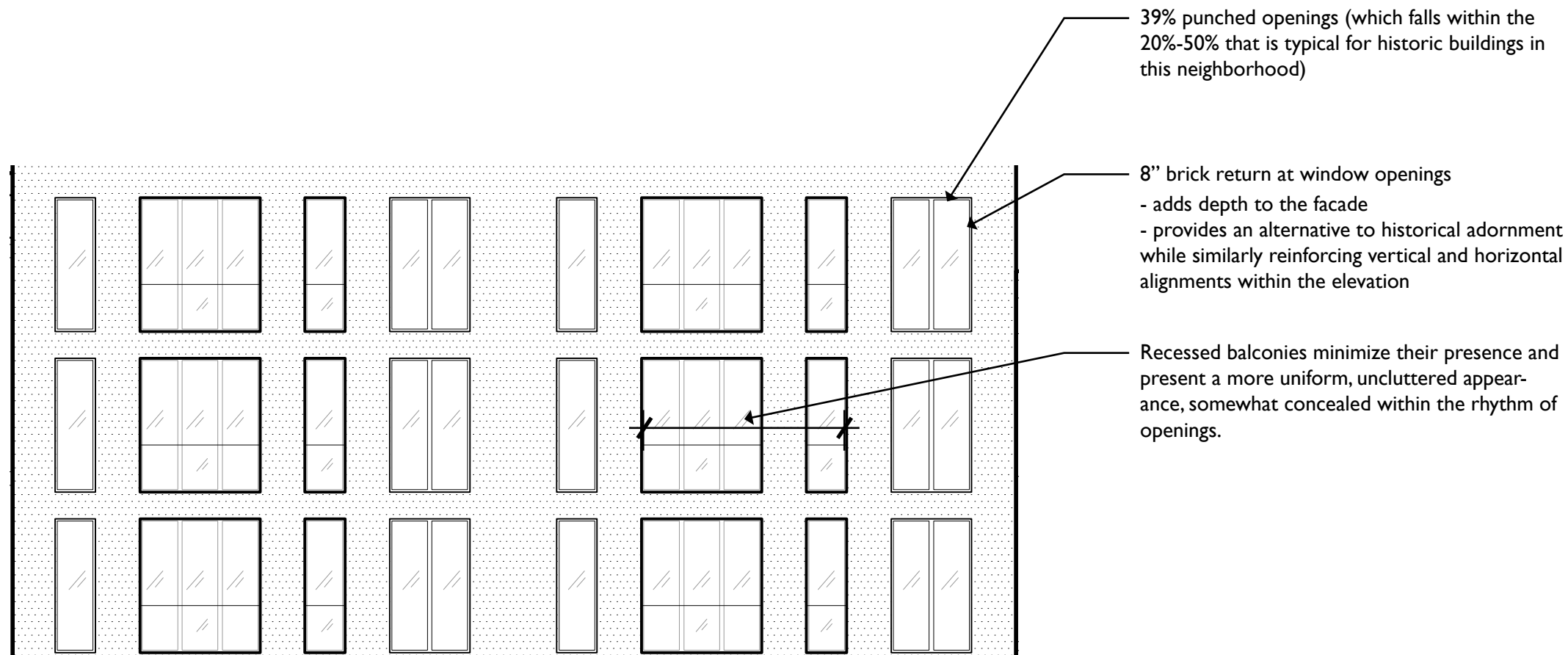
STEINER + ASSOCIATES

PLATTE
architecture + design



202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

WWW.PLATTEDESIGN.COM



WINDOW OPENINGS

“Window openings are extremely important in this district. The openings of new buildings should be related to the size and placement of openings found on historic structures of similar use in the district. In residential buildings, window openings are typically found individually rather than in pairs or grouped. The openings are taller and wide (typically in a proportion of 2:1), window sash are set back from the wall surface, and openings have some form of definition, such as lintels, sills or decorative surrounds. Window openings, which are typically aligned vertically, usually occupy between 20T and 50T of the principal facade. In commercial, industrial and institutional buildings, windows are often grouped within a single opening. These building types may also use a combination of window sash, including double-hung, awning and hopper. If muntins are used in new window sash, they must provide true divided lights. Within the individual opening, window sashes are usually divided into two or more lights. In all cases the glass must be clear; tinted or reflective glass is not acceptable. Also, roll down shutters and metal bar systems installed on the exterior of the building that cover door and window openings are not appropriate.”

1216-1218 Race Street
Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

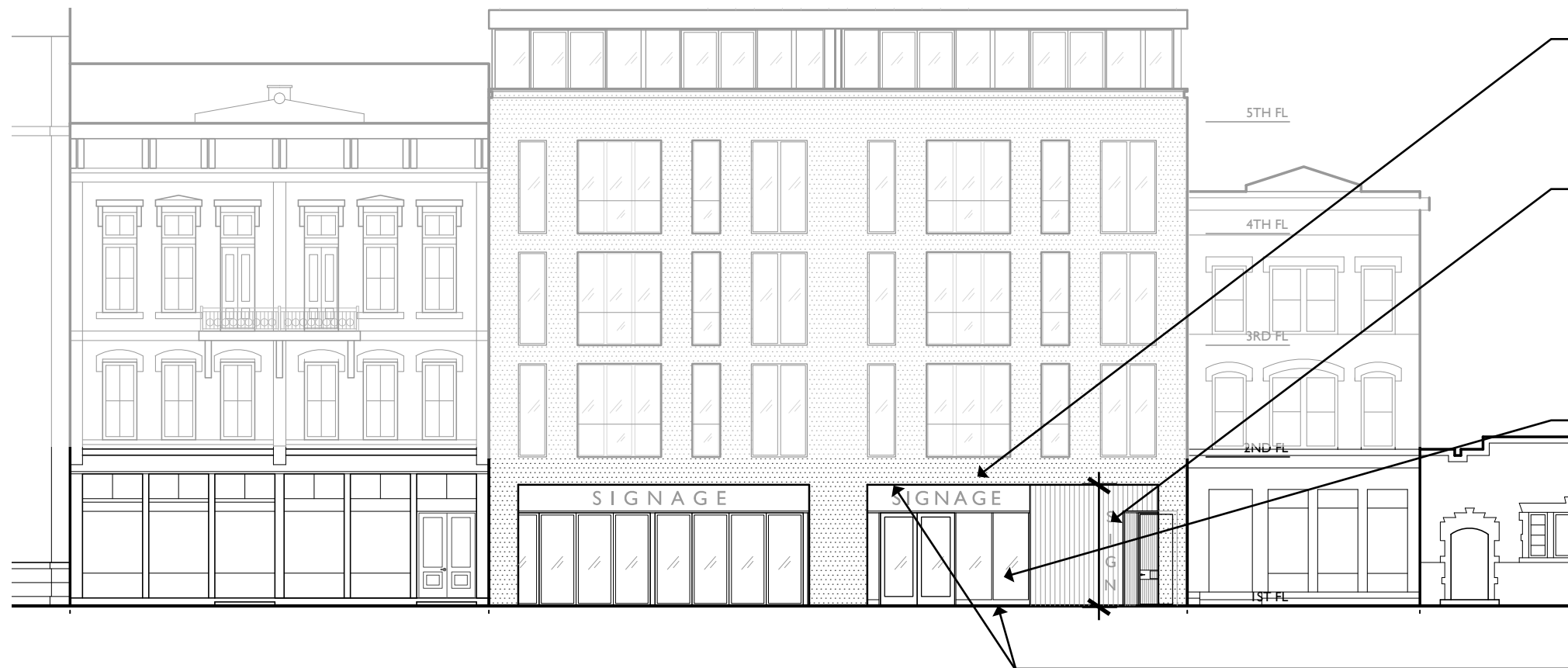
STEINER + ASSOCIATES

PLATTE
architecture + design



202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

WWW.PLATTEDESIGN.COM



The storefront lintel is concealed within the brick to add verticality to the front facade.

The open area below the concealed lintel is 13'-0" high, which falls within the Historic Guidelines' range of 12'-0" to 18'-0".

The storefront itself is primarily glass, similar to historic storefronts in the district.

Pedestrian scale achieved by:
 - overhead plane of ceiling at recessed area
 - aluminum storefront/sliders mullion spacing (4'-0")

STOREFRONTS

"New storefronts should relate to the characteristics of existing storefronts on historic buildings. **Storefronts in the district are typically taller than individual upper floors;** framed by piers and/or columns and have a lintel separating them from the upper floors; are divided into bays which increases their verticality and provides a pedestrian scale and proportion; and **have large, fixed expanses of clear (not tinted or reflective) glass.** As with rehabilitated original storefronts, roll down shutters and metal bar systems installed on the exterior of the building are not appropriate elements for new storefronts.

The storefront lintels are 12'-0" to 18'-0" above grade; the window sill height is between 18" and 3'-0" above grade; and storefront windows are set back from the structural elements approximately 12".

1216-1218 Race Street
 Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

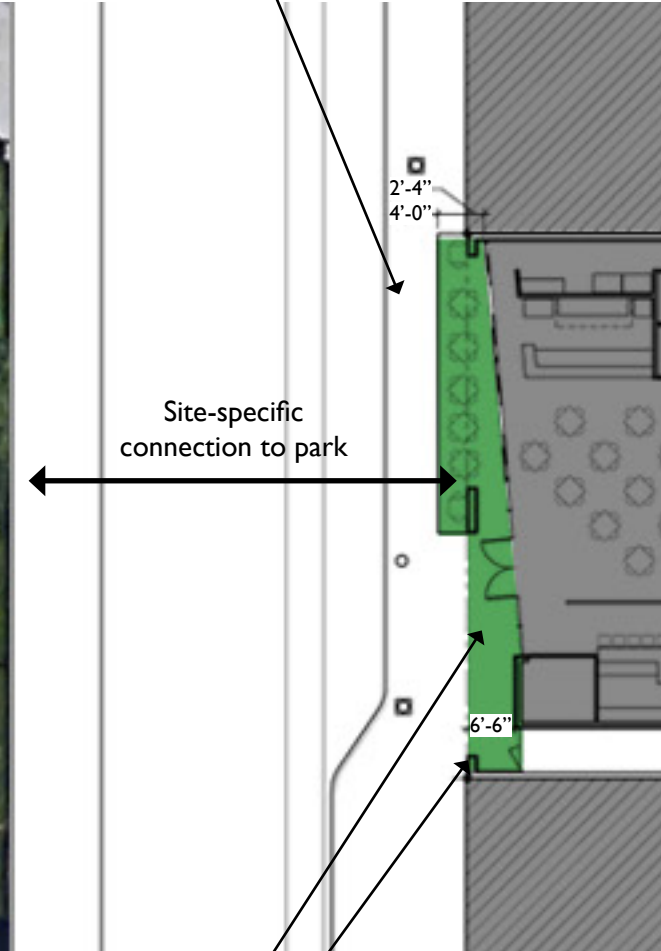
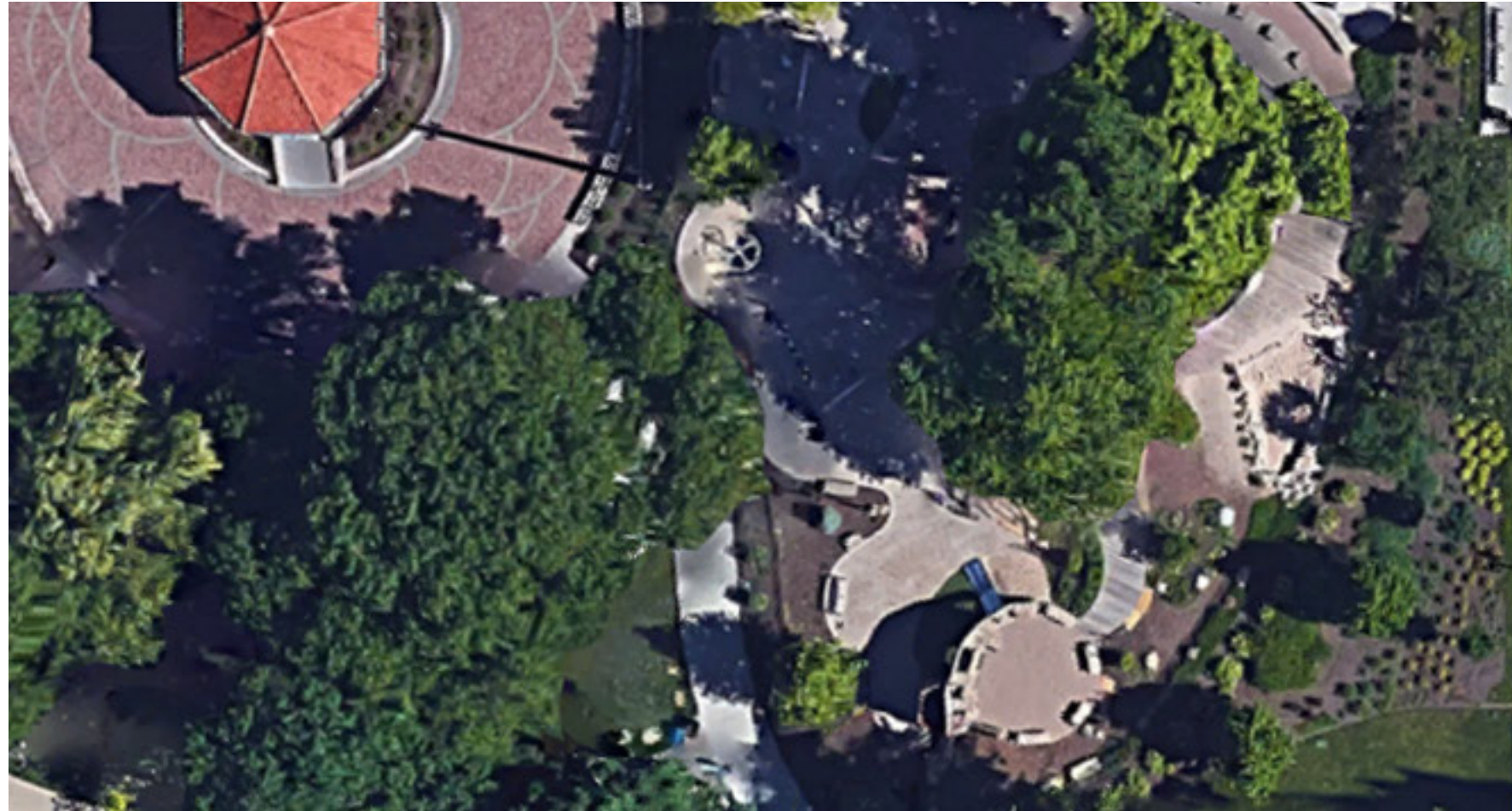
STEINER + ASSOCIATES

PLATTE
 architecture + design



202 W. ELDER ST.
 4TH FLOOR
 CINCINNATI
 OH 45202

WWW.PLATTEDESIGN.COM



Outdoor seating avoids pinch point at sidewalk.

Site-specific connection to park

Membrane of first floor storefront is recessed to provide outdoor seating.

Building maintains property line at floors above.

1216-1218 RACE

1216-1218 Race Street
Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

STEINER + ASSOCIATES

PLATTE
architecture + design

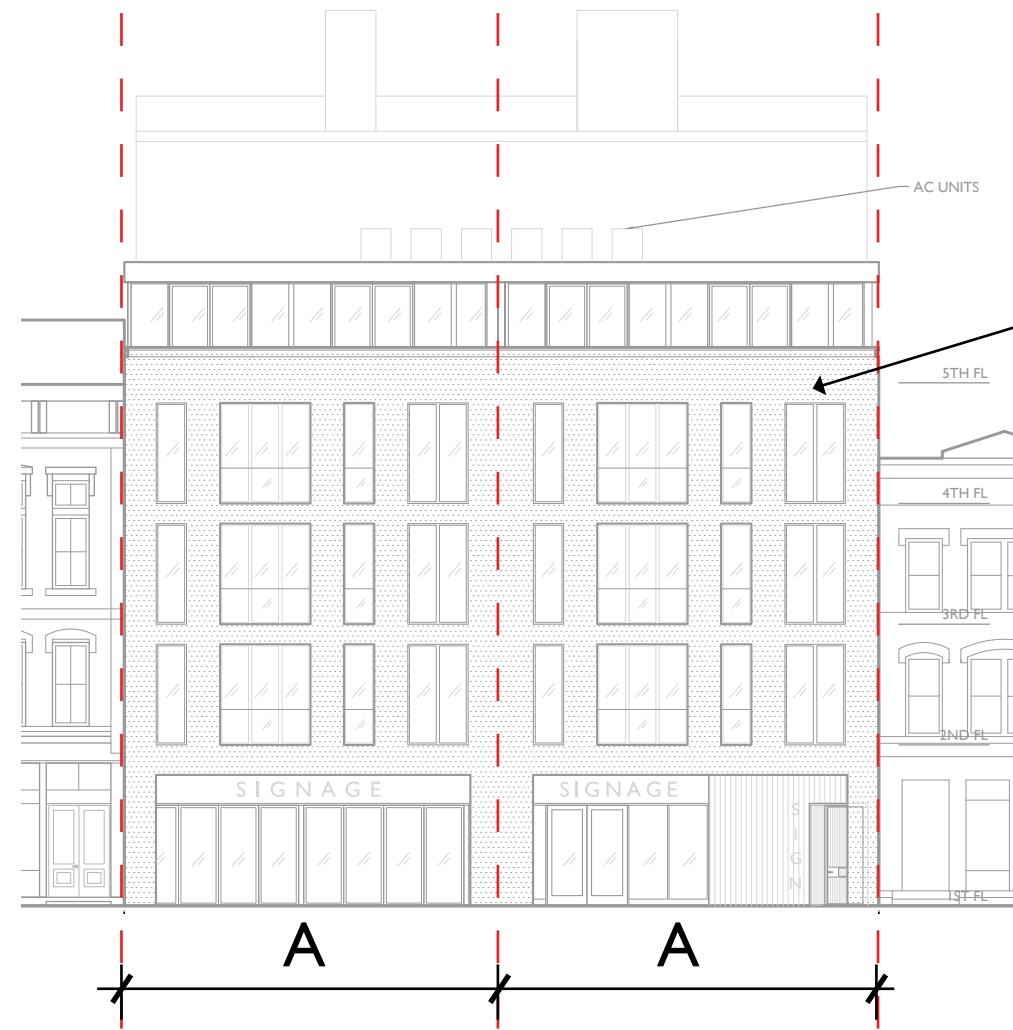


202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

WWW.PLATTEDESIGN.COM

SETBACK

“Setback is an important issue in a dense urban area such as Over-the-Rhine. The setback for new construction should be consistent with the buildings of similar use on adjacent and nearby sites. In Over-the-Rhine, most commercial buildings are built up to the property line. Some residential property, especially detached buildings, have shallow setbacks but retain an “edge” at the property line with a fence. Some larger institutional buildings such as schools, churches, and public buildings are setback from the street to provide public space and to add to their monumentality. In most cases new construction on corner sites should be built up to the edge of both outside property lines.”



Flat front facade broken up into two bays



1630 Race Street



36 Findlay Street

RHYTHM

“New buildings should incorporate design features, such as window groupings, articulation of wall surfaces, and decorative elements such as columns or piers in an effort to maintain the rhythm that already exists in the district. New construction should avoid creating long unrelieved expanses of wall along the street by maintaining the rhythm of bays found on the district. Most buildings in Over-the-Rhine are relatively narrow, 25 to 50 feet in width. A building facade typically displays vertical subdivisions that establish a visual rhythm. In dense commercial areas such as Vine Street, there are no setbacks, creating a solid wall along the street. This wall is articulated by the individual buildings, which in turn **are divided by window groupings**, changes in wall planes and decorative elements such as pilasters, columns or piers.”

1216-1218 Race Street
Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

STEINER + ASSOCIATES

PLATTE
architecture + design



202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

WWW.PLATTEDESIGN.COM



Bays created through a rhythm of single and grouped windows.



1708 Race Street

RHYTHM

“New buildings should incorporate design features, such as window groupings, articulation of wall surfaces, and decorative elements such as columns or piers in an effort to maintain the rhythm that already exists in the district. New construction should avoid creating long unrelieved expanses of wall along the street by maintaining the rhythm of bays found on the district. Most buildings in Over-the-Rhine are relatively narrow, 25 to 50 feet in width. A building facade typically displays vertical subdivisions that establish a visual rhythm. In dense commercial areas such as Vine Street, there are no setbacks, creating a solid wall along the street. This wall is articulated by the individual buildings, which in turn **are divided by window groupings**, changes in wall planes and decorative elements such as pilasters, columns or piers.”

1216-1218 Race Street
Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

STEINER + ASSOCIATES

PLATTE
architecture + design



202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

WWW.PLATTEDESIGN.COM



1404 Race Street - 96'



1826 Race Street - 52'



1306 Main Street - 51'



1414-1420 Main Street - 137'

Precedents - Large buildings with flat expanses of wall, undifferentiated repetition of openings. Bays are created by vertically stacked windows.

RHYTHM

“New buildings should incorporate design features, such as window groupings, articulation of wall surfaces, and decorative elements such as columns or piers in an effort to maintain the rhythm that already exists in the district. **New construction should avoid creating long unrelieved expanses of wall along the street by maintaining the rhythm of bays found on the district.** Most buildings in Over-the-Rhine are relatively narrow, 25 to 50 feet in width. A building facade typically displays vertical subdivisions that establish a visual rhythm. In dense commercial areas such as Vine Street, there are no setbacks, creating a solid wall along the street. This wall is articulated by the individual buildings, which in turn **are divided by window groupings**, changes in wall planes and decorative elements such as pilasters, columns or piers.”

1216-1218 Race Street
Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

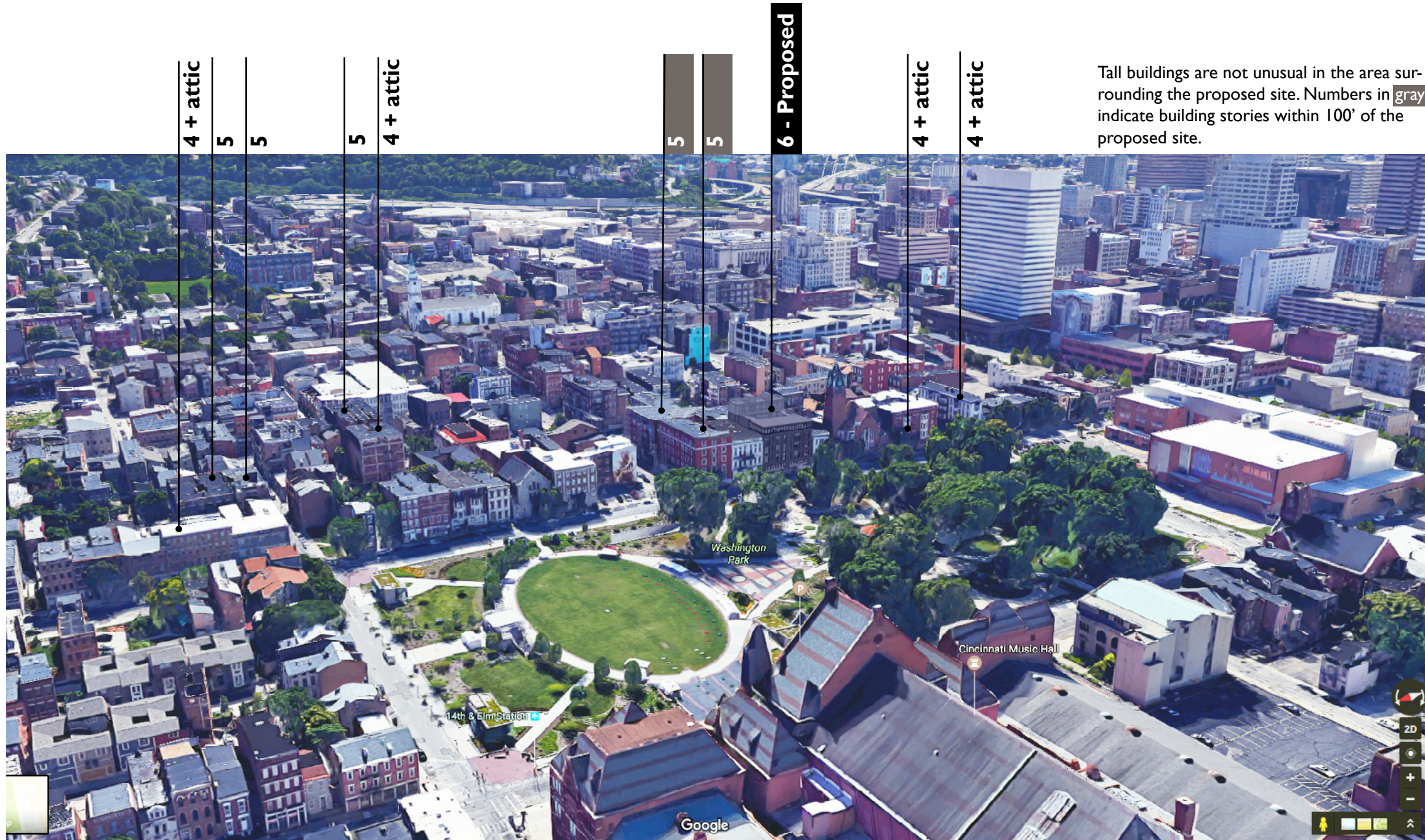
STEINER + ASSOCIATES

PLATTE
architecture + design



202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

WWW.PLATTEDESIGN.COM



Tall buildings are not unusual in the area surrounding the proposed site. Numbers in gray indicate building stories within 100' of the proposed site.

HEIGHT

“The height of new construction should not vary more than one story from adjacent contributing buildings. Most buildings in Over-the-Rhine are between two- and five-stories.”

1216-1218 Race Street
Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

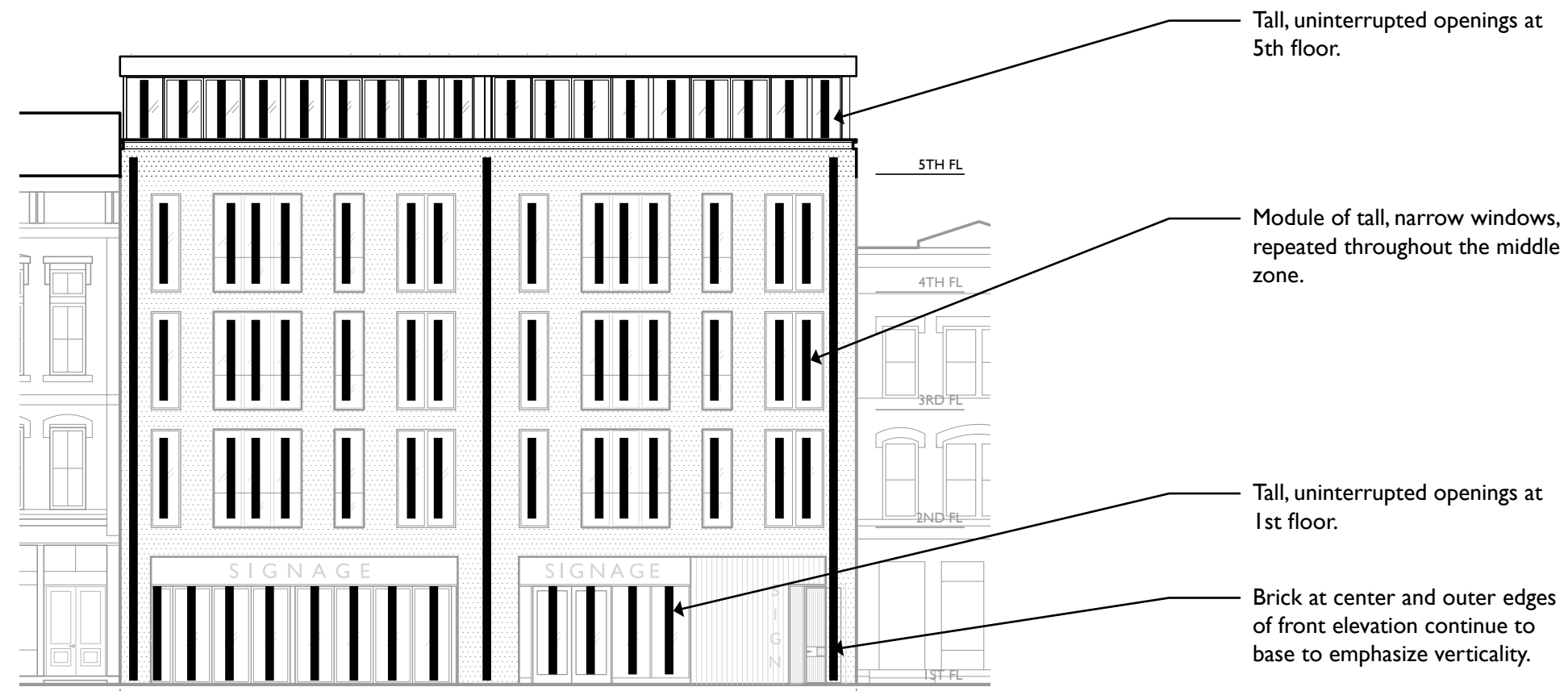
STEINER + ASSOCIATES

PLATTE
architecture + design



202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

WWW.PLATTEDESIGN.COM



Vertical elements within facade counteract horizontal shape of building footprint.

EMPHASIS

“New residential and mixed-use construction should have a vertical emphasis, because in Over-the-Rhine buildings are taller than they are wide, **window openings are tall and narrow**, and storefronts have slender columns, which emphasize verticality. Commercial and industrial buildings, which may have an overall horizontal emphasis, often incorporate vertical elements, such as pilasters or vertically oriented openings.”

1216-1218 Race Street
Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

STEINER + ASSOCIATES

PLATTE
architecture + design



202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

WWW.PLATTEDESIGN.COM



BRICK MASONRY
Dark gray modular-sized brick with gray mortar.

Location: front elevation.

Gray mortar sample inserted into brick sample.



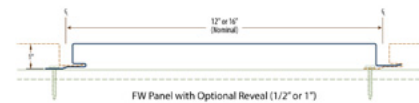
CMU
Painted to match the brick on the front elevation.

Location: side and rear elevations.



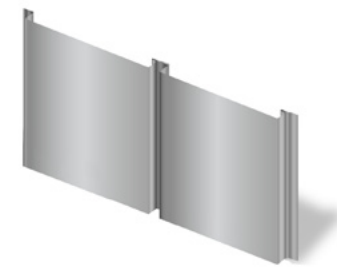
WOOD CLADDING
Tongue-and-groove plank cedar cladding, stained.

Location: breezeway entry, balcony walls/ceiling, 5th floor canopy underside.



METAL PANELS
Interlocking aluminum panel, 12" wide, with concealed fasteners and 1/2" reveal. Vertically oriented.

Location: walls of top floor at both front and rear volumes.



MATERIALS

“New construction should use materials that are found on the historic buildings in Over-the-Rhine. Clearly **the dominant material in Over-the-Rhine is brick**, but other materials such as limestone, sandstone, cast-iron, slate, **wood and sheet metal are important as well**. Materials such as stucco, synthetic stucco and plastic are not appropriate and should not be considered as exposed finish materials for new construction in this district.”

1216-1218 Race Street
Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

STEINER + ASSOCIATES

PLATTE
architecture + design

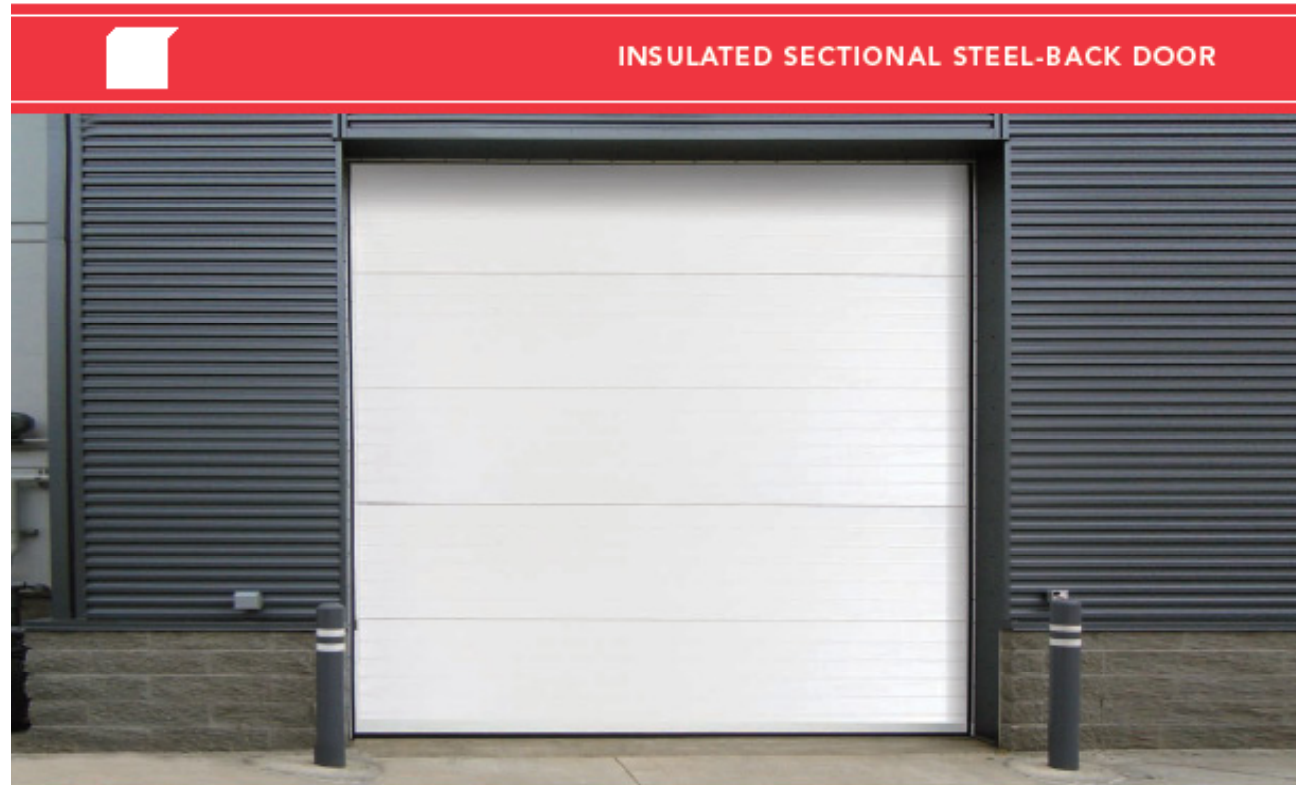


202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

WWW.PLATTEDESIGN.COM

470

INSULATED STEEL



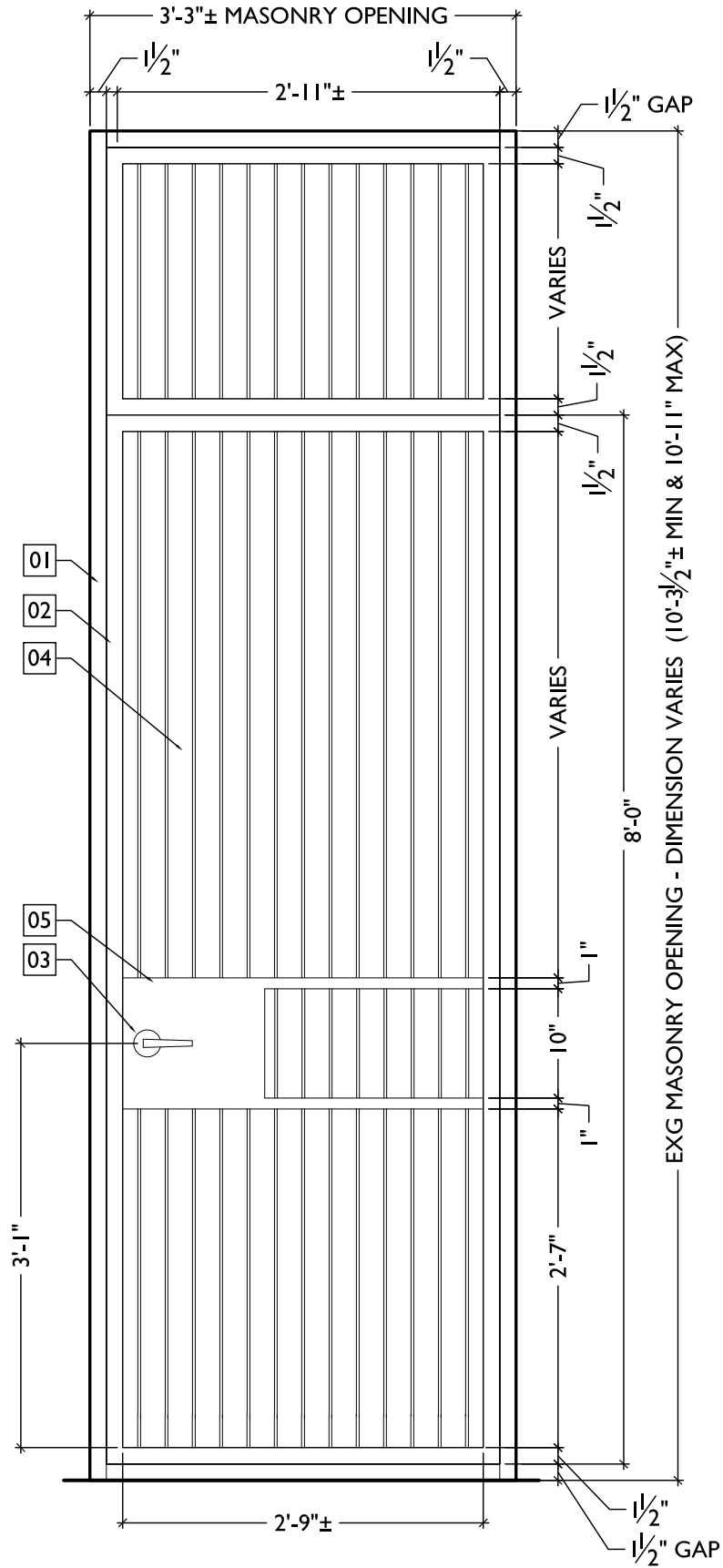
INSULATED SECTIONAL STEEL-BACK DOOR

PERFECT FOR COMMERCIAL AND INDUSTRIAL APPLICATIONS WHERE DURABILITY, RELIABILITY AND ENERGY EFFICIENCY ARE ESSENTIAL

- **Solidly Constructed for Reliable Performance**
 - Steel interior backing provides a durable finished appearance
 - Baked-on polyester paint finish eliminates field painting and provides long-lasting protection against the elements
 - Heavy-duty track and hardware are fabricated of high-quality galvanized steel and engineered for precise, trouble-free performance
- **Thermal performance**
 - 2" polystyrene insulation delivers superior 9.83 R-Value*



GARAGE DOOR - Proposed



BREEZEWAY GATE - Proposed
3/4" = 1'-0"

KEYED NOTES:

01. 1/2" x 1/2" SQUARE STEEL FRAME ATTACHED TO ADJACENT EXG. MASONRY WALL
02. 1/2" x 1/2" SQUARE STEEL DOOR FRAME MOUNTED ON HINGES
03. TYPICAL GATE HARDWARE. SEE A5.2
04. 1" x 1/8" STEEL FLAT BARS WELDED TO 1/2" x 1/2" x 1/2" STEEL PERIMETER FRAME & 1" x 1" ANGLED STEEL PIECES, EQUALLY SPACED AT 2 1/2" MAX.
05. 16 GA STEEL PLATE WELDED TO ADJACENT FRAME TO HOUSE HARDWARE

NOTE: ALL EXTERIOR STEEL TO BE GALVANIZED, TYP.

1216-1218 Race Street
Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

STEINER + ASSOCIATES

PLATTE
architecture + design



202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

WWW.PLATTEDESIGN.COM



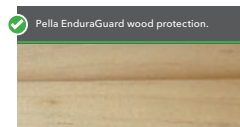
Seals tight and locks easily.

Architect Series® casement windows feature the SureLock® System that reaches out to pull the window sash against the weatherstripping to form a tight seal against drafts, making them more energy-efficient. Plus, Pella's patented Unison Lock System secures casement and awning windows in two places with a single, easy-to-reach handle.

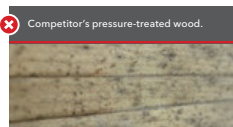


Lasting beauty.

EnduraGuard® wood protection offers advanced protection against the effects of moisture, decay, stains from mold and mildew – as well as termite damage. This proven immersion-treatment method will help ensure that Pella® wood windows and patio doors look and perform beautifully for years.



Pella's casement window after 7 months of exposure to moisture.*



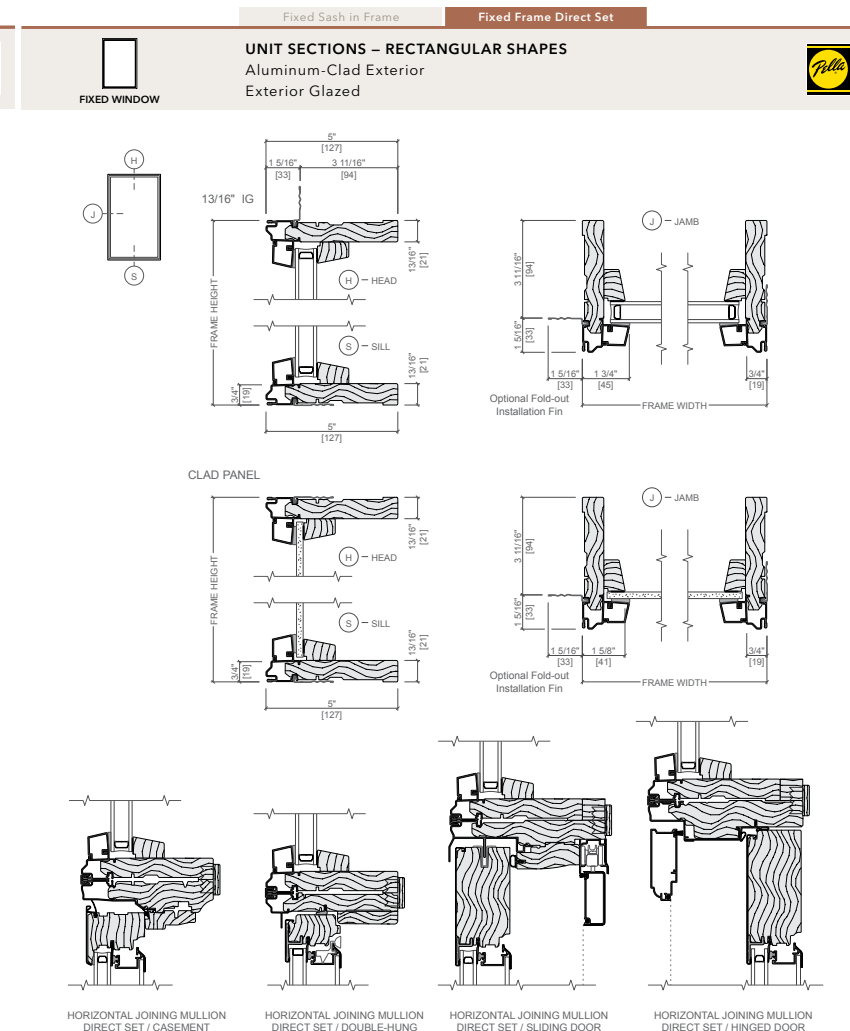
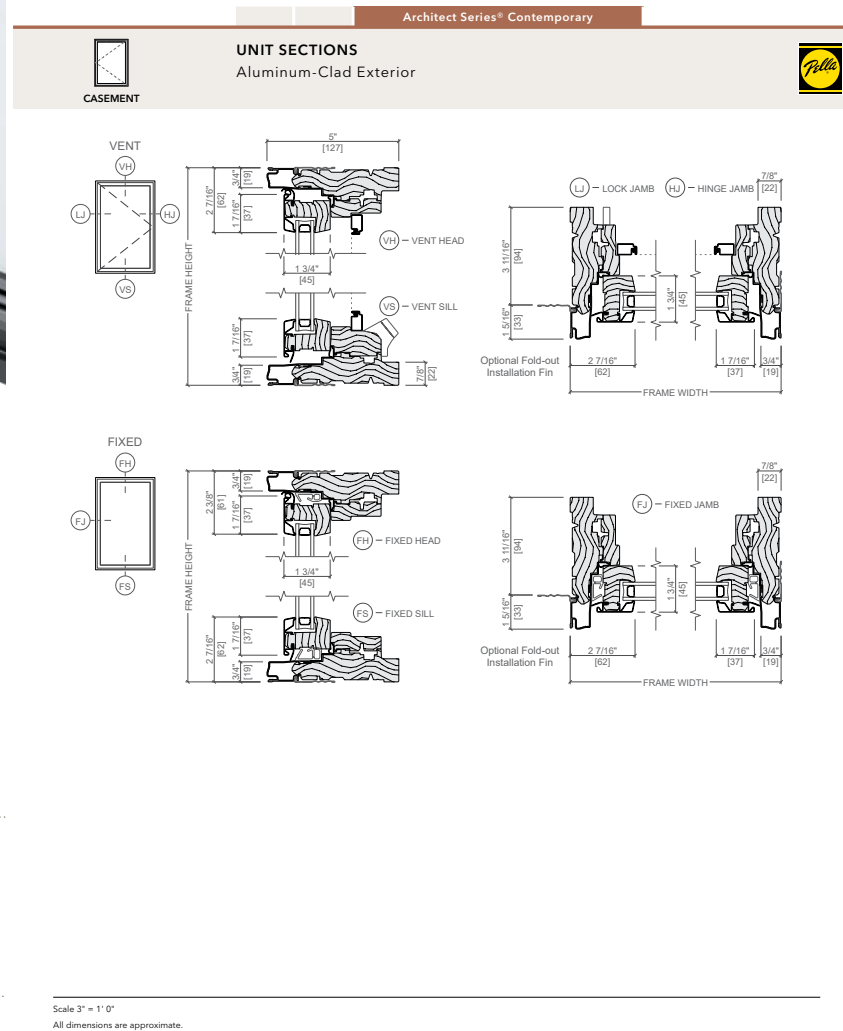
Stain mold present after 7 months of field-testing a competitor's pressure-treated wood.*



The confidence of added protection.

Pella products are backed by some of the strongest warranties in the business. See written limited warranty for details, including exceptions and limitations, at pella.com/warranty.

*For testing purposes, the seal between the bottom rail and the glass was compromised in both casement units tested.



PELLA ARCHITECT SERIES CONTEMPORARY - Primary Elevation

1216-1218 Race Street
Cincinnati, OH 45202

RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

STEINER + ASSOCIATES

PLATTE
architecture + design



202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

WWW.PLATTEDESIGN.COM



CASEMENT WINDOWS



A casement window perfectly complements the simplicity of modern design, while also providing maximum ventilation. This type of window is hinged on either side so the sash opens outward, to the right or left, in a swinging motion.

Standard Features

- Color: White or Desert Sand
- 2-1/2" frame
- Frames include integral nailing fin
- Foam compression gaskets in frame corners
- Nesting handle
- Compression weatherstrip applied along the full perimeter of the operating sash
- High-performance Low-E insulating glass
- Fiberglass Charcoal insect screens in an aluminum frame to match the unit's color*
- Low-profile multipoint locking system
- DP 50 performance rated

Optional Features

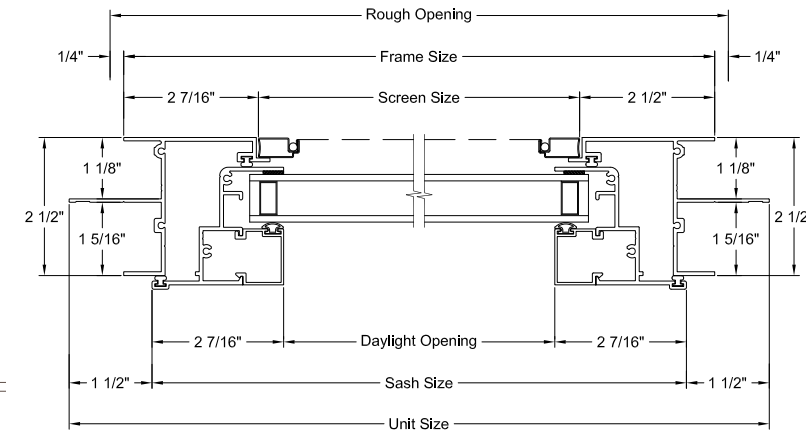
- Color: Bronze Anodized, Clear Anodized, French Vanilla, Arctic Silver, Mesa Red, Hartford Green, Hunter Green, Chestnut Bronze, or Dark Chocolate
- Insulating glass options include Low-E with argon, LoE¹-366, tinted, textured, laminated and tempered glass
- Grilles between the glass (GBG) available with 5/8" flat or 1" contour grilles
- Frame options include block and flush fin
- Custom sizes available

*Insect screens are intended to allow air and light in while keeping insects out. They are not intended to stop children from falling through an open door or window. For safety screens or other security devices, contact your local building supply retailer.



PREMIUM ALUMINUM
ALUMINUM WINDOWS
CASEMENT

OPERATOR - HORIZONTAL SECTION



Architectural Design Manual
October 2016

Product specifications may change without notice.
Questions? Consult JELD-WEN customer service.

Scale: 6" = 1' - 0"
3

JELD-WEN PREMIUM ALUMINUM - Secondary Elevation

1216-1218 Race Street
Cincinnati, OH 45202
RESTAURANT / APARTMENTS

Certificate of Appropriateness Application

STEINER + ASSOCIATES

PLATTE
architecture + design



202 W. ELDER ST.
4TH FLOOR
CINCINNATI
OH 45202

WWW.PLATTEDESIGN.COM



Memorandum

To: The Historic Conservation Board
 c/o Beth Johnson
 Urban Conservator
 513-352-4848
 beth.johnson@cincinnati-oh.gov

From: Over-the-Rhine Foundation
 1219 Sycamore Street
 Cincinnati, Ohio 45202

Date: 04/03/2017

CERTIFICATE OF APPROPRIATENESS REPORT

1216-1218 Race
OVER-THE-RHINE HISTORIC DISTRICT

Applicant	
Type of Request	COA for demolition and new construction

After review, the Over-the-Rhine Foundation Infill Committee does not support this application.

Note: This checklist was developed by the Over-the-Rhine Foundation and compares the proposed project with the applicable guidelines for new construction in the Over-the-Rhine Historic District

SUMMARY CHECKLIST

Specific Guideline	Meets Guideline?			Conditions
	Yes	No	Partial	
1. Base		x		See comments in section.
2. Middle		x		See comments in section.
3. Top		x		See comments in section.
4. Roofs	x			
5. Windows		x		See comments in section.
6. Storefronts		x		See comments in section.
7. Setback		x		See comments in section.
8. Rhythm		x		See comments in section.
9. Vertical Emphasis		x		See comments in section.
10. Height		x		See comments in section.
11. Materials		x		Not enough information. See comments in section.

CERTIFICATE OF APPROPRIATENESS REPORT
1216-1218 Race Street

12. Other Comments	N/A	N/A	N/A	
--------------------	-----	-----	-----	--

DETAILED CHECKLIST REVIEW

1. Composition - Base:

Does the project meet the applicable guidelines for Composition - Base?	Yes	No	Partial
		x	

“New buildings should have a well-defined base. Within the district most buildings have a base that is distinguishable from the rest of the building. This is accomplished through a change of materials, a change of scale, and/or a lintel or other type of horizontal banding. In larger buildings the original base may include more than the first floor.”

Comment:

The base is defined in terms of function but it still lacks the architectural “language” for defining the base that is consistent with the context. This includes, but is not limited to;

- Structural expression of where the building meets the ground, for example, a water table
- Structural bays consistent with contributing context. The current design has a nearly 40 foot structural beam spanning the entire width of the restaurant
- The slanted glass comes to the ground rather than sit on any sort of sill or water table
- The height of the base is not consistent with adjacent buildings or general context in the neighborhood.
- The actual base is setback 6’ and therefore, there is no actual base to the principle façade, which is not consistent with the neighborhood.

Other than change in program, and to some extent change in material, this section of the COA report does not meet the guidelines. There is good design here but there are too many points of deviation from the guidelines.

2. Composition – Middle:

Does the project meet the applicable guidelines for Composition - Middle?	Yes	No	Partial
		x	

“Details on new buildings should relate to the detailing of adjacent or nearby buildings. Buildings in the district often incorporate architectural details such as changes in plane or changes in materials on their upper floors. Decorative, horizontal bands indicating the floor

CERTIFICATE OF APPROPRIATENESS REPORT
1216-1218 Race Street

lines, sill heights or lintel heights should not overpower the vertical emphasis of the design.”

Comments: Site lines in reference to fenestration or floors plates do not draw reference from/ to adjacent buildings. Also, there is a total lack of defined windows or sills; the lack of divisions in the glass and windows emphasize that these are too flush with the exterior cladding in the middle composition leaving the rendering feeling flat and undefined. The other issue with the middle composition is that it has no termination at the top. What is used to define the top is setback from the principle façade leaving the middle composition with no distinctly defined upper terminus.

3. Composition – Top:

Does the project meet the applicable guidelines for Composition - Top?	Yes	No	Partial
		x	

“New construction must employ a strong element that terminates the uppermost part of the building. Distinctive elements in the architecture of Over-the-Rhine are elaborate projecting cornices, decorative parapets and the expressive use of materials.”

Comment: The principle façade lacks a top. However, the setback fifth floor does provide a sense of a top from a certain distance but it is likely that an observer on Race will not be able see this and hence will be seen as having no top (Race Street is an important vantage point i.e. street car line).

4. Roofs:

Does the project meet the applicable guidelines for Roofs?	Yes	No	Partial
	x		

“Roofs for new construction should be similar to roofs of adjacent and nearby buildings of similar size and use. In the district, buildings of three or more stories generally have low-pitched shed roofs that are not visible above the principal facade. Smaller buildings in the district typically have simple gable roofs on which the gables are perpendicular to the principal facade. Institutional buildings in Over-the-Rhine have a variety of roof shapes, including dormers, multiple gables, hip roofs and towers. Roofs in this district have little or no overhang.”

Comment: No comment.

5. Windows

CERTIFICATE OF APPROPRIATENESS REPORT
1216-1218 Race Street

Does the project meet the applicable guidelines for Windows?	Yes	No	Partial
		x	

“Window openings are extremely important in this district. The openings of new buildings should be related to the size and placement of openings found on historic structures of similar use in the district. In residential buildings, window openings are typically found individually rather than in pairs or grouped. The openings are taller and wide (typically in a proportion of 2:1), window sash are set back from the wall surface, and openings have some form of definition, such as lintels, sills or decorative surrounds. Window openings, which are typically aligned vertically, usually occupy between 20% and 50% of the principal facade. In commercial, industrial and institutional buildings, windows are often grouped within a single opening. These building types may also use a combination of window sash, including double-hung, awning and hopper. If muntins are used in new window sash, they must provide true divided lights. Within the individual opening, window sash are usually divided into two or more lights. In all cases the glass must be clear; tinted or reflective glass is not acceptable. Also, roll down shutters and metal bar systems installed on the exterior of the building that cover door and window openings are not appropriate.”

Comment: Vertical ratio is fine but lacks shadow line detail or structural expression i.e. horizontally divided glass, sills and lintels, recession of glass plane. Elements appear too flush in renderings provided.

6. **Storefronts:** See *Setback*.

7. **Setback:**

Does the project meet the applicable guidelines for Setback?	Yes	No	Partial
		x	

“Setback is an important issue in a dense urban area such as Over-the-Rhine. The setback for new construction should be consistent with the buildings of similar use on adjacent and nearby sites. In Over-the-Rhine, most commercial buildings are built up to the property line. Some residential property, especially detached buildings, have shallow setbacks but retain an "edge" at the property line with a fence. Some larger institutional buildings such as schools, churches and public buildings are setback from the street to provide public space and to add to their monumentality. In most cases new construction on corner sites should be built up to the edge of both outside property lines.”

CERTIFICATE OF APPROPRIATENESS REPORT
1216-1218 Race Street

Comment: The setback of the store front on grade gives no definition to the front of the building at the street level. The glass is pushed back from the sidewalk, breaking up the streetwall along Race Street and creating an anomalous front patio condition that bears no relation to the urban 19th century context. Alignment of the structural piers at the sidewalk does not create a condition consistent with the setback or storefront guidelines because there is no solid glass nor bulkhead at the sidewalk. If ground floor use is to be commercial the storefront should incorporate the normal storefront conditions to integrate into the park.

8. Rhythm:

Does the project meet the applicable guidelines for Rhythm?	Yes	No	Partial
		x	

“New buildings should incorporate design features, such as window groupings, articulation of wall surfaces, and decorative elements such as columns or piers in an effort to maintain the rhythm that already exists in the district. New construction should avoid creating long unrelieved expanses of wall along the street by maintaining the rhythm of bays found on the district. Most buildings in Over-the-Rhine are relatively narrow, 25 to 50 feet in width. A building facade typically displays vertical subdivisions that establish a visual rhythm. In dense commercial areas such as Vine Street, there are no setbacks, creating a solid wall along the street. This wall is articulated by the individual buildings, which in turn are divided by window groupings, changes in wall planes and decorative elements such as pilasters, columns or piers.”

Comment:

The building reads as one building that is 80’ wide with a symmetrical pattern of fenestration and therefore on the fundamental elements of massing and scale, the project is out of character within the context and does not adhere to the guidelines. If determined by the ground floor only, the change in material does help to break up the building which otherwise does not fit in with the rhythm of the neighborhood. However, this advantage is lost when combined with floors two through five which are all the same material (in terms of breaking up the 80 foot building into 40 foot , architecturally defined bays). The continuous 80’ roof plane reinforces the building being read as a noncompliant building in terms of rhythm.

Additionally, the idea of an 80’ building being broken up into 12 equal bays may help to organize the hierarchy of the architecture and other design parameters but it does not have any relationship to the OTR historic context. Moreover, the site lines (horizontal alignment) of the windows sills from neighboring contributing buildings is broken by the tall, narrow windows in this project. This combined with a ground floor that appears shorter than its contributing neighbors, all detracts from maintaining the rhythm in the neighborhood the guidelines is attempting to conserve.

CERTIFICATE OF APPROPRIATENESS REPORT
1216-1218 Race Street

9. Emphasis:

Does the project meet the applicable guidelines for Emphasis?	Yes	No	Partial
		x	

“New residential and mixed-use construction should have a vertical emphasis, because in Over-the-Rhine buildings are taller than they are wide, window openings are tall and narrow, and storefronts have slender columns, which emphasize verticality. Commercial and industrial buildings, which may have an overall horizontal emphasis, often incorporate vertical elements, such as pilasters or vertically oriented openings.”

Comment: Vertical emphasis derived from fenestration is successfully achieved but there is a problem with the building being read as one very wide building. Hence, the 80ft length is longer than the height and therefore vertical emphasis is lost in this regard.

10. Height:

Does the project meet the applicable guidelines for Height?	Yes	No	Partial
		x	

“The height of new construction should not vary more than one story from adjacent contributing buildings. Most buildings in Over-the-Rhine are between two- and five-stories.”

Comment: The rear building is 6 stories in height and is thus 2-3 stories taller than the buildings to the north (2) and south (3), respectively. This does not meet the guidelines for height. The front building is 5 stories in height and is thus 1-2 stories taller than the buildings to the north (1) and south (2), respectively. The conversation should revolve around whether the 5th story is appropriate given the delicate balance of building scale around the park and the punctuation of the skyline by church steeples. Not enough information (e.g. different views, 3D massing models) is provided to adequately evaluate the appropriateness of the 5th story.

Note: See images attached as exhibits.

11. Materials:

Does the project meet the applicable guidelines for Materials?	Yes	No	Partial

CERTIFICATE OF APPROPRIATENESS REPORT
1216-1218 Race Street

	n/a	n/a	n/a
--	-----	-----	-----

“New construction should use materials that are found on the historic buildings in Over-the-Rhine. Clearly the dominant material in Over-the-Rhine is brick, but other materials such as limestone, sandstone, cast-iron, slate, wood and sheet metal are important as well. Materials such as stucco, synthetic stucco and plastic are not appropriate and should not be considered as exposed finish materials for new construction in this district.”

Comment: We need more information to evaluate this section. The rendering looks like green brick and although it generally follows the guidelines by utilizing brick, the green is clearly not characteristic of the neighborhood; this could be a great design expression if well executed which would be determined by the size of brick, mortar color, the joint treatment (raked or flush), etc. Additionally, more detail is needed for fifth floor metal. Is it painted/ bare aluminum, zinc? What are the panel sizes? None of this is clear or evident in the renderings.

12. Other Comments:



Image Landsat / Copernicus
© 2016 Google

Click to move around



1216 Race

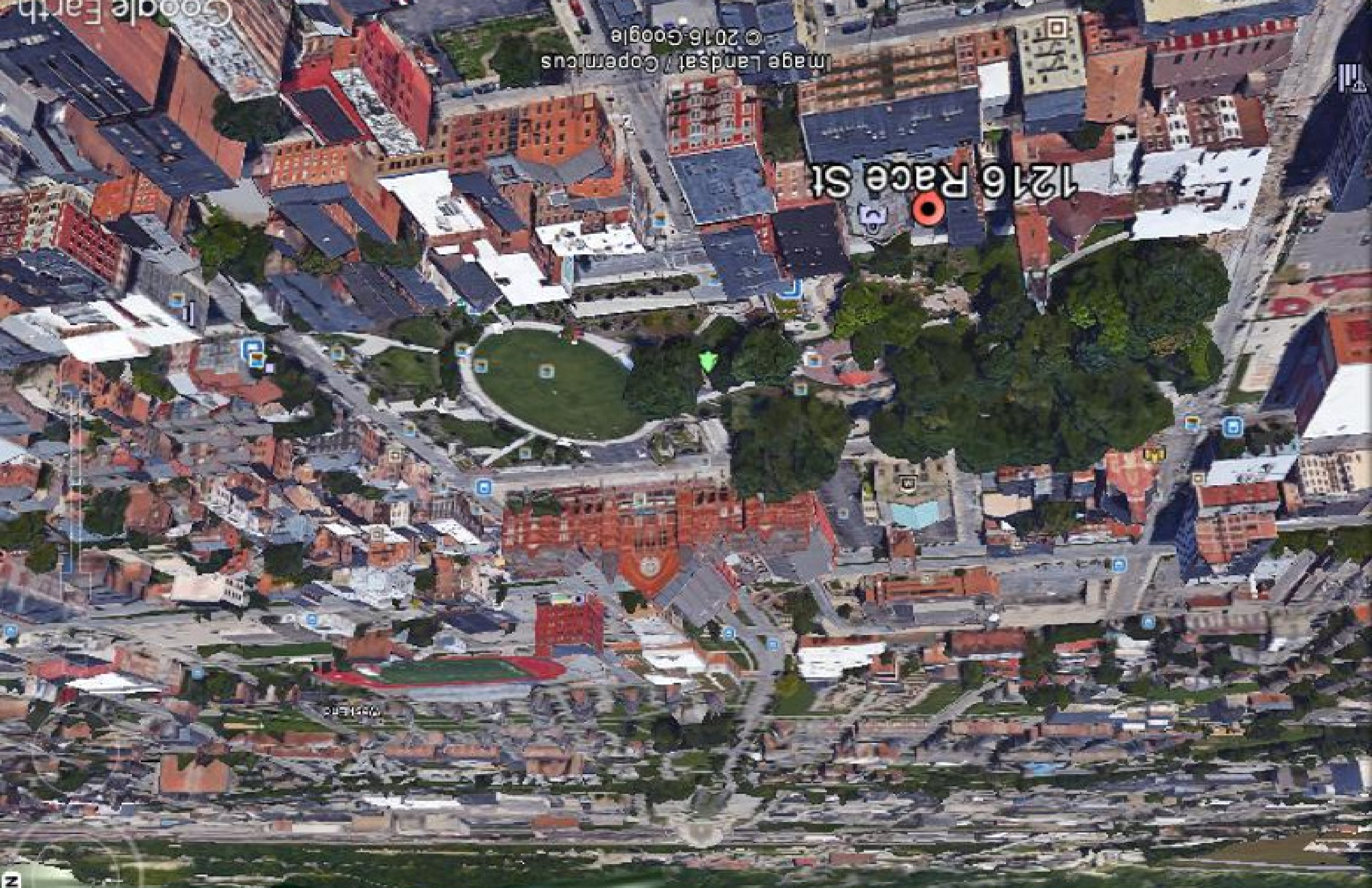
Google Earth



Image Landsat / Copernicus
© 2016 Google

1216 Race St

CA



1216 Race St

Image Landsat / Copernicus
© 2016 Google

Google Earth

1998

N



Image Landsat / Copernicus
© 2016 Google

1216 Race St



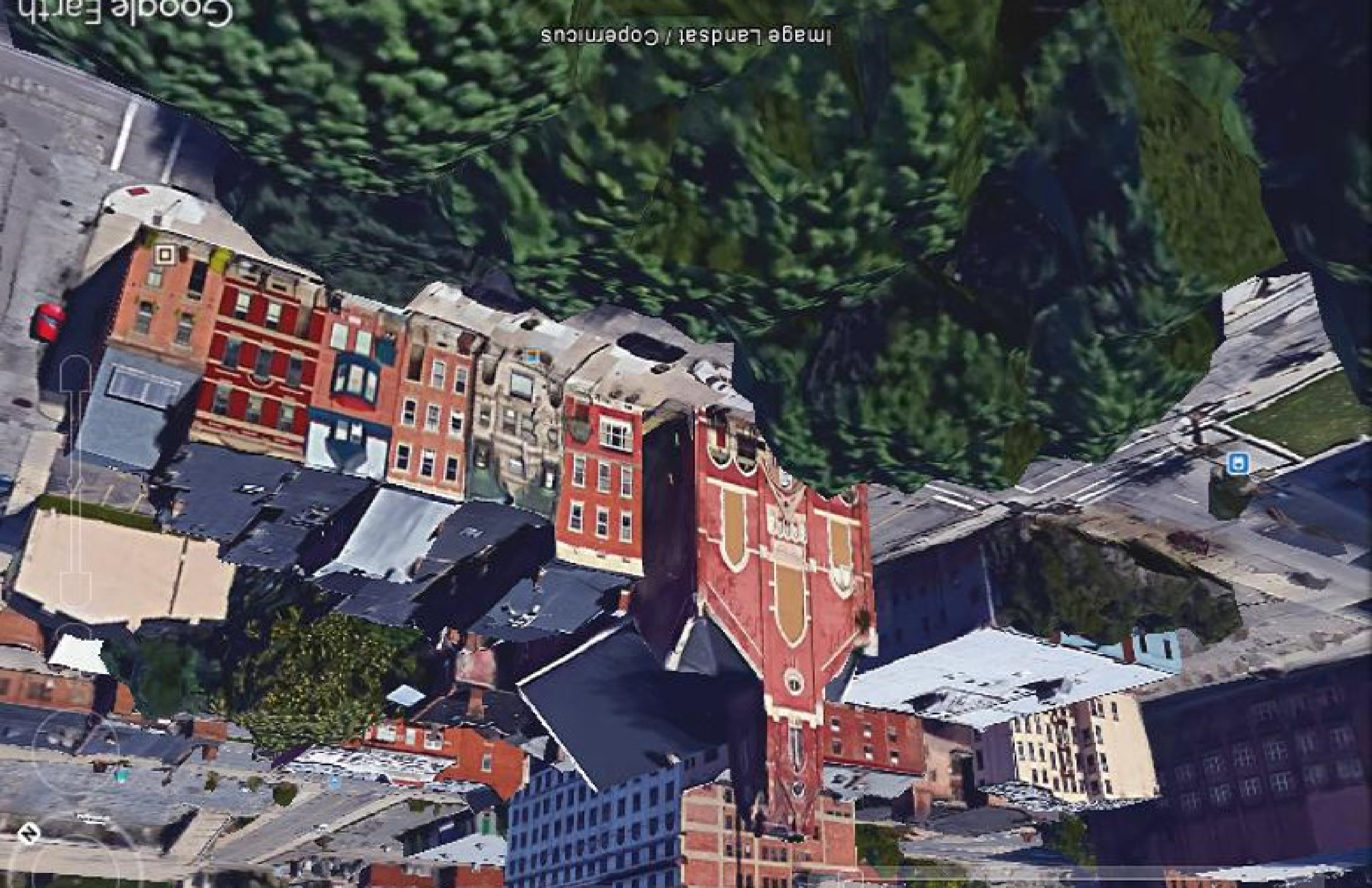


Image Landsat / Copernicus



Image Landsat / Copernicus
© 2016 Google

4/3/2017

Beth & Danny,

I would like to thank you for including me in the Pre-Hearing Meeting that was held on March 22, 2017. As an adjacent property owner and member of the Bremen Lofts Condo Association, I was interested in the details of the pending development and I was pleased that you were open to hearing any concerns or questions that our group had.

I have had a chance to pass along some info and discuss the development with our members. The following are our concerns and suggestions, as they pertain to the Public Hearing to be held tomorrow, April 4th for the Platte Group Development:

- Construction of the 6th Floor
 - The residents of Bremen Lofts are adamantly against the allowance of the construction of the 6th floor of the development. Currently, the backyards of our buildings see minimal sunlight and we have a hard time growing grass. We believe that the construction of a 6th floor (and the 5th floor to a lesser extent) will adversely impact our ability to grow grass in our common areas.
 - In addition to the sunlight blockage, the 6th floor (and the 5th floor to a lesser extent) construction will obstruct views from 2 or more condos behind the development. The ability for these residences to see over the current building and have views of Washington Park and/or the Music Hall will adversely impact their currently living conditions and property value.
 - For these reasons, we request that you deny construction of a 6th floor and consider not allowing construction of the 5th floor.

- Parking Requirement Reduction
 - The residents of Bremen Lofts are adamantly against the allowance of the 50% parking requirement variance. We believe that this will have an adverse affect on the already problematic parking issues that we currently experience. As residents of Republic Street many of our members park their cars within a gated parking lot. The remainder of the residents must find on street parking on a daily basis. We have attempted to obtain residential parking passes for the area and have been denied.

 - As OTR has become more and more developed these parking spaces have become harder and harder to come by. Addition of a residential and commercial development on Race will undoubtedly increase the number of cars needing to park in the area. These additional trips will be drawn to park on Republic Street as it is the only remaining, free, on-street parking in the area. We request that this variance be denied or at the minimum, a reduced variance. We understand that the developer suggests that the residents and patrons of the development will use Washington Park Garage for the overflow. However, as our residents have seen first hand, these residents and patrons will first try to seek out free parking (on Republic) before giving up and parking in the garage. We understand that a full parking requirement for the development may be hard to enforce so we ask that you consider a smaller percentage of variance, perhaps 30% or less. This would change the required parking spaces from 30 (required) to 21 spaces (30% variance) instead of the 15 spaces (50% variance) that are currently proposed. While this would still adversely affect our situation, we believe that it is a more reasonable amount.

- Architectural Integrity/Vertical Emphasis
 - We have reviewed some of the renderings and we feel that the proposed design does not "blend in" well with the surrounding properties. We understand that new construction cannot exactly match the old, historic buildings surrounding the area, but we do believe that architectural styles can be mirrored. The proposed development will be taking up two lots and will therefore be a wider building. We would suggest (consistent with the comments from the Pre-Hearing Meeting) that the architectural style be slightly altered to give a more vertical emphasis. This vertical emphasis can be seen with many of the old and new developments and building in the area.

- Noise Concerns
 - The residents of Bremen Lofts are concerned that the new development proposed by the Platte Group will increase the noise that is experienced by our residents. We know first hand that Garbage Collection areas and outdoor dining spaces substantially increase noise levels during all hours (either City collection or during business hours). We believe that the proposed development will adversely affect our property value from that perspective. We would like the City to require the development to provide a design that would promote noise reduction from their development.

While we understand that the proposed development will bring additional tax base and retail/commercial revenue to the OTR district, we would like our concerns to be heard and understood so that the benefits brought by the development do not come at the expense of the residents that have enjoyed living in the area for 8+ years.

Sincerely,
Brad Clark and the Bremen Lofts Condo Association

Received VIA email 4/3/2017 to Beth.Johnson@cincinnati-oh.gov

Ted Leavitt

1514 Race St., #3 • Cincinnati OH 45202
Phone: +1 843 338 0750 • E-Mail: tleavitt@me.com

Date: 3 April 2017

Ms. Beth Johnson
Urban Conservator
City of Cincinnati Buildings and Inspections
805 Central Ave., Ste. 500
Cincinnati, OH 45202

Re: Proposed Design for 1216-1218 Race St.

Dear Ms. Johnson:

I am writing in support of this project. My wife Vicky and I are in the closing stages of completing 1514 Race St., which is a 3-unit, owner-occupied multi-unit dwelling. I remember going through the urban conservation process as well, and certainly hope that we can add another building that combines the best of modern within an historic setting.

My main comment would be the mentions we get from people interested in commenting, in that folks tend to tell us they like the look of the building, how it doesn't attempt to ape the original design of the neighborhood, yet fits within the overall spirit of the area. This is what Platte seems to be trying to be doing as well.

Thanks for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'wsl' followed by a stylized flourish.

Ted Leavitt

To Whom It May Concern,

My name is Chris Rogers and I am currently working on a new, single family home project with Platte Architecture & Design. My project is located on Pleasant Street near Findlay Market and I have been very pleased with Platte and the way they have translated my thoughts into a design that fits with what the City wants as well as incorporates my personal, modern tastes and preferences.

I have seen their design for 1216-1218 Race Street and I think it the building would make a wonderful addition to the neighborhood. What they have drawn up seems to be a much more appropriate layout (than the current occupying buildings) and I would think it will continue to increase desirability of the area. As a future resident of the area I would like to express my support for the upcoming project at 1216-1218 Race. I would very much like to see the project move forward using Platte's design.

Regards,

A handwritten signature in blue ink, consisting of the letters 'C' and 'R' followed by a long horizontal flourish.

Chris Rogers (future resident of 1628 Pleasant St)



March 28, 2017

Historic Conservation Board Members
c/o Beth Johnson, Urban Conservator
805 Central Avenue, Suite 500
Cincinnati, OH 45206

RE: **Letter Subject**

COA -1216-1218 Race
Cincinnati, OH 45202

Dear Honorable Board Members:

I am writing you to express our support for the Project at 1216-1218 Race Street, as designed by Platte Architecture + Design. As a practicing architect and planner here in Over the Rhine, it is refreshing to see a design that pushes the bounds of the guidelines through thoughtful, contemporary architecture. This building both stands out as a quality example of contemporary design, and blends in as a background building within the district. The design does an admirable job of articulating a base, middle and top, per the guidelines, while conveying this in a modern architectural language. As designers, architects, and planners practicing in OTR, we should continually push the limits of design as a means of expressing the spirit of our times. This Project does that. Please grant it a COA with all due speed.

Kind regards,

New Republic Architecture

Graham Kalbli, AIA, LEED AP

Principal

March 31, 2017

Beth Johnson
Urban Conservator
City of Cincinnati Buildings and Inspections
805 Central Avenue, Suite 500
Cincinnati, OH 45202

RE: COA for 1216-1218 Race

Dear Beth:

As long time and committed residents of Over-the-Rhine, we are submitting this letter in support of the design presented by Platte architecture + design for 1216-1218 Race Street.

Tim and I believe the design represents an exceptional compliment to Race Street with its modern architecture that adheres to the rhythm of the block and the neighborhood. The design, with the mixed-use street-facing building, the residential rear building, and a courtyard in between, creates a wonderful combination of public and private vitality that will be a welcome addition to OTR.

The current structures at 1216-1218 Race Street are noticeably out of character with their neighboring structures. Compared to the rest of the block, the current structures look like they were cut off at the knees. The proposed design remedies this visual gap by adding a strong vertical presence and simple elegance.

There are too many examples in OTR where verbatim adherence to the guidelines has resulted in structures that look like they are part of a movie set or Disneyland. Mimicry of the past is rarely successful. However, this design adheres to the guidelines without trying to convince anyone it is 100+ years old.

This is a perfect location for a restaurant – on the streetcar line, within eyesight of a streetcar stop, and with excellent views of Washington Park, Music Hall, and Memorial Hall. The angled setup creates ample room for outdoor seating without impeding sidewalk traffic and concurrently creates a definite distinction between the restaurant entrance and the residential entrance.

We look forward to seeing this design come to fruition to continue the renaissance of Over-the-Rhine.

Sincerely,



Karen Wittenberg & Tim Huffner
1406 Pleasant St.
Over-the-Rhine

April 2, 2017

Beth Johnson
Urban Conservator
City of Cincinnati Buildings and Inspections
805 Central Avenue, Suite 500
Cincinnati, OH 45202

Re: COA 1216-1218 Race St.

Dear Ms. Johnson:

I am writing in support of the conceptual design for a mixed-use building at 1216-1218 Race Street as prepared by Platte Architecture. The designers shared their design drawings with me for my review with hopes of gaining support.

I've been involved in several recent major renovations to our City's iconic architecture and historic urban fabric. While at John Senhauser Architects, I led the office's conceptual design for Eighth and Sycamore and Eighth and Main, two major new mixed-use buildings in downtown Cincinnati. I also helped execute the renovation to Memorial Hall. In my current position, I am the on-site Architect for Music Hall, Project Architect for Ziegler Park Garage, and Project Architect for the phased mixed-use development at Race and 15th Street. Through these projects, I have learned the value of place and the challenge of designing in an historic context.

The conceptual design for 1216-1218 Race is contemporary, yet appears sensitive to the neighborhood context in its massing and basic architectural organization. The division of the primary facade into symmetrical halves containing a syncopated rhythm of tall, narrow openings is particularly successful. The recessed base and top is a modern interpretation of the traditional tripartite facade. The inclusion of the a lightcourt is very intriguing, both as interpretation and as functional space.

As the design process moves forward, I urge you to work with Platte Architects to refine any secondary design details, but to maintain the overall architectural concept for this new, bold building. It will be a great addition to the neighborhood.

With kind regards,



Andreas Lange, AIA
Architect, Perfido, Weiskopf, Wagstaff + Goettel
Director, AIA Cincinnati



March 28, 2017

Beth Johnson
Urban Conservator
City of Cincinnati Buildings and Inspections
805 Central Avenue, Suite 500
Cincinnati, OH 45202

RE: COA for 1216-1218 Race

Dear Beth,

I am a resident of the Washington Park area, living at 216 W 14th Street, across from Music Hall and next to the Symphony Hotel. I am also COO of Storied Homes, a rehab company concentrated on preserving older-and-historic homes' character with projects in Madisonville and Over-the-Rhine.

I support the proposed project at 1216-1218 Race Street. The project's proposed facade fits within the community's guidelines for design by using a roofline at-or-below neighboring buildings, using appropriate materials & window openings and differentiating from historic buildings in a way which contributes to neighborhood aesthetic. The contribution of a new dining space and additional residents will greatly benefit Washington Park and OTR.

Please support this project to replace two non-contributing buildings with one which will contribute.

Regards,

Josh Jansen
COO, Storied Homes
216 W 14th Street
Cincinnati, Ohio 45202
513-235-9466



Letter of Support

Attention: Beth Johnson
Urban Conservator
City of Cincinnati Buildings and Inspections
805 Central Avenue, Suite 500
Cincinnati, OH 45202

Date 3/28/17

1400 Elm Street
Cincinnati, OH 45202
T 513-616-0409
bdraznik@gmail.com

RE: COA for 1216-1218 Race

Dear Beth:

This serves as my Letter of Support for the proposed project at 1216-1218 Race. Based on my review of the narrative and architectural plans, I believe that this infill project will historically fit the fabric of the surrounding buildings, and Over the Rhine as a whole. I also believe that the design has gone above and beyond other infill projects in regards to the facade, construction materials, roofline and affiliated parapet walls, and sight lines to block the rear section of the building. The setback promotes outdoor seating and vibrancy along the street level, which fits with the proximity to the Cincinnati Bell Connector and Washington Park. Please feel free to call or email me with any other questions regarding my support of the project.

Sincerely yours,

A handwritten signature in blue ink that reads "Bill Draznik". The signature is written in a cursive, flowing style.

Bill Draznik



////////////////////////////////////
Team B Architecture & Design
1319 Main Street
Cincinnati, OH 45202
////////////////////////////////////
*1 513 417 3154
////////////////////////////////////
www.team-b.co
////////////////////////////////////

03 April 2017

Beth Johnson

Urban Conservator
City of Cincinnati Buildings and Inspections
805 Central Avenue, Suite 500
Cincinnati, OH 45202

Dear Ms. Johnson,

On behalf of Team B Architecture & Design, a small business located in Over-the-Rhine, I would like to share out enthusiastic support for the proposed design of new infill construction at 1216-18 Race Street. I can offer the following insights, drawn from professional knowledge and expertise, as a registered architect practicing in the district.

Our profession works to, in the words of David De Long (Professor Emeritus of Architecture focused on historic preservation at UPENN), "effect change responsive to the historical environment." We match experience concerning program, engineering, and code compliance with sensibility towards the historic and aesthetic fabric of an existing context.

There is something very challenging about building in a place that has a lot of meaning already. The issue for us is how to find meaning in the buildings of our own era by maintaining authenticity while concurrently producing a design that is harmonious with its neighboring buildings.

We believe the proposed building at 1216-1218 Race Street acknowledges these issues. The design is composed of two planes: a traditional layer of brick set outboard from a recessed layer of glass. The two work together to produce a visual depth and rhythm that is inspired by the district.

The brick facade is articulated through precisely sharp returns at punched openings, giving definition and depth to the facade composition. This material extends downward to the ground level which helps resolve the composition and introduces brick materiality to pedestrian eye level. Several buildings in the vicinity incorporate brick as load-bearing support for the storefront opening.

Also, the influence of Washington Park and it's surrounding civic architecture on this proposed building is not lost. Glass at the storefront and residential units above orients toward the park's center while dynamic social space of the park is encouraged to extend beyond its perimeter into the neighborhood by means of a recessed ground level and cafe-style seating. These contextual cues are important.

The space between these two planes is trimmed with wood analogous to doorway and vestibule paneling that serves as an added accent to highlight the depth of the facade.

The question about Over-the-Rhine is: do you admire it for its unity, or for its diversity? If you ask is Over-the-Rhine beautiful and lively because of its consistency or inconsistency, I vote for the latter. Within view of this site, we can see the postmodernism of SCPA, German brick detailing of Music Hall, Memorial Hall's neoclassical monumental adornments, the triangulated form of Shakespeare Theater, and sleek minimalism of Washington Park's glass pavilions.

Yes, much of the architectural aesthetic of this historic neighborhood is based on a vocabulary of proportions, details, and symbols. But its essential quality derives from the variety that works within these bounds often from transgressing the rules not through ignorance, but sometimes playfulness, and always from a profound yet easy understanding of the neighborhood as a whole – creating in the end the vitality and tension that make this place a joy to be in.

Sincerely,

A handwritten signature in black ink, appearing to be 'John Stoughton', enclosed within a circular scribble.

*John Stoughton, RA, NCARB
Owner, Team B Architecture & Design*

April 2, 2017

Beth Johnson
Urban Conservator
City of Cincinnati Buildings and Inspections
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

RE: Letter of Support for 1216-1218 Race Street

Dear Beth,

I am a local architect who has worked on many rehabilitation and new construction projects in Over the Rhine. I appreciate new construction that revitalizes the neighborhood by not only replicating the style of existing buildings, but also by elevating the design to make people think about and appreciate the architecture of this neighborhood.

I'm writing to express support for the project at 1216-1218 Race Street. This design is a modern and appropriate addition to the neighborhood. The façade is contextual, replicating the rhythm and stratification of typical OTR buildings, but also is clearly modern, responding to its context in a thoughtful way. This building will fit in without mimicking its neighbors, and is unique and deserving of its prominent location across from Washington Park. Additionally, I think that the steps the designers took to activate the sidewalk will have a positive impact on the neighborhood. This is a well-designed project that satisfies the historic guidelines, and I feel that it is a valuable contribution to the built environment in OTR.

Sincerely,

A handwritten signature in black ink that reads "Sarah Cornell". The signature is written in a cursive, flowing style.

Sarah Cornell
RA, LEED AP
Tangent Architectural Group, LLC
317 Mount Hope Avenue
Cincinnati, Ohio 45204

2 April 2017

Historic Conservation Board
City of Cincinnati Buildings and Inspections
805 Central Avenue, Suite 500
Cincinnati, OH 45202

Re: Proposed Design for **1216-1218 Race Street**

To whom it may concern:

This letter is in support of the design proposed by Platte Architecture + Design and Steiner + Associates for the mixed-use development at 1216-1218 Race Street.

The proposed project is appropriately scaled for its context at the southeastern edge of Washington Park. It is well-designed, compatible with, and complementary to the surrounding structures, while NOT trying to replicate the existing buildings in the district.

We have to stop mimicking the buildings of the past and get away from the prescriptive approach to architectural design of new structures in the district. Passers-by should be able to walk down the street and know which buildings were built in the 1800's, and which buildings were built in the 2000's. New infill buildings should be modest enough to respect the historic architecture in the area, but they should also be bold enough to represent the construction methods and design values of our time. The proposed design is an example of a project that accomplishes these goals.

Sincerely,

A handwritten signature in black ink, appearing to read "Eric Stear". The signature is fluid and cursive, with the first name "Eric" and last name "Stear" clearly distinguishable.

Eric Stear, RA, NCARB
508 Liberty Hill
Cincinnati, OH 45202

Catherine Richards

216-513-5862 catherine.e.richards@gmail.com 1333 Main street #3 Cincinnati OH 45202

March 30, 2017

Beth Johnson
Urban Conservator
City of Cincinnati Buildings and Inspections
805 Central Avenue, Suite 500
Cincinnati, OH 45202

Dear Beth,

I am an architect and artist. I have worked in OTR since 2009- implementing various design projects, founding the Future Blooms program, designing murals, art installations, and organizing and implementing numerous events. I also did the Interior design for the award winning Bakery Lofts. I live in OTR on Main street and am an active member of the neighborhood.

This letter is to support the Platte Architecture project at 1216-1218 Race Street. I believe the project is a fantastic addition to the neighborhood. Platte is dedicated to the urban fabric of OTR and did excellent historical and contextual research for the project. The design fits into the architectural lexicon of historic OTR, with appropriate sequencing and proportion across all facades, in terms of scale and material choice. While the building is modern, it fits into the existing structures incredibly well. I can't wait to see it built.

Thank you for your time and support,

Catherine

April 1.2017

Beth Johnson
Urban Conservator
City of Cincinnati Buildings + Inspections
805 Central Ave Suite 500
Cincinnati OH 45202

Re: 1216-1218 Race Street

Dear Beth,

I am writing a letter of support for Platte Architecture +Design to work on 1216-1218 Race, east of Washington Park. I am the owner and operator of The Anchor, a restaurant located at 1401 Race. I have seen the drawings for 1216-1218 Race and feel that it is well designed and is context appropriate for the neighborhood. I do not hesitate to highly recommend Platte Architecture + Design to carry out this work. It will add much value to the neighborhood.

Thank you,

Derek dos Anjos
The Anchor-otr
1401 Race St
Cincinnati OH 45202
C: 917-414-0607
W: 513-421-8111



1404 RACE STREET | SUITE 302 | CINCINNATI, OH | 45202

P: 513.381.1531 | F: 513.898.8244

Beth Johnson
Urban Conservator
City of Cincinnati Buildings and Inspections
805 Central Avenue, Suite 500
Cincinnati, OH 45202

RE: COA for 1216-1218 Race

Dear Beth:

Please accept this letter as my full support of the Platte Architecture project slated for 1216-1218 Race Street. I have known Kurt Platte and a few of his architects for just over two years. In that time, I have been fortunate to see many of their "visions" become a reality. This firm never ceases to amaze me in the way that they can create space for a new era but still maintain respect for the design of great creators before them.

I am looking forward to seeing another Platte project heighten our community. I have no doubt that it will be another structure that people have to stop for a moment and take in. And I would be remiss if I did not add that it gives me a little pleasure in saying to those same people, "I know the architects who did this one."

Please feel invited to reach me for further comment or questions.

Sincerely,

A handwritten signature in black ink that reads "Iris Kelley".

Iris Kelley
Social Media Manager
Necco

JEANNE
MAM•LUFT
m.f.a.
b.arch
leed ap

jeannemam@alumni.cmu.edu
c 513.580.4338
2911 temple avenue, cincinnati, oh 45211

April 3, 2017

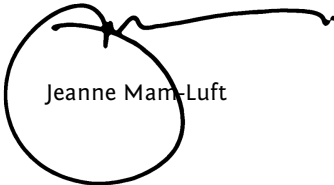
To Whom it May Concern:

I write this letter of support for Platte Architecture + Design's proposed project at 1216-1218 Race Street as a 10-year resident of Cincinnati, a professional member of the arts community (as the Director/Founder of the non-profit Modern Dance organization MamLuft&Co. Dance), and as a designer with an architectural background and Leadership in Energy and Environmental Design Accredited Professional certification.

I find Platte's proposed design to be respectful of the surrounding neighborhood's characteristics, charm, and historical appearance. While the design gently pushes toward a more simple aesthetic, its materials, proportions, and line are – in my opinion – unobtrusive. I believe that this design will be a beautiful gesture in the neighborhood and will contribute to value and appreciation of the site.

I hope that this design will be able to come to fruition without further delay or obstruction.

Thank you for your time,



Jeanne Mam-Luft



Tender Mercies transforms the lives of homeless adults with mental illness by providing security, dignity, & community in a place they call home.

Chief Executive Officer
Russell Winters

March 31, 2017

Board of Trustees
Ronald Cramer
Robert Graeter
Joshua Harkavy
Laura Humphrey—Past President
Erika Meyer Judd
Daniel Kiley
Elizabeth Loring—Secretary
Chad Martin—Treasurer
Susan McIlvain
Denise Montfort—President
Michael Moran
Brian Muething
Gregory Payton
Mary Beth Salyers
Edward Slater
Robie Suggs—Vice President
Thomas Vaughan
James Whalen

Ryan O'Malley, LEED AP
Platte Architecture and Design
202 W. Elder St., 4th Floor
Cincinnati, OH 45202

Dear Ryan,

We are pleased to provide this letter of support for your proposed project at 1216-1218 Race Street. Tender Mercies owns and operates the adjacent property at 1214 Race Street, providing housing for 12 formerly homeless women with histories of mental illness.

It is our understanding that the proposed project will replace the existing buildings at 1216-1218 Race with a project that is more contextual, and better meets the cultural, economic, and architectural ambitions appropriate to its unique location.

Tender Mercies has a history of being a good neighbor and collaborating with those who live, work, and play in Over the Rhine. We are glad that you reached out to us about your project and we are glad to offer our support.

Sincerely,

Russell L. Winters, LISW-S
Chief Executive Officer

Advisory Committee
Hon. Sandra Beckwith
Jennifer Neyer Berg
Shari Einsel
Hon. Nathaniel Jones
Jeff Lazarow
William Moran
Donald Neyer
Jane Portman
Sgt. Stephen Saunders
Jerome Teller
Stephen Wesselkamper
Edward Wolterman

Emeritus
Joseph Feldhaus
Eileen Mechley
Marcia Spaeth

Frank Harkavy
(1926 – 2003)



Marcia A. Banker
Jeffrey S. Schloemer
1506 Race Street
Cincinnati, Ohio 45202

April 3, 2017

Ms. Beth Johnson
Urban Conservator
City of Cincinnati Buildings and Inspections
805 Central Avenue, Suite 500
Cincinnati, Ohio 45202

Re: Proposed design for 1216-1218 Race Street

Dear Ms. Johnson:

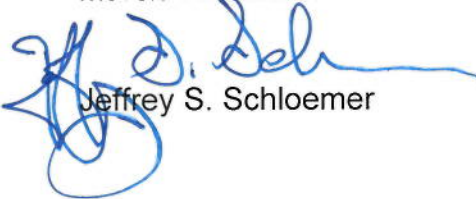
We recently completed our new urban infill construction of our single family residence at 1506 Race Street and have now been residents of Over-the-Rhine for a few months. We are writing in support of the Platte Architecture and Design project at 1216-1218 Race Street for Steiner + Associates. The proposed project is well-designed and context appropriate and will be a good addition to the neighborhood as is.

We continue to be at a loss why well-designed projects that look as though they were created and built in the 21st century receive push back while new construction that is little more than a not very good copy of a 19th century design that is more fit for Main Street USA at Disneyworld encounters little resistance. We would hope that the Historic Conservation Board would start to show more forward thinking in its openness to 21st century materials and designs. Approving the 1216-1218 Race Street design would be a good start.

Very truly yours,



Marcia A. Banker



Jeffrey S. Schloemer

April 3, 2017

Beth Johnson
Urban Conservator
City of Cincinnati Buildings and Inspections
805 Central Avenue, Suite 500
Cincinnati, OH 45202



15 W. 14th Street, Fl 2
Cincinnati, OH 45202
513.800.8159

RE: COA for 1216-1218 Race

Dear Beth:

We are writing this letter in support of the 1216-1218 Race Street Project by Platte Architecture + Design. As owners of The Yoga Bar (15 W. 14th Street) and longstanding supporters of the OTR community, we feel the proposed design for Race Street will be a welcome addition to our ever-evolving neighborhood.

Although this is a very modern building, we feel it not only responsible for the OTR community to introduce modern architecture, but critical for the relevancy and future success of this burgeoning neighborhood of ours. As a Creative Director for almost two decades, I have had an opportunity to travel to and spend long periods of time in most major cities of Europe and Asia, and what I have noticed is their ability to combine old and new successfully – ensuring that new design honors the past and welcomes the future in equal measure.

Having spent the last 20 years in historic neighborhoods, both in Ohio and Northern Kentucky, we understand the importance of historical preservation, that said, we have also witnessed and experienced the dangers of an overly homogeneous approach – specifically how poorly Victorian styles translate to modern building methods and codes.

Sincerely,
Mike Skrzewski + Rachel Catherine Roberts
Owners – The Yoga Bar

April 3rd, 2017.

Beth Johnson
Urban Conservator
City of Cincinnati Buildings and Inspections
Historic Conservation Office
805 Central Ave., Suite 500
Cincinnati, OH 45202

Regarding: Support letter for project on 1216-1218 Race Street.

Dear Ms. Johnson,

As a resident of the OTR community and professionally active in the architectural field in the city, I would like to express my support for the design of the 5-story mixed-used project located on the 1216 and 1218 Race Street proposed by Platte Design.

In a clean and contemporary way, the design integrates subtly and quietly in the rhythm and scale of the context of the adjacent buildings. The design has a strong and appropriate vertical emphasis by the shape of the windows, their rhythm and alignment, and the introduction of the bays vertically extending to the ground floor. The material palette seems very appropriate and typical to the neighborhood. The use of texture-rich materials as brick and wood, in combination with the large percentage of openings with a minimalistic approach in the detailing of the windows, will provide a clean and contemporary look on Race Street that fits in the urban fabric of OTR.

Regards,



Stefan Cornelis
1621 Mansfield Street
Cincinnati, Ohio 45202

Megan Mershman
332 E. 8th Street
Cincinnati, OH 45202
513.241.8700
mmershman@gbbn.com
April 1, 2017

Beth Johnson
Urban Conservator
City of Cincinnati Building and Inspections
805 Central Ave. Suite 500
Cincinnati OH 45202

Dear Beth Johnson:

I am writing to you regarding the project being undertaken at 1216-1218 Race st. I would like to share with you my support as a designer for the project that Kurt Platte and his team are designing on behalf of Steiner and Associates.

I quite understand your concern with such an unapologetically modern building being proposed for the site. But, it's clear to me upon reviewing this project with the Platte team, the care and consideration they put into designing a building that expresses their point of view, achieves the goals of their client, activates the street front, and still respects the intent of the historic conservation guidelines.

I believe their efforts to control the read of the building massing, the thought put into dividing the façade into the retail base, middle elevation, and top level to respond to other building and the vertical organization are all respectful to, and meet the intent of the historic guidelines. Not only will this building bring much more visual activation to these two parcels, but the building's programmatic contribution to the neighborhood will be valuable along Race street.

When I compare the drawings and intent of this project to other developer driven efforts in the neighborhood, I see an attention to detail and a quality of craftsmanship that will exceed many of those other projects. Ultimately, I feel this project is more respectful of its context when considered with the high level of detail and craft that we have preserved on many of the Italianate structures throughout the neighborhood.

I urge to you take the time to further engage with the Platte team to understand how their vision will contribute to the future spatial and economic vitality of the neighborhood, without undermining the urban conservancy efforts that you have put forth to maintain the one of a kind historic fabric we are privileged to have in OTR.

Regards,

A handwritten signature in black ink that reads "Megan Mershman". The signature is written in a cursive, slightly slanted style.

Megan Mershman, NCIDQ, IIDA, LEED AP ID+C

March 28, 2017

Beth Johnson
Urban Conservator
City of Cincinnati Buildings and Inspections
805 Central Ave, Suite 500
Cincinnati, OH 45202

Re: COA for 1216-1218 Race

Dear Beth,

As a resident of Cincinnati for the last 16 year, I have seen a huge revitalization of the urban core, and specifically OTR. As a resident of Prospect Hill, I have a huge respect for the work done to ensure historic homes and neighborhoods are saved and improved.

It is with both of these sentiments that I applaud the wonderful plans created for the sites at 1216-1218 Race and would like these brought to life and become part of the broader Cincinnati neighborhood.

They are more modern than their surroundings. However, I have no concerns as there are wonderful examples within Prospect Hill of newly built modern homes that fit within the fabric of the neighborhood. If anything, I think it is a testament that we build new structures resembling the era of which we are living as a reminder of this time. We cannot afford, nor would we ever do it justice, to try to replicate the past.

Furthermore, the renderings for 1216-1218 Race are vibrant, elegant, and fit within the space as well as the street façade.

Thank you for your consideration,

Jon Powell
1623 Mansfield St.
Cincinnati, OH 45202

Johnson, Beth

From: Kevin Kluender <kevin@drawingdept.com>
Sent: Sunday, April 02, 2017 10:27 AM
To: Johnson, Beth
Subject: Race Street Project

Beth,

Drawing Dept was asked by Platte Architects to opine on Platte's proposed facade treatment for a project on Race Street fronting Washington Park. Having read their thorough analysis of existing Over the Rhine buildings and their application of that analysis to their facade, I find that their design is in accord with guideline recommendations. I am interested in seeing a facade without resorting to imitative applied decoration.

Furthermore, I am excited to see high density, mixed use, vehicle free development on such a prominent site.

Thank for your consideration and I look forward to seeing the project come to life.

Kevin Kluender
Architect
Drawing Dept

--

Kevin Kluender
architect

drawing dept
architecture & design
3217 madison rd cincinnati ohio 45209
[513.272.8099](tel:513.272.8099) | www.drawingdept.com